



**NOTE: Based on the scope of work, additional documentation may be required. See [www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc) for scope-specific requirements.**

## PROJECT DETAILS – TELL US ABOUT YOUR PROJECT

**Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.**

**ePLANS PERMIT NUMBER:**

(only applicable if you've already applied for permits through ePLANS)

BLD2024-00881

### GENERAL

**1. DESCRIPTION OF EXISTING CONDITION**

*Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")*

The existing area is a asphalt parking area with no dumpster enclosure on the south end of our property near the entrance to the building. There is an existing fence and a large Tree of Heaven located in the corner of the property. The asphalt is at its end of life and will be need to be replaced.

**2. PHOTOGRAPHS**

*Help us understand your project. Please attach photographs of all areas where work is proposed.*



**3. DESCRIPTION OF PROJECT**

*In this box, tell us about what you want to do at the areas described above in box #1. (For example, "Install new asphalt shingle roofing at garage.")*

The area we are proposing a change for is for the addition of a dumpster enclosure on the south side of the property. We are being asked to add an enclosure to our dumpster area as we are bringing the building up to code, which would include a enclosure. This would include adding a concrete pad to the dumpster enclosure area.



**4. DETAILED SCOPE OF WORK**

*In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")*

We will need to remove existing asphalt. Pour an 8" slab in the dumpster are and we would be required to pour a 4" slab in the rest of the parking area prior to striping the parking spots. The cinder block construction of the enclosure will have an aluminum gate to close the dumpster area.



**5. BROCHURES/CUT SHEETS**

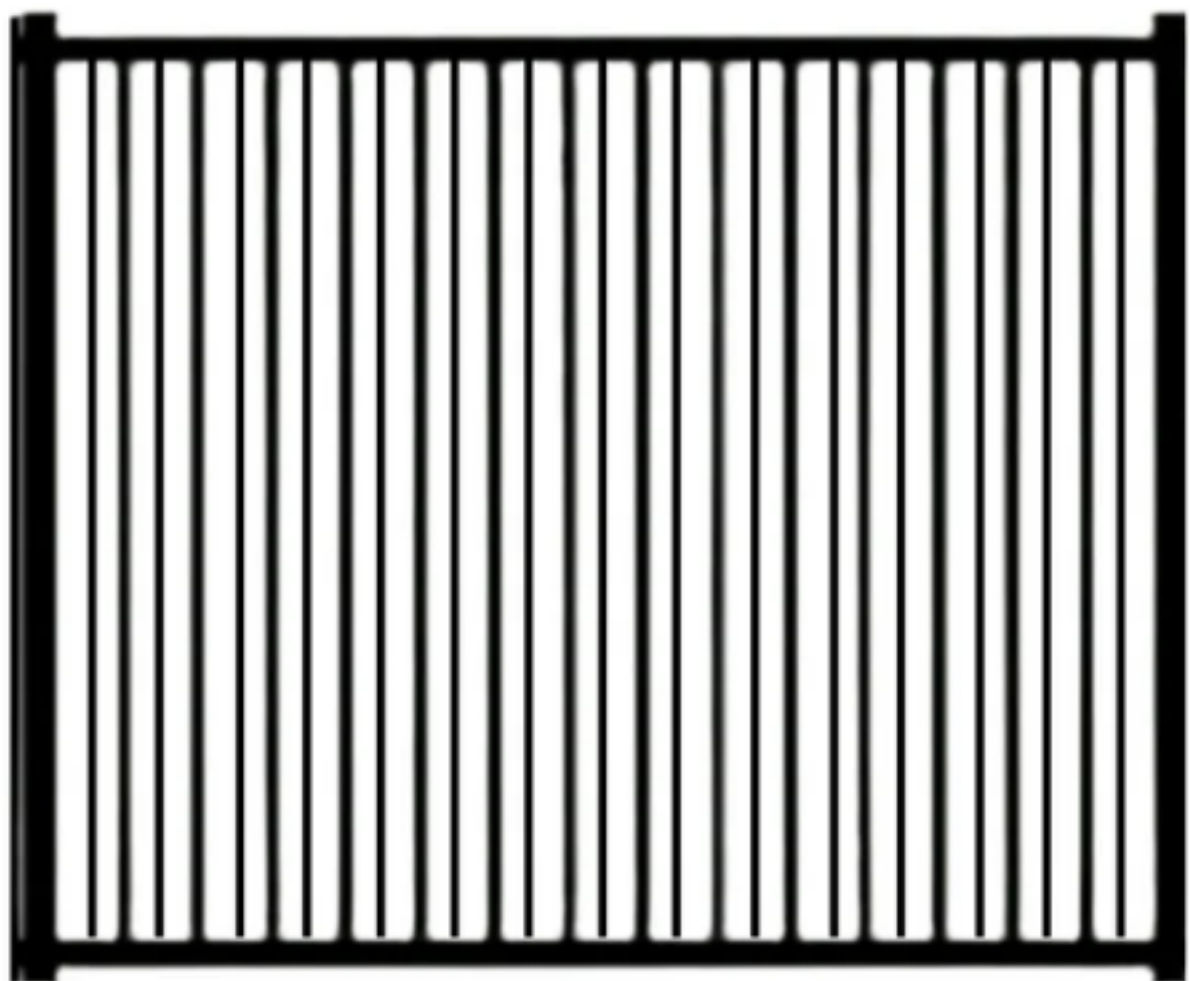
*Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.*



**ADDITIONAL DETAILS**

<p><b>9. OTHER</b> <i>Please provide any additional details. HDC Staff may ask you to submit additional information at a later time depending on your project.</i></p>	





## COMMERCIAL ALUMINUM WALK GATE

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\$411.25

Add a entry and exit point to your fence with an aluminum Commercial Walk Gate. Each gate comes standard with the hardware needed to open, close and latch your gate.

Please ensure to coordinate your gate style to your fence and picket style by selecting the appropriate boxes below. The height and color of your gate will be matched to the fence panels you order.

Our standard gates are 48", 60", 72" wide. All available at the same price. Custom gates are available please call for pricing. All gates are available in Black and Bronze with custom colors available. For custom colors, product or ordering info, please contact us at 423-343-1708.

### STYLE

BEAGLE

GERMAN SHEPHERD

BULLDOG

RETRIEVER

BORDER COLLIE

LABRADOR



# HAMILTON SQUARE DETROIT, LLC

9851 HAMILTON AVE  
DETROIT, MICHIGAN 48202

Permit Number: **BLD2024-00881**  
Detroit, MI 48226  
Phone (313) 305-9120  
**Headquarters**  
Rochester Hills  
**Branch Offices**  
Detroit | Grand Rapids | Novi | Lansing



www.sda-eng.com  
(800) 598-1600



**PROJECT INFORMATION**

**PROJECT DESCRIPTION:**  
REMODELING OF EXISTING STRUCTURE. CREATING AN APARTMENT COMPLEX OF FOUR (4) FLOORS (INCLUDING BASEMENT) CONSISTING OF FORTY-NINE (49) APARTMENT UNITS ; AND TWO (2) COMMERCIAL SPACES. OTHER SPACES INCLUDE STORAGE, ELECTRICAL ROOM AND MECHANICAL ROOM. EXISTING FOOTPRINT OF BUILDING IS 13,540 SQ.FT. AND 61 FEET TALL.

BUILDING SUMMARY:	EXISTING GROSS BUILDING AREAS:	
BASEMENT:	RESIDENTIAL DWELLING UNITS & ACCESSORY MECHANICAL & STORAGE AREAS	6345 SFG
FIRST FLOOR:	COMMERCIAL SPACE & RESIDENTIAL DWELLING UNITS	13,443 SFG
SECOND FLOOR:	RESIDENTIAL DWELLING UNITS	13,443 SFG
THIRD FLOOR:	RESIDENTIAL DWELLING UNITS	13,443 SFG
<b>TOTAL EXISTING GROSS BUILDING AREA</b>		<b>46,674 SFG</b>

LAND AREA SUMMARY:	
PARCEL "1":	0.271 ACRES
PARCEL "2":	0.271 ACRES
PARCEL "3":	0.081 ACRES
PARCEL "4":	0.081 ACRES
<b>TOTAL LAND AREA:</b>	<b>0.704 ACRES</b>

FLOOR AREA RATIO: 1.522	
TOTAL EXISTING GROSS BUILDING AREA:	46,674 SFG
TOTAL LAND AREA:	30,666 SFG

OFF-STREET PARKING REQUIRED:	
OFFICE (BUSINESS) (SEC. 50-14-52):	11 SPACES
1 PER 400 SFG	
MULTIPLE FAMILY DWELLING (SEC. 50-14-34):	37 SPACES
*0.75 PER UNIT x 49 UNITS	
* REDUCTION: 0.25 MILES FROM WOODWARD AVE HFTC	

TOTAL REQUIRED PARKING SPACES:	48 SPACES
<b>TOTAL PROVIDED PARKING SPACES:</b>	<b>59 SPACES</b>

INTERIOR LANDSCAPING REQUIREMENT:	
25-100 OFF-STREET PARKING SPACES (SEC. 50-14-343)	1,062 SFG
18 SFG x 59 SPACES PER PARKING SPACE	
4 SHADE TREES	

TOTAL REQUIRED INTERIOR LANDSCAPING:	1,062 SFG
<b>TOTAL PROVIDED INTERIOR LANDSCAPING:</b>	<b>1,088 SFG</b>

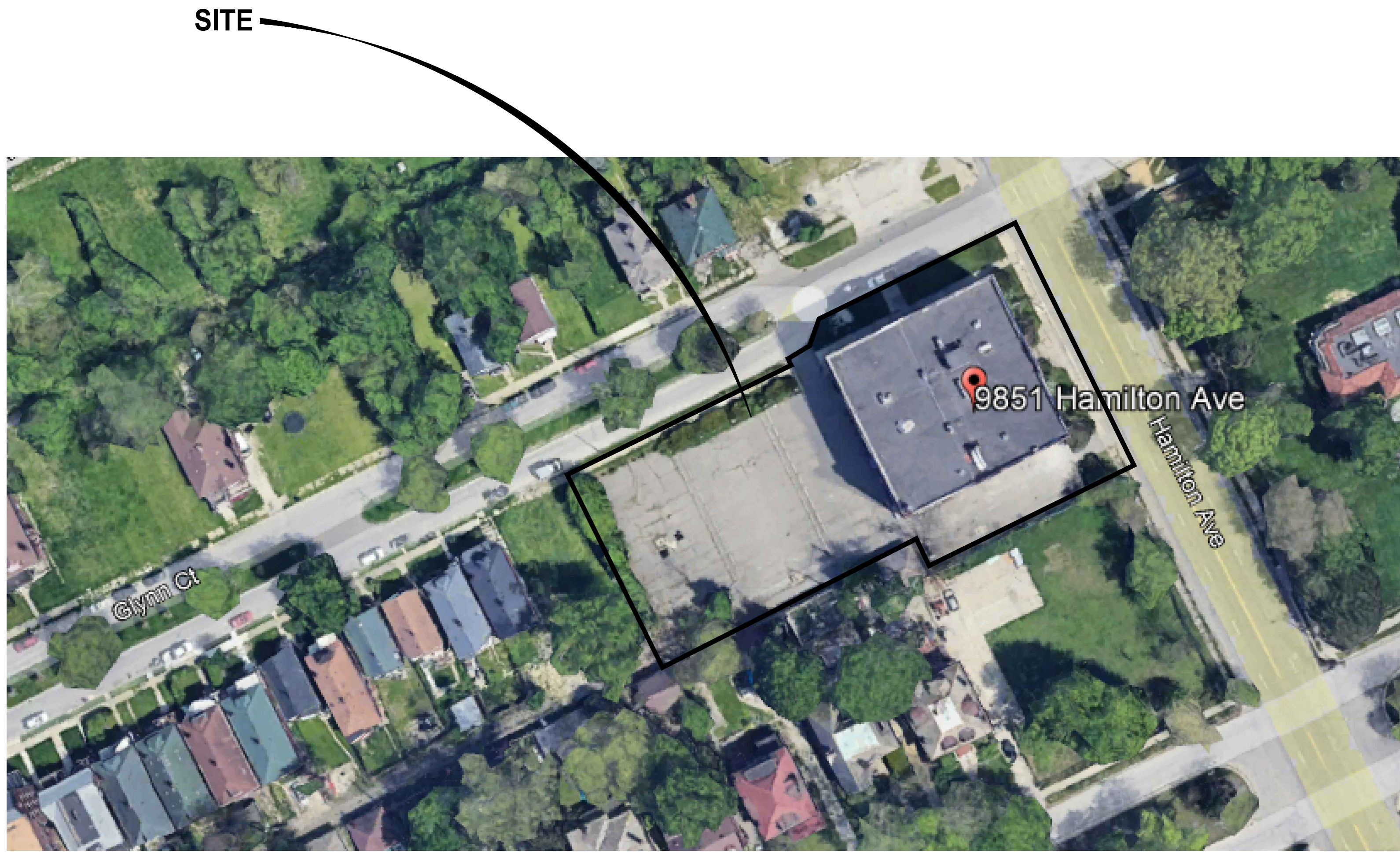
OFF-STREET LOADING ZONE REQUIREMENT:	
RETAIL (OFFICE) (SEC. 50-14-52):	1 - 12' X 35'
4,474 SFG	
MULTIPLE-FAMILY DWELLING (SEC. 50-14-112):	1 - 12' x 35'
49 UNITS	

TOTAL REQUIRED OFF-STREET LOADING ZONES:	2 - 12' X 35'
<b>TOTAL PROVIDED OFF-STREET LOADING ZONES:</b>	<b>2 - 12' X 35'</b>

**RIGHT OF WAY SCREENING REQUIRED: (SEC. 50-14-341)**  
**RIGHT OF WAY SCREENING PROVIDED: (SEC. 50-14-341)**  
30 INCH HIGH VEGETATION SCREENING - 75 PERCENT OPACITY  
1 TREE PER 30 LINEAR FEET



**OVERALL SITE MAP**  
NO SCALE

**SHEET INDEX**

C-000 - COVER  
C-100 - EXISTING CONDITIONS  
C-110 - DEMOLITION PLAN  
C-120 - SITE ENGINEERING PLAN  
C-130 - GRADING PLAN  
C-520 - SITE ENGINEERING PLAN DETAILS  
C-521 - SITE ENGINEERING PLAN DETAILS  
D-1.0 - DUMPSTER ENCLOSURE DETAILS (BY OTHERS)  
L-100 - LANDSCAPE PLAN

**LEGAL DESCRIPTION**

AS PROVIDED BY:  
COVENANT DEED RECORDED IN LIBER 57933, PAGE 1487, WAYNE COUNTY RECORDS DATED OCTOBER 31, 2022

LAND SITUATED IN THE CITY OF DETROIT, COUNTY OF WAYNE, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:

PARCEL 1: 06004346 - R4 ZONING DESIGNATION LOTS 10, 11, AND 12 INCLUDING VACATED ALLEYS ADJACENT THERETO, ADAMS AND PECKS 2ND NORTH END SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 17 OF PLATS, PAGE 13, WAYNE COUNTY RECORDS; ALSO THE NORTH 24 FEET OF LOTS 463 AND 454, BOSTON BOULEVARD SUBDIVISIONS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 29 OF PLATS, PAGE 23, WAYNE COUNTY RECORDS.

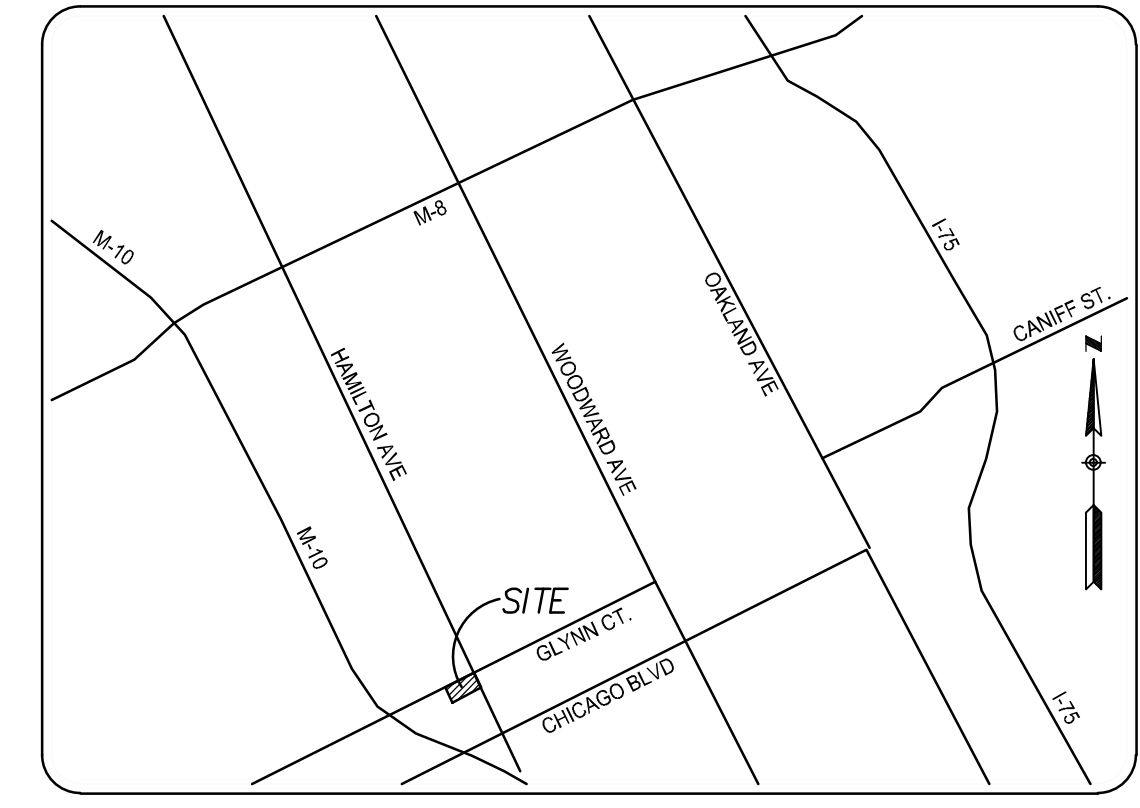
PARCEL 2: 06002635-7 - R3 ZONING DESIGNATION THE WEST 32.02 OF LOT 13, AND ALL OF LOTS 14 AND 15, ADAMS AND PECKS 2ND NORTH END SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 17 OF PLATS, PAGE 13, WAYNE COUNTY RECORDS.

PARCEL 3: 06002638 - R3 ZONING DESIGNATION LOT 16, ADAMS AND PECKS 2ND NORTH END SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 17 OF PLATS, PAGE 13, WAYNE COUNTY RECORDS.

PARCEL 4: 06002639 - R3 ZONING DESIGNATION LOT 17, ADAMS AND PECKS 2ND NORTH END SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 17 OF PLATS, PAGE 13, WAYNE COUNTY RECORDS.

**CIVIL ENGINEER**  
SPALDING DeDECKER  
119 STATE STREET, SUITE 500  
DETROIT, MICHIGAN 48226  
PHONE (313) 305-9120

**OWNER**  
HAMILTON SQUARE DETROIT, LLC  
79502 MOORSBRIDGE 104  
PORTAGE, MI, 49025



**LOCATION MAP**  
NOT TO SCALE

**811**  
Know what's below.  
Call before you dig.

PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES IN CONFLICT WITH PROPOSED IMPROVEMENTS SHALL BE VERIFIED IN THE FIELD. CALL MISS DIG'S WORKING DAYS PRIOR TO CONSTRUCTION.

**UTILITY NOTE**

UTILITY INFORMATION ON THIS DRAWING MAY BE FROM INFORMATION DISCLOSED TO THIS FIRM BY THE VARIOUS UTILITY COMPANIES, CITY/COUNTY AGENCIES AND OTHER VARIOUS SOURCES. UNDERGROUND UTILITIES WHICH ARE ON PRIVATE PROPERTY ARE USUALLY NOT DELINEATED UPON A UTILITY COMPANY'S PUBLISHED PLANS. THEIR LOCATION, IF SHOWN UPON THIS SURVEY, ARE APPROXIMATED FROM FOUND PAINT MARKS/STAKES, ETC. AS LOCATED BY THIS FIRM FROM SOURCES WHICH ARE UNKNOWN. NO GUARANTEE IS GIVEN AS TO THE COMPLETENESS OR ACCURACY THEREOF.

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**HAMILTON SQUARE**  
9851 HAMILTON AVE,  
DETROIT, MI 48202

**COVER**

SECTION 35  
TOWN 01 SOUTH RANGE 11 EAST  
CITY OF DETROIT  
WAYNE COUNTY, MICHIGAN

NO.	DATE	REVISION
1	11-17-23	DRAFT
2	03-08-24	OWNERS REVIEW
3	06-04-24	OWNERS REVIEW #2
4	07-10-24	BSEED SUBMITTAL
5	09-13-24	BSEED V2 SUBMITTAL
6	11-01-24	BSEED V3 SUBMITTAL

VERIFY SCALES  
BAR IS ONE INCH ON ORIGINAL DRAWING  
IF NOT ONE INCH ON THIS SHEET,  
ADJUST SCALES ACCORDINGLY

DATE	DATE
2024-10-28	2024-10-28
2024-10-28	2024-10-28
2024-10-28	2024-10-28
2024-10-28	2024-10-28
2024-10-28	2024-10-28
2024-10-28	2024-10-28
2024-10-28	2024-10-28

SCALE:	SHEET NO.
N.T.S.	C-000

Date: 1/27/2025

Permit Number: BL D2024-00881 Detroit, MI 48226 Phone (313) 305-9120

Headquarters Rochester Hills

Branch Offices

Detroit | Grand Rapids | Novi | Lansing



www.sda-eng.com (800) 598-1600



Know what's below. Call before you dig. PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES...

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HAMILTON SQUARE 9851 HAMILTON AVE, DETROIT, MI 48202

EXISTING CONDITIONS

SECTION 35 TOWN 01 SOUTH RANGE 11 EAST CITY OF DETROIT WAYNE COUNTY, MICHIGAN

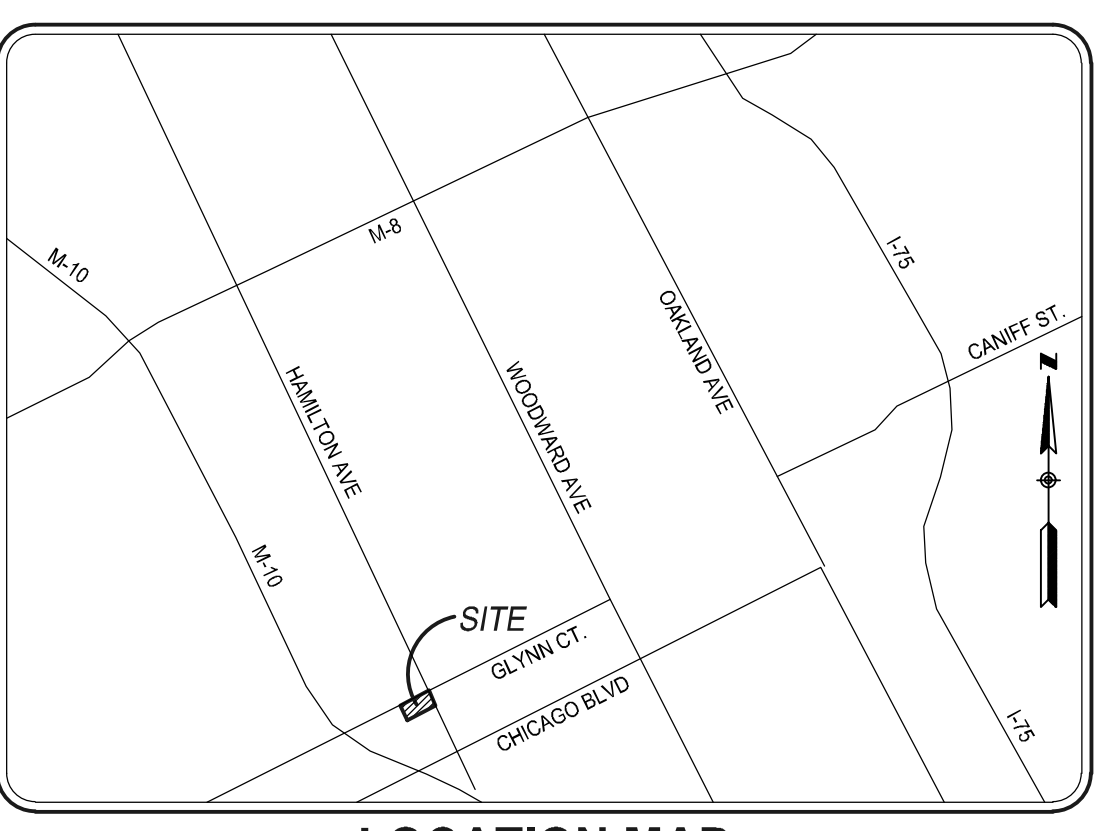
Table with 3 columns: NO., DATE, REVISION. Lists 6 revisions from 05-01-23 to 11-01-24.

VERIFY SCALES BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

Table with 2 columns: FIELD, DATE. Lists project details including drafter, designer, checker, and department manager approval.

LEGEND

- Legend items: MANHOLE, CATCH BASIN, SEWER CLEAN OUT, GAS METER, GAS SHUT OFF VALVE, VALVE BOX, GATE VALVE & WELL, WATER SHUT OFF VALVE, FIRE HYDRANT, SPRINKLER VALVE BOX, LAWN SPRINKLER HEAD, HAND HOLE, ELECTRIC RISER OR METER, TELEPHONE RISER, CABLE TV RISER, AIR CONDITION UNIT, UTILITY POLE, UTILITY POLE W/ TRANSFORMER, UTILITY POLE W/ LAMP EXTENSION, LIGHT POLE, LIGHT POLE WITH LAMP EXTENSION, TRAFFIC SIGNAL, POLE W/ TRAFFIC SIGNAL (OVER ROAD), GUY WIRE, GUY POLE, GROUND LEVEL (DECORATIVE LIGHTING), FLAG POLE, PHONE OR PHONE BOOTH, METAL OR CONC. POST, MAILBOX, SIGN, WATER FOUNTAIN, PARKING METER, BILLBOARD OR LARGE SIGN, BASKETBALL HOOP, BOULDER, STATUE OR SCULPTURE, BENCH, STUMP, DOWNSPOUT INTO STORM DRAIN, DOWNSPOUT TO GROUND, CONIFEROUS TREE, DECIDUOUS TREE, DECIDUOUS SHRUB, CONIFEROUS SHRUB, SECTION CORNER, TRAVERSE POINT, STRUCTURE NUMBER, SDA POINT No., SPOT ELEVATION, TOP OF CURB ELEVATION, GUTTER ELEVATION, TOP OF PAVEMENT ELEVATION, EDGE OF METAL ELEVATION, TOP OF WALK ELEVATION, TOP OF WALL ELEVATION, BOTTOM OF WALL ELEVATION, GROUND ELEVATION, UNDERGROUND, FIBER OPTIC, CONCRETE, ASPHALT, FINISH FLOOR ELEVATION, DOOR LEDGE ELEVATION, FOUND IRON, FOUND MONUMENT, FOUND P.K. NAIL, SET IRON W/SDA CAP, SET P.K. NAIL, SET P.K. NAIL W/SDA TAG, SET MAGNETIC NAIL, MAGTAG, MEASURED RECORD, CALCULATED, INVERT ELEVATION, CORRUGATED METAL PIPE, GAS, SANITARY SEWER (SAN), STORM SEWER (STW), WATERMAIN (WM), OVERHEAD WIRE, COMBINED SEWER, STEAM LINE, OIL LINE, UG FIBER (COMM), UG ELECTRIC (ELEC.), UG PHONE (PH), UG CABLE (CBL), CHAIN LINK FENCE (CL), WOOD FENCE, WOVEN WIRE FENCE (WW), QUARD RAIL, EDGE OF BRUSHWOODS, CENTERLINE OF DITCH, CULVERT, BANKTOP OF SLOPE, MAJOR CONTOUR, MINOR CONTOUR, BOUNDARY LINES, ROW LINES, SECTION LINES, PROPERTY LINES, ASPHALT, CONCRETE, GRAVEL, BRICK/PAVERS, WATER.



LOCATION MAP NOT TO SCALE

BENCHMARK NAVIGATIONS

Table with 3 columns: SITE, DESCRIPTION, ELEVATION. Lists three benchmarks (BM#100, BM#101, BM#102) with their locations and elevations.

STRUCTURE TABLE

THE STRUCTURE TABLE ON THIS DRAWING IDENTIFIES THE AS-SURVEYED UNDERGROUND UTILITY MANHOLES THAT WERE FIELD MEASURED USING REASONABLE AND TRADITIONAL SURVEYING PRACTICES...

Structure Table with columns: #, TYPE, RIM, SIZE, MTRL, INVERT, DIRECTION, CONNECT. Lists 13 structures including electric manholes, round catch basins, square catch basins, storm manholes, sewer manholes, electric manholes, and gate valve & well.

SURVEYOR'S COMMENTS

- 1. THIS TOPOGRAPHICAL MAP IS BASED UPON A FIELD SURVEY PERFORMED BY SPALDING DEDECKER DURING JANUARY OF 2023 (ALTA SURVEY) AND JANUARY OF 2024.
2. THE PROPERTY LINES/RIGHT-OF-WAY LINES SHOWN ON THIS TOPOGRAPHICAL SURVEY ARE FROM THE 2023 ALTA SURVEY BY SPALDING DEDECKER.
3. THIS SURVEY HAS BEEN PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE SEARCH THAT WOULD IDENTIFY ANY RECORDED EASEMENTS THAT ENCLUMBER THIS PROPERTY.
4. BEARINGS AND DISTANCES AS LABELED ON THE PROPERTY LINES ARE BASED UPON THE 2023 ALTA SURVEY BY SPALDING DEDECKER.
5. THE COORDINATE SYSTEM FOR THIS SURVEY IS THE STATE PLANE COORDINATE SYSTEM, MICHIGAN SOUTH ZONE (2113), BASED ON NAD83 (NRS82011).
6. THE VERTICAL DATUM OF THIS SURVEY IS BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83) AS ESTABLISHED WITH RTK GPS MEASUREMENTS USING A DATA LINK TO THE MDOT CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS).
7. THE PARKING LOT STRIPING SHOWN ON THIS SURVEY IS APPROXIMATE. DIMENSIONAL AND/OR ORIENTATION VARIATIONS MAY EXIST. THIS DRAWING SHOULD NOT BE USED FOR A PARKING SPACE COUNT.
8. THE UTILITY INFORMATION SHOWN ON THIS SURVEY IS BASED UPON A COMBINATION OF RECORD INFORMATION AND FIELD MEASUREMENTS.

LEGAL DESCRIPTION

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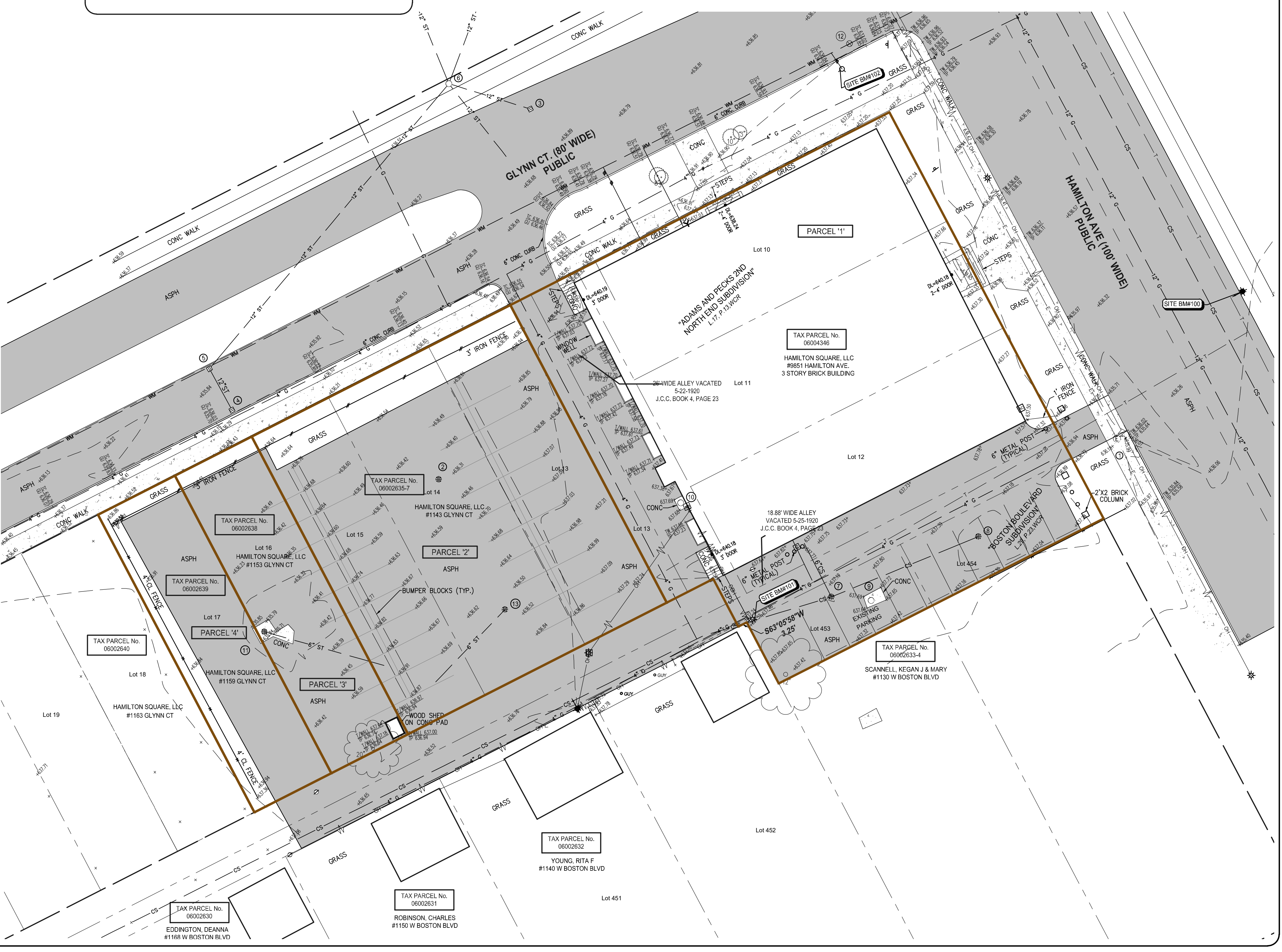
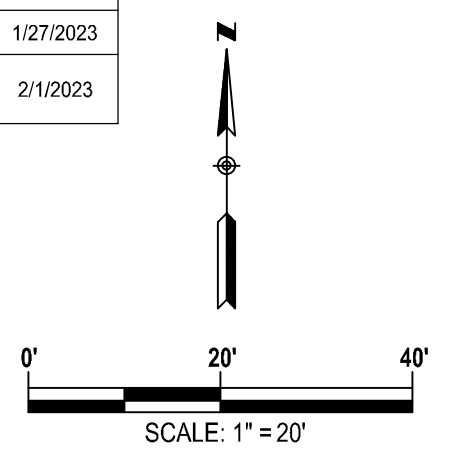
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PARCEL 3: 06002638 LOT 16, ADAMS AND PECKS 2ND NORTH END SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 17 OF PLATS, PAGE 13, WAYNE COUNTY RECORDS.

PARCEL 4: 06002639 LOT 17, ADAMS AND PECKS 2ND NORTH END SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 17 OF PLATS, PAGE 13, WAYNE COUNTY RECORDS.

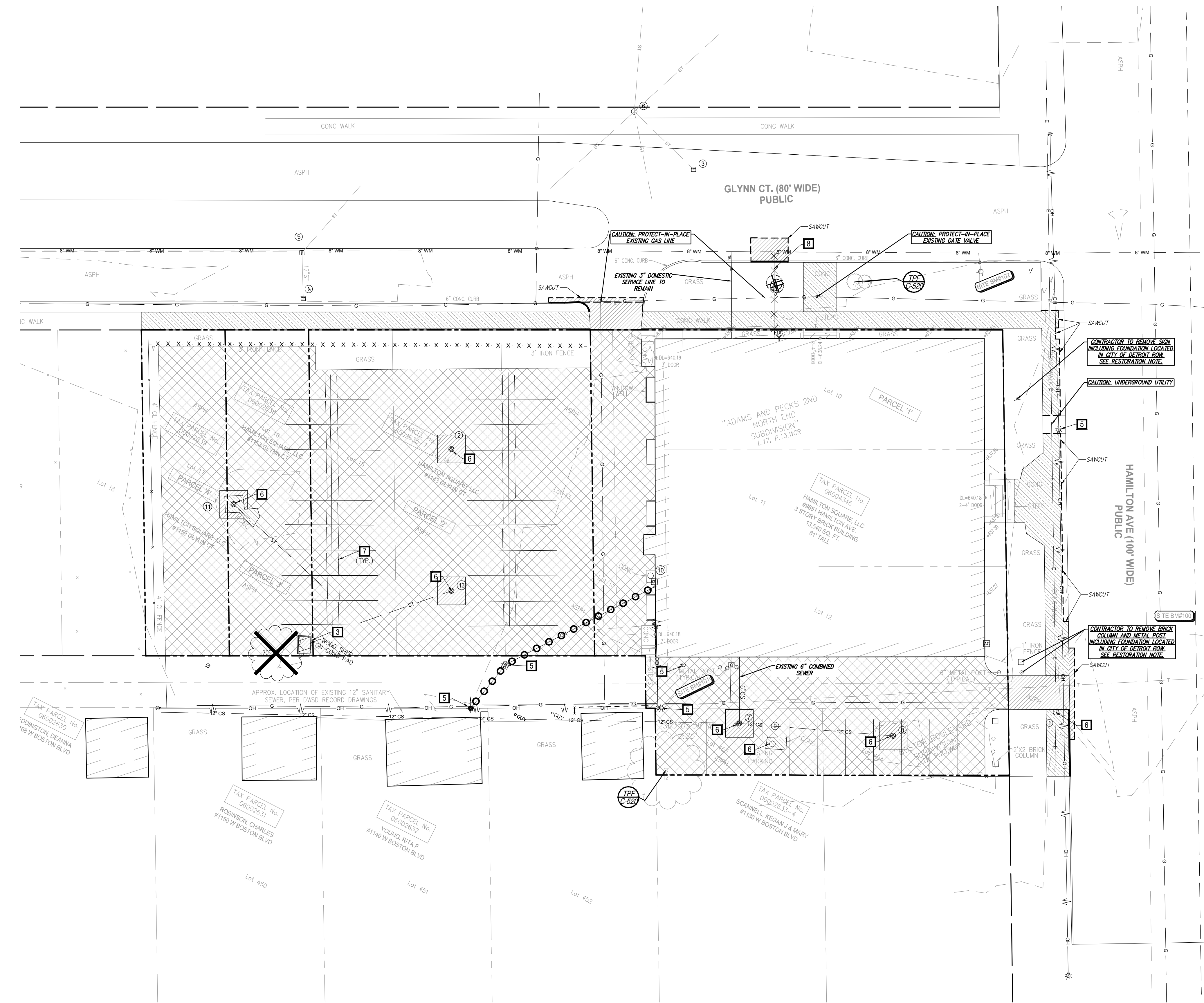
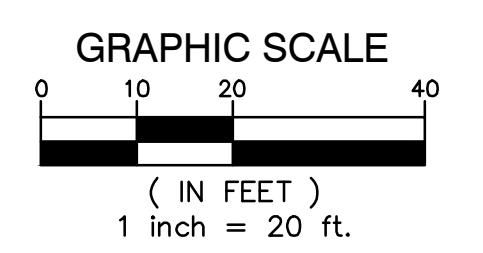
UTILITY CHART

Table with 4 columns: UTILITY PROVIDER, CONTACT #, MISS DIG RESULTS, DATE. Lists utility providers like AT&T, Comcast, Detroit City Water & Sewerage, etc.

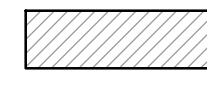
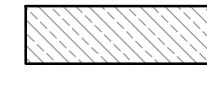

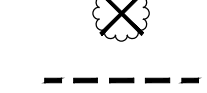
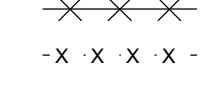
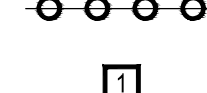
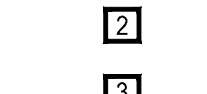

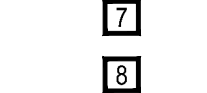





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**DEMOLITION LEGEND**

-  REMOVE ASPHALT PAVEMENT TO FULL DEPTH. SAWCUT FULL DEPTH WHERE NEW PAVEMENT WILL BE PLACED ADJACENT TO EXISTING PAVEMENT. EXCAVATE EXISTING AGGREGATE BASE AND SUBGRADE AS NECESSARY TO INSTALL NEW PAVEMENT SECTION AS SHOWN ON THE PAVING PLANS, INCLUDING NEW AGGREGATE BASE.
  -  REMOVE CONCRETE PAVEMENT TO FULL DEPTH. SAWCUT FULL DEPTH TO NEAREST JOINT WHERE NEW PAVEMENT WILL BE PLACED ADJACENT TO EXISTING PAVEMENT.
  -  MILL AND FILL EXISTING ASPHALT PAVEMENT TO 2" DEPTH.
  -  REMOVE CONCRETE CURB TO FULL DEPTH. SAWCUT FULL DEPTH WHERE NEW CURB AND/OR INTEGRAL WALK WILL BE PLACED ADJACENT TO EXISTING CURB TO REMAIN.
  -  REMOVE EXISTING TREE (INCLUDING STUMPS AND ROOTS).
  -  LIMITS OF EXCAVATION
  -  ABANDON-IN-PLACE EXISTING WATER PIPE. CUT AND CAP AT MAIN.
  -  REMOVE EXISTING FENCE, POSTS, AND FOOTINGS.
  -  PROJECT BOUNDARY.
  -  PROTECT-IN-PLACE OVERHEAD UTILITY WIRES.
- 1 CONTRACTOR TO COORDINATE WITH DTE ON REMOVAL AND REPLACEMENT OF UTILITY POLES.
  - 2 REMOVE EXISTING LIGHT POLES, INCLUDING POSTS AND FOOTINGS AND ALL ASSOCIATED ELECTRICAL EQUIPMENT. CAP EXISTING ELECTRICAL. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER.
  - 3 REMOVE EXISTING BUILDING INCLUDING FOUNDATION TO FULL DEPTH.
  - 4 REMOVE EXISTING POST INCLUDING FOUNDATION TO FULL DEPTH.
  - 5 PROTECT EXISTING UTILITY POLE AND GUY WIRE.
  - 6 PROTECT EXISTING UTILITIES AND UTILITY STRUCTURE. CONTRACTOR TO ADJUST STRUCTURE RIM TO MATCH PROPOSED ELEVATIONS.
  - 7 REMOVE AND SALVAGE PARKING BLOCK.
  - 8 CONTRACTOR TO CONDUCT EXPLORATORY INVESTIGATION TO DETERMINE EXACT LOCATION OF EXISTING SERVICE LINE TO BE ABANDONED.

**DEMOLITION NOTES**

- ALL DEPRESSIONS CREATED BY DEMOLITION PROCEDURES SHALL BE BACKFILLED WITH CLASS II FILL MATERIAL, IN 8" LIFTS COMPACTED TO 90% OF MAXIMUM UNIT WEIGHT, UP TO PROPOSED SUBGRADE.
- CONTRACTOR IS RESPONSIBLE FOR DOING AN EARTHWORK CALCULATION FOR CUT AND FILL REQUIREMENTS, AND IS RESPONSIBLE FOR INCLUDING IMPORT AND EXPORT OF MATERIALS IN THEIR BID. ALL EXCESS MATERIAL (INCLUDING TOPSOIL, CLEAN FILL, AND WASTE MATERIAL) SHALL BE REMOVED FROM THE SITE.
- CONTRACTOR SHALL UTILIZE A UTILITY LOCATOR TO STAKE PUBLIC AND PRIVATE UTILITY LOCATIONS PRIOR TO START OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE ANY DAMAGE TO EXISTING UTILITY LINES.
- CONTRACTOR TO ESTABLISH SEDIMENT EROSION CONTROL MEASURES PRIOR TO BEGINNING WORK, AS REQUIRED BY WAYNE COUNTY AND THE STATE OF MICHIGAN.
- ALL WORK IS TO BE IN CONFORMANCE WITH LOCAL STANDARDS, RULES AND REGULATIONS AS DETERMINED BY THE STATE OF MICHIGAN, WAYNE COUNTY, CITY OF DETROIT, AND ASSOCIATED UTILITIES.
- RESTORE ALL NON-PAVED AREAS WITH 3" OF CLEAN TOPSOIL, AND 500 PER SPEC SECTION 2920. PEG SOD IN PLACE ON SLOPES IN EXCESS OF 10 HORIZONTAL TO 1 VERTICAL USING WOODEN PEGS A MINIMUM OF 12" LONG. WATER SOD ON A REGULAR BASIS AS INDICATED IN THE SPECIFICATIONS.
- CONTRACTOR TO PROTECT EXISTING UTILITY STRUCTURES, SIGNS, POSTS, TREES, ETC. UNLESS OTHERWISE SPECIFIED ON PLANS.
- CONTRACTOR TO PROTECT-IN-PLACE ALL TREES THAT AREN'T SCHEDULED FOR REMOVAL SEE SHEET C-500 - TREE PROTECTION FENCE DETAIL.
- CONTRACTOR IS RESPONSIBLE TO NOTIFY OPERATION MANAGER AND ENGINEER PRIOR TO DEMOLITION/REMOVAL OF EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE TO RECONNECT EXISTING UTILITIES THAT ARE FOUND IN THE FIELD AT OPERATION MANAGER'S DIRECTION.

**RESTORATION NOTE**

RESTORE ALL NON-PAVED AREAS WITH 3" OF CLEAN TOPSOIL, AND 500 PER SPEC SECTION 2920. PEG SOD IN PLACE ON SLOPES IN EXCESS OF 10 HORIZONTAL TO 1 VERTICAL USING WOODEN PEGS A MINIMUM OF 12" LONG. WATER SOD ON A REGULAR BASIS AS INDICATED IN THE SPECIFICATIONS.



PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES IN CONFLICT WITH PROPOSED IMPROVEMENTS SHALL BE VERIFIED IN THE FIELD. CALL MISS DIG'S WORKING DAYS PRIOR TO CONSTRUCTION.

**UTILITY NOTE**

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**HAMILTON SQUARE**  
 9851 HAMILTON AVE,  
 DETROIT, MI 48202  
**DEMOLITION PLAN**

SECTION 35  
 TOWN 01 SOUTH RANGE 11 EAST  
 CITY OF DETROIT  
 WAYNE COUNTY, MICHIGAN

NO.	DATE	REVISION
1	11-17-23	DRAFT
2	03-08-24	OWNERS REVIEW
3	06-04-24	OWNERS REVIEW #2
4	07-10-24	BSEED SUBMITTAL
5	09-13-24	BSEED V2 SUBMITTAL
6	11-01-24	BSEED V3 SUBMITTAL

VERIFY SCALES  
 BAR IS ONE INCH ON ORIGINAL DRAWING  
 IF NOT ONE INCH ON THIS SHEET,  
 ADJUST SCALES ACCORDINGLY

DRAWER	DATE
JCI	2024-10-31
DESIGNER	DATE
JCI	2024-10-31
CHECKED	DATE
TLD	2024-10-31
PROJECT MANAGER	BID PLAN DATE
TLD	
DEPARTMENT MANAGER APPROVAL	DATE
TLD	2024-10-31
JOB NO.	DRAWING NO.
DE23002	DE23002STP
SCALE:	SHEET NO.
1" = 20'	C-110

Date: 1/27/2025

Permit Number: **BLD2024-00881**

Detroit, MI 48226  
Phone (313) 305-9120

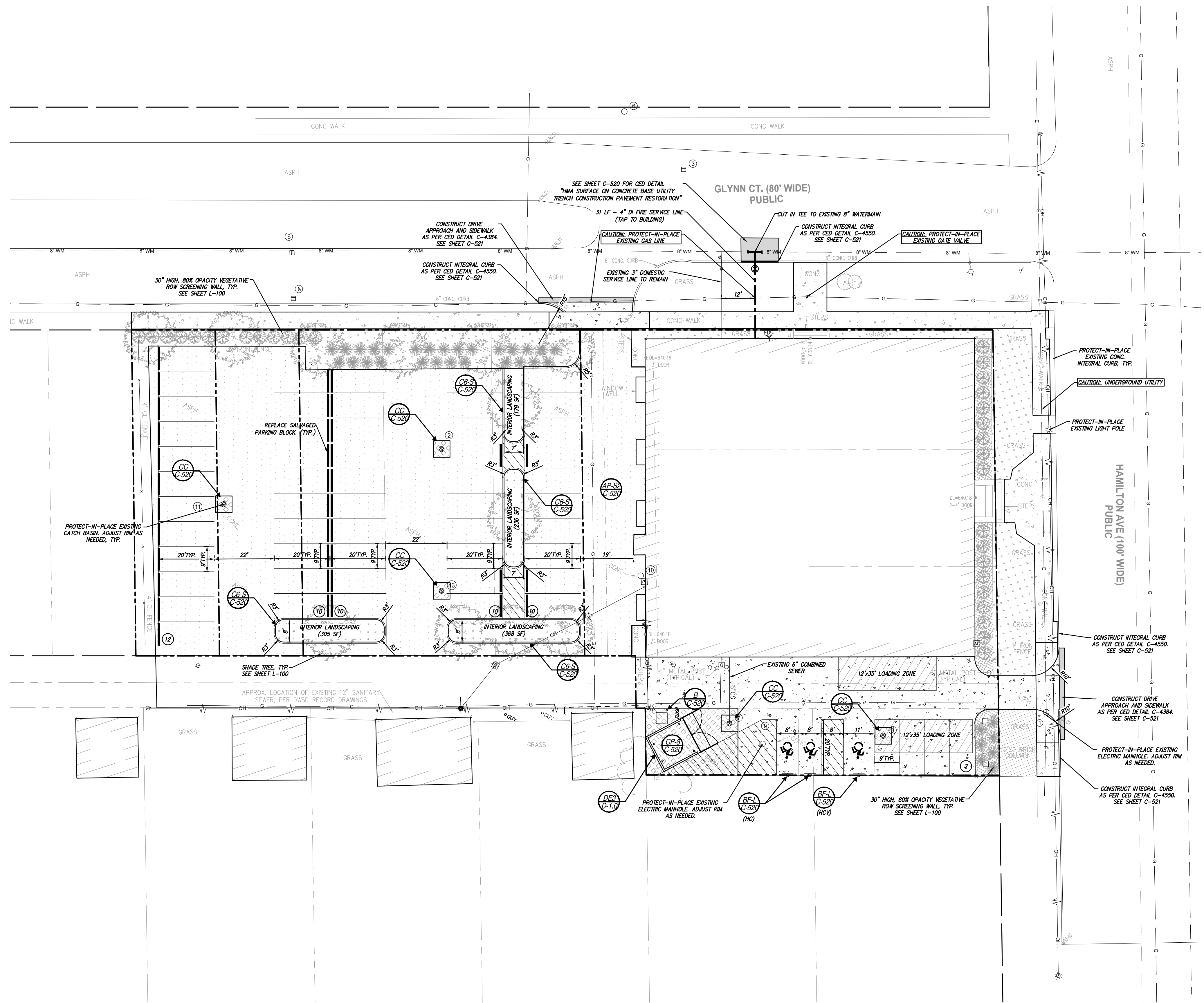
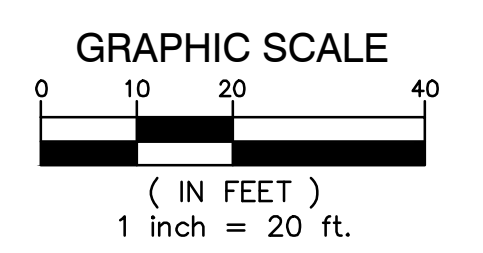
**Headquarters**  
Rochester Hills

**Branch Offices**

Detroit | Grand Rapids | Novi | Lansing



www.sda-eng.com  
(800) 598-1600



### PAVING LEGEND

- PROPERTY LINE
- STANDARD ASPHALT (PER CED SPECS)
- 8" CONCRETE PAVEMENT
- 6" CONCRETE PAVEMENT (PER CED DETAIL)
- 4" CONCRETE PAVEMENT (PER CED DETAIL)
- LANDSCAPE AREA
- MILL 2" OF EXISTING ASPHALT PAVEMENT AND RESURFACE, COMPLETE FULL DEPTH BASE REPAIRS AS REQUIRED
- PROPOSED HYDRANT
- PROPOSED GATE VALVE & WELL (GVW)
- PROPOSED TAPPING SLEEVE, VALVE & WELL (TSVW)
- PROPOSED SAN MANHOLE (SM)
- PROPOSED STORM MANHOLE (MH)
- PROPOSED CATCH BASIN (CB)
- PROPOSED INLET (INL)
- PROPOSED TREE (SEE LANDSCAPE PLAN)
- PROPOSED LIGHT (SEE LIGHTING PLAN)

### PAVING NOTES

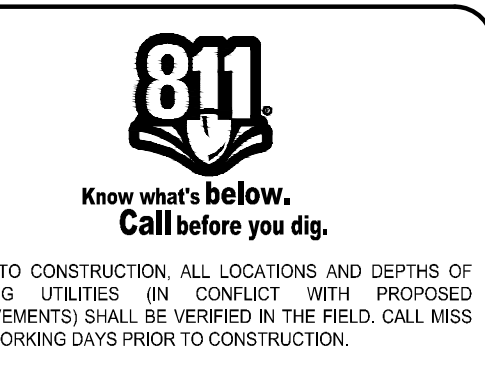
1. EARTHWORK AND PAVEMENT CONSTRUCTION SHALL BE ACCORDANCE WITH THE CURRENT CITY OF DETROIT STANDARD SPECIFICATIONS FOR PAVING AND RELATED CONSTRUCTION UNLESS OTHERWISE NOTED IN THE FOLLOWING ITEMS.
2. REMOVE ANY EXISTING TOPSOIL, VEGETATION, TREES AND OTHER DELETERIOUS MATERIALS TO EXPOSE THE SUBGRADE SOIL. TREE ROOTS SHALL BE COMPLETELY REMOVED.
3. EXCAVATE TO THE DEPTH OF THE FINAL SUBGRADE ELEVATION TO ALLOW FOR GRADE CHANGES AND THE PLACEMENT OF THE RECOMMENDED PAVEMENT SYSTEM.
4. THE TOP 12 INCHES OF THE EXPOSED SUBGRADE SHALL BE COMPACTED TO A DENSITY NO LESS THAN 95 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR (ASTM D 1557-91).
5. THE FINAL SUBGRADE SHALL BE THOROUGHLY PROTTROD UNDER THE OBSERVATION OF A GEOTECHNICAL/PAVEMENT ENGINEER. LOOSE OR WELDING AREAS WHICH CANNOT BE MECHANICALLY STABILIZED SHALL BE REMOVED AND REPLACED WITH ENGINEERED FILL OR AS DICTATED BY FIELD CONDITIONS.
6. THE AGGREGATE BASE SHALL BE COMPACTED TO A DENSITY NO LESS THAN 95 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR (ASTM D 1557-91). THE BASE SHALL EXTEND A MINIMUM OF 1 FOOT BEYOND THE PAVED EDGE.
7. ALL BITUMINOUS MATERIAL SHALL BE COMPACTED TO A DENSITY NO LESS THAN 97 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY THE MARSHALL METHOD.
8. A BOND COAT OF 55-1H EMULSION IS REQUIRED BETWEEN THE LEVELING COURSE AND THE WEARING COURSE WHEN EITHER 48 HOURS HAVE ELAPSED BETWEEN PLACEMENT OF THE BITUMINOUS COURSES OR THE SURFACE OF THE PAVEMENT HAS BEEN CONTAMINATED WITH DIRT, DUST, OR FOREIGN MATERIAL. THE BOND COAT SHALL BE APPLIED IN A UNIFORM MANNER OVER THE SURFACE AT A RATE OF 0.1 GALLONS/SY. IN THE EVENT A BOND COAT IS NOT REQUIRED, THE LEVELING COURSE MAY REQUIRE LOCALIZED BROOM CLEANING.
9. PERFORMANCE GRADE PG64-22 ASPHALT CEMENT SHALL BE USED IN THE PRODUCTION OF ALL BITUMINOUS MIXTURES. RECLAIMED ASPHALT PAVEMENT (RAP) SHALL BE ALLOWED IN THE SURFACE COURSE ONLY AS SPECIFIED BY THE CURRENT MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
10. CONSTRUCTION TRAFFIC SHALL BE MINIMIZED ON THE NEW PAVEMENT. IF CONSTRUCTION TRAFFIC IS ANTICIPATED ON THE PAVEMENT STRUCTURE, THE PLACEMENT OF THE FINAL LIFT SHALL BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED. THIS ACTION WILL ALLOW REPAIR OF LOCALIZED FAILURES, IF ANY DOES OCCUR, AS WELL AS REDUCE LOAD DAMAGE ON THE PAVEMENT SYSTEM. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR TO ANY DAMAGED SECTION RESULTING FROM CONSTRUCTION ACTIVITY.
11. TAPER CURB HEIGHT DOWN TO ZERO HEIGHT IN FIVE FEET AT ALL CURB ENDINGS UNLESS OTHERWISE NOTED ON THE PLAN.
12. WHERE CURB AND GUTTER SECTION IS ADJACENT TO A ADA RAMP, DROP CURB HEIGHT TO MAXIMUM 1/4" ACROSS THE RAMP OPENING.
13. STRIPE PARKING LOTS AS SHOWN, USING 4" PAVEMENT MARKING - BLUE FOR ADA SPACES, WHITE FOR STANDARD SPACES. IF NEW PARKING LAYOUT IS NOT INDICATED, MATCH ORIGINAL STRIPING PATTERN.
14. CONTRACTOR SHALL PROTECT EXISTING CURB, GUTTER, SIDEWALK, WALLS, FENCES AND ALL OTHER EXISTING SITE FEATURES NOT INDICATED FOR REMOVAL OR REHABILITATION.
15. PLACE EXPANSION JOINTS WHERE NEW CONCRETE PAVEMENT OR WALKS ABUT BUILDING WALLS (PROPOSED OR EXISTING), CURB OR EXISTING CONCRETE PAVEMENT. PLACE JOINT SEALANT ON ALL EXPANSION JOINTS.
16. CONTRACTOR TO CONSTRUCT CONTRACTION AND EXPANSION JOINTS IN ALL NEW CONCRETE PAVEMENT. CONTRACTION JOINTS SHALL BE TOoled WHERE SIDEWALK WIDTH IS 8' OR LESS AND SHALL BE SPACED EQUAL TO THE WIDTH OF THE PAVEMENT (I.E. 8" SPACING FOR 8" WIDE WALK), BUT NOT MORE THAN 10' APART. PLACE EXPANSION JOINTS WITH JOINT SEALANT AT MAXIMUM 50' SPACING.
17. CONCRETE PAVEMENT SHALL MEET THE REQUIREMENTS FOR THE CITY OF DETROIT ENGINEERING DEPARTMENT STANDARD DETAILS.
18. CONTRACTOR TO REFER TO CITY OF DETROIT ENGINEERING DIVISION STANDARD DETAIL FOR "MA SURFACE ON CONCRETE BASE UTILITY TRENCH CONSTRUCTION PAVEMENT RESTORATION" ON SHEET C-520.
19. CONTRACTOR TO RELOCATE SALVAGED TRAFFIC SIGNS TO MATCH EXISTING LOCATION.
20. CONTRACTOR TO COORDINATE WITH DTE ON LOCATIONS OF UTILITY POLE REPLACEMENT PRIOR TO CONCRETE WORK IN ALL AREAS.
21. ALL ADA SIDEWALK RAMP WITH WARNING STRIPS SHALL BE PROVIDED AT ALL INTERSECTIONS, AND COMPLY TO THE MICHIGAN DEPARTMENT OF TRANSPORTATION DETAIL R-28-B.
22. CONTRACTOR TO ADJUST THE RIM OF ALL EXISTING STRUCTURES WITHIN PAVING LIMITS SHOWN AND AREAS AFFECTED BY THE INSTALLATION OF CURB ON PUBLIC STREETS.
23. CONTRACTOR TO COORDINATE WITH DTE ON THE LOCATION AND POURING OF 4" CONCRETE PAD FOR MOVED EQUIPMENT.
24. REFER TO SHEET L-100 FOR ALL TREES AND PLANTINGS.

### RESTORATION NOTE

RESTORE ALL NON-PAVED AREAS WITH 3" OF CLEAN TOPSOIL AND SOD PER SPEC SECTION 2920.  
PER SOD IN PLACE ON SLOPES IN EXCESS OF HORIZONTAL TO 1 VERTICAL USING WOODEN PESS A MINIMUM OF 12" LONG. WATER SOD ON A REGULAR BASIS AS INDICATED IN THE SPECIFICATIONS.

### RIM ADJUSTMENT NOTE:

REMOVE EXISTING CASTING, COVER AND ADJUSTMENT MATERIALS FROM DRAINAGE STRUCTURE. SALVAGE CASTING AND COVER FOR REINSTALLATION AND PROVIDE NEW ADJUSTMENT BRICK/BLOCK/RINGS. REINSTALL ACCORDING TO STANDARD DETAILS (IF INCLUDED). PROTECT EXISTING UTILITY STRUCTURE TO REMAIN.



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## HAMILTON SQUARE

9851 HAMILTON AVE,  
DETROIT, MI 48202

### SITE ENGINEERING PLAN

SECTION 35  
TOWN 01 SOUTH RANGE 11 EAST  
CITY OF DETROIT  
WAYNE COUNTY, MICHIGAN

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	2024-11-01
JOB NO.	DRAWING NO.
DE23002	DE23002SPL
SCALE:	SHEET NO.
1" = 20'	C-120

