



HISTORIC DISTRICT COMMISSION APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

APPLICATION ID
HDC2025-00048

PROPERTY INFORMATION

ADDRESS(ES): 1817 Leverette Street
HISTORIC DISTRICT: Corktown

SCOPE OF WORK: (Check ALL that apply)

- | | | | | | |
|---|--|---------------------------------------|--|---|--------------------------------|
| <input type="checkbox"/> Windows/ Doors | <input type="checkbox"/> Walls/ Siding | <input type="checkbox"/> Painting | <input type="checkbox"/> Roof/Gutters/ Chimney | <input checked="" type="checkbox"/> Porch/Deck/Balcony | <input type="checkbox"/> Other |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Signage | <input type="checkbox"/> New Building | <input checked="" type="checkbox"/> Addition | <input type="checkbox"/> Site Improvements (landscape, trees, fences, patios, etc.) | |

BRIEF PROJECT DESCRIPTION:
<p>The existing home is a two-story wood framed home originally constructed in 1903. The front portion of the house has a front-facing gable, and a gabled porch. The rear of the home has an existing unconditioned sunroom with a shed roof in poor repair, also containing a basement access stair. The house's siding and trim were replaced with light yellow clapboard-style aluminum siding with white aluminum window trim prior to the current owner's purchase in 1984.</p> <p>The project will remove an existing dilapidated enclosed basement stair and sunroom addition on the rear of the building. The basement stairs are not in compliance with current codes and are difficult to use. The project will create a new addition, including a new basement stair and three-sea</p>

APPLICANT IDENTIFICATION

TYPE OF APPLICANT: Architect/Engineer/Consultant			
NAME: Elise DeChard	COMPANY NAME: END Studio		
ADDRESS: 2000 Brooklyn Street #204	CITY: Detroit	STATE: MI	ZIP: 48226
PHONE: +1 (313) 626-7073	EMAIL: elise@e-n-d-studio.com		

I AGREE TO AND AFFIRM THE FOLLOWING:

- I understand that the failure to upload all required documentation may result in extended review times for my project and/or a denied application.
- I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work.
- I hereby certify that the information on this application is true and correct. I certify that the proposed work is authorized by the owner of record and I have been authorized to make this application as the property owner(s) authorized agent.

DocuSigned by:
Elise DeChard
E3FC407DFEC0491...

02/05/2025
DATE

SIGNATURE

NOTE: Based on the scope of work, additional documentation may be required. See www.detroitmi.gov/hdc for scope-specific requirements.

PROJECT DETAILS – TELL US ABOUT YOUR PROJECT

Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.

ePLANS PERMIT NUMBER:

(only applicable if you've already applied for permits through ePLANS)

N/A

GENERAL

1. DESCRIPTION OF EXISTING CONDITION

Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")

See attached



2. PHOTOGRAPHS

Help us understand your project. Please attach photographs of all areas where work is proposed.



3. DESCRIPTION OF PROJECT

In this box, tell us about what you want to do at the areas described above in box #1. (For example, "Install new asphalt shingle roofing at garage.")

See attached



4. DETAILED SCOPE OF WORK

In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")

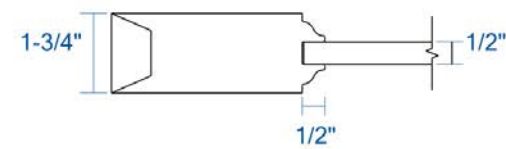
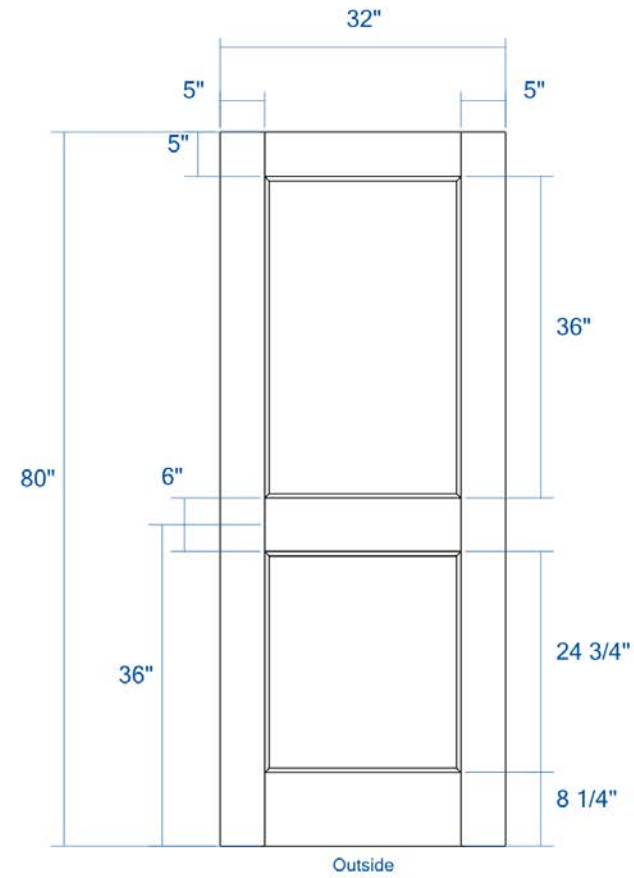
See attached

5. BROCHURES/CUT SHEETS

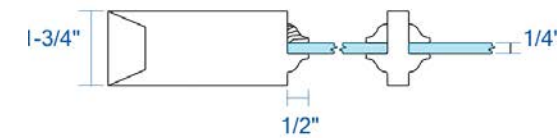
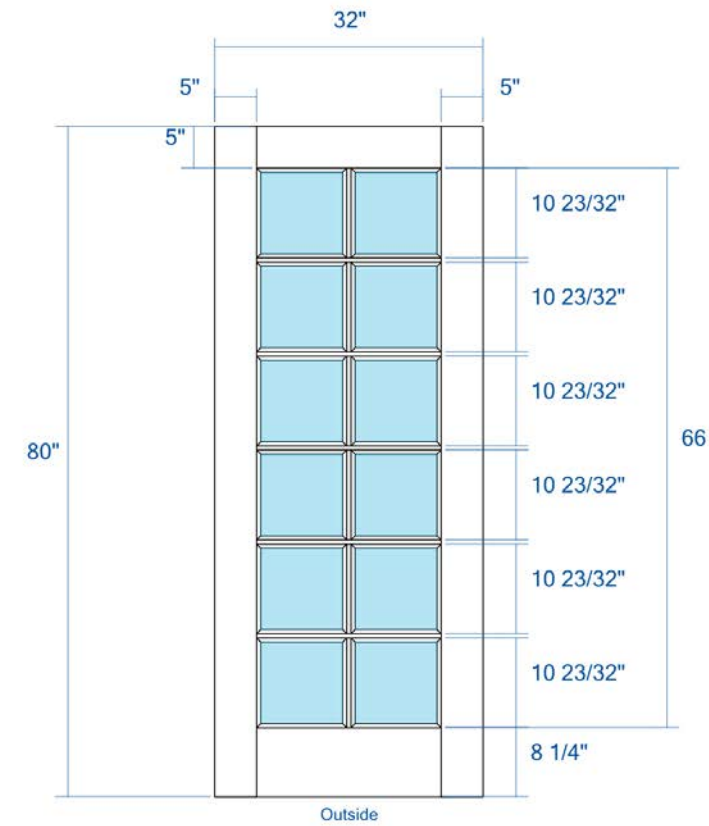
Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.

ADDITIONAL DETAILS

EXTERIOR DOORS TO BE PRIMED WHITE AND PAINTED TO MATCH NEW WINDOW TRIM

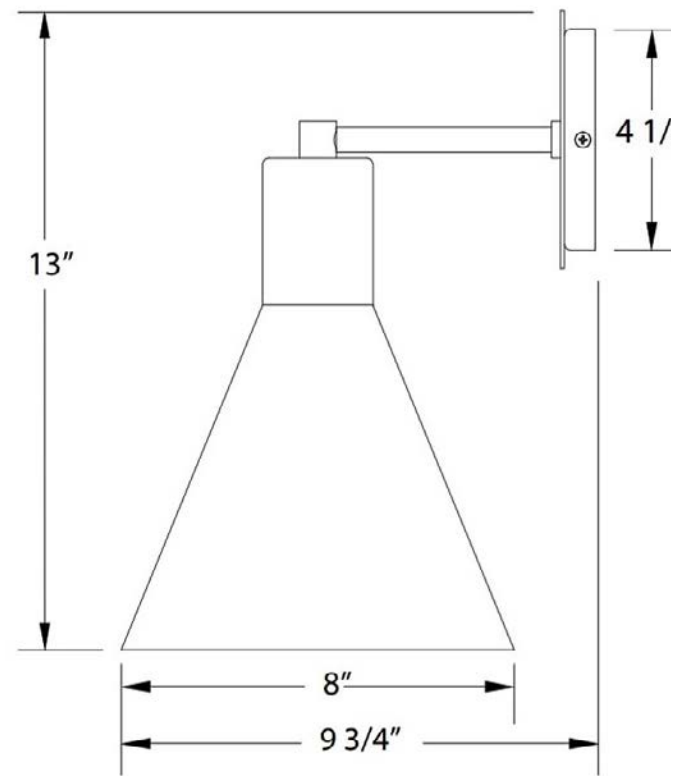


Door Style	Sticking	Panel	Material
TS2020	OG	C	MDF



Door Style	Sticking	Panel	Material	Glass / Insert
FL1200	OG	NA	MDF	1/4\" Clear Tempered

BARRET CONICAL OUTDOOR WALL SCONCE - ALDER & ORE



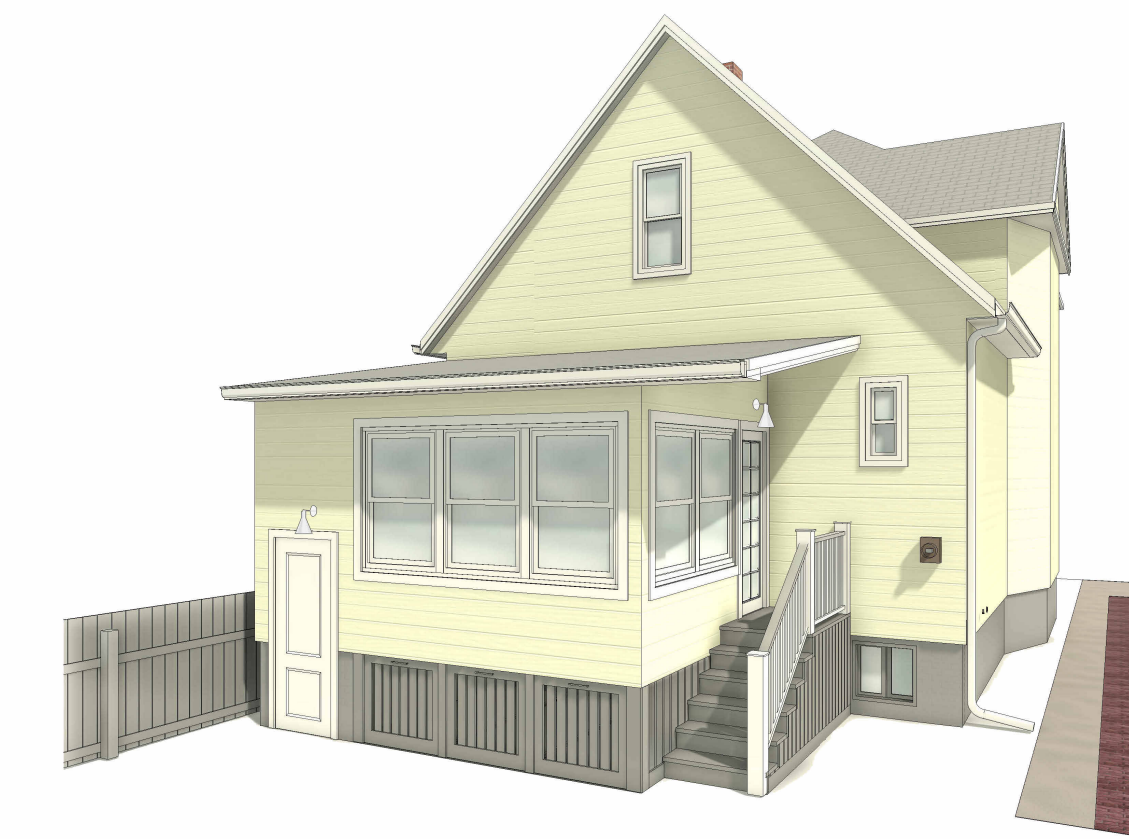
ALLENSON HOME

ARCHITECT
ELISE DECHARD, AIA
END STUDIO, LLC
2000 BROOKLYN STREET #204
DETROIT, MI 48226
313.626.7073
ELISE@E-N-D-STUDIO.COM

BUILDING OWNER
TOM & MAUREEN ALLENSON
1817 LEVERETTE STREET
DETROIT, MI 48226
TALLENSON416@GMAIL.COM

STRUCTURAL ENGINEER
ALEXANDER LAMB, PH.D., P.E.
METROPOLITAN STRUCTURAL
ENGINEERS & ASSOCIATES INC.
248.561.2035
ALEXANDER@MJLAMB.NET

CONTRACTOR
TBD



END STUDIO, LLC
2000 Brooklyn St. #204
Detroit, MI 48226
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e-n-d-studio.com

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE USED FOR OTHER PROJECTS, FOR ADDITIONAL TO THIS PROJECT OR COMPLETION OF THIS PROJECT BY OTHERS.

PROJECT INFORMATION

OWNER: TOM & MAUREEN ALLENSON
ADDRESS: 1817 LEVERETTE STREET
DETROIT, MI 48216
PARCEL ID NUMBER: 08000425
REGULATING BODY: CITY OF DETROIT
ZONING: R2 TWO-FAMILY RESIDENTIAL
HISTORIC DISTRICT: CORKTOWN

ZONING

INTENSITY & DIMENSIONAL STANDARDS

MAX. BUILDING HEIGHT: 35'-0"
MAX. LOT COVERAGE: 35%
MIN. LOT WIDTH: 50'-0"
MIN. LOT AREA: 5,000 SF
FRONT SETBACK: 20'-0"
SIDE SETBACK: 4'-0" MIN OR 14'-0" COMBINED
REAR SETBACK: 30'-0"

EXISTING

LOT WIDTH: 33'-0"
LOT DEPTH: 131'-0"
LOT AREA: 4,312 SF

FRONT YARD SETBACK: 23'-1 1/2"
SIDE YARD SETBACK: 1'-2" TO 1'-4 1/2" WEST / 8'-0" TO 18'-9" EAST
REAR YARD SETBACK: 57'-6 1/2"

EX. BUILDING FOOTPRINT: 1,173 SF
LOT COVERAGE: 27% = 1,173 SF / 4,312 SF

EX. HOUSE AREA: 2,063 SF
EX. BUILDING HEIGHT: 30'-8"
STORIES: 2

PROPOSED

LOT WIDTH: 33'-0"
LOT DEPTH: 131'-0"
LOT AREA: 4,312 SF

EX. BUILDING FOOTPRINT: 1,173 SF
DEMOED: 70 SF
ADDITION: 159 SF
TOTAL: 1,262 SF
LOT COVERAGE: 29% = 1,262 SF / 4,312 SF

FRONT SETBACK: NO CHANGE
REAR SETBACK: 51'-0"
SIDE SETBACK: 1'-2" TO 1'-4 1/2" WEST / 8'-0" TO 16'-4" EAST

HOUSE AREA: 2,171 SF
BUILDING HEIGHT: 30'-8"
STORIES: 2

CODE COMPLIANCE

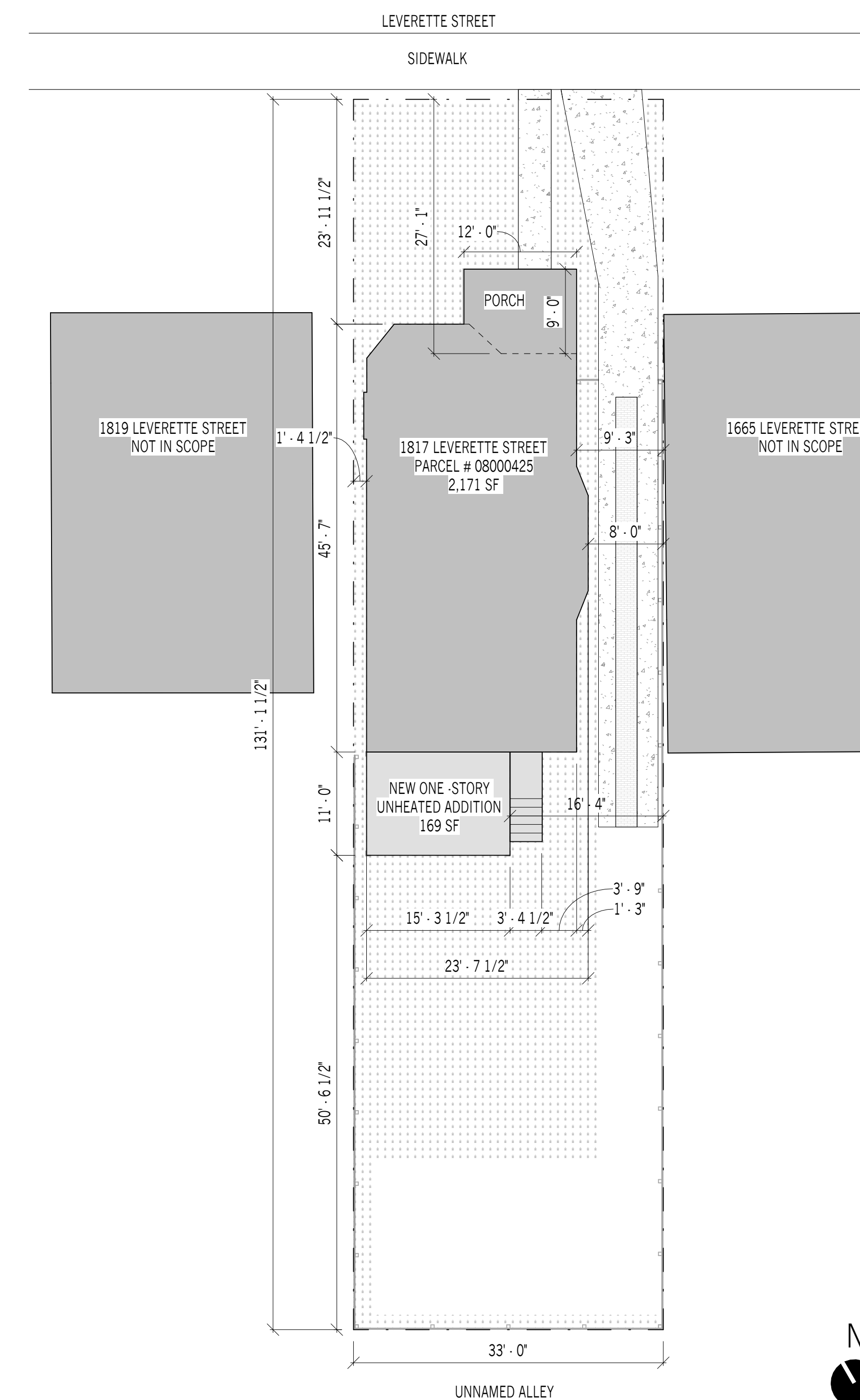
THE PROPOSED CONSTRUCTION IS IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL ORDINANCES

THE CONSTRUCTION SHOWN ON THIS DOCUMENT DOES NOT INFRINGE ON THE EXISTING LIFE SAFETY FOR THIS BUILDING. PERFORM ALL WORK IN ACCORDANCE WITH BUILDING CODES, LAWS AND ORDINANCES HAVING JURISDICTION ON THE PROJECT. ORDINANCES HAVING JURISDICTION ON THE PROJECT INCLUDE BUT ARE NOT LIMITED TO:

2015 MICHIGAN RESIDENTIAL CODE

SHEET LIST

#	SHEET NAME	HDC SUBMISSION
TITLE		
T-000	TITLE SHEET	●
GENERAL		
G-001	GENERAL NOTES	●
DEMOLITION		
D-100	DEMO PLANS	●
ARCHITECTURE		
A-001	SCHEDULES	●
A-100	BASEMENT FLOOR PLANS AND RCP	●
A-101	FIRST FLOOR PLAN AND RCP	●
A-102	ROOF PLAN	●
A-300	EXTERIOR ELEVATIONS	●



1 SITE PLAN
SCALE: 1" = 10'-0"

ALLENSON HOME
1817 LEVERETTE STREET,
DETROIT, MI 48216

NO.	ISSUE/REV.	DATE
1	HDC SUBMISSION	01.29.2025

NOTE: NOT FOR
CONSTRUCTION PURPOSES

TITLE SHEET

T-000

MATERIAL KEY

	EXISTING WALL TO REMAIN		DRYWALL / PLASTER
	NEW WALL CONSTRUCTION		EARTH / SOIL
	CAST IN PLACE CONCRETE		PLYWOOD
	CONCRETE MASONRY UNIT (CMU)		WOOD
	BRICK MASONRY		WOOD - DIMENSIONAL LUMBER
	CRUSHED STONE		WOOD - BLOCKING
	STEEL		BATT INSULATION
	ALUMINUM		SPRAY FOAM INSULATION
	RIGID INSULATION		DEMO WALL

DRAWING SYMBOL KEY

	ROOM TAG		F FLOOR
	DOOR TAG		W WALL
	WINDOW TAG		C CEILING
	WALL TYPE		B BASE
	PLUMBING/EQUIP TAG		T TRIM
	EXTERIOR ELEVATION		CR CROWN
	INTERIOR ELEVATION(S)		MW MILLWORK
	SECTION		UPH UPHOLSTERY
	DETAIL CALL OUT		REVISION TAG
			STRUCTURAL GRID LINE
			ELEVATION MARKER
			LOT LINE
			SETBACK
			ONE HOUR WALL
			TWO HOUR WALL

ABBREVIATIONS

ABV ABOVE	COL COLUMN	ENCL ENCLOSURE	GC GENERAL CONTRACTOR	INT INTERIOR	MFTR MANUFACTURER	PLUM PLUMBING	SF SQUARE FOOT	W/O WITHOUT
ACOUS ACOUSTICAL	CONC CONCRETE	ENG ENGINEER	GLZ GLAZING	JBOX JUNCTION BOX	MH MANHOLE	PLY PLYWOOD	SHT SHEET	WAT WATER
ADA AMERICANS WITH DISABILITIES ACT	CONST CONSTRUCTION	EQ EQUAL	GR GRADE	JC JANITORS CLOSET	MIN MINIMUM	PNT PAINT	SIM SIMILAR	WC WATER CLOSET
ADD ADDITIONAL	CONT CONTINUOUS	EQUIP EQUIPMENT	GUT GUTTER	JST JOIST	MIR MIRROR	POL POLISHED	SPEC SPECIFICATION	WD WOOD
ADJ ADJACENT	COORD COORDINATE	EST ESTIMATE(D)	GWB GYPSUM WALL BOARD	JNT JOINT	MISC MISCELLANEOUS	PRTN PARTITION	SQ SQUARE	WP WATERPROOFING
AFF ABOVE FINISHED FLOOR	CORR CORR	EXH EXHAUST	H/C HANDICAPPED		MMR MOISTURE & MOLD RESISTANT	PSF POUNDS PER SQUARE FOOT	SS STAINLESS STEEL	WPT WORKING POINT
ALT ALTERNATE	CPT CARPET	EXP JT EXPANSION JOINT	HALG HALOGEN	KIT KITCHEN	MO MASONRY OPENING	PT PRESSURE TREATED	STD STANDARD	WT WEIGHT
ALW ALLOW	CTR CENTER	EXIST EXISTING	HB HOSE BIB	L LENGTH	MTL METAL	PTD PAINTED	STL STEEL	& + AND
ALWB ALLOWABLE	CW COLD WATER	EXT EXTERIOR	HC HOLLOW CORE	LAM LAMINATE	MUL MULLION	QUAL QUALITY	STR STRUCTURE	@ AT
ALUM ALUMINUM			HD HEAD	LAV LAVATORY	NFC NOT FOR CONSTRUCTION	QTY QUANTITY	SUP SUPPLY	
ANOD ANODIZED	DBL DOUBLE	F&I FURNISH AND INSTALL	HDF HIGH DENSITY FIBER BOARD	LBS POUNDS	NIC NOT IN CONTRACT	R RISER	SUSP SUSPENDED	
ARCH ARCHITECT	DEM DEMOLITION	FAB FABRICATE	HDWR HARDWARE	LF LINEAR FEET	NO NUMBER	RAD RADIUS	SYM SYMMETRICAL	
ASMB ASSEMBLY	DIA DIAMETER	FBO FURNISH BY OWNER	HM HOLLOW METAL	LN LINEAR	NOM NOMINAL	RD ROOF DRAIN	SYST SYSTEM	
BLDG BUILDING	DEG DEGREE	FLDR FLOOR DRAIN	HORZ HORIZONTAL	LT LIGHT	NTS NOT TO SCALE	RECT RECTANGULAR	UL UNDERWRITERS LABORATORY	
BLT-IN BUILT-IN	DIM DIMENSION	FIN FINISH(ED)	HR HOUR	MACH MACHINE	OC ON CENTER	REF REFERENCE	UON UNLESS OTHERWISE NOTED	
BTW BETWEEN	DW DRYWALL	FLG FLOORING	HT HEIGHT	MAS MASONRY	OD OUTSIDE DIAMETER	REINF REINFORCED	UPH UPHOLSTERY	
B/W BETWEEN	FLR FLOOR	FLR FLOOR	HVAC HEATING, VENTILATION & AIR CONDITIONING	MAX MAXIMUM	OPNG OPENING	REQD REQUIRED		
CAB CABINET	DN DOWN	FLR FLOOR	HW HOT WATER	MC MECHANICAL	OPP OPPOSITE	REV REVISION		
CEM CEMENT	DR DOOR	FLUOR FLUORESCENT	HWH HOT WATER HEATER	MDF MEDIUM DENSITY FIBER BOARD	OPT OPTION(AL)	RF ROOF		
CIP CAST IN PLACE	DSPT DOWNSPOUT	FND FOUNDATION			OZ OUNCE	RM ROOM		
CL CENTER LINE	DTL DETAIL	FP FIRE PROOFING			PH PENTHOUSE	RO ROUGH OPENING		
CLG CEILING	DWG DRAWING	FO FACE OF			PL PROPERTY LINE	SAN SANITARY		
CLO CLOSET	EA EACH	FT FOOT/FEET			PLAS PLASTIC	SCHED SCHEDULE		
CMU CONCRETE MASONRY UNIT	EC ELECTRICAL CONTRACTOR	FTG FOOTING				SECT SECTION		
	EL ELEVATION							
	ELEC ELECTRICAL							
	ELEV ELEVATOR							

POWER & DATA KEY

SYMBOL	DESCRIPTION
○	DUPLEX
4"	DUPLEX - SPECIFIC MOUNTING HT.
○	DUPLEX - GFCI
○	DUPLEX - WATERPROOF
○	DUPLEX - SWITCHED
○	DENOTES EXISTING
□	QUADPLEX
□	DUPLEX IN FLOOR / COUNTER
⚡	SWITCH
⚡	DIMMER SWITCH
⚡	THREE-WAY SWITCH
⚡	THREE-WAY DIMMER SWITCH
⚡	JAMB SWITCH
⚡	SWITCH WITH OCC. SENSOR
△	TELEPHONE
▲	DATA
▲	TELEPHONE & DATA
◇	TELEVISION
Ⓢ	SMOKE DETECTOR
Ⓢ	CARBON MONOXIDE DETECTOR
Ⓢ	SPEAKER LOCATION
Ⓢ	SPEAKER INPUT

LIGHTING & RCP KEY

SYMBOL	DESCRIPTION
○	RECESSED FIXTURE
○	WALL MOUNTED SCENCE
⊕	PENDANT FIXTURE
⊕	FLUSH MOUNT FIXTURE
—	LED STRIP LIGHT
▽	TRACK LIGHT
w	DENOTES WET-RATED FIXTURE
⊗	EXISTING FIXTURES
⊗	VENTILATION FAN
⊗	CEILING FAN
⊗	REC. LIGHT VENT FAN COMBO

PLUMBING KEY

SYMBOL	DESCRIPTION
—	COLD WATER
—	HOT WATER
—	DRAIN
---	VENT
⊗	FLOOR DRAIN
⊗	ROOF DRAIN

GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2015 MICHIGAN RESIDENTIAL CODE AND ALL OTHER APPLICABLE LAWS, INCLUDING FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND BEST TRADE PRACTICES.
- CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, INCIDENTALS, AND ANY OTHER ITEMS REQUIRED FOR THE COMPLETION OF THE WORK AS SHOWN IN THE CONTRACT DOCUMENTS, UNLESS OTHERWISE NOTED.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE BUILDING DEPARTMENT, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING AGENCIES.
- NOTIFY ARCHITECT FOR CLARIFICATION IN CASE OF ANY DISCREPANCIES, CONFLICTS, OR OMISSIONS IN THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS. AN ADDENDUM TO THE CONTRACT DOCUMENTS WILL BE PROVIDED AS NECESSARY.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS SHOWN ON PLANS AT THE JOB SITE BEFORE COMMENCING ANY WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT.
- DIMENSIONING RULES:
 - DIMENSIONS ARE TAKEN FROM FACE OF FINISHED SURFACE TO FACE OF FINISHES SURFACE, UNLESS OTHERWISE NOTED.
 - DIMENSIONS MARKED "VERIFY", "VERIFY IN FIELD" OR "VIF" SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND DISCUSSED WITH THE ARCHITECT IF DISCREPANCIES ARISE.
 - DIMENSIONS MARKED "CLEAR" OR "CLR" OR "HOLD" MUST BE PRECISELY MAINTAINED
 - DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL BY ARCHITECT UNLESS MARKED "+/-"
- THE CONTRACTOR SHALL LAY OUT THEIR OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (MECHANICAL, ELECTRICAL, PLUMBING, ETC).
- THE CONTRACTOR IS NOT TO SCALE DRAWINGS OR DETAILS, ONLY WRITTEN DIMENSIONS SHALL BE USED. WHERE REQUIRED DIMENSIONS ARE MISSING, NOTIFY ARCHITECT FOR CLARIFICATION.
- ABBREVIATIONS ON THE DRAWINGS ARE AS NOTED IN THE KEY. NOTIFY ARCHITECT OF ANY ABBREVIATIONS IN QUESTION.
- SUBMIT SHOP DRAWINGS, MOCK-UPS, SAMPLES, AND OTHER REQUIRED SUBMITTALS IN A TIMELY FASHION AND ALLOW ARCHITECT SUFFICIENT TIME, MINIMUM OF (5) WORKING DAYS, FOR REVIEW PRIOR TO FABRICATION OR ORDER PLACEMENT.

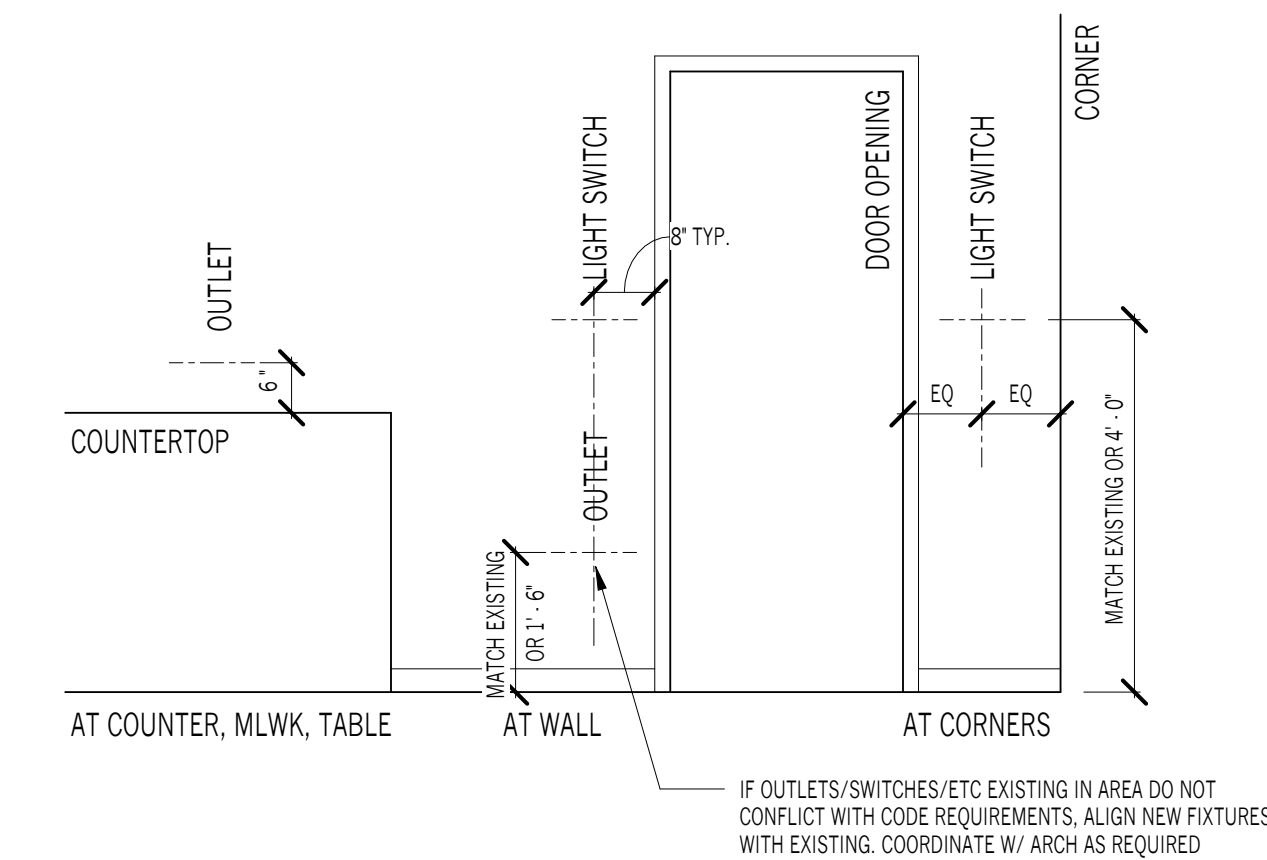
DEMOLITION NOTES

- DEMOLITION SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES, ORDINANCES, AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY, AND ENVIRONMENTAL PROTECTION.
- ALL EXISTING WALLS, GLAZING, AND OTHER WORK TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE PROVIDE BRACING OR SHORING AS REQUIRED TO SUPPORT THE STRUCTURE DURING DEMOLITION. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REQUIRED REPAIRS WITHOUT ADDITIONAL COST TO THE OWNER. REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.
- COORDINATE DEMOLITION REQUIRED TO PERFORM NEW WORK WITH CONTRACT DOCUMENTS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- REMOVE ABANDONED HVAC EQUIPMENT, DUCTWORK, ELECTRICAL, AND PLUMBING BACK TO THEIR PRIMARY SOURCE OR AS DIRECTED. DISCONNECT, CAP, AND IDENTIFY ALL UTILITIES IN AREAS OF DEMOLITION. MAINTAIN UTILITIES TO ALL OCCUPIED AREAS OF THE BUILDING AND COORDINATE TEMPORARY DISRUPTION WITH OWNER AND ANY OTHER AFFECTED PARTIES.
- CAREFULLY REMOVE, PROTECT, AND STORE FOR REINSTALLATION OR SALVAGE ALL: LIGHT FIXTURES, PLUMBING FIXTURES, DOORS, FIRE SAFETY & EMERGENCY FIXTURES.
- PROVIDE ENCLOSURE AND PROTECTION AS REQUIRED TO CONTAIN SPREAD OF ALL DUST, FUMES, ETC. PRODUCED DURING DEMOLITION AND CONSTRUCTION.
- REMOVE AND LEGALLY DISPOSE OF ALL DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OR CONSTRUCTION. IN OCCUPIED AREAS, CLEAN AND DISPOSE OF MATERIALS DAILY.
- REMOVE TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE AREAS AND SITE BROOM SWEEP, ORDERLY, AND IN CONDITION ACCEPTABLE FOR CONSTRUCTION

POWER, LIGHTING, & RCP NOTES

- UNLESS OTHERWISE NOTED, ALL RECEPTACLES & LIGHT FIXTURES SHALL BE CENTERED ON WALL OR BETWEEN OR BENEATH THE WINDOWS, DOORS, OTHER WORK, OR OTHER FIXTURES THEY ARE LOCATED IN RELATION TO.
- RECEPTACLES SHOULD BE MOUNTED TO MATCH THE HEIGHT AND ORIENTATION OF EXISTING RECEPTACLES IN ROOM. SWITCHES TO BE MOUNTED TO MATCH THE HEIGHT OF EXISTING SWITCHES IN ROOM. IF NO REFERENCE EXISTS, ALL RECEPTACLES & LIGHT FIXTURES SHALL BE MOUNTED AT THE HEIGHTS SPECIFIED IN THE TYPICAL MOUNTING HEIGHTS DIAGRAM, UNLESS OTHERWISE NOTED.
- SWITCHES, FIXTURES, AND RECEPTACLES SHOWN ADJACENT ON PLAN WITH DIMENSION ONLY TO ONE OF THEM SHOULD BE COMBINED IN BANKS OR STACKED VERTICALLY.
- CONTRACTOR TO COORDINATE ALL APPLIANCE-SPECIFIC OUTLETS WITH APPLIANCE SELECTION.
- EXISTING OUTLETS, FIXTURES, AND SWITCHES NOT SHOWN ON PLAN TO REMAIN AND BE REUSED.
- OUTLETS AND SWITCHES SHOULD NOT BE INSTALLED BACK-TO-BACK WITHOUT SEPARATING STUD OR INSULATION.
- PROVIDE GFCI OUTLETS AND WET-RATED FIXTURES IN ALL WET AREAS, OUTDOOR AREAS, AND ANY OTHER LOCATION REQUIRED BY CODE.
- ALL SWITCH PLATES AND OUTLETS COVERS, ETC., SHOULD BE INSTALLED AFTER PAINTING AND WALL COVERINGS ARE INSTALLED.PROTECTIVE COVERINGS ON ALL FIXTURES SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED. DAMAGED FIXTURES SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
- COORDINATE LIGHT FIXTURE AND MECHANICAL REGISTER LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION. IF ANY CONFLICT OCCURS BETWEEN THE WORK OF SEPARATE TRADES OR BETWEEN DRAWINGS AND EXISTING CONDITIONS, COORDINATE WITH ARCHITECT IN FIELD.
- UNLESS OTHERWISE NOTED, ALL CONDUIT SHOULD BE STRAIGHT AND TRUE AND AT RIGHT ANGLES.

TYPICAL MOUNTING HEIGHTS



END STUDIO, LLC
 2000 Brooklyn St. #204
 Detroit, MI 48226
 313.626.7073
 e-n-d-studio.com

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 1817 LEVERETTE STREET,
 DETROIT, MI 48216

NO.	ISSUE/REV.	DATE
1	HDC SUBMISSION	01.29.2025

NOTE: NOT FOR CONSTRUCTION PURPOSES

GENERAL NOTES

G-001

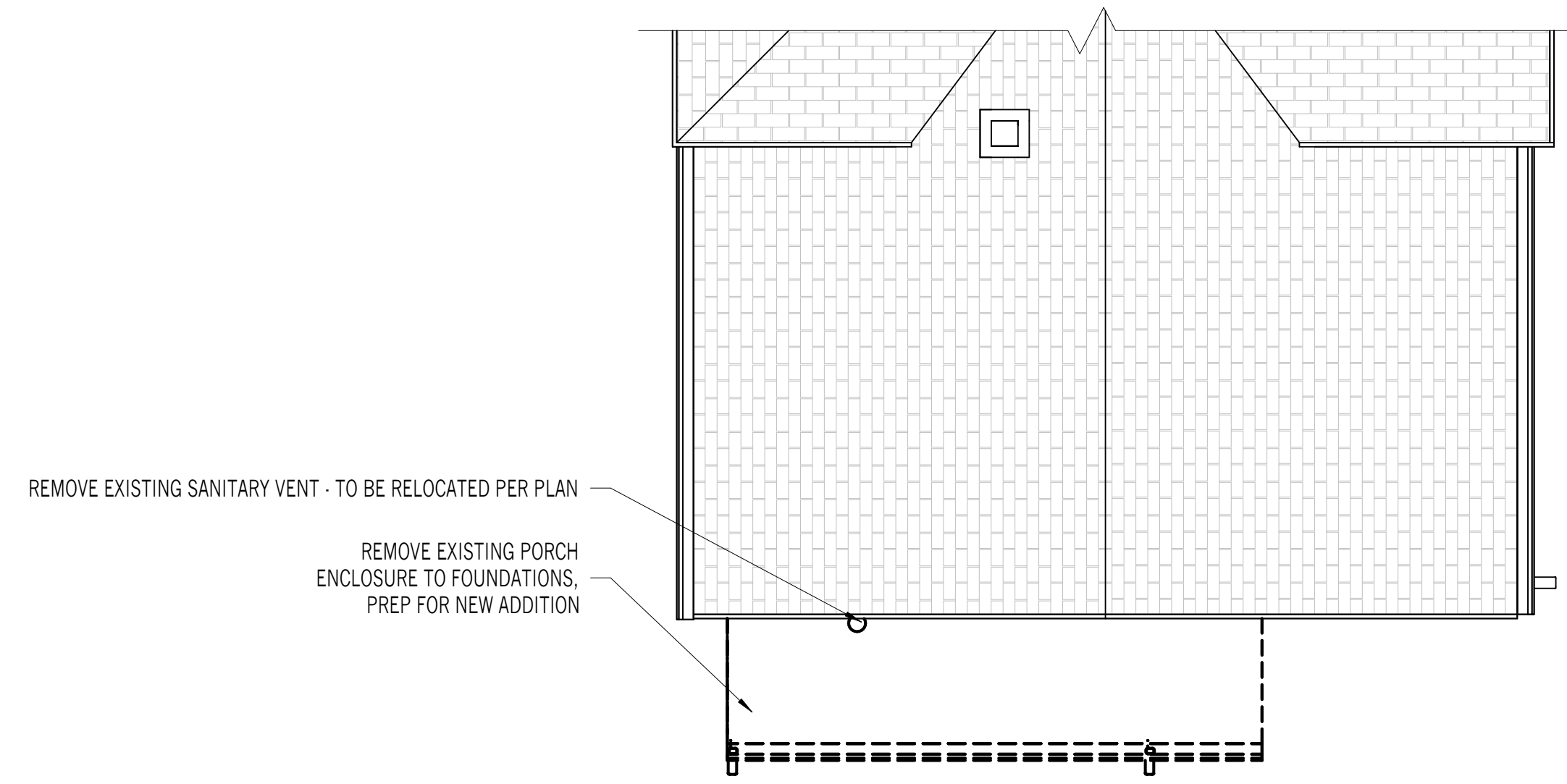


END STUDIO, LLC

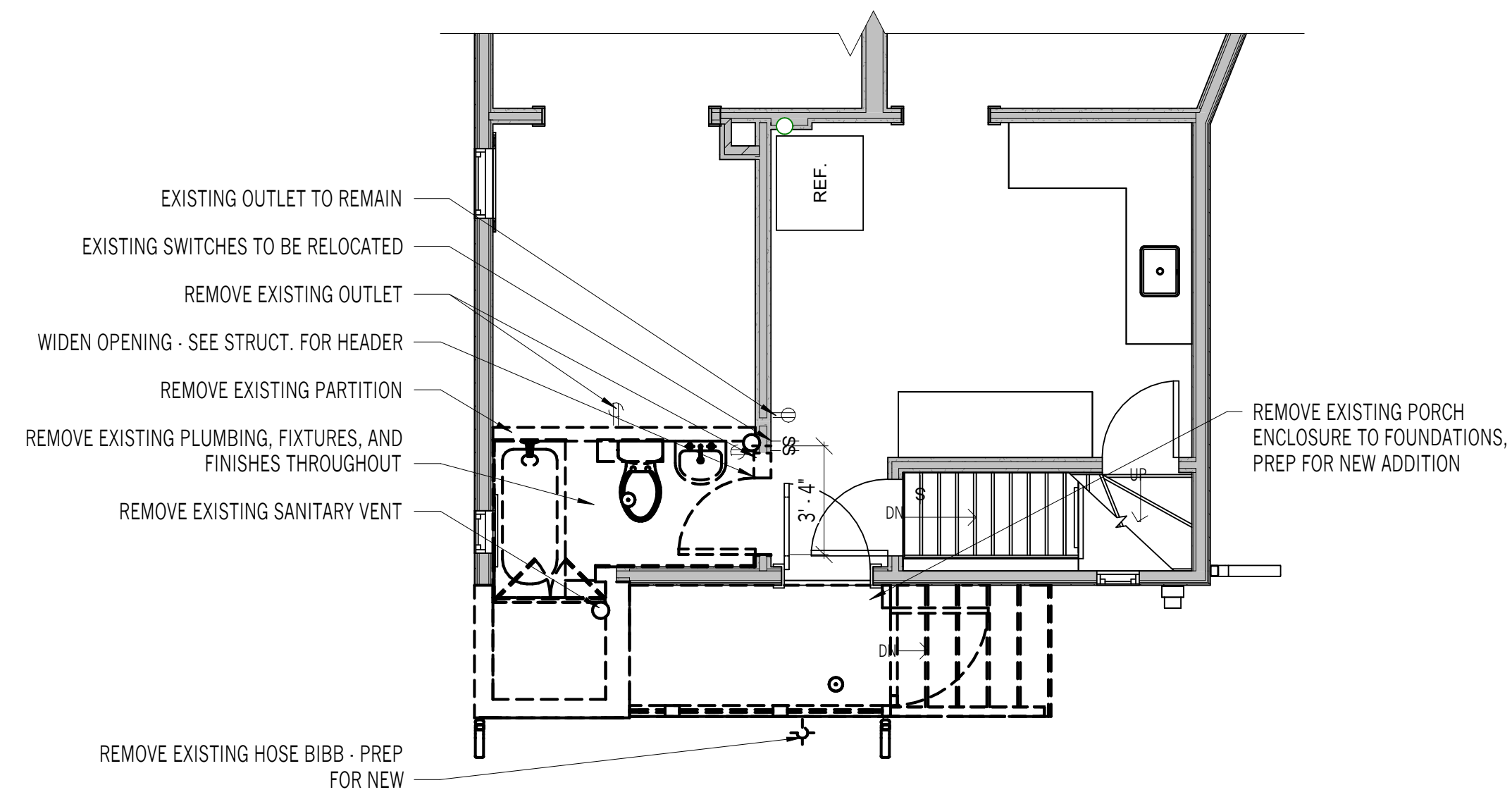
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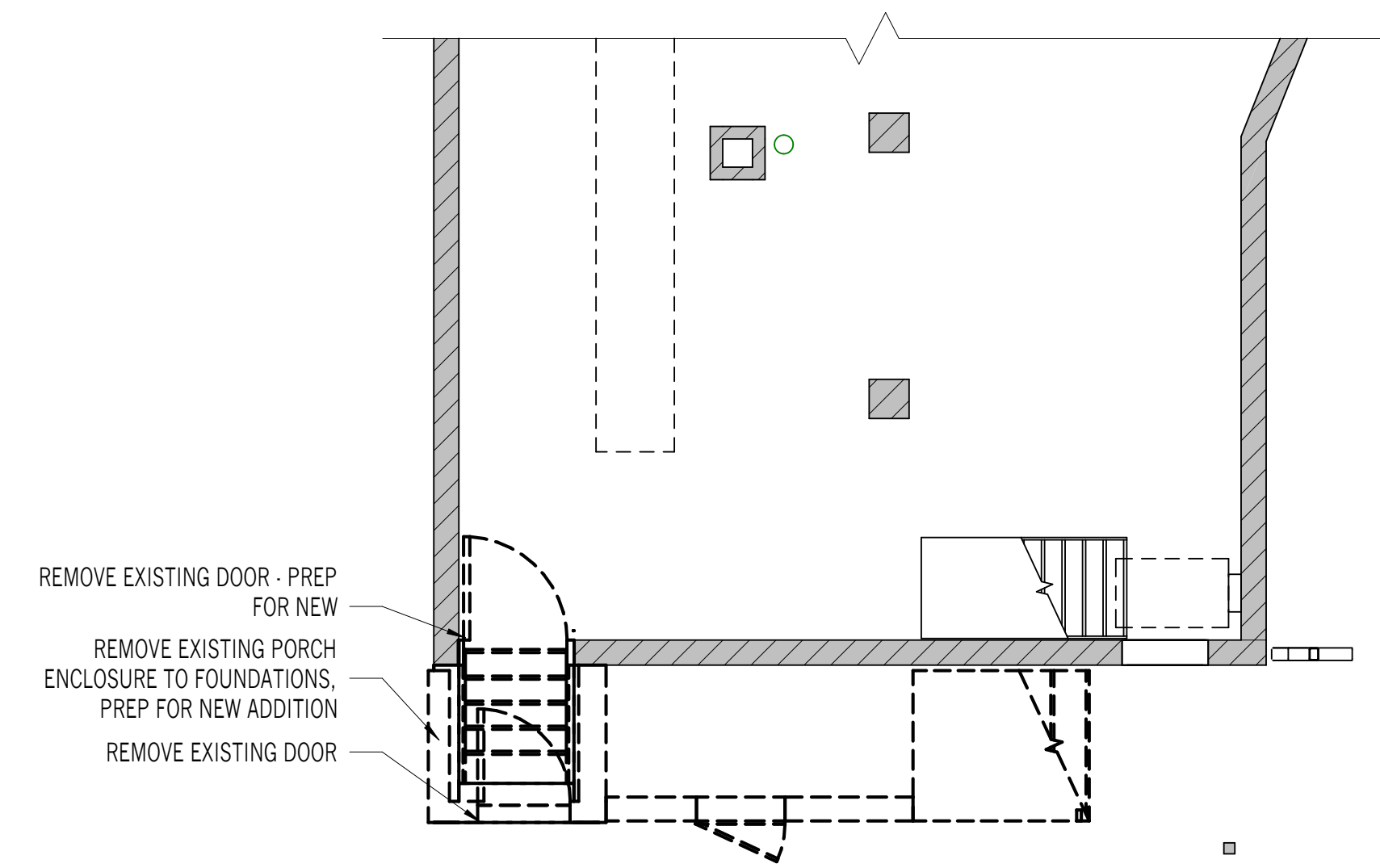
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3 ROOF DEMO PLAN
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR - DEMO PLAN
SCALE: 1/4" = 1'-0"



1 BASEMENT - DEMO PLAN
SCALE: 1/4" = 1'-0"

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DEMO PLANS

D-100

WINDOW SCHEDULE

#	MANUFACTURER	MODEL	STYLE	SIZE		TYPE	HARDWARE	FINISH			U-VAL	NOTES
				W	H			INT.	EXT.	GLAZING		
W-01	MARVIN	UDHG2 3024	ULTIMATE DOUBLE HUNG G2 WINDOW	2' - 11"	4' - 7 1/4"	A	DARK BRONZE	MATCH EXISTING	STONE WHITE	DBL IGU LOW E W/ ARGON	0.32	
W-02	MARVIN	UDHG2 3024	ULTIMATE DOUBLE HUNG G2 WINDOW	2' - 11"	4' - 7 1/4"	A	DARK BRONZE	MATCH EXISTING	STONE WHITE	DBL IGU LOW E W/ ARGON	0.32	
W-03	MARVIN	UDHG2 3024	ULTIMATE DOUBLE HUNG G2 WINDOW	2' - 11"	4' - 7 1/4"	A	DARK BRONZE	MATCH EXISTING	STONE WHITE	DBL IGU LOW E W/ ARGON	0.32	
W-04	MARVIN	UDHG2 3224	ULTIMATE DOUBLE HUNG G2 WINDOW	3' - 1 1/4"	4' - 7 1/4"	A	DARK BRONZE	MATCH EXISTING	STONE WHITE	DBL IGU LOW E W/ ARGON	0.32	
W-05	MARVIN	UDHG2 3224	ULTIMATE DOUBLE HUNG G2 WINDOW	3' - 1 1/4"	4' - 7 1/4"	A	DARK BRONZE	MATCH EXISTING	STONE WHITE	DBL IGU LOW E W/ ARGON	0.32	
W-06	MARVIN	UDHG2 1612	ULTIMATE DOUBLE HUNG G2 WINDOW	1' - 9 1/2"	2' - 7 1/2"	A	DARK BRONZE	MATCH EXISTING	STONE WHITE	DBL IGU - FROSTED	0.32	

WALL TYPES
A. XXX PARTITION

DOOR SCHEDULE

#	MANUFACTURER	MODEL	STYLE	SIZE		TYPE	FINISH			U-VAL MAX	NOTES
				W	H		INT.	EXT.	GLAZING		
Exterior											
001	MARVIN - TRUSTILE	TBD	SINGLE SWING TWO PANEL	2' - 8"	6' - 8"	A	WHITE	WHITE	N/A	0	
100	MARVIN - TRUSTILE	TBD	SINGLE FRENCH DOOR	2' - 8"	6' - 8"	D	WHITE	WHITE	DBL IGU	0.32	
101	TBD	TBD	STORM DOOR	2' - 7 1/2"	6' - 8"	E	WHITE	WHITE	DBL IGU	0.32	
Interior											
002	MARVIN - TRUSTILE	TBD	SINGLE SWING FIVE PANEL	2' - 9"	6' - 8"	B	WHITE	WHITE	N/A		
102	MARVIN - TRUSTILE	TBD	POCKET FIVE PANEL	2' - 10"	6' - 8"	C	WOOD	WOOD	N/A		

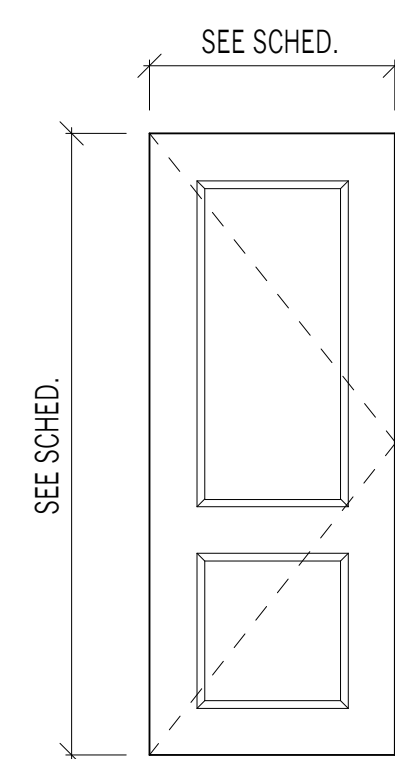
FINISH SCHEDULE

#	TYPE	LOCATION	MANUFACTURER	MODEL	NOTES
EXTERIOR					
PNT-1	PAINT	TRIM	TBD	TBD	MATCH EXISTING WINDOW TRIM
PNT-2	PAINT	TRIM, WALLS	TBD	TBD	MATCH EXISTING GREY TRIM
SD-1	FIBER CEMENT SIDING	WALLS	JAMES HARDIE	HARDIE PLANK - SMOOTH - 5.25" - MOONFLOWER WHITE	MATCH EXISTING
ROOF					
SH-1	ASPHALT SHINGLE	ROOF	TBD	TBD	MATCH EXISTING ROOF

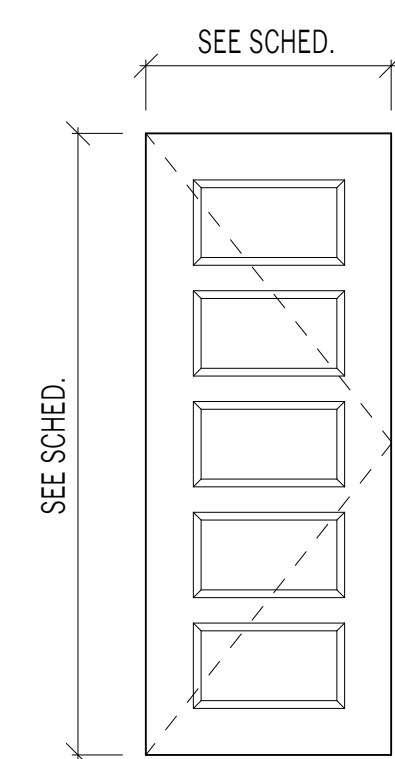
LIGHTING SCHEDULE

#	ITEM NAME	MANUFACTURER	MODEL	DIMENSIONS	FINISH	BRIGHTNESS	INSTALL NOTES
L-1	RECESSED CAN	TBD	TBD	6" DIAMETER	TBD	0 lm	
L-2	EXTERIOR SCONCE	TBD	TBD	TBD	TBD	0 lm	
L-3	ARTICULATING WALL SCONCE	TBD	TBD	TBD	TBD	0 lm	
L-4	SEMI-FLUSH MOUNT	TBD	TBD	TBD	TBD	0 lm	
L-5	SEMI-FLUSH MOUNT	TBD	TBD	TBD	TBD	0 lm	
L-6	BATHROOM FAN LIGHT	PANASONIC	FV-08VRE2	TBD	TBD	0 lm	
L-7	BATHROOM WALL SCONCE	TBD	TBD	TBD	TBD	0 lm	

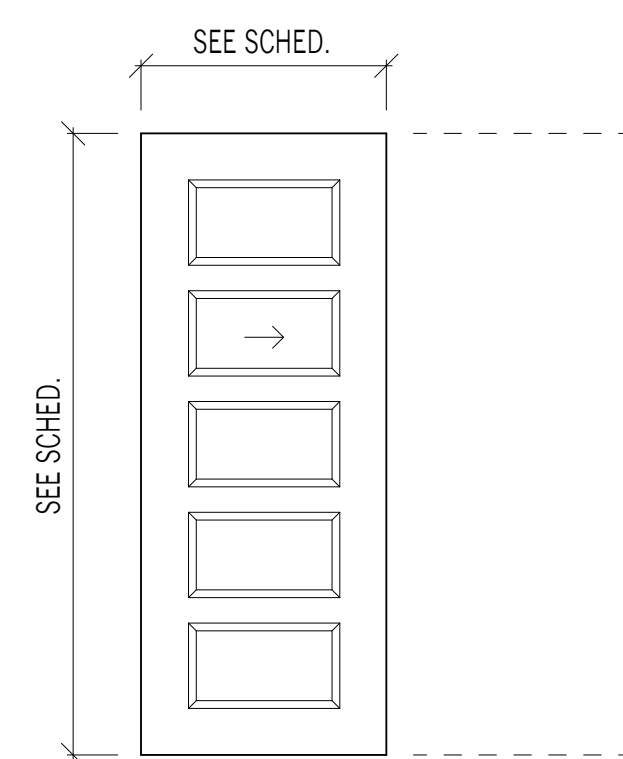
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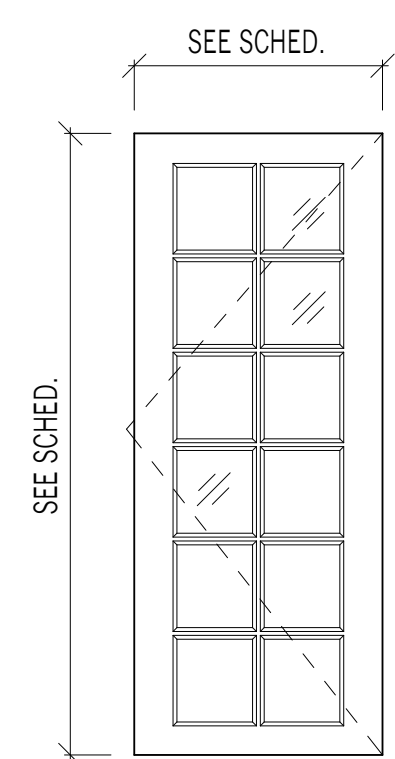
A DOOR TYPE A
SCALE: 1/2" = 1'-0"



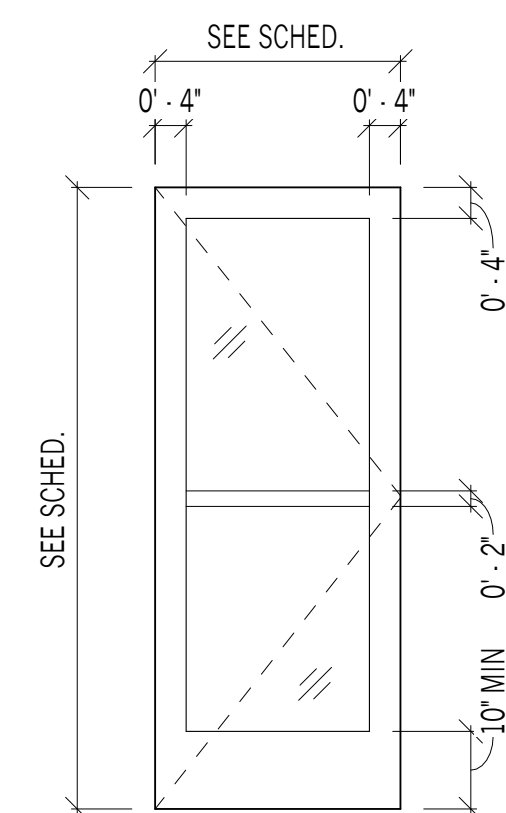
B DOOR TYPE B
SCALE: 1/2" = 1'-0"



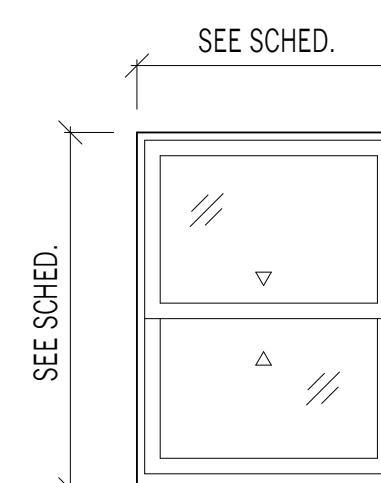
C DOOR TYPE C
SCALE: 1/2" = 1'-0"



D DOOR TYPE D
SCALE: 1/2" = 1'-0"



E DOOR TYPE E
SCALE: 1/2" = 1'-0"



01 WINDOW TYPE A
SCALE: 1/2" = 1'-0"



END STUDIO, LLC
2000 Brooklyn St. #204
Detroit, MI 48226
313.626.7073
e-n-d-studio.com

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ALLENSON HOME
1817 LEVERETTE STREET,
DETROIT, MI 48216

NO.	ISSUE/REV.	DATE
1	HDC SUBMISSION	01.29.2025

NOTE: NOT FOR CONSTRUCTION PURPOSES

SCHEDULES

A-001

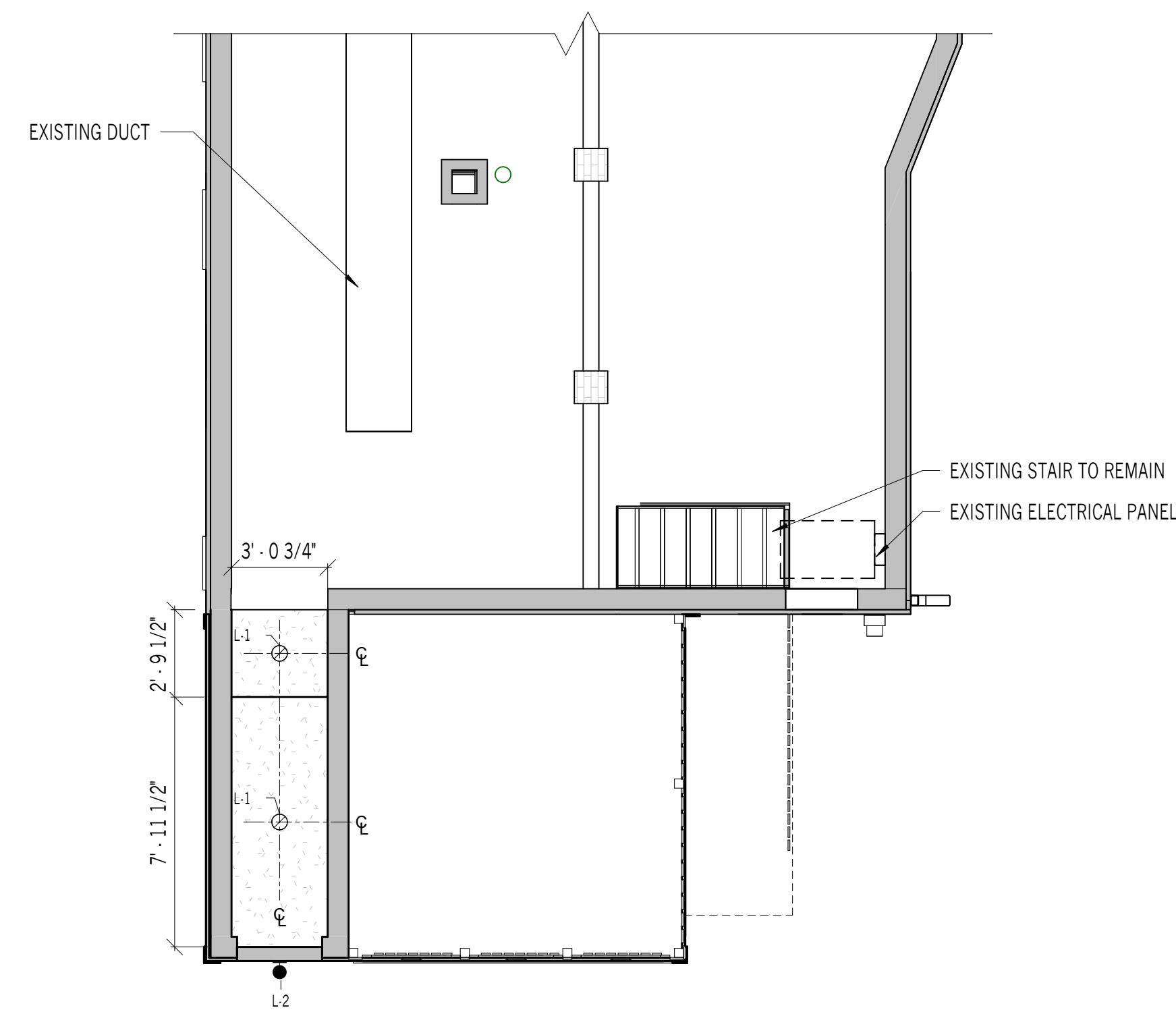


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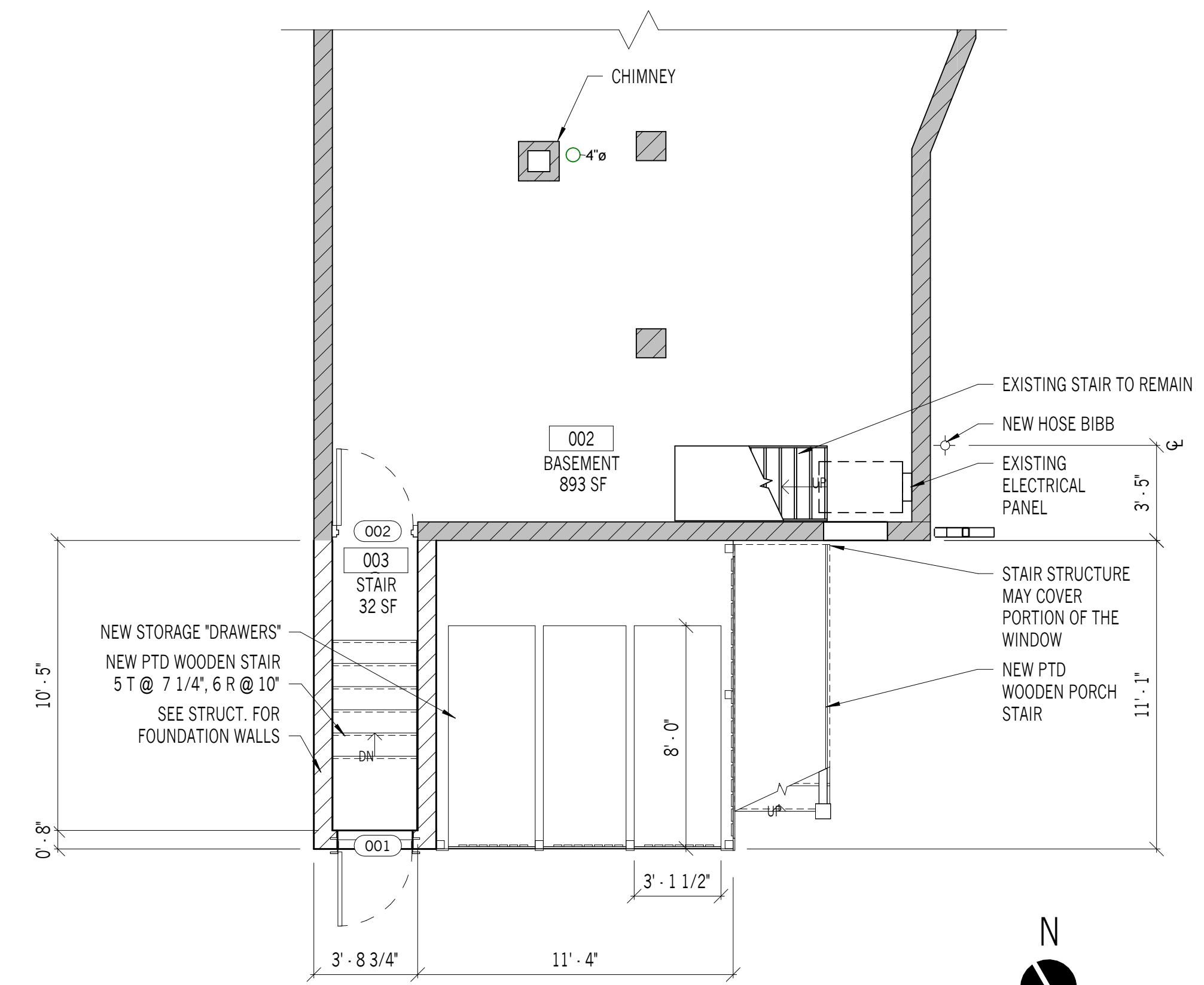
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2 BASEMENT - REFLECT CEILING PLAN
SCALE: 1/4" = 1'-0"



1 BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



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BASEMENT
FLOOR PLANS
AND RCP

A-100

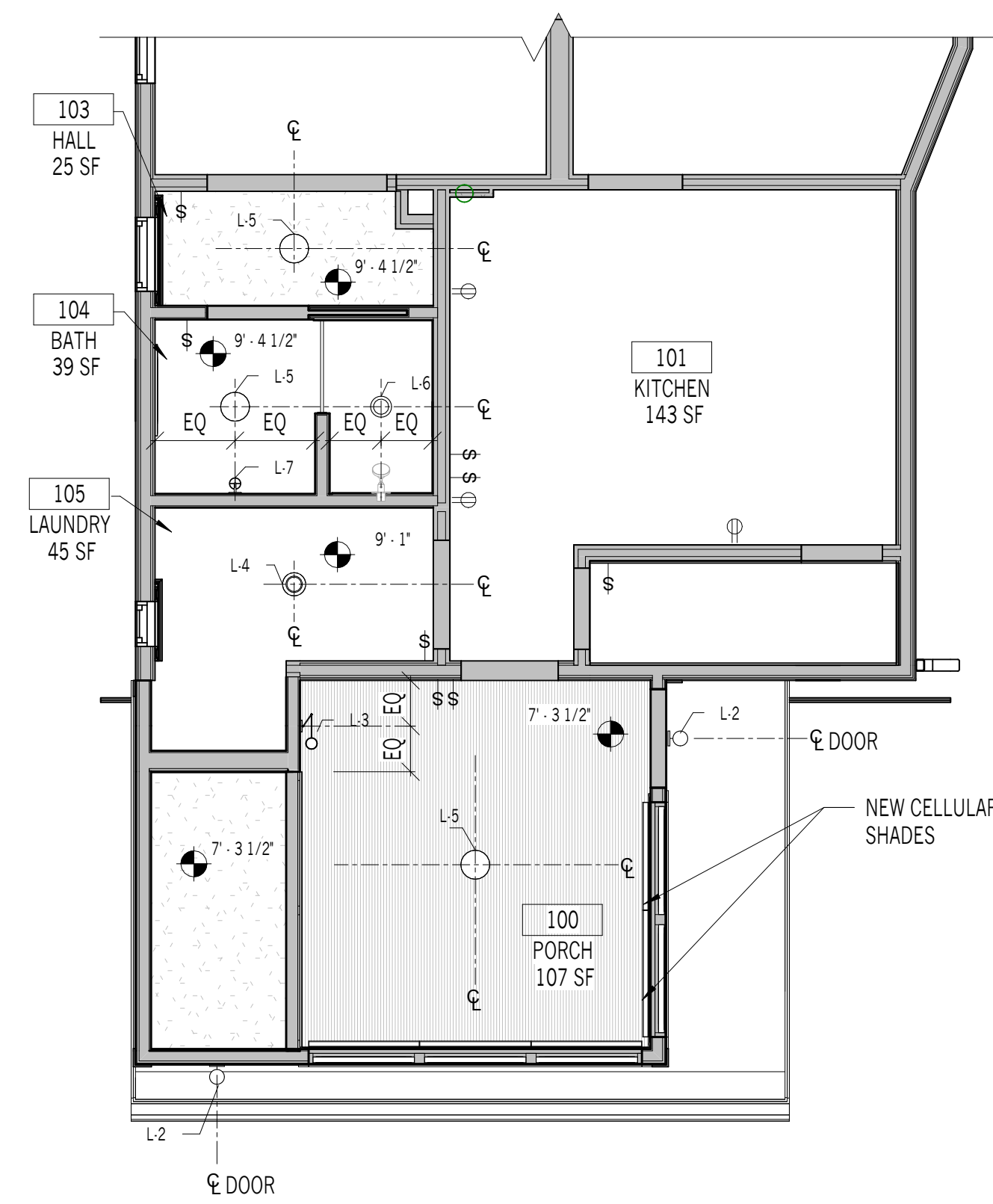


END STUDIO, LLC

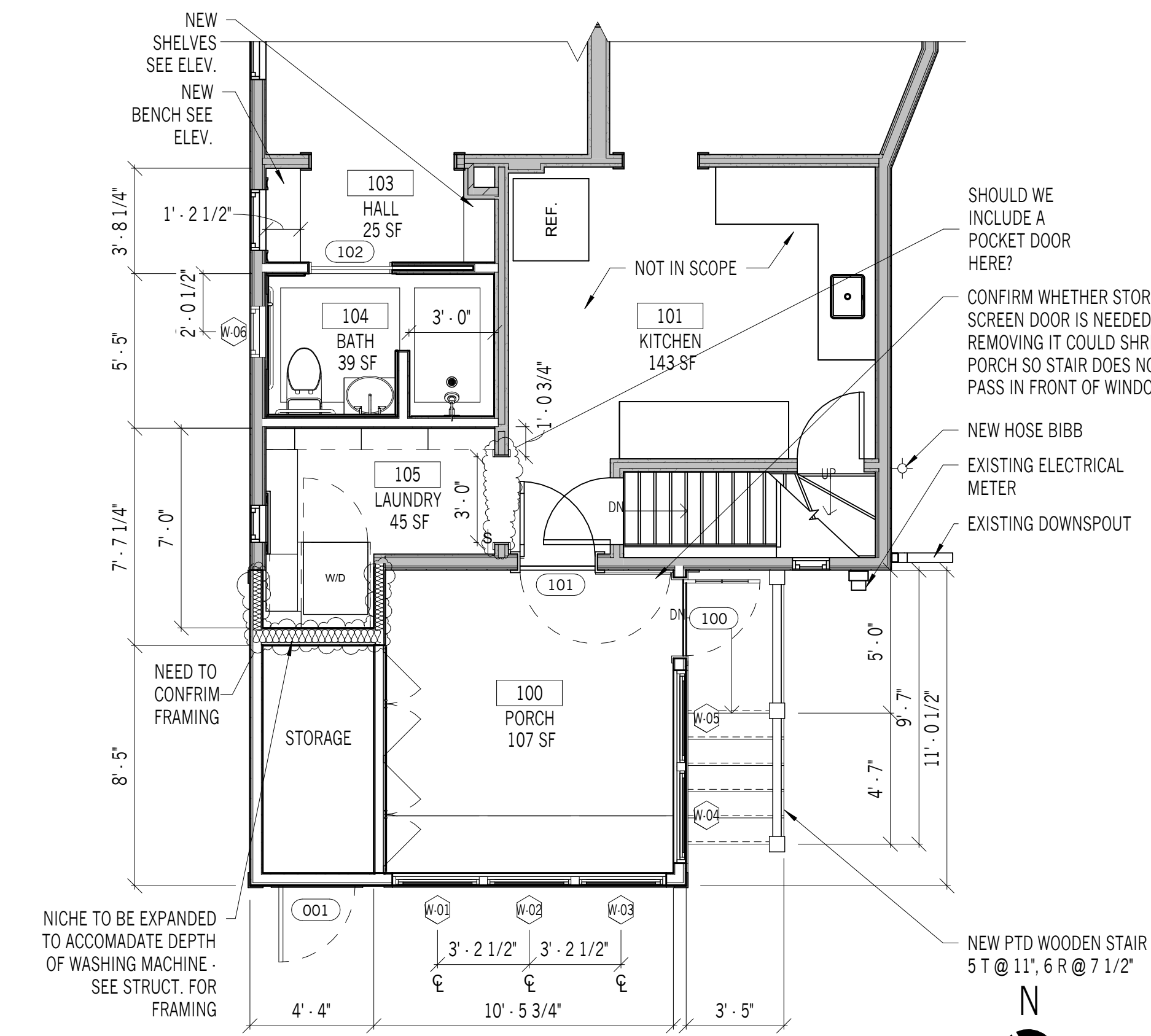
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2 FIRST FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



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FIRST FLOOR PLAN AND RCP

A-101

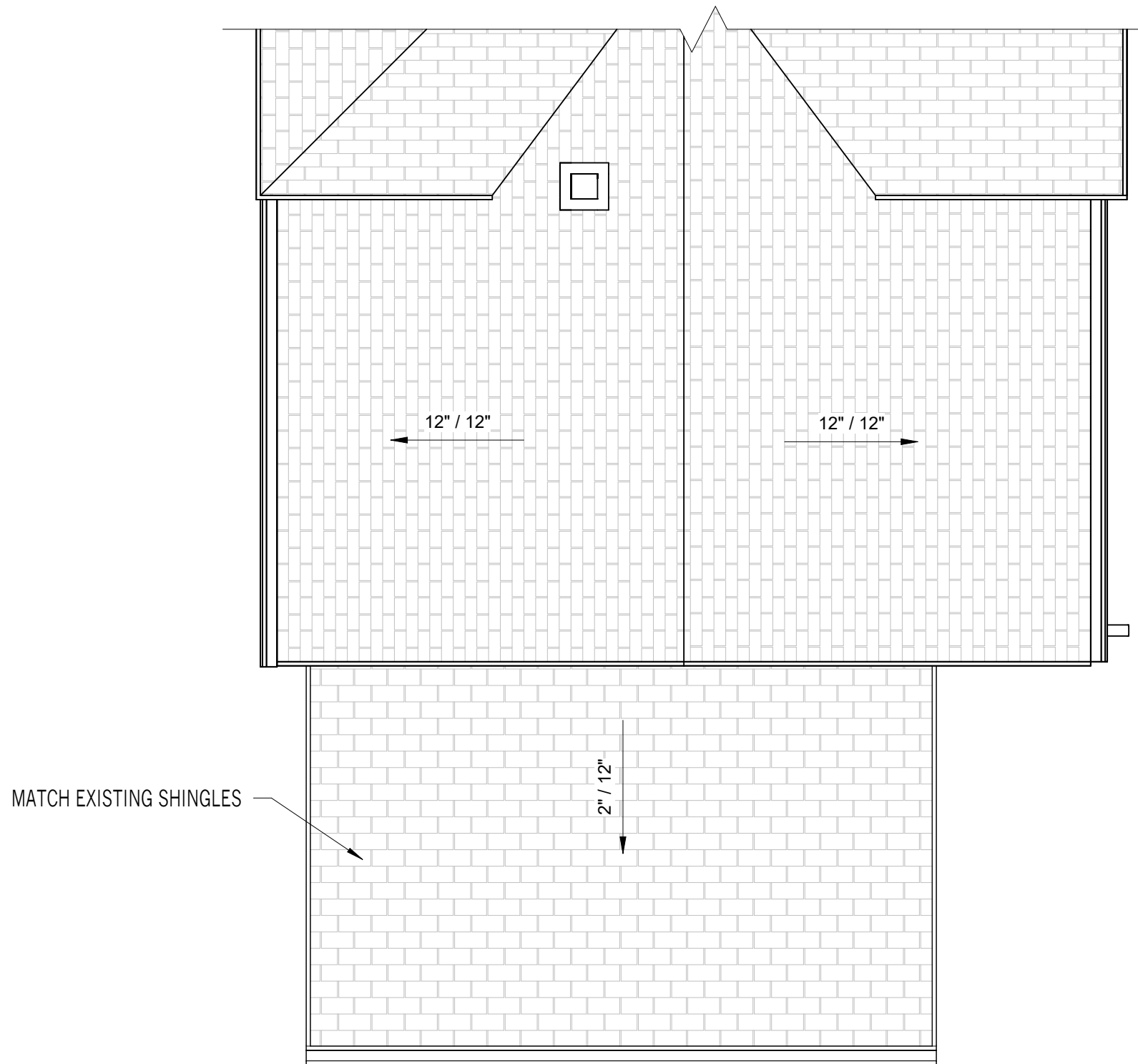


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1 ROOF PLAN
SCALE: 1/4" = 1'-0"

ALLENSON HOME
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NO.	ISSUE/REV.	DATE
1	HDC SUBMISSION	01.29.2025

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ROOF PLAN

A-102

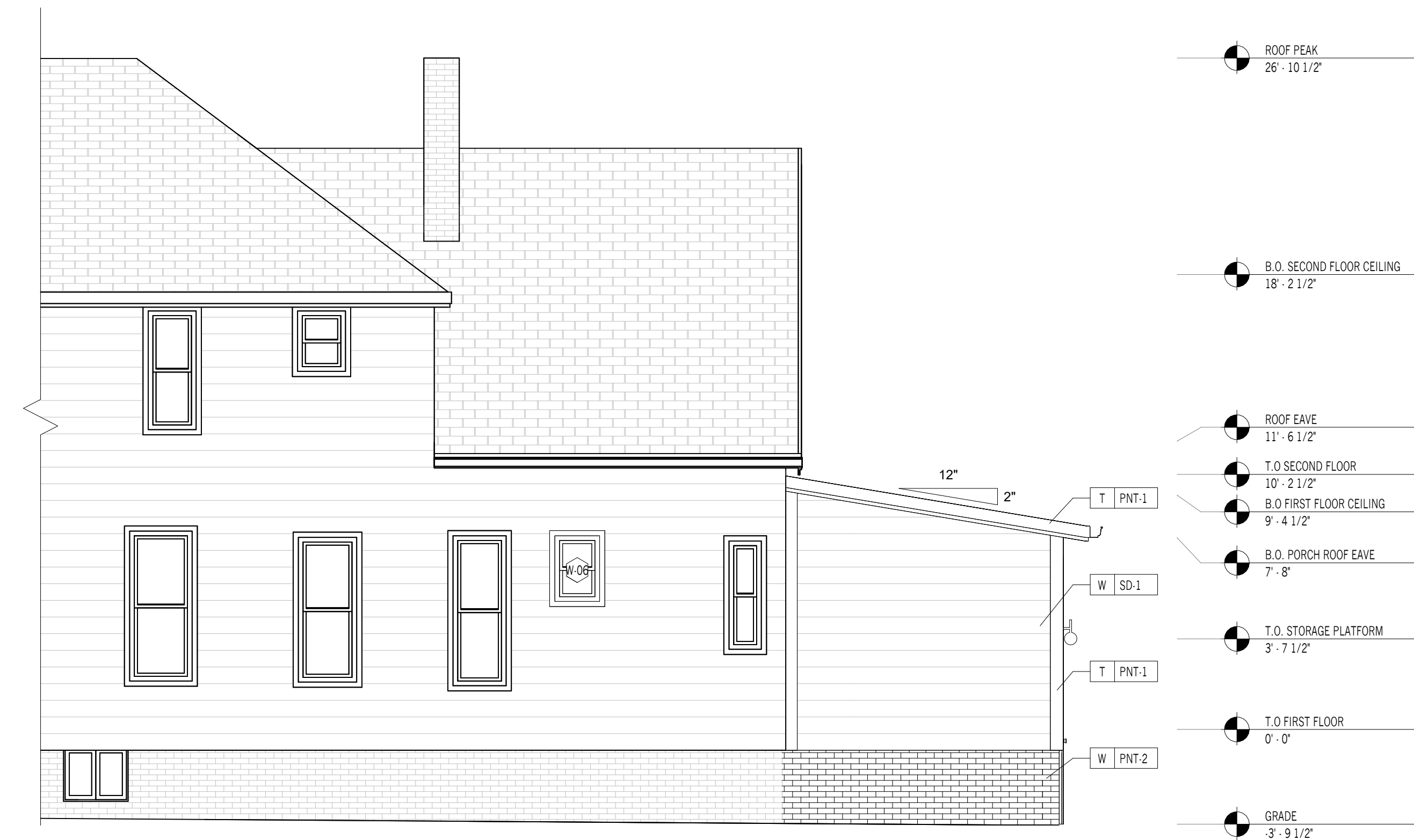


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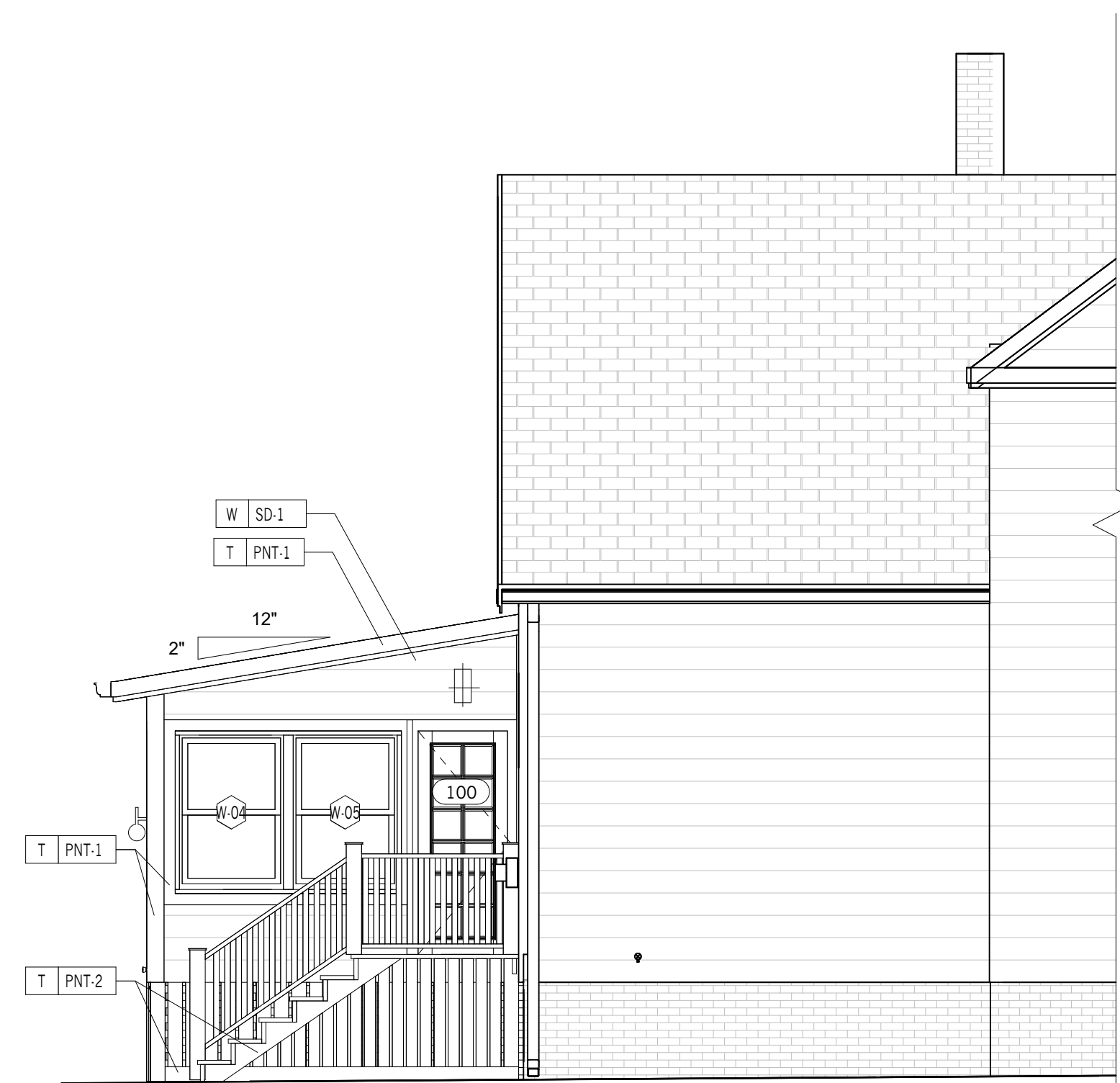
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3 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

ALLENSON HOME
1817 LEVERETTE STREET,
DETROIT, MI 48216

NO.	ISSUE/REV.	DATE
1	HDC SUBMISSION	01.29.2025

NOTE: NOT FOR
CONSTRUCTION PURPOSES

EXTERIOR
ELEVATIONS

A-300



Project Overview

PROJECT NAME	ALN – Allenson Home
PROJECT CODE	ALN
PROJECT ADDRESS	1817 Leverette St. Detroit, MI 48216
OWNER	Tom and Maureen Allenson tallenson416@gmail.com moteslou@gmail.com
DATE	01/30/2025

Project Narrative

The existing home is a two-story wood framed home originally constructed in 1903. The front portion of the house has a front-facing gable, and a gabled porch. The rear of the home has an existing unconditioned sunroom with a shed roof in poor repair, also containing a basement access stair. The house's siding and trim were replaced with light yellow clapboard-style aluminum siding with white aluminum window trim prior to the current owner's purchase in 1984.

The project will remove an existing dilapidated enclosed basement stair and sunroom addition on the rear of the building. The basement stairs are not in compliance with current codes and are difficult to use. The project will create a new addition, including a new basement stair and three-season sunroom. The addition's footprint will expand to meet the minimum requirement for making the basement stair code complaint. Interior updates will include a new bathroom and laundry room.

The addition will have a shed roof that matches the attachment location on the existing façade. Under the west eave, a full-height glass French door with symmetrical sidelights and two double-hung windows will be justified to the existing façade. Three double-hung windows will be located on the south sunroom façade, matching the existing ones. The new bathroom's configuration does not allow for the capture of an existing window, so the project creates a single new double-hung window located on the east façade, matching the size of the second floor bathroom window.

This project proposes to match the existing aluminum siding and trim on the addition. The new windows will be clad wood windows with a white exterior finish. The pattern of the new double-hung window will match the existing rhythm of the windows on the east façade.



ALLENSON HOME

HISTORIC DISTRICT COMMISSION APPLICATION

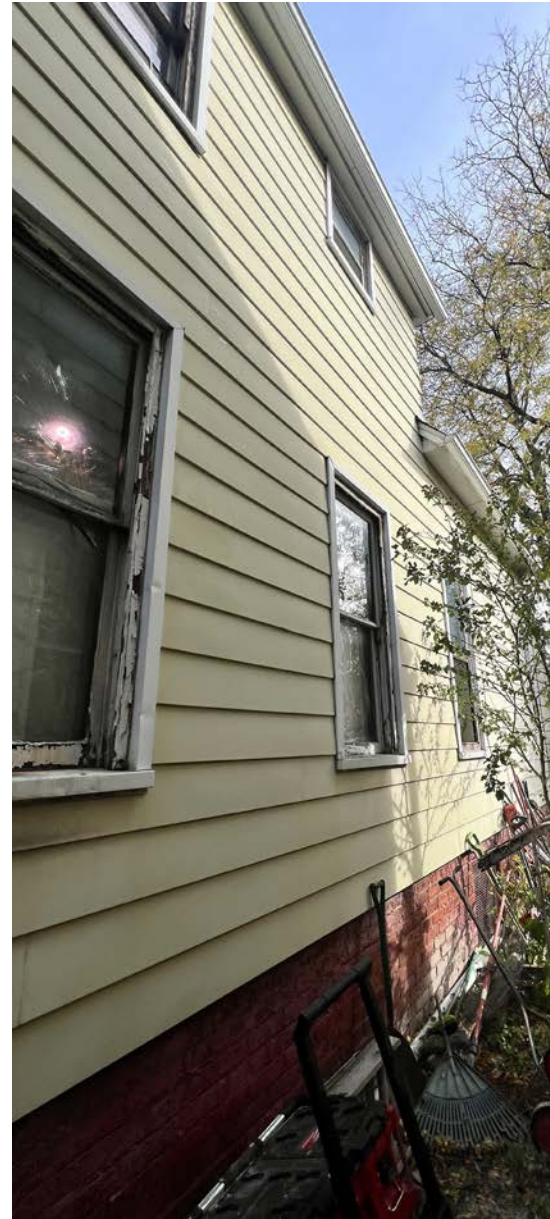
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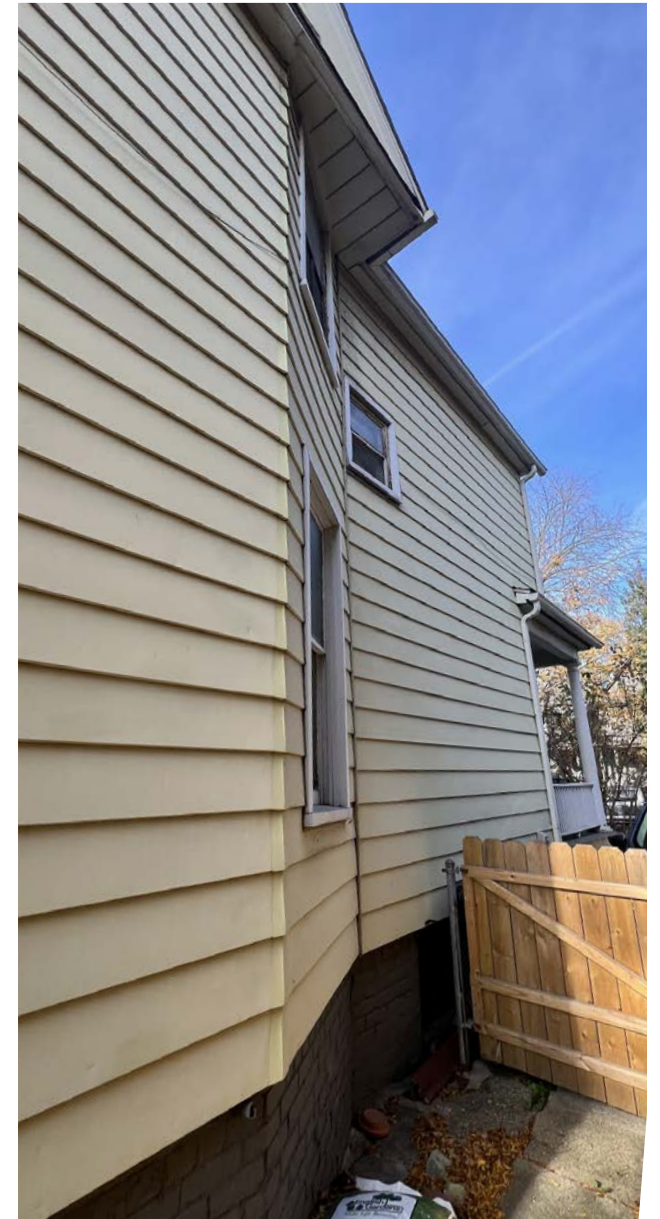


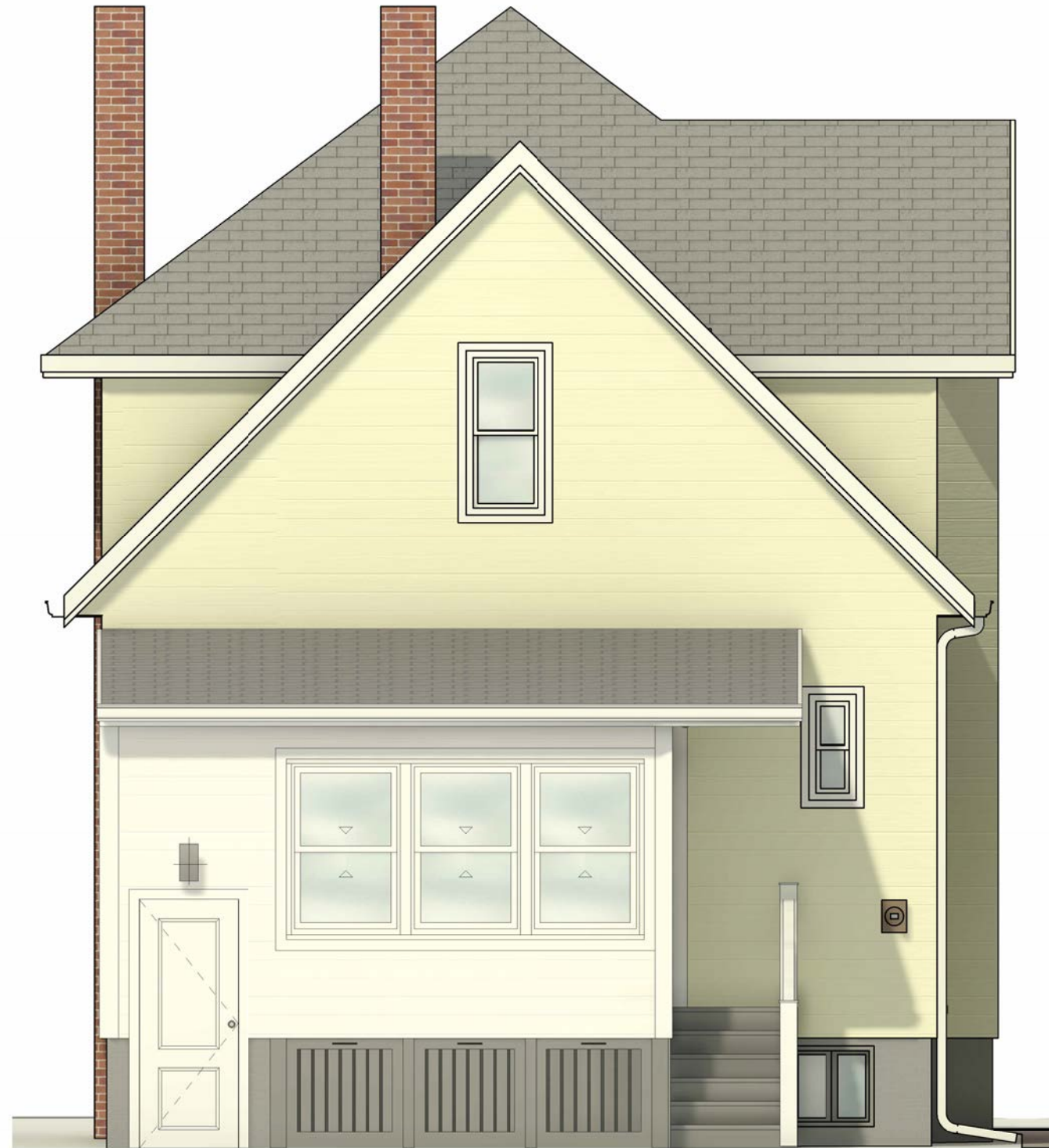


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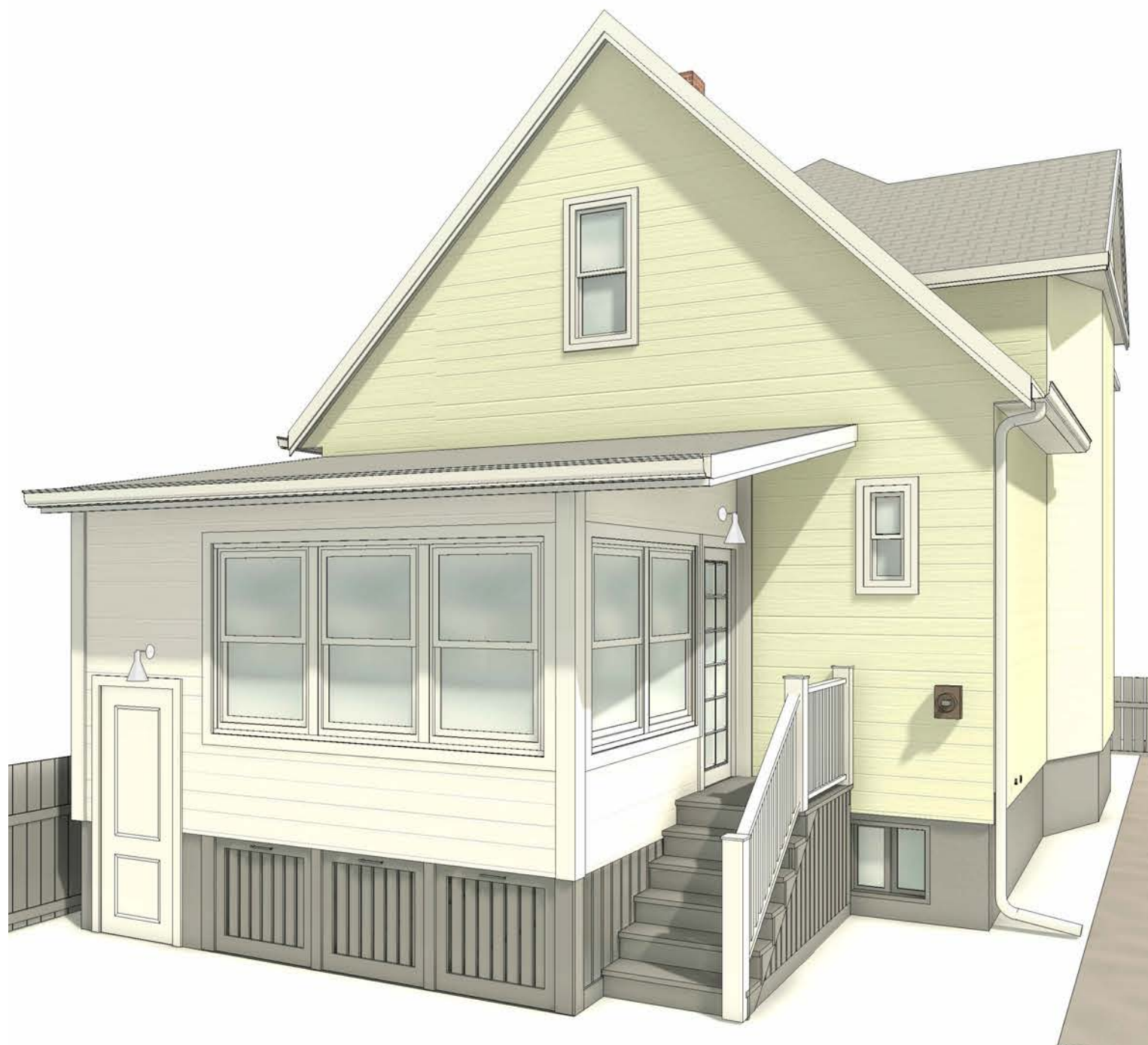


WEST









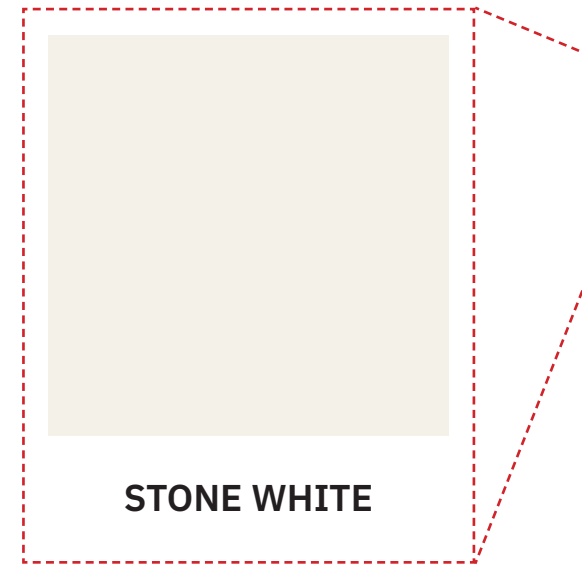
MARVIN®

DOUBLE HUNG G2

MO (mm)	3-1 3/4 (959)	MO (mm)	1'9 3/4 (552)	2-1 3/4 (654)	2-5 3/4 (756)	2-7 3/4 (806)	2-9 3/4 (857)	2-11 3/4 (908)
RO (mm)	3-2 1/4 (972)	RO (mm)	1-10 1/4 (565)	2-2 1/4 (667)	2-6 1/4 (768)	2-8 1/4 (819)	2-10 1/4 (870)	3-0 1/4 (921)
FS (mm)	3-1 1/4 (946)	FS (mm)	1-9 1/4 (540)	2-1 1/4 (641)	2-5 1/4 (743)	2-7 1/4 (794)	2-9 1/4 (845)	2-11 1/4 (895)
DLO (mm)	30 47/64 (781)	DLO (mm)	14 47/64 (347)	18 47/64 (476)	22 47/64 (577)	24 47/64 (628)	26 47/64 (679)	28 47/64 (730)

2-7 3/4 (806)	UDHG2 3212	2-7 3/4 (806)	UDHG2 1612	UDHG2 2012	UDHG2 2412	UDHG2 2612	UDHG2 2812	UDHG2 3012
2-8 (813)		2-8 (813)						
2-11 3/4 (908)	UDHG2 3214	2-11 3/4 (908)	UDHG2 1614	UDHG2 2014	UDHG2 2414	UDHG2 2614	UDHG2 2814	UDHG2 3014
3-0 1/4 (914)		3-0 1/4 (914)						
3-3 3/4 (1010)	UDHG2 3216	3-3 3/4 (1010)	UDHG2 1616	UDHG2 2016	UDHG2 2416	UDHG2 2616	UDHG2 2816	UDHG2 3016
3-4 (1016)		3-4 (1016)						
3-7 3/4 (1111)	UDHG2 3218	3-7 3/4 (1111)	UDHG2 1618	UDHG2 2018	UDHG2 2418	UDHG2 2618	UDHG2 2818	UDHG2 3018
3-8 (1118)		3-8 (1118)						
3-11 3/4 (1213)	UDHG2 3220	3-11 3/4 (1213)	UDHG2 1620	UDHG2 2020	UDHG2 2420	UDHG2 2620	UDHG2 2820	UDHG2 3020
4-0 (1219)		4-0 (1219)						
4-3 3/4 (1314)	UDHG2 3222	4-3 3/4 (1314)	UDHG2 1622	UDHG2 2022	UDHG2 2422	UDHG2 2622	UDHG2 2822	UDHG2 3022
4-4 (1321)		4-4 (1321)						
4-7 3/4 (1416)	UDHG2 3224	4-7 3/4 (1416)	UDHG2 1624	UDHG2 2024	UDHG2 2424	UDHG2 2624	UDHG2 2824	UDHG2 3024
4-8 (1422)		4-8 (1422)						
4-11 3/4 (1518)		4-11 3/4 (1518)	UDHG2 1626	UDHG2 2026	UDHG2 2426	UDHG2 2626	UDHG2 2826	UDHG2 3026
5-0 (1524)		5-0 (1524)						
5-3 3/4 (1619)		5-3 3/4 (1619)	UDHG2 1628	UDHG2 2028	UDHG2 2428	UDHG2 2628	UDHG2 2828	UDHG2 3028 E1
5-4 (1626)		5-4 (1626)						

Marvin Signature® Ultimate



Exterior Clad Finish Options

A high-quality window deserves a dependable finish. Our low maintenance clad-wood products feature an extruded aluminum exterior finished in commercial-grade paint for superior resistance to fading and chalking. Our palette of 19 color options spans from muted, earthy tones to bold, rich colors and three pearlescent finishes. Custom color matching is also available to meet any design vision.

Custom Colors

Any color. Any window or door. You name it. No matter what your inspiration for a custom window or door color, Marvin will match it. You get any color your heart desires, with your own personal custom color name and a 20-year warranty. See your Marvin dealer for details and ask about special pricing.



Details and Elevations not to scale.

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MULTIPLE ASSEMBLY CONVERSIONS

ROUGH OPENING		MASONRY OPENING WITHOUT BMC	
Width	Height	Width	Height
Add all frame sizes plus 1" (25)	Add frame sizes plus 1/2" (13)	Add all frame sizes plus 1/2" (13)	Add frame sizes plus 1/4" (6)

Ultimate Double Hung G2: UDHG2



ALLENSON HOME
HISTORIC DISTRICT COMMISSION APPLICATION

SPECIFICATIONS: WINDOWS

01.29.2025



ALLENSON HOME

HISTORIC DISTRICT COMMISSION APPLICATION

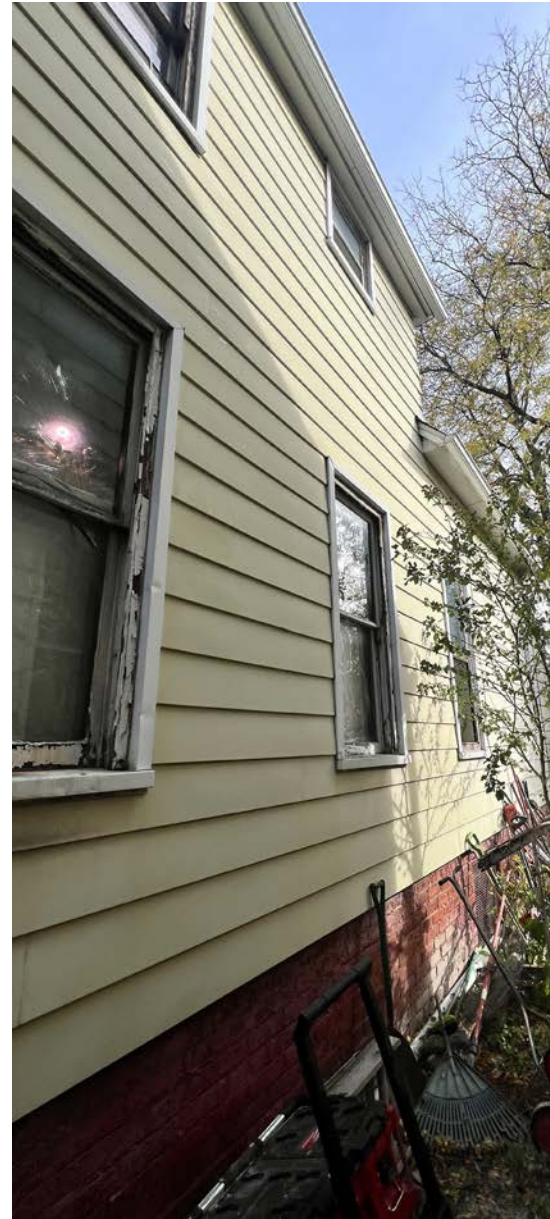
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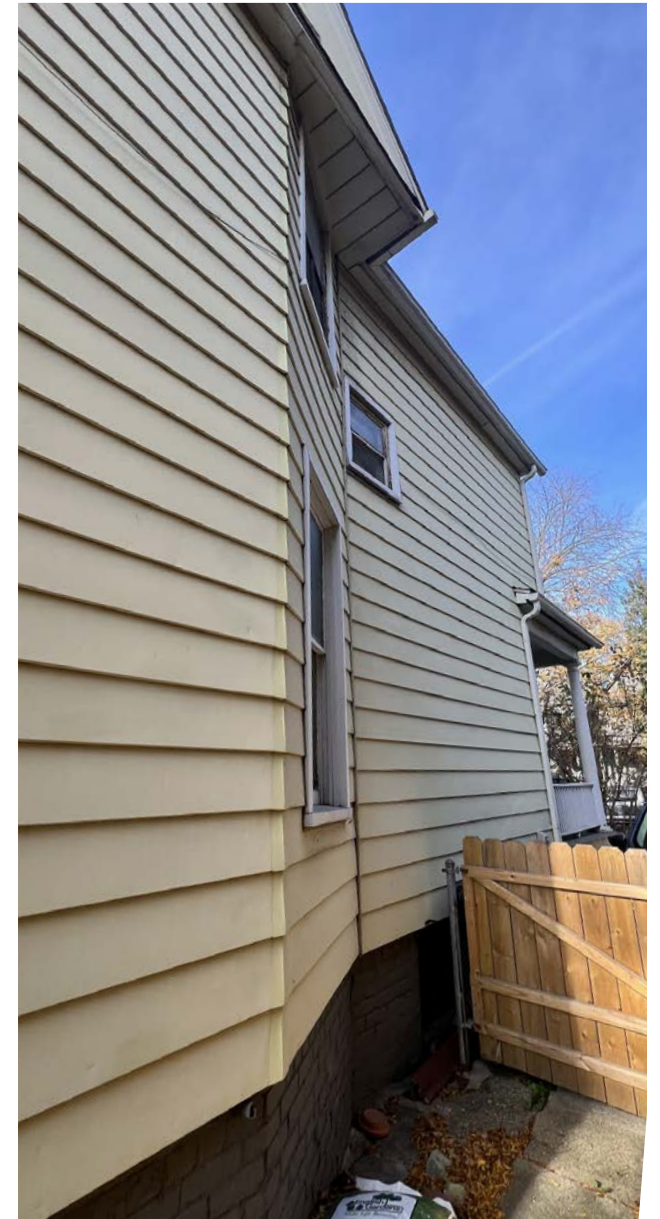


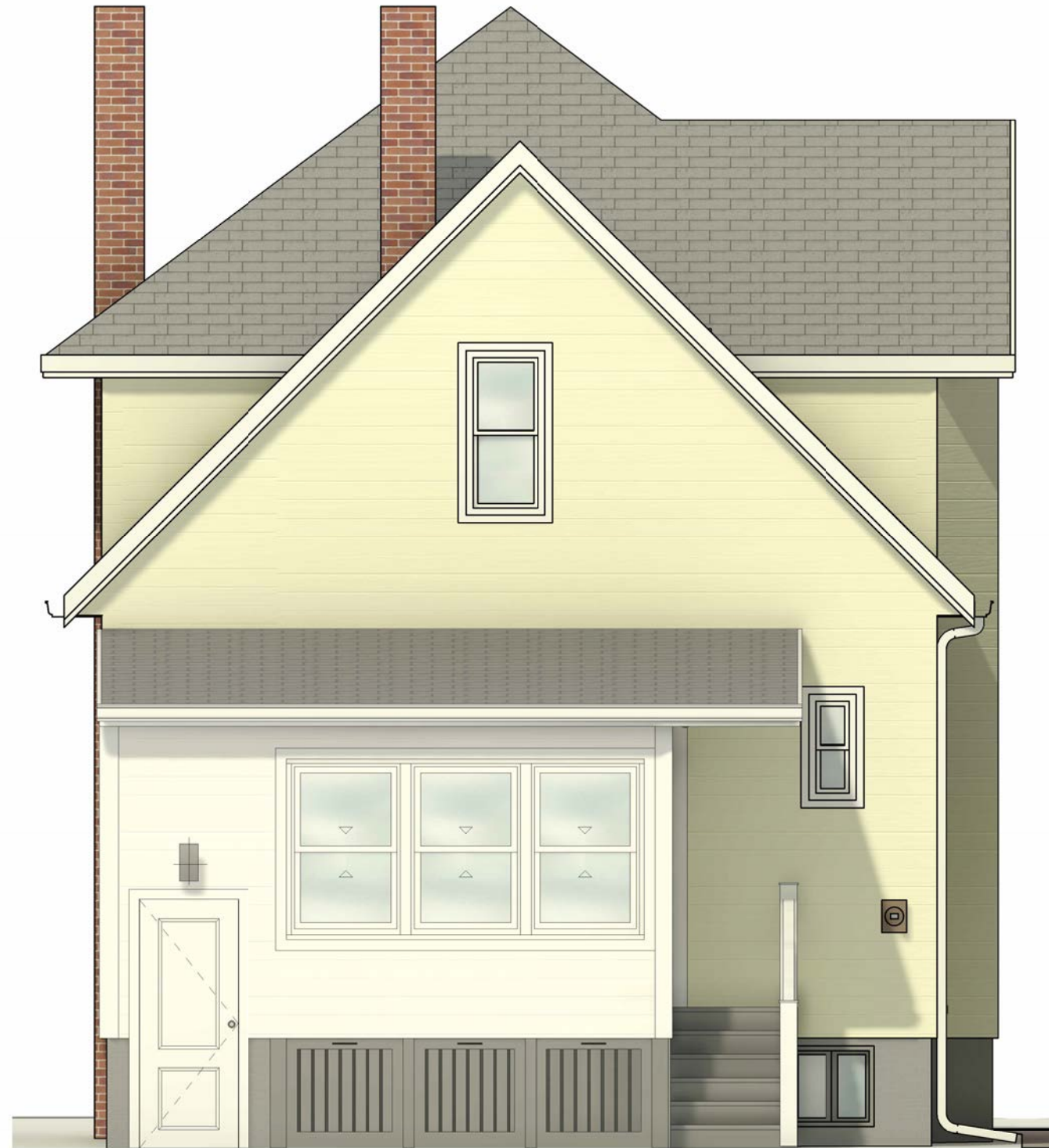


EAST

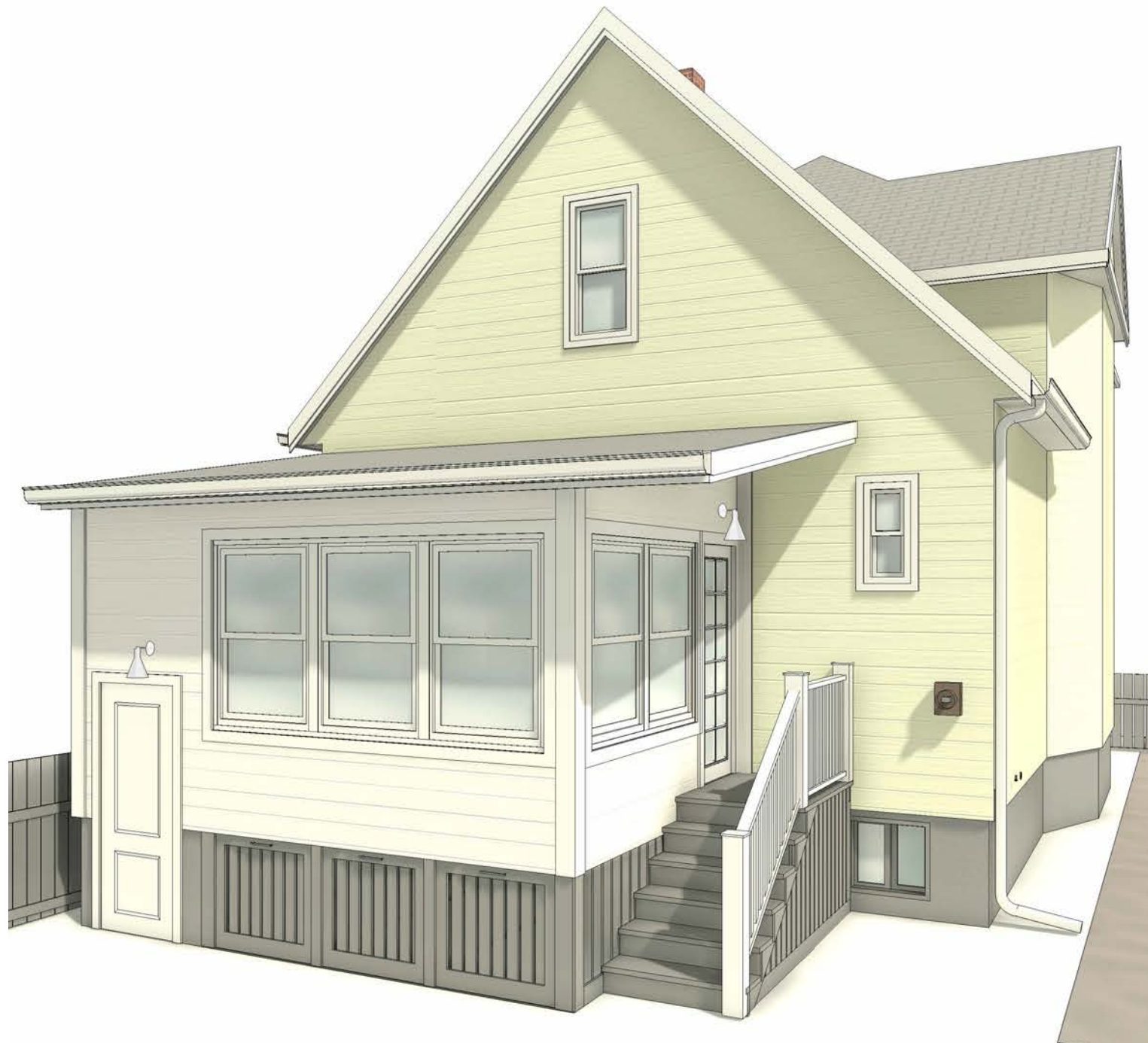


WEST









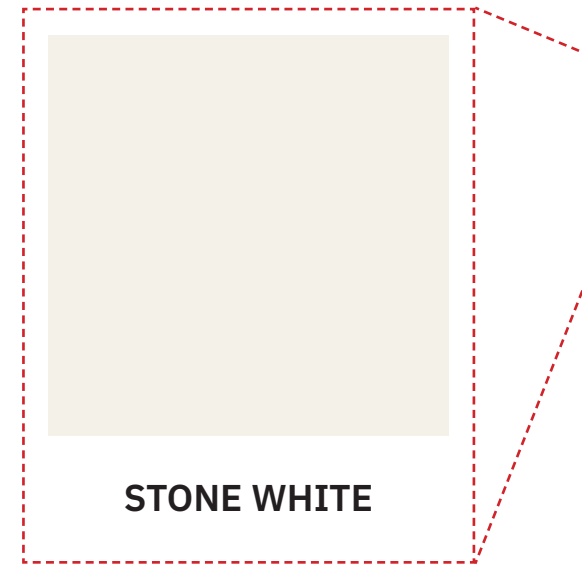
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4-8 (1422)		4-8 (1422)						
4-11 3/4 (1518)		4-11 3/4 (1518)	UDHG2 1626	UDHG2 2026	UDHG2 2426	UDHG2 2626	UDHG2 2826	UDHG2 3026
5-0 (1524)		5-0 (1524)						
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Ultimate Double Hung G2: UDHG2



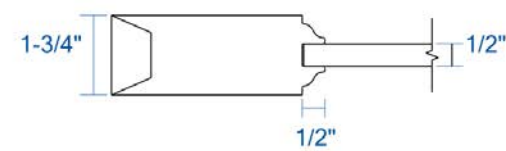
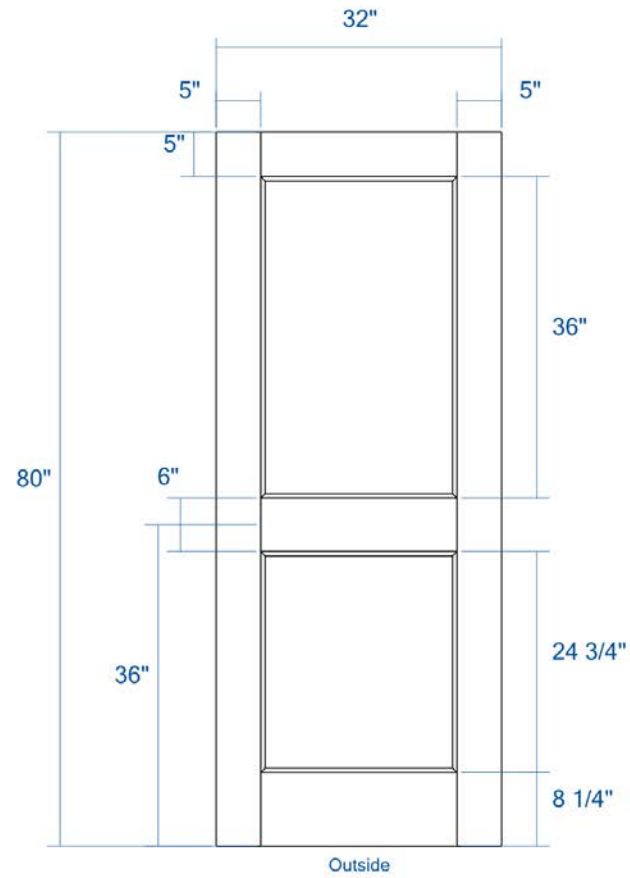
ALLENSON HOME
HISTORIC DISTRICT COMMISSION APPLICATION

SPECIFICATIONS: WINDOWS

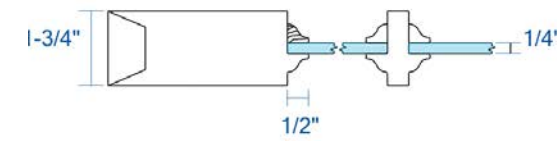
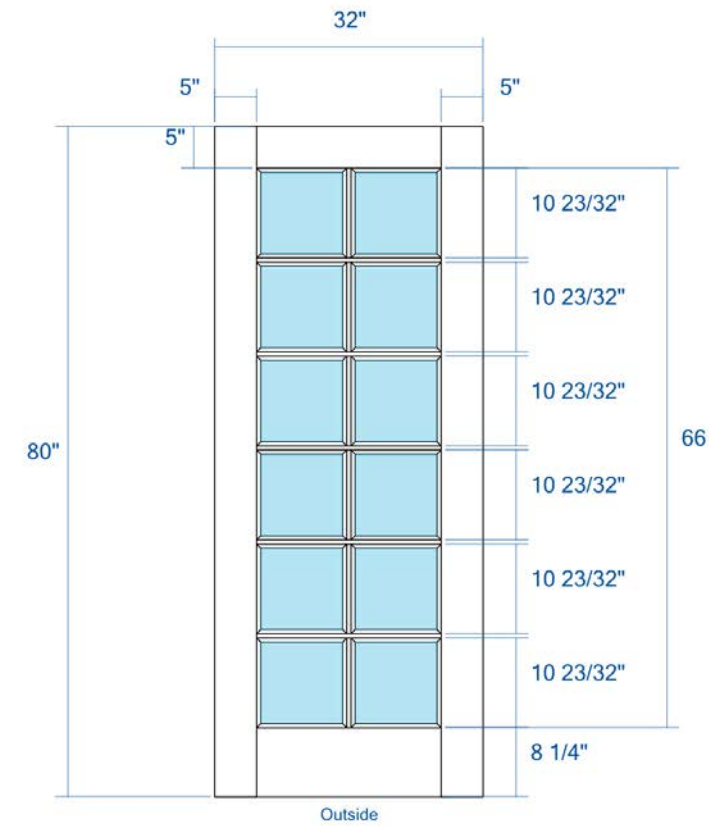
01.29.2025



EXTERIOR DOORS TO BE PRIMED WHITE AND PAINTED TO MATCH NEW WINDOW TRIM



Door Style	Sticking	Panel	Material
TS2020	OG	C	MDF



Door Style	Sticking	Panel	Material	Glass / Insert
FL1200	OG	NA	MDF	1/4" Clear Tempered



BARRET CONICAL OUTDOOR WALL SCONCE - ALDER & ORE

