






NOTE: Based on the scope of work, additional documentation may be required. See www.detroitmi.gov/hdc for scope-specific requirements.

PROJECT DETAILS – TELL US ABOUT YOUR PROJECT


Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.

| | |
|---|---------------|
| ePLANS PERMIT NUMBER: <small>(only applicable if you've already applied for permits through ePLANS)</small> | RES2024-04424 |
|---|---------------|

GENERAL

| | |
|---|---|
| <p>1. DESCRIPTION OF EXISTING CONDITION <i>Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")</i></p> <p>The existing house suffered a substantial electrical fire in February 2024. The original wood windows have sustained damage, either from the fire directly, from the permanent effects of smoke, or from extinguishing the fire. Full remediation & demolition of the interior is required, and work will include repair & repainting of exterior (stucco body and wood trim). Some soot & smoke damage is visible on exterior, and will be cleaned and repaired prior to work.</p> |  |
| <p>2. PHOTOGRAPHS <i>Help us understand your project. Please attach photographs of all areas where work is proposed.</i></p> |  |
| <p>3. DESCRIPTION OF PROJECT <i>In this box, tell us about what you want to do at the areas described above in box #1. (For example, Install new asphalt shingle roofing at garage.)</i></p> <p>Exterior Paint of Stucco Body, Wood Trim, Shutters & Doors Replacement of Existing Windows Restoration of Existing Sunroom Windows Removal of Rear Awnings</p> |  |
| <p>4. DETAILED SCOPE OF WORK <i>In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")</i></p> <p><input type="checkbox"/> Clean all wood surfaces & stucco walls (power wash) <input type="checkbox"/> Patch and repair existing wood trim as needed <input type="checkbox"/> Restore or replace existing windows (match original grille styles and operation) <input type="checkbox"/> Repaint entire exterior using recommended HDC Color System E (see diagram and color selections) <input type="checkbox"/> Repair and repaint all exterior doors; replace french doors in kitchen (damaged beyond repair)</p> |  |
| <p>5. BROCHURES/CUT SHEETS <i>Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.</i></p> |  |

ADDITIONAL DETAILS

| | |
|--|---|
| <p>6. WINDOWS/DOORS <i>Detailed photographs of window(s) and/or door(s) proposed for replacement showing the condition of the interior and exterior of the window(s) and/or door(s)</i></p> |  |
| | |
| | |
| | |

THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

DATE: 10/18/24

PROPERTY INFORMATION

ADDRESS(ES): 1783 Iroquois Street AKA: _____

PARCEL ID: 17007535 HISTORIC DISTRICT: Indian Village

SCOPE OF WORK: (Check ALL that apply)

| | | | | | |
|---|---|--|--|---|-----------------------------------|
| <input checked="" type="checkbox"/> Windows/ Doors | <input type="checkbox"/> Walls/ Siding | <input checked="" type="checkbox"/> Painting | <input type="checkbox"/> Roof/Gutters/ Chimney | <input type="checkbox"/> Porch/Deck/ Balcony | <input type="checkbox"/> Addition |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Signage | <input type="checkbox"/> New Building | <input type="checkbox"/> Major Alteration <i>(3+ scope items)</i> | <input type="checkbox"/> Site Improvements <i>(landscape, trees, fences, patios, etc.)</i> | |

BRIEF PROJECT DESCRIPTION: Property suffered a major fire in Winter 2024. All windows (except 2 sunrooms) have sustained direct fire damage, smoke damage, etc. and need to be replaced (aluminum clad wood). House, trim & doors will be repainted.

APPLICANT IDENTIFICATION

Property Owner/
Homeowner Contractor Tenant or
Business Occupant Architect/Engineer/
Consultant

NAME: Fabian Koark COMPANY NAME: _____

ADDRESS: 1783 Iroquois CITY: Detroit STATE: MI ZIP: 48207

PHONE: _____ MOBILE: 313-265-1432 EMAIL: fabian@corktownhd.com

PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB

- Completed Building Permit Application** (highlighted portions only)
- ePLANS Permit Number** (only applicable if you've already applied for permits through ePLANS)
- Current Photographs:** Including the front of the building & detailed photographs of the area(s) affected by the proposed work. All photographs must be labeled or captioned, e.g. "west wall", "second floor window," etc.
- Description of existing conditions** (including materials and design)
- Description of project** (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)
- Detailed scope of work** (formatted as bulleted list)
- Brochure/cut sheets** for proposed replacement material(s) and/or product(s), as applicable

NOTE:

Based on the scope of work, additional documentation may be required.
See www.detroitmi.gov/hdc for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEtED) to perform the work.

SUBMIT COMPLETED REQUESTS TO: HDC@DETROITMI.GOV

Date: 10/18/24

PROPERTY INFORMATION

Address: 1783 Iroquois Street Floor: Suite#: Stories:
AKA: Lot(s): Subdivision:
Parcel ID#(s): 17007535 Total Acres: Lot Width: Lot Depth:
Current Legal Use of Property: Proposed Use:
Are there any existing buildings or structures on this parcel? Yes No

PROJECT INFORMATION

Permit Type: New Alteration Addition Demolition Correct Violations
Foundation Only Change of Use Temporary Use Other:
Revision to Original Permit #: RES2024-04424 (Original permit has been issued and is active)

Description of Work (Describe in detail proposed work and use of property, attach work list)

Property suffered a major fire in Winter 2024. All windows (except 2 sunrooms) have sustained direct fire damage, smoke damage, or damage from extinguishing fire. Sunroom windows will be restored; all other windows will be replaced. House, trim & doors will be repaired/painted MBC use change No MBC use change

Included Improvements (Check all applicable; these trade areas require separate permit applications)

HVAC/Mechanical Electrical Plumbing Fire Sprinkler System Fire Alarm

Structure Type

New Building Existing Structure Tenant Space Garage/Accessory Building
Other: Size of Structure to be Demolished (LxWxH) cubic ft.

Construction involves changes to the floor plan? Yes No

(e.g. interior demolition or construction to new walls)

Use Group: Type of Construction (per current MI Bldg Code Table 601)

Estimated Cost of Construction \$ By Contractor \$ By Department

Structure Use

Residential-Number of Units: Office-Gross Floor Area Industrial-Gross Floor Area
Commercial-Gross Floor Area: Institutional-Gross Floor Area Other-Gross Floor Area

Proposed No. of Employees: List materials to be stored in the building:

PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements (must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings, existing and proposed distances to lot lines. (Building Permit Application Continues on Next Page)

For Building Department Use Only

Intake By: Date: Fees Due: DngBld? No

Permit Description:

Permit #:

Current Legal Land Use: Proposed Use:

Permit#: Date Permit Issued: Permit Cost: \$

Zoning District: Zoning Grant(s):

Lots Combined? Yes No (attach zoning clearance)

Revised Cost (revised permit applications only) Old \$ New \$

Structural: Date: Notes:

Zoning: Date: Notes:

Other: Date: Notes:



IDENTIFICATION (All Fields Required)

Property Owner/Homeowner

Property Owner/Homeowner is Permit Applicant

Name: Fabian Koark Company Name: _____

Address: 1783 Iroquois City: Detroit State: MI Zip: 48207

Phone: _____ Mobile: 313-265-1432

Driver's License #: K 620 244 002 625 Email: fabian@corktownhd.com

Contractor

Contractor is Permit Applicant

Representative Name: _____ Company Name: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Mobile: _____ Email: _____

City of Detroit License #: _____

TENANT OR BUSINESS OCCUPANT

Tenant is Permit Applicant

Name: _____ Phone: _____ Email: _____

ARCHITECT/ENGINEER/CONSULTANT

Architect/Engineer/Consultant is Permit Applicant

Name: Thomas Affeldt State Registration#: 1301061193 Expiration Date: 4/18/26

Address: 1948 Division Street City: Detroit State: MI Zip: 48207

Phone: 313-874-5936 Mobile: _____ Email: thomas@midtw.com

HOMEOWNER AFFIDAVIT (Only required for residential permits obtained by homeowner.)

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name: Fabian Koark Signature: [Signature] Date: 10/18/24
(Homeowner)

Subscribed and sworn to before me this _____ day of _____ 20 ____ A.D. _____ County, Michigan

Signature: _____ My Commission Expires: _____
(Notary Public)

PERMIT APPLICANT SIGNATURE

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. **I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be**

Print Name: _____ Signature: _____ Date: _____
(Permit Applicant)

Driver's License #: _____ Expiration: _____

Subscribed and sworn to before me this _____ day of _____ 20 ____ A.D. _____ County, Michigan

Signature: _____ My Commission Expires: _____
(Notary Public)

Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.

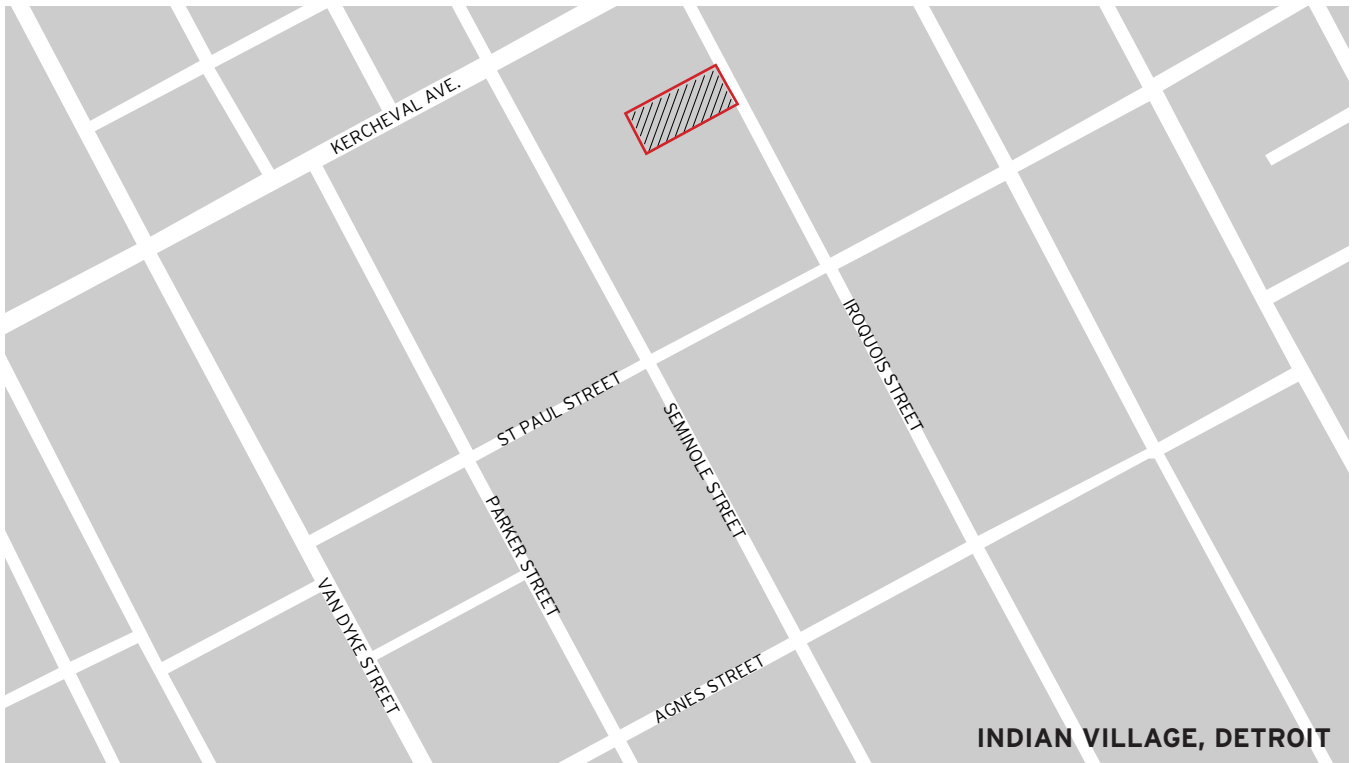
This application can also be completed online. Visit detroitmi.gov/bseed/elaps for more information.





1783 Iroquois Street

Historic District Commission - Project Review Request
November 18, 2024





PROJECT REVIEW REQUEST CHECKLIST - 1783 IROQUOIS AVENUE

1. Photographs of ALL sides of existing building or site

2. Detailed photographs of location of proposed work
(photographs to show existing fire damage throughout interior/exterior)

3. Description of existing conditions (including materials and design)

The existing house suffered a substantial electrical fire in February 2024. The original wood windows have sustained damage, either from the fire directly, from the permanent effects of smoke, or from extinguishing the fire. Full remediation & demolition of the interior is required, and work will include repair & repainting of exterior (stucco body and wood trim). Some soot & smoke damage is visible on exterior, and will be cleaned and repaired prior to work.

4. Description of project

Exterior Paint of Stucco Body, Wood Trim, Shutters & Doors
Replacement and Restoration of Existing Windows
Removal of Rear Awnings

5. Detailed scope of work

- _Clean all wood surfaces & stucco walls (power wash)
- _Patch and repair existing wood trim as needed
- _Restore or replace existing windows (match original grille styles and operation)
- _Repaint entire exterior using recommended HDC Color System E (see diagram and color selections)
- _Repair and repaint all exterior doors; replace french doors in kitchen (damaged beyond repair)

6. Brochure/cut sheets for proposed replacement material(s) and/or product(s)

Replacement Window: Marvin Windows Signature Ultimate cut sheets

Existing Photos

Photographs of ALL sides of existing building



FRONT OF HOUSE - East Facade



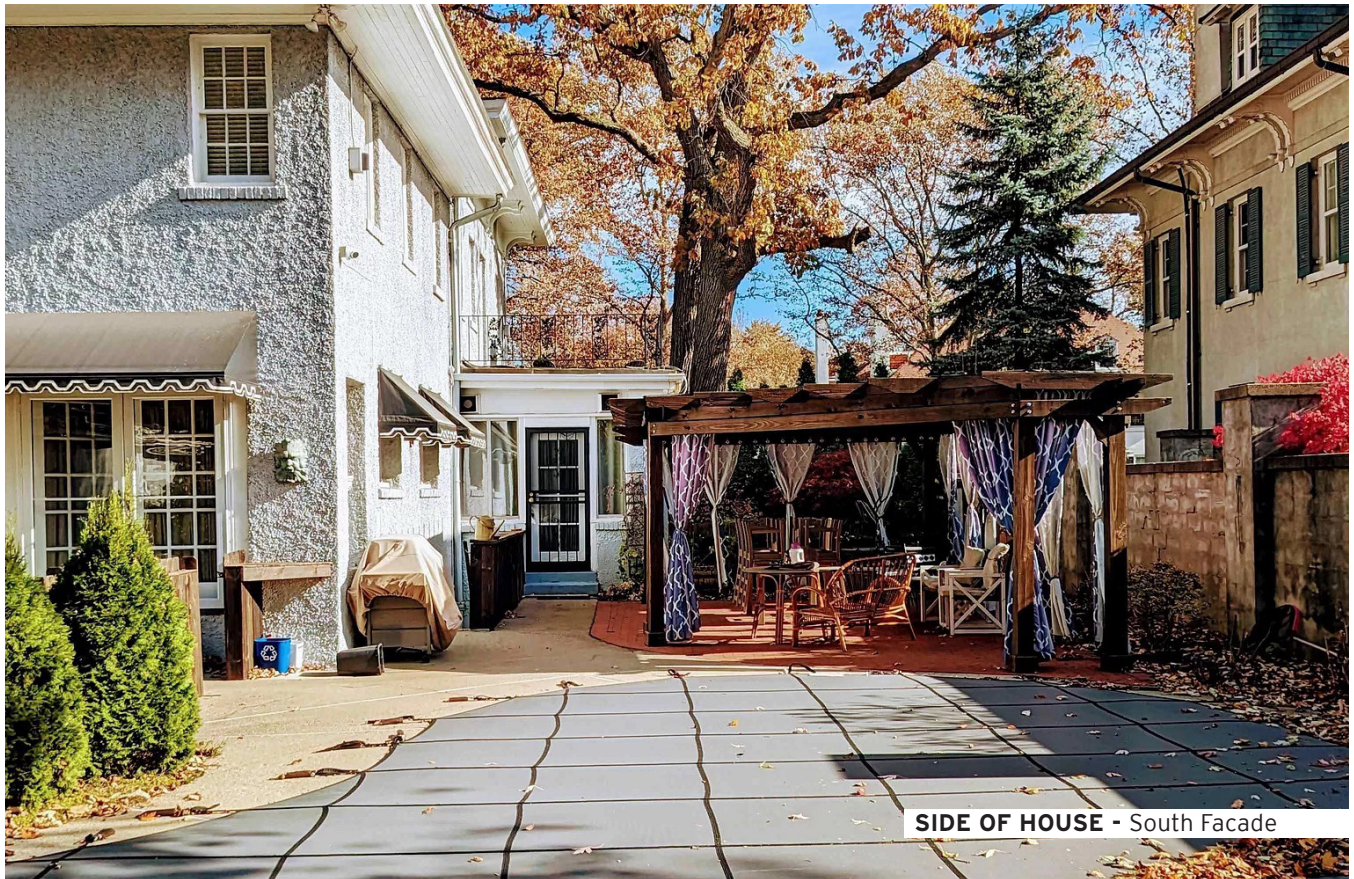
BACK OF HOUSE - West Facade



SIDE OF HOUSE - North Facade



SIDE OF HOUSE - North Facing Veranda



Exterior Windows Scope of Work

Description of Existing Conditions

Detailed Photographs

Scope of Work Strategy

Specifications

DESCRIPTION OF EXISTING CONDITIONS / FIRE DETAILS

Shortly after our clients purchased this home in the winter of 2024, an electrician was at the house replacing original knob & tube wiring. He left the house to go to another job site, and a fire started in the ground floor kitchen. The fire blew out a window in the kitchen and the additional oxygen fueled the fire to grow and move rapidly up through the house, blowing more windows out on the second floor and attic. The fire may have burned for approximately 30 minutes before the fire department arrived to the house. The water used to extinguish the fire left about 4 feet of water in the basement that exited through the floor drains, but damaged materials and equipment in the basement.

911 RESTORATION / FIRE & SMOKE DAMAGE

911 Restoration is currently completing the interior fire remediation of the house. 911 Restoration has confirmed that every room in the house has at least been effected by smoke damage.

Because of the age of the home, the wood structure and plaster walls allowed smoke to enter into all of the wall cavities. The smoke penetrates wood, especially the unfinished wood framing. Any wood material requires heavy cleaning, and all surfaces of the wood must be encapsulated (coated in shellac) to prevent any future smell of smoke.

Almost all windows are original wood windows. Because of the operability of the windows (mostly double hung sashes), as well as the intricate profiles and natural swelling/shrinking of the wood material, it is possible that some smoke smell would remain after cleaning and encapsulating the existing windows, or return in the future.

WINDOWS / SCOPE OF WORK STRATEGY

Reference Window Schedule for clarity on windows that will be replaced or restored.

Most of the windows have sustained some amount of damage: from the fire directly, from the permanent effects of smoke on the original wood windows, or from extinguishing the fire. The following floor plans show the strategy for window replacement and restoration:

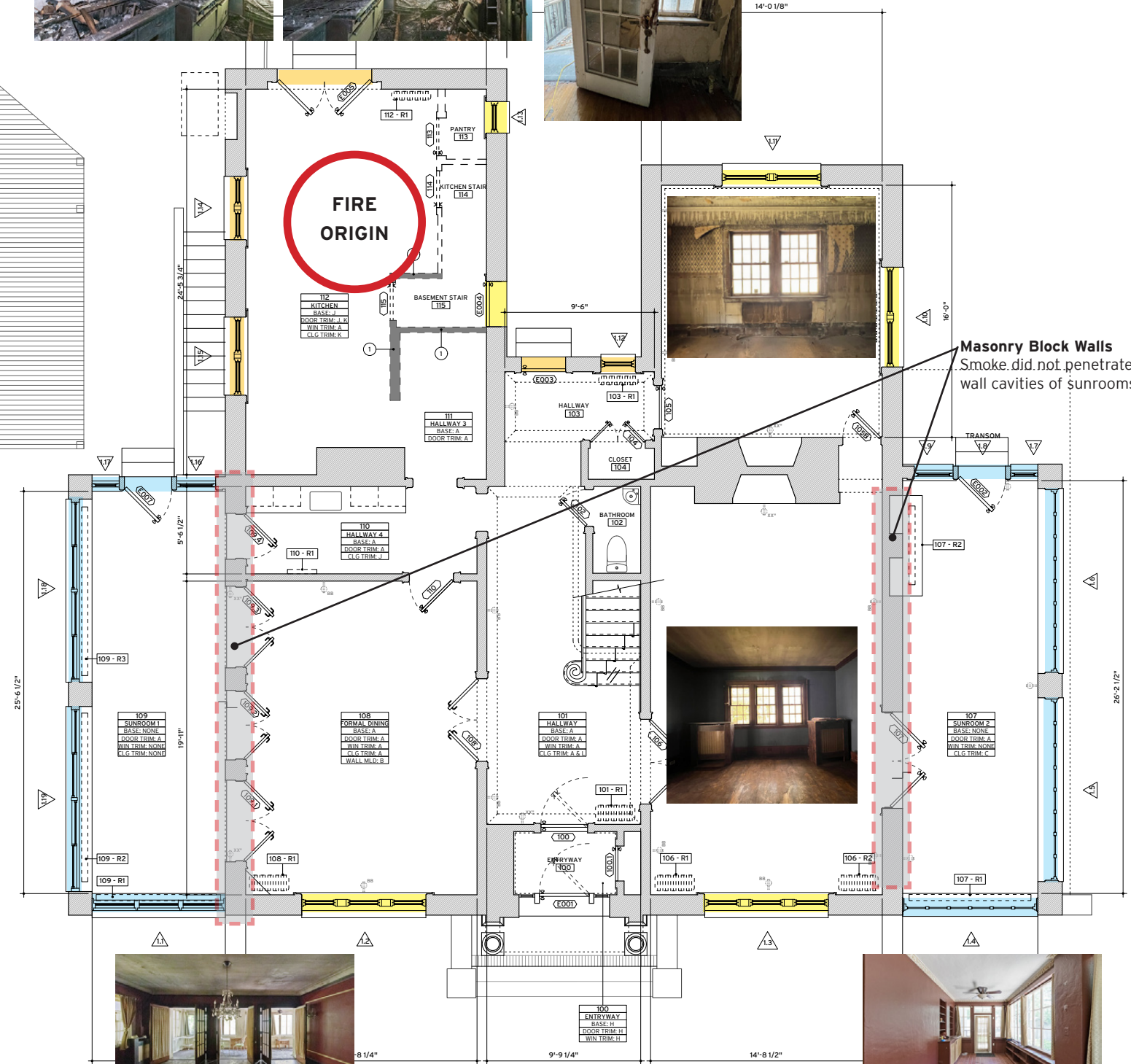
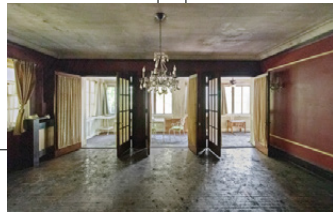
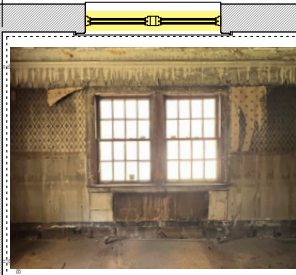
yellow: windows that sustained substantial smoke damage / to be replaced

orange: windows that are complete gone, missing/broken glass, substantial damage / to be replaced

blue*: windows that will be restored (cleaned, shellaced and repainted)

*The exterior walls of the house are masonry block, therefore the smoke did not penetrate the (2) side sunroom wall cavities, plaster, and wood windows. We are proposing that the windows in both sunrooms be restored rather than replaced. These rooms are (3) season rooms with accessory uses, so the clients are willing to risk the remainder of any residual smoke smell here only, and may elect to replace them later.

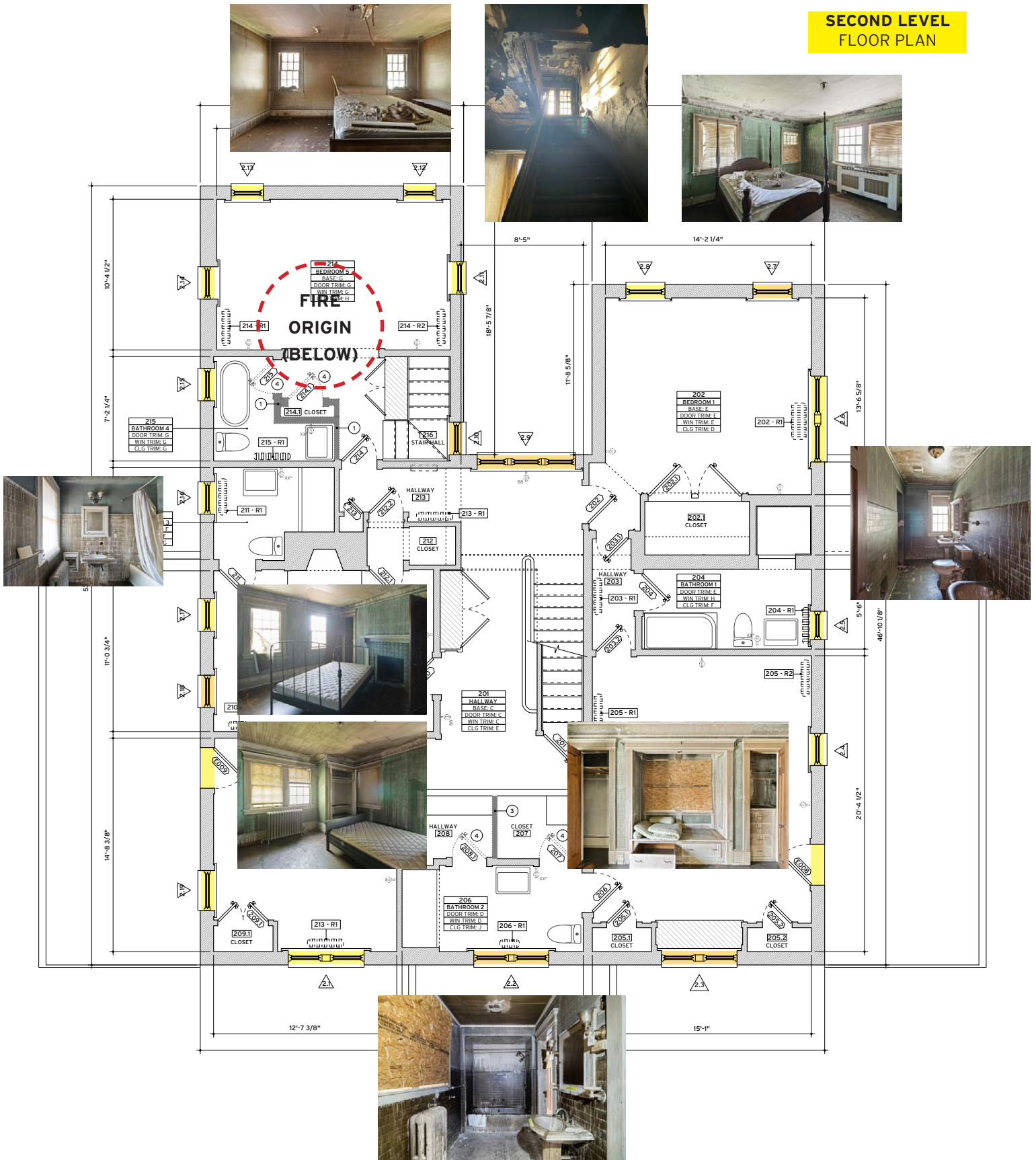
FIRST LEVEL FLOOR PLAN



Masonry Block Walls
Smoke did not penetrate
wall cavities of sunrooms

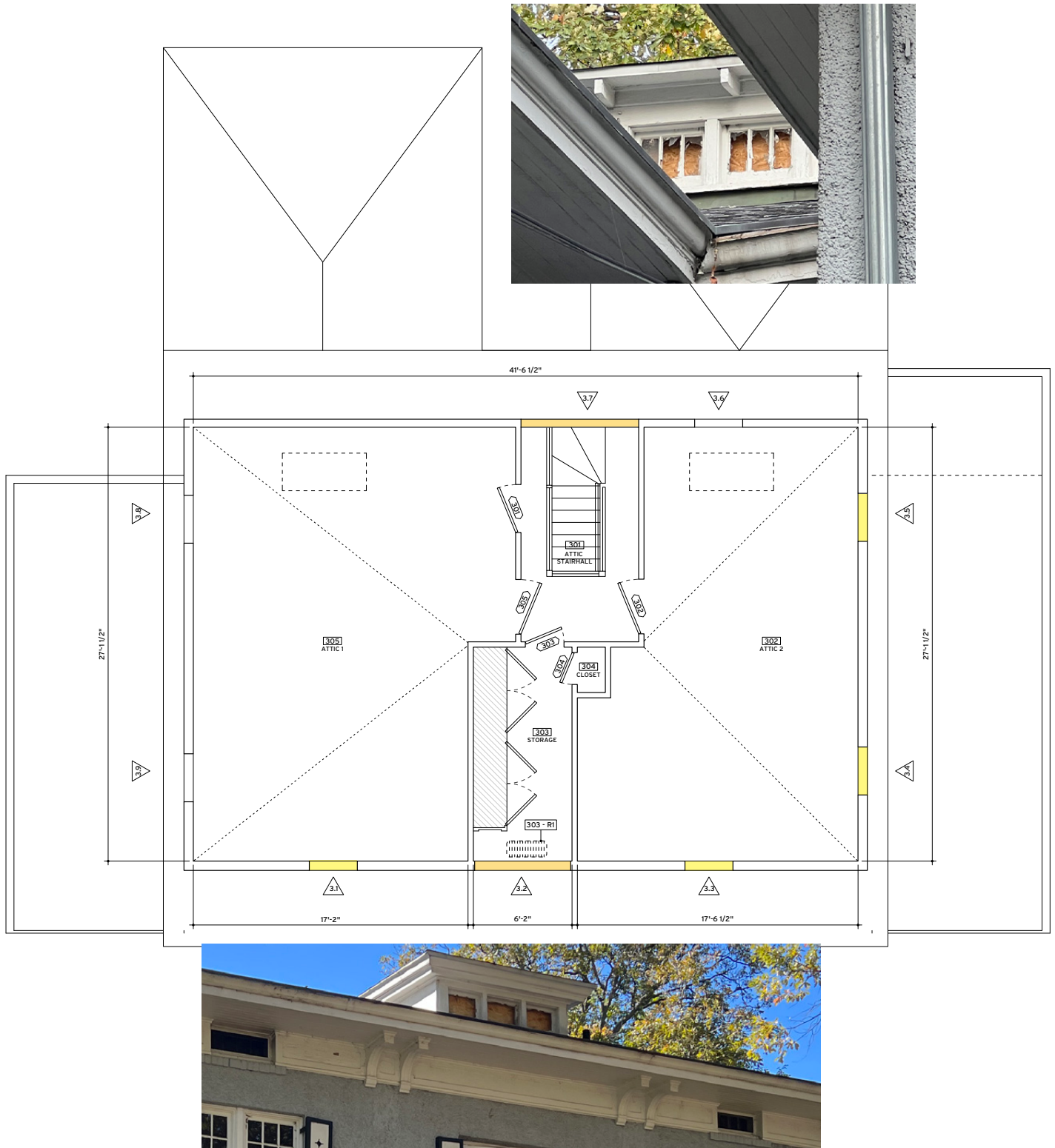
yellow: windows that sustained substantial smoke damage / to be replaced
orange: windows that are complete gone, missing/broken glass, substantial damage / to be replaced
blue*: windows that will be restored (cleaned, shellaced and repainted)

SECOND LEVEL FLOOR PLAN



yellow: windows that sustained substantial smoke damage / to be replaced
 orange: windows that are complete gone, missing/broken glass, substantial damage / to be replaced

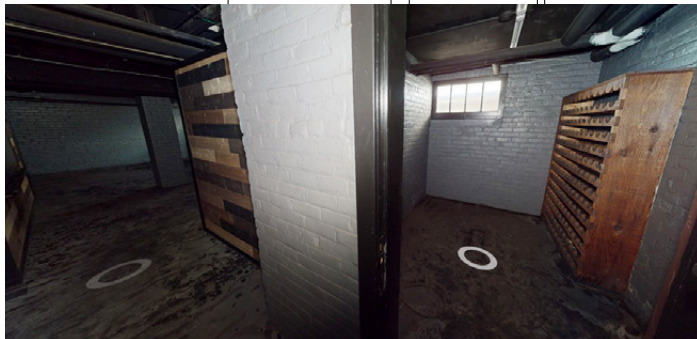
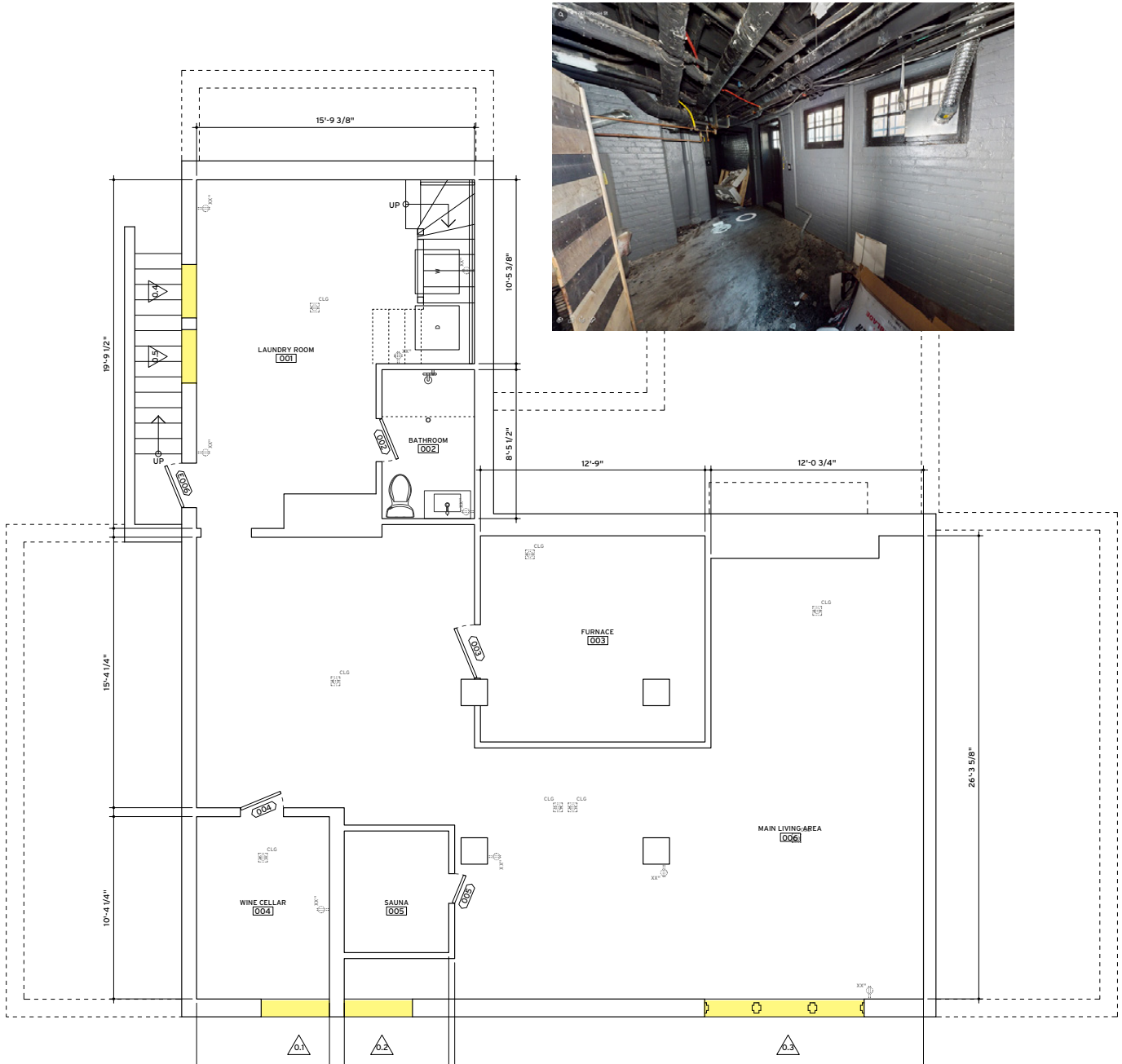
**ATTIC LEVEL
FLOOR PLAN**



yellow: windows that sustained substantial smoke damage / to be replaced
orange: windows that are complete gone, missing/broken glass, substantial damage / to be replaced

yellow: windows that sustained smoke & mildew damage / to be replaced

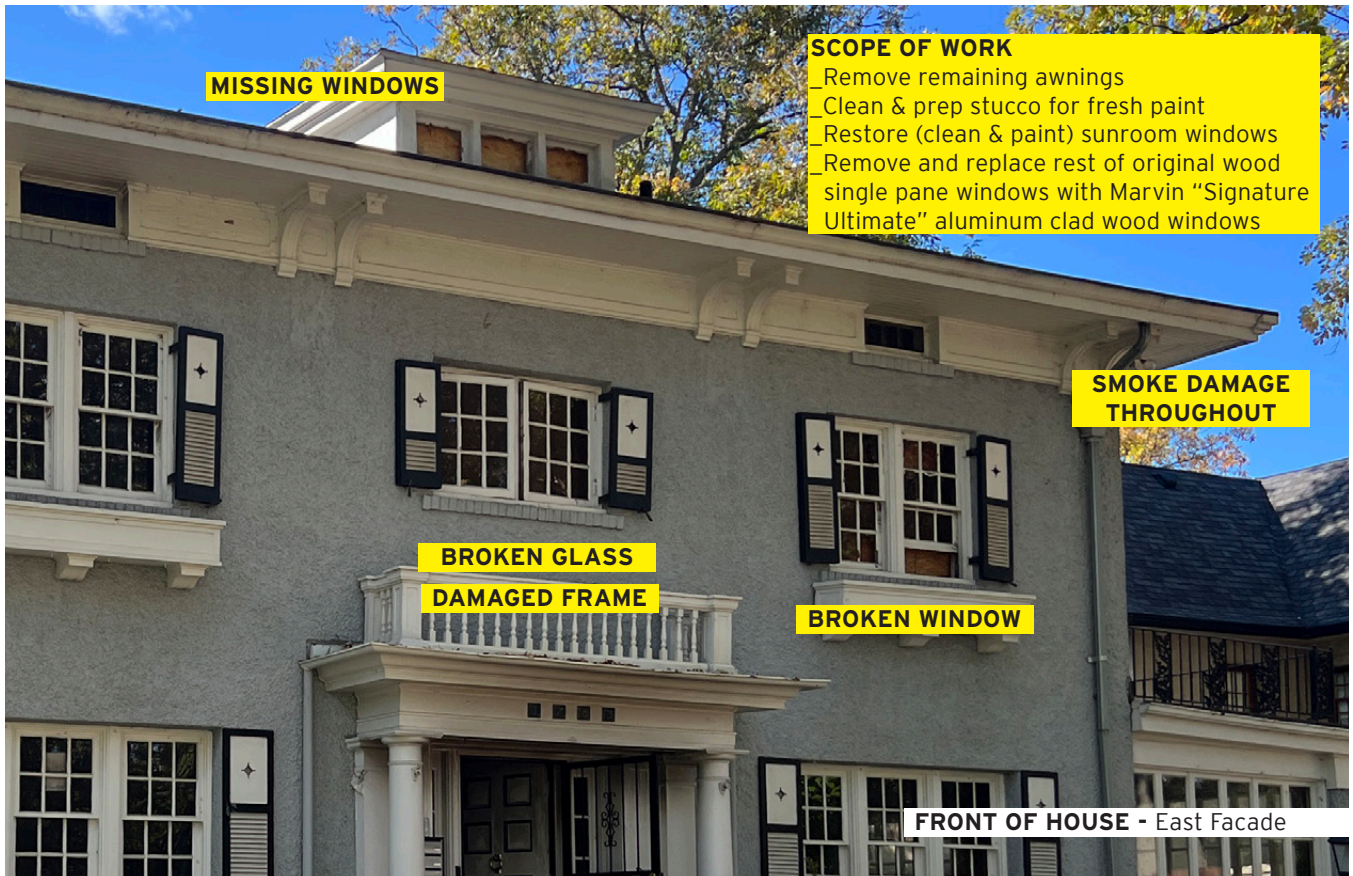
**BASEMENT LEVEL
FLOOR PLAN**



Detailed Photos - Windows

Exterior Photos of Damage

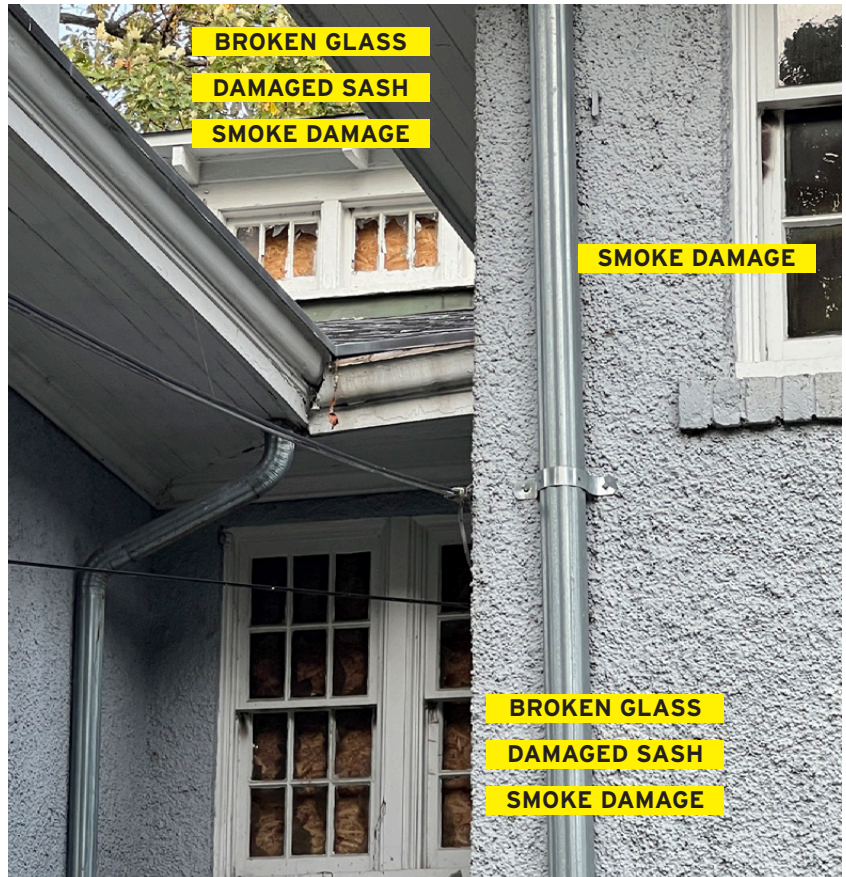
Interior Photos (Smoke Damage & Broken Windows)





SMOKE DAMAGE

BROKEN GLASS



BROKEN GLASS

DAMAGED SASH

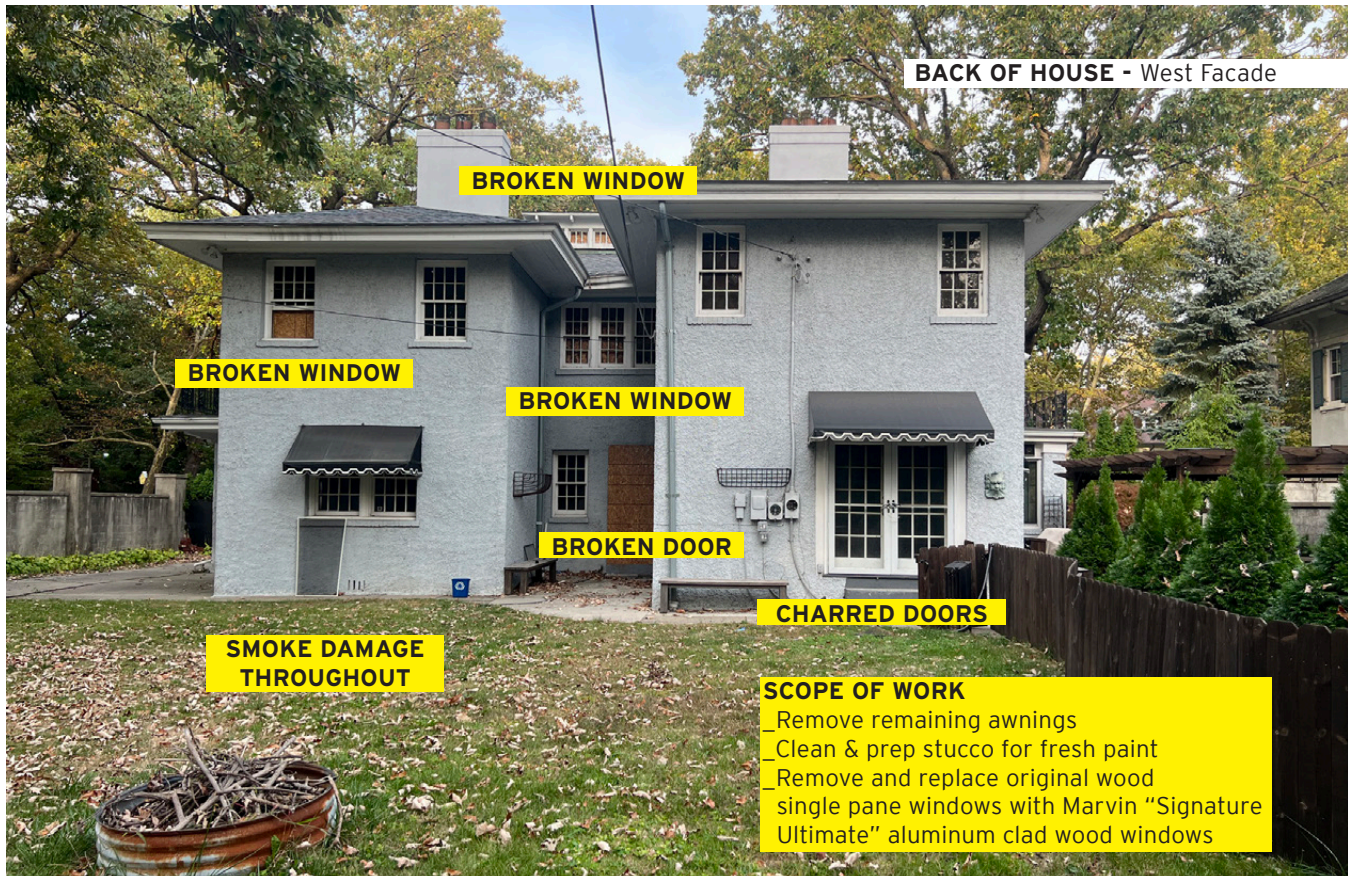
SMOKE DAMAGE

SMOKE DAMAGE

BROKEN GLASS

DAMAGED SASH

SMOKE DAMAGE



BACK OF HOUSE - West Facade

BROKEN WINDOW

BROKEN WINDOW

BROKEN WINDOW

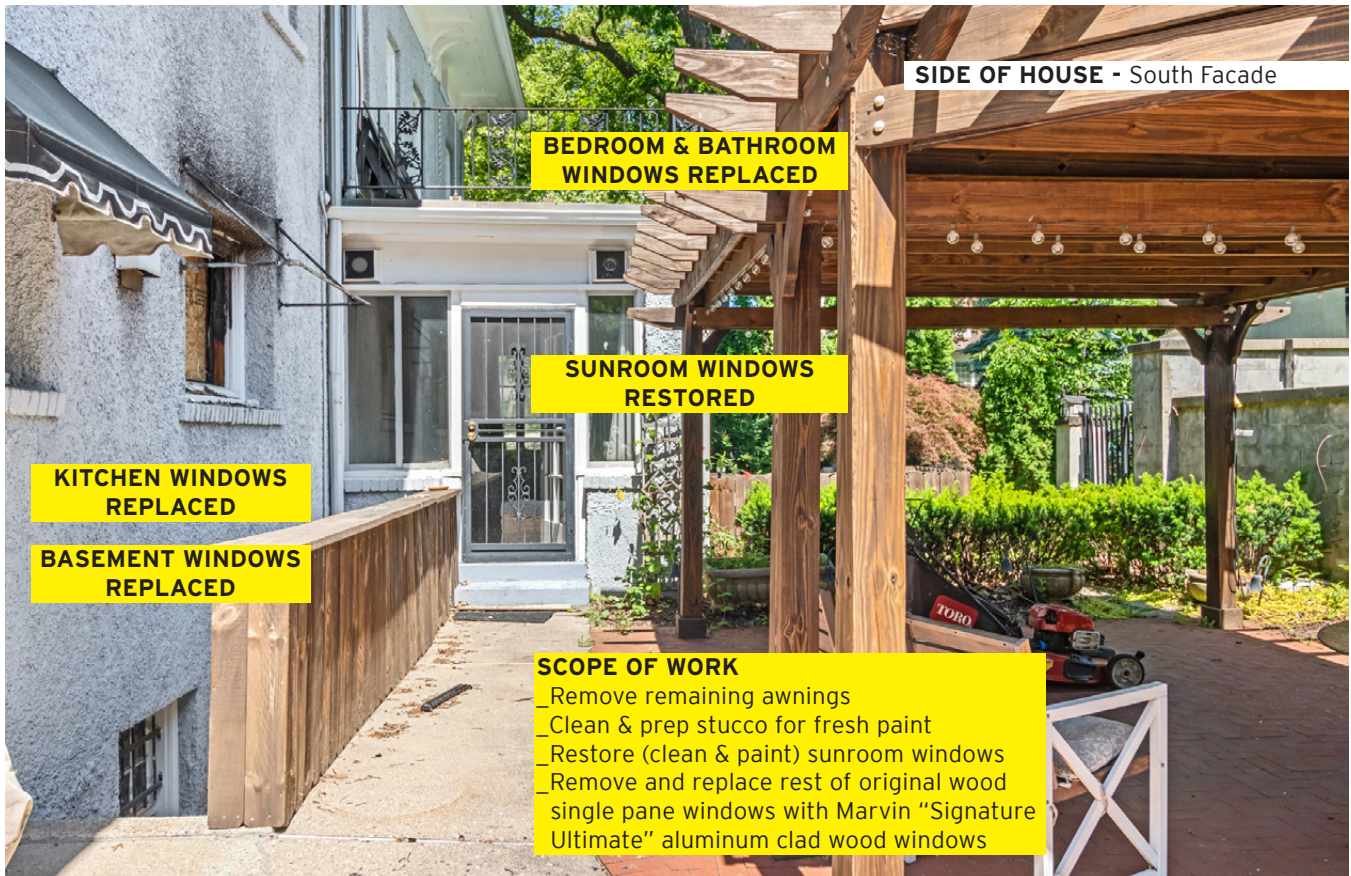
BROKEN DOOR

CHARRED DOORS

**SMOKE DAMAGE
THROUGHOUT**

SCOPE OF WORK

- _ Remove remaining awnings
- _ Clean & prep stucco for fresh paint
- _ Remove and replace original wood single pane windows with Marvin "Signature Ultimate" aluminum clad wood windows





SMOKE DAMAGE



**ATTIC, BEDROOM, & BATHROOM
WINDOWS REPLACED**

**SUNROOM WINDOWS
RESTORED**

**OFFICE WINDOWS
REPLACED**

SCOPE OF WORK

- _ Remove remaining awnings
- _ Clean & prep stucco for fresh paint
- _ Restore (clean & paint) sunroom windows
- _ Remove and replace rest of original wood single pane windows with Marvin "Signature Ultimate" aluminum clad wood windows

SIDE OF HOUSE - North Facade



GARAGE - Northwest Corner of Site



**WINDOW 2-10 / VIEW
FROM EXTERIOR**



**WINDOW 2-10 / VIEW
FROM INTERIOR**

EXISTING CONDIDTIONS
_ Extent of Smoke Damage is not visible from exterior
_ Smoke penetrates to the inside of wood materials
_ Encapsulation prevents future smoke smell, but with continued operation, wear, and fluctauations in temperature, smell could reappear



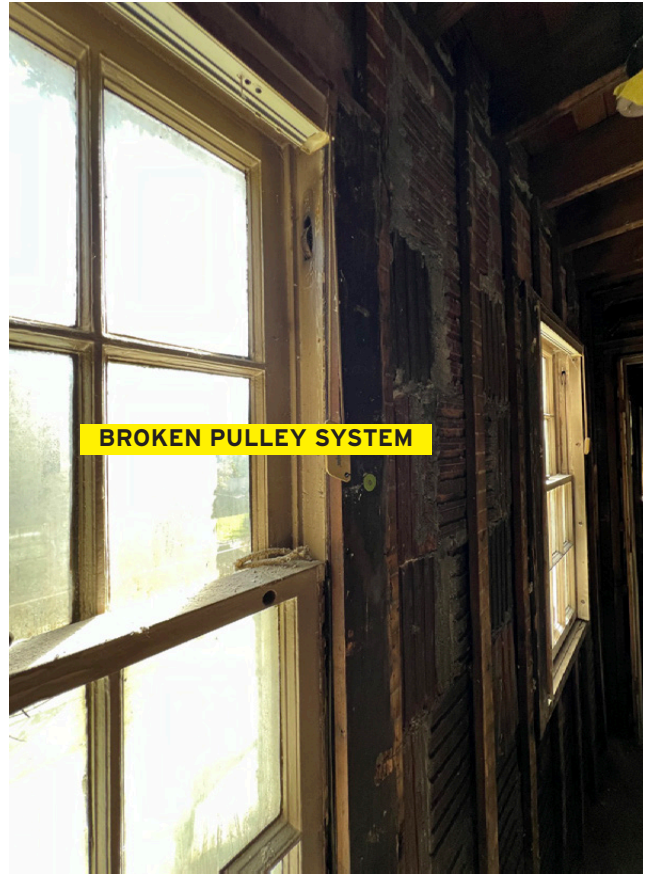
EXISTING CONDIDTIONS

- _Extent of Smoke Damage is not visible from exterior
- _Smoke penetrates to the inside of wood materials
- _Encapsulation prevents future smoke smell, but with continued operation, wear, and fluctauations in temperature, smell could remain
- _Chemicals & Water used to extinguish the fire coat all surfaces of the inside of windows





DAMAGED WINDOW FRAME

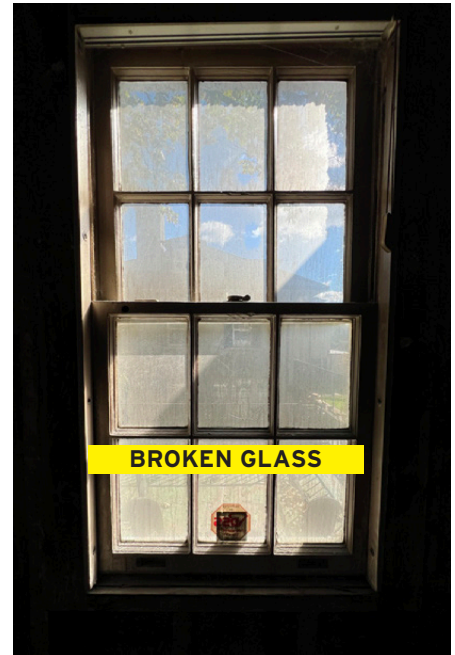


BROKEN PULLEY SYSTEM



EXISTING CONDITIONS

- _ Extent of Smoke Damage is not visible from exterior
- _ Smoke penetrates to the inside of wood materials
- _ Operability of many windows compromised
- _ Damaged window frames & sashes



EXISTING CONDITIONS

- _Extent of Smoke Damage is not visible from exterior
- _Smoke penetrates to the inside of wood materials
- _Extent of Damaged Glass not visible from exterior



EXISTING CONDIDTIONS

- _ Extent of Smoke Damage is not visible from exterior
- _ Smoke penetrates to the inside of wood materials
- _ Encapsulation prevents future smoke smell, but with continued operation, wear, and fluctauations in temperature, smell could remain
- _ Damaged doors from extinguishing fire
- _ Smoke damaged window frames need to be cleaned and encapsualted to prevent future fire smell

FURTHER EXPLANATION OF WINDOW STRATEGY:

>> Homeowner requested a quote for restoring the windows, which included cleaning and stripping the windows, replacing all glazing and restoring hardware, as well as providing new custom built storm windows (owner does not have any of the original storm windows).

Window Restoration*

Restore all windows (not including sunroom): \$85,265

Build new storm windows: \$47,970

Total: \$133,235

*potential that windows may still smell like smoke, especially ones that are operated frequently, such as bedrooms or ones with stained wood interior finish (office & kitchen)

Marvin Windows

Signature Ultimate Premium Replacement Windows (not including sunroom)

Total: \$85k (Material Only)

The initial insurance claim includes approx. \$30k for the entire window package. The homeowner elected to replace 62 windows (not incl. the sunroom windows which will be restored) with Marvin's premium "Ultimate" Signature Window Collection to match the likeness of the historic windows but with a more durable aluminum clad wood exterior, insulated glass with simulated divided lites, and a wood interior finish. Please reference the following Marvin brochure & cut sheets.

Window Specifications

Replacement Windows: Marvin "Ultimate" Signature Collection
Description of the replacement & repair process

DESCRIPTION OF REPAIR PROCESS:

Existing Windows / Repair (as indicated in window schedule)

The existing brick mould casing and subsills will remain in place where the existing windows will be restored at both sunrooms. The masonry sills and stucco openings will also remain as-is.

Repair Process in 107 Sunroom & 109 Sunroom* :

- >> These windows will remain in place and be thoroughly cleaned to remove soot, residue, and smoke smell.
- >> The wood windows will be professionally caulked, prepped, and primed for new paint
- >> The wood windows will be professionally painted with exterior paint (Benjamin Moore "Aura Exterior Paint - Low Lustre"). The color will match the exterior bronze finish of the replacement windows.
- >> The aluminum sliding windows (1.16-1.19) will be reconditioned, but will not be painted.
- >> The glass lites in these windows are in good condition, and will remain in place

*The homeowners plan to replace the sunroom windows in a few years to match the rest of the replacement windows, after recovering from the scope of the fire repair renovation. They are aware they will need HDC approval at that future date as well.

DESCRIPTION OF REPLACEMENT PROCESS:

New Aluminum Clad Wood Windows / Replace (as indicated in window schedule)

The existing brick mould casing and subsills will be replaced to match the original profiles with Marvin Window "Ridgeland Casing A1446" and subsill "A1452" in corresponding exterior "Bronze" finish to match window frames. Refer to window schedule and cut sheets. The masonry sills and stucco openings will remain as-is.

Replacement Process:

- >> Existing damaged wood window, wood subsills, and brick mould casing will be removed
- >> Old caulk, sealant, etc will be removed and window openings will be cleaned and repaired as necessary to prep for new windows and exterior paint
- >> Stucco and brick sills will be repaired as necessary
- >> New Aluminum-clad-wood windows will be installed with factory applied casing, subsills, and space mullions to match the original window sizes, layout, trim profiles, window operation, and grille styles.



Window 1.4

107 Sunroom / Window Repair

Existing Windows are all original wood windows

>> The existing brick mould casing and subsills will remain in place

>> The masonry sills and stucco openings will also remain as-is.

>> These windows will remain in place and be thoroughly cleaned to remove soot, residue, and smoke.

>> The wood windows will be professionally caulked, prepped, and primed for new paint

>> The wood windows will be professionally painted with exterior paint (Benjamin Moore "Aura Exterior Paint - Low Lustre"). The color will match the exterior bronze finish of the replacement windows.





Window 1.1



109 Sunroom / Window Repair

Existing Windows are a mix of original wood windows and aluminum sliding windows

- >> The existing brick mould casing and subsills will remain in place
- >> The masonry sills and stucco openings will also remain as-is.
- >> These windows will remain in place and be thoroughly cleaned to remove soot, residue, and smoke.
- >> The wood windows will be professionally caulked, prepped, and primed for new paint
- >> The wood windows will be professionally painted with exterior paint (Benjamin Moore "Aura Exterior Paint - Low Lustre"). The color will match the exterior bronze finish of the replacement windows.
- >> The aluminum sliding windows (1.16-1.19) will be cleaned and reconditioned, but will not be painted.



M1DTW ARCHITECTS 1783 IROQUOIS ST

Quote #: 78QPVT8

A Proposal for Window and Door Products prepared for:

Job Site:
49214

Shipping Address:

ANTCLIFF WINDOWS & DOORS
5410 HIGHLAND RD
WHITE LAKE, MI 48383-2532

REPLACEMENT WINDOW SPECS

Featuring products from:



OMS Ver. 0004.09.00 (Current)
Product availability and pricing subject to change.

**M1DTW ARCHITECTS
1783 IROQUOIS ST
Quote Number: 78QPVT8**

GLOBAL SPECS

The following product and option choices were designated as part of this project's Global Spec. Global Specs can be over-ridden on a line item basis. Exceptions to the specification are outlined in Line Item Quotes. Please proof all units thoroughly to ensure accuracy.

Ultimate Spec



Ultimate Specification - Advanced Options
Exterior/Interior Colors/Finishes - Exterior Color
Exterior/Interior Colors/Finishes - Interior Finish
Divided Lites - Divided Lite Type
Divided Lites - Bar Width
Divided Lites - With Spacer
Window Hardware - Top Sash Strike Plate Assembly Color
Window Hardware - Window Hardware Color
Window Screens - Interior Screen Surround Color
Window Screens - Exterior Screen Surround Color
Jamb - Jamb Depth
Ship Loose Options - Screen/Combo Ship Loose
Ship Loose Options - Handles/Covers Ship Loose

Advanced Options
~~Stone White~~ BRONZE
Primed
SDL
7/8"
True
White
White
White
Bronze
4 9/16"
True
True

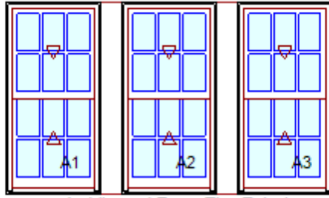
+SUBSILL

A1452 (BRONZE)

+BRICK MOULD CASING (APPLIED IN FACTORY)

"RIDGELAND" CASING / A1446 (BRONZE)

| | | | |
|---------|------------------------------|-----------------|----------|
| Line #6 | Mark Unit: FORMAL DINING 1.2 | Net Price: | 4,616.83 |
| Qty: 1 | | Ext. Net Price: | 4,616.83 |
| | | USD | |



As Viewed From The Exterior

FS 93" X 53 1/2"

RO 94" X 54"

Stone White Clad Exterior
 Primed Pine Interior
 3W1H - Rectangle Assembly
 Assembly Rough Opening
 94" X 54"

Unit: A1
 Ultimate Double Hung G2
 Basic Frame 27" X 53 1/2"
 Rough Opening 28" X 54"

Top Sash
 Stone White Clad Sash Exterior
 Primed Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 3W2H
 Stone White Clad Ext - Primed Pine Int
 Ogee Interior Glazing Profile

Bottom Sash
 Stone White Clad Sash Exterior
 Primed Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 3W2H
 Stone White Clad Ext - Primed Pine Int
 Ogee Interior Glazing Profile
 White Interior Weather Strip Package
 White Exterior Weather Strip Package
 White Sash Lock
 White Top Sash Strike Plate Assembly Color
 Aluminum Screen
 Stone White Surround
 Bright View Mesh
 ***Screen/Combo Ship Loose

TYPICAL WINDOW EXAMPLE

+ SUBSILL: A1452 (BRONZE)

+ "RIDGELAND" CASING: A1446 (BRONZE)

Unit: A2
 Ultimate Double Hung G2
 Basic Frame 27" X 53 1/2"
 Rough Opening 28" X 54"

Top Sash
 Stone White Clad Sash Exterior
 Primed Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 3W2H
 Stone White Clad Ext - Primed Pine Int
 Ogee Interior Glazing Profile

Bottom Sash
 Stone White Clad Sash Exterior
 Primed Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 3W2H
 Stone White Clad Ext - Primed Pine Int
 Ogee Interior Glazing Profile
 White Interior Weather Strip Package
 White Exterior Weather Strip Package
 White Sash Lock
 White Top Sash Strike Plate Assembly Color
 Aluminum Screen
 Stone White Surround
 Bright View Mesh
 **Screen/Combo Ship Loose



CATALOG



EXTERIOR FEATURES AND PERFORMANCE

DURABLE CLADDING

Extruded aluminum exterior cladding with an AAMA verified 2605 finish and backed by a 20-year warranty against chalking and fading.

EXPANSIVE SIZES

Larger than 5 feet wide by 10 feet high.

TRADITIONAL SILL BEVEL

The 14-degree bevel provides optimal water management while maintaining a classic look.



SUPERIOR WEATHER PERFORMANCE

LC-PG50 on most sizes. Optional commercial (CW) performance and IZ3 certified coastal performance on most sizes.

DESIGN VERSATILITY

An array of simulated divided lite patterns, interior and exterior color options, ten hardware finishes, and archtop models.

ALUMINUM INTER-LOCK

Eliminates drafts and improves the window's overall structural integrity.



CATALOG



ULTIMATE
MARVIN SIGNATURE® COLLECTION

ULTIMATE DOUBLE HUNG G2

Engineered for performance and designed to inspire, each aspect of the Ultimate Double Hung G2 window was made with purpose. Our engineers consider every detail from the most innovative features to the most minute subtleties, all because the windows in your home help illuminate the most important parts of your life.

INTERIOR FEATURES AND PERFORMANCE

RICH WOOD INTERIOR

Offers beauty and warmth with six wood species and ten interior finish options.

NARROW CHECKRAIL

Provides a sleek aesthetic at 1 1/16 inches to maximize daylight opening while maintaining historical accuracy.

TILT WASH MODE

Allows easy access to exterior glass for cleaning and maintenance.



EXCLUSIVE AUTOLOCK

Activates when the sashes are closed, locking the window.

FIRST-RATE ENERGY EFFICIENCY

Meets ENERGY STAR® standards in energy efficiency with multiple glass options for various regions, climates, and weather needs.

SASH BALANCE SYSTEMS

Enables smooth operation at the largest sizes.



CATALOG

ULTIMATE
MARVIN SIGNATURE® COLLECTION



ULTIMATE SWINGING FRENCH DOOR G2



Inswing French door G2 with Oil Rubbed Bronze hardware



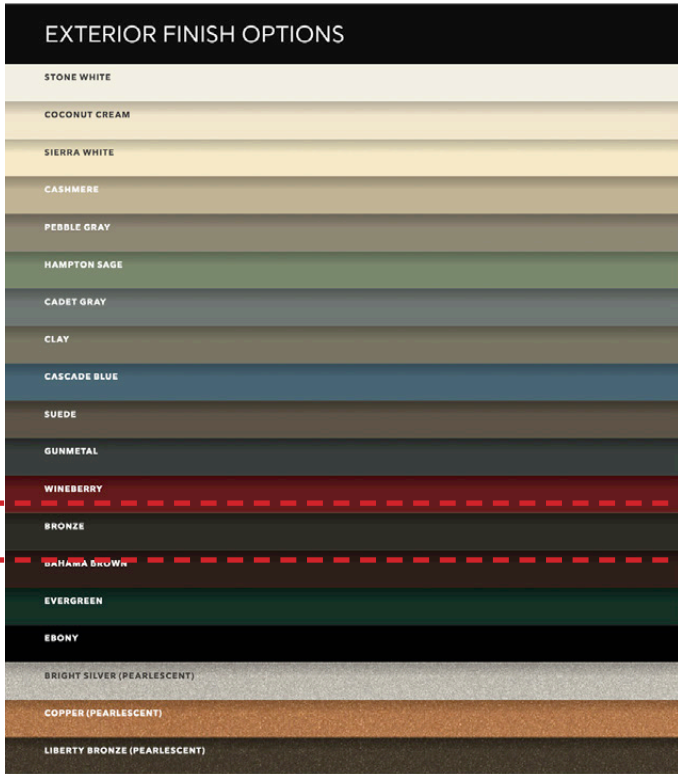
Inswing French door G2 and Elevate Direct Glaze window in White with S

ULTIMATE SWINGING FRENCH DOOR G2

The Ultimate Swinging French door G2, available in both Inswing and Outswing, delivers a traditional aesthetic with 4 1/4 inch top rail and 8 1/4 inch bottom rail. Select sizes up to 10 feet high and 14 feet wide to maximize views and access to the outdoors. Choose up to 4 panels with an Ogee interior profile.

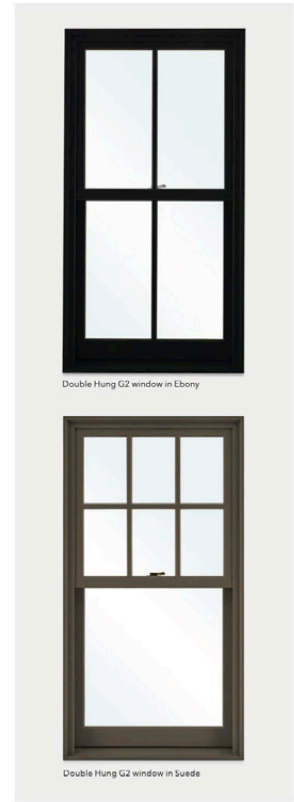


**REPLACE FRENCH DOORS - KITCHEN
(DAMAGED BEYOND REPAIR)
DIVIDED LITES TO MATCH EXISTING**



90 MARVIN SIGNATURE® COLLECTION

EXTRUDED ALUMINUM
 Extruded aluminum is an extremely tough cladding that protects wood windows, mimics the profiles of wood, and provides superior durability. It is the most commonly ordered exterior material for our Ultimate products.
 Select a color from our palette of 19 durable extruded aluminum colors, including a spectrum of rich hues and three pearlescent finishes. If you have more specialized needs, we can also work with you to create a custom color.



91



88 MARVIN SIGNATURE® COLLECTION

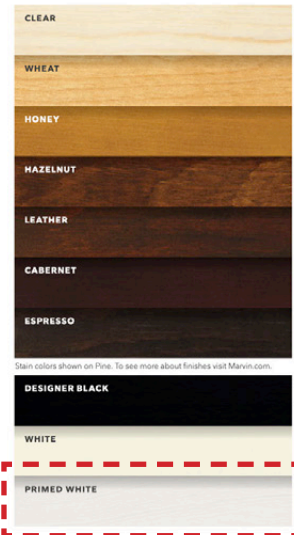
WOOD SPECIES

Offering a rich, warm look, many custom options, and design versatility, wood is a premium choice. Wood can be used on both the interior and exterior of our Ultimate windows and doors. As a lower maintenance option, wood can also be used on only the interior with an extruded aluminum cladding exterior. Marvin offers both options, leading the industry in sourcing, processing, and utilizing high-quality wood.



STAIN + PAINT

When compared to painting or staining on the job site, factory stained finishes offer consistent quality and performance resulting from our expertise with wood as a material and years of perfecting our finishing processes. Painting on the job site or scheduling off-site finishing is an extra step that takes time and coordination. Choose our painted interior finish option on any Marvin windows and doors with a wood or clad exterior for a factory-painted option that arrives ready to install.

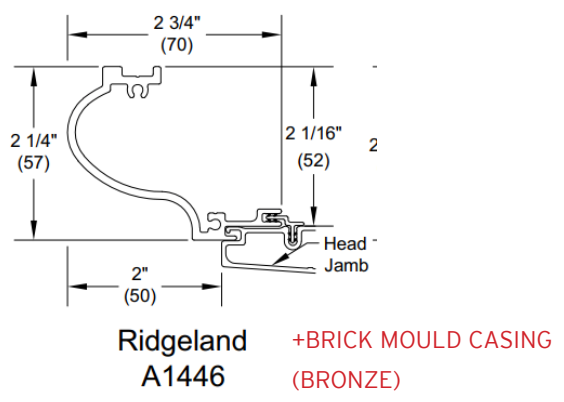
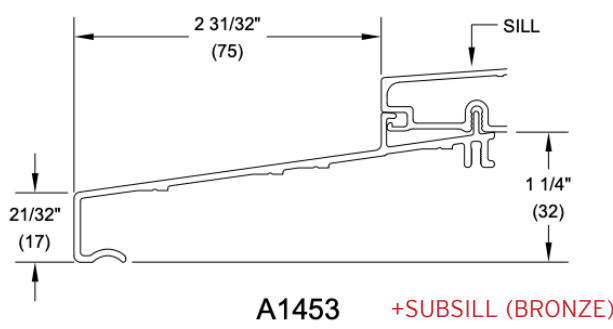
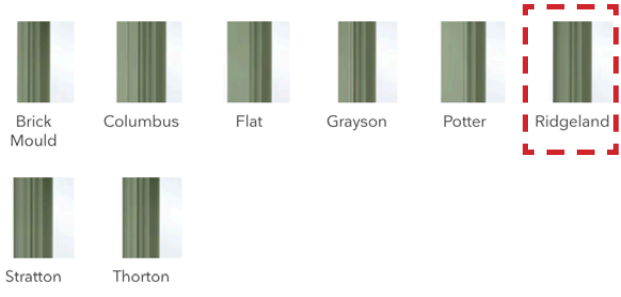


TYPICAL INTERIOR FINISH

Marvin Signature® Ultimate

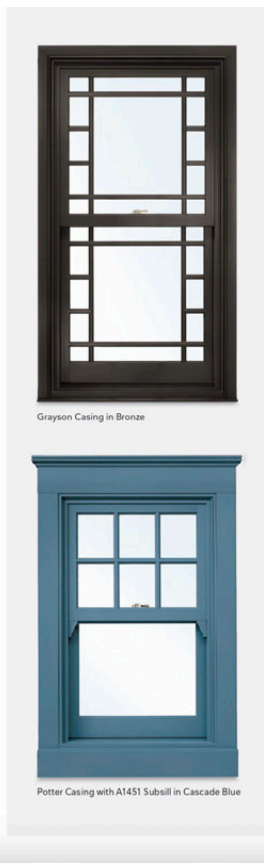
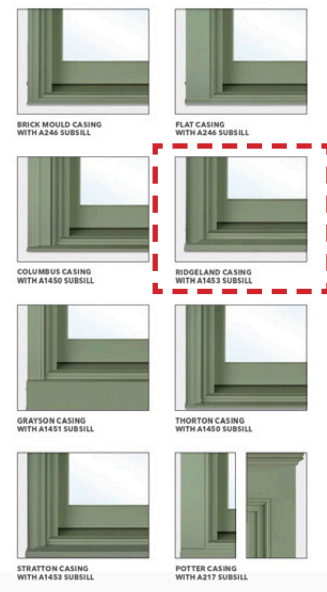
Window & Door Casings

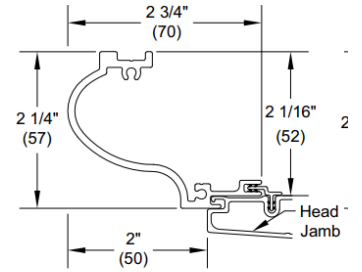
An instant boost to curb appeal, optional exterior casing adds architectural detail and character to the profile of your home. Factory-applied casing saves time on the job site, with beauty and durability that lasts. Exterior casings, optional at the time of order, are available in extruded aluminum and are factory-finished with the same AMMA 2605 finish and paint as the clad exterior for a perfect match.



EXTERIOR CASINGS + SUBSILLS

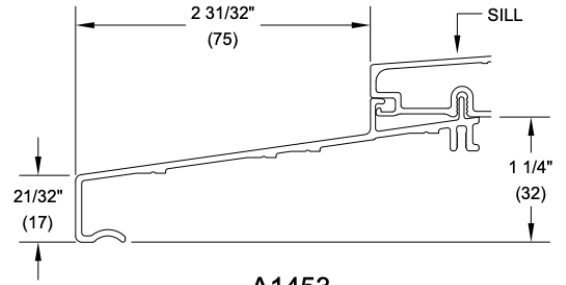
Adding Marvin extruded aluminum or wood casings and subsills to your windows and doors provides great architectural detail to any home. Ultra-durable extruded aluminum casings feature a beautiful factory-applied finish that resists chalking, fading, pitting, corrosion, and marring. Casing profiles are consistent around the sides and top of a window or door, except for the Potter casing profile, which has a taller head. Custom casings and subsills are also available.





MATCH EXISTING
BRICK MOULD CASING
& SUBSILL

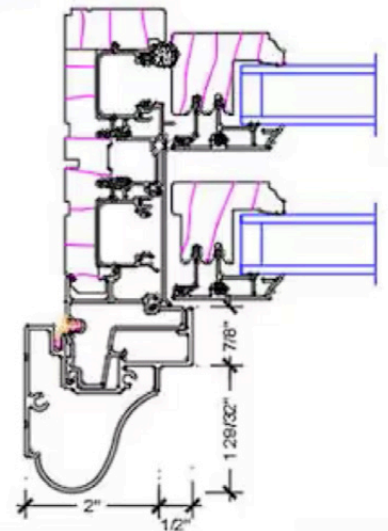
Ridgeland
A1446

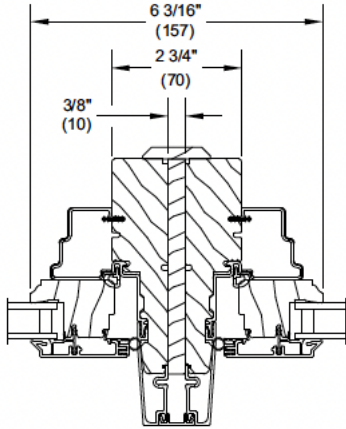


A1453

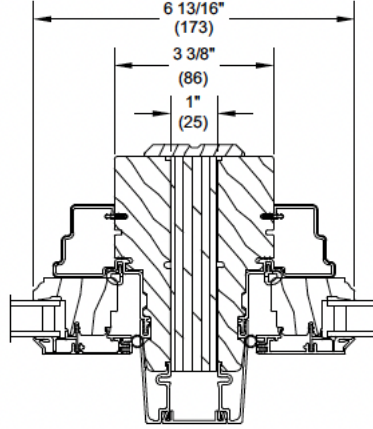


RIDGELAND CSG
PLAN VIEW

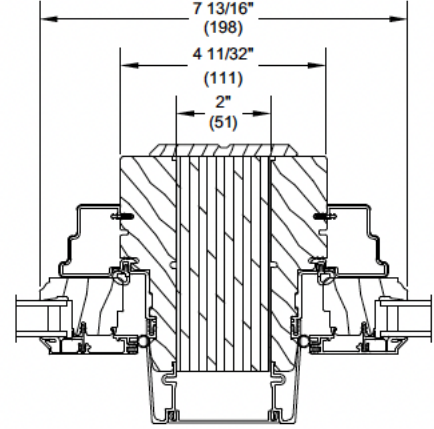




3/8" Solid Space Mull



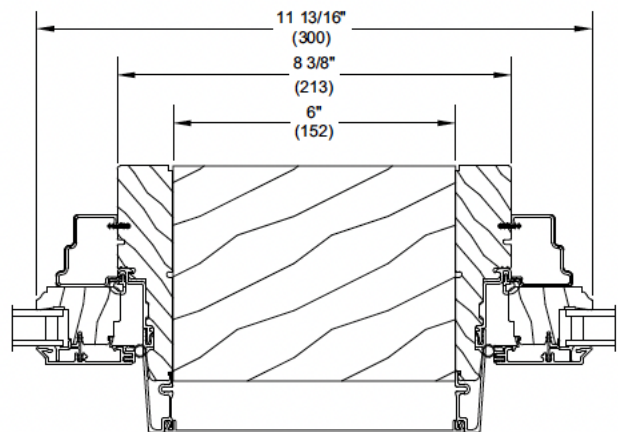
1" LVL



2" LVL

TYPICAL MULLING OPTIONS

- + SUBSILL: A1452 (BRONZE)
- + "RIDGELAND" CASING: A1446 (BRONZE)

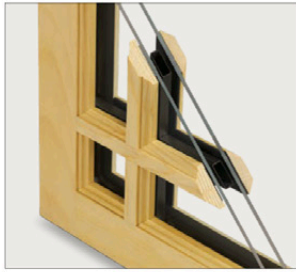


6" Solid Space Mull

DIVIDED LITES

Simulated divided lites, available in a number of different styles, mimic the look of individual panes of glass with the energy efficiency of dual pane insulated glass.

Our custom capabilities allow us to create almost any divided lite pattern to match your design style.

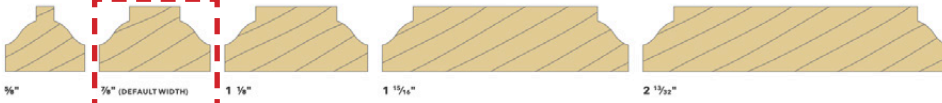


SIMULATED DIVIDED LITES WITH SPACER BARS CREATE THE LOOK OF AUTHENTIC DIVIDED LITES WITH DUAL PANE INSULATED GLASS UNIT

SIMULATED DIVIDED LITE (SDL)

SDL bars are permanently adhered to both sides of the glass. Simulated Divided Lites with Spacer Bars (SDLs) are an energy-efficient way to create the look of authentic divided lites.

FIVE STANDARD BAR WIDTHS



SQUARE STICKING



STICKING AND PROFILES

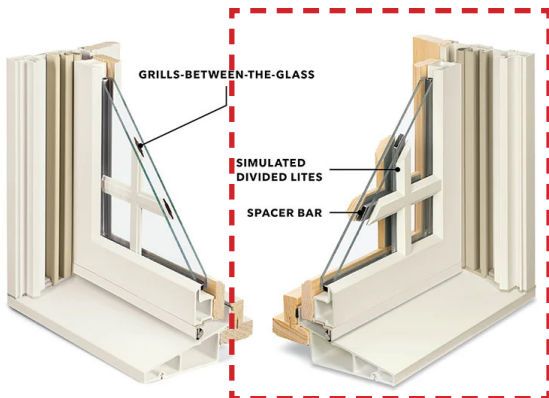
Sticking refers to the interior profiles of your wood window. Choose from the standard Ogee profile (used on traditional projects) or the optional clean, contemporary Square sticking.



OGEE



SQUARE



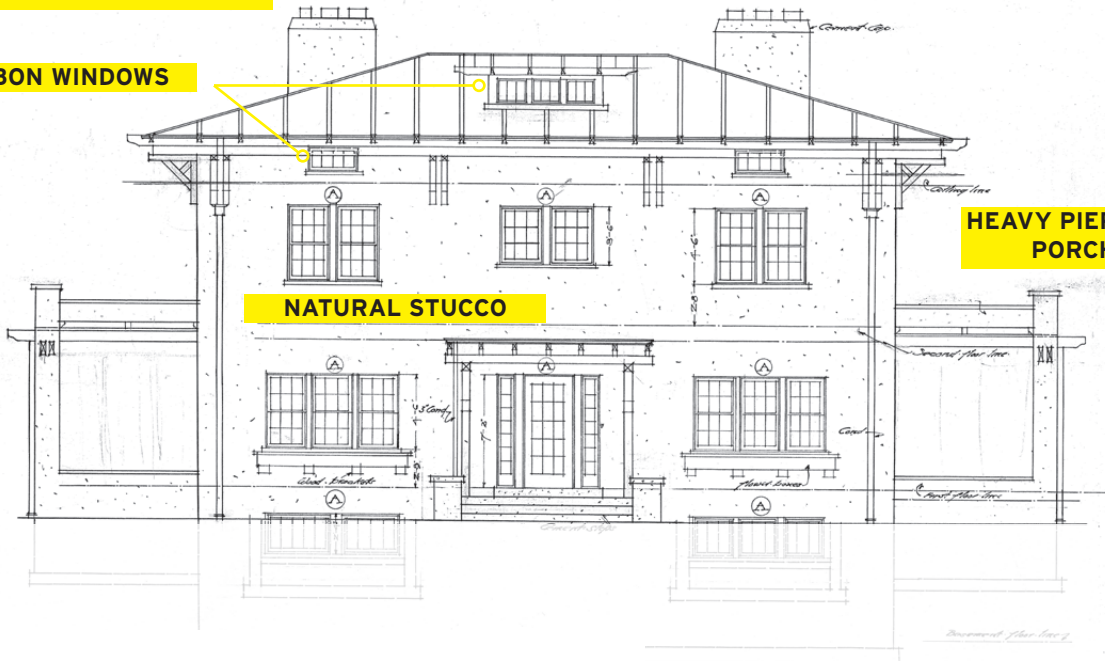
Exterior Paint Scheme

New Paint scheme for the stucco body, wood trim, windows and shutters using the HDC recommended Color System "E"



LOW HIPPED ROOF WITH WIDE OVERHANGING EAVES

RIBBON WINDOWS



HEAVY PIERS SUPPORT PORCH ROOF

NATURAL STUCCO

20th CENTURY COMPOSITE / PRAIRIE STYLE

_Neo-Georgian Vernacular House touched by the Prairie Style
 _"just as the Prairie details might have been grafted onto what is essentially a 4-square box, so the colors of the prairie style should be used"
 _"most examples of homes in Detroit that were influenced by the Prairie Style tended to retain the box-line shape of the 4-Square or Neo-Georgian Vernacular Style while exhibiting Prairie characteristics.

ORIGINAL ALBERT KAHN ELEVATION















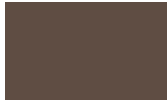









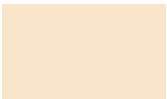






Note: Drawings marked A. to base of 1911.

*JOB # 499 -
SHEET # 9 -
Revised June 14 1911.*

COLOR SYSTEM E

ACCEPTABLE COLOR COMBINATIONS *MS = MUNSELL STANDARD

| BODY | TRIM | SASH | SHUTTERS |
|--|---|--|---|
| Stucco/Siding: Any system E color EXCEPT A:7, A:8, A:9, B:19 | Any System E color to contrast body color | Match trim color or match body color or A:9, B:18, B:19 | Match trim color, match body color, or A:8 |
| Use E:2 & E:3 on second floor only above another material | | | |
| Shingles/Heavy Timber: Stained or painted A:9, B:1, B:2, B:5, B:6, B:7, B:8, B:11, B:12, B:13, B:14, B:18 | Any System E color to contrast body color | Match trim color or match body color or A:9, B:18, B:19 | Match trim color, match body color, or A:8 |
| Existing brick or stone | | | |

| | | | | | |
|---|--|--|---|---|---|
|  A:1 Yellowish Gray MS: 2.5Y 8/2 |  A:2 Light Olive Gray MS: 10Y 6/1 |  A:3 Light Yellow MS: 5Y 8/6 |  A:4 Pale Yellow MS: 2.5Y 8.5/4 |  A:5 Grayish Yellow MS: 2.5Y 7/4 |  A:8 Blackish Green MS: 2.5BG 2/2 |
|  A:9 Moderate Reddish Brown MS: 7.5R 3/6 |  B:1 Light Yellowish Brown MS: 10YR 6/4 |  B:2 Dark Yellow MS: 5Y 6/6 |  B:3 Light Yellow MS: 2.5Y 8/6 |  B:4 Moderate Yellow MS: 2.5Y 7/6 |  B:5 Light Brown MS: 7.5YR 5/4 |
|  B:6 Moderate Brown MS: 7.5YR 4/4 |  B:7 Moderate Yellowish Brown MS: 10YR 5/4 |  B:8 Grayish Brown MS: 5YR 3/2 |  B:11 Grayish Olive Green MS: 5GY 4/2 |  B:12 Grayish Green MS: 10G 4/2 |  B:13 Moderate Olive Brown MS: 2.5Y 4/4 |
|  B:14 Dark Grayish Olive MS: 10Y 2/2 |  B:15 Dark Grayish Yellow MS: 5Y 6/4 |  B:17 Light Olive MS: 10Y 5/4 |  B:18 Dark Reddish Brown MS: 2.5YR 2/4 |  B:19 Black MS: N 0.5/ |  C:4 Yellowish White MS: 5Y 9/1 |
|  C:5 Yellowish White MS: 2.5Y 9/2 |  D:1 Brownish Pink MS: 7.5YR 7/2 |  D:2 Light Brown MS: 5YR 6/4 |  E:1 Light Grayish Yellowish Brown MS: 10YR 6/2 |  E:2 Strong Yellowish Brown MS: 7.5YR 6/8 |  E:3 Grayish Reddish Orange MS: 2.5YR 5/6 |
|  E:4 Grayish Yellow Green MS: 7.5GY 6/2 | | | | | |

EXTERIOR WINDOW SCHEDULE

1783 IROQUOIS

11/18/24

GENERAL NOTES: CONTRACTOR TO VERIFY ALL MEASUREMENTS IN FIELD
 CONTRACTOR TO PROVIDE SHOP DRAWINGS, SUBMITTALS OF FRAME AND GLASS TYPES TO MIDTW FOR APPROVAL

| WINDOW # | ROOM # | FACADE | TYPE | FRAME SPECIFICATION | WIDTH (R.O.) | HEIGHT (R.O.) | UNIT QTY PER R.O. | SPACE MULL | GLASS | MATERIAL | SUBSILL | BRICK MOULD | LITES | FINISH | | REPLACE | RESTORE |
|----------|---------------------|--------|-----------------|--|--------------|---------------|-------------------|------------|-------------|-------------------|----------|-------------|------------------|------------|-----------|---------|---------|
| | | | | | | | | | | | | | | EXT. | INT. | | |
| 0-1 | 004 WINE CELLAR | E | AWNING | MARVIN SIGNATURE ULTIMATE AWNING | 48" | 28" | 1 | - | DUAL PANE | ALUM CLAD WD | A1453 | A1446 | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |
| 0-2 | 006 BASEMENT LIVING | E | AWNING | MARVIN SIGNATURE ULTIMATE AWNING | 39.5" | 28" | 1 | - | DUAL PANE | ALUM CLAD WD | A1453 | A1446 | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |
| 0-3 | 006 BASEMENT LIVING | E | AWNING | MARVIN SIGNATURE ULTIMATE AWNING | 96" | 28" | 3 | 2" | DUAL PANE | ALUM CLAD WD | A1453 | A1446 | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |
| 0-4 | 001 LAUNDRY | S | AWNING | MARVIN SIGNATURE ULTIMATE AWNING | 36" | 28" | 1 | - | DUAL PANE | ALUM CLAD WD | A1453 | A1446 | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |
| 0-5 | 001 LAUNDRY | S | AWNING | MARVIN SIGNATURE ULTIMATE AWNING | 36" | 28" | 1 | - | DUAL PANE | ALUM CLAD WD | A1453 | A1446 | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |
| | | | | | | | | | | | | | | | | | |
| 1-1 | 109 SUNROOM | E | CASEMENT | EXISTING | 102" | 66" | 3 | 1" | SINGLE PANE | EXISTING WOOD | EXISTING | EXISTING | - | PTD BRONZE | PTD WHITE | | ✓ |
| 1-2 | 108 FORMAL DINING | E | DOUBLE-HUNG | MARVIN SIGNATURE ULTIMATE DOUBLE HUNG G2 | 94" | 54" | 3 | 6" | DUAL PANE | ALUM CLAD WD | A1453 | A1446 | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |
| 1-3 | 106 LIVING ROOM | E | DOUBLE-HUNG | MARVIN SIGNATURE ULTIMATE DOUBLE HUNG G2 | 94" | 54" | 3 | 6" | DUAL PANE | ALUM CLAD WD | A1453 | A1446 | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |
| 1-4 | 107 SUNROOM 2 | E | CASEMENT | EXISTING | 103" | 66" | 6 | - | SINGLE PANE | EXISTING WOOD | EXISTING | EXISTING | - | PTD BRONZE | PTD WHITE | | ✓ |
| 1-5 | 107 SUNROOM 2 | N | CASEMENT | EXISTING | 140" | 66" | 8 | - | SINGLE PANE | EXISTING WOOD | EXISTING | EXISTING | - | PTD BRONZE | PTD WHITE | | ✓ |
| 1-6 | 107 SUNROOM 2 | N | CASEMENT | EXISTING | 141" | 66" | 8 | - | SINGLE PANE | EXISTING WOOD | EXISTING | EXISTING | - | PTD BRONZE | PTD WHITE | | ✓ |
| 1-7 | 107 SUNROOM 2 | W | CASEMENT | EXISTING | 22" | 66" | 1 | - | SINGLE PANE | EXISTING WOOD | EXISTING | EXISTING | - | PTD BRONZE | PTD WHITE | | ✓ |
| 1-8 | 107 SUNROOM 2 | W | FIXED (TRANSOM) | EXISTING | 36" | 15" | 1 | - | SINGLE PANE | EXISTING WOOD | EXISTING | EXISTING | - | PTD BRONZE | PTD WHITE | | ✓ |
| 1-9 | 107 SUNROOM 2 | W | CASEMENT | EXISTING | 30" | 66" | 2 | - | SINGLE PANE | EXISTING WOOD | EXISTING | EXISTING | - | PTD BRONZE | PTD WHITE | | ✓ |
| 1-10 | 105 OFFICE | S | DOUBLE-HUNG | MARVIN SIGNATURE ULTIMATE DOUBLE HUNG G2 | 76" | 54" | 2 | 3" | DUAL PANE | ALUM CLAD WD | A1453 | A1446 | 7/8" OGEE - SDLS | BRONZE | STD WD | ✓ | |
| 1-11 | 105 OFFICE | W | DOUBLE-HUNG | MARVIN SIGNATURE ULTIMATE DOUBLE HUNG G2 | 73" | 54" | 2 | 3" | DUAL PANE | ALUM CLAD WD | A1453 | A1446 | 7/8" OGEE - SDLS | BRONZE | STD WD | ✓ | |
| 1-12 | 103 HALLWAY | W | DOUBLE-HUNG | MARVIN SIGNATURE ULTIMATE DOUBLE HUNG G2 | 26" | 54" | 1 | - | DUAL PANE | ALUM CLAD WD | A1453 | A1446 | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |
| 1-13 | 113 PANTRY | N | DOUBLE-HUNG | MARVIN SIGNATURE ULTIMATE DOUBLE HUNG G2 | 24" | 54" | 1 | - | DUAL PANE | ALUM CLAD WD | A1453 | A1446 | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |
| 1-14 | 112 KITCHEN | S | DOUBLE-HUNG | MARVIN SIGNATURE ULTIMATE DOUBLE HUNG G2 | 48" | 54" | 2 | 3" | DUAL PANE | ALUM CLAD WD | A1453 | A1446 | 7/8" OGEE - SDLS | BRONZE | STD WD | ✓ | |
| 1-15 | 112 KITCHEN | S | DOUBLE-HUNG | MARVIN SIGNATURE ULTIMATE DOUBLE HUNG G2 | 60" | 54" | 2 | 3" | DUAL PANE | ALUM CLAD WD | A1453 | A1446 | 7/8" OGEE - SDLS | BRONZE | STD WD | ✓ | |
| 1-16 | 109 SUNROOM 1 | W | SLIDING | EXISTING | 30" | 66" | 1 | - | SINGLE PANE | EXISTING ALUMINUM | EXISTING | EXISTING | - | PTD BRONZE | PTD WHITE | | ✓ |
| 1-17 | 109 SUNROOM 1 | W | FIXED | EXISTING | 21" | 66" | 1 | - | SINGLE PANE | EXISTING ALUMINUM | EXISTING | EXISTING | - | PTD BRONZE | PTD WHITE | | ✓ |
| 1-18 | 109 SUNROOM 1 | S | SLIDING | EXISTING | 135" | 66" | 3 | 2" | SINGLE PANE | EXISTING ALUMINUM | EXISTING | EXISTING | - | PTD BRONZE | PTD WHITE | | ✓ |
| 1-19 | 109 SUNROOM 1 | S | SLIDING | EXISTING | 136" | 66" | 3 | 2" | SINGLE PANE | EXISTING ALUMINUM | EXISTING | EXISTING | - | PTD BRONZE | PTD WHITE | | ✓ |
| | | | | | | | | | | | | | | | | | |
| 2-1 | 213 BEDROOM 3 | E | DOUBLE-HUNG | MARVIN SIGNATURE ULTIMATE DOUBLE HUNG G2 | 62" | 54" | 2 | 6" | DUAL PANE | ALUM CLAD WD | A1453 | A1446 | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |
| 2-2 | 208 BATHROOM | E | CASEMENT | MARVIN SIGNATURE ULTIMATE CASEMENT | 62" | 42" | 2 | 4" | DUAL PANE | ALUM CLAD WD | A1453 | A1446 | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |
| 2-3 | 205 BEDROOM 2 | E | DOUBLE-HUNG | MARVIN SIGNATURE ULTIMATE DOUBLE HUNG G2 | 62" | 54" | 2 | 6" | DUAL PANE | ALUM CLAD WD | A1453 | A1446 | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |
| 2-4 | 205 BEDROOM 2 | N | DOUBLE-HUNG | MARVIN SIGNATURE ULTIMATE DOUBLE HUNG G2 | 26" | 54" | 1 | - | DUAL PANE | ALUM CLAD WD | A1453 | A1446 | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |
| 2-5 | 204 BATHROOM | N | DOUBLE-HUNG | MARVIN SIGNATURE ULTIMATE DOUBLE HUNG G2 | 24" | 54" | 1 | - | DUAL PANE | ALUM CLAD WD | A1453 | A1446 | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |
| 2-6 | 202 BEDROOM 1 | N | DOUBLE-HUNG | MARVIN SIGNATURE ULTIMATE DOUBLE HUNG G2 | 82" | 54" | 2 | 6" | DUAL PANE | ALUM CLAD WD | A1453 | A1446 | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |
| 2-7 | 202 BEDROOM 1 | W | DOUBLE-HUNG | MARVIN SIGNATURE ULTIMATE DOUBLE HUNG G2 | 32" | 54" | 1 | - | DUAL PANE | ALUM CLAD WD | A1453 | A1446 | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |

| | | | | | | | | | | | | | | | | | |
|------|----------------------|---|-------------|--|-----|-----|---|----|-----------|--------------|-------|-------|------------------|--------|--------|---|--|
| 2-8 | 202 BEDROOM 1 | W | DOUBLE-HUNG | MARVIN SIGNATURE ULTIMATE DOUBLE HUNG G2 | 32" | 54" | 1 | - | DUAL PANE | ALUM CLAD WD | A1453 | A1446 | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |
| 2-9 | 200 HALLWAY | W | DOUBLE-HUNG | MARVIN SIGNATURE ULTIMATE DOUBLE HUNG G2 | 82" | 54" | 3 | 3" | DUAL PANE | ALUM CLAD WD | A1453 | A1446 | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |
| 2-10 | 219 STAIR | N | DOUBLE-HUNG | MARVIN SIGNATURE ULTIMATE DOUBLE HUNG G2 | 26" | 54" | 1 | - | DUAL PANE | ALUM CLAD WD | A1453 | A1446 | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |
| 2-11 | 221 BEDROOM 5 | N | DOUBLE-HUNG | MARVIN SIGNATURE ULTIMATE DOUBLE HUNG G2 | 26" | 54" | 1 | - | DUAL PANE | ALUM CLAD WD | A1453 | A1446 | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |
| 2-12 | 221 BEDROOM 5 | W | DOUBLE-HUNG | MARVIN SIGNATURE ULTIMATE DOUBLE HUNG G2 | 26" | 54" | 1 | - | DUAL PANE | ALUM CLAD WD | A1453 | A1446 | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |
| 2-13 | 221 BEDROOM 5 | W | DOUBLE-HUNG | MARVIN SIGNATURE ULTIMATE DOUBLE HUNG G2 | 26" | 54" | 1 | - | DUAL PANE | ALUM CLAD WD | A1453 | A1446 | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |
| 2-14 | 221 BEDROOM 5 | S | DOUBLE-HUNG | MARVIN SIGNATURE ULTIMATE DOUBLE HUNG G2 | 26" | 54" | 1 | - | DUAL PANE | ALUM CLAD WD | A1453 | A1446 | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |
| 2-15 | 222 BATHROOM 4 | S | DOUBLE-HUNG | MARVIN SIGNATURE ULTIMATE DOUBLE HUNG G2 | 26" | 54" | 1 | - | DUAL PANE | ALUM CLAD WD | A1453 | A1446 | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |
| 2-16 | 216 BATHROOM 3 | S | DOUBLE-HUNG | MARVIN SIGNATURE ULTIMATE DOUBLE HUNG G2 | 26" | 30" | 1 | - | DUAL PANE | ALUM CLAD WD | A1453 | A1446 | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |
| 2-17 | 215 BEDROOM 4 | S | DOUBLE-HUNG | MARVIN SIGNATURE ULTIMATE DOUBLE HUNG G2 | 26" | 54" | 1 | - | DUAL PANE | ALUM CLAD WD | A1453 | A1446 | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |
| 2-18 | 215 BEDROOM 4 | S | DOUBLE-HUNG | MARVIN SIGNATURE ULTIMATE DOUBLE HUNG G2 | 26" | 54" | 1 | - | DUAL PANE | ALUM CLAD WD | A1453 | A1446 | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |
| 2-19 | 213 BEDROOM 3 | S | DOUBLE-HUNG | MARVIN SIGNATURE ULTIMATE DOUBLE HUNG G2 | 33" | 54" | 1 | - | DUAL PANE | ALUM CLAD WD | A1453 | A1446 | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |
| | | | | | | | | | | | | | | | | | |
| 3-1 | 305 ATTIC 1 | E | AWNING | MARVIN SIGNATURE ULTIMATE AWNING | 36" | 16" | 1 | - | DUAL PANE | ALUM CLAD WD | - | - | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |
| 3-2 | 303 STORAGE | E | CASEMENT | MARVIN SIGNATURE ULTIMATE CASEMENT | 72" | 24" | 3 | 4" | DUAL PANE | ALUM CLAD WD | - | - | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |
| 3-3 | 302 ATTIC 2 | E | AWNING | MARVIN SIGNATURE ULTIMATE AWNING | 36" | 16" | 1 | - | DUAL PANE | ALUM CLAD WD | - | - | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |
| 3-4 | 302 ATTIC 2 | N | AWNING | MARVIN SIGNATURE ULTIMATE AWNING | 36" | 16" | 1 | - | DUAL PANE | ALUM CLAD WD | - | - | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |
| 3-5 | 302 ATTIC 2 | N | AWNING | MARVIN SIGNATURE ULTIMATE AWNING | 36" | 16" | 1 | - | DUAL PANE | ALUM CLAD WD | - | - | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |
| 3-6 | 302 ATTIC 2 | W | AWNING | MARVIN SIGNATURE ULTIMATE AWNING | 36" | 16" | 1 | - | DUAL PANE | ALUM CLAD WD | - | - | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |
| 3-7 | 301 ATTIC STAIR HALL | W | CASEMENT | MARVIN SIGNATURE ULTIMATE CASEMENT | 88" | 24" | 4 | 4" | DUAL PANE | ALUM CLAD WD | - | - | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |
| 3-8 | 305 ATTIC 1 | S | AWNING | MARVIN SIGNATURE ULTIMATE AWNING | 36" | 16" | 1 | - | DUAL PANE | ALUM CLAD WD | - | - | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |
| 3-9 | 305 ATTIC 1 | S | AWNING | MARVIN SIGNATURE ULTIMATE AWNING | 36" | 16" | 1 | - | DUAL PANE | ALUM CLAD WD | - | - | 7/8" OGEE - SDLS | BRONZE | PRIMED | ✓ | |



DEMO SHEET NOTES

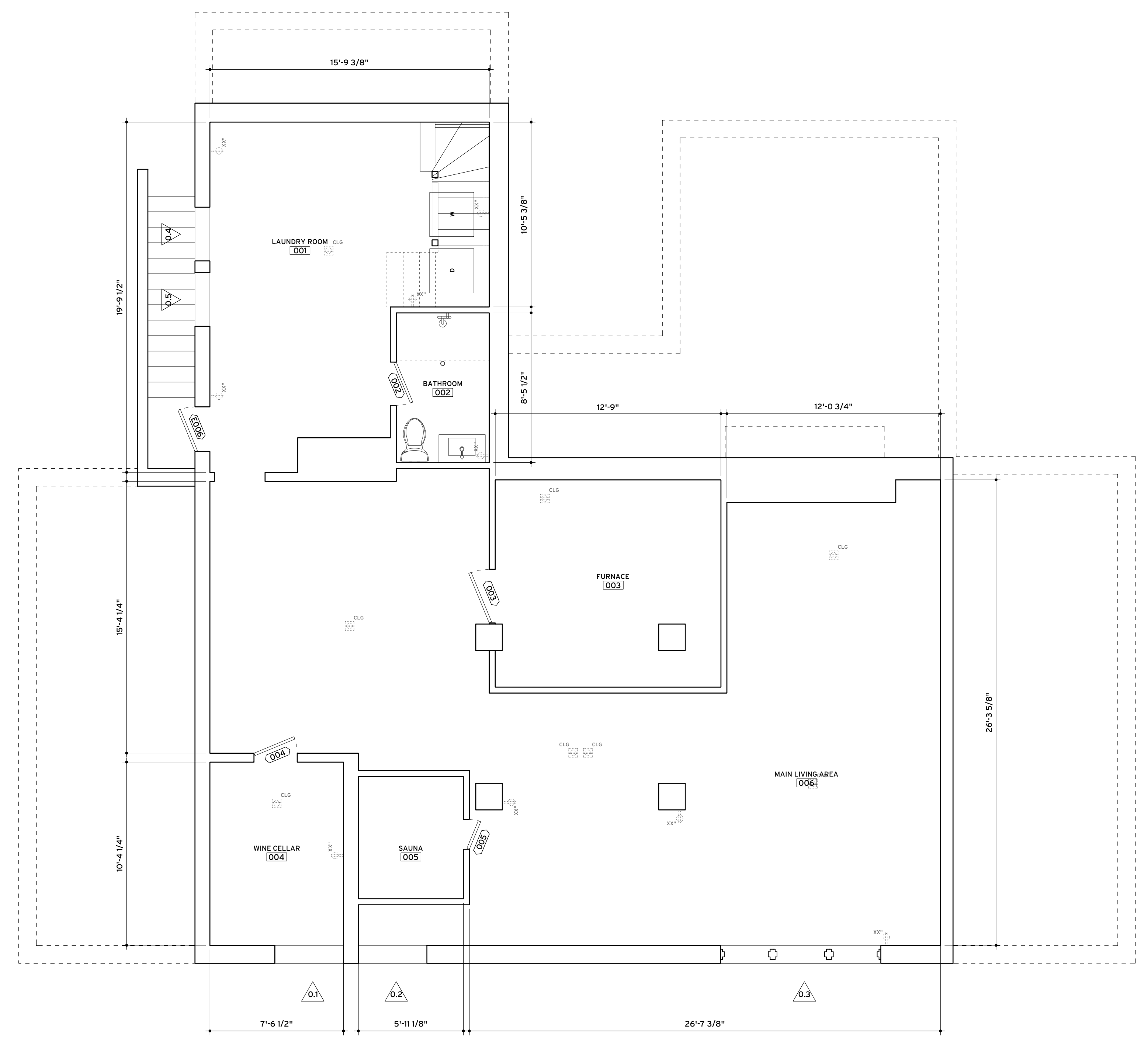
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GRAPHIC KEY

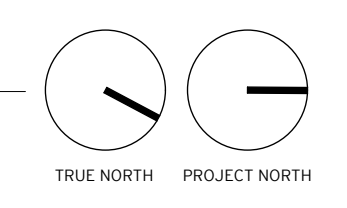
- EXISTING WALL
- EXISTING MILLWORK
- DEMO EXISTING
- DEMO PARTITION WALL
- ⊕ EXISTING RECEPTACLE

KEY NOTES

- ⊖ NO DEMO/REMOVAL WORK ON THIS FLOOR LEVEL



1 EXISTING BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



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PROJECT 2405

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GC TO VERIFY DIMS & EXST CONDITIONS

SCALE: AS NOTED, 24" x 36" SHEET

EXST. BASEMENT FLOOR PLAN

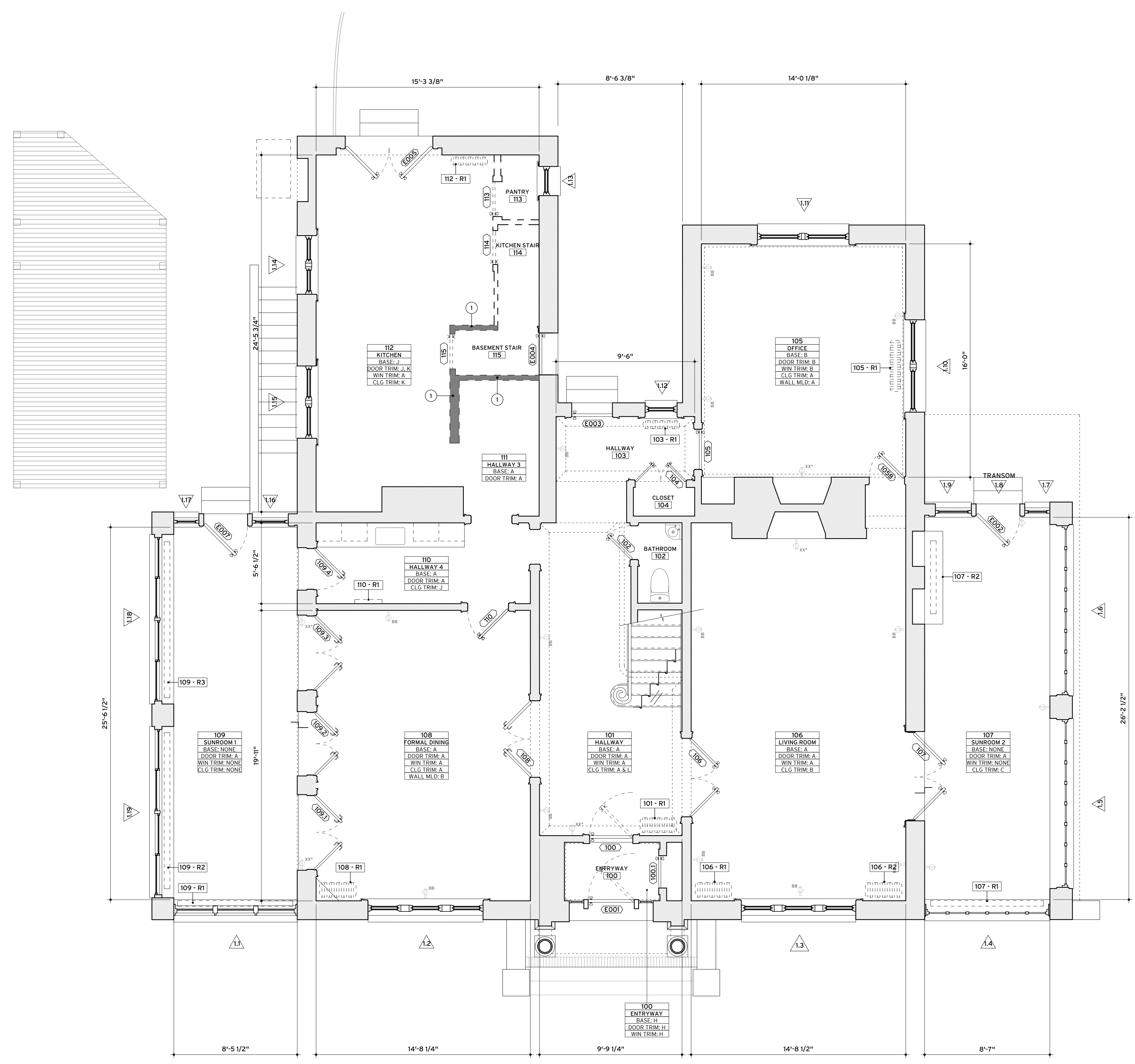
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DEMO SHEET NOTES

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GRAPHIC KEY

- EXISTING WALL
- EXISTING MILLWORK
- DEMO EXISTING
- DEMO PARTITION WALL
- EXISTING RECEPTACLE

KEY NOTES

1. REMOVE PORTIONS OF KITCHEN WALL AS INDICATED TO IMPLEMENT PROPOSED CONFIGURATION OF KITCHEN. REFERENCE SHEET A101

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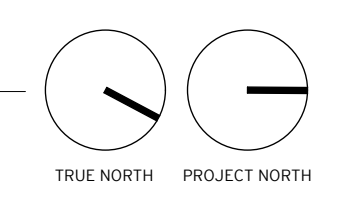
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SCALE: AS NOTED, 24" x 36" SHEET

EXISTING FIRST FLOOR PLAN

1 EXISTING FIRST LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



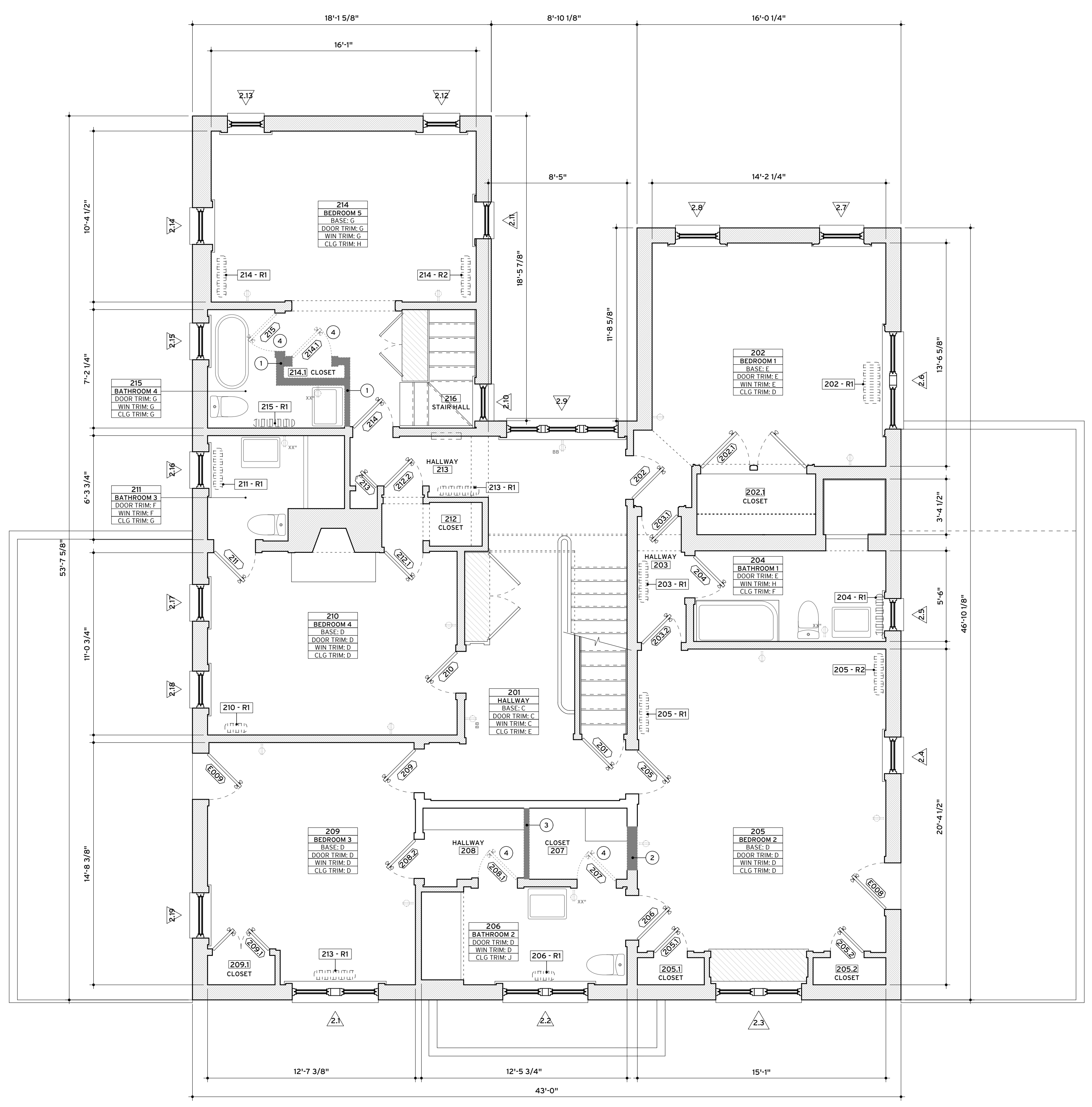
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GRAPHIC KEY

- EXISTING WALL
- EXISTING MILLWORK
- DEMO EXISTING
- DEMO PARTITION WALL
- ⊕ EXISTING RECEPTACLE

KEY NOTES

1. REMOVE PORTIONS OF BATHROOM WALL AS INDICATED TO IMPLEMENT PROPOSED CONFIGURATION OF BATHROOM. REFERENCE SHEET A102
2. REMOVE PORTION OF WALL AS INDICATED TO CREATE NEW DOOR OPENING INTO CLOSET SPACE
3. REMOVE PORTION OF WALL AS INDICATED TO CREATE CLOSET SPACE
4. REMOVE & SALVAGE DOORS & HARDWARE FOR REUSE. COORDINATE LOCATION FOR REINSTALLATION WITH MIDTW

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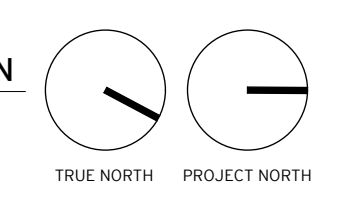
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SCALE: AS NOTED, 24" x 36" SHEET

EXISTING SECOND FLOOR PLAN

1 EXISTING SECOND LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



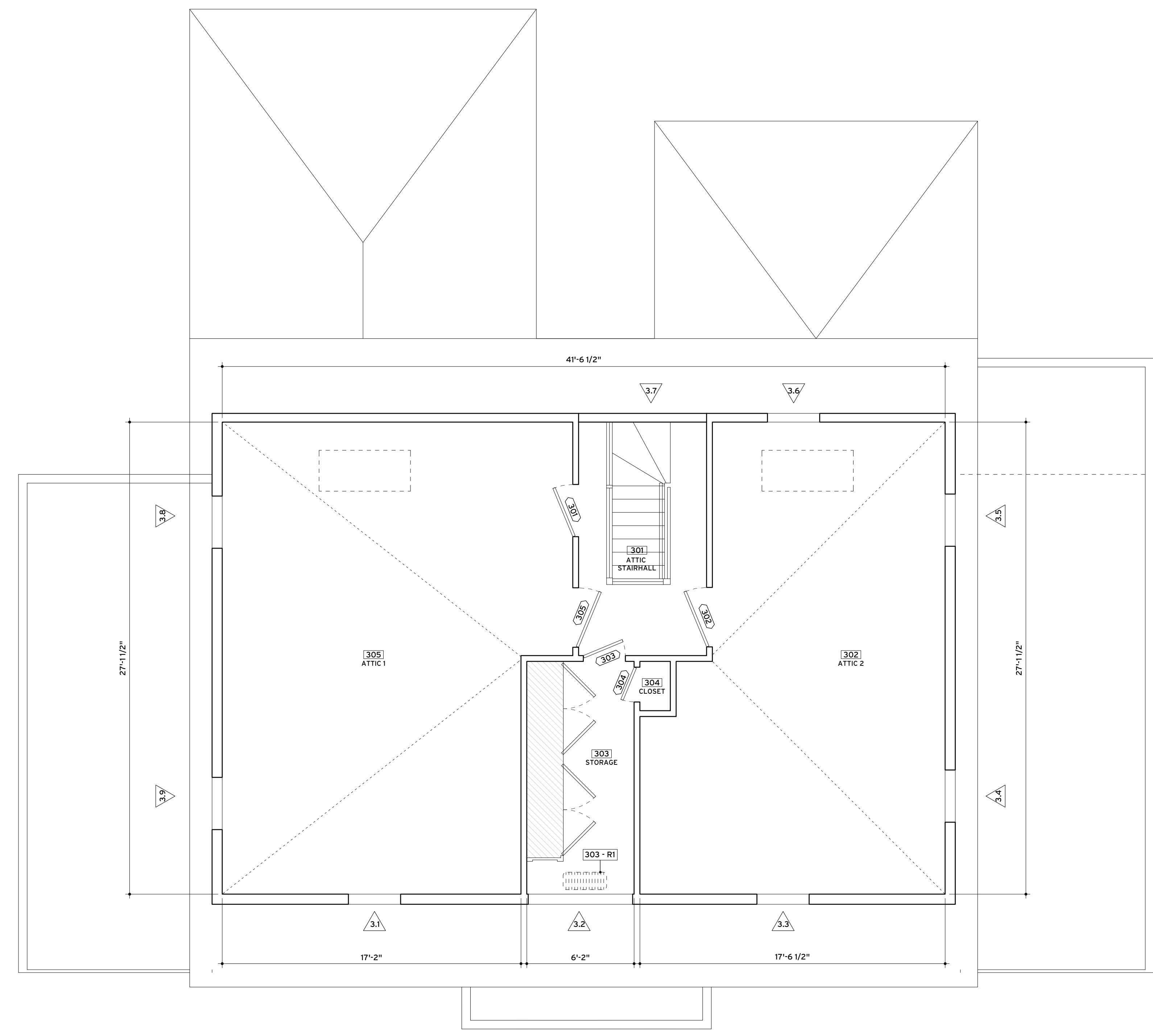
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- DEMO PARTITION WALL
- EXISTING RECEPTACLE

KEY NOTES

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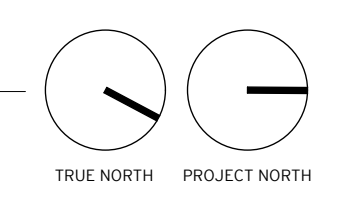
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EXISTING THIRD FLOOR PLAN

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SCALE: 1/4" = 1'-0"



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