

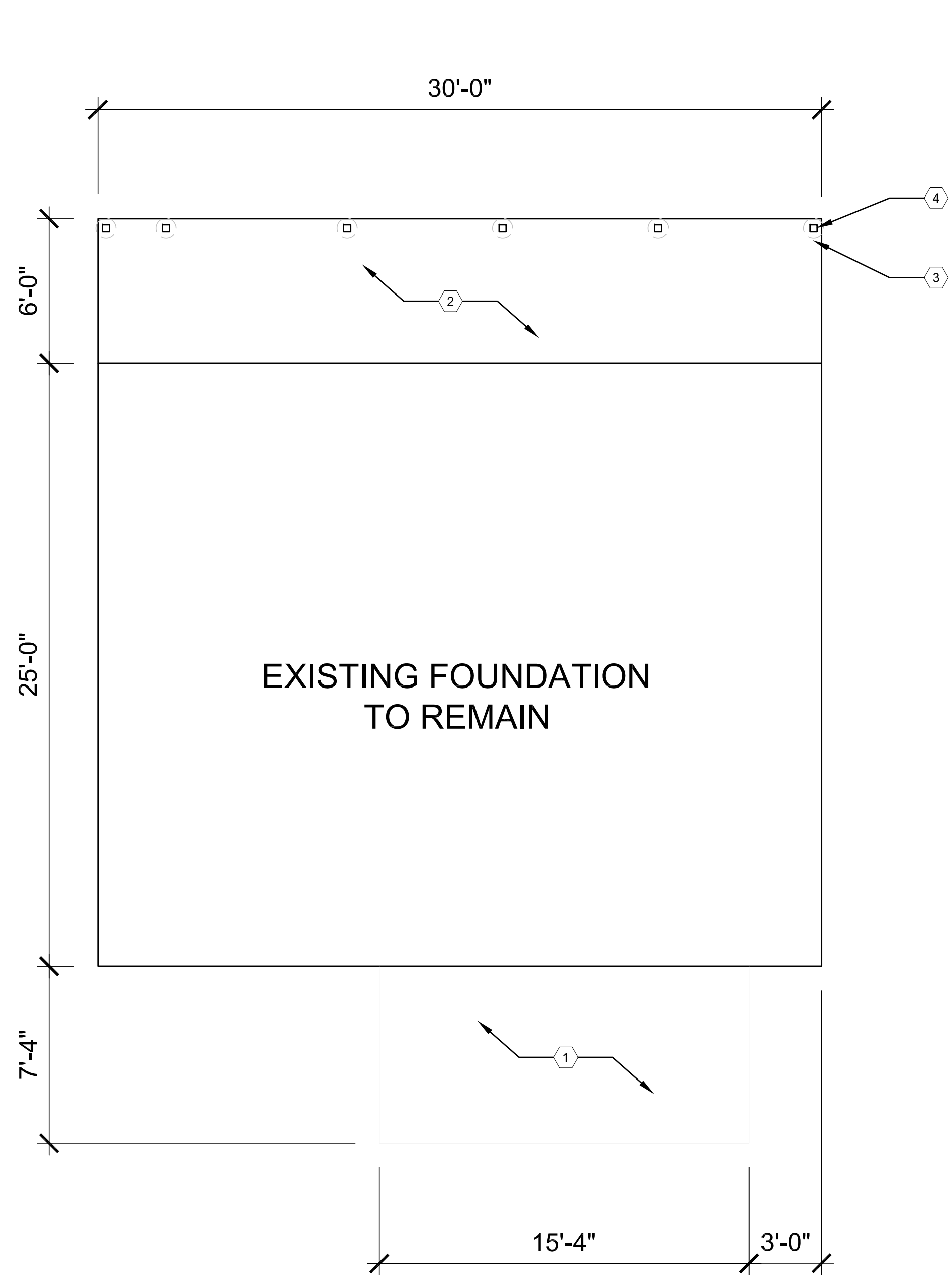
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2. ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
3. WALL THICKNESS' ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
5. PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE KEEPING FLOOR LEVEL AT WALL BASE CONDITION.

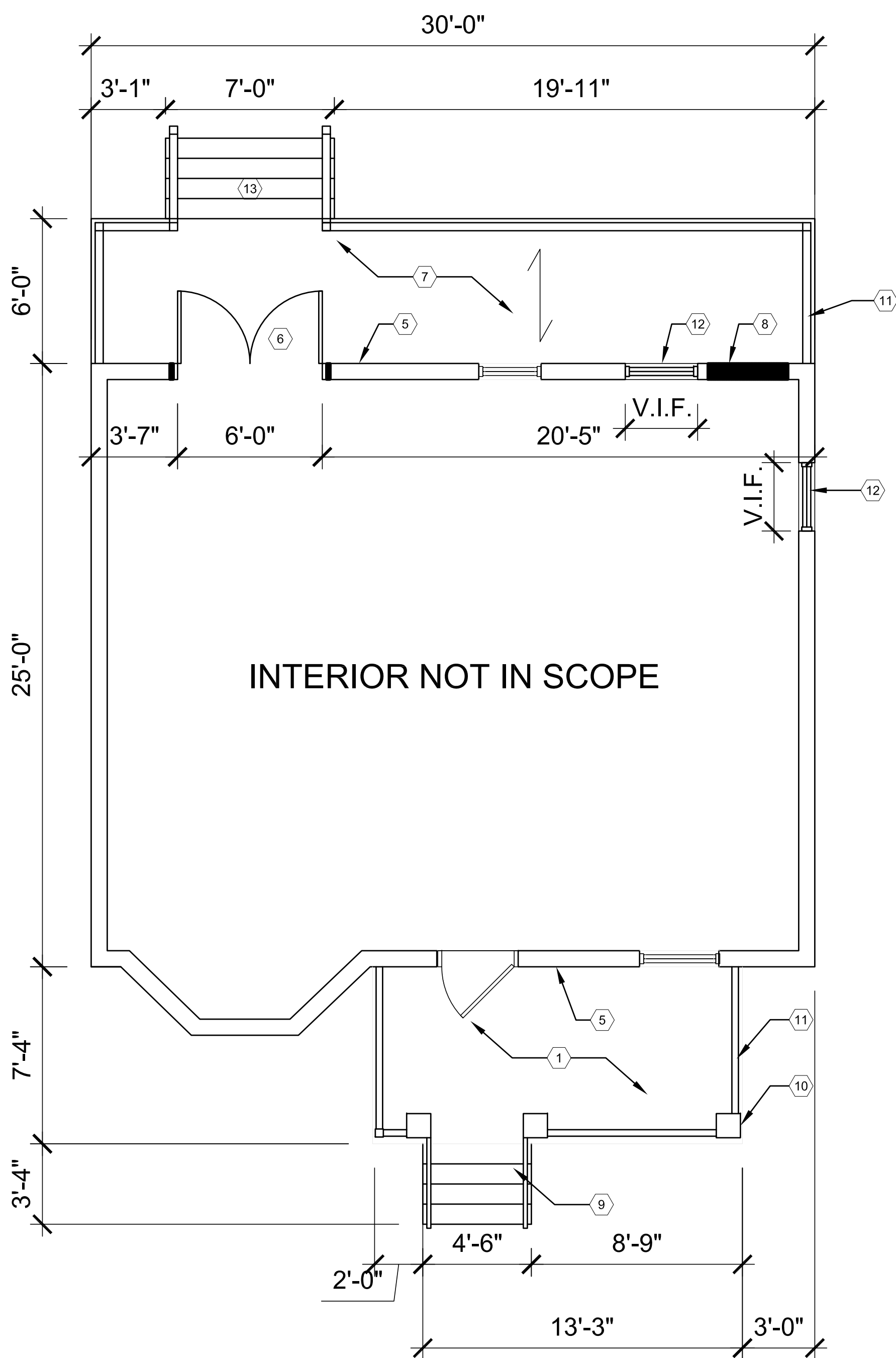
PLAN KEY NOTES:

(TYPICAL THIS SHEET ONLY)

- 1 EXISTING MASONRY PORCH TO REMAIN
- 2 NEW DECK FOOTPRINT
- 3 10" SONOTUBE (TYP.), B.O.F. TO BE MIN. 42" BELOW GRADE
- 4 4x4 WOOD POST (TYP.)
- 5 LEDGER DECK TO HOUSE, USING STRUCTURAL EPOXY AS REQ'D, STAGGER BOLTS 12" T & B
- 6 NEW FRENCH DOOR, SEE ELEVATIONS, INFILL WALL AS REQ'D.
- 7 TREX COMPOSITE DECKING ON 2x8 WOOD DECK JOISTS, MAX 16" O.C.
- 8 REMOVE AND INFILL EXISTING DOOR
- 9 NEW MASONRY STAIR
- 10 WOOD WRAPPED 4x4 WOOD POSTS, SEE ELEVATIONS
- 11 NEW HANDRAIL, MIN. 36" TALL, SEE ELEVATIONS.
- 12 EXISTING WINDOW TO BE REPLACED, SEE ELEVATIONS
- 13 NEW TREX COMPOSITE STAIR



FOUNDATION PLAN
SCALE: 1/4"=1'-0"



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

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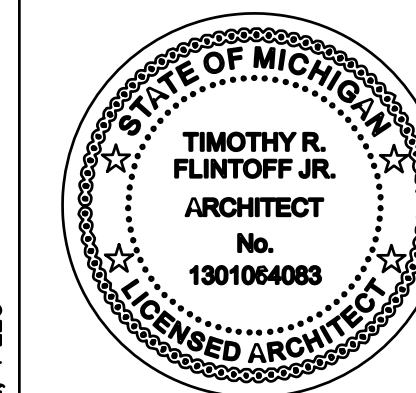
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**708 PALLISTER
HDC RENOVATION**

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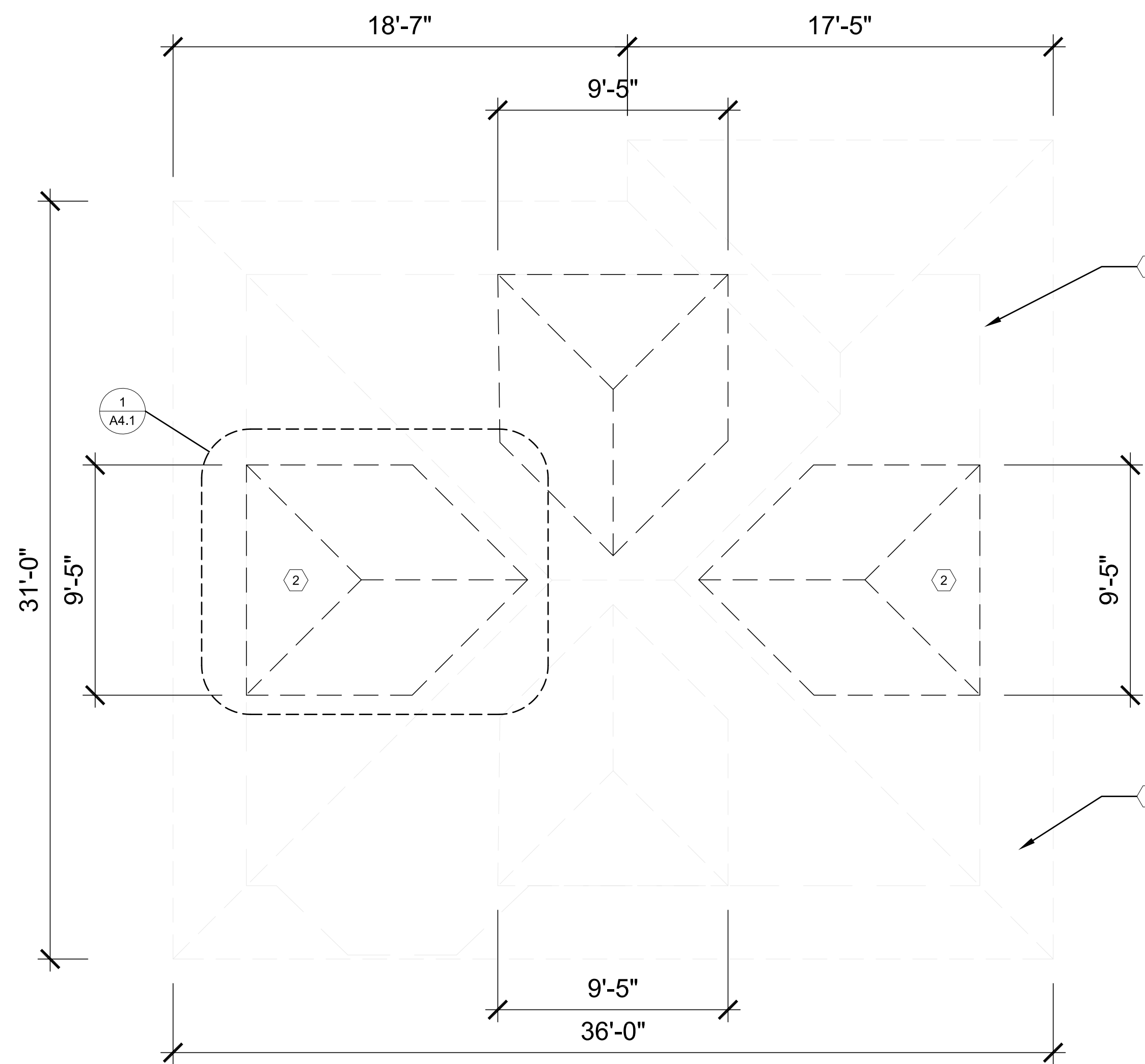
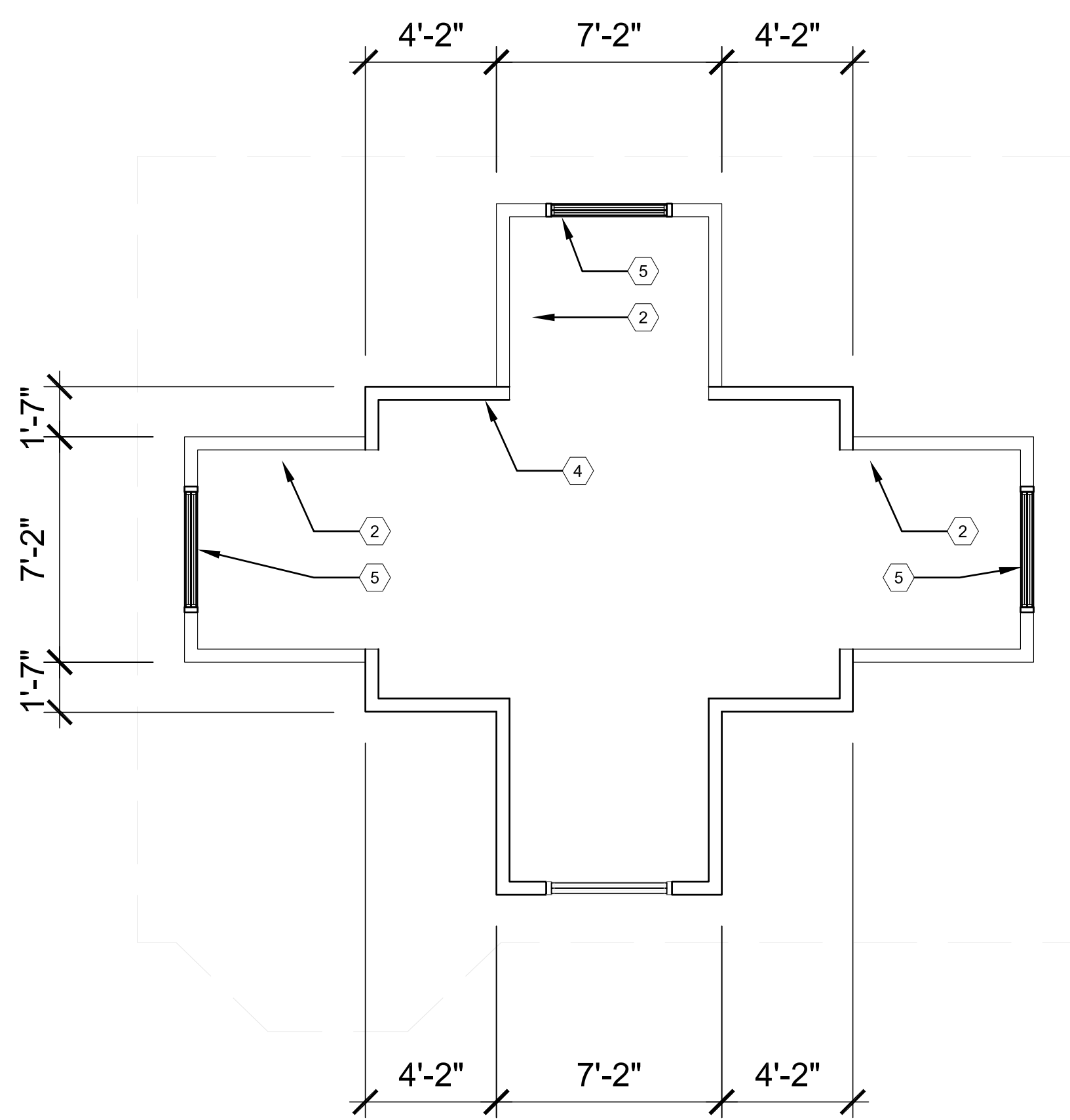
Sheet Title :
**FOUNDATION AND
FIRST FLOOR PLANS**

Project No. :
2024001

Sheet No. :

A1.1

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PLAN KEY NOTES:

(TYPICAL THIS SHEET ONLY)

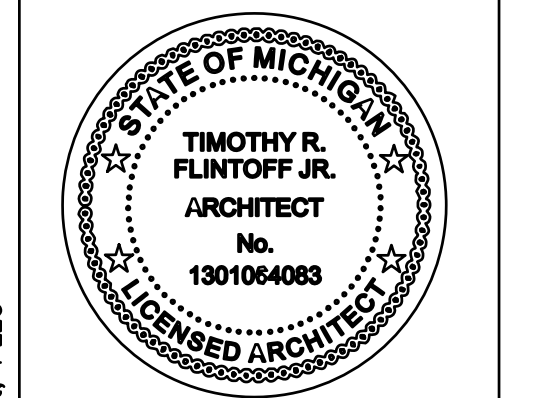
- 1 LINE OF WALLS BELOW
- 2 NEW DORMER; ROOF AND SIDING TO COORDINATE WITH EXISTING; DORMER FRAMING TYPICAL.
- 3 EXISTING ROOF TO BE REPAIRED WITH IN-KIND MATS, AS REQ'D (TYP.) SHINGLES TO BE REPLACED WITH CERTAINTEE LANDMARK PRO ROOF SHINGLES IN CINDER BLACK
- 4 FINAL LAYOUT OF INTERIOR KNEE WALLS TO BE DETERMINED BY EXISTING CONDITIONS AND OWNER INTERIOR CONFIGURATIONS, COORDINATE WITH OWNER
- 5 NEW WINDOW, SEE ELEVATIONS

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Sheet Title :
**3RD FLOOR AND
 ROOF PLAN**

Project No. :
2024001

Sheet No. :
A1.2

ELEVATION KEY NOTES:

(TYPICAL THIS SHEET ONLY)

- 1 EXISTING MASONRY PORCH TO REMAIN
- 2 WOOD RAILING, MIN. 36" TALL
SEE A7.1 FOR BASIS OF DESIGN
- 3 PINE WRAPPED 4x4 WOOD POSTS, PAINTED WHITE
- 4 NEW MASONRY STAIR
- 5 NEW DORMER; ROOF AND SIDING TO MATCH EXISTING
- 6 NEW BACK DECK AND STAIR; BASIS OF DESIGN: TREX TRANSCEND
COMPOSITE DECKING, COLOR 'SADDLE'
- 7 EXISTING WINDOW TO BE REPLACED. BASIS OF DESIGN:
ANDERSON 100 SINGLE HUNG WINDOW WITH SIMULATED DIVIDED LITES IN BLACK
- 8 SOFFITS TO BE PATCHED & REPAIRED WITH IN-KIND MATERIALS
- 9 EXISTING WINDOWS TO BE REPAIRED & REPAINTED (UNLESS NOTED OTHERWISE)
- 10 EXISTING PORCH ROOF TO REMAIN
- 11 EXISTING WINDOW TO BE REPLACED. BASIS OF DESIGN:
ANDERSON 100 SINGLE HUNG WINDOW IN BLACK;
- 12 NEW WINDOW. BASIS OF DESIGN:
ANDERSON 100 CASEMENT WINDOWS (MULLED UNIT) WITH SIMULATED
DIVIDED LITES IN BLACK;
- 13 ROOF TO BE REPAIRED AS REQ'D USING IN-KIND MATERIALS; ROOF TO BE SHINGLED WITH
CERTAINTED LANDMARK PRO ASPHALT ROOF SHINGLES IN CINDER BLACK
- 14 FRENCH DOOR. BASIS OF DESIGN: ANDERSON E-SERIES HINGED PATIO DOOR WITH
SIMULATED DIVIDED LITES ('SHORT FRACTIONAL' STYLE) IN BLACK
- 15 COMPOSITE RAILING, MIN. 36" TALL;
SEE A7.1 FOR BASIS OF DESIGN

GENERAL NOTE: ROOF, EXTERIOR CLADDING TO BE PATCHED AND REPAIRED AS REQ'D.
ALL REPAIRS TO USE IN-KIND MATERIALS.

HOUSE TO BE PAINTED IN ACCORDANCE WITH HDC COLOR SYSTEM E
ALL SIDING TO BE C-4 YELLOWISH WHITE
ALL TRIM AND SASH TO BE B-19 BLACK
SEE A6.1 FOR COLOR RENDER

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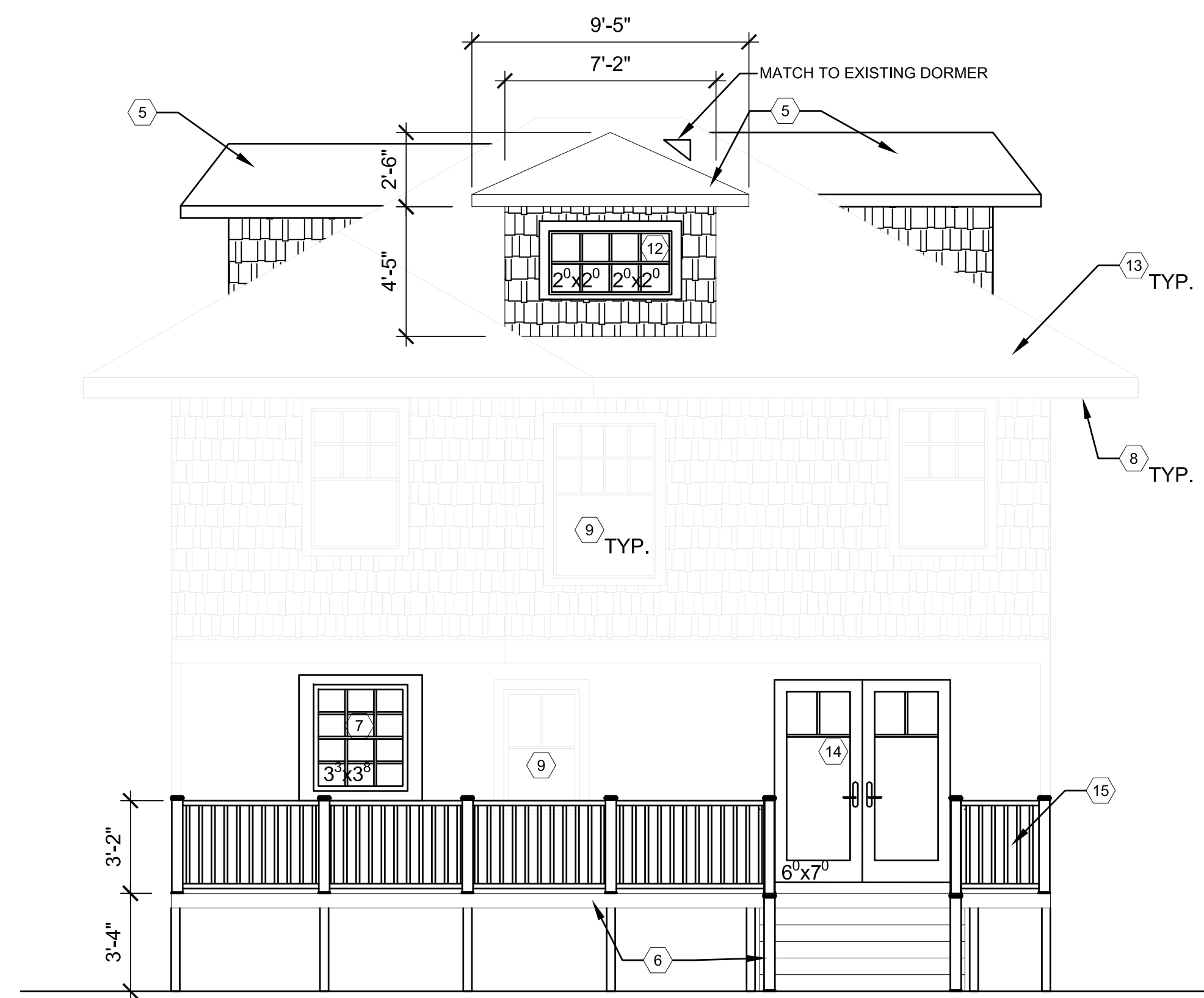
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**EXTERIOR
ELEVATIONS**

Project No. :
2024001

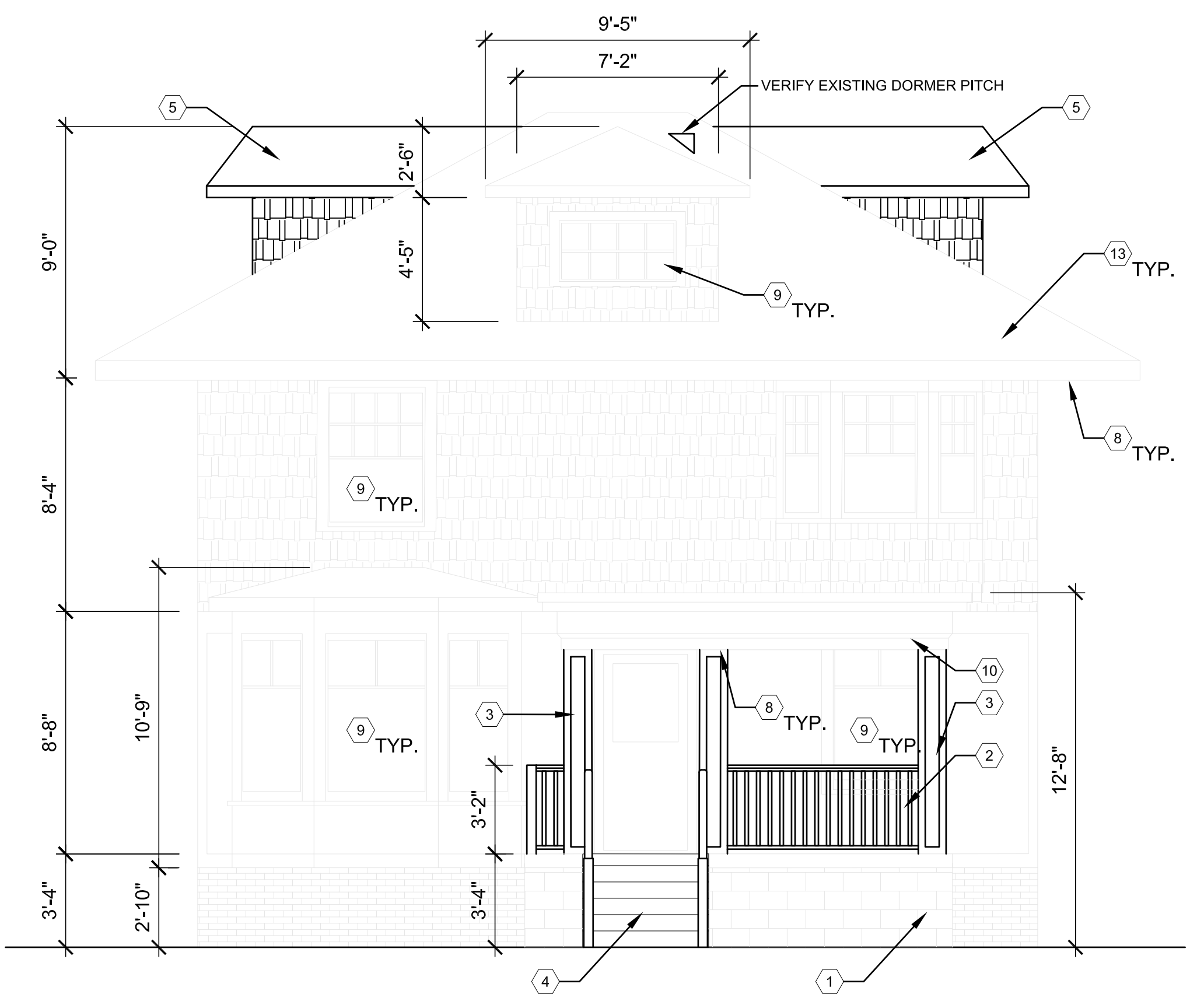
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A3.1

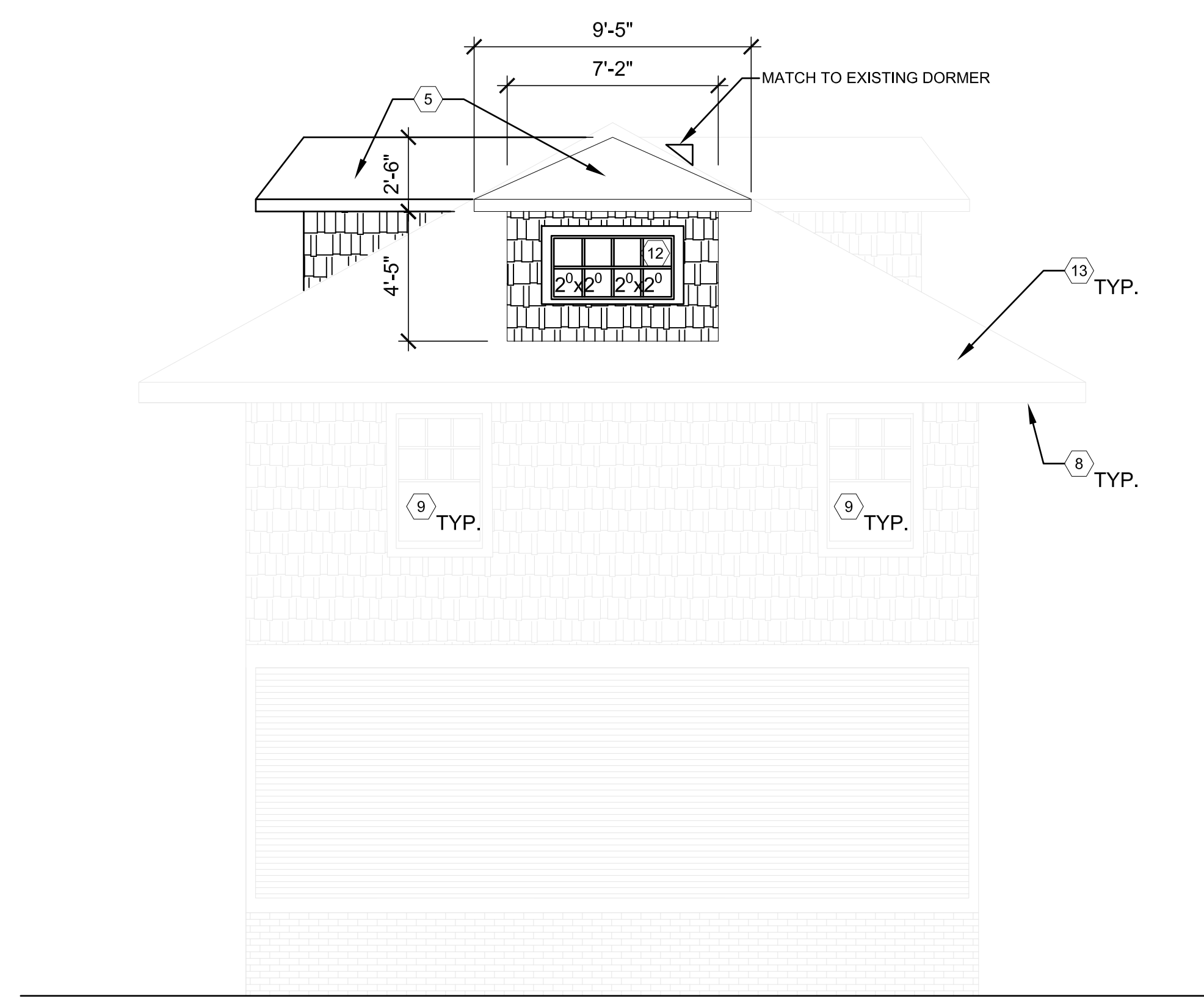
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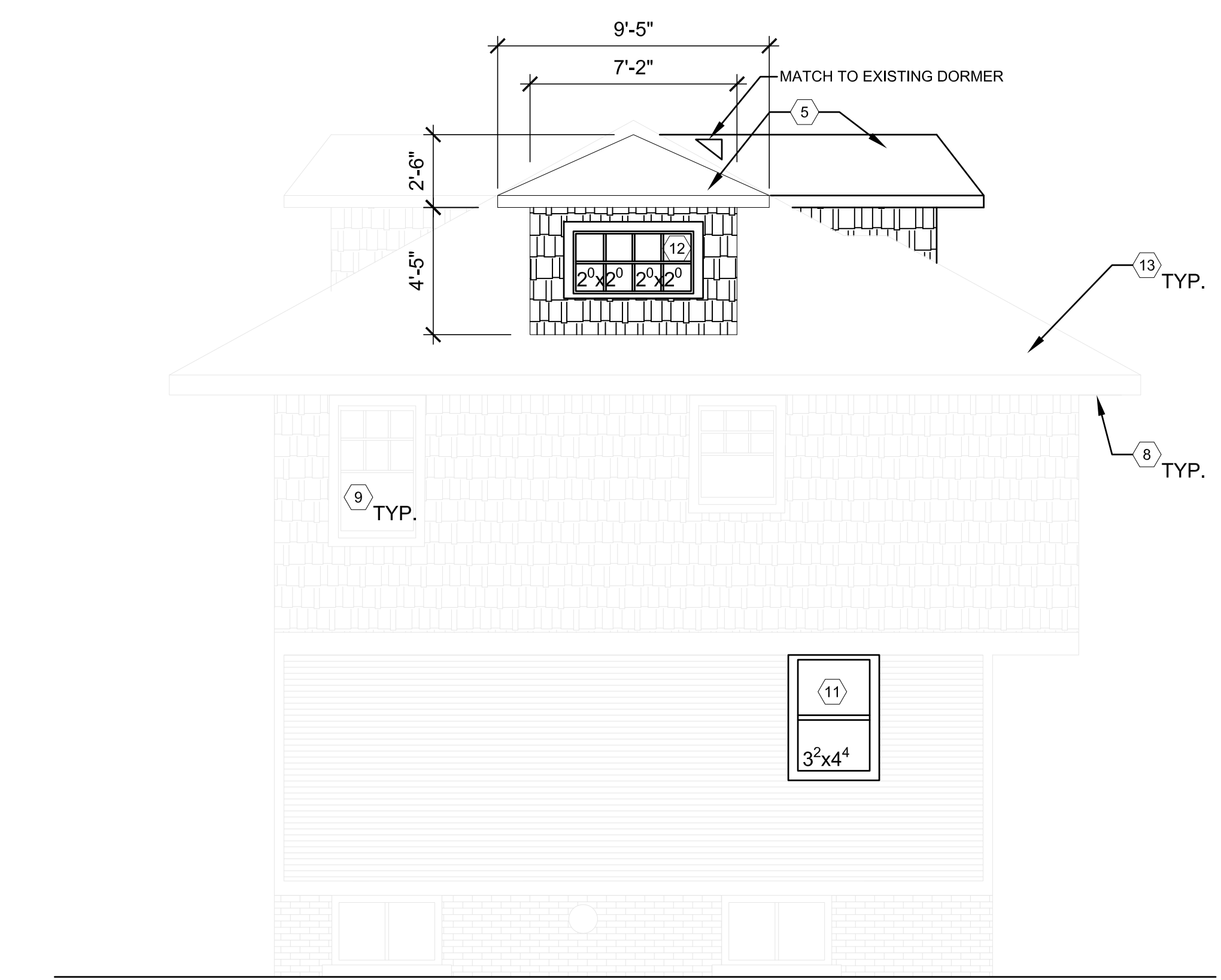
2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



4 WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 EAST ELEVATION
SCALE: 1/4" = 1'-0"

PHOTO ELEVATIONS FOR REFERENCE ONLY.
SEE ARCHITECTURAL ELEVATIONS FOR FINAL DESIGN DETAILS

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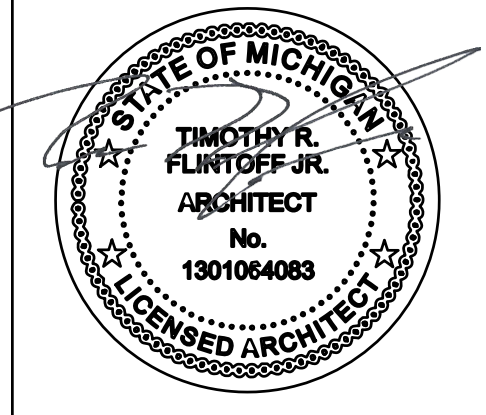
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**EXTERIOR
ELEVATION
PHOTOS**

Project No. :
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Sheet No. :
A3.2

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NEW ROOF SHINGLES TO BE INSTALLED, SEE ELEVATIONS

SIDING TO BE PAINTED (TYP.) (SEE ELEVATIONS)



REPAIR WITH IN-KIND MATERIALS (TYP.)

EXISTING MASONRY STAIR TO BE REMOVED

1 SOUTH ELEVATION - EXISTING

CHIMNEY TO BE DEMO'D

SIDING TO BE PAINTED (TYP.) (SEE ELEVATIONS)

WINDOW TO BE REPLACED
TO ACCOMMODATE INTERIOR LAYOUT

DOOR TO BE INFILLED TO
ACCOMMODATE INTERIOR LAYOUT

DECK AND STAIRS TO BE DEMO'D AND REPLACED;



NEW ROOF SHINGLES TO BE INSTALLED, SEE ELEVATIONS

TRIM AND SASH TO BE PAINTED (TYP.) (SEE ELEVATIONS)

WINDOWS TO BE REMOVED, REPLACED WITH FRENCH DOOR

EXISTING BASEMENT DOOR TO BE INFILLED

2 NORTH ELEVATION - EXISTING



PATCH AND REPAIR AS REQ'D WITH IN-KIND MATERIALS; PAINT (COLORS TO MATCH HOUSE, SEE ELEVATIONS) (TYP.)

REPLACE EXISTING EXTERIOR DOOR AND HARDWARE

REPAIR AND PAINT EXISTING WINDOW

1 SOUTH ELEVATION - EXISTING



3 WEST ELEVATION - EXISTING



PATCH AND REPAIR AS REQ'D WITH IN-KIND MATERIALS; PAINT (COLORS TO MATCH HOUSE, SEE ELEVATIONS) (TYP.)

HANGER OR REPLACE ROOF JOISTS, SHEATHING, AND ICE/WATER BARRIER AS REQ'D;

REPLACE EXISTING ROOF SHINGLES WITH CERTAINTED LANDMARK PRO ASPHALT ROOF SHINGLES IN CINDER BLACK

2 NORTH ELEVATION - EXISTING



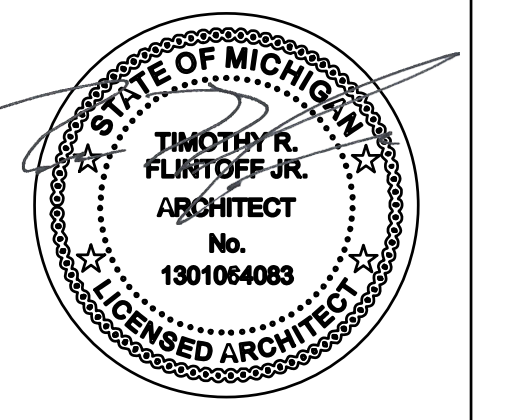
4 ROOF - EXISTING

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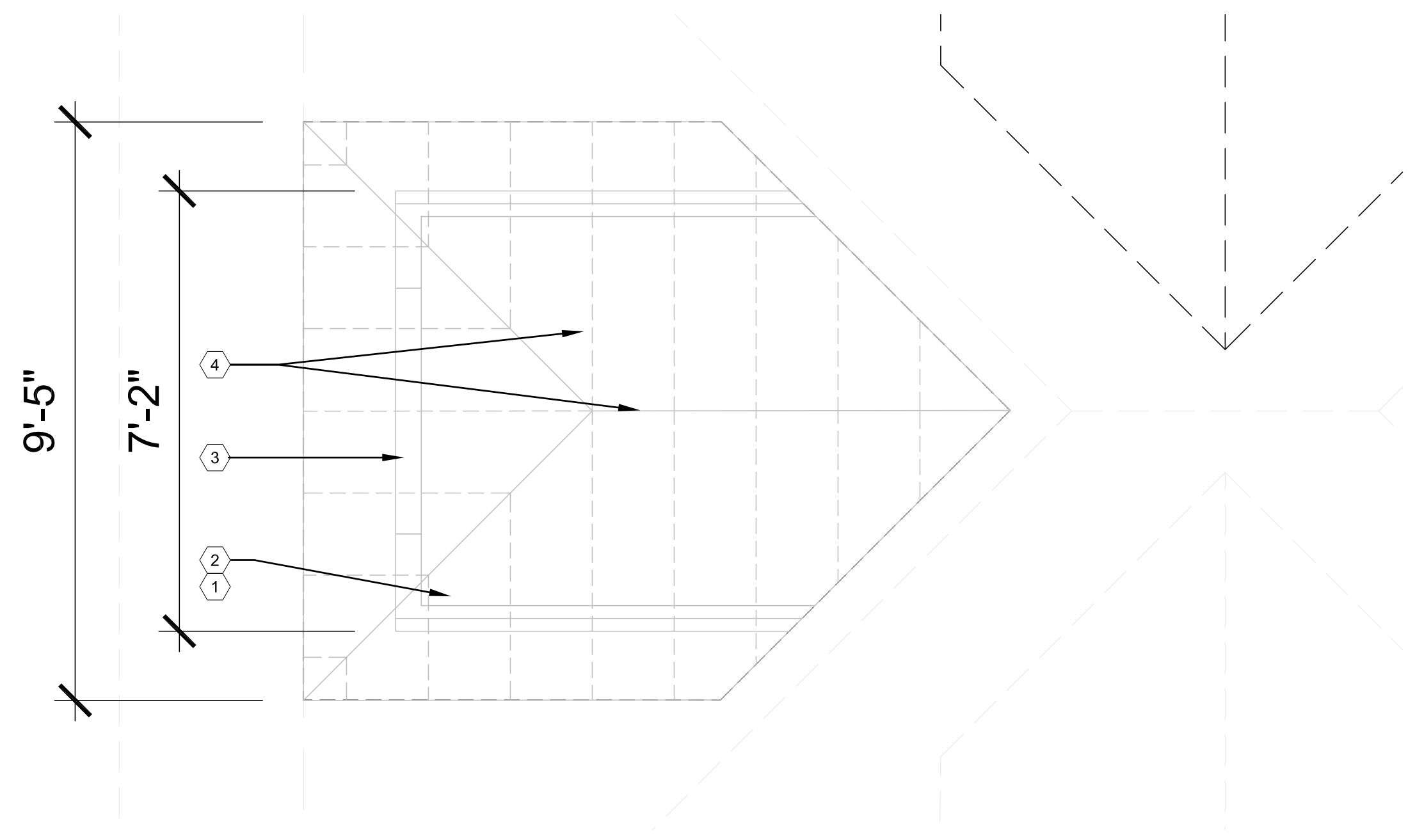
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 GARAGE
 ELEVATIONS AND
 ROOF PLAN

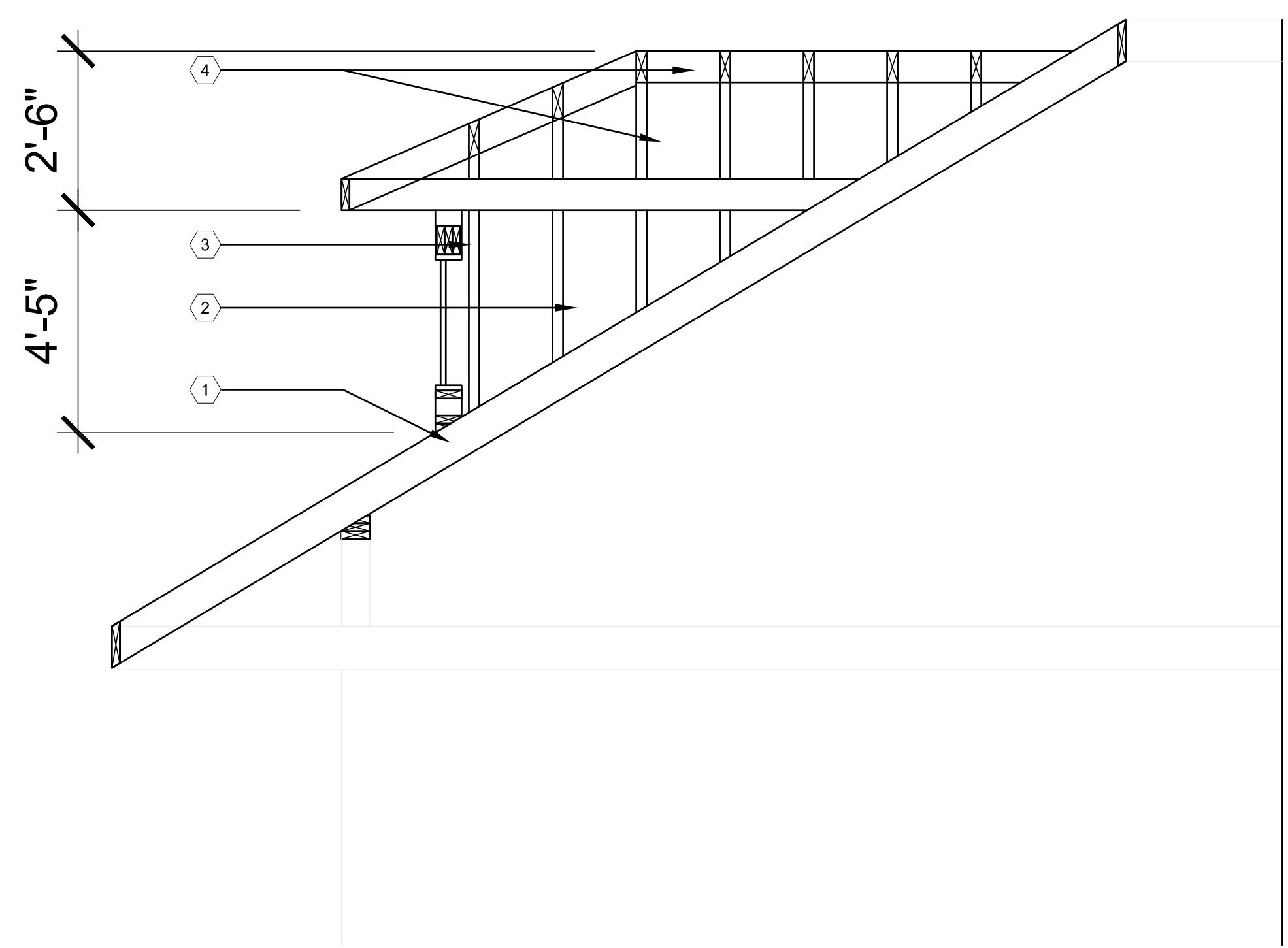
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A3.3

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1 DORMER FRAMING PLAN
A4.1 SCALE: 1/2" = 1'-0"



2 DORMER FRAMING SECTION
A4.1 SCALE: 1/2" = 1'-0"

PLAN KEY NOTES:
(TYPICAL THIS SHEET ONLY)

- ① SISTER SIMILAR 2x
- ② 2x4 WOOD STUD WALL
- ③ 2x6 DOUBLE HEADER
- ④ 2x6 RIDGE BEAM AND RAFTERS

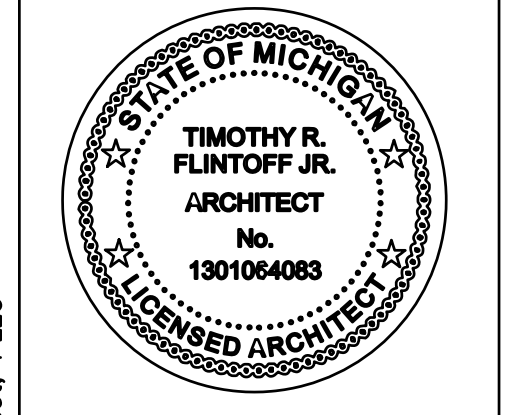
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**DORMER
FRAMING DETAILS**

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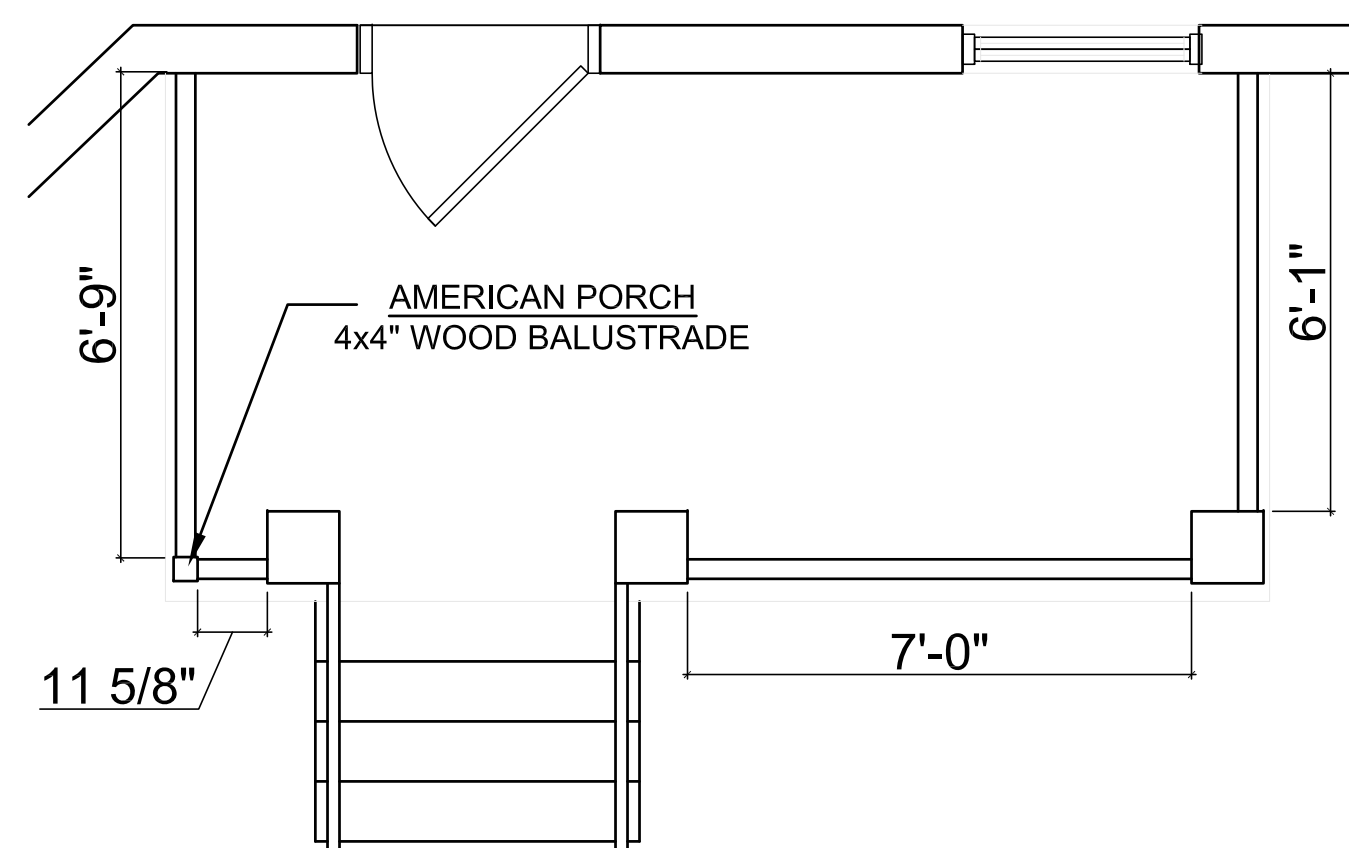
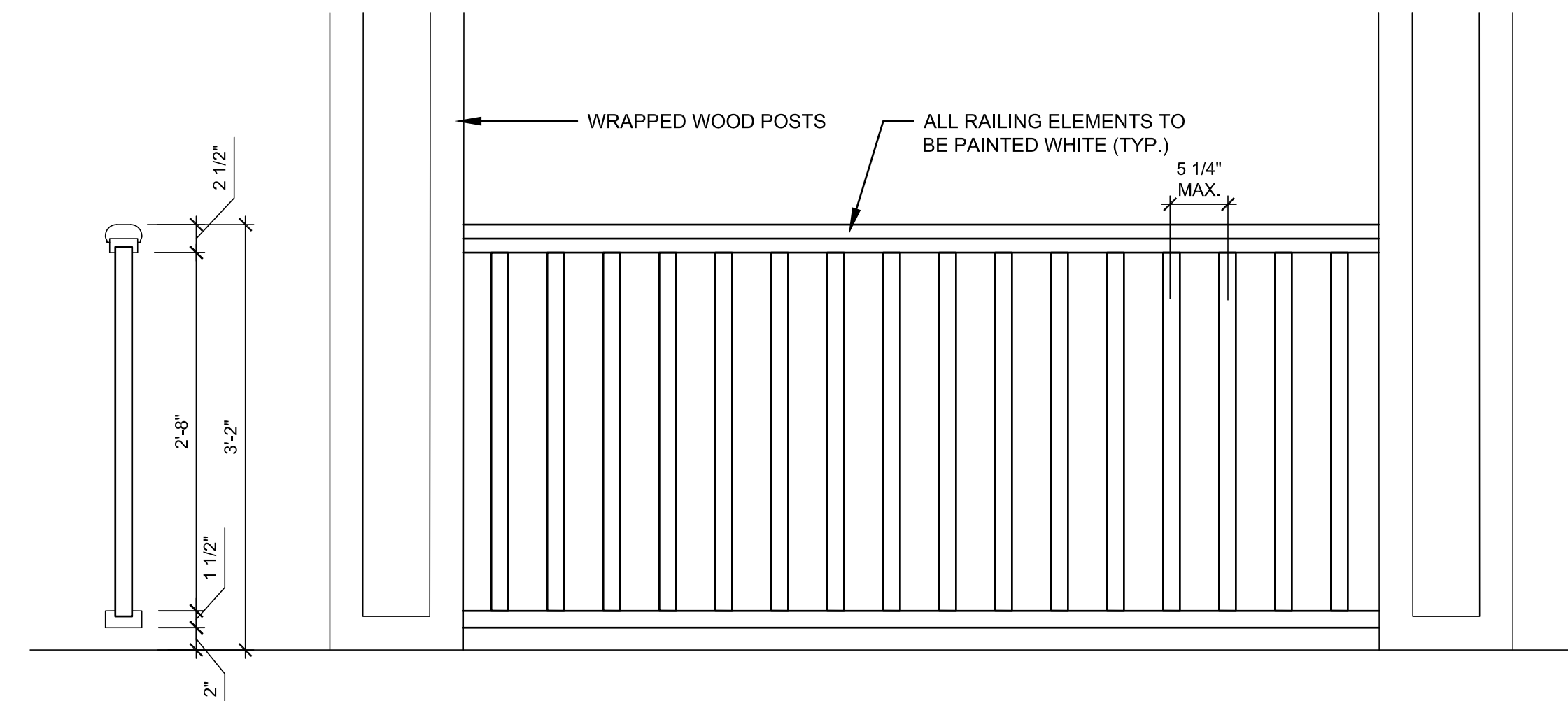
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FRONT PORCH RAILING

AMERICAN PORCH
4" 3 PC.PORCH RAIL SYSTEM,
CEDAR
WITH BOTTOM RAIL

AMERICAN PORCH
1-5/8" SQUARE BALUSTER,
CEDAR
32" LENGTH



REAR DECK RAILING

Trex Transcend® | Trex

RAIL KITS

COMPONENT	RAIL & SQUARE COMPOSITE BALUSTER KIT	RAIL & ROUND ALUMINUM BALUSTER KIT	COCKTAIL RAIL & ROUND ALUMINUM BALUSTER KIT*
Top Rail	Crown	Crown	Universal
Bottom Rail	Universal	Universal	Universal
Heights	36" (914 mm) 42" (106 cm)	36" (914 mm) 42" (106 cm)	36" (914 mm)
Lengths	67.5" (171 cm) 91.5" (232 cm)	67.5" (171 cm) 91.5" (232 cm)	67.5" (171 cm) 91.5" (232 cm)
Applications	Horizontal, Stair	Horizontal, Stair	Horizontal, Stair
Colors	WT BK VL	WT, BK, VL (round aluminum balusters come in BK)	WT (round aluminum balusters come in BK)

*A cocktail rail allows for a Trex Transcend® or Trex Select® deck board to be installed on top of a Universal top/bottom rail. All deck boards sold separately.

COLORS

Composite	Aluminum
Classic White	Classic White
Charcoal Black	Bronze
Gravel Path	Charcoal Black
Rope Swing	
Tree House	
Vintage Lantern	

CODE REQUIREMENTS

Trex Transcend Railing meets both IRC and IBC designated requirements in accordance with ICC-ES AC174 and ASTM D7032. Refer to Code Compliance Report CCCR-0132 for specific details.

HARDWARE

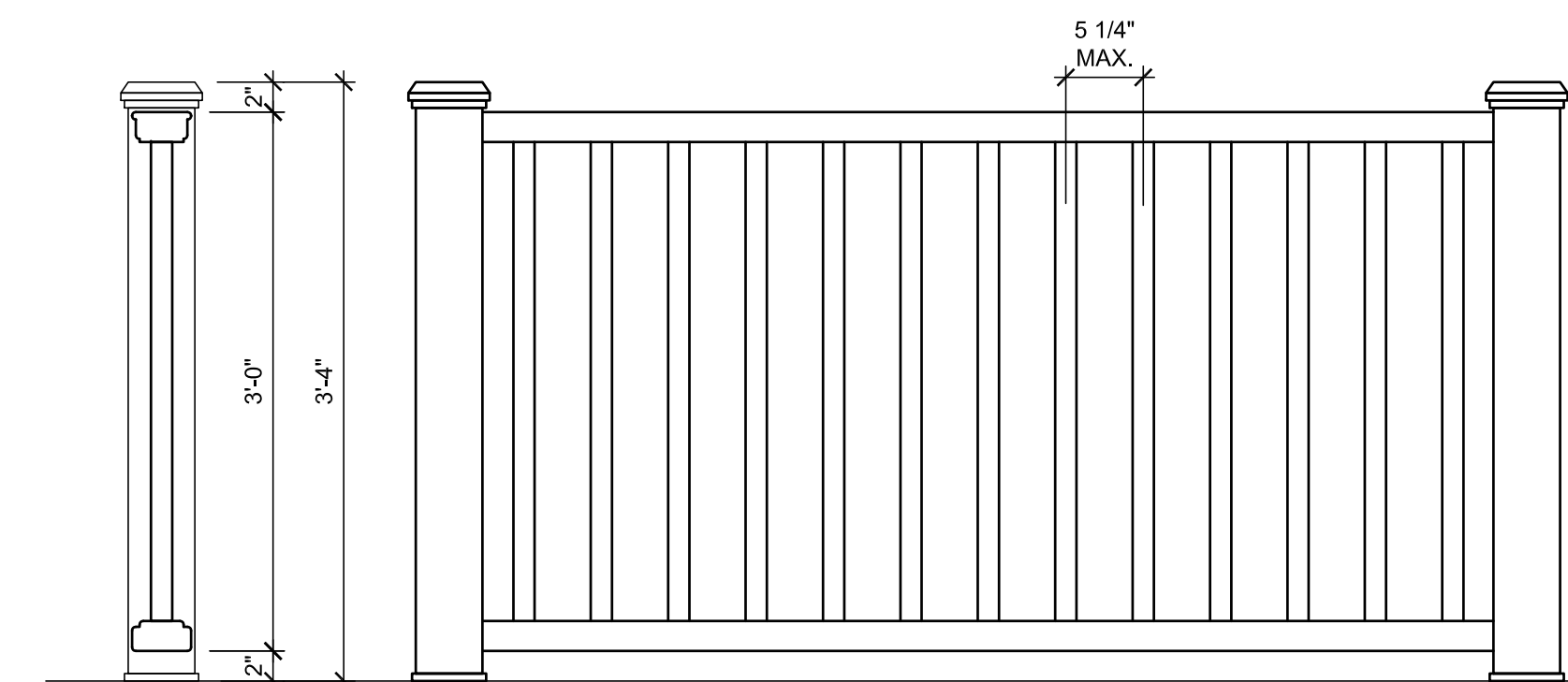
Mounting Hardware for Cut Rails

The perfect solution for any installation that requires making two railing sections from one kit. Includes 2 Crown top rail gaskets, 4 Universal top/bottom rail gaskets, 4 RSB rail brackets, 8 rail-to-bracket fasteners and 8 rail-to-post fasteners.

QUESTIONS?

Connect with our pro services team at 1-800-BUY-TREX or customercare@trex.com

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**RAILING
DETAILS**

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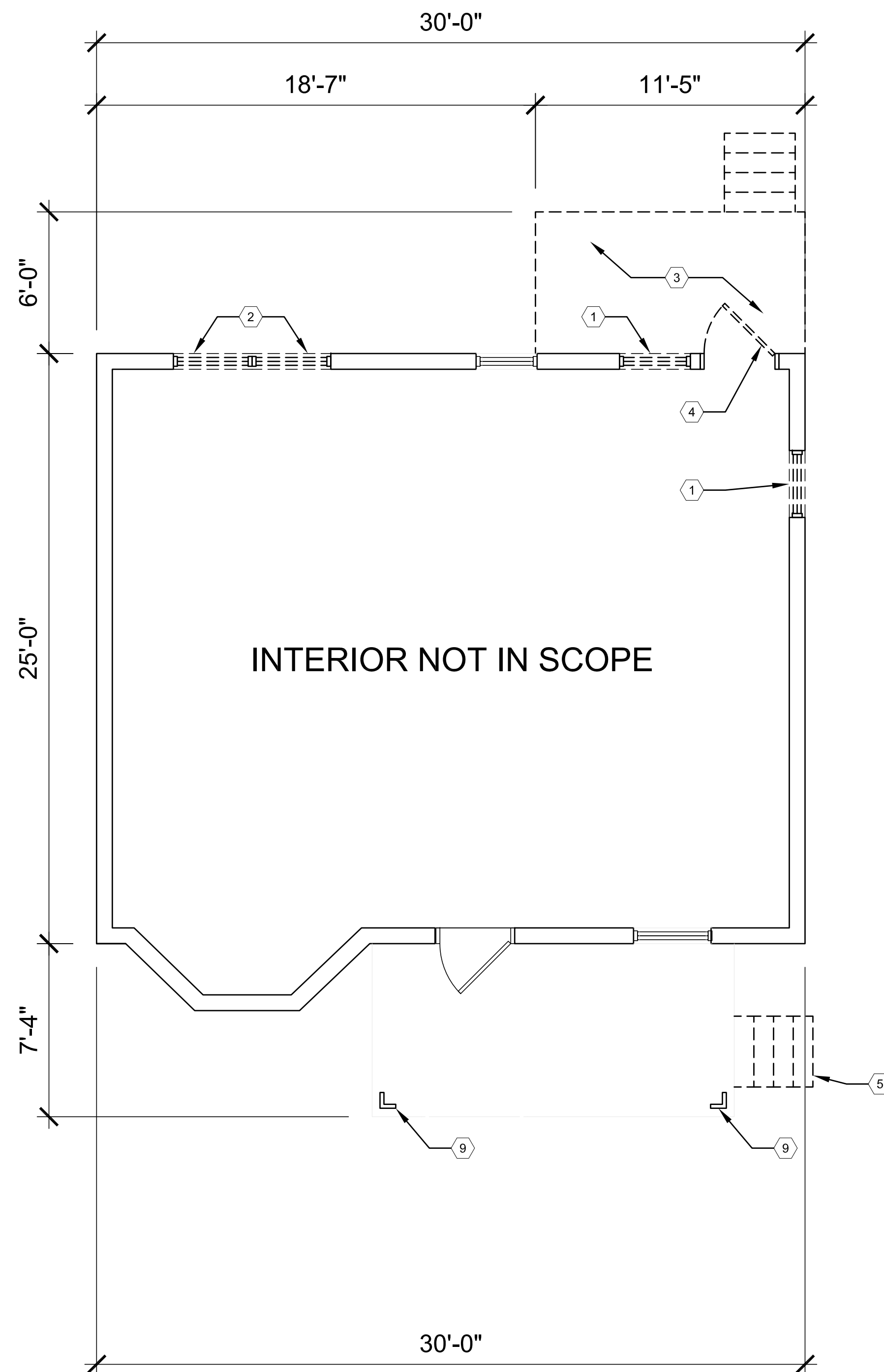
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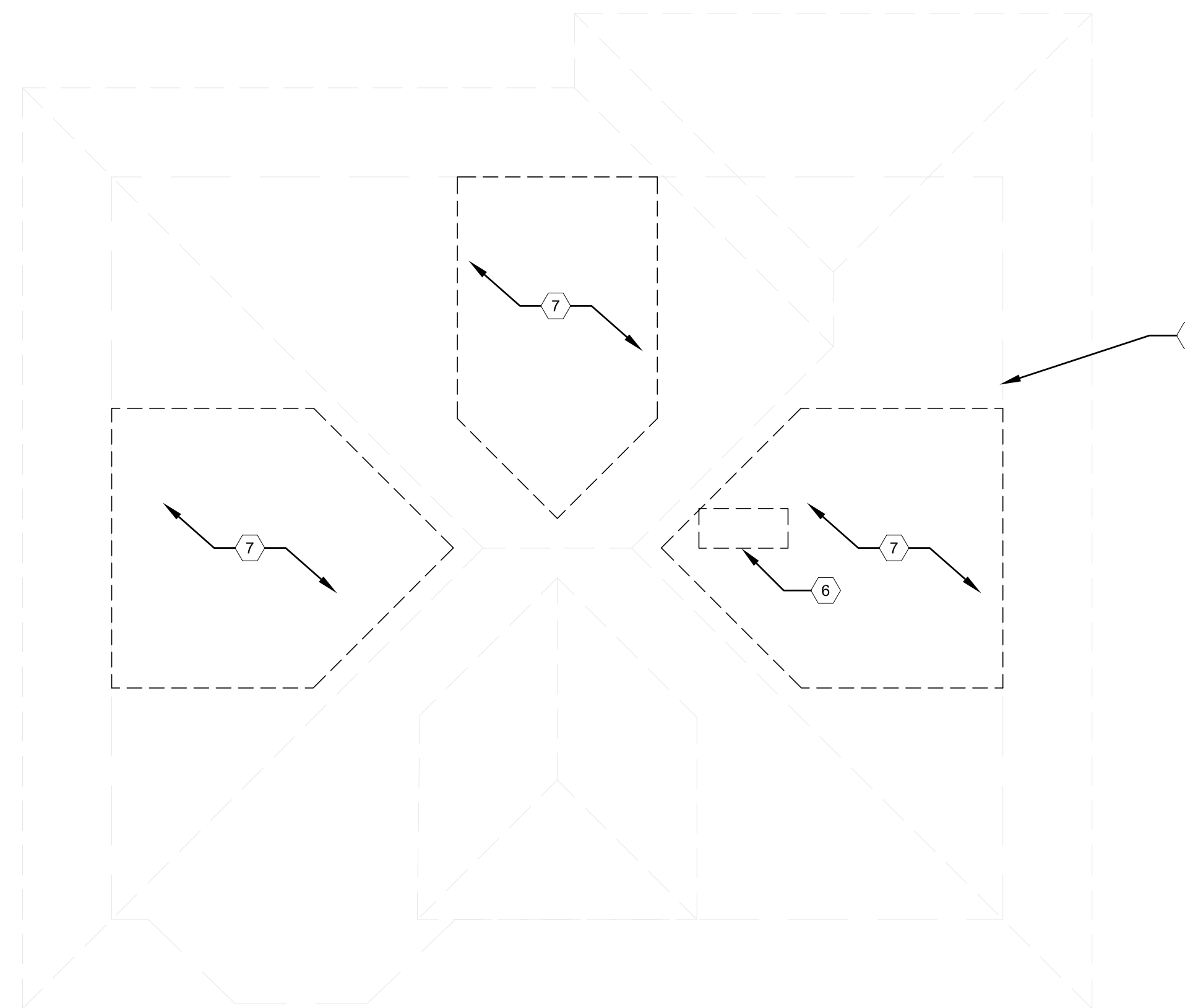
DEMO PLAN KEY NOTES:

(TYPICAL THIS SHEET ONLY)

- 1 WINDOW TO BE REMOVED AND REPLACED, SEE ELEVATIONS
- 2 WINDOW TO BE REMOVED AND REPLACED WITH DOOR, SEE ELEVATIONS
- 3 DEMO EXISTING REAR DECK AND STAIR
- 4 REMOVE AND INFILL REAR DOOR, SEE ELEVATIONS
- 5 DEMO EXISTING MASONRY STAIR
- 6 CHIMNEY TO BE DEMOLISHED
- 7 REMOVE ROOF AS REQ'D FOR NEW DORMER
- 8 LINE OF WALLS BELOW
- 9 EXISTING COLUMNS TO BE REMOVED



DEMO FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



DEMO ROOF PLAN
SCALE: 1/4"=1'-0"

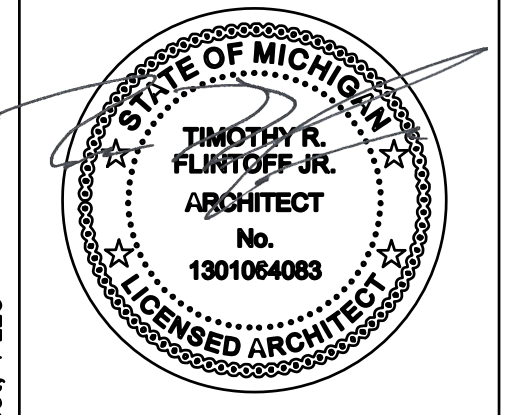
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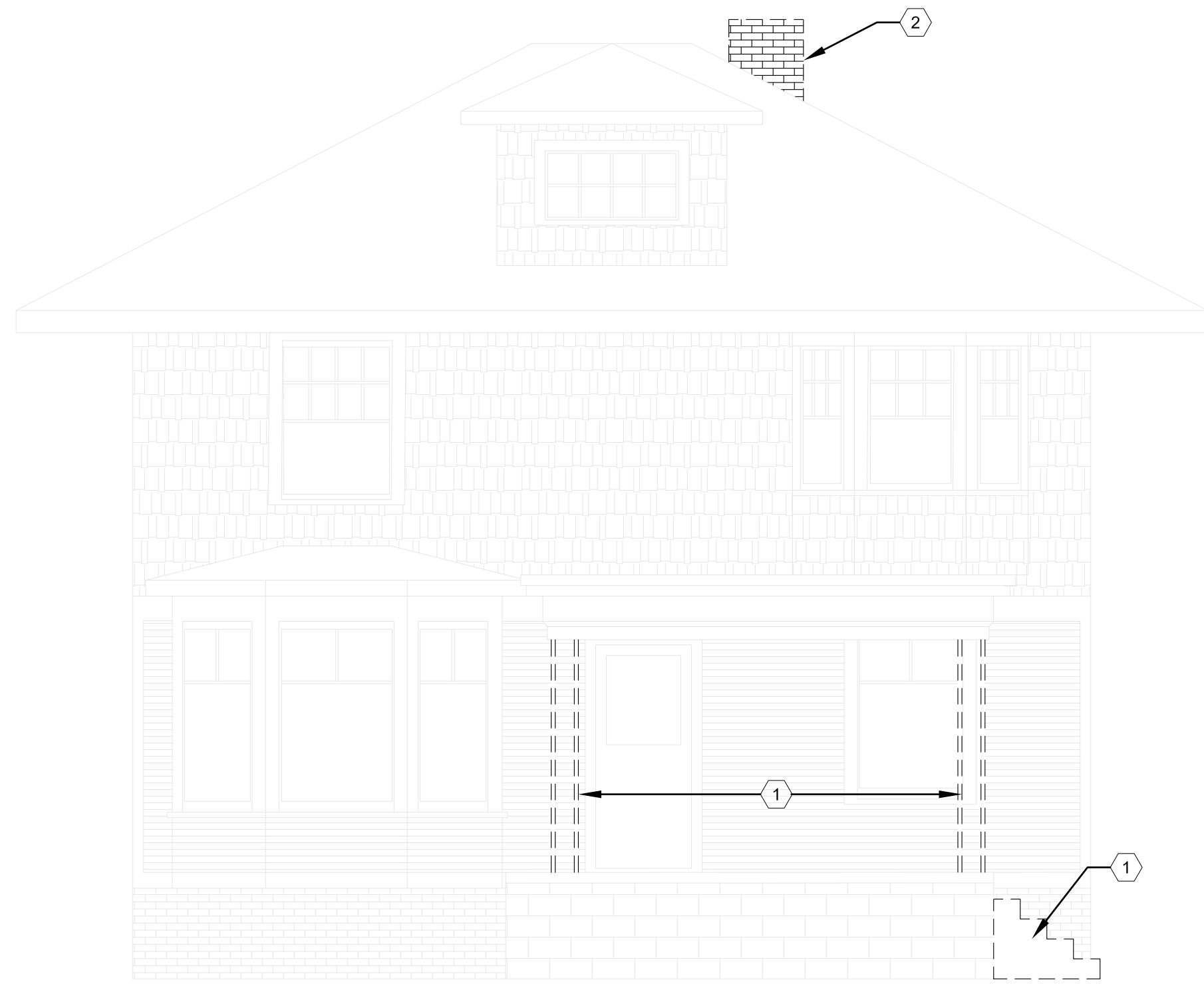
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DEMO PLANS

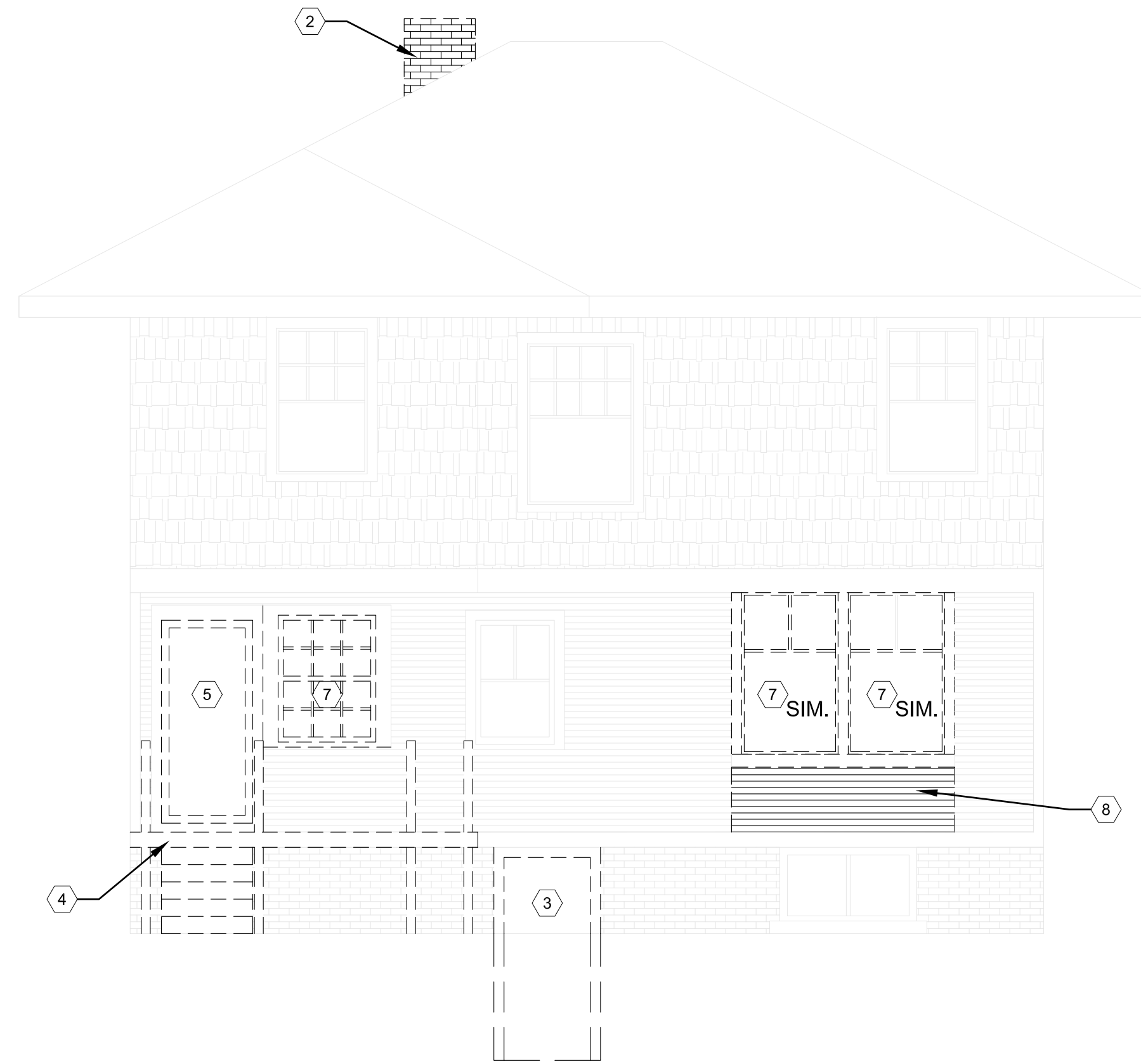
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Sheet No. :
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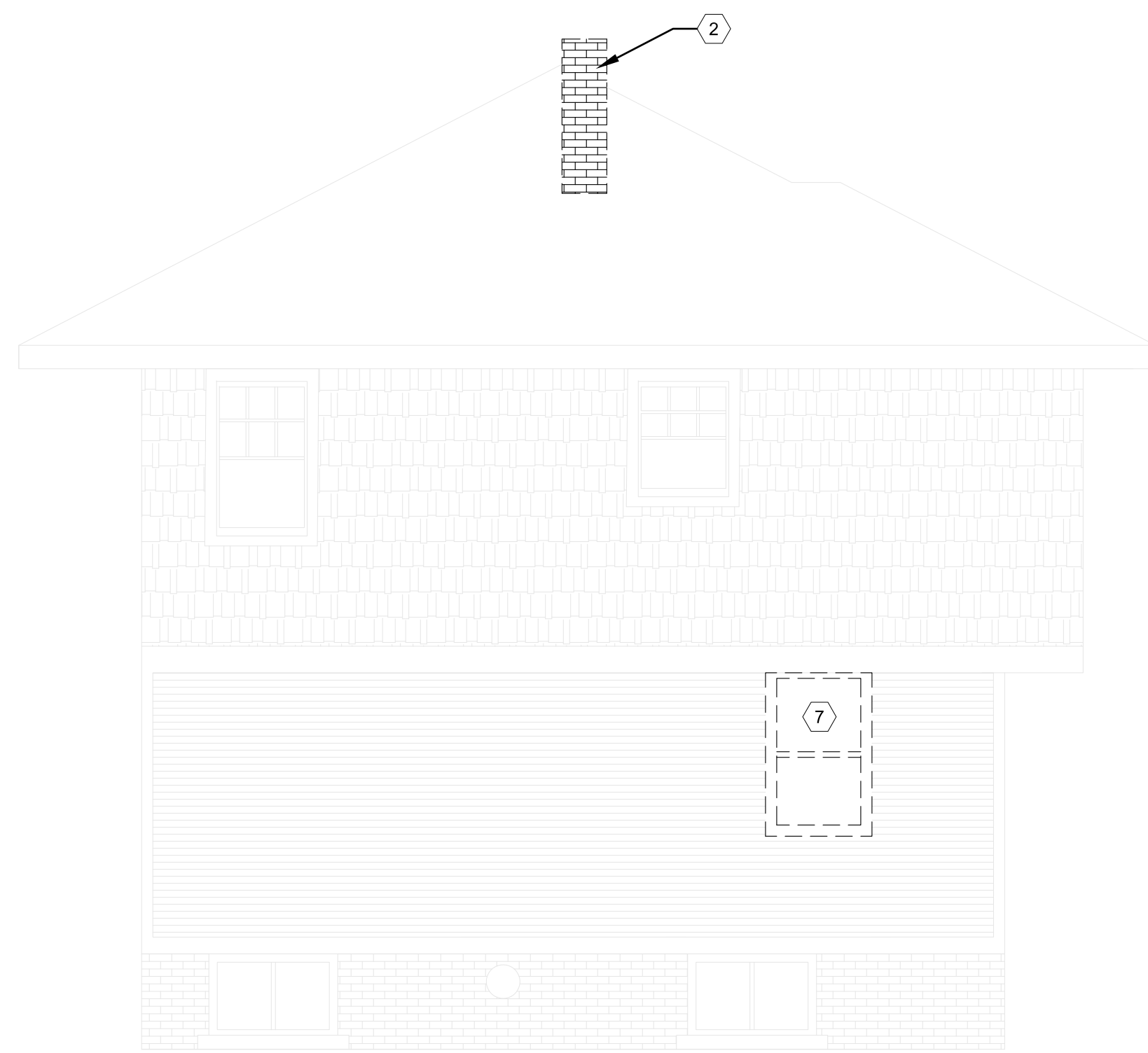
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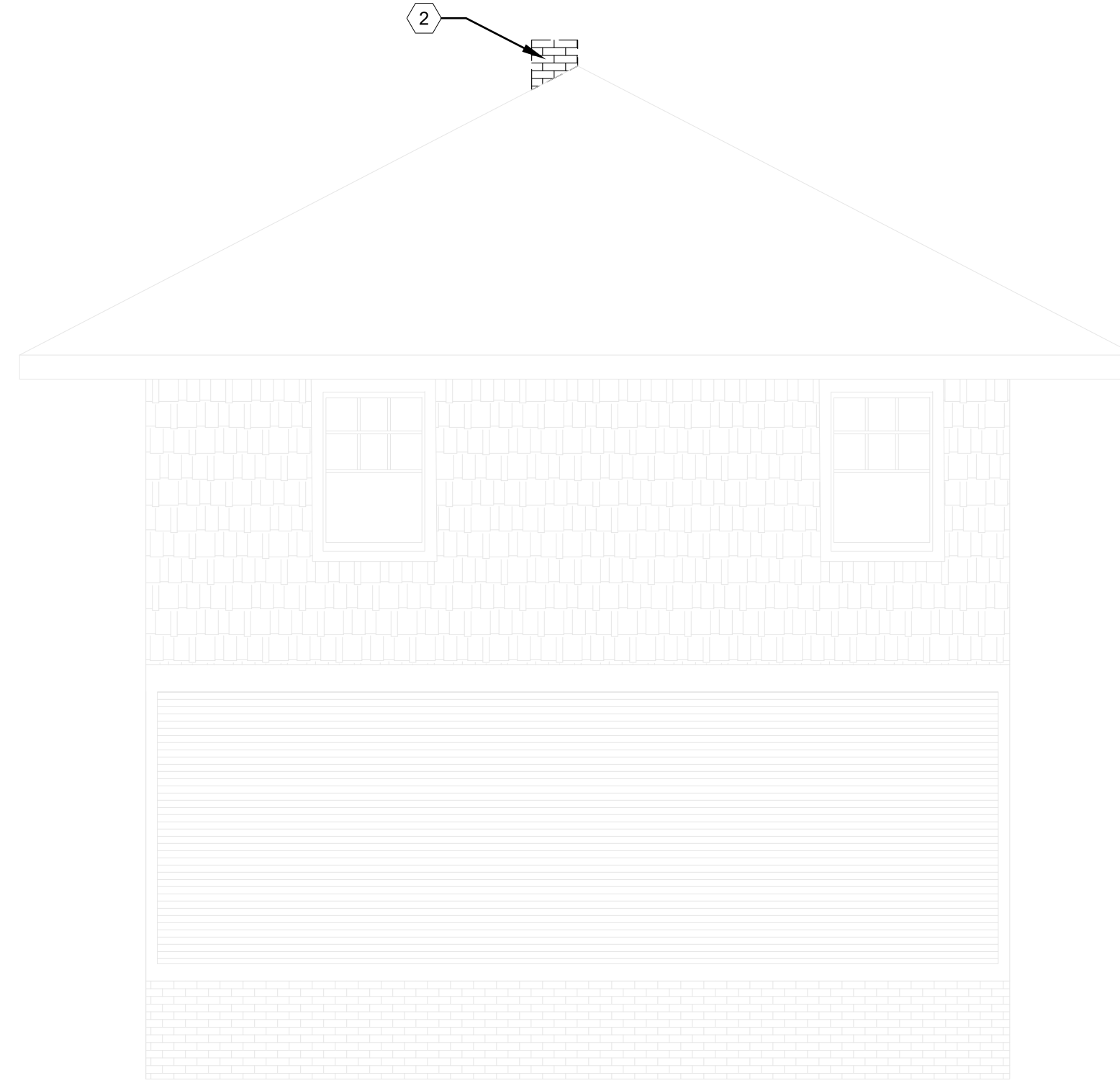
1 SOUTH ELEVATION
A1.1 SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
A1.1 SCALE: 1/4" = 1'-0"



3 EAST ELEVATION
A1.1 SCALE: 1/4" = 1'-0"



4 WEST ELEVATION
A1.1 SCALE: 1/4" = 1'-0"

ELEVATION KEY NOTES:

(TYPICAL THIS SHEET ONLY)

- 1 MASONRY STAIRS TO BE REMOVED
- 2 CHIMNEY TO BE REMOVED
- 3 EXISTING BASEMENT DOOR TO BE REMOVED, WALL INFILLED; USE IN-KIND MATERIALS FOR EXTERIOR CLADDING. EARTH TO BE INFILLED
- 4 REAR DECK AND STAIR TO BE DEMO'D
- 5 DOOR TO BE REMOVED, WALL INFILLED; USE IN-KIND MATERIALS FOR EXTERIOR CLADDING
- 6 EXISTING COLUMNS TO BE REMOVED AND REPLACED; SHORE ROOF AS REQ'D
- 7 EXISTING WINDOW TO BE REMOVED AND REPLACED, SEE EXTERIOR ELEVATIONS
- 8 WALL TO BE REMOVED FOR NEW DOOR, SEE EXTERIOR ELEVATIONS

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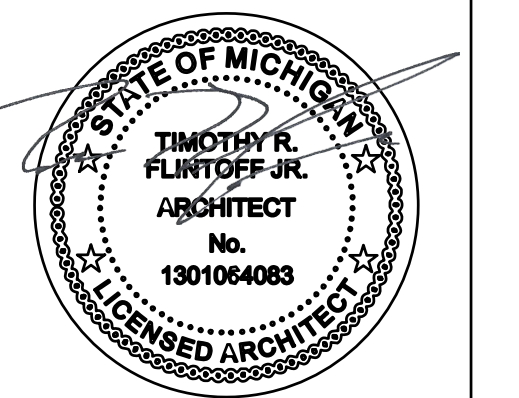
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DEMO EXTERIOR
ELEVATIONS

Project No. :
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