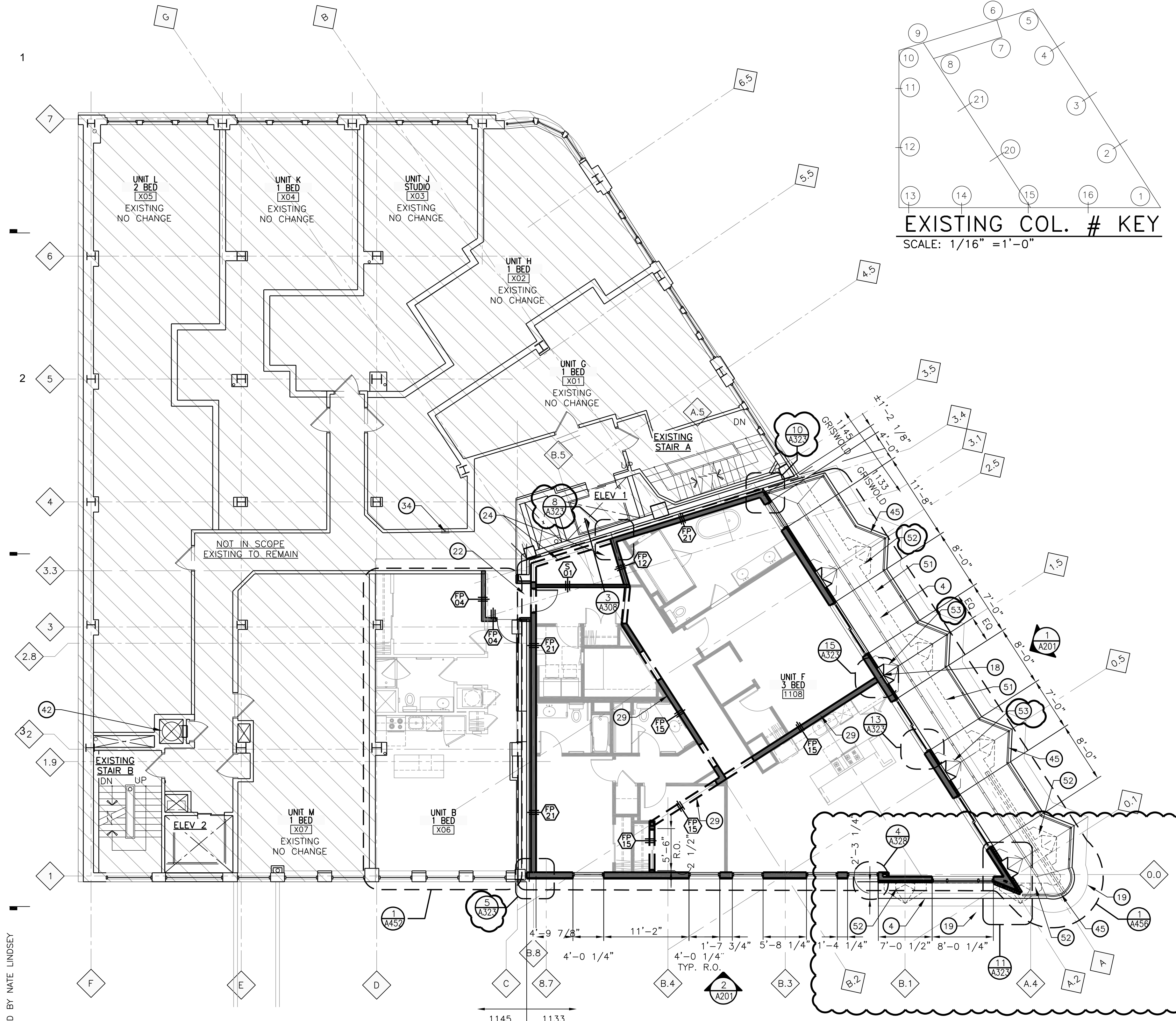


10/31/2024 11:19 AM | PLOTTED BY NATE LINDSEY



CONSTRUCTION KEYNOTES

NOTE: NOT ALL NOTES ARE APPLICABLE TO THIS SHEET.

- 1 OUTLINE OF SHAFT ABOVE
- 2 EXISTING STEEL COLUMN, OR STEEL POST ABOVE
- 3 OUTLINE OF BALCONY ABOVE
- 4 OUTLINE OF ROOF OVERHANG ABOVE
- 5 LIMIT OF WORK
- 6 EXTENTS OF VAULTED SIDEWALK, SEE TYPICAL DETAIL ON SHEET A511
- 7 LINE OF EXISTING CANOPY ABOVE
- 8 EDGE OF FLOOR SLAB
- 9 APPROXIMATE EXTENT OF EXISTING FOOTING, V.I.F. AS NEEDED.
- 10 STEEL COLUMN PER STRUCT. W/ 2-HOUR SPRAY-APPLIED FIREPROOFING. CONFIRM CENTERLINE LOCATION OF COLUMN BELOW
- 11 EXISTING STAIR, GUARDS AND HANDRAILS TO BE REPAIRED.
- 12 EDGE OF FLOOR ABOVE
- 13 EXISTING FLOOR OPENING TO BE INFILLED - REFER TO STRUCTURAL
- 14 EXISTING PIT AND SLAB TO BE INFILLED - REFER TO STRUCTURAL
- 15 REQUIRED CLEAR FLOOR SPACE
- 16 FLOORING TRANSITION
- 17 EXTENT OF ENCROACHMENT OVER PROPERTY LINE
- 18 FACADE CLADDING
- 19 CORNICE - SEE ELEVATION
- 20 RAMP
- 21 OPENING
- 22 NEW OPENING AT LOT LINE WALL, SEE STRUCT. FOR HEADER
- 23 RE-SEAL SIDEWALK VAULT WALLS WITH CRYSTALLINE WATERPROOFING
- 24 SHAFT, COORDINATE SIZE OF SHAFT WITH MECH DUCTS
- 25 SHAFT ENCLOSURE, COORDINATE SIZE OF SHAFT WITH MECH DUCTS
- 26 COLUMN
- 27 COLUMN ENCLOSURE -
- 28 INFILL OPENING
- 29 CENTER BEARING WALL ON COLUMN CENTERLINE
- 30 ALIGN WITH COLUMN CENTER LINE
- 31 INTERIOR STOREFRONT SYSTEM ALONG EDGE OF FLOOR
- 32 MULLION
- 33 MAILBOXES - SEE ENLARGED PLAN
- 34 EXISTING FIRE EXTINGUISHER
- 35 PROVIDE WATER CURTAIN SPRINKLER SYSTEM FOR WINDOWS IN LIEU OF 1 HOUR FIRE RATED ASSEMBLY.
- 36 ROOF DRAIN CONDUCTOR - SEE PLUMBING
- 37 EXISTING STANDPIPE - SEE PLUMBING
- 38 NEW ELEC. RISERS FOR 1133 - SEE ELECTRICAL
- 39 ELECTRICAL PANEL - SEE ELECTRICAL
- 40 HOT WATER TANK - SEE PLUMBING
- 41 STOREFRONT SYSTEM
- 42 EXISTING TRASH CHUTE
- 43 PROTECT COLUMN WITH 2-HR RATED SPRAY-ON FIREPROOFING
- 44 FUTURE TENANT ELEVATOR LOCATION - NOT IN CONTRACT
- 45 42" TALL GUARD RAIL
- 46 SILL - REFER TO A601
- 47 ALIGN OPENING WITH EXISTING CORRIDOR
- 48 EXISTING FIRE CONTROL PANEL
- 49 CENTER NEW OPENING IN ARCH
- 50 CENTER WINDOW ON CENTERLINE OF EXISTING WINDOWS BELOW
- 51 LINE OF WALL BELOW
- 52 LINE OF FLARED COLUMN CLADDING PANEL BELOW, TYP.
- 53 LINE OF FLARED COLUMN CLADDING PANEL OVERHEAD
- 54 EXISTING STONE CLADDING

GENERAL NOTES

- A. FIRESTOPPING: PROVIDE FIRESTOPPING ASSEMBLIES AT ALL PENETRATIONS AND INTERRUPTIONS TO FIRE RATED ASSEMBLIES WHICH PROVIDE THE SPECIFIED FIRE RATING FOR PARTITION OR FLOOR. SEE SPECIFICATIONS.
 - B. FIRE RATED PARTITIONS SHALL BE CONTINUOUS FROM FLOOR TO STRUCTURE ABOVE AND SHALL BE FIRE STOPPED TIGHTLY TO STRUCTURE PER CODE (U.L. SYSTEM). SEE A501 FOR ADDITIONAL REQUIREMENTS.
 - C. PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS NOTED OTHERWISE. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESS OF FINISHES.
 - D. COORDINATE AND PROVIDE BACKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
 - E. CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED. COORDINATE LOCATIONS AND EXTENTS OF BLOCKING WITH PRODUCT MANUFACTURERS AND SHOP DRAWINGS.
 - F. LOCATE DOOR FRAMES 6" FROM INSIDE CORNER TO DOOR OPENING, UNLESS NOTED OTHERWISE.
 - G. ALL INTERIOR GLAZING INCL DOORS, SIDELITES, & BORROWED LITES SHALL BE CLEAR LAMINATED SAFETY GLASS OR CLEAR TEMPERED SAFETY GLAZING UNLESS NOTED OTHERWISE.
 - H. CONTRACTOR SHALL PROVIDE AND INSTALL CORNER GUARDS (CG) AS IDENTIFIED ON PLANS. CG SHALL BE FULL HEIGHT FROM TOP OF BASE TO CEILING. TYP. EXCEPT AT WWC - INSTALL FROM TOP OF WWC TO CLG.
 - I. RECESSED ITEMS (GREATER THAN 16 SQ. IN.) IN RATED AND/OR SMOKE WALLS, INCLUDING ELEC PANELS, ELEC DUCTS, MED GAS VALVE BOXES, FIRE EXT CABINETS, ETC. SHALL BE BACKED WITH 5/8" TYPE "X" GYPSUM BOARD TO MAINTAIN RATING AT FIRE WALL.
 - J. SEMI-RECESSED FIRE EXTINGUISHER (FE) ARE SHOWN ON PLAN - REFER TO SHEET A501 FOR TYPICAL DETAILS. FINAL LOCATION OF FIRE EXTINGUISHERS SHALL BE REVIEWED IN FIELD WITH BUILDING OFFICIAL PRIOR TO INSTALLATION ROUGH-IN.
 - K. COORDINATE TELECOMMUNICATIONS, A/V, DATA AND SECURITY SYSTEMS INSTALLATIONS. PROVIDE AND INSTALL TELEPHONE AND ELECTRICAL PANEL BOARDS. PANEL BOARDS SHALL BE 4' X 8' X 3/4" THICK, PLYWOOD, FIRE RETARDANT TREATED.
 - L. COORDINATE WITH ROOM FINISH AND MATERIAL SCHEDULE.
 - M. COORDINATE WITH ENLARGED ROOM PLAN FOR ADDITIONAL REQUIREMENTS.
 - N. SEE PARTITION NOTES ON SHEET A501 FOR ADDITIONAL REQUIREMENTS.
- WORK IN EXISTING STRUCTURES
- O. WHERE NEW GYPSUM BOARD PARTITIONS ARE A CONTINUATION OF AN EXISTING PARTITION OR COLUMN ENCASMENT, THE FACE OF THE NEW GYPSUM BOARD SHALL BE ALIGNED WITH THE FACE OF THE EXISTING SURFACE. WHERE NEW GYPSUM BOARD PARTITION IS SHOWN INTERSECTING A COLUMN ENCASMENT THE CENTERLINE OF THE WALL SHALL BE CENTERED ON THE COLUMN ENCASMENT.
 - P. WHERE NEW OR INFILL PARTITION ABUTS EXISTING PARTITION, FACE OF PARTITIONS SHALL ALIGN, UNLESS NOTED OTHERWISE.
 - Q. PARTITIONS WITH EXISTING FRAMING MAY REQUIRE REWORK TO ACCOMMODATE NEW OPENINGS, ETC.
 - R. WHERE EXISTING FIRE-RESISTANCE RATED PARTITIONS ARE DAMAGED OR HAVE EXISTING OPENINGS, PARTITION TO BE PATCHED AND REPAIRED WITH MATERIALS MATCHING THE EXISTING ASSEMBLY TO MEET THE REQUIRED FIRE RESISTANCE RATING. CONTRACTOR TO REVIEW THE CONDITION OF ALL PARTITIONS IN THE FIELD.
 - S. ALTERNATE PARTITION ASSEMBLIES THAT VARY FROM THE ASSEMBLIES PROVIDED IN THE PARTITION SCHEDULE TO BE SUBMITTED BY THE CONTRACTOR TO THE ARCHITECT FOR CONSIDERATION. ALTERNATE ASSEMBLIES MAY REQUIRE REVIEW BY THE LOCAL JURISDICTION. ANY REVIEW SHALL NOT CONSTITUTE A CLAIM FOR DELAY.
 - T. WHERE FINISHES ARE SPECIFIED ON THE FINISH PLAN REMOVE ALL EXISTING FINISHES. PATCH AND REPAIR WALLS AND FLOOR TO ENSURE EVEN SURFACE. PREPARE THEM TO ACCEPT NEW SCHEDULED FINISH PER MANUFACTURER'S INSTRUCTIONS. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
 - U. PROVIDE NEW STRUCTURAL LINTELS AT ALL MASONRY WALLS WHERE PREVIOUS OPENING DOES NOT HAVE A LINTEL AND AT NEW OPENINGS. LINTEL SHALL EXTEND MINIMUM 8" EITHER SIDE OF OPENING, UNLESS NOTED OTHERWISE. SEE STRUCTURAL.
 - V. WHERE EXISTING ACCESS PANELS CONFLICT WITH CONSTRUCTION, RELOCATE PANELS TO ALIGN WITH AND FIT WITHIN NEW CONSTRUCTION.
 - W. PROVIDE TEMPORARY DUSTPROOF PARTITIONS AS REQUIRED TO PROTECT ALL EXISTING AREAS FROM DAMAGE.
 - O. WHERE SLAB ON GRADE REMOVAL IS REQUIRED FOR UTILITY PLACEMENT REFER TO TYPICAL CONCRETE SLAB INFILL DETAIL ON SHEET A...

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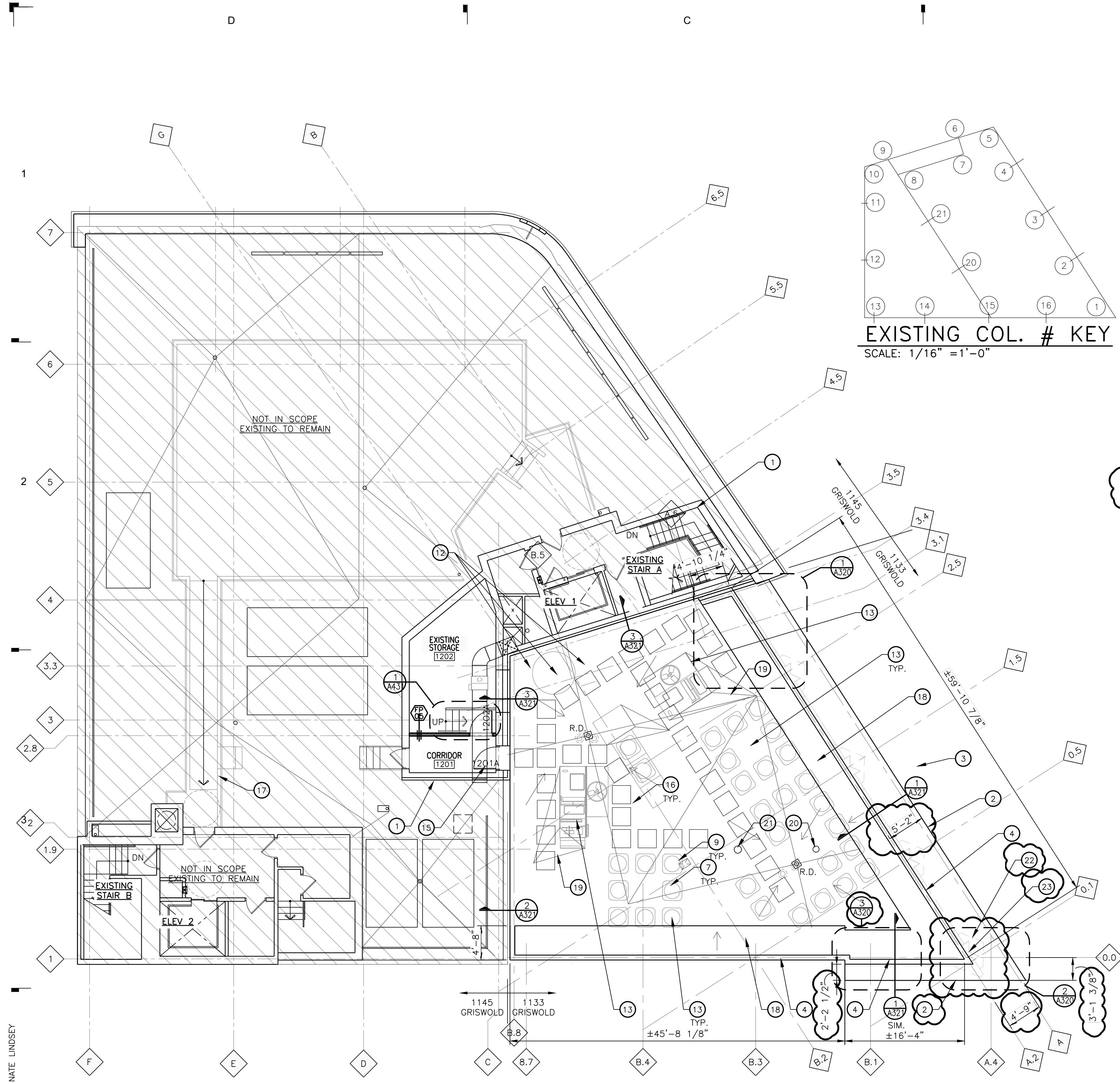
Sheet Title
11TH FLOOR PLAN

Sheet Number

A107



0 2' 4' 8' 16'
SCALE: 1/8" = 1'-0"



EXISTING COL. # KEY
SCALE: 1/16" = 1'-0"

ROOF PLAN
SCALE: 1/8" = 1'-0"

CONSTRUCTION KEYNOTES

NOTE: NOT ALL NOTES ARE APPLICABLE TO THIS SHEET.

- 1 EXISTING PENTHOUSE TO REMAIN
- 2 ROOF OVERHANG
- 3 LINE OF BALCONY BELOW
- 4 PARAPET - 42" TALL MIN.
- 5 COPING -
- 6 EXISTING COPING TO REMAIN
- 7 EPDM MEMBRANE ROOFING
- 8 SLOPE
- 9 TAPERED ROOF INSULATION
- 10 ROOF DRAIN - REF PLUMBING
- 11 OVERFLOW DRAIN - REF PLUMBING
- 12 LOCATION OF SHAFT BELOW
- 13 ROOFTOP EQUIPMENT - REF MECH
- 14 CURB
- 15 ROOF ACCESS DOOR
- 16 WALK PADS, TYPICAL
- 17 EXISTING RAISED WALKWAY
- 18 ROOFING OVER SHEATHED PARAPET KICKERS, SEE DETAILS
- 19 CRICKET
- 20 KITCHEN VENT, REF MECH
- 21 KITCHEN MAKE UP AIR INTAKE, REF MECH
- 22 LINE OF FLARED COLUMN BELOW, TYP.
- 23 LINE OF PILASTER BELOW, TYP.

ROOFING GENERAL NOTES

- A. CONTRACTOR SHALL REVIEW AND COORDINATE WITH ARCHITECTURAL, MEP, AND STRUCTURAL PLANS TO ASCERTAIN EXACT CONDITIONS AND COMPONENTS RELATED TO THE WORK DESCRIBED BY THESE DOCUMENTS. ALL WORK SHALL BE IN ACCORDANCE WITH ACCEPTED MANUFACTURER'S PRINTED INSTRUCTIONS AND NRCA STANDARDS.
- B. DIMENSIONS, DETAILS, EQUIPMENT SIZE AND LOCATION SHOWN ON THESE ROOF PLAN AND ROOF DETAILS ARE FOR INFORMATION AND REFERENCE ONLY. EXACT SIZE, LOCATION, TYPE OF MATERIAL AND TYPE OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM AND COORDINATE.
- C. REFER TO NOMENCLATURE FOR TYPE OF ROOF SYSTEM. AREAS MARKED WITH DESIGNATED LETTER, SEE ROOF PLAN AND NOMENCLATURE.
- D. MINIMUM SLOPE ALLOWABLE ON THE ROOF SHALL BE NO LESS THAN 1/4" PER FOOT. CRICKET THE UP-SLOPE SIDE OF ALL SQUARE CURBS AND PROJECTIONS OVER 20" IN WIDTH.
- E. CONTRACTOR TO ENSURE RUNOFF PITCHES AWAY FROM ROOF EXPANSION JOINTS AND ROOF AREA SEAMS. ELEVATE ROOF EXPANSION JOINTS A MINIMUM OF 8" ABOVE THE ROOF MEMBRANE.
- F. ALL CRICKET AND TAPERED INSULATION SHALL BE INSTALLED WITH A FINISH 1/4" PER FOOT MIN. SLOPE. CRICKET THE UP-SLOPE SIDE OF ALL SQUARE CURBS AND PROJECTIONS.
- G. ALL PIPING, CONDUITS, ETC. SHALL BE A MIN. 10" ABOVE ROOF SURFACE. PROVIDE PORTABLE PIPE HANGERS WITH PROTECTION PADS.
- H. PROVIDE 22 GAUGE STAINLESS STEEL, 2D FINISH, TREATED WOOD CURB AND BOX HOOD AT ALL GAS LINE AND WATER LINE ROOF PENETRATIONS. SEE A321 FOR TYPICAL ROOF DETAILS.
- I. ISOLATE ALL HEAT PIPES/FLUES AS RECOMMENDED & OUTLINED IN THE NRCA MANUAL FOR ISOLATED STACK FLASHING. REFER TO MEP DRAWINGS FOR SIZE AND LOCATION OF DECK PENETRATIONS AND ROOFTOP EQUIPMENT.
- J. PROVIDE WALKWAY PROTECTION PADS AROUND ALL ROOF HATCHES, MECHANICAL UNITS, AT ROOF TOP ACCESS DOORS, AND LADDERS (TOP & BOTTOM).
- K. CONTRACTOR SHALL REFER TO A321 FOR TYPICAL ROOFING DETAILS IN ADDITION TO DETAILS SPECIFICALLY NOTED ON PLANS.
- L. CONTRACTOR TO ENSURE ALL ROOFTOP PENETRATIONS (EQUIPMENT, SOIL STACKS, ETC.) ARE INSTALLED MIN. 2'-0" FROM OTHER DECK PENETRATIONS, RISE WALLS, AND ROOF EDGE.
- M. THROUGH WALL BASE FLASHING MIN. HEIGHT 10" AND MAX. HEIGHT 20" FROM FINISH DECK. DO NOT STEP THROUGH WALL FLASHING CLOSER THAN 5'-0" FROM CORNERS.
- N. LOCATE PERIMETER DRAINS MAX 6'-0" FROM EDGE TYPICAL UNLESS SHOWN OTHERWISE.
- O. CONTRACTOR SHALL EXAMINE AND ENSURE DRAIN LINES, GUTTERS AND DOWNSPOUTS ARE FREE OF DEBRIS AND BLOCKAGE, FLUSH WITH WATER TO ENSURE THAT DRAINS FLOW FREELY, WHERE APPLICABLE.
- P. OVERFLOW DRAINS SHALL BE SET 2" HIGHER THAN MAIN ROOF DRAIN ELEVATIONS UNLESS NOTED OTHERWISE. OVERFLOW DRAINS SHALL NOT HAVE STRAINERS UNLESS REQUIRED BY LOCAL CODES.
- Q. AVOID THE USE OF PITCH PANS ON LOW-PITCH ROOFS EXCEPT WHERE NO OTHER SOLUTION CAN BE USED.
- R. SECURE NAILERS AND CANT STRIPS TO ROOF DECK NOT TO PARAPETS OR ADJACENT WALLS, TYPICAL.
- S. CONTRACTOR SHALL PROVIDE ALL EQUIPMENT CURBS AND STANDS NECESSARY FOR ROOFTOP EQUIPMENT.

REROOFING GENERAL NOTES

- A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE BUILDING, OCCUPANTS, AND WORKERS THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL TAKE ALL NECESSARY SAFETY PRECAUTIONS AND COMPLY WITH ALL APPLICABLE REGULATIONS INCLUDING OSHA SAFETY REGULATIONS FOR ROOF REPLACEMENT AND DEMOLITION OPERATIONS.
- B. THE CONDITION OF THE EXISTING ROOF ASSEMBLY INCLUDING ROOF COVERING, SUBSTRATE AND DECKING IS UNKNOWN AND MAY BE DAMAGED OR DETERIORATED.
- C. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND MAKE MINOR ADJUSTMENTS AS NECESSARY. NOTIFY ARCHITECT OF ANY DISCREPANCIES WHICH MAY AFFECT THE OUTCOME OF THE WORK.
- D. THE CONTRACTOR SHALL REMOVE AND REINSTALL ALL EXISTING ROOF OR WALL MOUNTED EQUIPMENT AND ACCESSORIES TO REMAIN IN AREAS OF ROOF REPLACEMENT AS NECESSARY TO COMPLETE THE WORK. ALL CURBED ROOF PENETRATIONS SHALL EXTEND A MIN. OF 12" ABOVE THE FINISHED ROOF SURFACE. PROVIDE OR MODIFY EXISTING CONSTRUCTION WITH NEW TREATED WOOD BLOCKING AS NECESSARY. FIELD VERIFY SIZE, QUANTITY, AND LOCATION OF ALL ROOF PENETRATIONS, EQUIPMENT AND ACCESSORIES. MODIFY/EXTEND EXISTING CONTROL WIRING, CONDUIT, DUCTWORK OR PIPING AS NECESSARY. NOTIFY THE OWNER AND COORDINATE ANY INTERRUPTION IN EQUIPMENT SERVICE PRIOR TO REMOVAL.
- E. PROTECT EXISTING UTILITIES DURING CONSTRUCTION. FLASH ALL UTILITY, CONDUIT, AND PIPING PENETRATIONS IN ACCORDANCE WITH THE ROOF MANUFACTURER'S PUBLISHED INSTRUCTIONS. FIELD VERIFY SIZE, QUANTITY AND LOCATION.
- F. ALL EXISTING FINISHES DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO A CONDITION AT LEAST EQUAL IN MATERIAL AND APPEARANCE TO THAT WHICH EXISTED BEFORE CONSTRUCTION BEGAN.
- G. CONTRACTOR TO MAINTAIN DRAINAGE FLOWS AT ALL TIMES DURING THE PERFORMANCE OF THE WORK.
- H. CONTRACTOR TO REMOVE EXISTING ROOFING MATERIALS AT PARAPET WALL AND INSPECT CONDITION OF EXISTING PARAPET WALL. CONTRACTOR SHALL REPORT TO ARCHITECT ANY UNSTABLE CONDITIONS REQUIRING REPAIR PRIOR TO PROCEEDING WITH WORK.
- I. CONTRACTOR SHALL PROVIDE PLYWOOD OR COVER BOARD BEHIND MEMBRANE ROOFING AT ALL EXISTING WALL SURFACES TOO ROUGH FOR PROPER INSTALLATION.

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Sheet Title
**PENTHOUSE PLAN
ROOF PLAN**

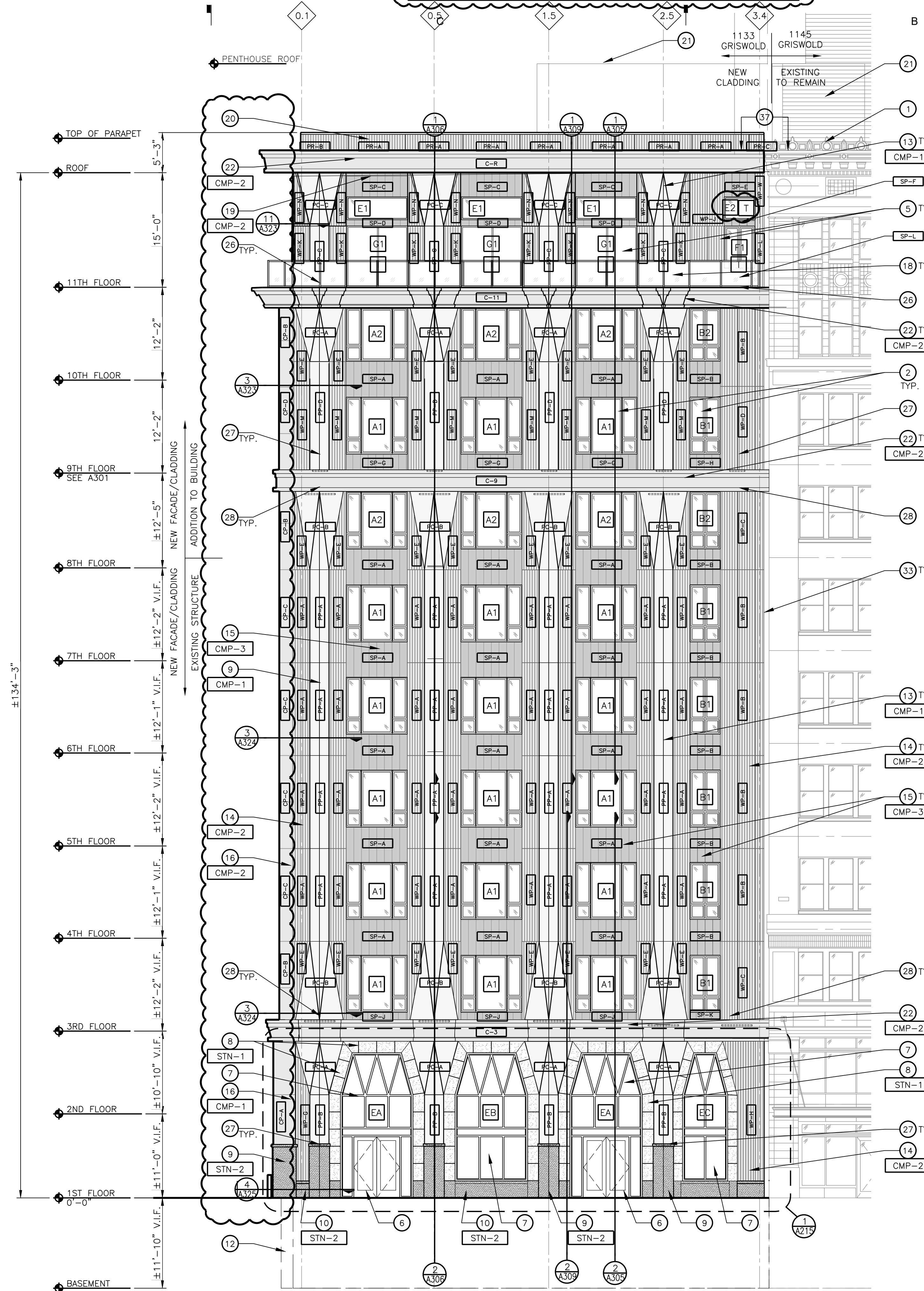
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A108

PLOTTED ON 9/24/2024 9:59 AM | PLOTTED BY NATE LINDSEY



0 2' 4' 8' 16'
SCALE: 1/8" = 1'-0"



ALL PANEL TAGS REVISED

1 EAST ELEVATION - GRISWOLD ST
 A201 SCALE: 1/8" = 1'-0"
 REFERENCE LOCATIONS:

FACADE CLADDING PANEL COLOR LEGEND

- FCP COLOR 1:
SW 9584 LIMEWASH
- FCP COLOR 2:
SW 9516 ACCOLADE
- FCP COLOR 3:
SW 7511 BUNGALOW BEIGE

CONSTRUCTION KEYNOTES

- NOTE: NOT ALL NOTES ARE APPLICABLE TO THIS SHEET.
- 1 1145 GRISWOLD ST
 - 2 NEW WINDOW - PICTURE + AWNING - BLACK FRAME, CLEAR GLASS
 - 3 NEW PICTURE WINDOW - BLACK FRAME, CLEAR GLASS
 - 4 NEW WINDOW - SINGLE HUNG - BLACK FRAME, CLEAR GLASS
 - 5 NEW SLIDING GLASS PATIO DOOR - BLACK FRAME, CLEAR GLASS
 - 6 NEW ALUMINUM ENTRANCE DOOR - CHAMPAGNE ANODIZED FINISH
 - 7 NEW CURTAIN WALL SYSTEM - CHAMPAGNE ANODIZED FINISH
 - 8 STONE CLADDING, TYPICAL - REFER TO A215
 - 9 STONE WATER TABLE - REFER TO A215
 - 10 STONE STONE BASE - REFER TO A215
 - 11 LINE OF BASEMENT
 - 12 LINE OF SIDEWALK VAULT
 - 13 FLARED CLADDING COLUMN, TYPICAL
 - 14 FLUTED CLADDING PANEL, TYPICAL
 - 15 FLUTED SPANDREL CLADDING PANEL, TYPICAL
 - 16 CURVED CLADDING PANEL, TYPICAL
 - 17 LINE OF BALCONY
 - 18 ALUMINUM & GLASS GUARD RAIL - LIMESTONE COLOR W/ CLEAR GLASS
 - 19 ROOF OVERHANG W/ CMP SOFFIT
 - 20 PARAPET W/ CMP CLADDING AND METAL COPING
 - 21 EXISTING PENTHOUSE BEYOND
 - 22 CMP CORNICE, TYPICAL
 - 23 REPAIR AND CLEAN EXISTING STONE FACADE
 - 24 SERVICE ENTRANCE - STEEL DOOR AND FRAME - BLACK PAINT
 - 25 REPLACE SECURITY LIGHT FIXTURE W/ SURFACE MOUNTED FLOOD
 - 26 BALCONY INGROUND UPLIGHT AT EACH COLUMN, REF ELECTRICAL
 - 27 UPLIGHT AT EACH COLUMN, REF ELECTRICAL
 - 28 WALL-MOUNTED LIGHT FIXT. @ EACH COLUMN, REF ELECTRICAL
 - 29 LINE OF ROOFTOP MECH EQUIPMENT BEYOND, REF MECHANICAL
 - 30 EXISTING TRANSFORMER AND STAND
 - 31 NEW LIMESTONE CLADDING TO MATCH EXISTING
 - 32 METAL CLADDING PANEL
 - 33 PANEL SIZES AT BUILDING LINE TO BE COORDINATED WITH FIELD CONDITIONS
 - 34 CONFIRM EXACT HEIGHT FROM TOP OF TRANSFORMER TO EDGE OF WINDOW. ALL WINDOWS WITHIN 2'-9" OF TRANSFORMER SHALL HAVE WIRE GLASS AND STEEL SASH CONSTRUCTION.
 - 35 EXISTING LIMESTONE CLADDING TO REMAIN
 - 36 PROVIDE LOOSE LINTEL
 - 37 ALIGN TOP OF NEW CORNICE WITH TOP OF EXISTING CORNICE
 - 38 BRAKE METAL, MATCH WINDOW FRAME
- W WINDOWS WITH TEMPERED GLASS
 WG WINDOWS WITH WIRED GLASS

EXT ELEVATION MATERIAL LEGEND

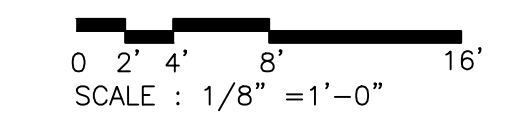
- CMP-1 COMPOSITE METAL CLADDING PANEL, COLOR 1
- CMP-2 COMPOSITE METAL CLADDING PANEL, COLOR 2
- CMP-3 COMPOSITE METAL CLADDING PANEL, COLOR 3
- MTL-1 METAL CLADDING, COLOR 1
- STN-1 STONE CLADDING, COLOR 1
- STN-2 STONE BASE, COLOR 2

STONE LEGEND

- NATURAL STONE COLOR 1: BASIS OF DESIGN:
ST CLAIR LINEAR, POLISHED FINISH
- NATURAL STONE COLOR 2: BASIS OF DESIGN:
TAJ MAHAL, HONED FINISH

CURTAIN WALL & WINDOW COLORS

- CURTAIN WALL FRAME COLOR:
TUBELITE CHAMPAGNE CH ANODIZED ALUMINUM
- FIBERGLASS WINDOW COLOR:
PELLA IMPERVIA, FACTORY APPLIED POWDER-COAT, BLACK



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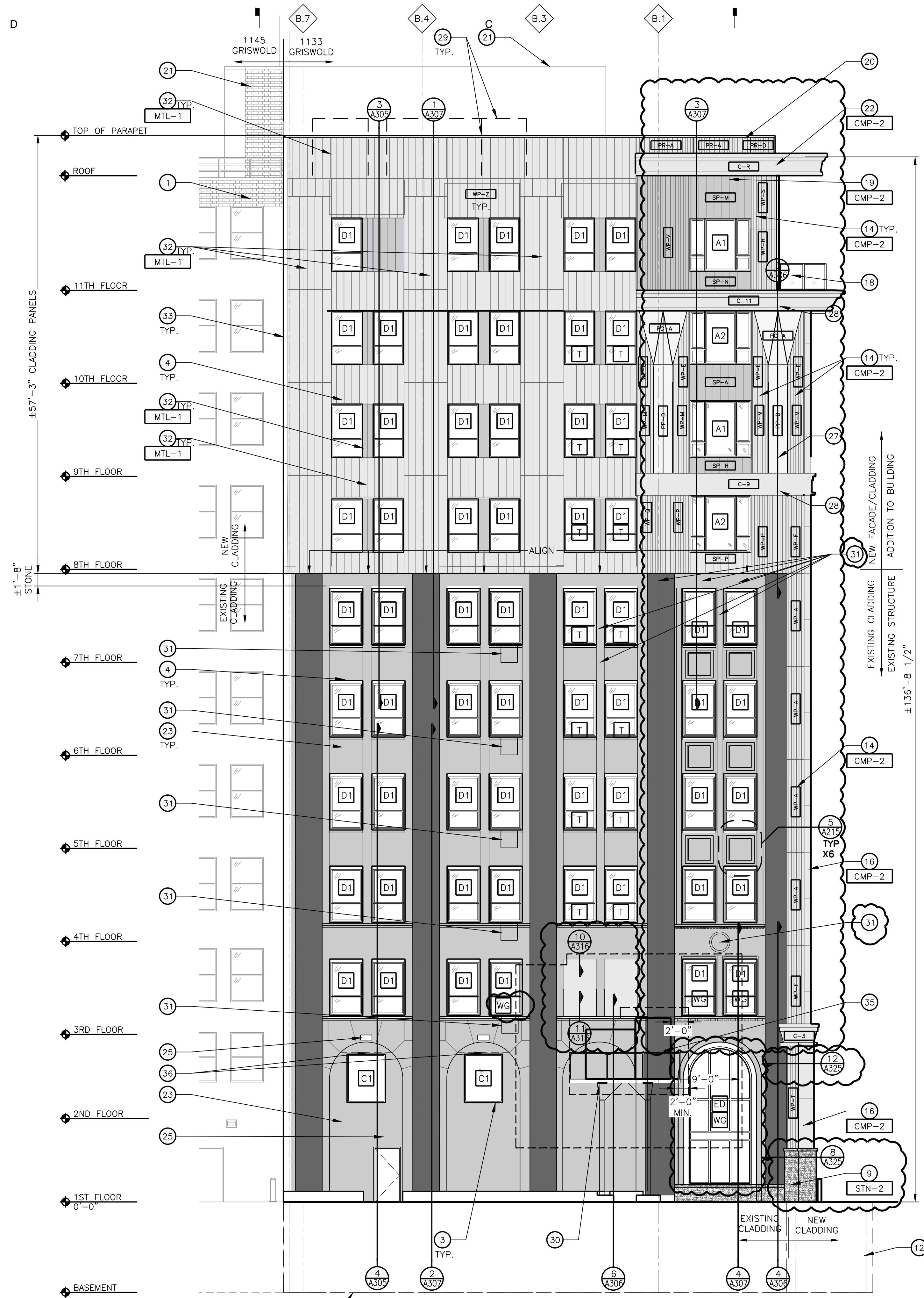
Date 05-01-23

Project Number 2022013

Sheet Title
EXTERIOR ELEVATION

Sheet Number

A201



1 SOUTH ELEVATION - ALLEY
 SCALE: 1/8" = 1'-0"
 REFERENCE LOCATIONS:

ALL PANEL TAGS REVISED

RESTORATION GENERAL NOTES

- A. MASONRY/STONE RESTORATION CONTRACTOR ("SUBCONTRACTOR") TO PROVIDE ALL LABOR, MATERIAL, EQUIPMENT, SUPERVISION, PERMITS, AND ANY OTHER COSTS OR EXPENSES NECESSARY TO COMPLETE THE WORK. SUBCONTRACTOR JOB MOBILIZATION SHALL INCLUDE, BUT NOT BE LIMITED TO, ANY NECESSARY WORK STATION AND JOB TRAILER, MOST CLIMBING PLATFORMS, AERIAL LIFTS, SWING STAGES, BARRICADES AND WALK THRU SCAFFOLD AS NEEDED.
- B. BUILDING RESTORATION TO INCLUDE ALL TERMS, CONDITIONS, AND SPECIFICATIONS OF ORIGINAL CONTRACT AND ANY ADDITIONAL WORK NECESSARY TO MEET THE SECRETARY OF THE INTERIOR STANDARDS FOR THE REHABILITATION OF HISTORIC PROPERTIES. THIS INCLUDES ALL WORK NECESSARY OVER AND ABOVE THAT SPECIFIED IN THE ARCHITECTURAL DRAWINGS AND OTHER CONSTRUCTION DOCUMENTS, INCLUDING ALL NOTES, REGARDLESS OF TIME AND MATERIAL NECESSARY TO EXECUTE THIS WORK. ANY AREAS INDICATED WITHIN DRAWINGS ARE ONLY SUGGESTIVE IN NATURE. MASON TO MEET WITH ARCHITECT AND OWNER TO CONFIRM THE SCOPE OF WORK.
- C. RESTORATION CONTRACTOR SHALL INSPECT ALL EXISTING MASONRY, INCLUDING BOTH SIDES OF PARAPET FULL HEIGHT, FOR STRUCTURAL STABILITY PRIOR TO BID. REINSPECT AFTER INITIAL CLEANING OF MASONRY.
- D. SOUTH ELEVATION SHALL UNDERGO COMPLETE STONE CLEANING FROM ROOF TO GRADE. SEE MASONRY CLEANING SPECIFICATION SECTIONS FOR DETAILS ON APPROVED CLEANING PROCEDURES, PRODUCTS, AND MANUFACTURERS.
- E. CLEAN FACADE USING GENTLEST MEANS POSSIBLE TO ACHIEVE SATISFACTORY RESULTS WITHOUT CHANGING THE SURFACE OF THE MASONRY. PAY SPECIAL ATTENTION TO AREAS OF EXCESSIVE SOILING. CONTRACTOR SHALL CONDUCT TEST PATCHES TO ENSURE THE BEST AND MOST ECONOMICAL MEANS OF CLEANING. ALL MASONRY AND TERRA COTTA CLEANING SHALL MEET THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AS WELL AS ALL APPLICABLE NATIONAL PARK SERVICE TECHNICAL BRIEFS.
- F. SURFACES TO BE PRE-WET WITH CLEAN WATER. CLEANING SOLUTIONS TO NOT REMAIN ON SURFACES FOR MORE THAN 5 MINUTES FOLLOWED IMMEDIATELY BY LOW-PRESSURE FLOOD RINSE, UNLESS NOTED OTHERWISE IN MASONRY CLEANING SPECIFICATION. CLEANING IS TO BRING MASONRY/STONE UNIT AS CLOSE AS POSSIBLE TO ORIGINAL COLOR WITHOUT BURNING OR ABRASION.
- G. CLEAN ALL STONE THAT IS TO REMAIN & LET WEATHER FOR TWO WEEKS BEFORE ANY REPLACEMENT OR PATCHING IS TO OCCUR - REPLACEMENT STONE & PATCHED AREAS TO MATCH EXIST "CLEANED" COLOR.
- H. 100% OF MORTAR JOINTS TO BE VISUALLY INSPECTED. ALL MORTAR JOINTS DETERIORATED IN EXCESS OF 3/8 INCH BEYOND FACE OF MASONRY/STONE UNIT, OR CRACKING UNDESIRABLE OR OTHERWISE SHALL BE REMOVED TO A DEPTH OF 1/2" MINIMUM. WRITTEN APPROVAL BY OWNER SHALL BE REQUIRED PRIOR TO COMMENCEMENT OF REPAIR BY SATISFACTORY SUBMISSION OF MOCK-UP OF PROPOSED MORTAR JOINT.
- I. NEW MORTAR APPLIED TO ALL OPEN JOINTS SHALL BE OF NO GREATER STRENGTH THAN ORIGINAL MORTAR OR MASONRY UNITS. MORTAR COLOR, TEXTURE, CONSISTENCY AND JOINT PROFILE WILL MATCH EXISTING AS CLOSE AS POSSIBLE.
- J. APPLY NEW, TWO COMPONENT URETHANE SEALANT AT ALL JOINTS WHERE DISSIMILAR MATERIALS MEET, AND ALL SKYWARD FACING JOINTS. BACKER ROD TO BE INSTALLED IN OPEN JOINT PRIOR TO SEALANT APPLICATION.
- K. NO ACCELERATORS OR OTHER ADMIXTURES SHALL BE USED WITHOUT PRIOR WRITTEN OWNER APPROVAL. ENCLOSURES AND HEAT SUFFICIENT TO PROTECT MORTAR FROM FREEZING PRIOR TO SET SHALL BE THE SOLE RESPONSIBILITY OF SUBCONTRACTOR.
- L. REPLACE/RESET LOOSE MASONRY UNITS AND REPOINT DAMAGED MORTAR JOINTS AS REQUIRED. IF NECESSARY, RECOMMEND FURTHER REHABILITATION TO ENSURE STABILITY OF EXTERIOR WALL AND PARAPET CONSTRUCTION. SEE MASONRY RESTORATION SPECIFICATIONS FOR DETAILS ON APPROVED RESTORATION PROCEDURES, PRODUCTS, AND MANUFACTURERS. ALL MASONRY RESTORATION WORK SHALL MEET THE SECRETARY OF THE INTERIOR STANDARDS FOR REHABILITATION AS WELL AS ALL APPLICABLE NATIONAL PARK SERVICE TECHNICAL BRIEFS.
- M. ANY MASONRY/STONE UNIT SHALL BE REPLACED WITH OWNER APPROVED MATERIAL WHEREIN SPALLING OR OTHER DETERIORATION ELIMINATED MORE THAN 5% OF THE MASONRY/STONE UNIT (MEASURED BY ORIGINAL BRICK OR STONE FACE AREA.)

FACADE CLADDING PANEL COLOR LEGEND

- FCP COLOR 1: SW 9584 LIMEWASH
- FCP COLOR 2: SW 9516 ACCOLADE
- FCP COLOR 3: SW 7511 BUNGALOW BEIGE

CONSTRUCTION KEYNOTES

- NOTE: NOT ALL NOTES ARE APPLICABLE TO THIS SHEET.
- 1 1145 GRISWOLD ST
 - 2 NEW WINDOW - PICTURE + AWNING - BLACK FRAME, CLEAR GLASS
 - 3 NEW PICTURE WINDOW - BLACK FRAME, CLEAR GLASS
 - 4 NEW WINDOW - SINGLE HUNG - BLACK FRAME, CLEAR GLASS
 - 5 NEW SLIDING GLASS PATIO DOOR - BLACK FRAME, CLEAR GLASS
 - 6 NEW ALUMINUM ENTRANCE DOOR - CHAMPAGNE ANODIZED FINISH
 - 7 NEW CURTAIN WALL SYSTEM - CHAMPAGNE ANODIZED FINISH
 - 8 STONE CLADDING, TYPICAL - REFER TO A215
 - 9 STONE WATER TABLE - REFER TO A215
 - 10 STONE STONE BASE - REFER TO A215
 - 11 LINE OF BASEMENT
 - 12 LINE OF SIDEWALK VAULT
 - 13 FLARED CLADDING COLUMN, TYPICAL
 - 14 FLUTED CLADDING PANEL, TYPICAL
 - 15 FLUTED SPANDREL CLADDING PANEL, TYPICAL
 - 16 CURVED CLADDING PANEL, TYPICAL
 - 17 LINE OF BALCONY
 - 18 ALUMINUM & GLASS GUARD RAIL - LIMESTONE COLOR W/ CLEAR GLASS
 - 19 ROOF OVERHANG W/ CMP SOFFIT
 - 20 PARAPET W/ CMP CLADDING AND METAL COPING
 - 21 EXISTING PENTHOUSE BEYOND
 - 22 CMP CORNICE, TYPICAL
 - 23 REPAIR AND CLEAN EXISTING STONE FACADE
 - 24 SERVICE ENTRANCE - STEEL DOOR AND FRAME - BLACK PAINT
 - 25 REPLACE SECURITY LIGHT FIXTURE W/ SURFACE MOUNTED FLOOD
 - 26 BALCONY INGROUND UPLIGHT AT EACH COLUMN, REF ELECTRICAL
 - 27 UPLIGHT AT EACH COLUMN, REF ELECTRICAL
 - 28 WALL-MOUNTED LIGHT FIXT. @ EACH COLUMN, REF ELECTRICAL
 - 29 LINE OF ROOFTOP MECH EQUIPMENT BEYOND, REF MECHANICAL
 - 30 EXISTING TRANSFORMER AND STAND
 - 31 NEW LIMESTONE CLADDING TO MATCH EXISTING
 - 32 METAL CLADDING PANEL
 - 33 PANEL SIZES AT BUILDING LINE TO BE COORDINATED WITH FIELD CONDITIONS
 - 34 CONFIRM EXACT HEIGHT FROM TOP OF TRANSFORMER TO EDGE OF WINDOW. ALL WINDOWS WITHIN 2'-9" OF TRANSFORMER SHALL HAVE WIRE GLASS AND STEEL SASH CONSTRUCTION.
 - 35 EXISTING LIMESTONE CLADDING TO REMAIN
 - 36 PROVIDE LOOSE LINTEL
 - 37 ALIGN TOP OF NEW CORNICE WITH TOP OF EXISTING CORNICE
 - 38 BRAKE METAL, MATCH WINDOW FRAME
 - T WINDOWS WITH TEMPERED GLASS
 - WG WINDOWS WITH WIRED GLASS

EXT ELEVATION MATERIAL LEGEND

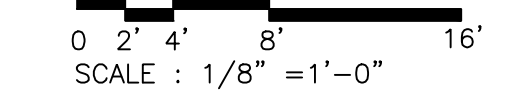
- CMP-1 COMPOSITE METAL CLADDING PANEL, COLOR 1
- CMP-2 COMPOSITE METAL CLADDING PANEL, COLOR 2
- CMP-3 COMPOSITE METAL CLADDING PANEL, COLOR 3
- MTL-1 METAL CLADDING, COLOR 1
- STN-1 STONE CLADDING, COLOR 1
- STN-2 STONE BASE, COLOR 2

STONE LEGEND

- NATURAL STONE COLOR 1: BASIS OF DESIGN: ST CLAIR LINEAR, POLISHED FINISH
- NATURAL STONE COLOR 2: BASIS OF DESIGN: TAJ MAHAL, HONED FINISH

CURTAIN WALL & WINDOW COLORS

- CURTAIN WALL FRAME COLOR: TUBELITE CHAMPAGNE CH ANODIZED ALUMINUM
- FIBERGLASS WINDOW COLOR: PELLA IMPERVIA, FACTORY APPLIED POWDER-COAT, BLACK



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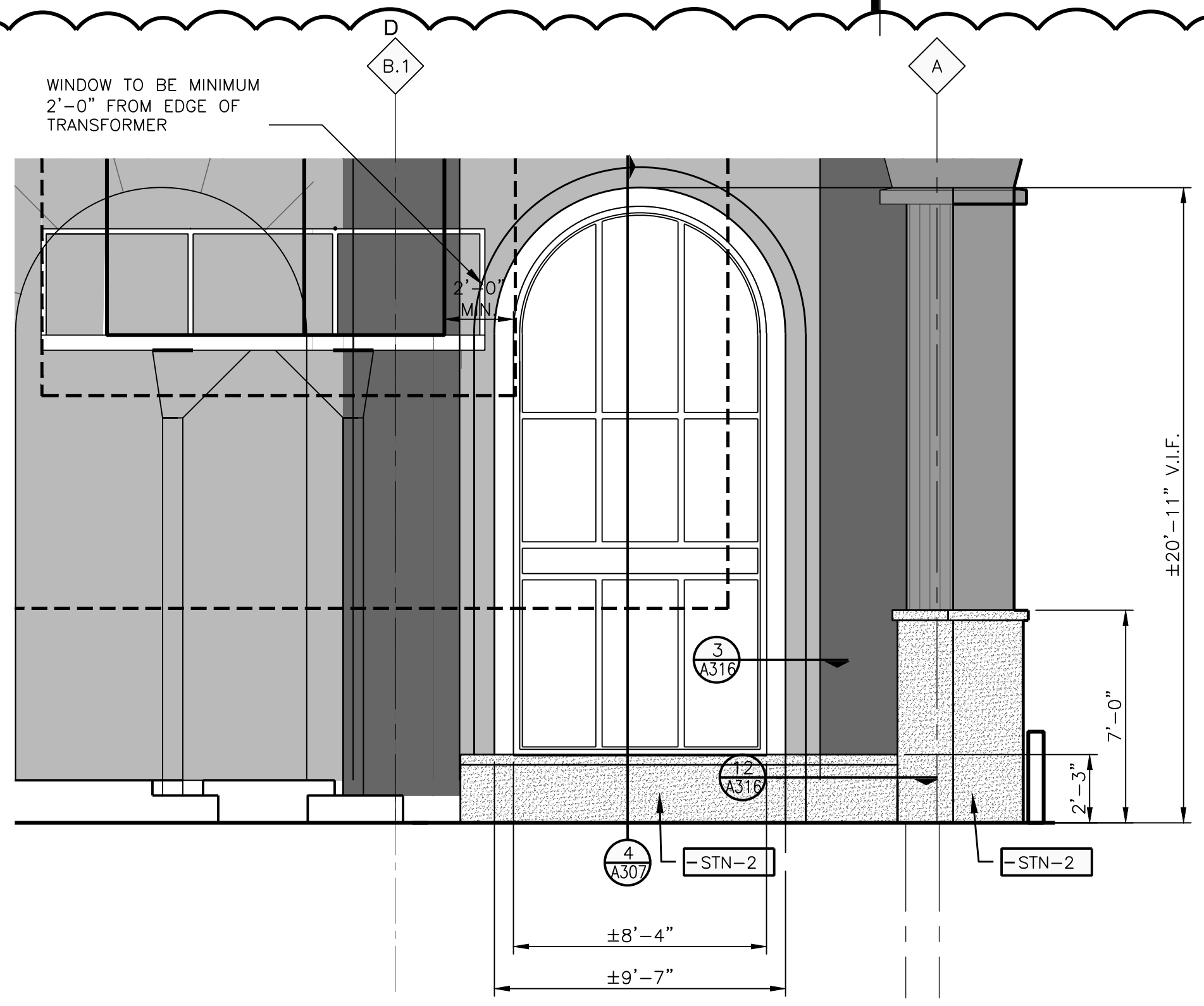
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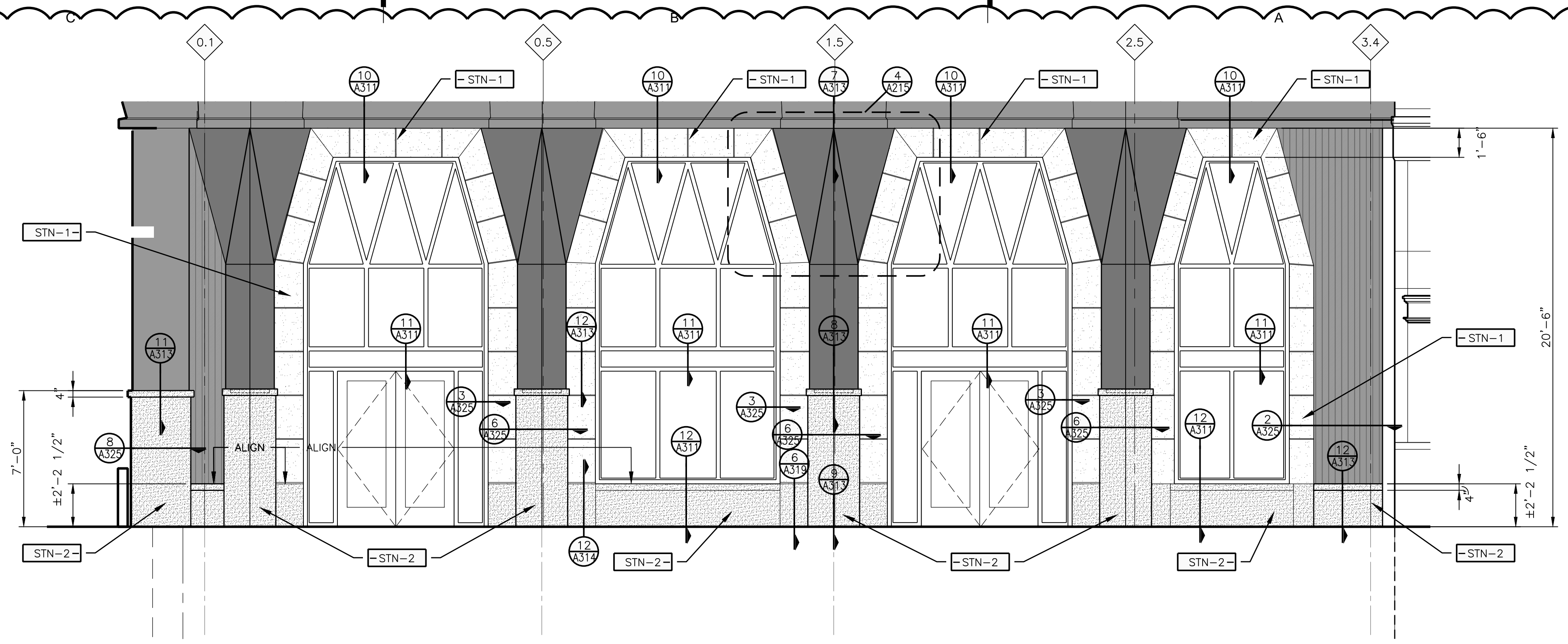
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EXTERIOR ELEVATION

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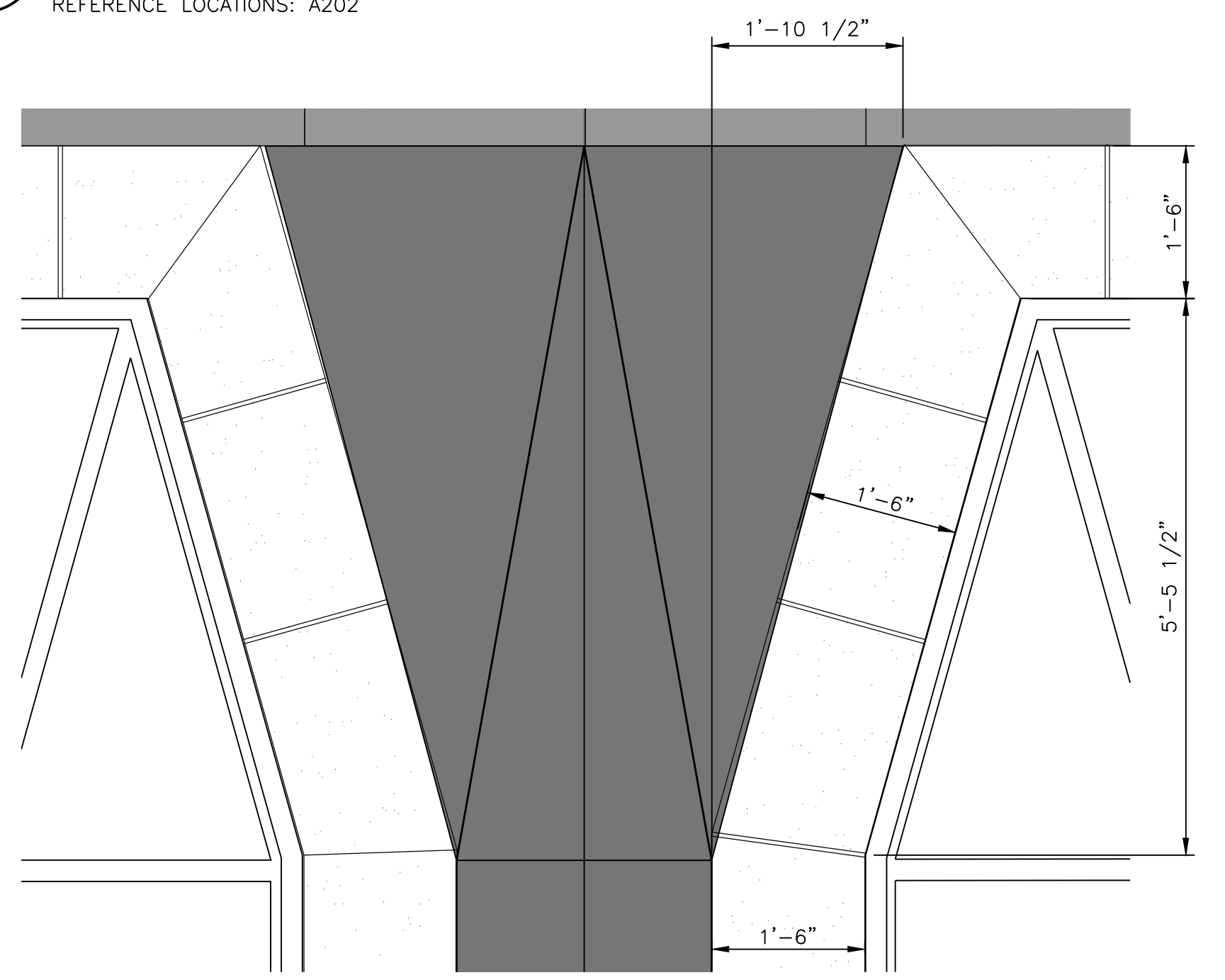
A202



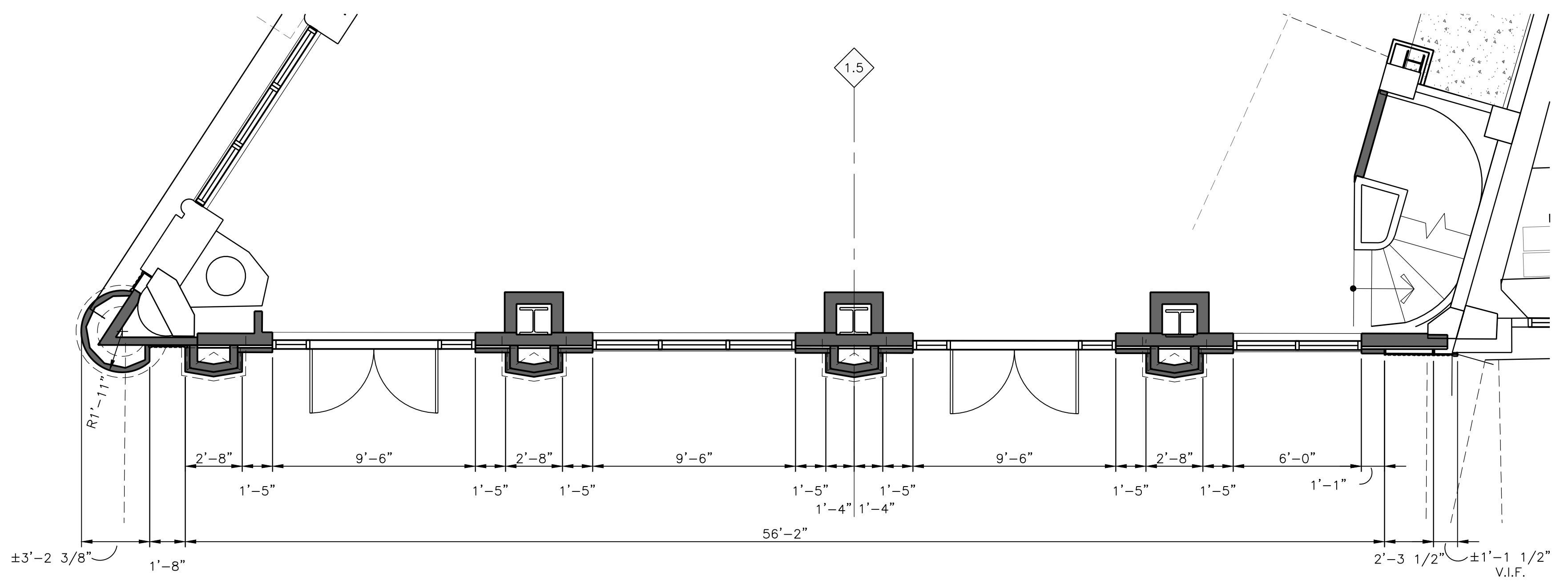
2 STONE BASE - ALLEY
 A215 SCALE: 1/4" = 1'-0"
 REFERENCE LOCATIONS: A202



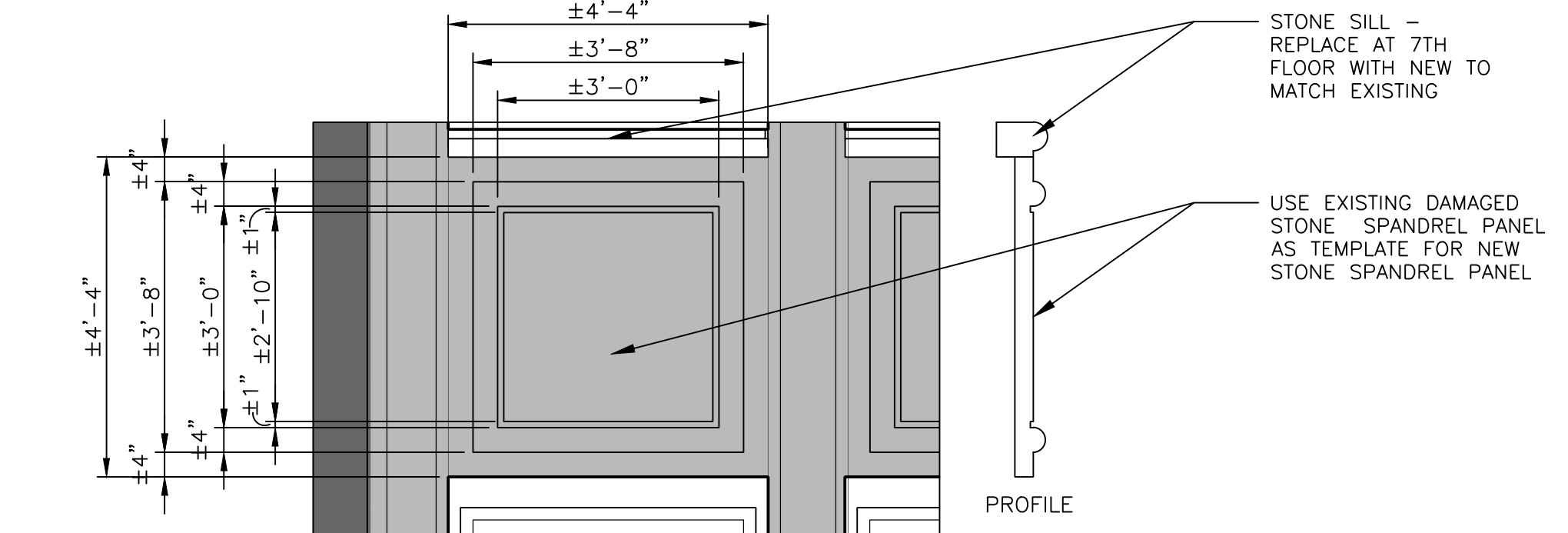
1 STONE BASE - GRISWOLD
 A215 SCALE: 1/4" = 1'-0"
 REFERENCE LOCATIONS: A201



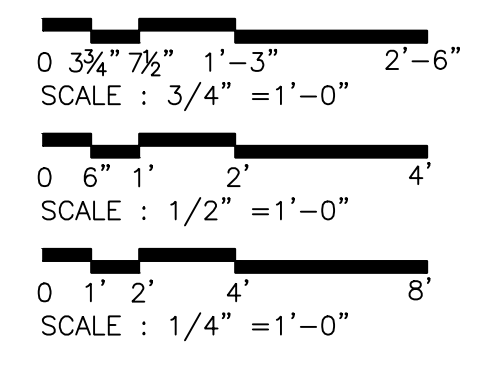
4 ELEVATION - STONE CLADDING AT PIERS
 A215 SCALE: 3/4" = 1'-0"
 REFERENCE LOCATIONS: A215



3 1ST FLOOR PLAN - STONE BASE - GRISWOLD
 A215 SCALE: 1/4" = 1'-0"
 REFERENCE LOCATIONS: A201



5 ALLEY FACADE - EAST BAY SPANDREL PANEL
 A215 SCALE: 1/2" = 1'-0"
 REFERENCE LOCATIONS: A202



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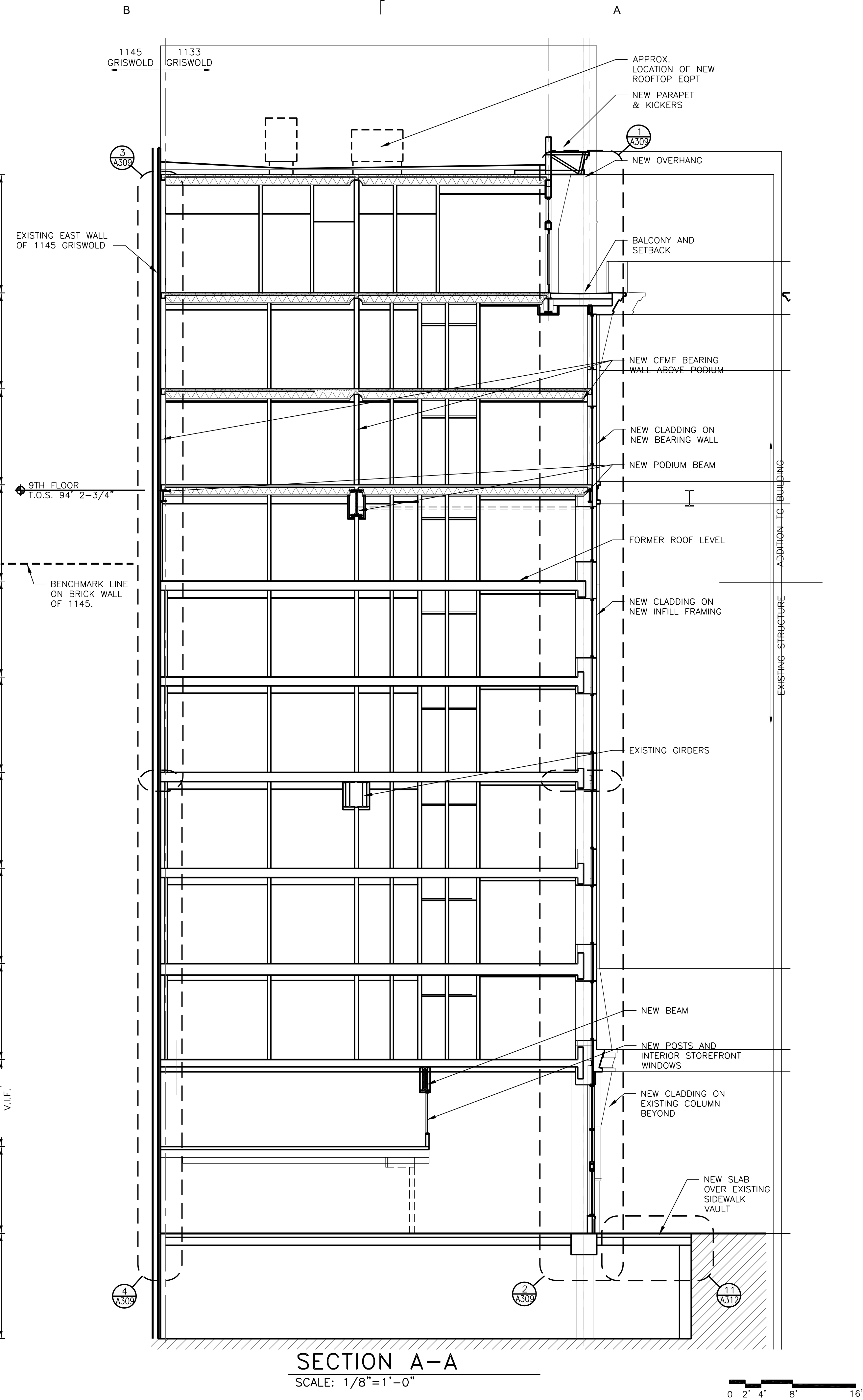
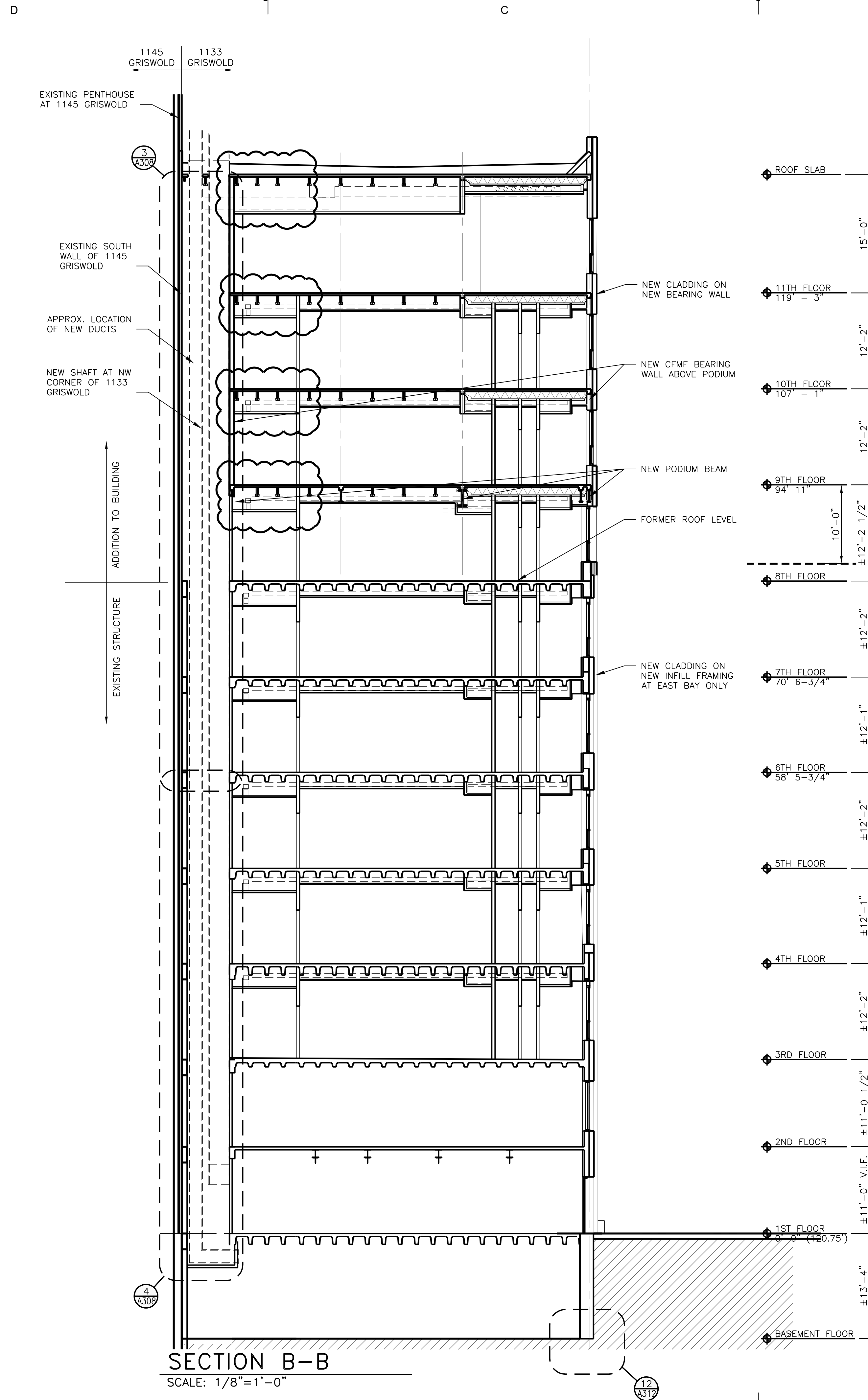
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Sheet Title
FACADE - STONE BASE

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A215

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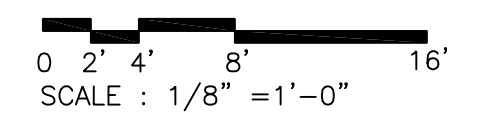
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Sheet Title
BUILDING SECTIONS

Sheet Number

A301



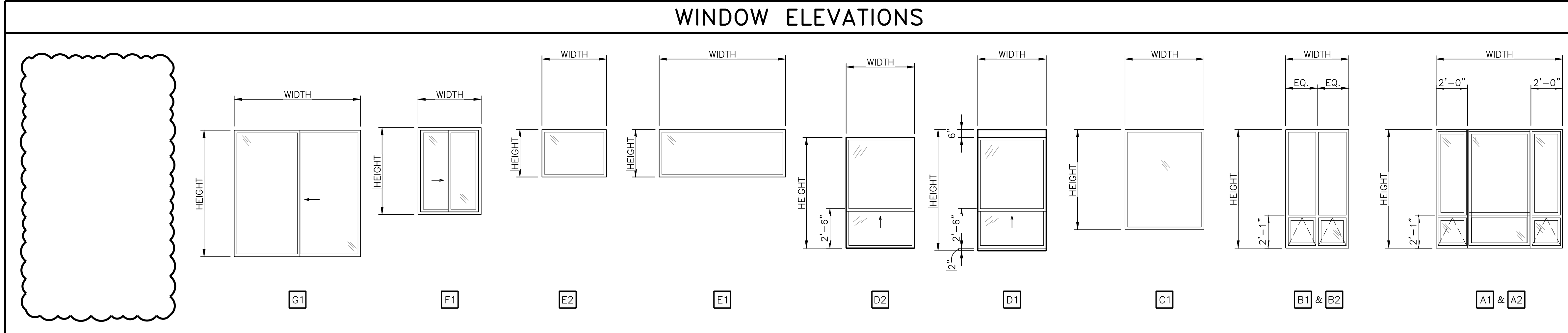
WINDOW SCHEDULE

TYPE	OPERATION	ROUGH OPENING		FRAME		SASH		REQ'D U-FACTOR	REQ'D SHGC	GLASS TYPE	COMMENTS
		HEIGHT	WIDTH	MATERIAL	FINISH	MATERIAL	FINISH	MAX. (FIXED/OPERABLE)	MAX.		
A1	PICTURE+AWNING	7' 6-1/4"	8' 0-1/4"	AL	BLACK	AL	BLACK	U-0.38/U-0.45	0.64	IG-1	
A2	PICTURE+AWNING	7' 0-1/4"	8' 0-1/4"	AL	BLACK	AL	BLACK	U-0.38/U-0.45	0.64	IG-1	
B1	FIXED+AWNING	7' 6-1/4"	4' 0-1/4"	AL	BLACK	AL	BLACK	U-0.38/U-0.45	0.64	IG-1	
B2	FIXED+AWNING	7' 0-1/4"	4' 0-1/4"	AL	BLACK	AL	BLACK	U-0.38/U-0.45	0.64	IG-1	
C1	FIXED	6' 4-1/4"	5' 0-1/4"	AL	BLACK	N/A	-	U-0.38	0.64	IG-1	
D1	SINGLE-HUNG	7' 0-1/4"	4' 0-1/4"	AL	BLACK	AL	BLACK	U-0.45	0.64	IG-1	M.O. IS 8" TALLER, ADD TRIM
D1T	SINGLE-HUNG TEMPERED	7' 0-1/4"	4' 0-1/4"	AL	BLACK	AL	BLACK	U-0.45	0.64	IG-1, TEMPERED	M.O. IS 8" TALLER, ADD TRIM
D2	SINGLE-HUNG	7' 0-1/4"	4' 0-1/4"	AL	BLACK	AL	BLACK	U-0.45	0.64	IG-1	M.O. IS 8" TALLER, ADD TRIM
D2T	SINGLE-HUNG TEMPERED	7' 0-1/4"	4' 0-1/4"	AL	BLACK	AL	BLACK	U-0.45	0.64	IG-1, TEMPERED	M.O. IS 8" TALLER, ADD TRIM
E1	FIXED TRANSOM	3' 0-1/4"	8'-0"	AL	BLACK	N/A	-	U-0.38	0.64	IG-1	
E2	FIXED TRANSOM	3' 0-1/4"	4' 0-1/4"	AL	BLACK	N/A	-	U-0.38	0.64	IG-1, TEMPERED	
F1T	SLIDING WINDOW, TEMPERED	5' 6-1/4"	4' 0-1/4"	AL	BLACK	AL	BLACK	U-0.45	0.40	IG-1, TEMPERED	
G1	SLIDING DOOR	8'-0"	8'-0"	AL	BLACK	AL	BLACK	U-0.77	0.40	IG-1, TEMPERED	PATIO DOOR SILL TO BE ADA COMPLIANT
H1	DELETED										

GENERAL NOTES

- ALL DIMENSIONS SHALL BE VIF BY CONTRACTOR.
- COMPLETION OF FACADE RESTORATION AND CLEANING IS RECOMMENDED BEFORE WINDOW INSTALLATION BEGINS. IF FACADE CLEANING OCCURS AFTER WINDOW INSTALLATION/ RESTORATION, NEW WORK SHALL BE PROTECTED SUFFICIENTLY TO AVOID DAMAGE TO FINISHES FROM CLEANING SOLUTIONS.
- PROVIDED ELEVATIONS ARE FOR REFERENCE ONLY & FOR BIDDING PURPOSES. FINAL LOCATION AND OPERATION SHALL BE CONFIRMED WITH THE FLOOR PLANS PRIOR TO INSTALLATION.
- PROVIDE SAFETY GLASS AS REQUIRED BY CODE.
- CONTRACTOR TO CONFIRM THAT ALL MATERIALS TO BE REMOVED FOR NEW WINDOW INSTALLATION HAVE BEEN ABATED AS REQUIRED, IF APPLICABLE.
- NEW WINDOW ASSEMBLIES SHALL BE INSTALLED AT THE SAME DEPTH IN THE ROUGH OPENING FROM THE EXTERIOR FACE OF MASONRY AS THE EXISTING WINDOWS, UNLESS NOTED OTHERWISE.
- ALL EXISTING MATERIALS/ STRUCTURE SHALL BE VERIFIED BY CONTRACTOR TO ENSURE THAT EXISTING SURFACES/ STRUCTURE ARE SUITABLE FOR WINDOW INSTALLATION.
- PROVIDE BARRIER-FREE HARDWARE AT OPERABLE WINDOWS, INCLUDING ANY EXTENSIONS FOR REQUIRED REACH RANGE, AT LOCATIONS NOTED.
- ANY WINDOWS REMOVED SHALL HAVE NEW WINDOWS INSTALLED, OR OPENING BOARDED UP, AT END OF EACH WORK DAY.
- PROVIDE OPENING PROTECTIVES PER SPECIFICATIONS. REFER TO LIFE SAFETY PLANS AND ELEVATIONS FOR RATED WINDOW LOCATIONS AND SPECIFICATIONS FOR WINDOW REQUIREMENTS.
- AT THE ONSET OF DEMOLITION, REMOVE ONE WINDOW FROM EACH TYPICAL CONDITION AND REVIEW CONDITION OF ROUGH OPENING WITH ARCHITECT AND OWNER TO CONFIRM EXTENTS OF DEMO, CONDITION/ REPAIR OF UNDERLYING ROUGH OPENING, AND ANY MITIGATION PRIOR TO COMMENCING WITH FULL WINDOW REMOVAL.
- PROVIDE SOLID DRW BLOCKING AT JAMBS AND HEADER OF ROUGH OPENING AFTER DEMO OF EXISTING WINDOWS FOR ATTACHMENT OF NEW WINDOW ASSEMBLIES.

WINDOW ELEVATIONS



REMARKS

- WINDOWS: QUAKER T500 AND M600 SERIES THERMALLY BROKEN ALUMINUM WINDOWS.
- ALL OPERABLE WINDOWS TO HAVE 4" LIMITERS.
- SEE G102 FOR MAX. AIR LEAKAGE

GLASS TYPES

- IG-1 INSULATING GLASS UNITS - 1" INSULATED GLASS W/ CARDINAL 272 LOW-E/ARGON
 - GL-1 MONOLITHIC GLAZING
- (REFER TO SPECIFICATIONS FOR FURTHER INFORMATION ON GLAZING TYPES)

MATERIALS LEGEND

- AL ALUMINUM
- WD WOOD
- ST STEEL
- FG FIBERGLASS
- V VINYL

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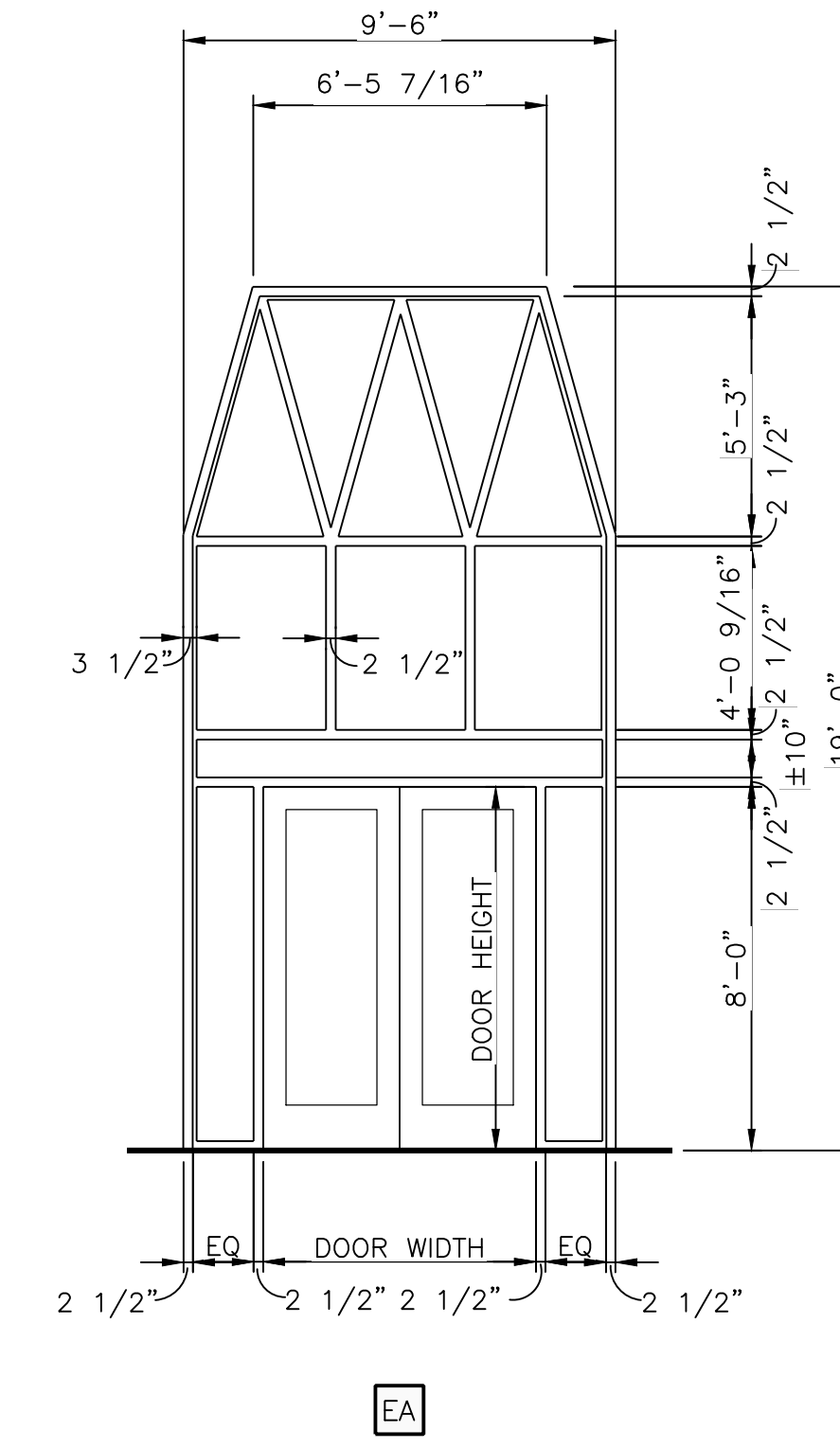
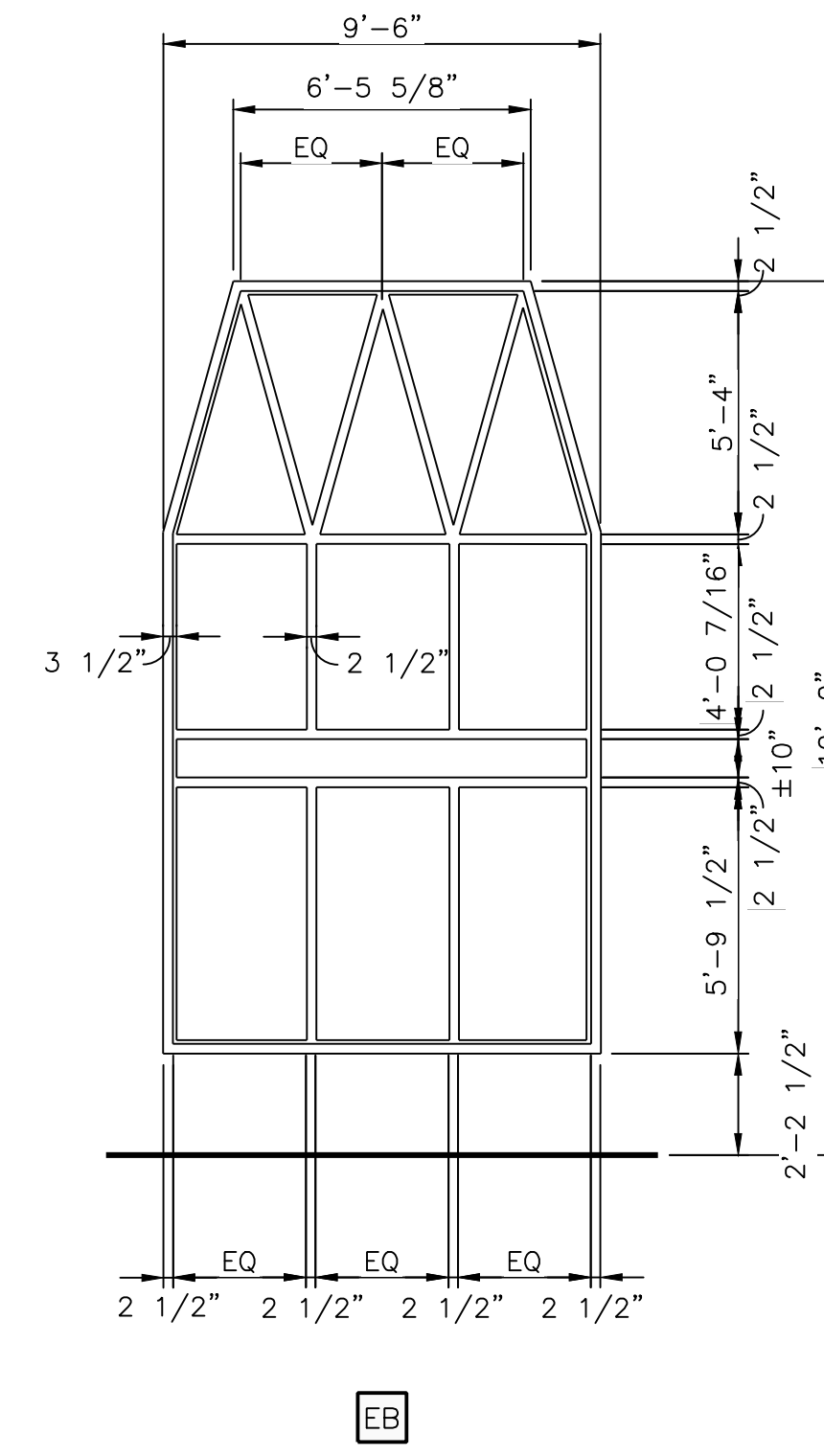
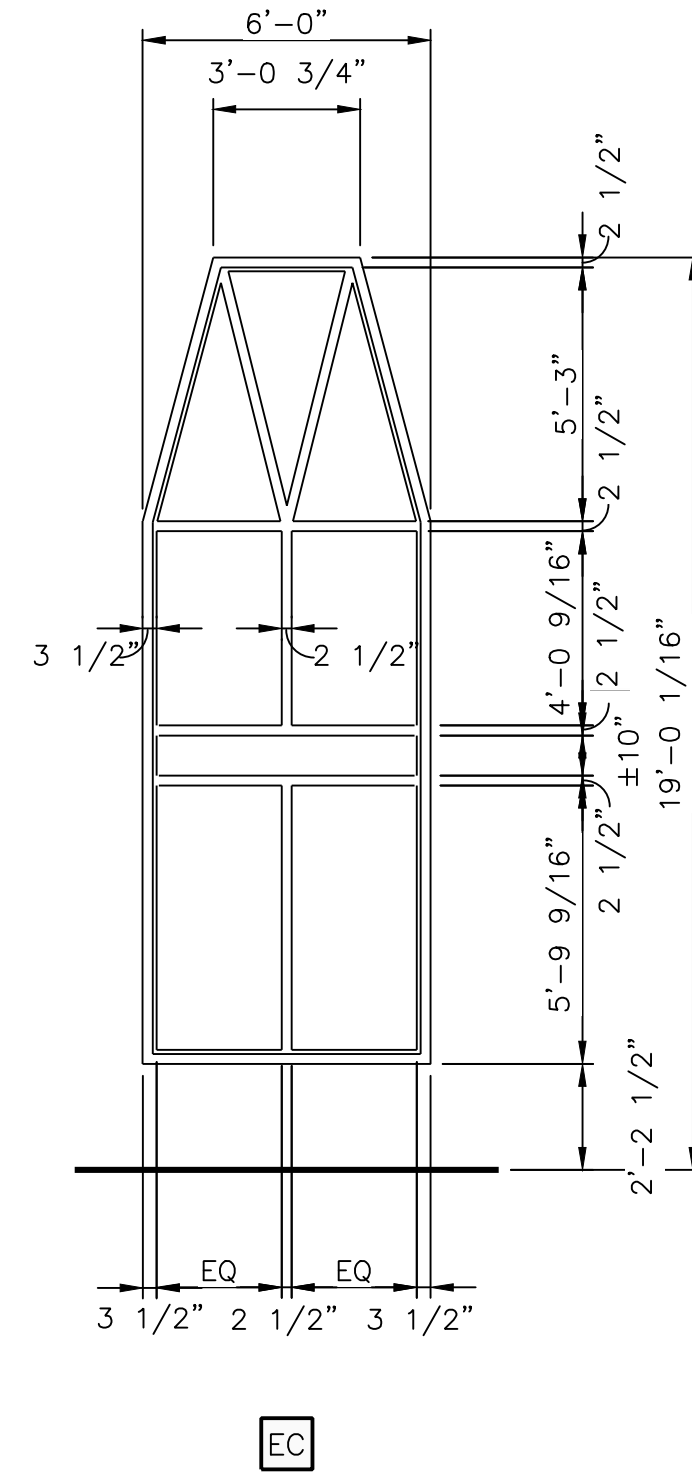
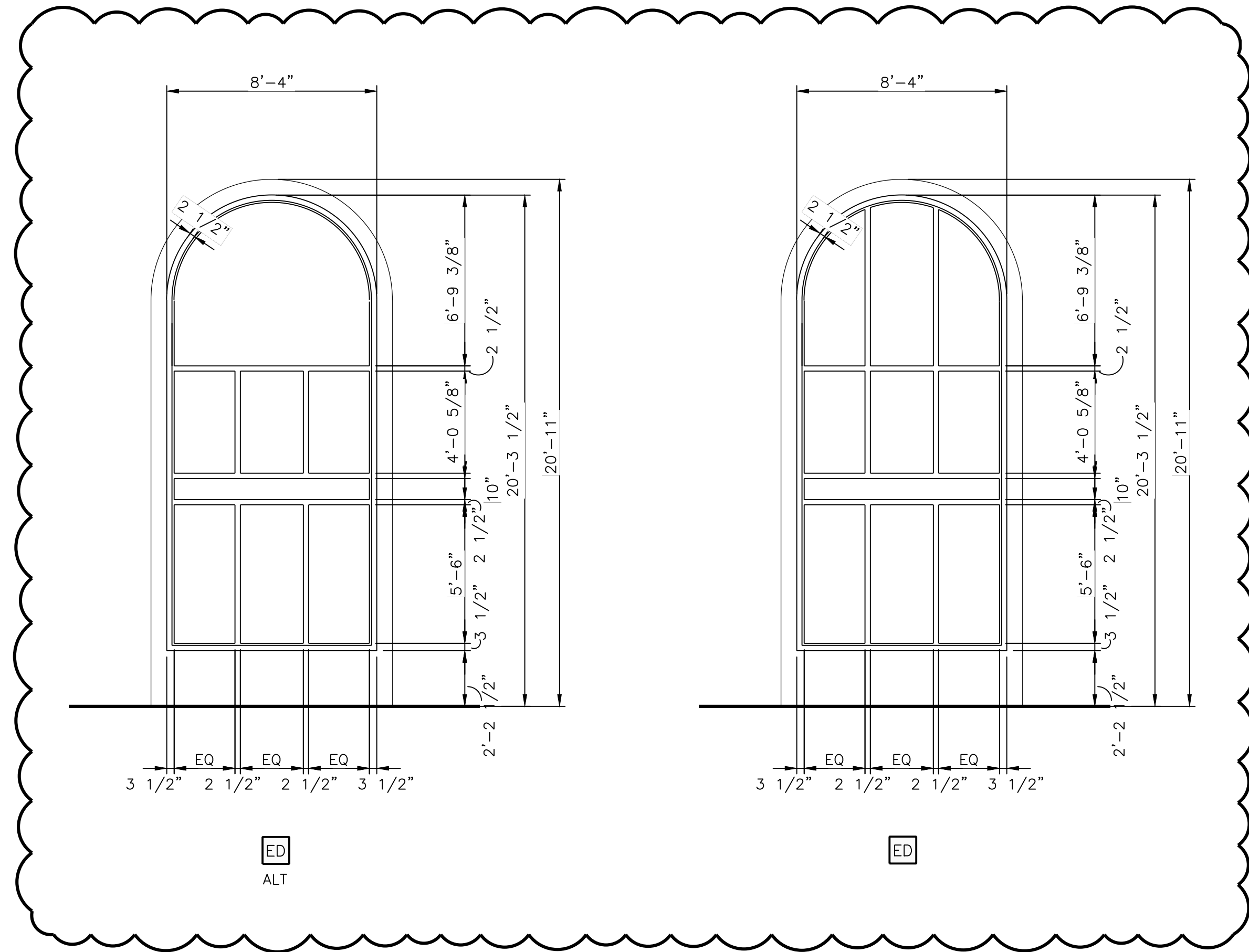
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Sheet Title
WINDOW ELEVATIONS

Sheet Number

A621

CURTAIN WALL ELEVATIONS



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0 3" 6" 1" 2"
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CURTAIN WALL ELEVATIONS

Sheet Number

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