

NOTE: Based on the scope of work, additional documentation may be required. See www.detroitmi.gov/hdc for scope-specific requirements.

PROJECT DETAILS – TELL US ABOUT YOUR PROJECT

Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.

ePLANS PERMIT NUMBER:

(only applicable if you've already applied for permits through ePLANS)

N/A

GENERAL

1. DESCRIPTION OF EXISTING CONDITION

Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")

There are currently 29 existing windows in the home. The original single pane steel frame windows are in various degree's of disrepair. The vast majority have broken glass, most are so corroded that they had to be broken or pried open manually during the cleanout of the home. Very few handles crank even a small amount if at all. The frames, especially the bottom frames are extensively corroded. We spoke with Jim Turner at H&R windows. He provided a verbal estimate of \$3,000 to \$5,000 per window and stated that given the condition, the windows would need to be fully removed from the limestone and brick, taken to a shop, sand blasted, new glass would be installed and then the windows would need to be reinstalled.

2. PHOTOGRAPHS

Help us understand your project. Please attach photographs of all areas where work is proposed.



3. DESCRIPTION OF PROJECT

In this box, tell us about what you want to do at the areas described above in box #1. (For example, "Install new asphalt shingle roofing at garage.")

Existing windows will be removed and replaced with black casement windows. No alterations will be made to the structure of the home. All limestone and brick will be preserved. The windows will all match the current look with historically accurate panes and openings. Attachment highlights the look of the windows. Estimate to repair windows is \$87,000 to \$145,000 and that does not include the cost of securing the home, any repairs to the stone or brick, etc. Aside from the function and operation of the windows, the cost of even attempting to repair these windows far exceeds the value to the property. In contrast, replacing the windows as we intend will add value and provide a higher market price for the home.



4. DETAILED SCOPE OF WORK

In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")


Each window will be removed. The new window will be installed at the same depth of the existing windows to hide any defects or staining of the stone around each window area. The new windows will be properly trimmed and caulked with black only. Windows will open in the same manner as they presently do. Any window that currently opens, will be replaced with a matching window.

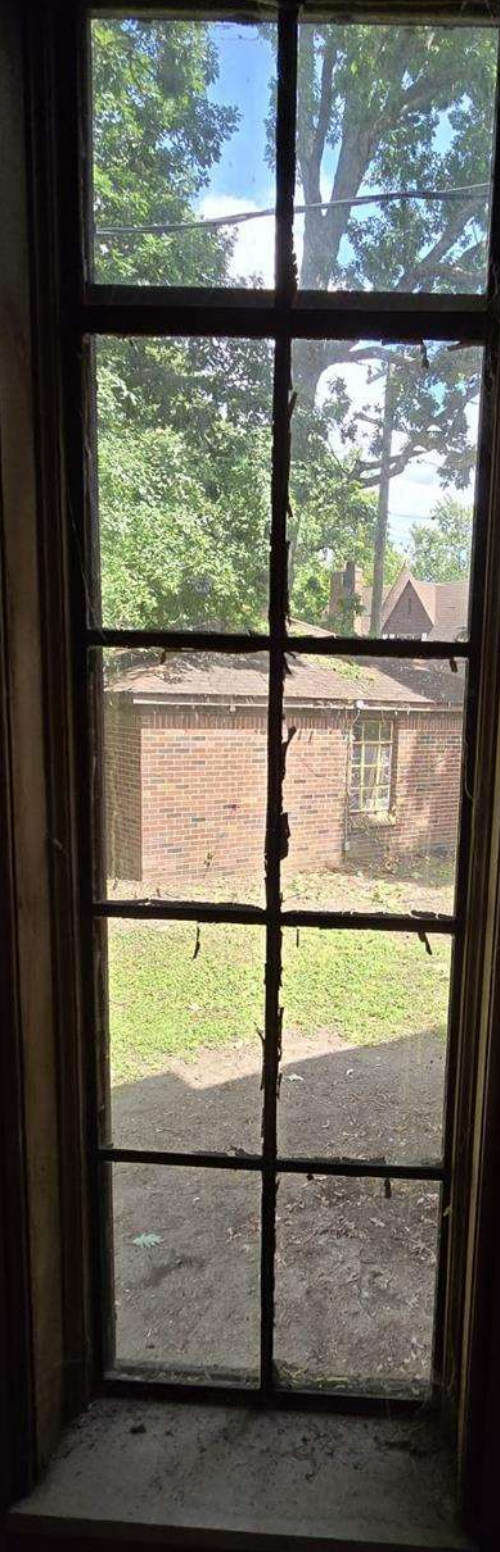
5. BROCHURES/CUT SHEETS

Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.



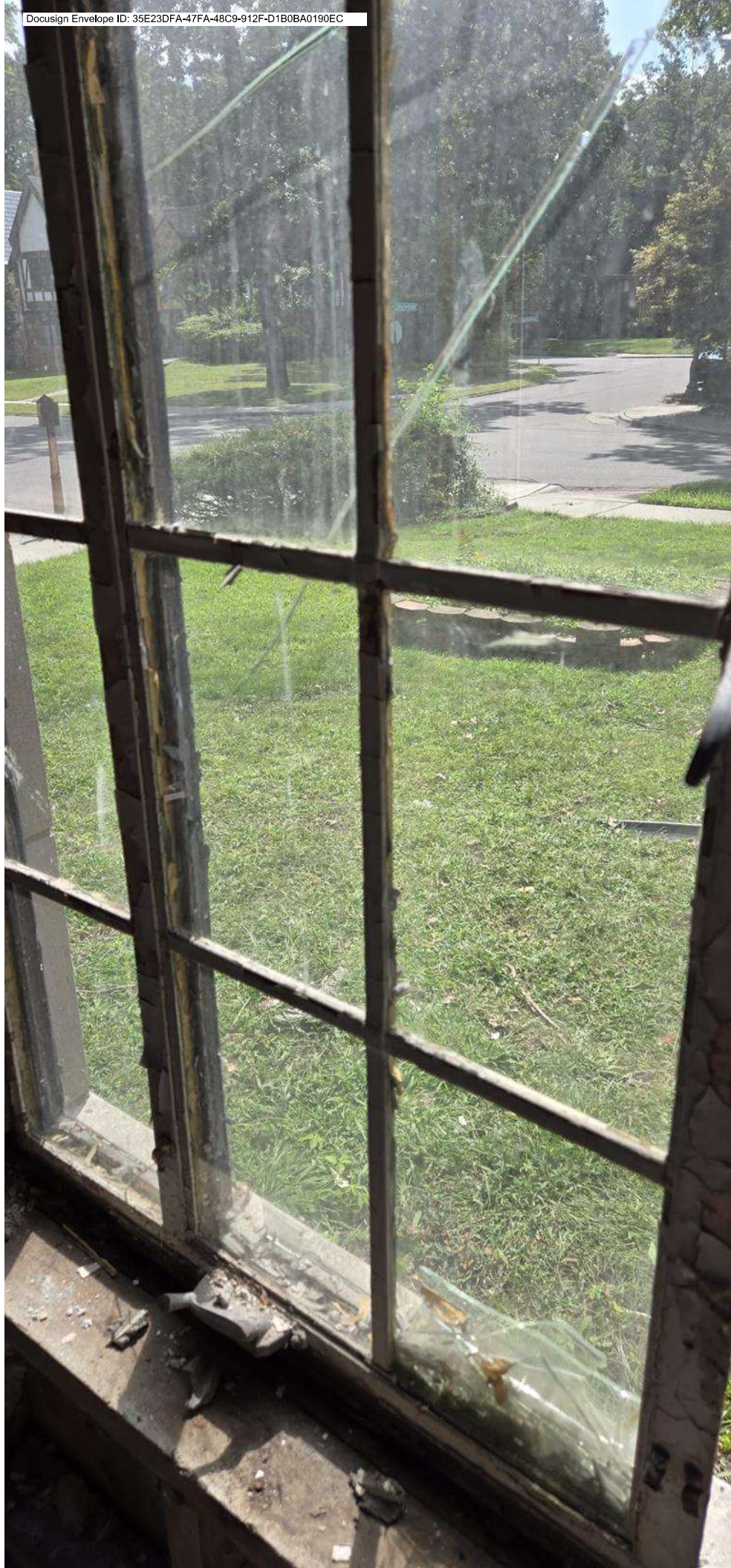
ADDITIONAL DETAILS

<p>6. WINDOWS/DOORS <i>Detailed photographs of window(s) and/or door(s) proposed for replacement showing the condition of the interior and exterior of the window(s) and/or door(s)</i></p>	





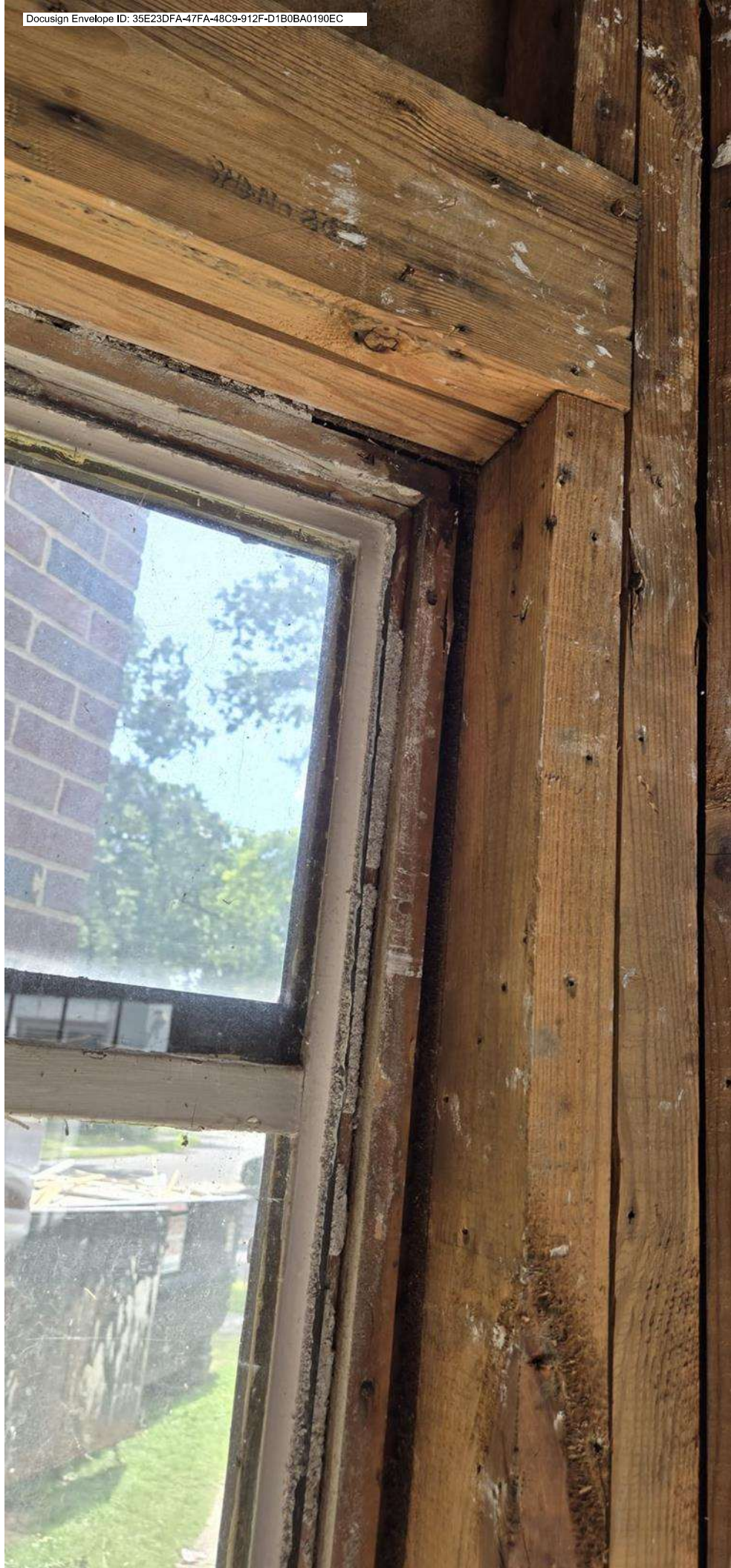






















BATHING

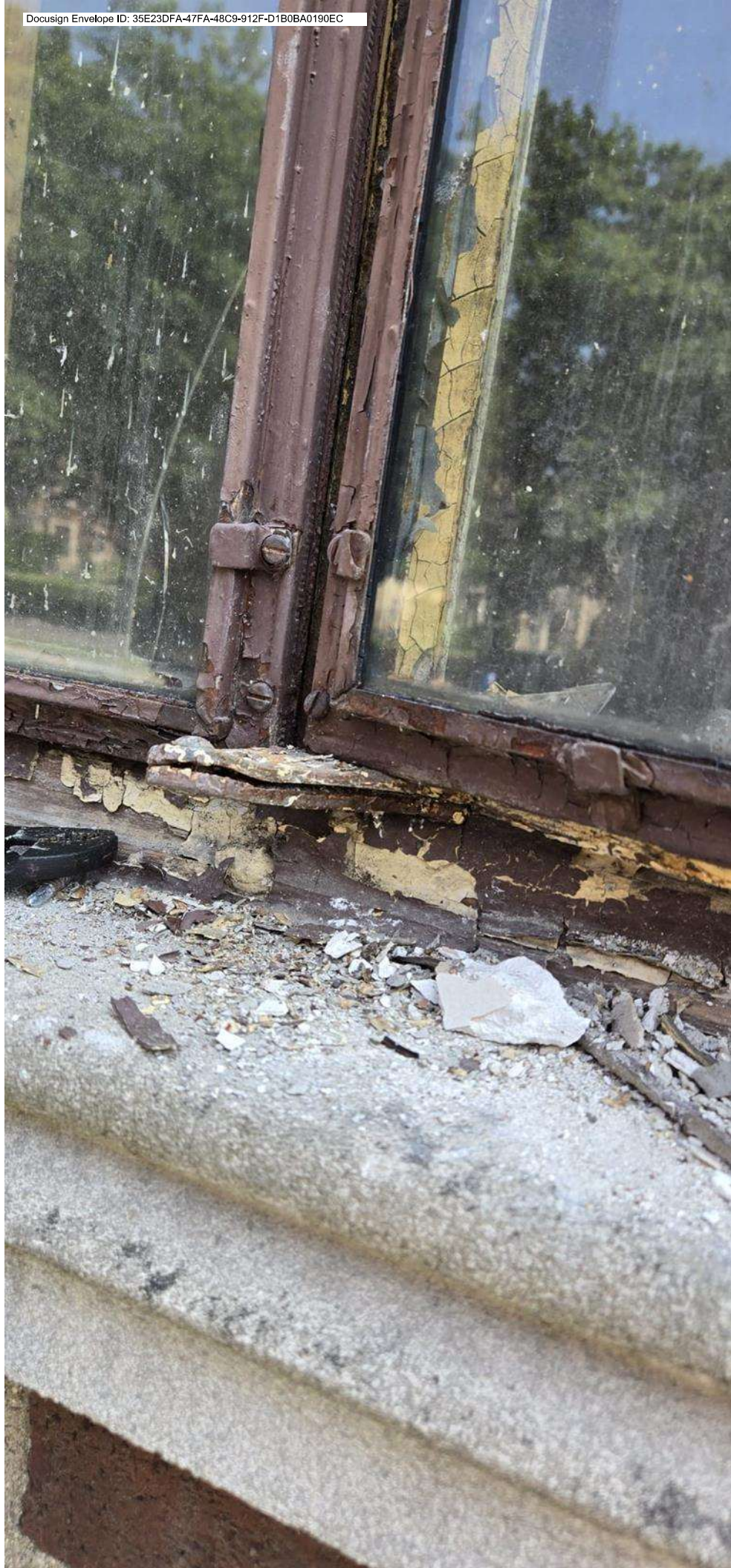




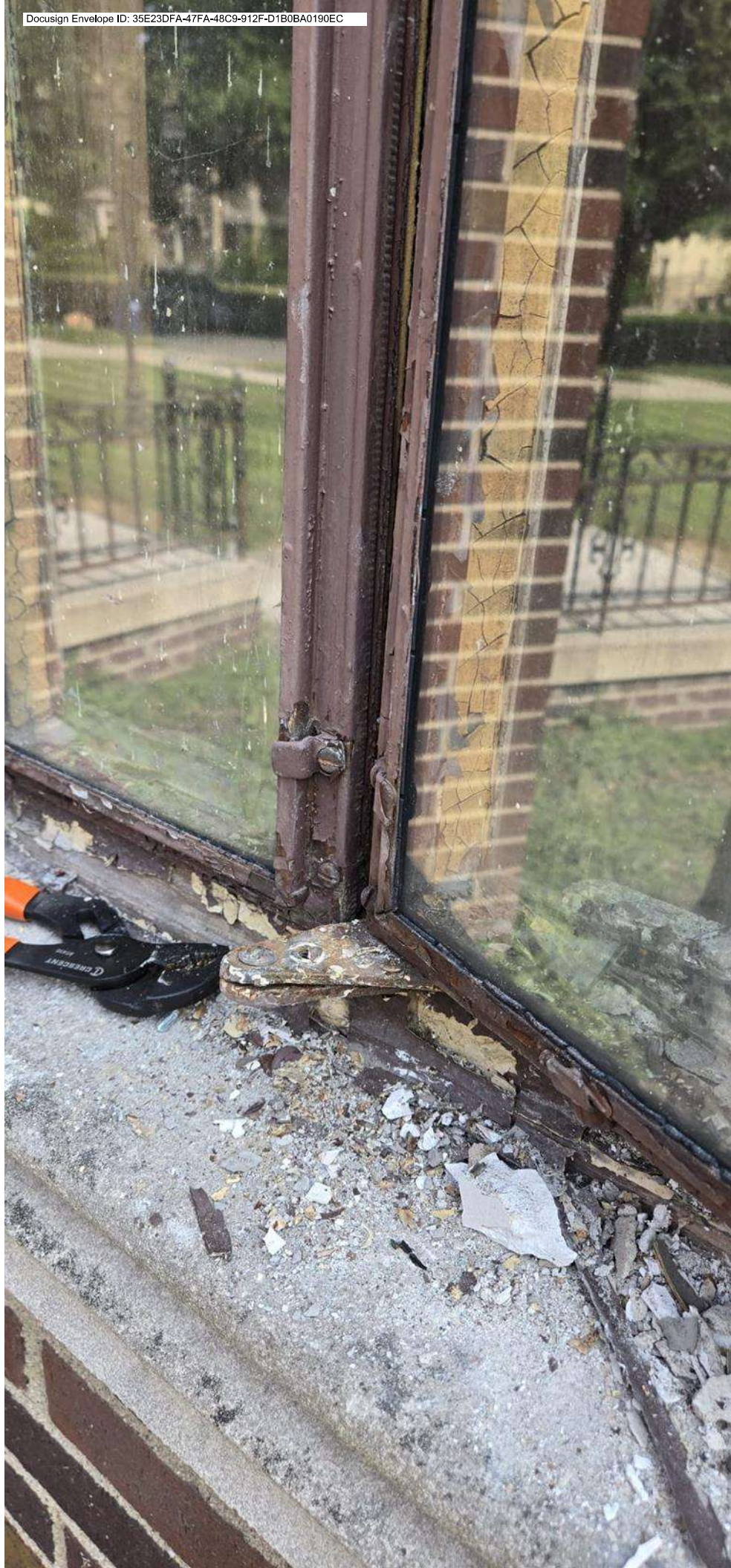










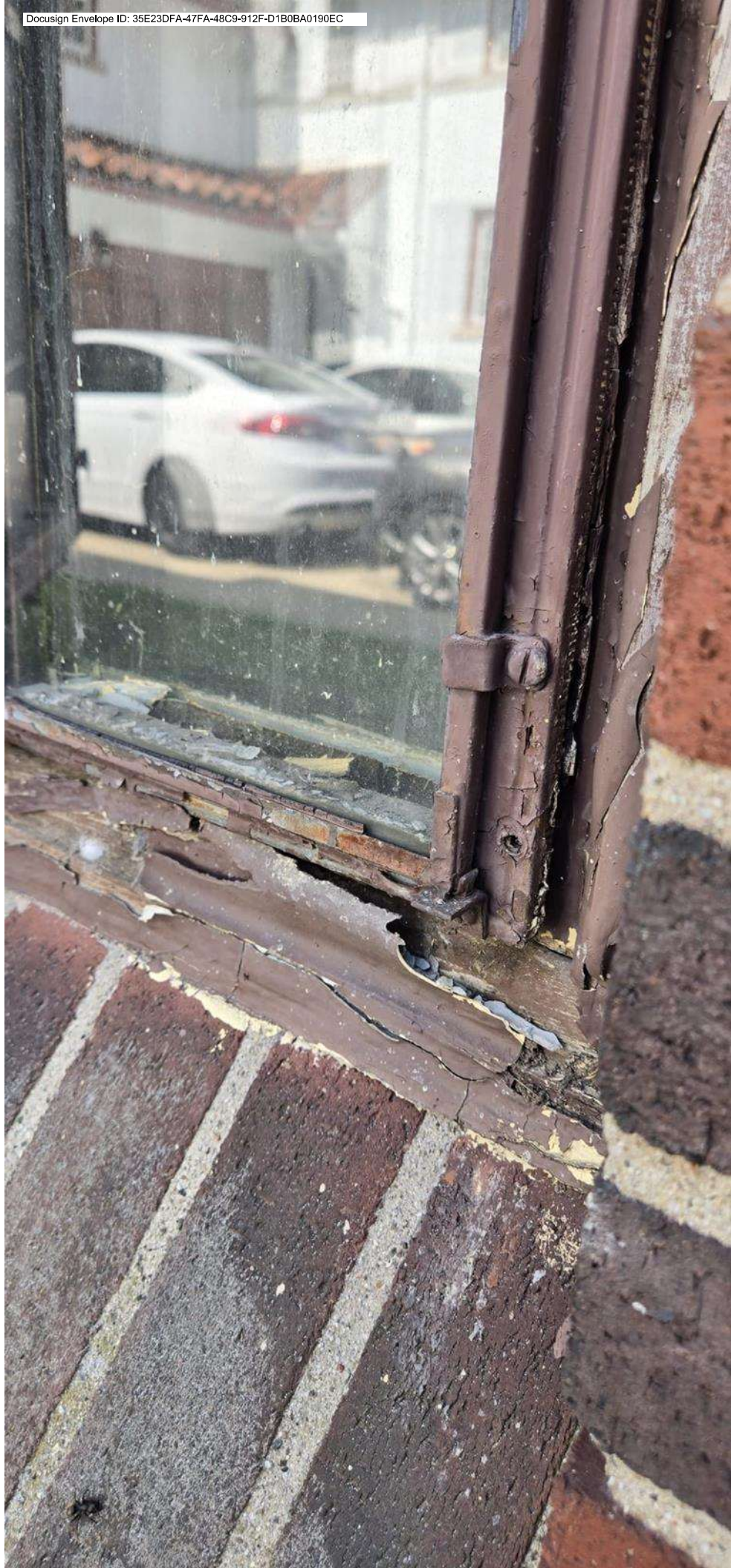








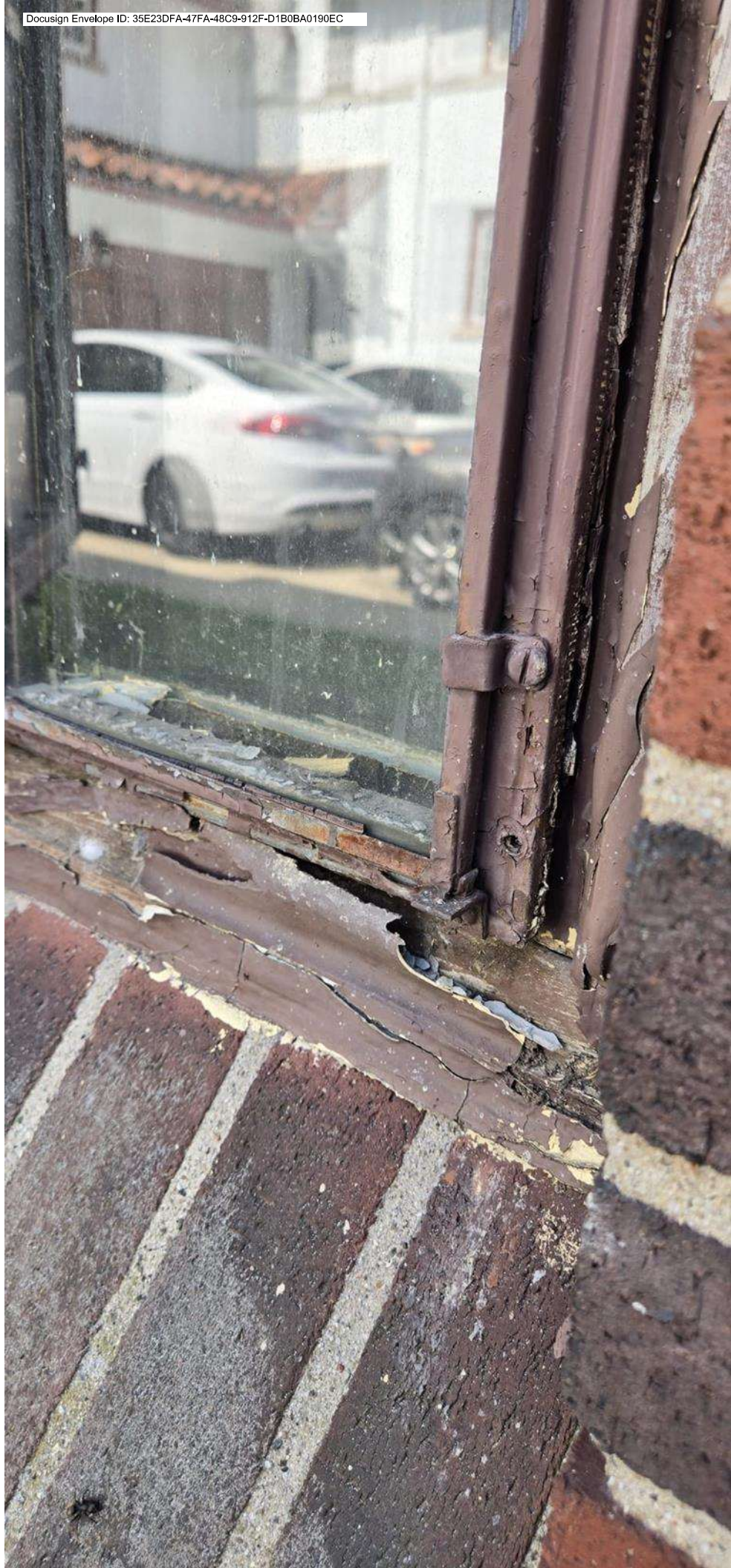












Example of home with new black casement windows with muttin's to preserve the original look of the windows.



Reference Photos: These photos allow for the visualization of what this style of window can have. Paired with limestone and brick, these windows provide a rich elegance and preserve the historic beauty Sherwood Forest is known for.



Reference Photos: From the inside of the home, the authentic appearance is still felt as the muttin bars provide the grid pattern.



New



Old



Weathermaster Vinyl Window Systems
 385 Walth Rd. Jackson, MI 49203
 Office 517-764-1330 / FAX 517-764-2755
P. 4421, 01/04/2004

PLEASE E MAIL WEATHER  PROOF

TRINITY 201019@CHARRL.COM

Sold To: JOHN MILLER
 Ship To: 19566 CANTERBURY DET
 8141V
 313 728 5528
 Date: _____
 Customer Name: _____

QTY	SERIES	COLOR	SCREEN 1/2 OR FULL	GLASS	Grids	Exact Size		COST	NOTES
						Width	Height		
82	7	970	—	LEA	44 1/4	18 1/2	62 3/4	4729.95	PW 604.25
113	2	970	—		44 5/8	54 3/4	62 3/4	1475.90	PW 737.95
99	4	971	Y		44 3/8	36	62 3/4	2756.00	689.00
70	2	970	—		34 1/4	18 1/2	50 3/4	1151.18	575.59
88	1	970	—		34 3/8	36 5/8	50 1/2	645.54	PW
76	1	972	Y		24 1/4	37	38 3/8	971.02	K
58	1	971	Y		24 1/4	18 3/8	38 3/8	588.54	F OBS
87	7	971	Y		34 3/8	36	50 1/2	4519.69	(58) EGR 4 645.61
76	2	972	Y		24 1/4	36 5/8	38 1/8	2004.92	F OBS TUE 100246
126	1	970	—		34 5/8	54 3/8	50 1/2	712.17	PW
106	1	972	Y		34 2/4	54 3/8	50 1/2	1072.92	
89	1	970	—		34 3/4	33 1/2	54 1/4	645.54	PW GARAGE

Special Instructions: 29 UNITS

Sketches:

20773.17 \$ 22019.56
 1246.39

NOTES
 ALL WINDOWS INCLUDE
 UPSET LATCHES
 & JAMB ADJUSTERS

PLEASE E-MAIL

TRICOUNTY20107@comcast.net

WEATHER & WIND PROOF

Weathermaster Vinyl Window Systems
 385 Waite Rd, Jackson, MI 49203
 Office 517-764-1330 / Fax 517-764-2755
IN 403 QUORUMSUIT

Sold To: JOHN MILLER
 Ship To:
 Date:
 Customer Name:
 313 728 5522

QTY	SERIES	COLOR	SCREEN 1/2 OR FULL	GLASS	Grids	Exact Size		COST	NOTES
						Width	Height		
60	1	5110	—	LEA	CT4	37	23	866.34	
		BLACK / WHITE						51.98	
								918.32	
Special Instructions:									
Sketches:									

NOTES
 ALL WINDOWS INCLUDE
 1" DIRT LATCHES
 & 2" AIR ADJUSTER

