

RENOVATION OF HISTORIC BLUE BIRD INN

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NOTE: THIS APPLICATION PROPOSES CHANGE TO PREVIOUSLY APPROVED ADDITION. REFER TO COA 23-8277 DOCUMENT PACKAGE.



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E21	LEVELS 1 & 2 ELECTRICAL LIGHTING PLANS		
E30	ELEC. ONE-LINE DIAGRAM & PANEL SCHEDULES		

PROJECT TEAM:

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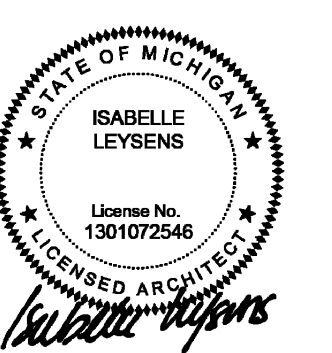
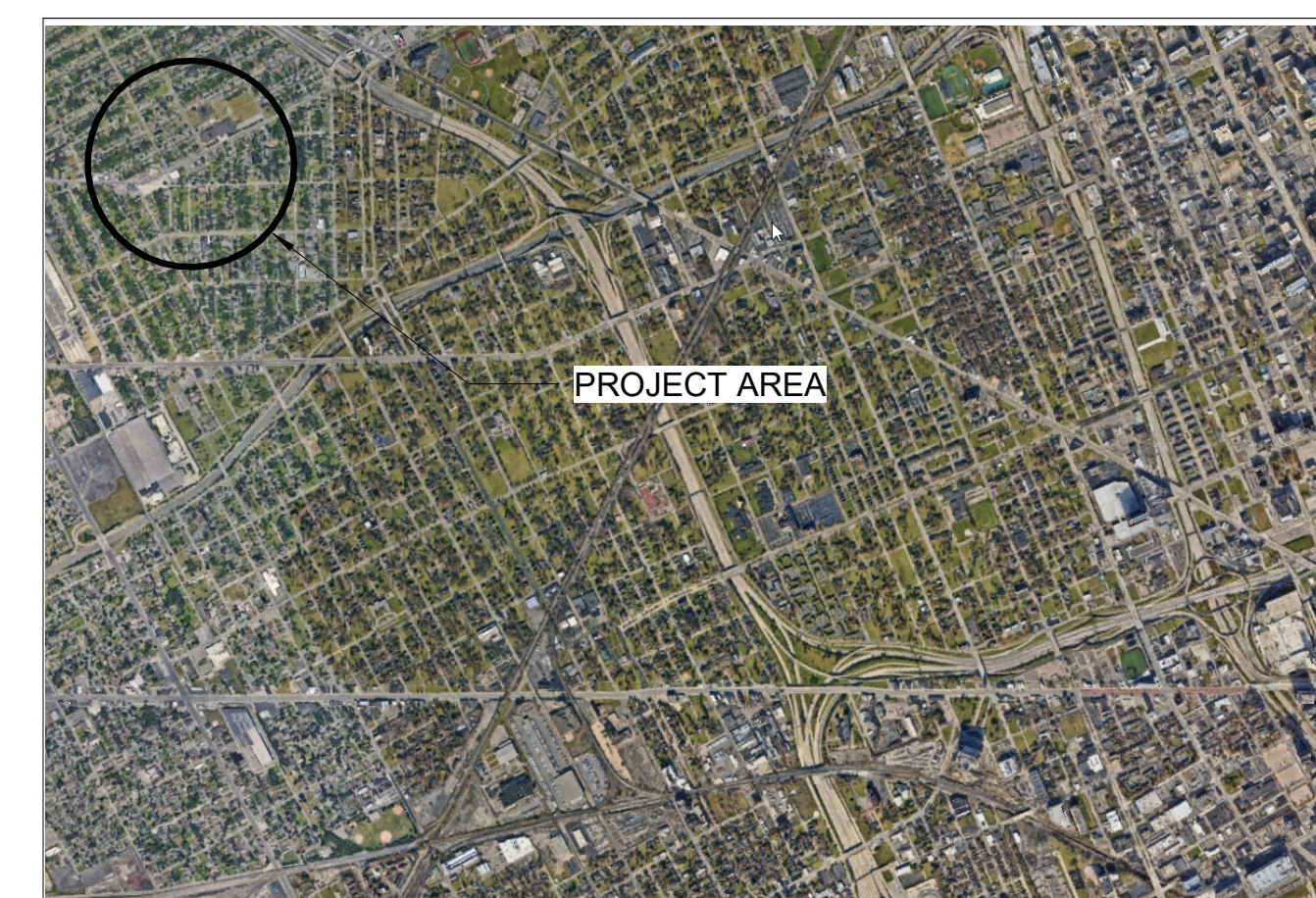
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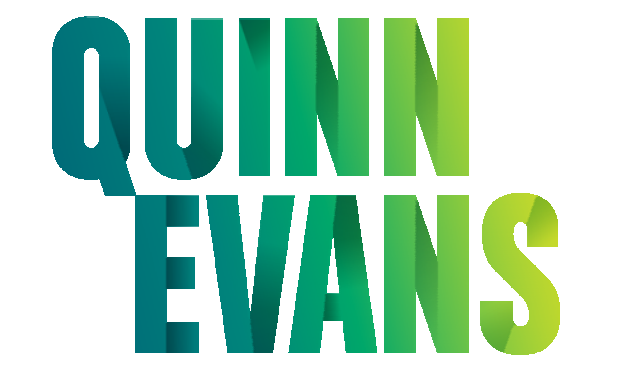
VICINITY MAPS:



THIS APPLICATION DOES NOT PROPOSE CHANGE TO FLOOR PLAN. SHEET A10 IS PROVIDED FOR REFERENCE ONLY. PTB 240912

GENERAL NOTES

- WORK IS NEW UNLESS INDICATED OTHERWISE. DO NOT SCALE PRINTS. USE FIGURED DIMENSIONS ONLY. FIELD VERIFY ALL EXISTING BUILDING DIMENSIONS, PARTITIONS, WALL LOCATIONS, AND FLOOR ELEVATIONS.
- PROTECT EXISTING CONSTRUCTION TO REMAIN. PREP SURFACES TO RECEIVE NEW FINISH; REFER TO ROOM FINISH SCHEDULE. DIMENSIONS ARE TO FINISH FACE UNLESS INDICATED OTHERWISE.
- ALL DIMENSIONS PRECEDED BY A +/- SHALL BE REVIEWED AND ALL NECESSARY ADJUSTMENTS MADE PRIOR TO FABRICATION AND/OR INSTALLATION OF AFFECTED WORK.
- DOOR OPENING LOCATIONS TO BE 4" OFF FINISH OF ADJACENT WALL OR CENTERED ON WALL UNLESS OTHERWISE INDICATED.
- INTERIOR PARTITIONS TO BE:
 - TYPE S1 UNLESS INDICATED OTHERWISE.
 - TYPE S2A FURRING, TYPICAL AT EXISTING MASONRY WALL.
 - TYPE S2B FURRING, TYPICAL AT NEW ADDITION MASONRY WALLS.
 - ALIGN WITH ADJACENT CONSTRUCTION WHERE SHOWN.
- ALL NEW WALL PARTITIONS TO EXTEND TO UNDERSIDE OF FLOOR CONSTRUCTION ABOVE. IN LOCATIONS OF EXPOSED CEILINGS, MODIFY EXISTING PERIMETER PARTITIONS TO BE EXTENDED TO UNDERSIDE OF FLOOR CONSTRUCTION ABOVE. TAPE, SPACKLE, AND SAND JOINTS.
- INFILL AND LEVEL EXISTING SLAB AS NEEDED FOR NEW FLOOR FINISH.
- PATCH AND ACOUSTICALLY SEAL AROUND ANY OPENINGS FOR WALL PENETRATIONS CREATED BY MEP. COORDINATE WITH MECHANICAL, PLUMBING & ELECTRICAL DRAWINGS. PREP AND PRIME ALL INTERIOR WALLS FOR NEW FINISH. REFER TO INTERIOR ROOM FINISH.

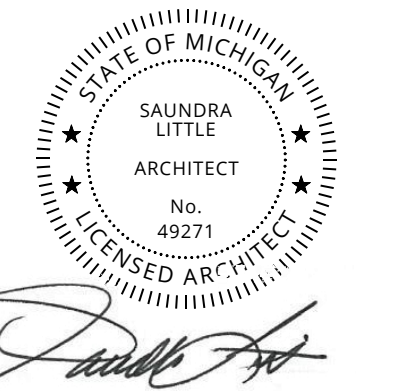


QUINNEVANS.COM



KEYNOTES

KEY VALUE	TEXT
03.06	CMU INFILL. SEE STRUCTURAL FOR ADDITIONAL SCOPE
05.12	NEW STEEL COLUMNS. REFER TO STRUCTURAL DRAWINGS.
10.01	ENTRANCE CANOPY. REFER TO STRUCTURAL DRAWINGS.
22.04	PROVIDE AND INSTALL WATER HEATER. REFER TO MEP DRAWINGS
23.01	FURNACE UNIT, COORDINATE WITH MECHANICAL DRAWINGS
26.01	PROVIDE AND INSTALL ELECTRICAL DRAWINGS

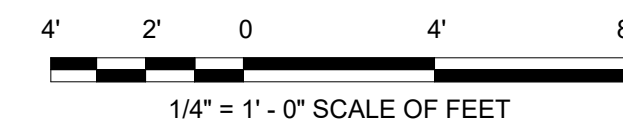


RENOVATION OF HISTORIC BLUE BIRD INN

DETROIT SOUND CONSERVANCY

LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- WALL / PARTITION
- ROOF PADS
- GUTTER
- DOWNSPOUT
- 2 HR RATED WALL

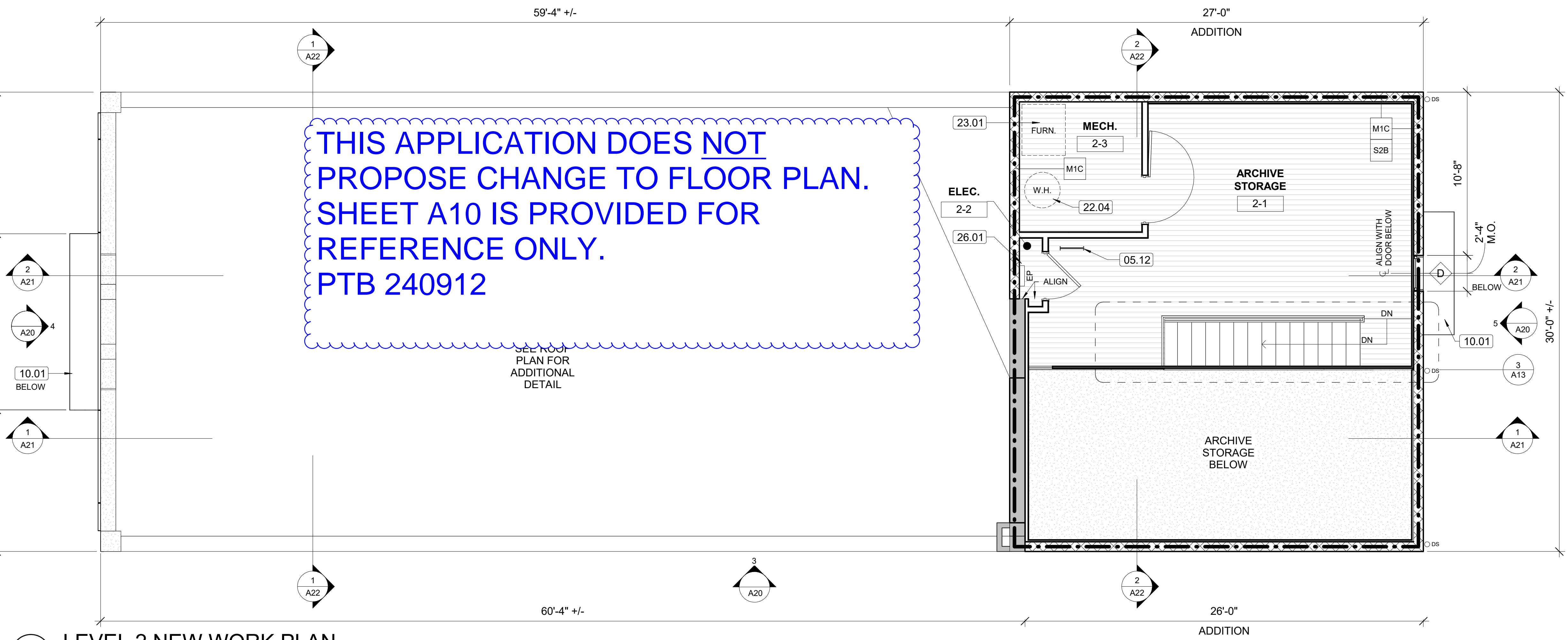


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DT		KP/LH/SR

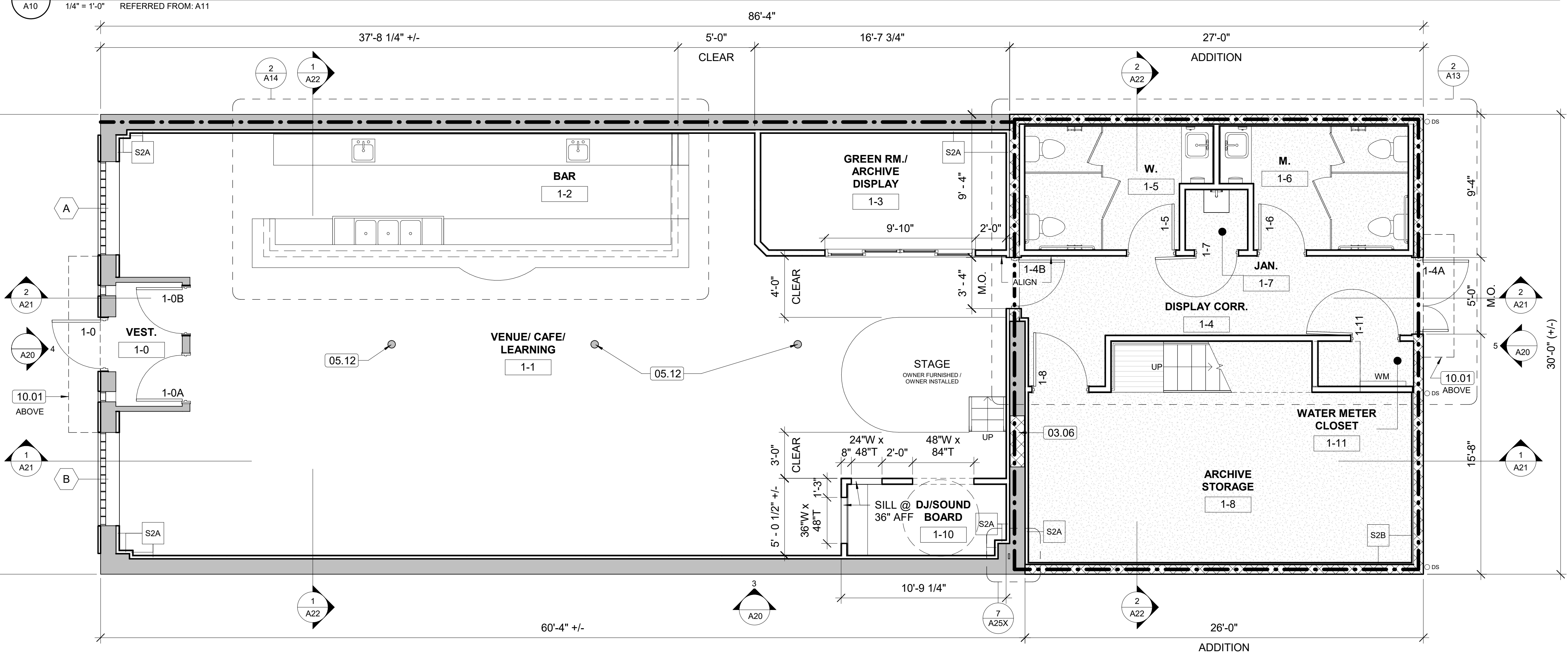
PERMIT / BID SET
03/10/2023

NEW WORK FLOOR PLANS

ALT A10

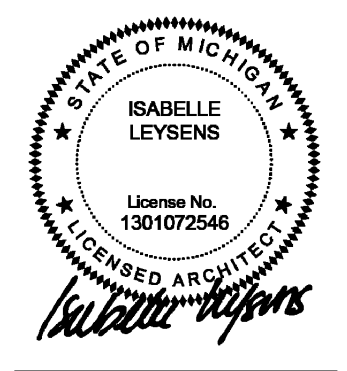


2 LEVEL 2 NEW WORK PLAN
1/4" = 1'-0" REFERRED FROM: A11



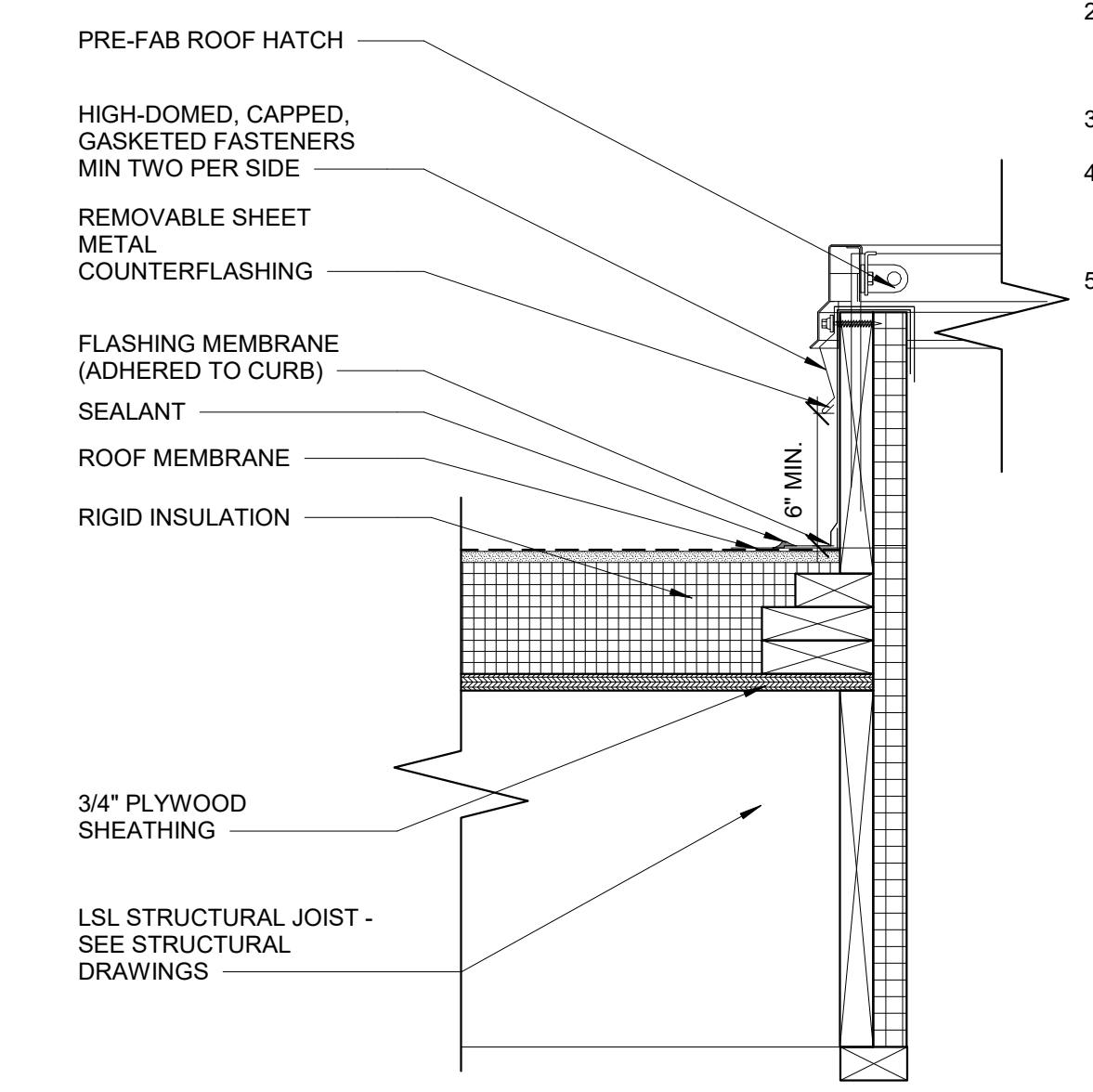
1 LEVEL 1 NEW WORK PLAN
1/4" = 1'-0" REFERRED FROM: A14

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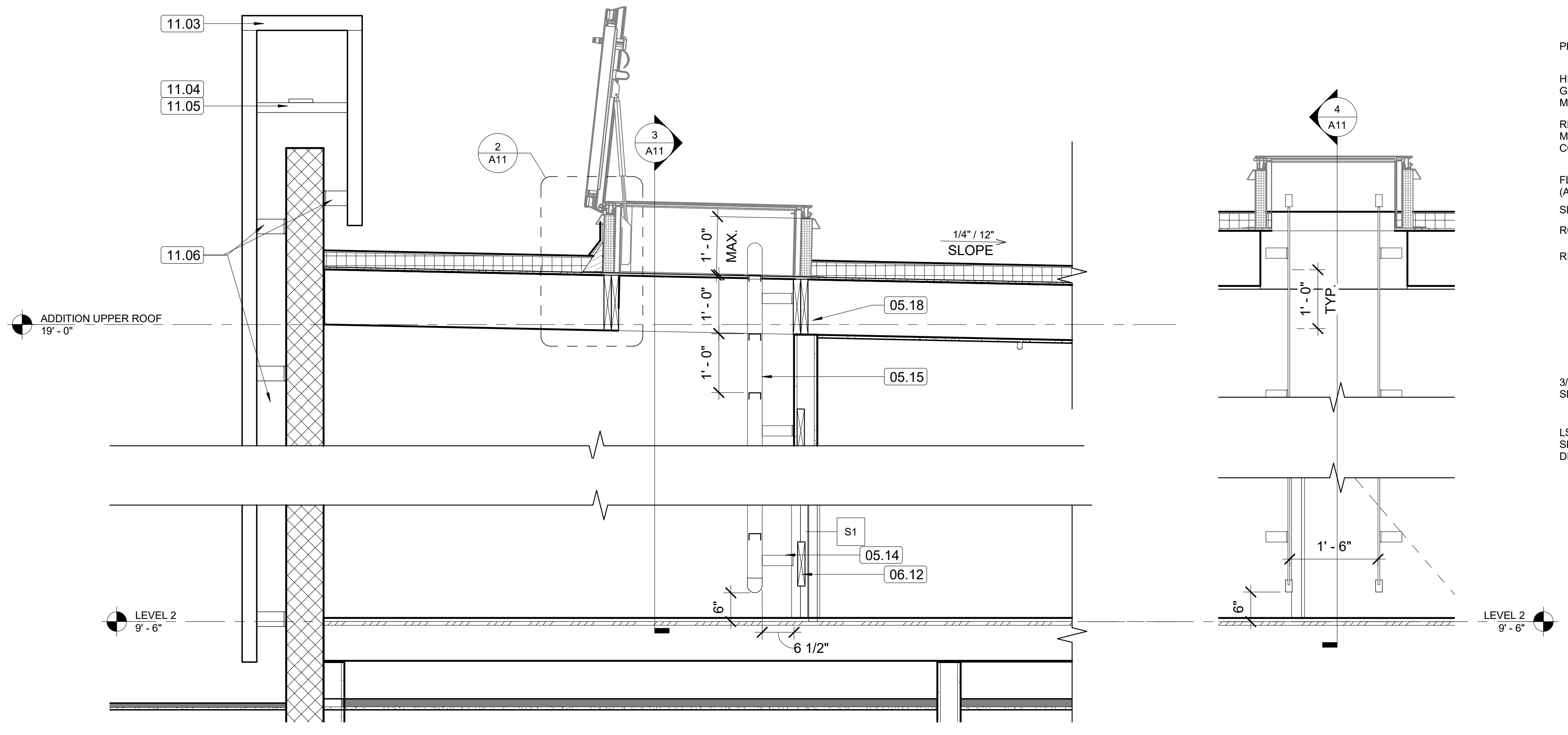


GENERAL NOTES

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3. ALL DIMENSIONS PROCEEDED BY A +/- SHALL BE REVIEWED AND ALL NECESSARY ADJUSTMENTS MADE PRIOR TO FABRICATION AND/OR INSTALLATION OF AFFECTED WORK. REFER TO 2/A20 FOR FACADE REPAIR SCOPE.



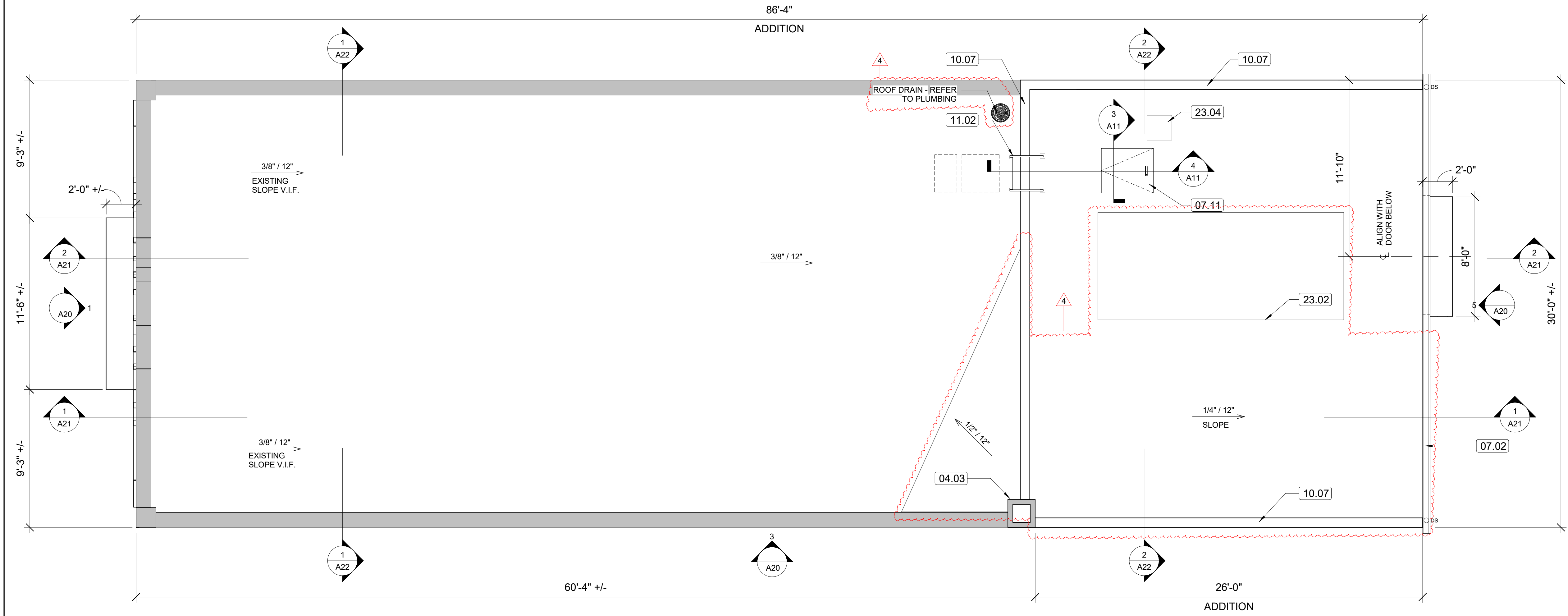
2 ROOF HATCH DETAIL
1 1/2" = 1'-0" REFERRED FROM: A11



4 ROOF HATCH AND LADDER ACCESS SECTION
3/4" = 1'-0" REFERRED FROM: A11

3 ROOF HATCH AND LADDER ACCESS SECTION 1
3/4" = 1'-0" REFERRED FROM: A11

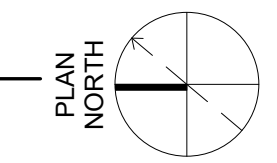
KEYNOTES	
KEY VALUE	TEXT
04.03	CHIMNEY
05.14	4 1/2" X 1/4" BENT ALUM. PLATE CLIP@ 4'-0" O.C.
05.15	2 1/2" ALUM CHANNEL SIDE RAILS
05.18	STRUCTURAL BEAM, REFER TO STRUCTURAL DRAWINGS
06.12	PROVIDE BLOCKING IN WALL AT ALL LADDER CONNECTION POINTS. CLIP ANCHOR BLOCKING TO STUD EACH SIDE
07.02	6" ALUMINUM GUTTERS
07.11	2'-6" X 3'-0" BILCO TYPE "S" ACCESS HATCH OR APPROVED EQUAL
10.07	PROVIDE METAL COPING AT THE PARAPET OF BUILDING ADDITION TO MATCH EXISTING COPING
11.02	LOW ROOF FIXED ACCESS LADDER
11.03	LADDER RAIL PLAT 3/8" X 3"
11.04	3/4" BAR GRATING X 12" WIDE
11.05	L2" X2" X 1/4"
11.06	BENT PLATE 3/8" X 3" WITH 5/8" DIAMETER THREADED ROD EPOXY GROUTED WITH 4" EMBEDMENT INTO MASONRY
23.02	RTU-ERV-1, COORDINATE WITH MECHANICAL DRAWINGS
23.04	EXHAUST FAN (PROVIDE MIN. 14" HIGH INSULATED ROOF CURB), COORDINATE WITH MECHANICAL DRAWINGS

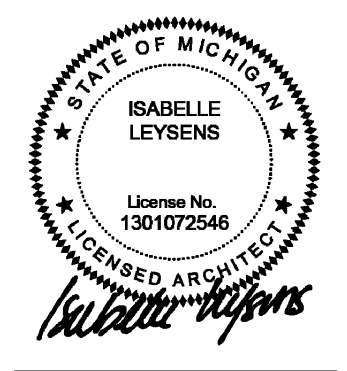


1 ROOF PLAN
1/4" = 1'-0" REFERRED FROM: A11

LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- WALL / PARTITION
- ROOF PADS
- GUTTER
- DOWNSPOUT
- 2 HR RATED WALL





GENERAL NOTES

- PROVIDE GUTTERS & DOWNSPOUTS. DRAIN AT GRADE AWAY FROM BUILDING REAR ENTRY.

KEYNOTES

KEY VALUE	TEXT
02.14	REMOVE EXISTING DOOR
02.22	EXISTING GLASS BLOCK TO REMAIN
02.23	REMOVE EXISTING PLYWOOD
02.24	EXISTING MURAL TO REMAIN. ALL EXISTING MATERIALS TO BE PROTECTED AND PAINTED. INFILL CRACKS, VOIDS, AND REPAINT TO MATCH EXISTING COLORS.
02.31	EXISTING MARQUEE CANOPY AND STRUCTURAL FRAMING TO REMAIN. PATCH AND REPAIR AS NEEDED TO PRESERVE INTEGRITY. TOUCH-UP PAINT TO MATCH EXISTING.
02.32	REMOVE ALL ELECTRICAL CONDUITS AND ASSOCIATED COMPONENTS
05.05	FRONT ENTRANCE CANOPY
07.02	6" ALUMINUM GUTTERS
07.04	6" ALUMINUM DOWNSPOUTS
07.11	2'-6" X 3'-0" BILCO TYPE "S" ACCESS HATCH OR APPROVED EQUAL
08.03	GLASS BLOCK INFILL TO MATCH EXISTING GLASS BLOCK
08.04	STOREFRONT WINDOW. SEE WINDOW SCHEDULE FOR ADDITIONAL INFORMATION
08.05	EXISTING GLASS BLOCK WINDOWS
08.06	STOREFRONT DOOR
10.01	ENTRANCE CANOPY, REFER TO STRUCTURAL DRAWINGS.
10.07	PROVIDE METAL COPING AT THE PARAPET OF BUILDING ADDITION TO MATCH EXISTING COPING
23.04	EXHAUST FAN (PROVIDE MIN. 14" HIGH INSULATED ROOF CURB), COORDINATE WITH MECHANICAL DRAWINGS
26.03	LED NEON LETTER SIGN. SEE ELECTRICAL SHEETS FOR ADDITIONAL SCOPE

RESTORATION SCOPE GENERAL NOTES:

- ALL EXISTING BRICK AND STONE TO REMAIN IS TO BE CLEANED 100%.
- REMOVE ALL ABANDONED ANCHORS AND ATTACHMENTS FROM MASONRY. CLEAN SURROUNDING AREA OF EXIST'G MASONRY.
 - WHERE AN ATTACHMENT IS IN THE JOINT, REMOVE AND REPOINT.
 - WHERE AN ATTACHMENT IS IN A BRICK UNIT, REMOVE THE ATTACHMENT AND REPLACE BRICK UNIT.
 - WHERE AN ATTACHMENT IS IN A STONE UNIT, REMOVE THE ATTACHMENT. IF DAMAGE IS LIMITED TO THE SIZE OF THE ATTACHMENT (1" OR LESS) INSTALL A CORE DUTCHMAN (ST-6) IF ATTACHMENT IS LARGER OR HAS CAUSED FURTHER DAMAGE TO THE UNIT, INSTALL A DUTCHMAN (ST-5) OR FULL UNIT REPLACEMENT (ST-4) AS NECESSARY.
- RESOLDER ALL OPEN JOINTS IN METAL CANOPY. (MT-2)
- EXTERIOR PLASTER MURAL TO BE REMOVED, SALVAGE TBD.

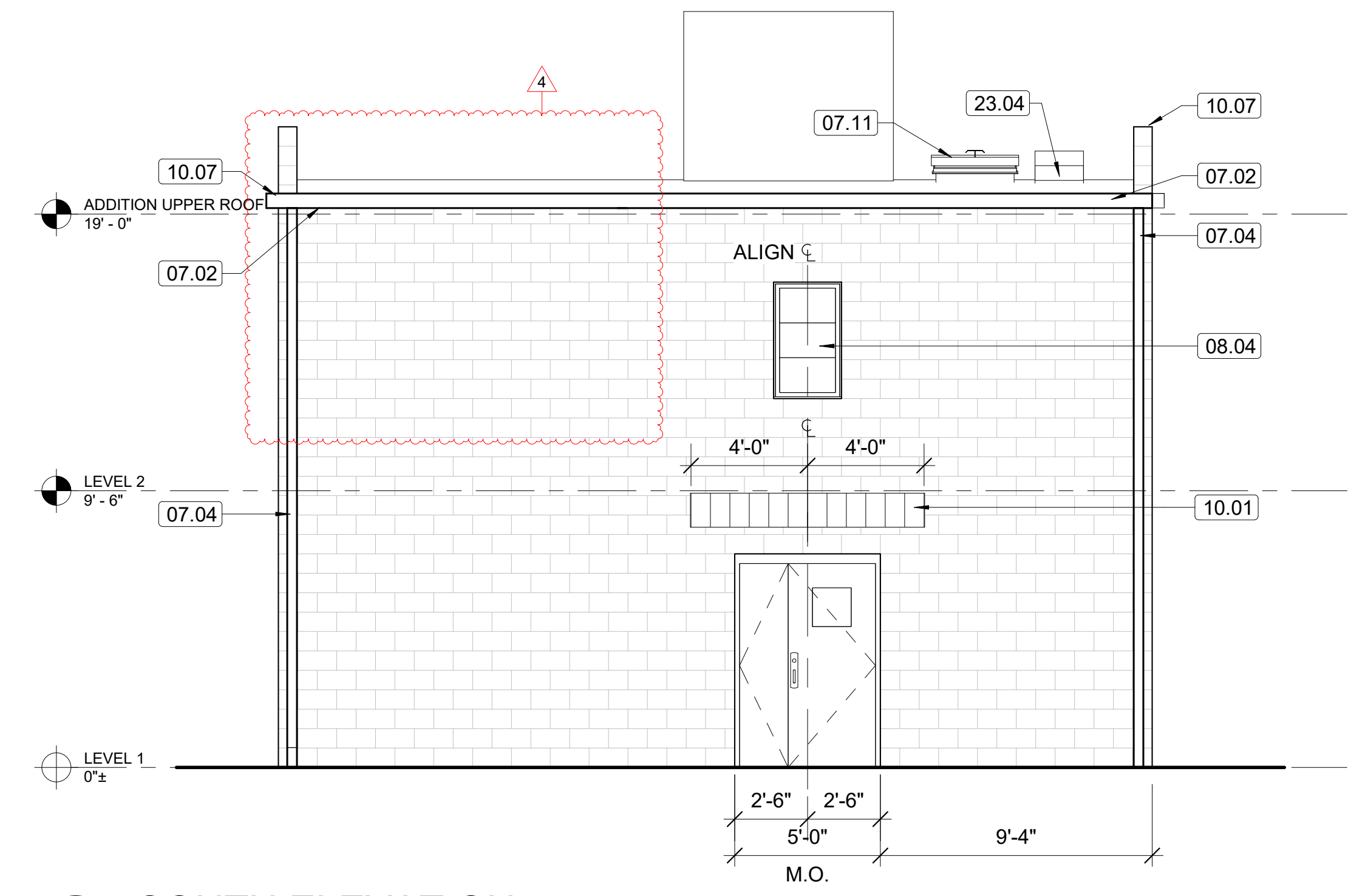
RESTORATION SCOPE LEGEND

STONE

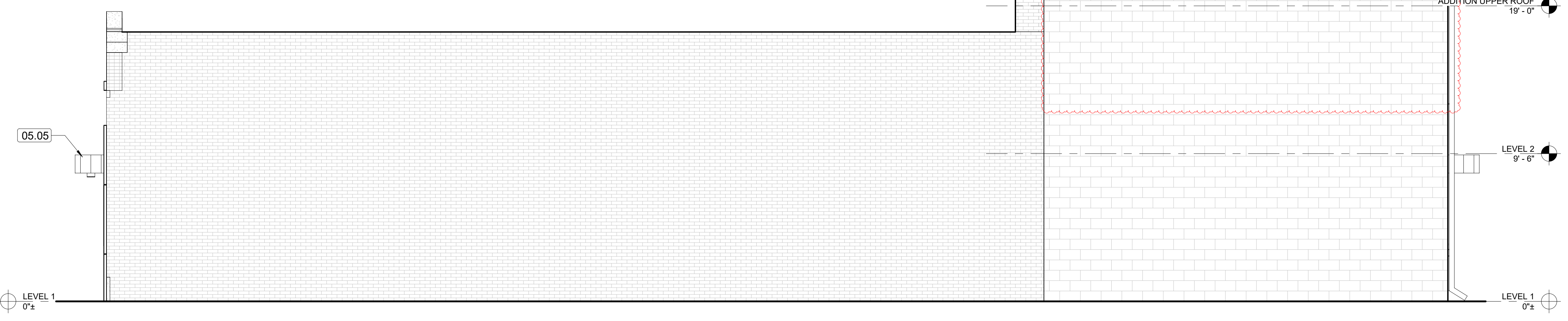
- ST-1 DISPLACEMENT/AREA REBUILD
- ST-2 REPOINTING
- ST-3 CLEANING
ST-3a - ATMOSPHERIC STAINING
ST-3p - PAINT
- ST-4 REPLACEMENT
- ST-5 DUTCHMAN
- ST-6 CORE DUTCHMAN
- ST-7 REMOVE FERROUS ELEMENT
- ST-8 CRACK REPAIR
- ST-9 CONSOLIDATE SURFACE

BRICK

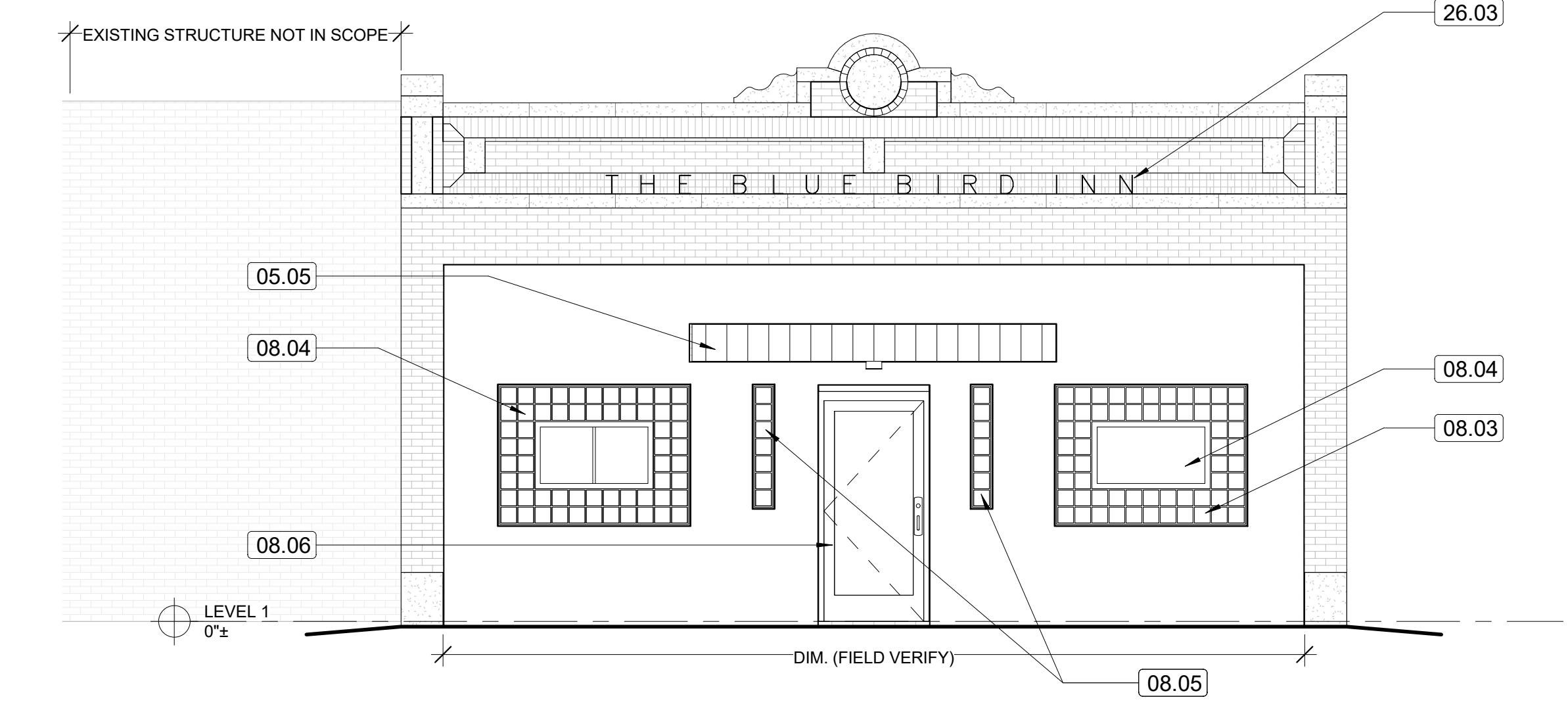
- BR-2 REPOINTING
- BR-3 CLEANING
BR-3a - GROUT
- BR-4 REPLACEMENT



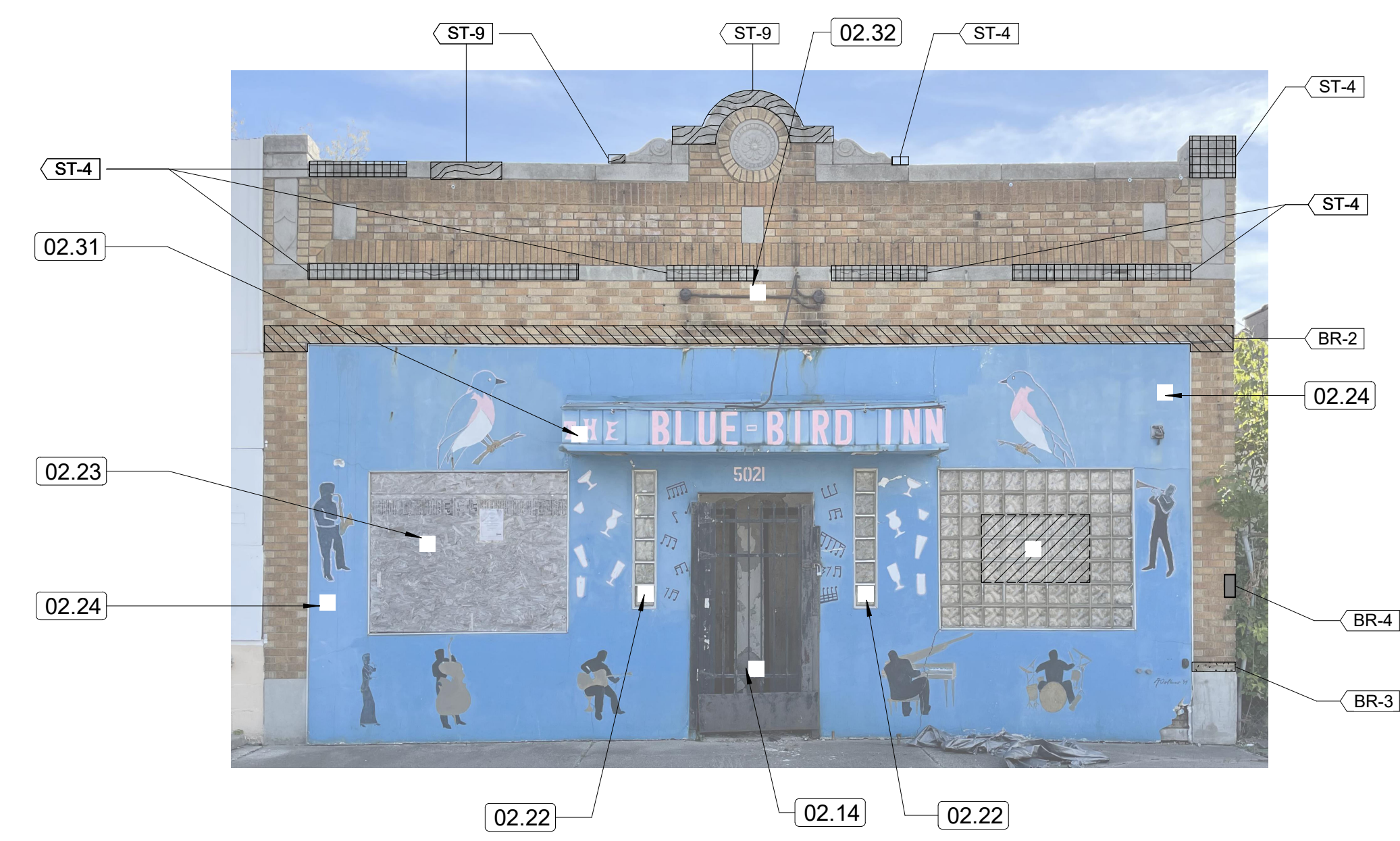
5 SOUTH ELEVATION
A20 1/4" = 1'-0" REFERRED FROM: A10



3 WEST ELEVATION
A20 1/4" = 1'-0" REFERRED FROM: A10



2 NORTH ELEVATION
A20 1/4" = 1'-0" REFERRED FROM: A10



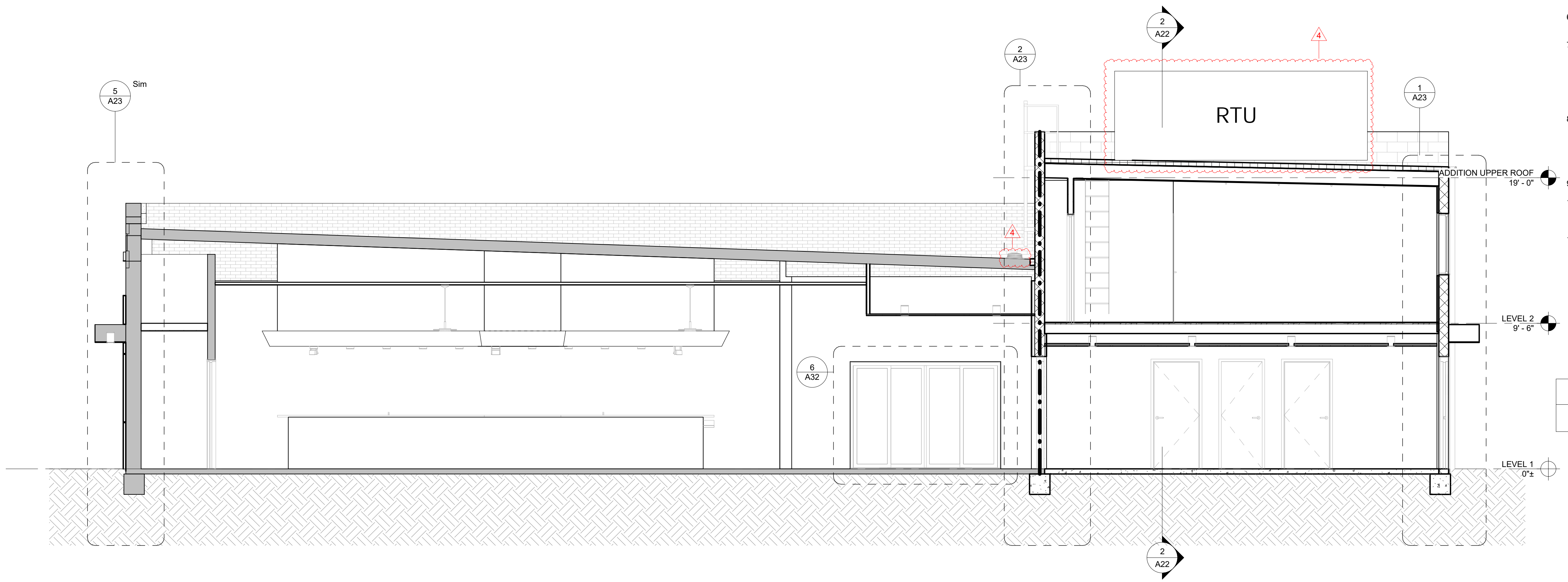
1 NORTH ELEVATION RESTORATION SCOPE
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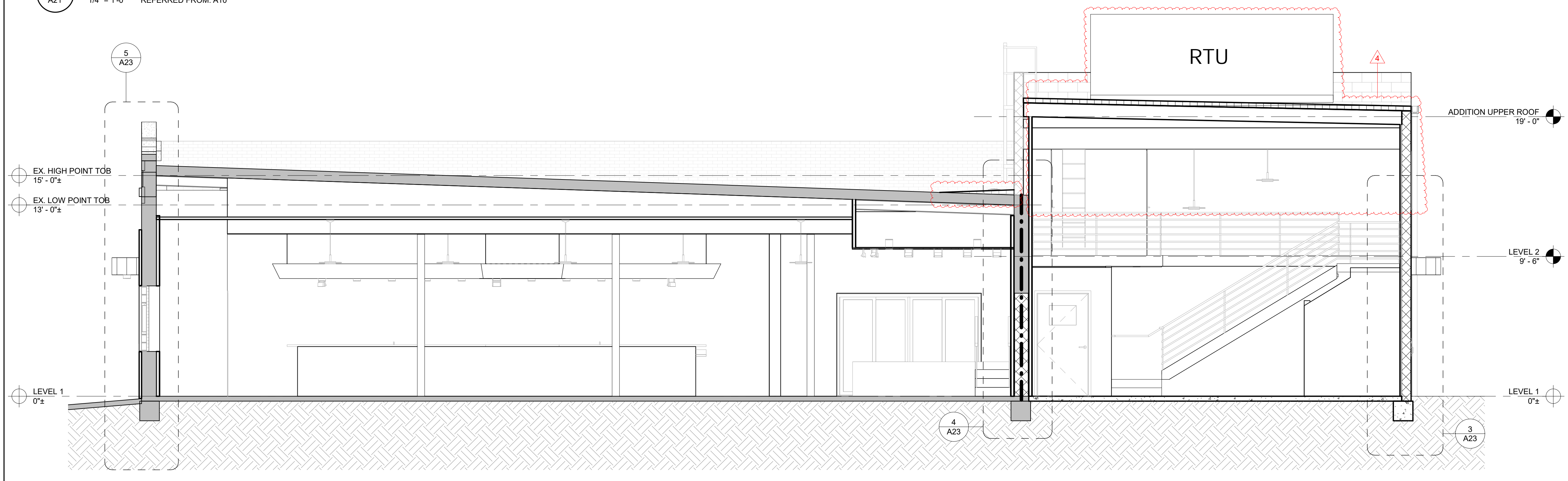
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KEYNOTES	
KEY VALUE	TEXT



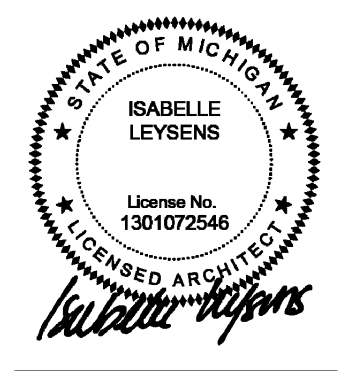
2 NORTH/SOUTH BUILDING SECTION @ TWO STORY ADDITION
1/4" = 1'-0" REFERRED FROM: A10

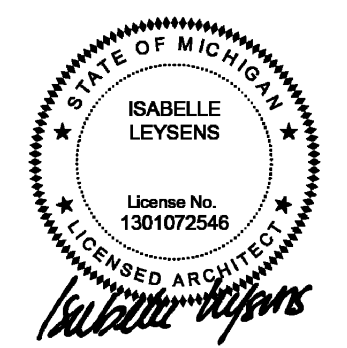


1 NORTH/SOUTH BUILDING SECTION @ SINGLE STORY ADDITION
1/4" = 1'-0" REFERRED FROM: A10

REVISIONS:
9/12/24

PERMIT ISSUE DATE:
03/10/2023

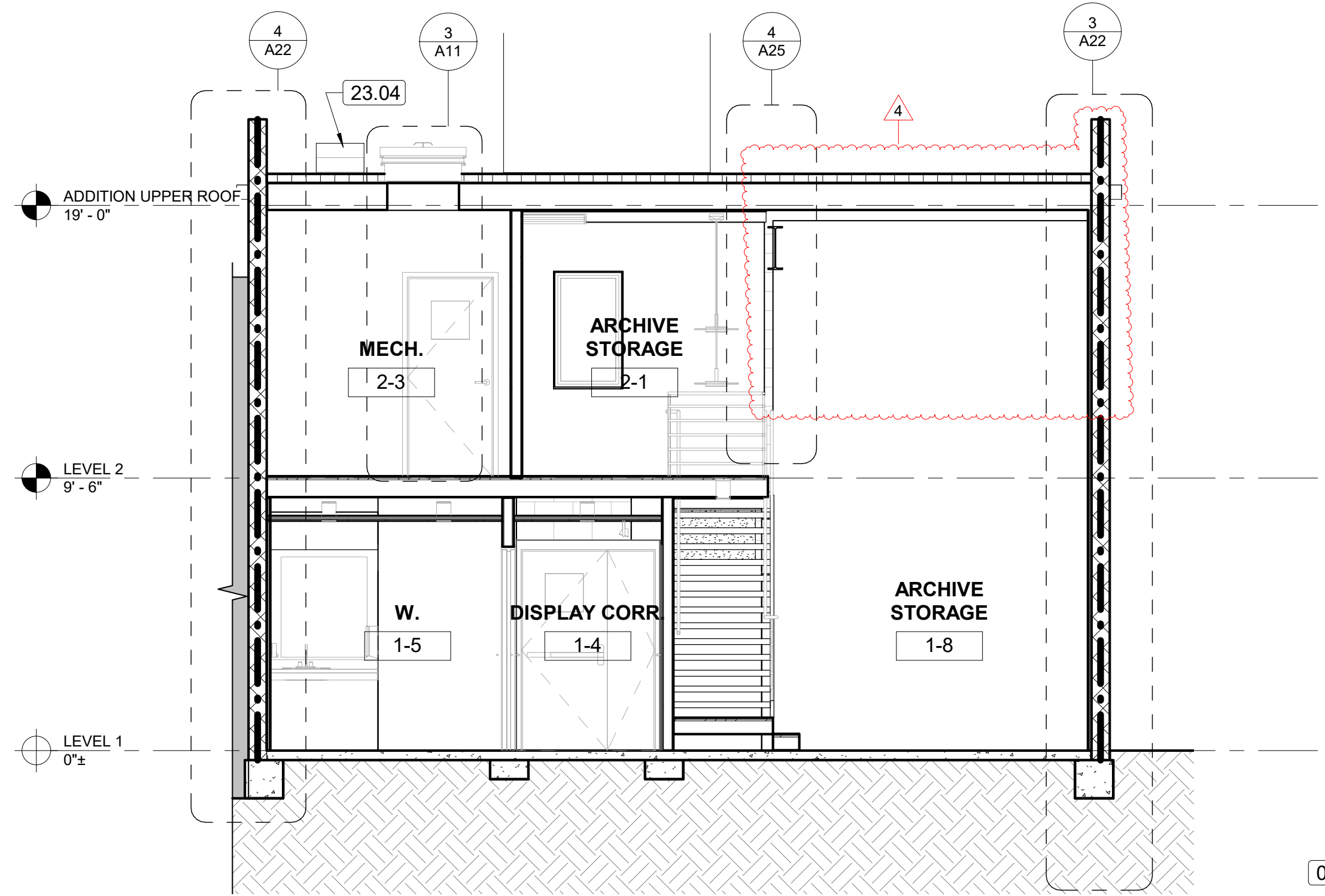




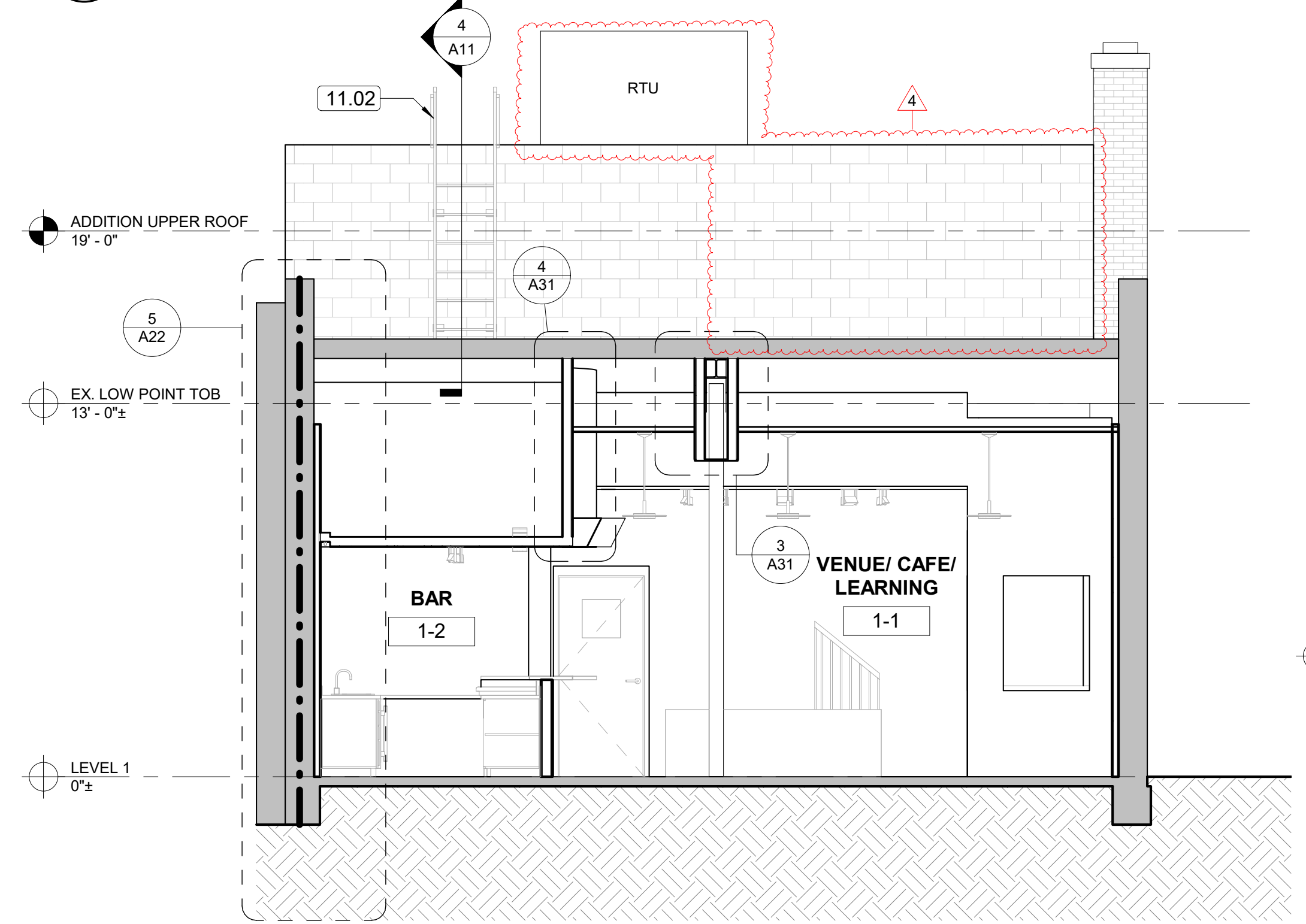
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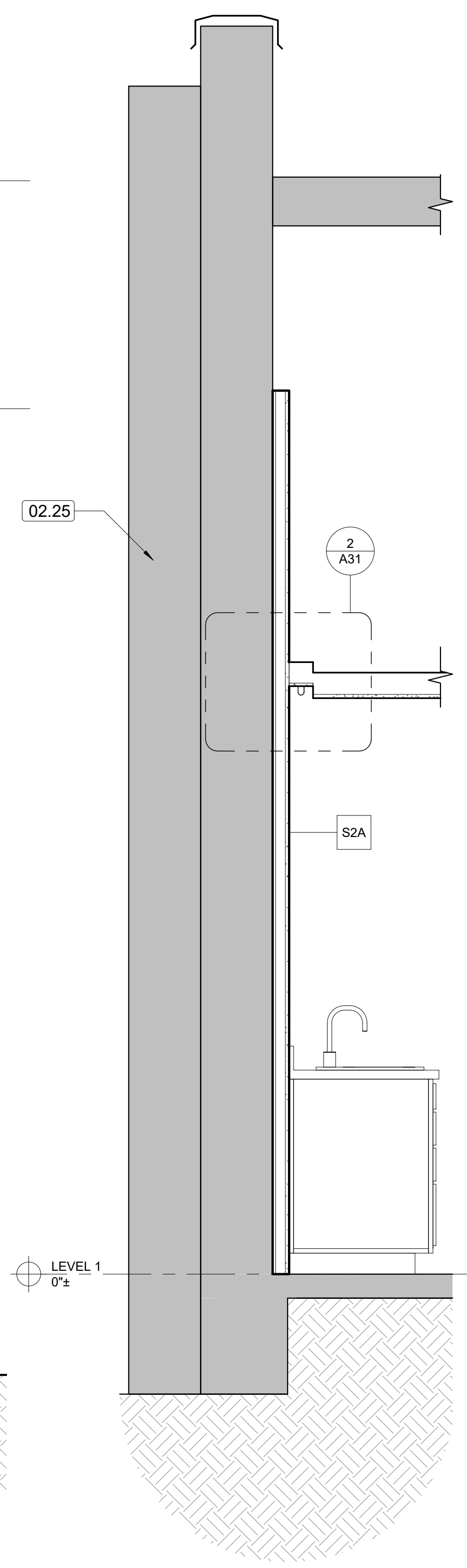
KEYNOTES	
KEY VALUE	TEXT
02.25	EXISTING NEIGHBORING STRUCTURE
11.02	LOW ROOF FIXED ACCESS LADDER
23.04	EXHAUST FAN (PROVIDE MIN. 14" HIGH INSULATED ROOF CURB), COORDINATE WITH MECHANICAL DRAWINGS



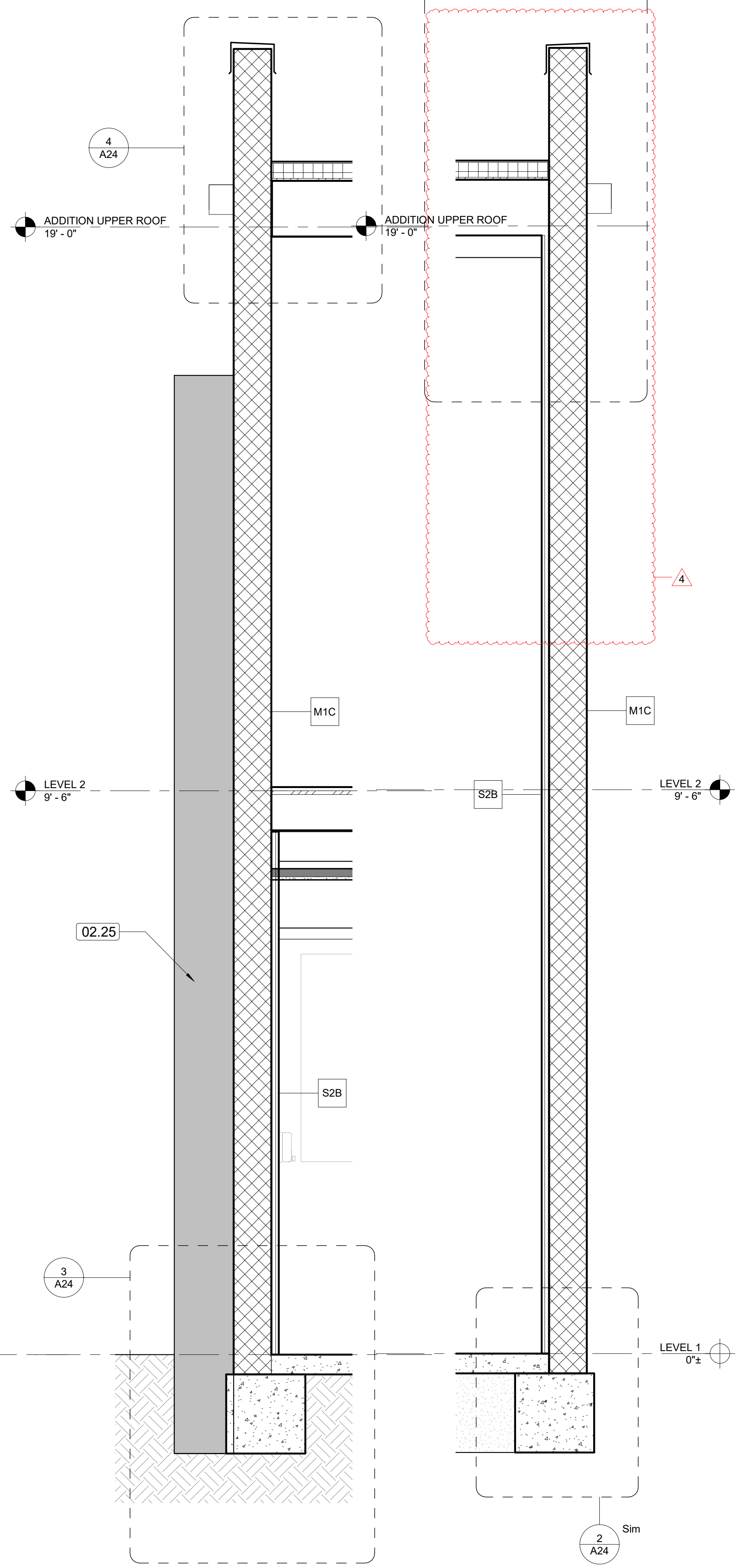
2 EAST/WEST BUILDING SECTION @ ADDITION
1/4" = 1'-0" REFERRED FROM: A10



1 EAST/WEST EXISTING BUILDING SECTION
1/4" = 1'-0" REFERRED FROM: A10



5 WALL SECTION
3/4" = 1'-0" REFERRED FROM: A22



4 WALL SECTION **3 WALL SECTION**
3/4" = 1'-0" REFERRED FROM: A22