



February 6, 2024

City of Detroit – Historic District Commission  
Planning and Development Department  
Coleman A. Young Municipal Center  
2 Woodward Avenue, Suite 808  
Detroit, MI 48226

Re: Paradise Valley Cultural and Entertainment District Conservancy (PVC)  
Redevelopment and Upgrade of Beatrice Buck Park (Harmonie Park) and Gratiot Plaza

Historic District Commission – Project Review Request  
Madison-Harmonie District, Section 21-2-151, Enacted May 16, 1988

To Daniel Rieden, PLA/ASLA

#### **DESCRIPTION OF PROJECT**

Paradise Valley Cultural and Entertainment District Conservancy (PVC) has partnered with Progressive AE, Inc. (as Architect and Engineer – Progressive AE) and Premier Group Associates LC (as Construction Manager – PGA) to plan, design, bid, and provide construction oversight for the Redevelopment and Upgrade of Beatrice Buck Park (Park) and Gratiot Plaza (Plaza).

The Park (1475 Randolph Street), located between Grand River Avenue, Center Street, and Randolph Street, is planned to receive repairs, improvements, and upgrades to pavements, lighting, landscaping, irrigation, furniture, equipment, sound system, festoon lighting, and projection lighting. These improvements are to be implemented in a phased approach with elements in Phase I to be completed before the National Football League (NFL) Draft starting on April 25, 2024. The remainder of improvements to be completed after the NFL Draft as Phase II.

The Plaza (**Not included in the Historic District**), located near 1427 Randolph Street and Gratiot Avenue is planned to receive repairs, improvements, and upgrades to pavements, lighting, landscaping, irrigation, restoration and relocation of existing statue, hardscaping, and festoon lighting. These improvements are planned to be implemented in the same timeline as the Park, with the remainder of improvements completed after the NFL Draft as Phase II.

This is a unique project due to the fact that the work to be accomplished lies entirely within City of Detroit (Detroit) public right-of-way, Detroit Parks and Recreation Owned Park Parcel, or within Gratiot Avenue right-of-way under Michigan Department of Transportation (MDOT) jurisdiction.

#### **DESCRIPTION OF EXISTING CONDITIONS AND SCOPE OF WORK**

Please refer to:

- Madison-Harmonie Historic District Map (from Final Report, May 16, 1988)
- 2024 01 12 HDC Park and Plaza Signed Application.pdf
- 2024 01 15 Paradise Valley Photos.pdf (**Per Itemized list below**)
- 2024 02 01 Paradise Valley Presentation Boards.pdf
- 2024 02 06 Paradise Valley Construction Drawings.pdf

#### **Beatrice Buck Park (Harmonie Park) and Gratiot Plaza**

Progressive AE, Inc.

Corporate Office: | 1811 4 Mile Road NE | Grand Rapids, MI 49525 | 616.361.2664 | progressiveae.com  
Regional Office: | 2937 East Grand Boulevard | Detroit, MI 48202 | 616.361.2664 | progressiveae.com

- A. **Park & Plaza:** Perimeter sidewalk: Where cracked, will be removed and replaced. If in good condition, will be power-washed.
- B. **Park & Plaza:** Perimeter Pole Luminaires: Acorn top lights to remain, upgrade to LED fixtures. Ornamental fluted poles and bases to be re-painted. Where fixtures are damaged, will be replaced in kind.
- C. **Park Only:** Stone Walls: Will be cleaned, mortar replaced, and re-pointed to restore to original condition.
- D. **Park & Plaza:** Trees and Landscaping: Trees will all remain in place. Ivy to be reduced to trunk of trees.
- E. **Park Only:** Interior Park Pavers: Where cracked, will be replaced and repaired, power-washed to refresh.
- F. **Park Only:** Terrazzo Historic Paver Medallions (Artist Hubert Massey): Featuring historical figures, musicians, and community leaders that influenced the area known as Paradise Valley, are to be cleaned and remain in place.
- G. **Park Only:** Michigan Registered Historic Site Markers “Germantown” and “The Harmonie Club” would remain, as well as Detroit Recreation Departments’ “Beatrice M. Buck” Paradise Valley Park marker.
- H. **Park & Plaza:** Stairs and Handrails: To be removed and replaced per Americans with Disabilities Act (ADA) standards. Handrail downlights would illuminate the stairs between dusk and dawn hours.
- I. **Park Only:** Interior black sawtooth sculpture would be cleaned.
- J. **Park & Plaza:** Interior uplights in pavers, wall washers, and tree uplights would be removed and replaced with LED fixtures, as well as the light under the concrete stage.
- K. **Park Only:** Sound speakers would be removed and replaced with new speakers.
- L. **Park Only:** The MoGo electric bike station would remain for mobility purposes.
- M. **Park Only:** The Existing Furniture and Litter Receptacles would be removed and replaced.
- N. **Park Only:** The Water Blade Fountain Feature by the concrete stage would remain.
- O. The irrigation system would remain and be updated to serve the new landscaping needs.
- P. **Park Only:** 100W and 300W projection lighting to be installed for Paradise Valley image projections onto nearby buildings at: 267 Grand River Avenue, 1465 Center Street, and sidewalk adjacent and interior to Park (not in roadway).
- Q. **Park & Plaza:** New Festoon Lighting and Poles.
- R. **Park & Plaza:** New Planter Pots for landscaping.
- S. **Park & Plaza:** New Low Maintenance Perennials, Bulbs, and Grasses.
- T. **Park & Plaza:** New Landscaping Annuals placed for color accents.
- U. **Plaza Only:** Clean, Repaint, and Relocate Existing Sculpture.
- V. **Park & Plaza:** Power pedestals to be replaced.
- W. **Plaza Only:** Concrete Stairs to be removed, increase paver area, and connect concrete retaining wall.

We appreciate the opportunity to meet with you to plan with the City of Detroit for approvals on these improvements.

Sincerely,

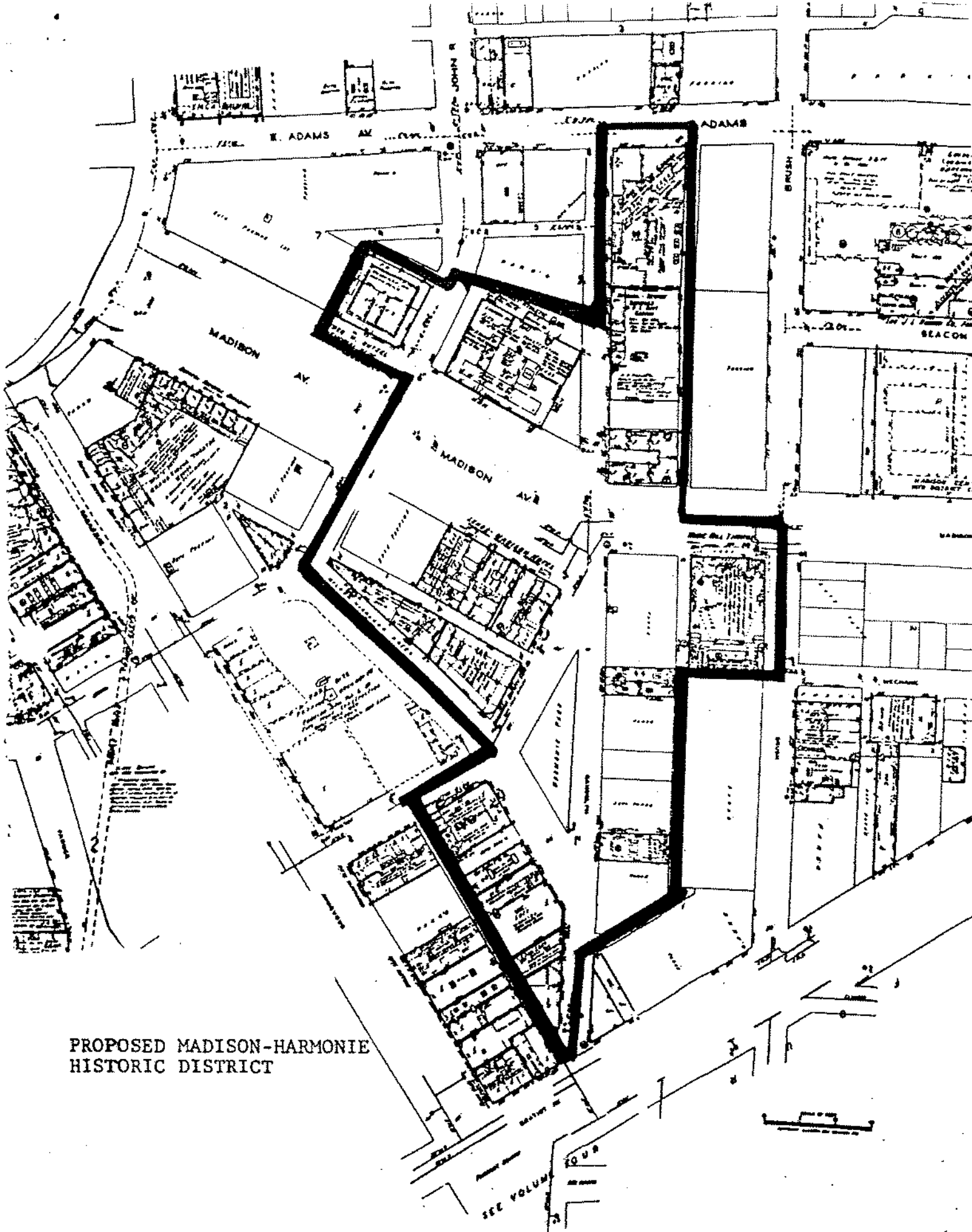
Daniel W. Westenburg, PE, LEED AP, CDT  
Senior Civil Engineer

DWW/ecy

P:\97080001\04 DELIVERABLES\2024 01 15 Historic District Review\1 2024 01 15 Paradise Valley Beatrice Buck Park and Gratiot Plaza Narrative Letter.docx

Progressive AE, Inc.

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PROPOSED MADISON-HARMONIE  
HISTORIC DISTRICT

THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

# HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department  
2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

DATE: 1/12/2024

## PROPERTY INFORMATION

ADDRESS(ES): 1475 Randolph Street AKA: Beatrice Buck Park / Gratiot Plaza

PARCEL ID: 01003945 HISTORIC DISTRICT: B4 & B5

SCOPE OF WORK: (Check ALL that apply)

<input type="checkbox"/> Windows/ Doors	<input type="checkbox"/> Walls/ Siding	<input type="checkbox"/> Painting	<input type="checkbox"/> Roof/Gutters/ Chimney	<input type="checkbox"/> Porch/Deck/ Balcony	<input type="checkbox"/> Addition
<input type="checkbox"/> Demolition	<input type="checkbox"/> Signage	<input type="checkbox"/> New Building	<input type="checkbox"/> Major Alteration (3+ scope items)	<input checked="" type="checkbox"/> Site Improvements (landscape, trees, fences, patios, etc.)	

BRIEF PROJECT DESCRIPTION: Redevelopment and Upgrade of Beatrice Buck Park (Harmonie Park) and Gratiot Plaza

## APPLICANT IDENTIFICATION

Property Owner/  
Homeowner  Contractor  Tenant or  
Business Occupant  Architect/Engineer/  
Consultant

NAME: Daniel W. Westenburg COMPANY NAME: Progressive AE

ADDRESS: 2937 E. Grand Blvd, Ste 505 CITY: Detroit STATE: MI ZIP: 48202

PHONE: 616.361.2664 MOBILE: 616.307.0357 EMAIL: westenbd@progressiveae.com

## PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

\*PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB\*

- Completed Building Permit Application** (highlighted portions only)
- ePLANS Permit Number** (only applicable if you've already applied for permits through ePLANS)
- Current Photographs:** Including the front of the building & detailed photographs of the area(s) affected by the proposed work. All photographs must be labeled or captioned, e.g. "west wall", "second floor window," etc.
- Description of existing conditions** (including materials and design)
- Description of project** (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)
- Detailed scope of work** (formatted as bulleted list)
- Brochure/cut sheets** for proposed replacement material(s) and/or product(s), as applicable

### NOTE:

Based on the scope of work, additional documentation may be required.  
See [www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc) for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSE&ED) to perform the work.

**SUBMIT COMPLETED REQUESTS TO: [HDC@DETROITMI.GOV](mailto:HDC@DETROITMI.GOV)**

## P2 - BUILDING PERMIT APPLICATION

Date: 1/12/2024

### PROPERTY INFORMATION

Address: 1475 Randolph Street Floor: NA Suite#:      Stories:       
 AKA: Beatrice Buck Park / Gratiot Plaza Lot(s):      Subdivision:       
 Parcel ID#(s): 01003945 Total Acres: 0.235 Lot Width: IRR Lot Depth: IRR  
 Current Legal Use of Property: Park & Plaza Proposed Use: Park & Plaza  
 Are there any existing buildings or structures on this parcel?  Yes  No

### PROJECT INFORMATION

Permit Type:  New  Alteration  Addition  Demolition  Correct Violations  
 Foundation Only  Change of Use  Temporary Use  Other: Redevelopment & Upgrade  
 Revision to Original Permit #:      (Original permit has been issued and is active)

### Description of Work (Describe in detail proposed work and use of property, attach work list)

Redevelopment and Upgrades for the Park and Plaza include: Repairs to pavement, landscape stone walls & masonry re-pointing, lighting, electrical, landscaping, furniture, sound system, festoon lighting, projection lighting, and facilitated spaces for food trucks and venue / operator planned events

MBC use change  No MBC use change

### Included Improvements (Check all applicable; these trade areas require separate permit applications)

HVAC/Mechanical  Electrical  Plumbing  Fire Sprinkler System  Fire Alarm

### Structure Type

New Building  Existing Structure  Tenant Space  Garage/Accessory Building  
 Other: NA, Park & Plaza Size of Structure to be Demolished (LxWxH)      cubic ft.

Construction involves changes to the floor plan?  Yes  No

(e.g. Interior demolition or construction to new walls)

Use Group:      Type of Construction (per current MI Bldg Code Table 601)     

Estimated Cost of Construction \$ 768,000 By Contractor \$      By Department

### Structure Use

Residential-Number of Units:       Office-Gross Floor Area       Industrial-Gross Floor Area       
 Commercial-Gross Floor Area:       Institutional-Gross Floor Area       Other-Gross Floor Area     

Proposed No. of Employees:      List materials to be stored in the building:     

**PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements (must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings, existing and proposed distances to lot lines. (Building Permit Application Continues on Next Page)**

### For Building Department Use Only

Intake By:      Date:      Fees Due:      DngBld?  No

Permit Description:

Permit #:      Current Legal Land Use:      Proposed Use:     

Date Permit Issued:      Permit Cost: \$     

Zoning District:      Zoning Grant(s):     

Lots Combined?  Yes  No (attach zoning clearance)

Revised Cost (revised permit applications only) Old \$      New \$     

Structural:      Date:      Notes:     

Zoning:      Date:      Notes:     

Other:      Date:      Notes:     



**IDENTIFICATION (All Fields Required)****Property Owner/Homeowner**  Property Owner/Homeowner is Permit Applicant

Name: \_\_\_\_\_ Company Name: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ Mobile: \_\_\_\_\_

Driver's License #: \_\_\_\_\_ Email: \_\_\_\_\_

**Contractor**  Contractor is Permit Applicant

Representative Name: Brad Byarski Company Name: Premier Group Associates

Address: 2221 Bellevue City: Detroit State: MI Zip: 48207

Phone: 313.963.1700 Mobile: 313.363.1886 Email: brad@pgalc.com

City of Detroit License #: LIC 2021-00701

**TENANT OR BUSINESS OCCUPANT**  Tenant is Permit Applicant

Name: \_\_\_\_\_ Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**ARCHITECT/ENGINEER/CONSULTANT**  Architect/Engineer/Consultant is Permit Applicant

Name: Daniel W. Westenburg State Registration#: 6201049263 Expiration Date: 07/22/2024

Address: 2937 E. Grand Blvd, Ste 505 City: Detroit State: MI Zip: 48202

Phone: 616.361.2664 Mobile: 616.307.0357 Email: westenbd@progressiveae.com

**HOMEOWNER AFFIDAVIT** (Only required for residential permits obtained by homeowner.)

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
(Homeowner)

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_ A.D. \_\_\_\_\_ County, Michigan

Signature: \_\_\_\_\_ My Commission Expires: \_\_\_\_\_  
(Notary Public)**PERMIT APPLICANT SIGNATURE**

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be

Print Name: Nevan Shokar Signature: \_\_\_\_\_ Date: 1/12/2024  
(Permit Applicant)

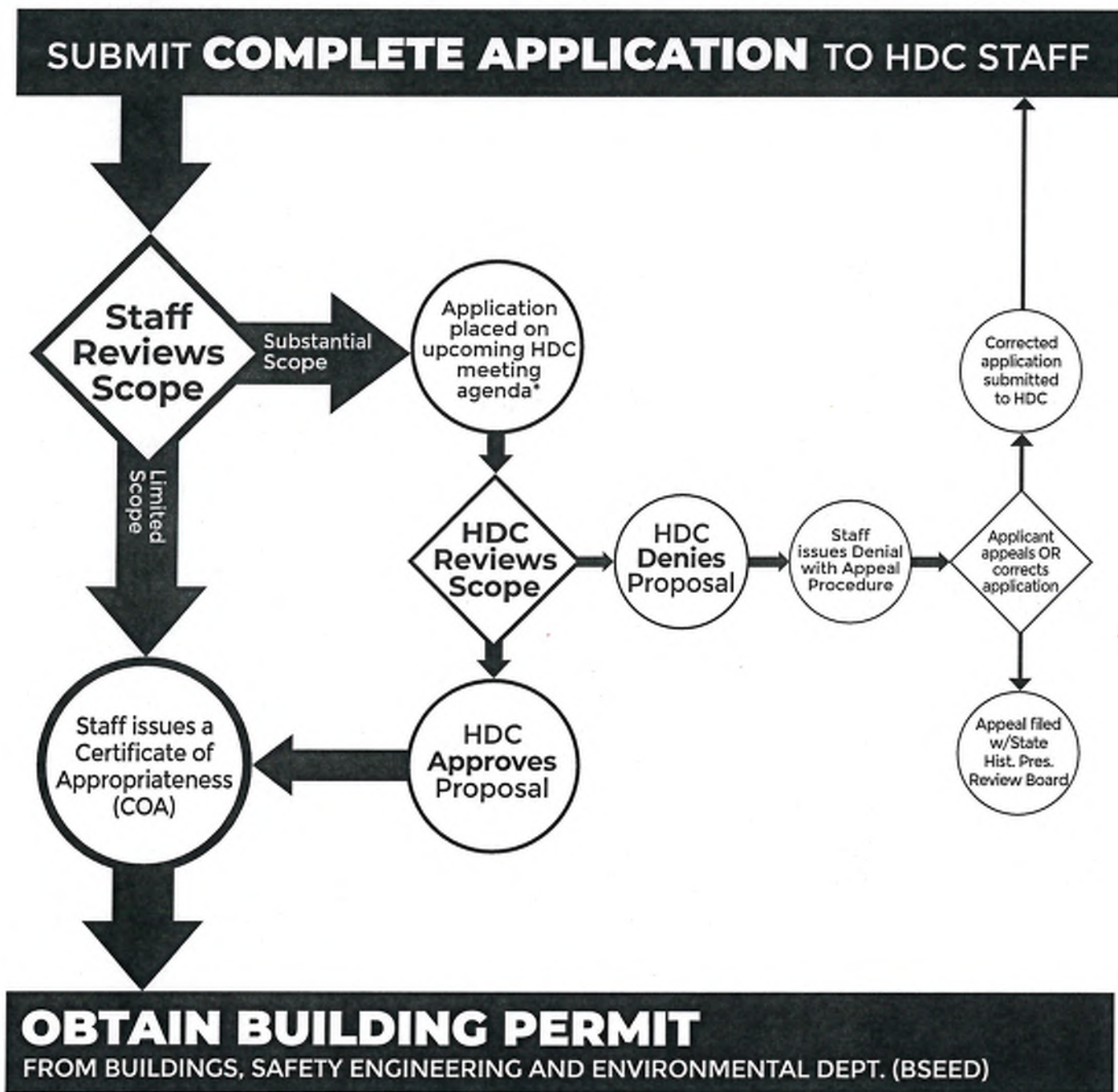
Driver's License #: S260 626 766 280 Expiration: 04/10/2025

Subscribed and sworn to before me this 12<sup>th</sup> day of January 20 24 A.D. Wayne County, MichiganSignature: \_\_\_\_\_ My Commission Expires: 09/22/2028  
(Notary Public)

**Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.**

This application can also be completed online. Visit [detroitmi.gov/bseed/elaps](http://detroitmi.gov/bseed/elaps) for more information.

# HISTORIC DISTRICT COMMISSION REVIEW & PERMIT PROCESS



\* THE COMMISSION MEETS REGULARY AT LEAST ONCE PER MONTH, TYPICALLY ON THE SECOND WEDNESDAY OF THE MONTH.  
(SEE WEBSITE FOR MEETING SCHEDULE/AGENDAS)

FIND OUT MORE AT: [www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc)

DETROIT  
**PARADISE**  
*valley*

HISTORIC DISTRICT COMMISSION  
PROJECT REVIEW  
JANUARY 15, 2024



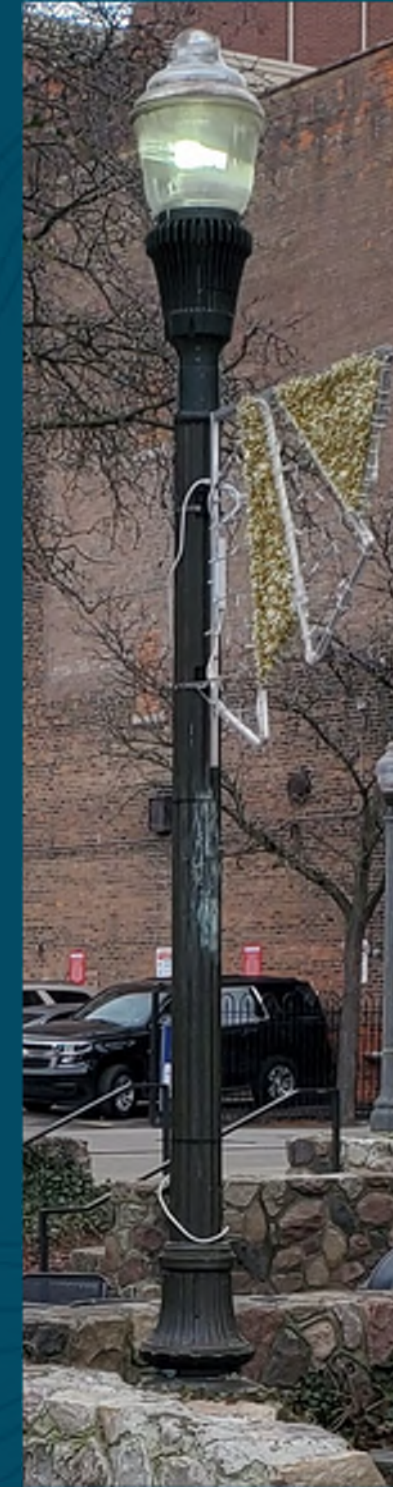
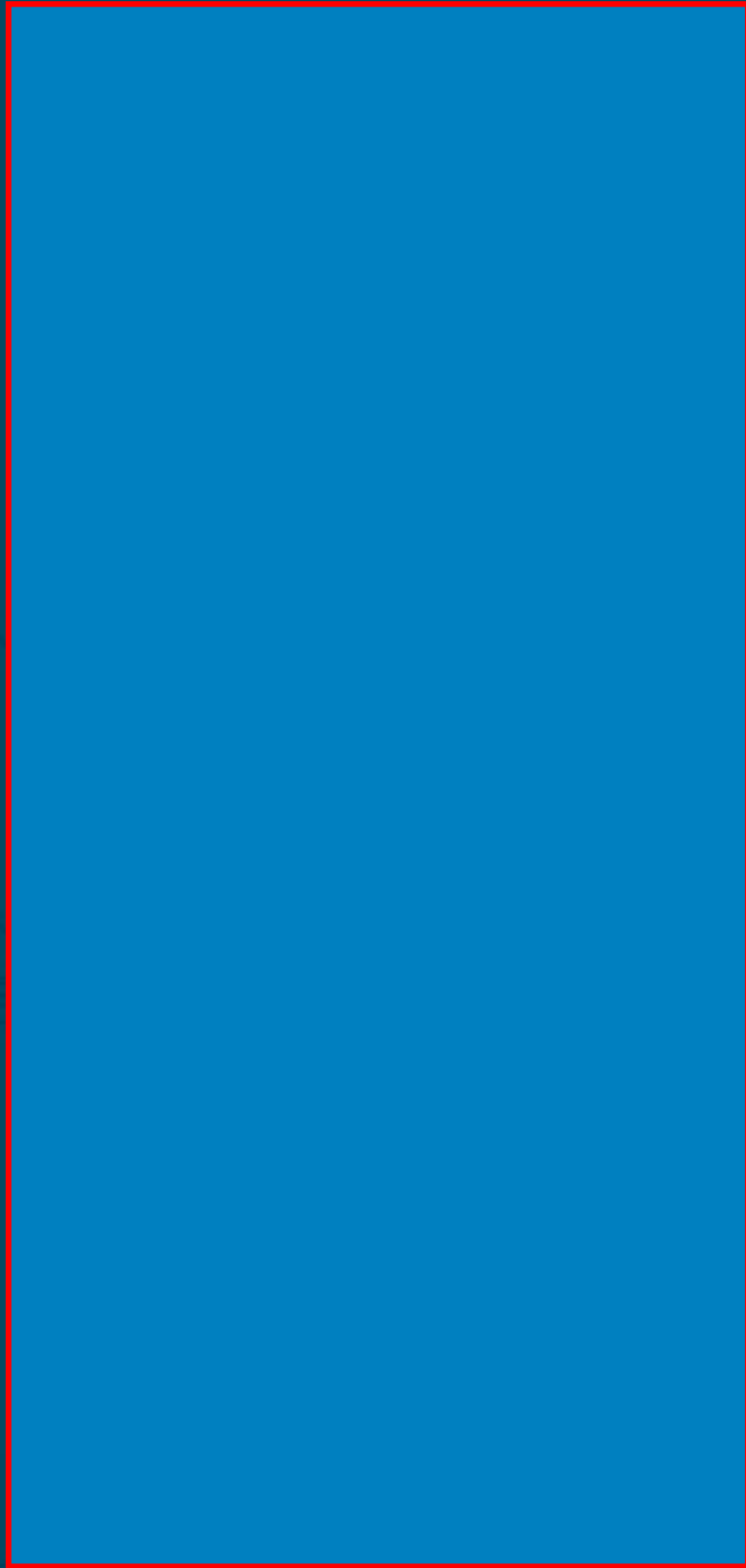
REDEVELOPMENT AND UPGRADE OF  
BEATRICE BUCK PARK (HARMONIE PARK)  
AND GRATIOT PLAZA



# • BEATRICE BUCK PARK



A. Perimeter sidewalk: Where cracked, will be removed and replaced. If in good condition, will be power-washed.



C. Perimeter Pole  
Luminaires: Acorn top lights to remain, upgrade to LED fixtures. Ornamental fluted poles and bases to be repainted. Where fixtures are damaged, will be replaced in kind.

- BEATRICE BUCK PARK



D. Stone Walls: Will be cleaned, mortar replaced and re-pointed to restore to original condition.

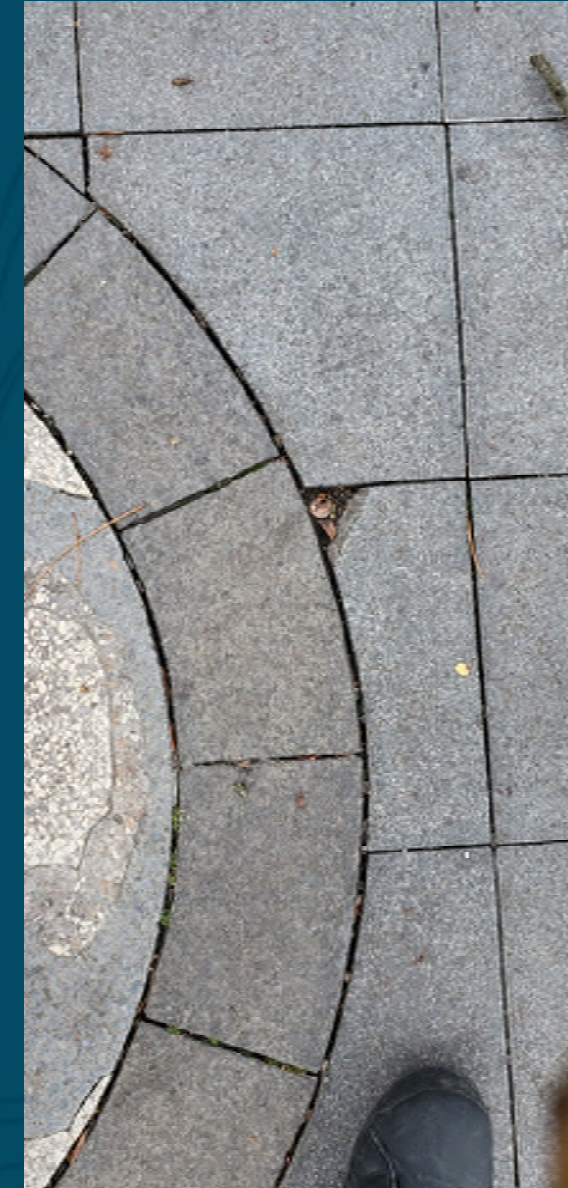
E. Trees and Landscaping:

Trees are to be pruned and ivy cut back to trunks and selectively removed from landscaping areas

- BEATRICE BUCK PARK



F. Interior Park Pavers: Where cracked, will be replaced and repaired, power-washed to refresh



- BEATRICE BUCK PARK



G. 21 Terrazzo Historic Paver Medallions (Artist Hubert Massey): featuring historical figures, musicians, and community leaders that influenced the area known as Paradise Valley, are to be restored and remain in place.

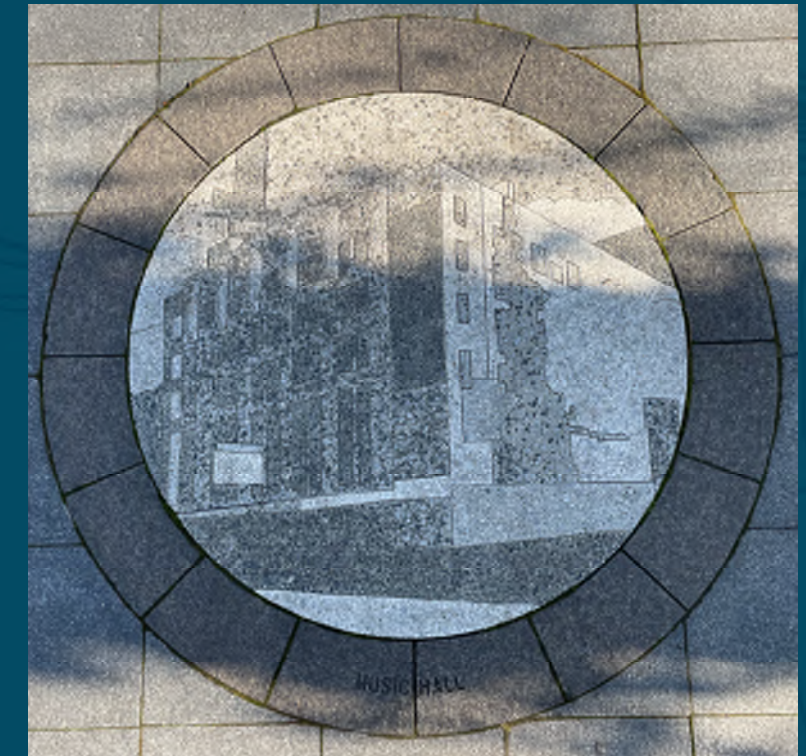
- BEATRICE BUCK PARK



*(clockwise from top)*  
Cab Calloway  
Louis Armstrong  
Billie Holliday  
Charlie Parker



The Detroit Athletic Club



Music Hall



Frederick M. Butzel Memorial Building



The Harmonie Club

- BEATRICE BUCK PARK



*(clockwise from top)*

Edward Kennedy "Duke" Ellington

Billy Eckstine

Ella Fitzgerald

Dinah Washington

Sarah Vaughn



Rolovest



Irving Roane & John J. White



Maxine Powell



William Nathaniel "Sunnie" Wilson

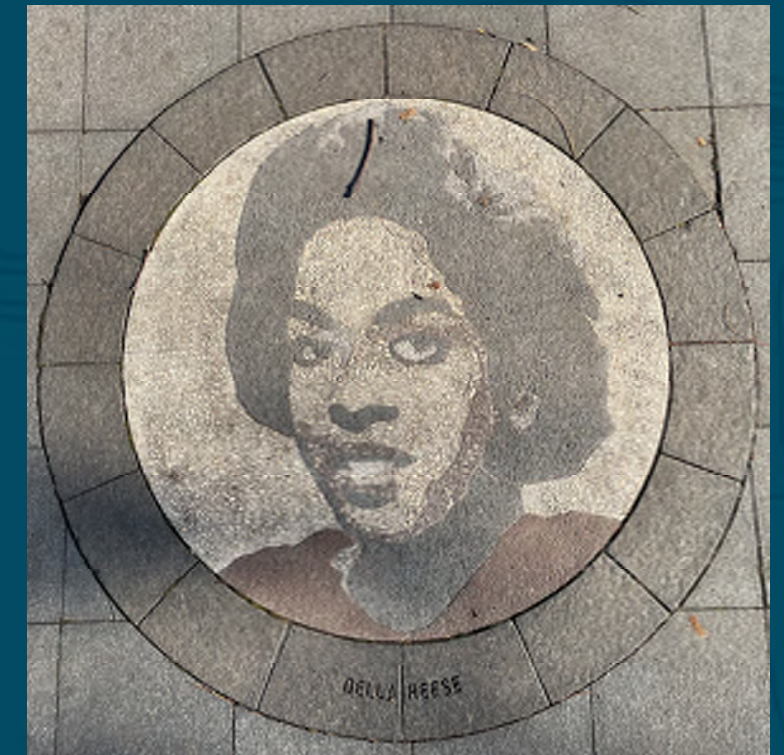
- BEATRICE BUCK PARK



Joe "Ziggy" Johnson



Richard H. Austin & Sidney Barthwell



Della Reese



Yusef Lateef



Alberta Adams

- BEATRICE BUCK PARK



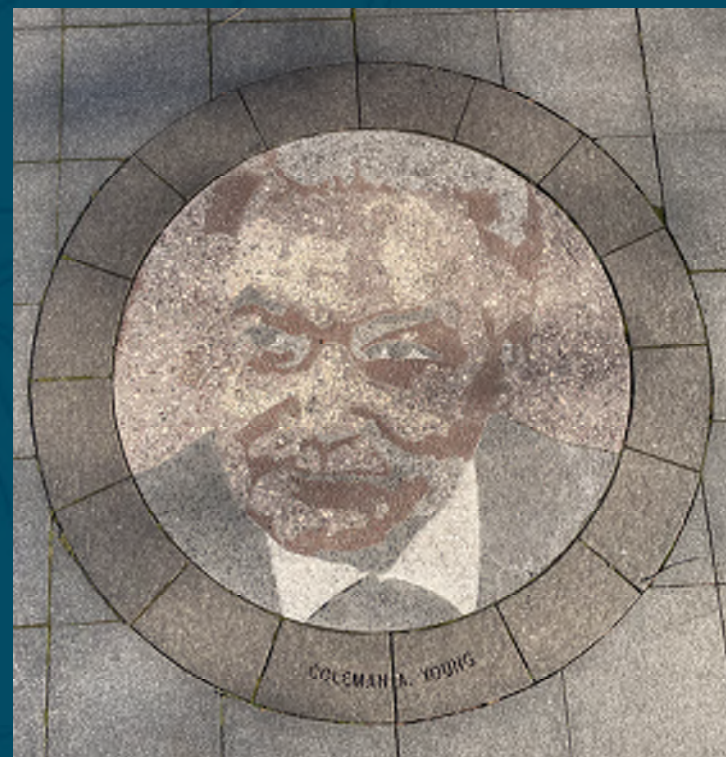
Motown



Paul Robeson



Dudley Randall & Robert Hayden



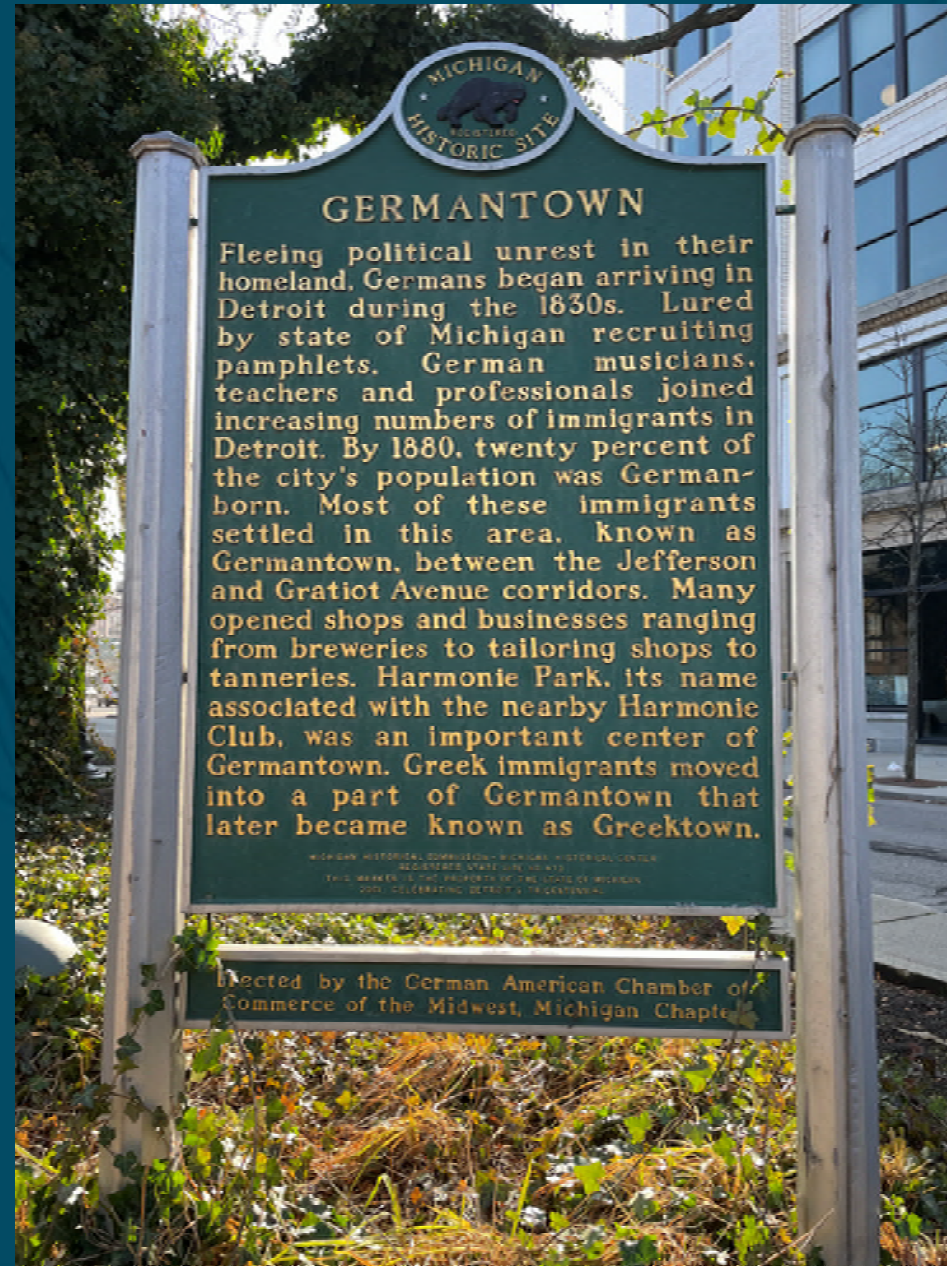
Coleman A. Young



Joe Louis Barrow

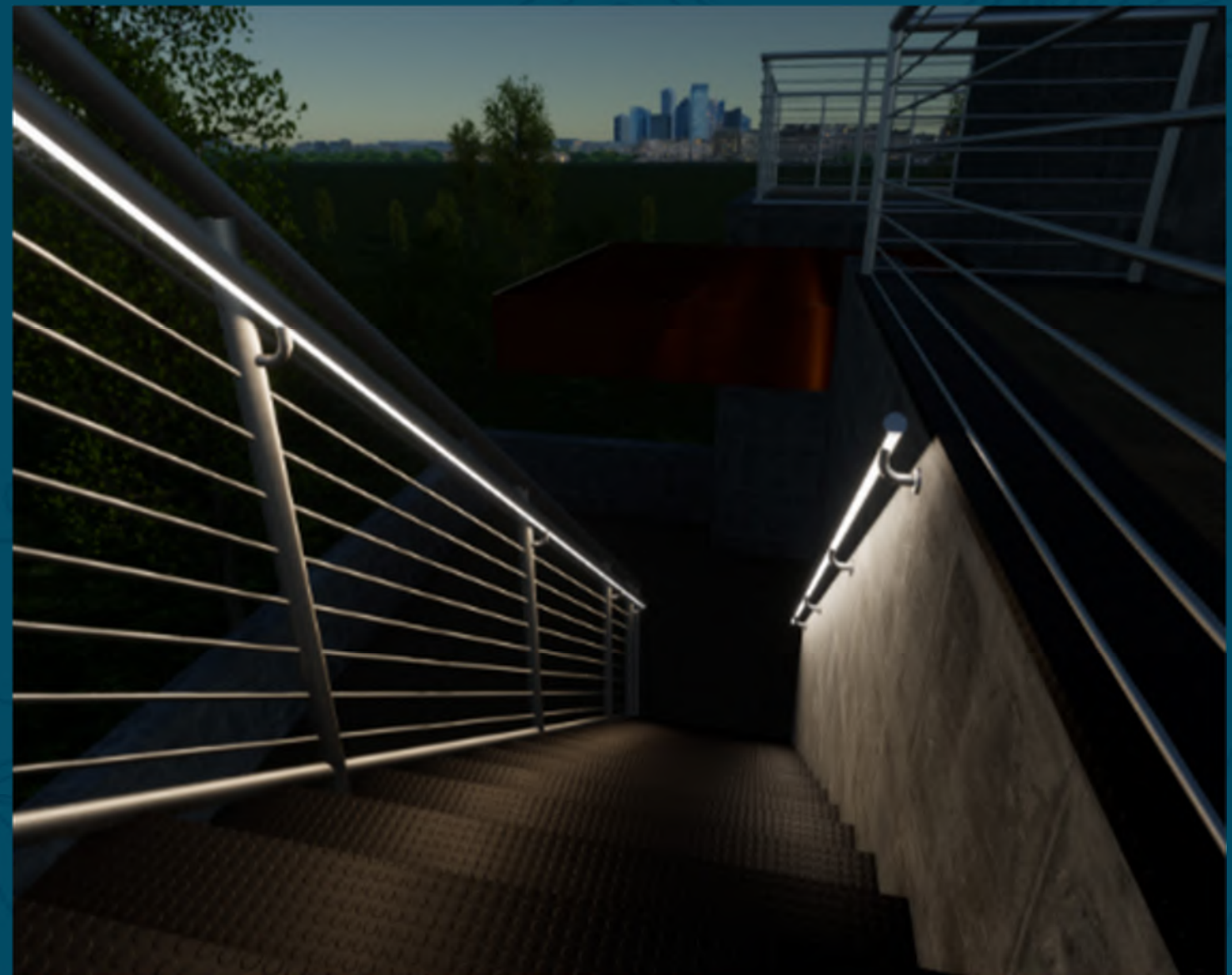


- BEATRICE BUCK PARK



H. Michigan Registered Historic Site Markers “Germantown” and “The Harmonie Club” would remain, as well as Detroit Recreation Departments’ “Beatrice M. Buck” Paradise Valley Park marker.

- BEATRICE BUCK PARK



1. Handrails are to be replaced with downlit handrails. Stairs are to remain in place.

Handrail downlights would illuminate the stairs between dusk and dawn hours.

# • BEATRICE BUCK PARK



J. Interior black sawtooth sculpture to be repainted and restored.



K. Interior uplights in pavers, wall washers, and tree uplights would be removed and replaced with LED fixtures, as well as the light under the concrete stage.

L. Sound speakers would be removed and replaced.



- BEATRICE BUCK PARK



M. The MoGo electric bike station would remain for mobility purposes



N. The Existing Furniture and Litter Receptacles would be removed and replaced.



- BEATRICE BUCK PARK



O. The Water Blade Fountain Feature by the concrete stage would remain.



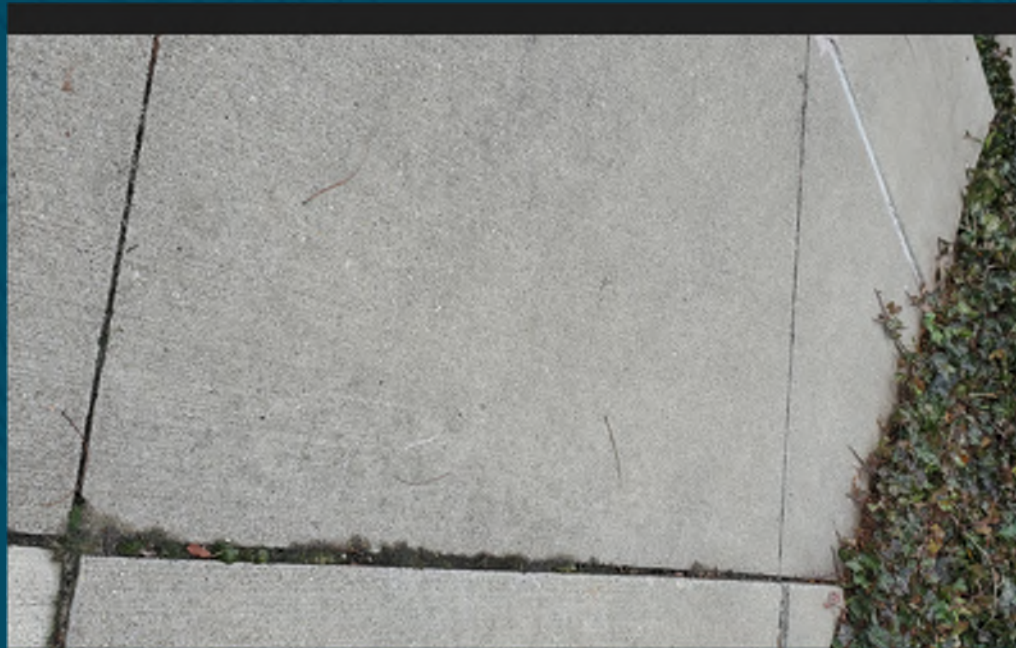
P. The irrigation system would remain and heads would be updated to serve the new landscaping needs.



# • GRATIOT PLAZA



A. Perimeter sidewalk: Where cracked, will be removed and replaced. If in good condition, will be power-washed.



C. Perimeter Pole  
Luminaires: Acorn top lights to remain, upgrade to LED fixtures. Ornamental fluted poles and bases to be repainted. Where fixtures are damaged, will be replaced in kind.



- BEATRICE BUCK PARK

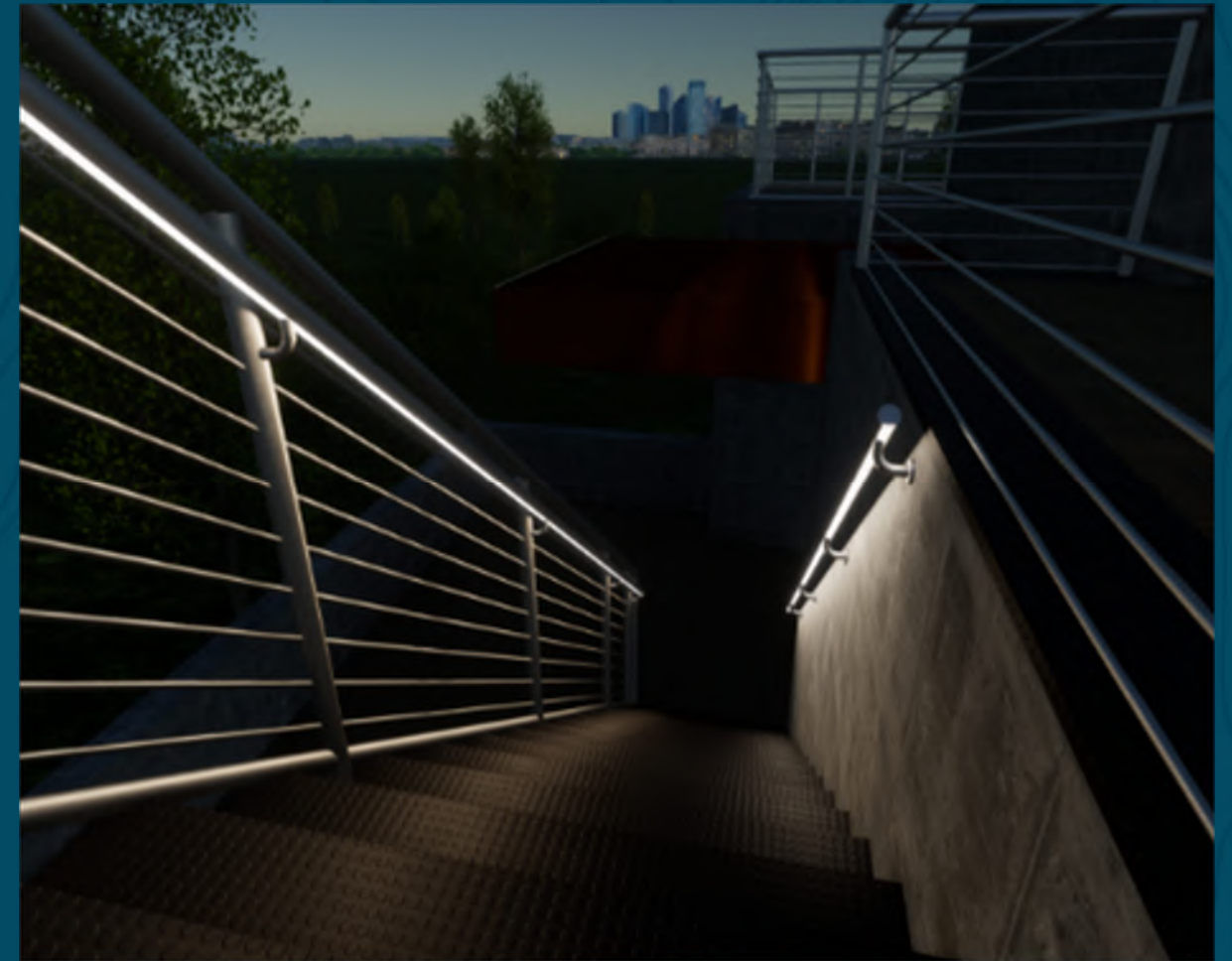


E. Trees are to be pruned and ivy cut back to trunks and selectively removed from landscaping areas



F. Pavers to be replaced with patchwork pavers

- GRATIOT PLAZA



1. Handrails are to be replaced with downlit handrails. Stairs are to remain in place.

Handrail downlights would illuminate the stairs between dusk and dawn hours.



- GRATIOT PLAZA



X. Clean, Repaint, and Relocate Existing Sculpture

- GRATIOT PLAZA



Y. Power pedestals to be replaced.



Z. Concrete Stairs to be removed, increase paver area & connect concrete retaining wall



progressive|ae



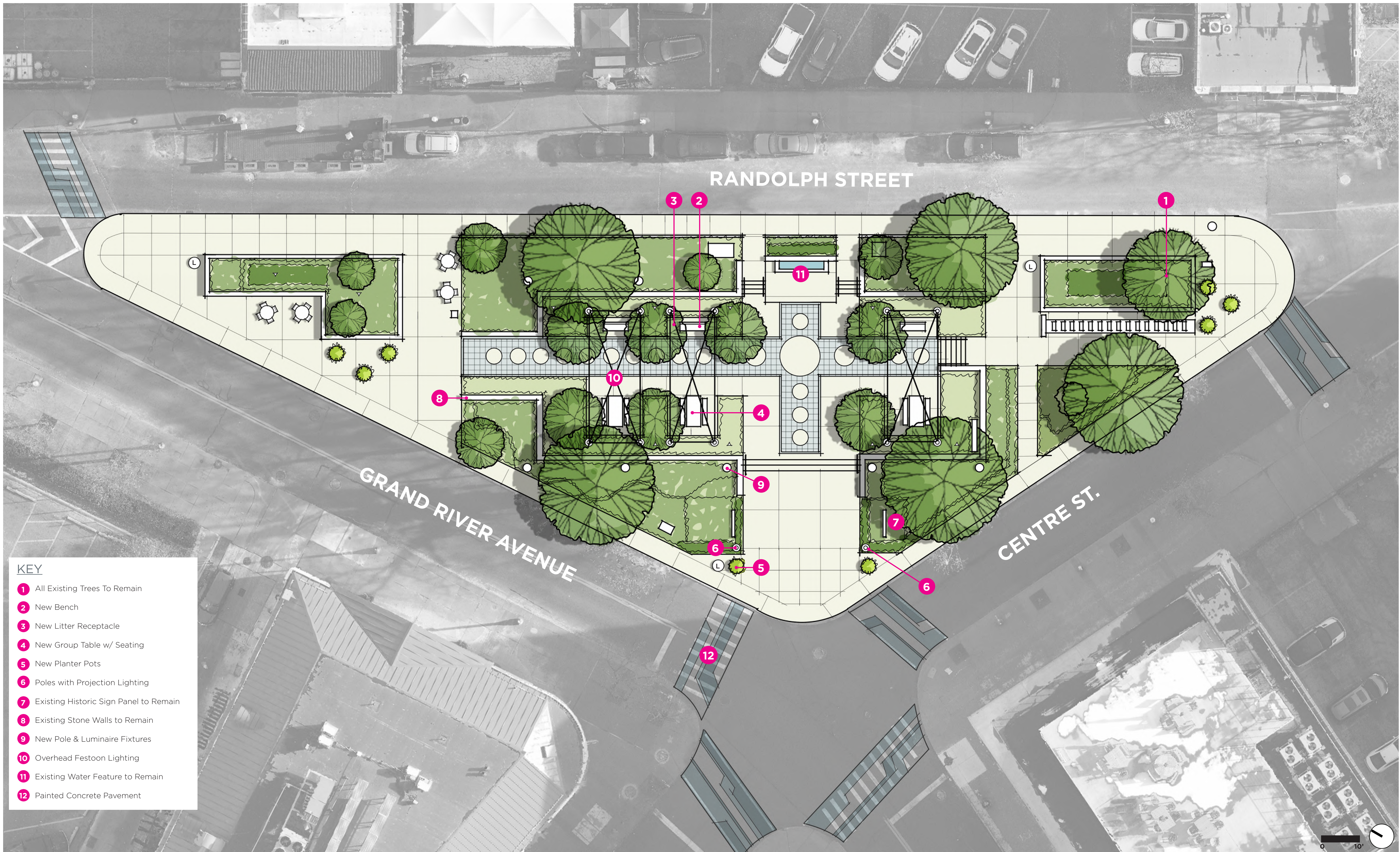
Paradise Valley Cultural & Entertainment District

# Renovations and Upgrades to Beatrice Buck Park and Gratiot Plaza



progressive|ae

Date: February 1, 2024



RANDOLPH STREET

GRAND RIVER AVENUE

CENTRE ST.

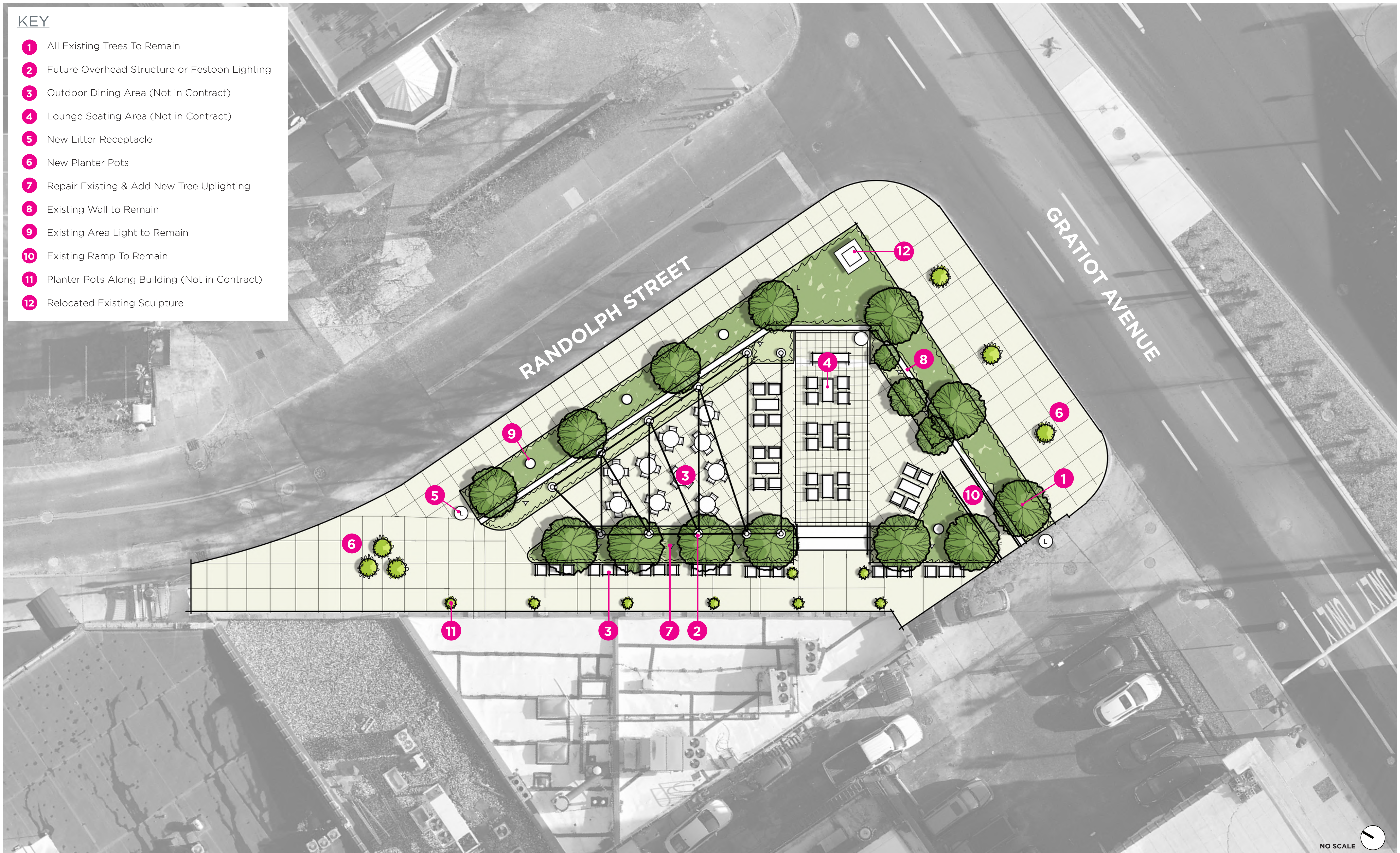
- KEY**
- 1 All Existing Trees To Remain
  - 2 New Bench
  - 3 New Litter Receptacle
  - 4 New Group Table w/ Seating
  - 5 New Planter Pots
  - 6 Poles with Projection Lighting
  - 7 Existing Historic Sign Panel to Remain
  - 8 Existing Stone Walls to Remain
  - 9 New Pole & Luminaire Fixtures
  - 10 Overhead Festoon Lighting
  - 11 Existing Water Feature to Remain
  - 12 Painted Concrete Pavement

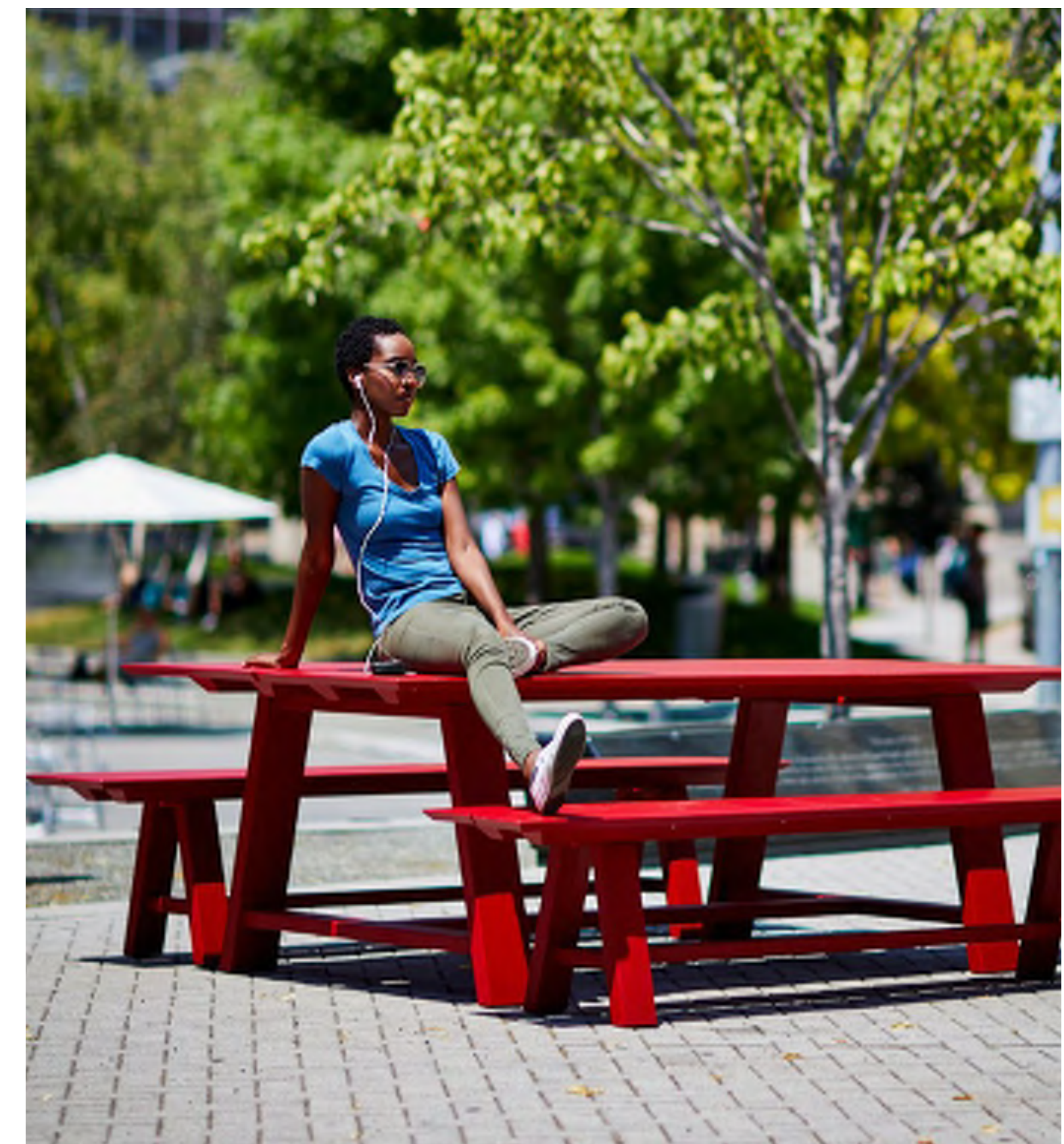
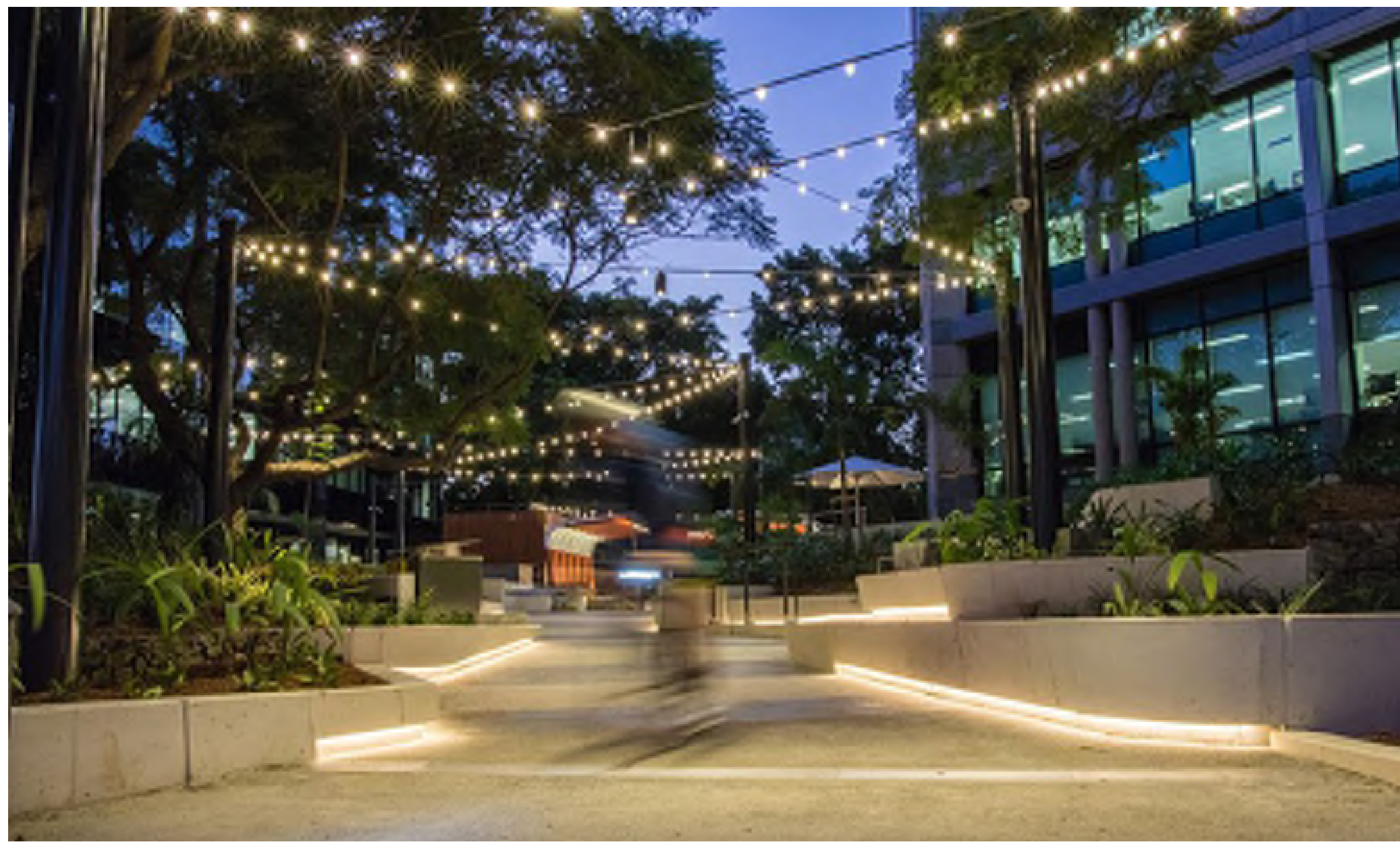
# BEATRICE BUCK PARK - CONCEPT IMPROVEMENT PLAN

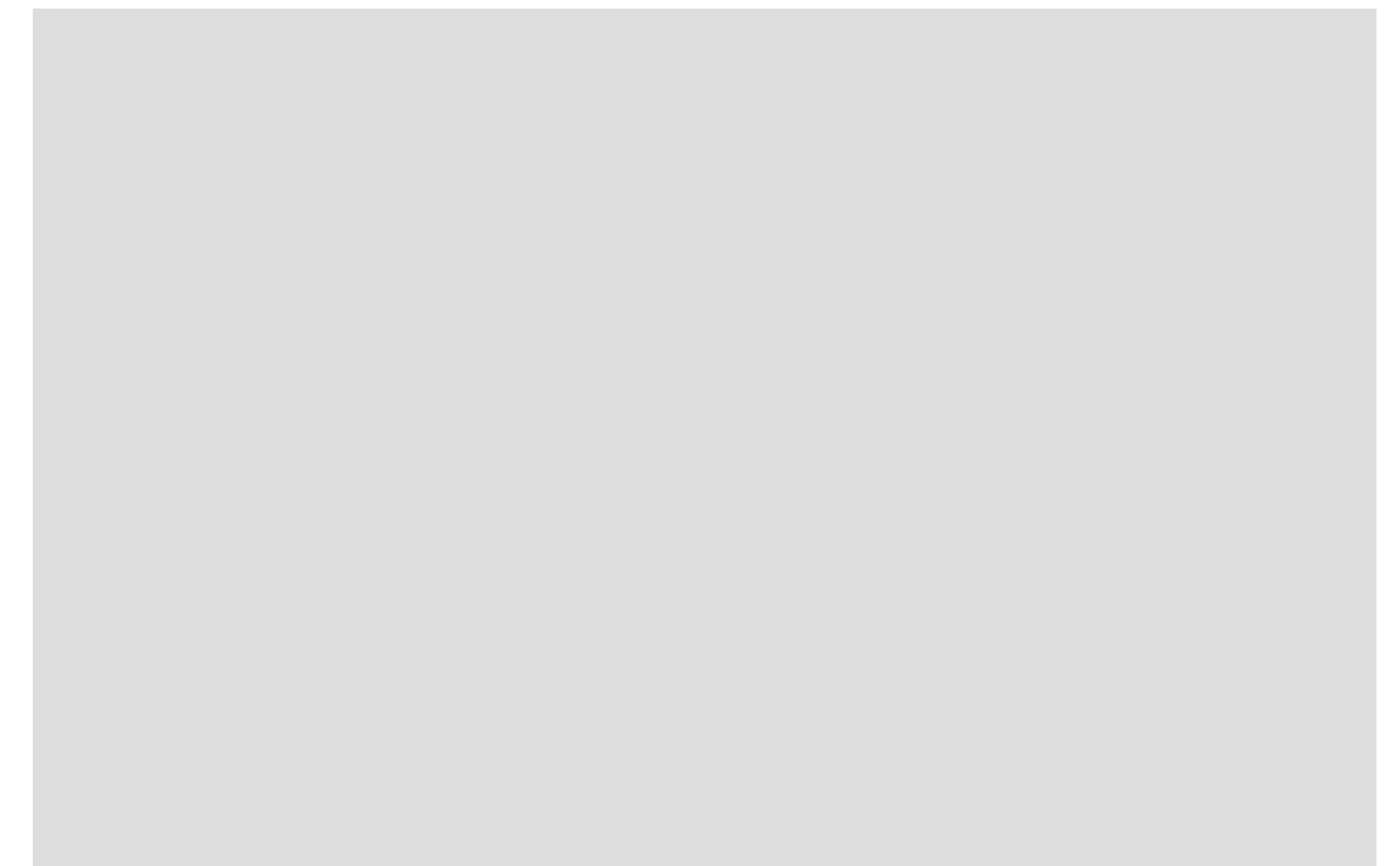
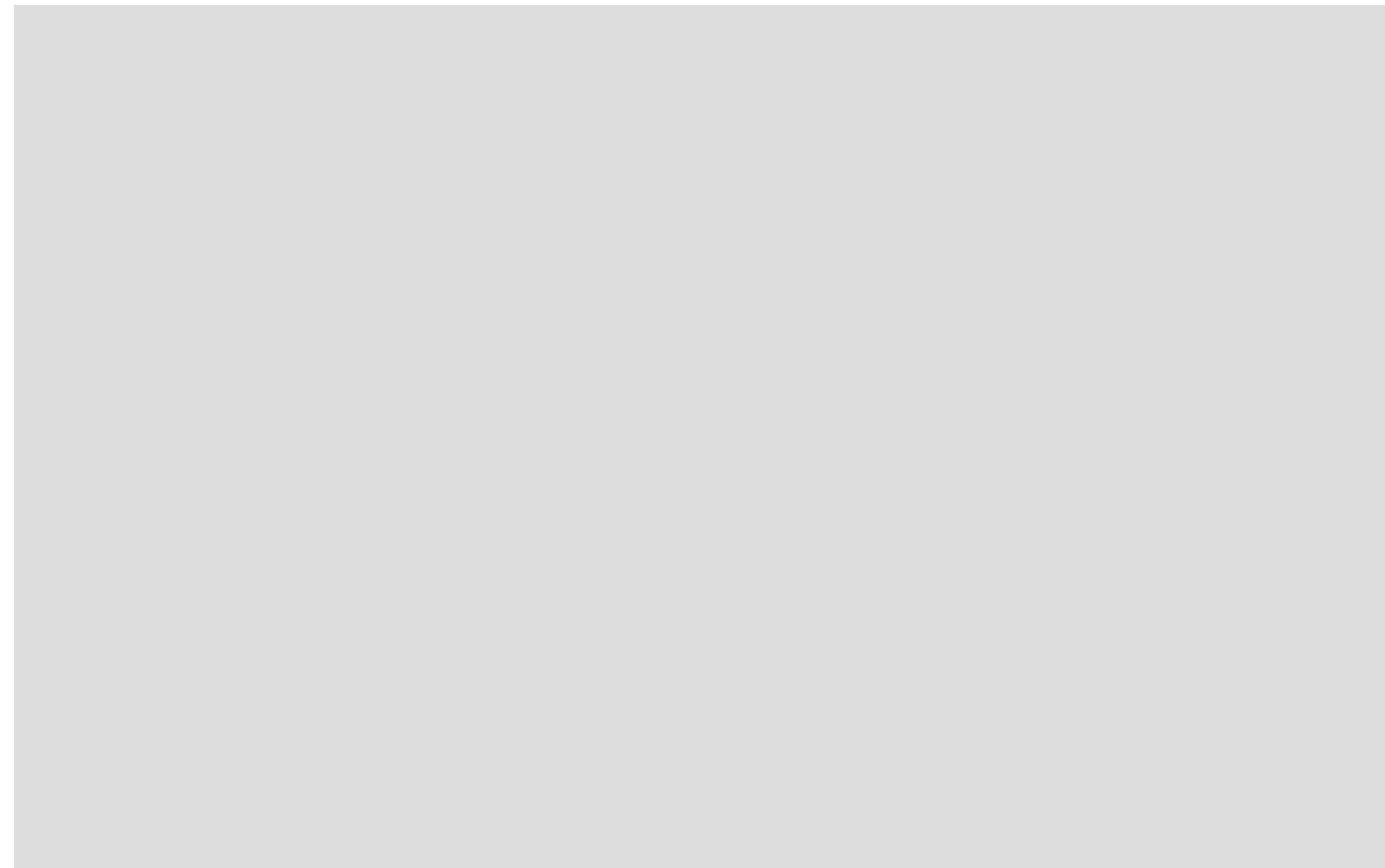
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**KEY**

- 1 All Existing Trees To Remain
- 2 Future Overhead Structure or Festoon Lighting
- 3 Outdoor Dining Area (Not in Contract)
- 4 Lounge Seating Area (Not in Contract)
- 5 New Litter Receptacle
- 6 New Planter Pots
- 7 Repair Existing & Add New Tree Uplighting
- 8 Existing Wall to Remain
- 9 Existing Area Light to Remain
- 10 Existing Ramp To Remain
- 11 Planter Pots Along Building (Not in Contract)
- 12 Relocated Existing Sculpture









# PARADISE VALLEY CULTURAL AND ENTERTAINMENT DISTRICT CONSERVANCY

# REDEVELOPMENT AND UPGRADE OF BEATRICE BUCK PARK (HARMONIE PARK) AND GRATIOT PLAZA

1475 Randolph Street, Detroit, MI 48226

ISSUED FOR: CITY APPROVAL

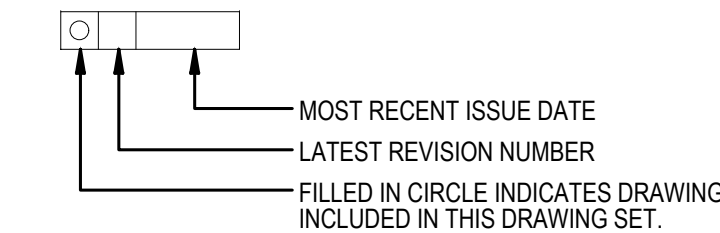
DATE: 02/06/2024



**CALL 811 NOTE:**  
CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

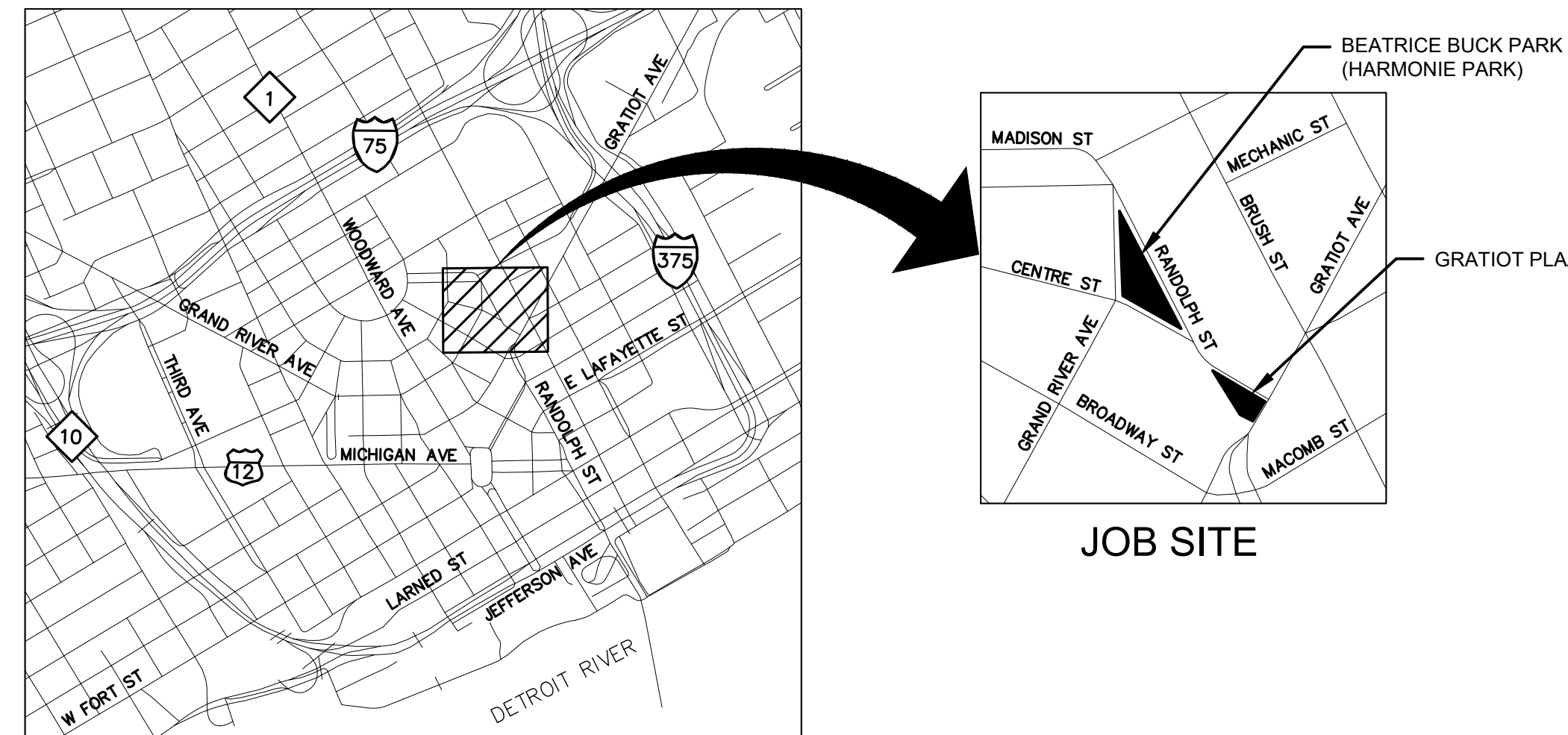
**PROGRESSIVE | ae**  
 PARADISE VALLEY CULTURAL AND ENTERTAINMENT DISTRICT CONSERVANCY  
 REDEVELOPMENT AND UPGRADE OF BEATRICE BUCK PARK (HARMONIE PARK) AND GRATIOT PLAZA  
 DETROIT, MICHIGAN  
 COA ARCHITECT COA ENGINEER  
 PROGRESSIVE AE, INC.  
 1811 1/4 Mile Rd NE | Grand Rapids, MI 49525 | 616.361.2664  
 2307 E. Grand Blvd., Suite 305 | Detroit, MI 48202 | 616.361.2664 | www.progressiveae.com

### DRAWING LIST LEGEND



### DRAWING INDEX

● - 02/06/24	C001	COVER SHEET
● - 02/06/24	C100	OVERALL EXISTING CONDITIONS
● - 02/06/24	C101	ENLARGED EXISTING CONDITIONS (PARK)
● - 02/06/24	C102	ENLARGED EXISTING CONDITIONS (PLAZA)
● - 02/06/24	C103	BEATRICE BUCK PARK SITE DEMOLITION
● - 02/06/24	C104	GRATIOT PLAZA SITE DEMOLITION
● - 02/06/24	C201	BEATRICE BUCK PARK SITE LAYOUT
● - 02/06/24	C202	GRATIOT PLAZA SITE LAYOUT
● - 02/06/24	C211	BEATRICE BUCK PARK EXISTING SIGNAGE AND STRIPING
● - 02/06/24	C212	GRATIOT PLAZA EXISTING SIGNAGE AND STRIPING
● - 02/06/24	C301	BEATRICE BUCK PARK GRADING AND SESC PLAN
● - 02/06/24	C302	GRATIOT PLAZA GRADING AND SESC PLAN
● - 02/06/24	C501	SITE DETAILS
● - 02/06/24	L201	BEATRICE BUCK PARK LANDSCAPING
● - 02/06/24	L202	BEATRICE BUCK PARK LANDSCAPING
● - 02/06/24	L203	SITE LANDSCAPE PLAN (PLAZA)
● - 02/06/24	L701	BEATRICE BUCK PARK SITE FURNISHINGS
● - 02/06/24	L702	BEATRICE BUCK PARK SITE FURNISHINGS
● - 02/06/24	L703	GRATIOT PLAZA SITE FURNISHINGS
● - 02/06/24	E001	ELECTRICAL NOTES AND ABBREVIATIONS
● - 02/06/24	ES001	OVERALL ELECTRICAL DEMOLITION SITE PLAN
● - 02/06/24	ES002	BEATRICE BUCK PARK ELECTRICAL SITE LAYOUT POWER
● - 02/06/24	ES003	BEATRICE BUCK PARK ELECTRICAL SITE LAYOUT LIGHTING
● - 02/06/24	ES004	BEATRICE BUCK PARK ELECTRICAL SITE LAYOUT SYSTEMS
● - 02/06/24	ES005	GRATIOT PLAZA ELECTRICAL SITE LAYOUT POWER
● - 02/06/24	ES006	GRATIOT PLAZA ELECTRICAL SITE LAYOUT LIGHTING
● - 02/06/24	ES007	GRATIOT PLAZA ELECTRICAL SITE LAYOUT SYSTEMS
● - 02/06/24	E601	ELECTRICAL DETAILS
● - 02/06/24	E602	ELECTRICAL SCHEDULES



### CONTACTS & AGENCIES

PUBLIC	PRIVATE
DETROIT CITY ENGINEERING LAND USE 2 WOODWARD AVE DETROIT, MI 48226 (313) 224-3935	123.NET (FIBER OPTIC) (248) 431-4584
DETROIT CITY WATER & SEWERAGE 735 RANDOLPH ST DETROIT, MI 48226 (313) 663-0354	AT&T (TEL/FIBER OPTIC) (616) 881-2268 (TEL/ANTENNA) (800) 252-1133 (FIBER)
DETROIT PEOPLE MOVER SYSTEM (313) 224-2182	COMCAST (CABLE TV) (855) 962-8525
DETROIT PUBLIC LIGHTING (ELECTRIC) 1340 THIRD AVE DETROIT, MI 48226 (313) 267-5130	DTE ENERGY (ELECTRIC) (313) 407-5364
DETROIT THERMAL (STEAM) 541 MADISON ST DETROIT, MI 48226 (313) 363-8243	DTE ENERGY (NATURAL GAS) (248) 318-7839
GREAT LAKES WATER AUTHORITY (313) 799-0289	EVERSTREAM (FIBER OPTIC) (463) 274-6600
WAYNE COUNTY DPS LAND USE (734) 595-6504	EXTENET SYSTEMS (FIBER OPTIC) (616) 648-5309
	INTERNATIONAL TRANSMISSION COMPANY (FIBER OPTIC) (888) 269-8740
	MCIVERIZON BUSINESS (FIBER OPTIC) (800) 624-9675
	NEXTEL COMMUNICATIONS (FIBER OPTIC) (816) 309-4004



DETROIT  
**PARADISE**  
*valley*

**progressive | ae**

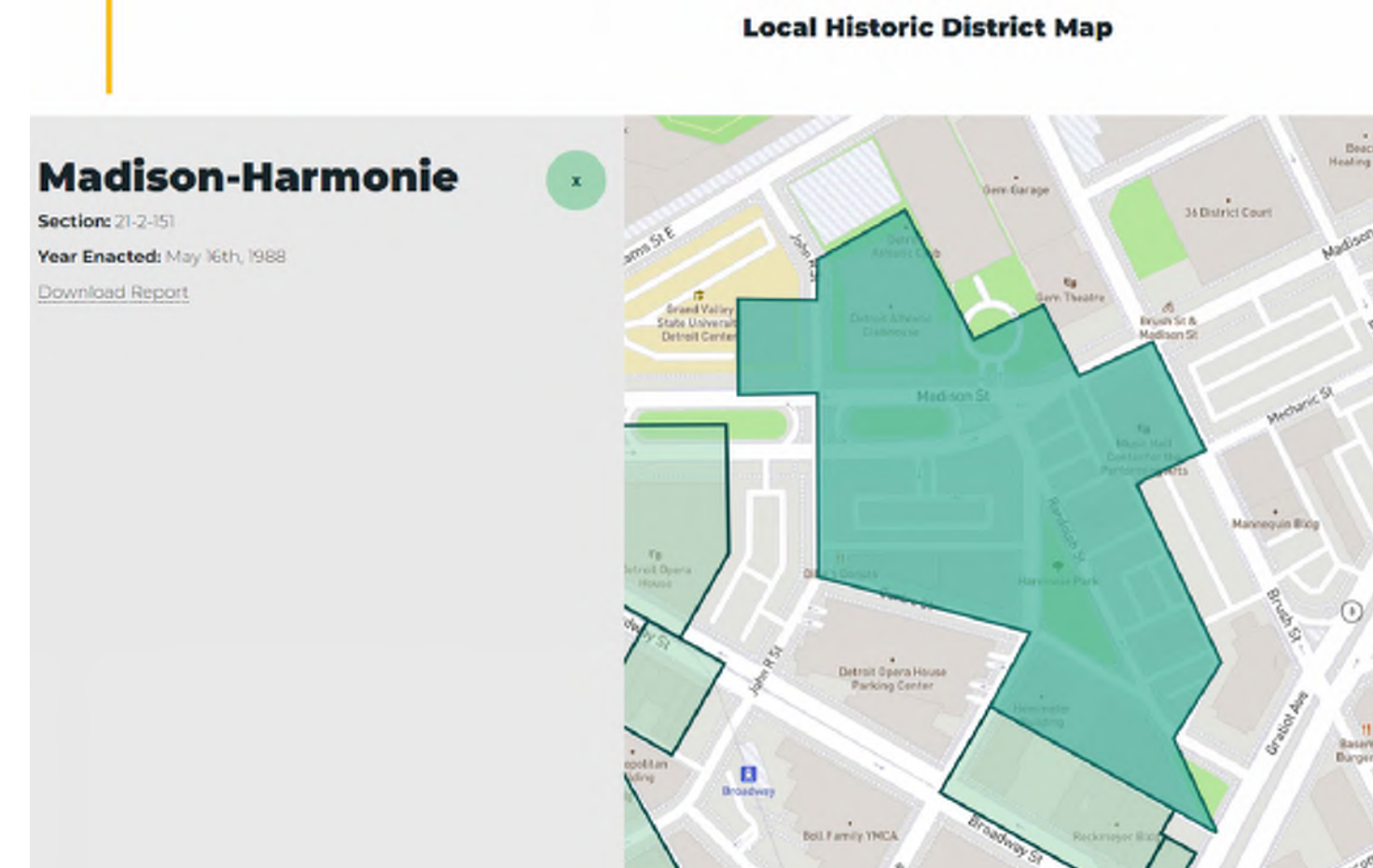
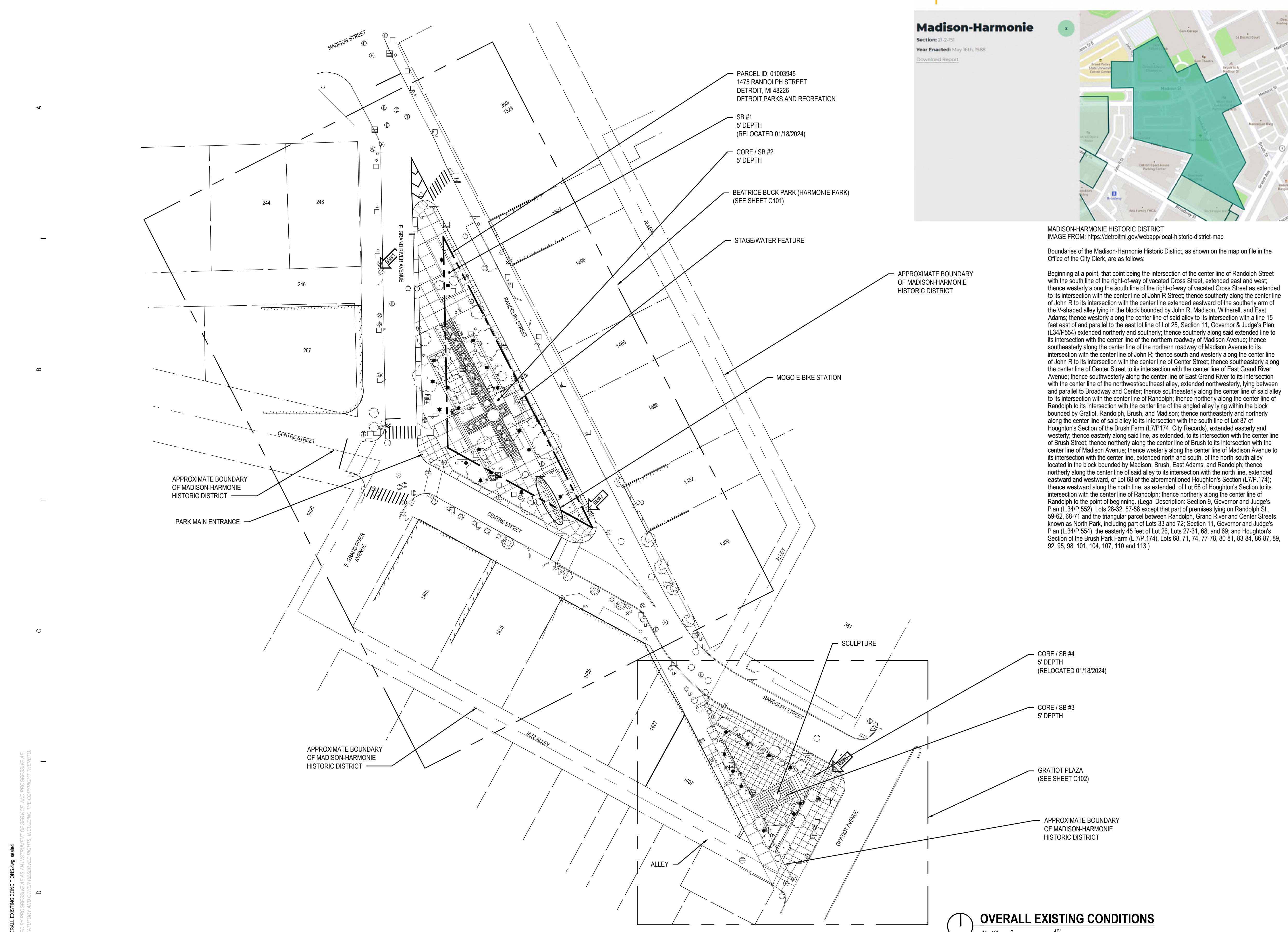
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**ISSUANCE**  
02/06/2024  
CITY APPROVAL

PROJECT NUMBER  
97080001  
PROJECT MANAGER  
DWW  
PROFESSIONAL  
DWW  
DRAWN BY  
DDS  
CHECKED BY  
DWW

**COVER SHEET**  
**C001**

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**MADISON-HARMONIE HISTORIC DISTRICT**  
 IMAGE FROM: <https://detroitmi.gov/webapp/local-historic-district-map>

Boundaries of the Madison-Harmonie Historic District, as shown on the map on file in the Office of the City Clerk, are as follows:

Beginning at a point, that point being the intersection of the center line of Randolph Street with the south line of the right-of-way of vacated Cross Street, extended east and west; thence westerly along the south line of the right-of-way of vacated Cross Street as extended to its intersection with the center line of John R Street; thence southerly along the center line of John R to its intersection with the center line extended eastward of the southerly arm of the V-shaped alley lying in the block bounded by John R, Madison, Withersell, and East Adams; thence westerly along the center line of said alley to its intersection with a line 15 feet east of and parallel to the east lot line of Lot 25, Section 11, Governor & Judge's Plan (L34/P554) extended northerly and southerly; thence southerly along said extended line to its intersection with the center line of the northern roadway of Madison Avenue; thence southeasterly along the center line of the northern roadway of Madison Avenue to its intersection with the center line of John R; thence south and westerly along the center line of John R to its intersection with the center line of Center Street; thence southeasterly along the center line of Center Street to its intersection with the center line of East Grand River Avenue; thence southwesterly along the center line of East Grand River to its intersection with the center line of the northwest/southeast alley, extended northwesterly, lying between and parallel to Broadway and Center; thence southeasterly along the center line of said alley to its intersection with the center line of Randolph; thence northerly along the center line of Randolph to its intersection with the center line of the angled alley lying within the block bounded by Gratiot, Randolph, Brush, and Madison; thence northeasterly and northerly along the center line of said alley to its intersection with the south line of Lot 87 of Houghton's Section of the Brush Farm (L7/P174, City Records), extended easterly and westerly; thence easterly along said line, as extended, to its intersection with the center line of Brush Street; thence northerly along the center line of Brush to its intersection with the center line of Madison Avenue; thence westerly along the center line of Madison Avenue to its intersection with the center line, extended north and south, of the north-south alley located in the block bounded by Madison, Brush, East Adams, and Randolph; thence northerly along the center line of said alley to its intersection with the north line, extended eastward and westward, of Lot 68 of the aforementioned Houghton's Section (L7/P-174); thence westward along the north line, as extended, of Lot 68 of Houghton's Section to its intersection with the center line of Randolph; thence northerly along the center line of Randolph to the point of beginning. (Legal Description: Section 9, Governor and Judge's Plan (L-34/P-552), Lots 28-32, 57-58 except that part of premises lying on Randolph St., 59-62, 68-71 and the triangular parcel between Randolph, Grand River and Center Streets known as North Park, including part of Lots 33 and 72, Section 11, Governor and Judge's Plan (L-34/P-554), the easterly 45 feet of Lot 26, Lots 27-31, 68, and 69; and Houghton's Section of the Brush Park Farm (L-7/P-174), Lots 68, 71, 74, 77-78, 80-81, 83-84, 86-87, 89, 92, 95, 98, 101, 104, 107, 110 and 113.)



**CALL 811 NOTE:**

CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

**ZONING NOTES**

**ZONE DISTRICT:** MAJOR BUSINESS DISTRICT (B5)  
**OVERLAY DISTRICTS:** NEIGHBORHOOD: DOWNTOWN CENTRAL BUSINESS DISTRICT  
 CENTRAL BUSINESS DISTRICT  
 GRAND BOULEVARD OVERLAY AREA  
 OPPORTUNITY ZONE: CENSUS TRACT 5172

**ADJACENT ZONING:** MAJOR BUSINESS DISTRICT (B5)  
 GENERAL BUSINESS DISTRICT (B4)

**PARCEL SIZE:** HARMONIE PARK: 0.235 ACRES  
 GRATIOT PLAZA: LOCATED IN PUBLIC R.O.W.

**REQUIRED SETBACKS:** NO REQUIRED SETBACKS

**PARKING REQUIRED:** SCHEDULE C - INTERIOR ROADWAYS MAY BE USED TO SATISFY PARKING REQUIREMENTS.

\*SCHEDULE C: THE OFF-STREET PARKING REQUIREMENT SHALL BE ESTABLISHED BY THE PLANNING AND DEVELOPMENT DEPARTMENT BASED ON ESTIMATES OF PARKING DEMAND, WHICH MAY INCLUDE RECOMMENDATIONS OF THE ITE, DATA COLLECTED FROM USES THAT ARE THE SAME OR COMPARABLE TO THE PROPOSED USE, OR OTHER RELEVANT INFORMATION.

**LEGAL DESCRIPTION**

W. RANDOLPH ALL THAT PT OF SEC 9 LYG W OF ADJ RANDOLPH ST BETW CENTRE ST & GRAND RIVER PLAT OF SEC 9 GOVERNOR & JUDGES PLAN L34 P552 PLATS, W C R 1/56 262.28 IRREG

**BENCHMARKS:**

BM #1	ELEVATION = 601.35
TOP OF SW FLANGE BOLT TO HYD UNDER "J" OF EJIW S. SIDE OF GRAND RIVER AVENUE ±60' NW OF NW BLDG CORNER TO BUILDING ADDRESS 3N E. GRAND RIVER	
BM #2	ELEVATION = 602.86
TOP OF E. FLANGE BOLT TO HYD UNDER "E" OF MADE S. SIDE OF RANDOLPH ACROSS OF THE MICHIGAN CHRONICLE BUILDING	
BM #3	ELEVATION = 603.72
TOP OF W. FLANGE BOLT TO HYD UNDER "DI" SW QUADRANT OF GRATIOT AVENUE AND RANDOLPH STREET	

**SURVEY**

DATE:	11/27/2023
PAE(P) LOG BOOK NO.:	23-00
PAGES:	49
DATUM:	GPS GRID NORTH / MI STATE PLANE SOUTH NAD83 / NAVD 88

- SURVEY NOTES**
- EXISTING UTILITIES ARE LOCATED TO THE BEST OF OUR KNOWLEDGE. THE CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING EXISTING UTILITY LOCATIONS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN EXISTING UTILITY SERVICES AT ALL TIMES.
  - SERVICE PROVIDED IS A TOPOGRAPHIC SURVEY, NOT A BOUNDARY SURVEY. PROPERTY LINES ARE SHOWN IN APPROXIMATE LOCATION

PROGRESSIVE ae

PARADISE VALLEY CULTURAL AND ENTERTAINMENT DISTRICT CONSERVANCY REDEVELOPMENT AND UPGRADE OF BEATRICE BUCK PARK (HARMONIE PARK) AND GRATIOT PLAZA

COA ARCHITECT COA ENGINEER

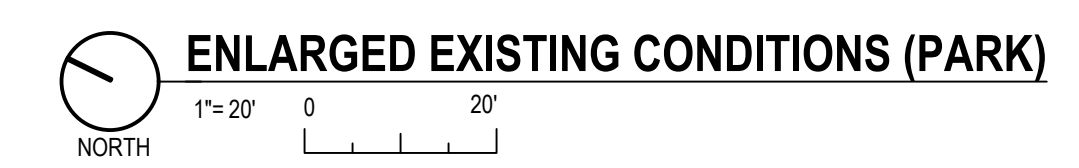
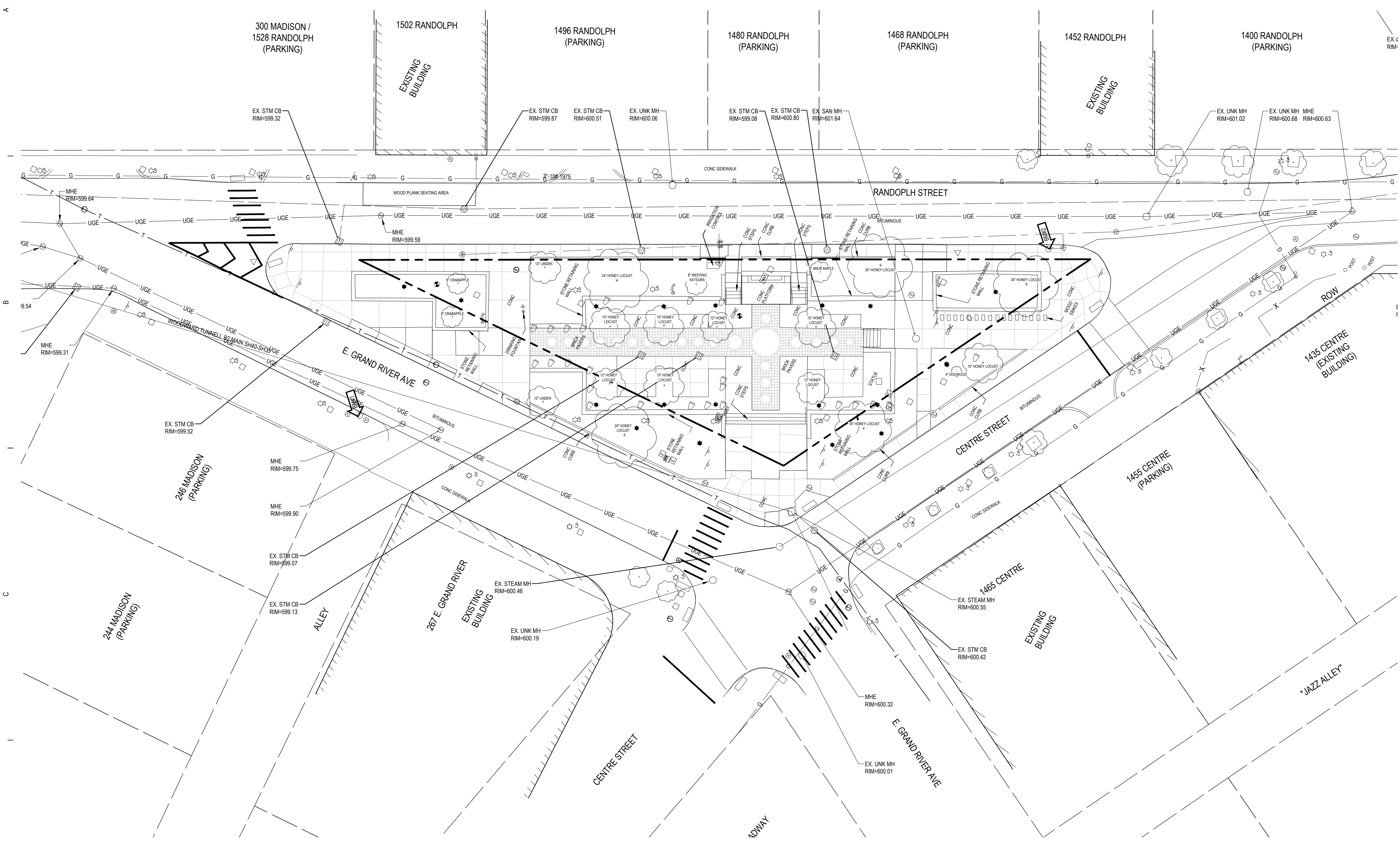
PROGRESSIVE AE, INC. 1811 1/2 MILE RD NE Grand Rapids, MI 49505 | 616.361.2664 2507 E. Grand Blvd., Suite 305 | Detroit, MI 48202 | 616.361.2664 www.progressiveae.com

OVERALL EXISTING CONDITIONS C100

PROJECT NUMBER: 97080001  
 PROJECT MANAGER: DWW  
 PROFESSIONAL: DWW  
 DRAWN BY: DDS  
 CHECKED BY: DWW

ISSUANCE: 02/06/2024 CITY APPROVAL

26/2024 2:31:44 PM Dorian Salko  
 P:\170000\103\WPC2\C101 - ENLARGED EXISTING CONDITIONS (PARK) DWG.dwg jphaser  
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811 Keep what's below. Call before you dig. www.CALL811.com		CALL 811 NOTE: CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.
<b>SURVEY LEGEND</b>		
	MONUMENT	
	PROPERTY IRON SET	
	PROPERTY IRON FOUND	
	TRAFFIC SIGNAL POLE	
	SPEAKER	
	LIGHT POLE	
	FLOOD LIGHT	
	SIGN	
	FLAG POLE	
	CLEANOUT	
	POWER POLE	
	TELEPHONE POLE	
	ELECTRICAL HAND HOLE	
	TEL. ELEC. CATV, GAS, WATER RISER	
	TEL. ELEC. GAS, WATER MANHOLE	
	CATCH BASIN	
	MANHOLE	
	SPRINKLER	
	VALVE & BOX	
	HYDRANT	
	SPOT ELEVATION	
	MAJOR CONTOUR - 5 FT. INTERVAL	
	MINOR CONTOUR - 1 FT. INTERVAL	
	GUARD RAIL	
	FENCE LINE	
	STORM SEWER	
	SANITARY SEWER	
	WATERMAIN	
	GAS MAIN	
	UNDERGROUND TELEPHONE LINE	
	UNDERGROUND FIBER OPTIC LINE	
	UNDERGROUND ELECTRIC LINE	
	DITCH CENTERLINE, TOE OF SLOPE	
	DECIDUOUS TREE	
	CONIFEROUS TREE	
	TREE & BRUSH LINE	
	BUILDING	

BENCHMARKS:	
BM #1 TOP OF SW FLANGE BOLT TO HYD UNDER "J" OF EJIW S. SIDE OF GRAND RIVER AVENUE ±50' NW OF NW BLDG CORNER TO BUILDING ADDRESS 3N E. GRAND RIVER	ELEVATION = 601.35
BM #2 TOP OF E. FLANGE BOLT TO HYD UNDER "E" OF MADE S. SIDE OF RANDOLPH ACROSS OF THE MICHIGAN CHRONICLE BUILDING	ELEVATION = 602.86
BM #3 TOP OF W. FLANGE BOLT TO HYD UNDER "DI" SW QUADRANT OF GRATIOT AVENUE AND RANDOLPH STREET	ELEVATION = 603.72

SURVEY	
DATE:	11/27/2023
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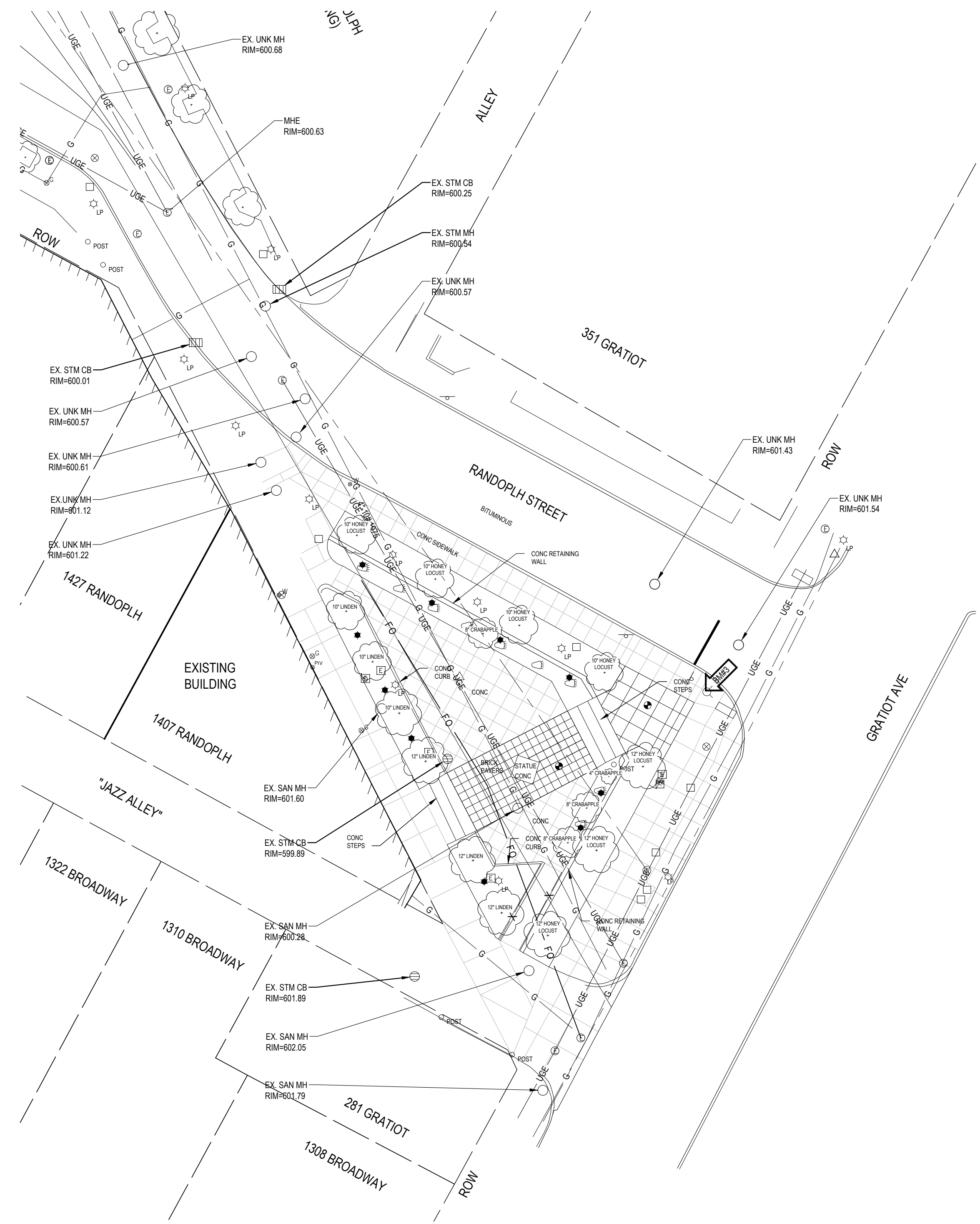
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**PROGRESSIVE AE**  
 PARADISE VALLEY CULTURAL AND ENTERTAINMENT DISTRICT CONSERVANCY REDEVELOPMENT AND UPGRADE OF BEATRICE BUCK PARK (HARMONIE PARK) AND GRATIOT PLAZA  
 DETROIT, MICHIGAN  
 COA ARCHITECT  
 COA ENGINEER  
 PROGRESSIVE AE, INC.  
 18114 Mile Rd NE | Grand Rapids, MI 49525 | 616.361.2664  
 2307 E. Grand Blvd., Suite 305 | Detroit, MI 48202 | 616.361.2664  
 www.progressiveae.com

**ENLARGED EXISTING CONDITIONS (PARK) C101**

PROJECT NUMBER: 97080001  
 PROJECT MANAGER: DWW  
 PROFESSIONAL: DWW  
 DRAWN BY: DDS  
 CHECKED BY: DWW

**ISSUANCE**  
 02/06/2024  
 CITY APPROVAL



**ENLARGED EXISTING CONDITIONS (PLAZA)**  
 1"= 20'  
 NORTH



**CALL 811 NOTE:**  
 CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

**SURVEY LEGEND**

	MONUMENT
	PROPERTY IRON SET
	PROPERTY IRON FOUND
	TRAFFIC SIGNAL POLE
	SPEAKER
	LIGHT POLE
	FLOOD LIGHT
	SIGN
	FLAG POLE
	CLEANOUT
	POWER POLE
	TELEPHONE POLE
	ELECTRICAL HAND HOLE
	TEL., ELEC., CATV, GAS, WATER RISER
	TEL., ELEC., GAS, WATER MANHOLE
	TEL., ELEC., CATV, GAS MARKER
	CATCH BASIN
	MANHOLE
	SPRINKLER
	VALVE & BOX
	HYDRANT
	SPOT ELEVATION
	MAJOR CONTOUR - 5 FT. INTERVAL
	MINOR CONTOUR - 1 FT. INTERVAL
	GUARD RAIL
	FENCE LINE
	STORM SEWER
	SANITARY SEWER
	WATERMAIN
	GAS MAIN
	UNDERGROUND TELEPHONE LINE
	UNDERGROUND FIBER OPTIC LINE
	UNDERGROUND ELECTRIC LINE
	DITCH CENTERLINE, TOE OF SLOPE
	DECIDUOUS TREE
	CONIFEROUS TREE
	TREE & BRUSH LINE
	BUILDING

**BENCHMARKS:**

<b>BM #1</b> TOP OF SW FLANGE BOLT TO HYD UNDER "J" OF EJIW S. SIDE OF GRAND RIVER AVENUE ±50' NW OF NW BLDG CORNER TO BUILDING ADDRESS 3N E. GRAND RIVER	ELEVATION = 601.35
<b>BM #2</b> TOP OF E. FLANGE BOLT TO HYD UNDER "E" OF MADE S. SIDE OF RANDOLPH ACROSS OF THE MICHIGAN CHRONICLE BUILDING	ELEVATION = 602.86
<b>BM #3</b> TOP OF W. FLANGE BOLT TO HYD UNDER "DI" SW QUADRANT OF GRATIOT AVENUE AND RANDOLPH STREET	ELEVATION = 603.72

**SURVEY**

DATE:	11/27/2023
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**SURVEY NOTES**

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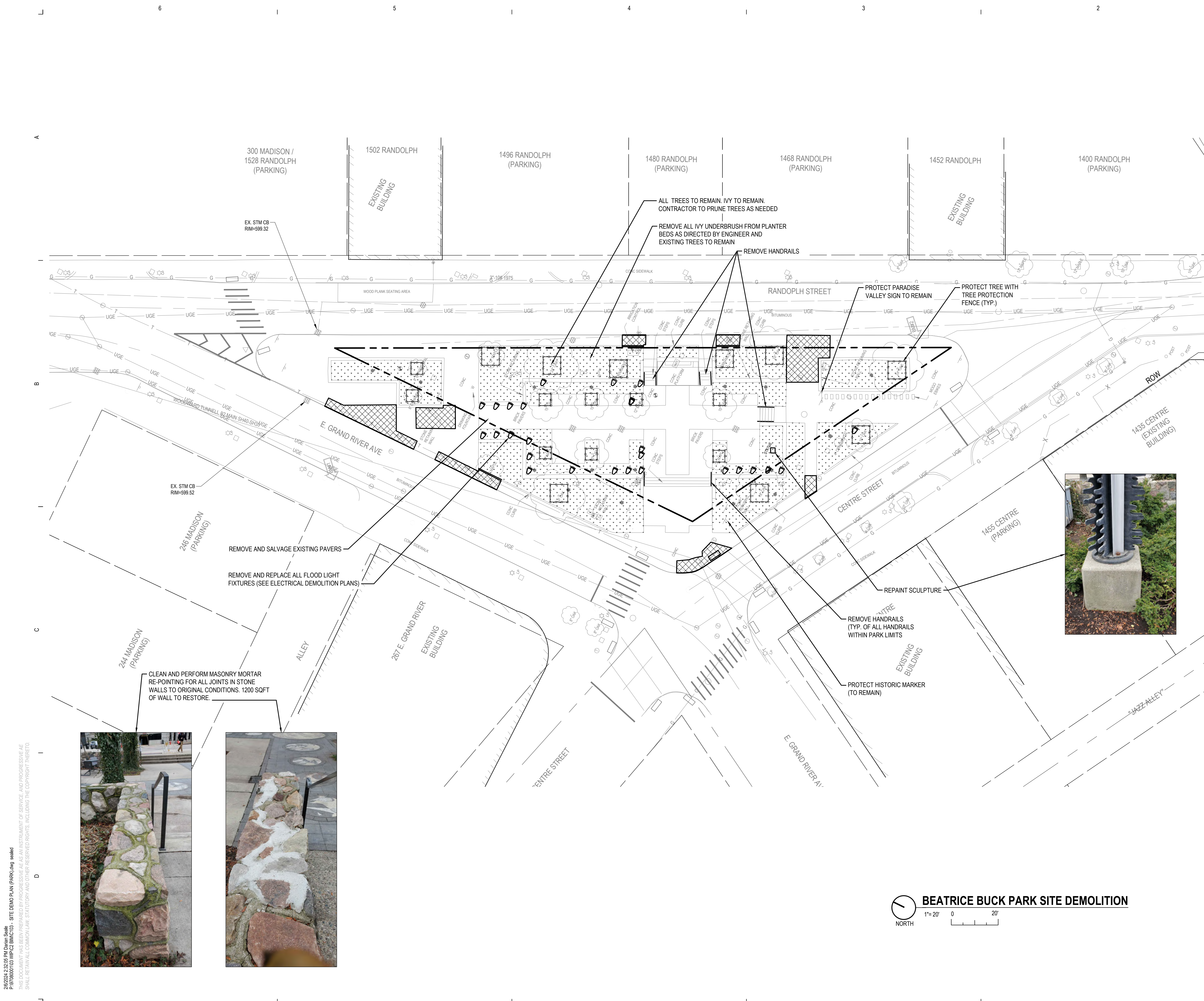
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 PARADISE VALLEY CULTURAL AND ENTERTAINMENT DISTRICT CONSERVANCY REDEVELOPMENT AND UPGRADE OF BEATRICE BUCK PARK (HARMONIE PARK) AND GRATIOT PLAZA  
 DETROIT, MICHIGAN  
 COA ARCHITECT COA ENGINEER

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**ISSUANCE**  
 02/06/2024  
 CITY APPROVAL

PROJECT NUMBER  
 97080001  
 PROJECT MANAGER  
 DWW  
 PROFESSIONAL  
 DWW  
 DRAWN BY  
 DDS  
 CHECKED BY  
 DWW

**ENLARGED EXISTING CONDITIONS (PLAZA) C102**



**CALL 811 NOTE:**  
 CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

**BENCHMARKS:**

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TOP OF SW FLANGE BOLT TO HYD UNDER "J" OF E/JW S. SIDE OF GRAND RIVER AVENUE ±50' NW OF NW BLDG CORNER TO BUILDING ADDRESS 3N E. GRAND RIVER
- BM #2 ELEVATION = 602.86  
TOP OF E. FLANGE BOLT TO HYD UNDER "E" OF MADE S. SIDE OF RANDOLPH ACROSS OF THE MICHIGAN CHRONICLE BUILDING
- BM #3 ELEVATION = 603.72  
TOP OF W. FLANGE BOLT TO HYD UNDER "D" SW QUADRANT OF GRATIOT AVENUE AND RANDOLPH STREET

**DEMOLITION LEGEND**

- BITUMINOUS PAVEMENT REMOVAL
- CONCRETE REMOVAL
- REMOVE EXISTING SOIL TO A DEPTH OF 3 INCHES
- ABANDON UTILITY LINE
- REMOVE UTILITY LINE

ALL ITEMS IN BOLD TO BE REMOVED UNLESS OTHERWISE NOTED.

**SITE CLEARING AND DEMOLITION NOTES**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE AND BECOMING FAMILIAR WITH THE DEMOLITION AND CLEARING REQUIREMENTS.
2. NO REMOVAL, DEMOLITION, CLEARING OR TOPSOIL REMOVAL SHALL OCCUR ON SITE UNTIL THE SESC AND STORMWATER PERMITS HAVE BEEN ISSUED AND THE CONTRACTOR HAS VERIFIED AND STAKED THE LIMITS OF REMOVAL IN THE FIELD. NOTIFY SITE CONSULTANT OF THE START OF CONSTRUCTION AND DATE WHEN THE LIMITS LINE WILL BE ESTABLISHED FOR REVIEW AND APPROVAL.
3. ALL MATERIALS NOTED TO BE SALVAGED SHALL BE TURNED OVER TO THE OWNER OR REINSTALLED ON SITE AS NOTED.
4. NO BURNING OR BURYING OF CLEARED OR DEMOLITION MATERIAL SHALL BE ALLOWED ON SITE.
5. REMOVE ALL STRUCTURES, FOUNDATIONS, BITUMINOUS PAVEMENT, CONCRETE SIDEWALK STEPS AND OTHER EXISTING SITE FEATURES AS INDICATED ON THE DRAWINGS. ALSO, REMOVE ALL DEBRIS FROM WITHIN CONSTRUCTION LIMITS ON SITE. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE AND, UNLESS OTHERWISE NOTED, DISPOSED OF IN A MANNER ACCEPTABLE TO LOCAL JURISDICTION HAVING AUTHORITY.
6. THE CONTRACTOR SHALL BE LICENSED BY THE STATE OF MICHIGAN FOR DEMOLITION REMOVAL AND HAULING OF MATERIALS.
7. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL PERMITS AND FEES FOR THIS WORK.
8. EXISTING UTILITIES ARE LOCATED TO THE BEST OF OUR KNOWLEDGE. THE CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING EXISTING UTILITY LOCATIONS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN EXISTING UTILITY SERVICES AT ALL TIMES.
9. ALL EXCESS OR UNSUITABLE TOPSOIL OR SUBSOIL TO BECOME THE PROPERTY OF THE CONTRACTOR AND REMOVED OFFSITE.
10. PROTECT EXISTING TREES UNLESS OTHERWISE NOTED. NO PARKING OR STORAGE OF MATERIALS WITHIN TREE ROOT ZONE. PLACE TREE PROTECTION FENCE WHERE SHOWN ON PLAN.
11. TREE PROTECTION FENCE - ORANGE SAFETY FENCE AROUND TREES SUPPORTED BY STEEL T-BAR FENCE POSTS. ZIP THE FABRIC TO POSTS. INSTALL PRIOR TO ANY CONSTRUCTION ACTIVITY AND MAINTAIN DURING ENTIRE CONSTRUCTION PERIOD.
12. CONTRACTOR TO CALL 811 AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES.
13. CONTRACTOR MUST RESTORE AND REPAIR ANY EXISTING CONDITIONS DISTURBED BY CONSTRUCTION.
14. ANY AREA DISTURBED BY CONSTRUCTION TO BE RESTORED TO CONDITION EQUAL TO OR BETTER THAN BEFORE CONSTRUCTION BEGAN. PATCH PAVEMENT IN-KIND IF REQUIRED.
15. SAWCUT FULL DEPTH ALL EDGES OF PAVEMENT TO BE REMOVED.
16. ALL GROUND AREAS DISTURBED BY CONSTRUCTION TO BE TOPSOILED AND SEEDED PER THE SITE LANDSCAPE PLAN UNLESS SHOWN OTHERWISE ON PLANS.
17. REPAIR OR REPLACE ALL PAVERS IMPACTED BY CONSTRUCTION AS NEEDED.
18. REMOVE AND SALVAGE ALL EXISTING SITE FURNISHINGS AND TRASH RECEPTACLES. PROVIDE TO OWNER.



**PROGRESSIVE ae**  
 PARADISE VALLEY CULTURAL AND ENTERTAINMENT DISTRICT CONSERVANCY  
 REDEVELOPMENT AND UPGRADE OF BEATRICE BUCK PARK (HARMONIE PARK) AND GRATIOT PLAZA  
 DETROIT, MICHIGAN  
 COA ARCHITECT COA ENGINEER  
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 1811 1/4 Mile Rd NE | Grand Rapids, MI 49525 | 616.361.2664  
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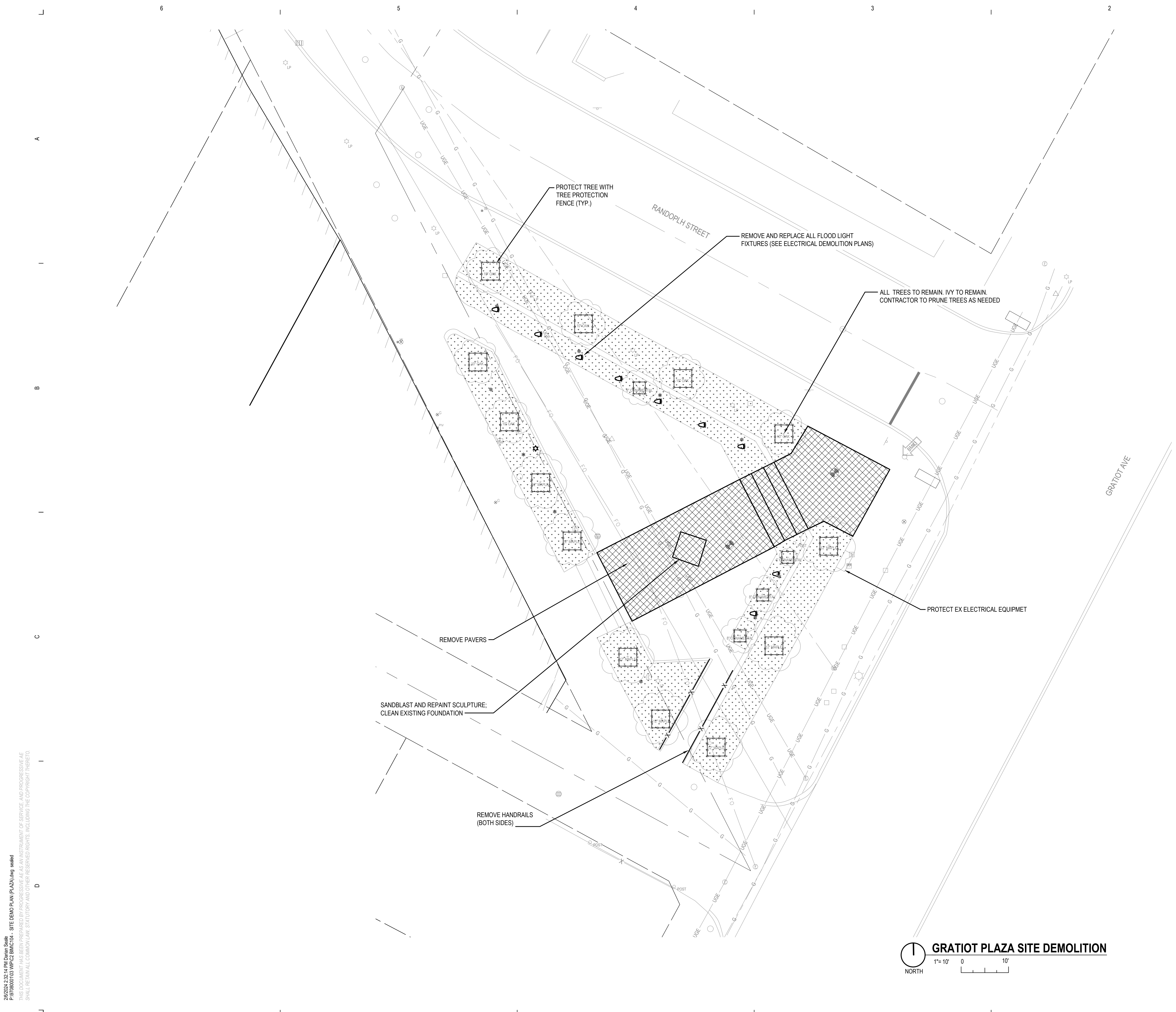
2/6/2024 2:32:05 PM Dorian Skala  
 P:\170600103\WP\C2\BMC103 - SITE DEMO PLAN (PARK).dwg sealed  
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**ISSUANCE**  
 02/06/2024  
 CITY APPROVAL

PROJECT NUMBER  
 97080001  
 PROJECT MANAGER  
 DWW  
 PROFESSIONAL  
 DWW  
 DRAWN BY  
 DDS  
 CHECKED BY  
 DWW

**BEATRICE BUCK PARK SITE DEMOLITION C103**



**CALL 811 NOTE:**  
 CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

**BENCHMARKS:**

BM #1 TOP OF SW FLANGE BOLT TO HYD UNDER "J" OF E/JW S. SIDEOF GRAND RIVER AVENUE ±50' NW OF NW BLDG CORNER TO BUILDING ADDRESS 3N E. GRAND RIVER	ELEVATION = 601.35
BM #2 TOP OF E. FLANGE BOLT TO HYD UNDER "E" OF MADE S. SIDE OF RANDOLPH ACROSS OF THE MICHIGAN CHRONICLE BUILDING	ELEVATION = 602.86
BM #3 TOP OF W. FLANGE BOLT TO HYD UNDER "DI" SW QUADRANT OF GRATIOT AVENUE AND RANDOLPH STREET	ELEVATION = 603.72

**DEMOLITION LEGEND**

	BITUMINOUS PAVEMENT REMOVAL
	CONCRETE REMOVAL
	REMOVE EXISTING SOIL TO A DEPTH OF 24 INCHES
	ABANDON UTILITY LINE
	REMOVE UTILITY LINE

ALL ITEMS IN **BOLD** TO BE REMOVED UNLESS OTHERWISE NOTED.

**SITE CLEARING AND DEMOLITION NOTES**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE AND BECOMING FAMILIAR WITH THE DEMOLITION AND CLEARING REQUIREMENTS.
2. NO REMOVAL, DEMOLITION, CLEARING OR TOPSOIL REMOVAL SHALL OCCUR ON SITE UNTIL THE SESC AND STORMWATER PERMITS HAVE BEEN ISSUED AND THE CONTRACTOR HAS VERIFIED AND STAKED THE LIMITS OF REMOVAL IN THE FIELD. NOTIFY SITE CONSULTANT OF THE START OF CONSTRUCTION AND DATE WHEN THE LIMITS LINE WILL BE ESTABLISHED FOR REVIEW AND APPROVAL.
3. ALL MATERIALS NOTED TO BE SALVAGED SHALL BE TURNED OVER TO THE OWNER OR REINSTALLED ON SITE AS NOTED.
4. NO BURNING OR BURYING OF CLEARED OR DEMOLITION MATERIAL SHALL BE ALLOWED ON SITE.
5. REMOVE ALL STRUCTURES, FOUNDATIONS, BITUMINOUS PAVEMENT, CONCRETE SIDEWALK STEPS AND OTHER EXISTING SITE FEATURES AS INDICATED ON THE DRAWINGS. ALSO, REMOVE ALL DEBRIS FROM WITHIN CONSTRUCTION LIMITS ON SITE. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE AND, UNLESS OTHERWISE NOTED, DISPOSED OF IN A MANNER ACCEPTABLE TO LOCAL JURISDICTION HAVING AUTHORITY.
6. THE CONTRACTOR SHALL BE LICENSED BY THE STATE OF MICHIGAN FOR DEMOLITION REMOVAL AND HAULING OF MATERIALS.
7. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL PERMITS AND FEES FOR THIS WORK.
8. EXISTING UTILITIES ARE LOCATED TO THE BEST OF OUR KNOWLEDGE. THE CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING EXISTING UTILITY LOCATIONS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN EXISTING UTILITY SERVICES AT ALL TIMES.
9. ALL EXCESS OR UNSUITABLE TOPSOIL OR SUBSOIL TO BECOME THE PROPERTY OF THE CONTRACTOR AND REMOVED OFFSITE.
10. PROTECT EXISTING TREES UNLESS OTHERWISE NOTED. NO PARKING OR STORAGE OF MATERIALS WITHIN TREE ROOT ZONE. PLACE TREE PROTECTION FENCE WHERE SHOWN ON PLAN.
11. TREE PROTECTION FENCE - ORANGE SAFETY FENCE AROUND TREES SUPPORTED BY STEEL T-BAR FENCE POSTS. ZIP TIE FABRIC TO POSTS. INSTALL PRIOR TO ANY CONSTRUCTION ACTIVITY AND MAINTAIN DURING ENTIRE CONSTRUCTION PERIOD.
12. CONTRACTOR TO CALL 811 AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES.
13. CONTRACTOR MUST RESTORE AND REPAIR ANY EXISTING CONDITIONS DISTURBED BY CONSTRUCTION.
14. ANY AREA DISTURBED BY CONSTRUCTION TO BE RESTORED TO CONDITION EQUAL TO OR BETTER THAN BEFORE CONSTRUCTION BEGAN. PATCH PAVEMENT IN-KIND IF REQUIRED.
15. SAWCUT FULL DEPTH ALL EDGES OF PAVEMENT TO BE REMOVED.
16. ALL GROUND AREAS DISTURBED BY CONSTRUCTION TO BE TOPSOILED AND SEEDED PER THE SITE LANDSCAPE PLAN UNLESS SHOWN OTHERWISE ON PLANS.
17. REPAIR OR REPLACE ALL PAVERS IMPACTED BY CONSTRUCTION AS NEEDED.
18. REMOVE AND SALVAGE ALL EXISTING SITE FURNISHINGS AND TRASH RECEPTACLES. PROVIDE TO OWNER.

**PROGRESSIVE ae**  
 PARADISE VALLEY CULTURAL AND ENTERTAINMENT DISTRICT CONSERVANCY  
 REDEVELOPMENT AND UPGRADE OF BEATRICE BUCK PARK (HARMONIE PARK) AND GRATIOT PLAZA  
 DETROIT, MICHIGAN  
 COA ARCHITECT COA ENGINEER  
 PROGRESSIVE AE, INC.  
 1811 1/4 Mile Rd NE Grand Rapids, MI 49525 | 616.361.2664  
 2307 E. Grand Blvd., Suite 505 | Detroit, MI 48202 | 616.361.2664 www.progressiveae.com

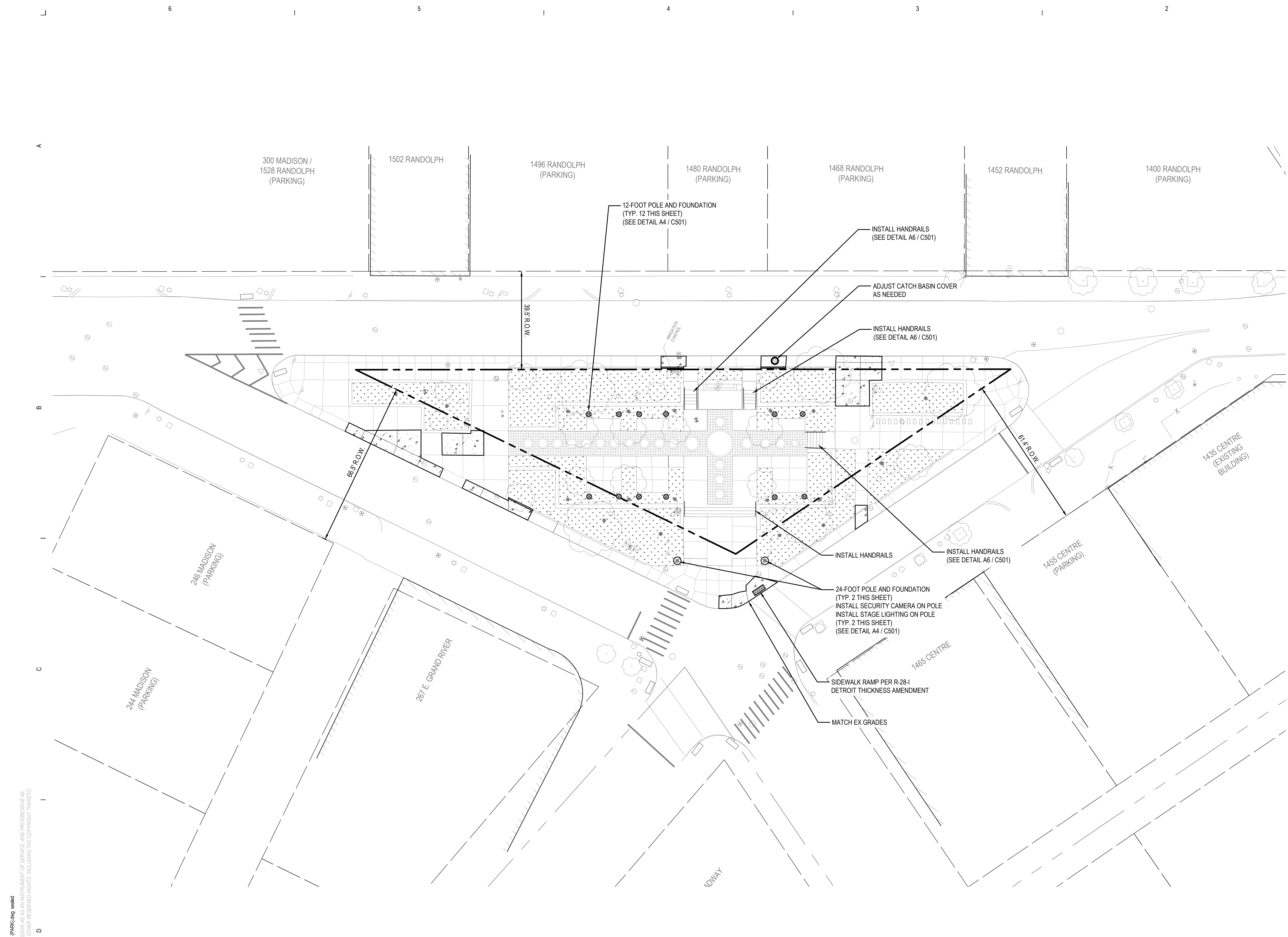
2/6/2024 2:23:14 PM Dorian Skala  
 P:\170000\103\WPC2\BIM\104 - SITE DEMO PLAN (PLAZA) (w/ sig) sealed  
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**ISSUANCE**  
 02/06/2024  
 CITY APPROVAL

PROJECT NUMBER  
 97080001  
 PROJECT MANAGER  
 DWW  
 PROFESSIONAL  
 DWW  
 DRAWN BY  
 DDS  
 CHECKED BY  
 DWW

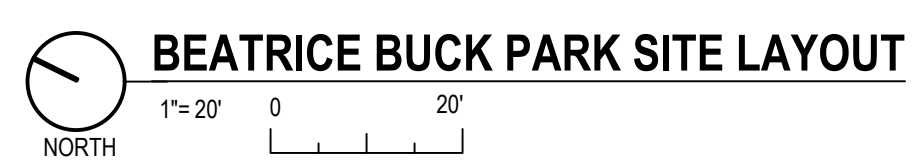
**GRATIOT PLAZA  
 SITE DEMOLITION  
 C104**



		<b>CALL 811 NOTE:</b> CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.
<b>BENCHMARKS:</b>		
BM #1 TOP OF SW FLANGE BOLT TO HYD UNDER "J" OF E/JW S. SIDE OF GRAND RIVER AVENUE ±50' NW OF NW BLDG CORNER TO BUILDING ADDRESS 3N E. GRAND RIVER	ELEVATION = 601.35	
BM #2 TOP OF E. FLANGE BOLT TO HYD UNDER "E" OF MADE S. SIDE OF RANDOLPH ACROSS OF THE MICHIGAN CHRONICLE BUILDING	ELEVATION = 602.86	
BM #3 TOP OF W. FLANGE BOLT TO HYD UNDER "DI" SW QUADRANT OF GRATIOT AVENUE AND RANDOLPH STREET	ELEVATION = 603.72	

<b>PAVEMENT LEGEND</b>	
	BITUMINOUS PAVEMENT (HAND PATCHING)
	CONCRETE SIDEWALK, 4 INCH
	HEAVY DUTY CONCRETE, 6 INCH
	BRICK PAVERS
	NEW PLANTING SOIL (3-INCH DEPTH)

- GENERAL SITE LAYOUT NOTES**
- ALL WORKMANSHIP AND MATERIALS SHALL BE ACCORDING TO THE CURRENT MICHIGAN DEPARTMENT OF TRANSPORTATION (M.D.O.T) STANDARD SPECIFICATIONS FOR CONSTRUCTION.
  - CONTACT "MISS DIG" TOLL FREE AT 1-800-482-7171 THREE (3) DAYS PRIOR TO THE START OF CONSTRUCTION, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS.
  - NO DIMENSION MAY BE SCALED. REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATION.
  - DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED AS B-B (BACK TO BACK) OR E-E (EDGE OF METAL TO EDGE OF METAL).
  - UPON REQUEST, ELECTRONIC INFORMATION WILL BE PROVIDED FOR SITE LAYOUT PURPOSES. CONTRACTOR SHALL REQUEST ALL INFORMATION IN WRITING THROUGH PROGRESSIVE AE. LAYOUT OF ALL NEW CONSTRUCTION SHALL BE DONE BY A LICENSED SURVEYOR.
  - ALL CONCRETE JOINTS SHALL BE TOOLED PER SPECIFICATIONS.
  - CONTRACTOR MUST RESTORE AND REPAIR ANY EXISTING CONDITIONS DISTURBED BY CONSTRUCTION. THIS IS TO INCLUDE BURIED UTILITIES, LIGHTING, LANDSCAPING, SPRINKLING, ETC.
  - ANY AREA DISTURBED BY CONSTRUCTION TO BE RESTORED TO CONDITION EQUAL TO OR BETTER THAN BEFORE CONSTRUCTION BEGAN.
  - ALL PAVEMENT, CURB & GUTTER, SIDEWALK AND UTILITIES WITHIN PUBLIC RIGHT OF WAY SHALL MEET CITY OF DETROIT STANDARDS.
  - CONTRACTOR TO PROTECT EXISTING IRRIGATION SYSTEM AS MUCH AS POSSIBLE. REPAIR DAMAGE TO EXISTING IRRIGATION SYSTEM AND RECONFIGURE SPRINKLER LAYOUT TO ACCOMMODATE THE NEW IMPROVEMENTS.
  - ALL SIDEWALK TO BE POWER-WASHED.
  - REPAIR STONE WALLS AND MORTAR AS NEEDED. RE-POINT MORTAR TO MATCH EXISTING.

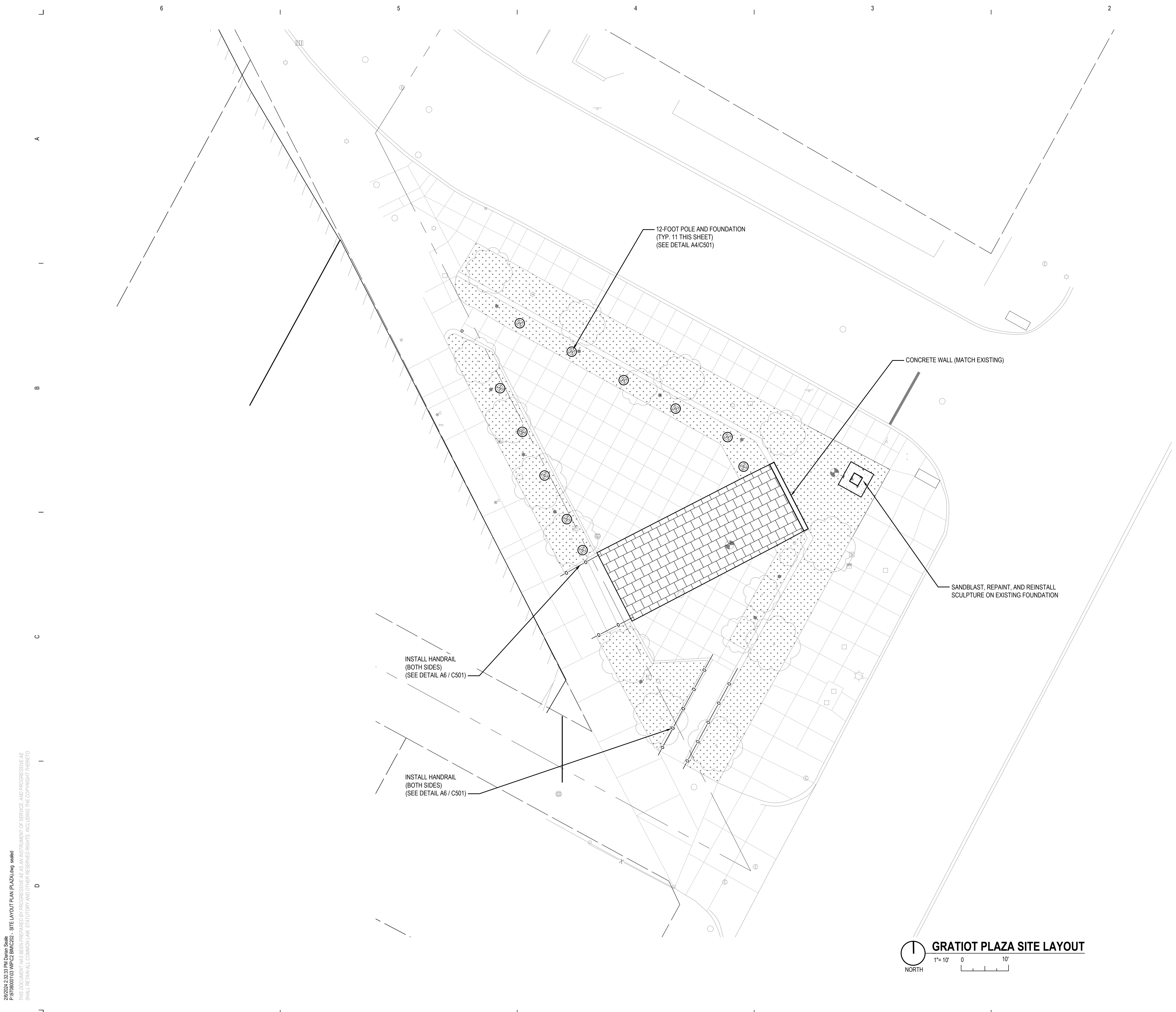


2/6/2024 2:32:24 PM Dorian Skala  
 P:\170000\103 WPC2 C201 - SITE LAYOUT PLAN (PARKING) sskala  
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 DETROIT, MICHIGAN  
 COA ARCHITECT COA ENGINEER  
 PROGRESSIVE AE, INC.  
 1811 1/4 Mile Rd NE | Grand Rapids, MI 49525 | 616.361.2664  
 2307 E. Grand Blvd., Suite 505 | Detroit, MI 48202 | 616.361.2664 | www.progressiveae.com

PROJECT NUMBER  
 97080001  
 PROJECT MANAGER  
 DWW  
 PROFESSIONAL  
 DWW  
 DRAWN BY  
 DDS  
 CHECKED BY  
 DWW

**BEATRICE BUCK PARK SITE LAYOUT C201**  
 ISSUANCE  
 02/06/2024  
 CITY APPROVAL



**GRATIOT PLAZA SITE LAYOUT**  
 1" = 10'  
 NORTH



**CALL 811 NOTE:**  
 CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

**BENCHMARKS:**

- BM #1 ELEVATION = 601.35  
TOP OF SW FLANGE BOLT TO HYD UNDER "J" OF E/JW S. SIDEOF GRAND RIVER AVENUE ±50' NW OF NW BLDG CORNER TO BUILDING ADDRESS 3N E. GRAND RIVER
- BM #2 ELEVATION = 602.86  
TOP OF E. FLANGE BOLT TO HYD UNDER "E" OF MADE S. SIDE OF RANDOLPH ACROSS OF THE MICHIGAN CHRONICLE BUILDING
- BM #3 ELEVATION = 603.72  
TOP OF W. FLANGE BOLT TO HYD UNDER "DI" SW QUADRANT OF GRATIOT AVENUE AND RANDOLPH STREET

**PAVEMENT LEGEND**

	BITUMINOUS PAVEMENT (HAND PATCHING)
	CONCRETE SIDEWALK, 4 INCH
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	BRICK PAVERS
	NEW PLANTING SOIL (3-INCH DEPTH)

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3. NO DIMENSION MAY BE SCALED. REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATION.
4. DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED AS B-B (BACK TO BACK) OR E-E (EDGE OF METAL TO EDGE OF METAL).
5. CONTRACTOR TO PAINT STRIPE ALL PARKING SPACES SHOWN. PAINT COLOR TO BE YELLOW.
6. UPON REQUEST, ELECTRONIC INFORMATION WILL BE PROVIDED FOR SITE LAYOUT PURPOSES. CONTRACTOR SHALL REQUEST ALL INFORMATION IN WRITING THROUGH PROGRESSIVE AE. LAYOUT OF ALL NEW CONSTRUCTION SHALL BE DONE BY A LICENSED SURVEYOR.
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13. REPAIR STONE WALLS AND MORTAR AS NEEDED. RE-POINT MORTAR TO MATCH EXISTING.

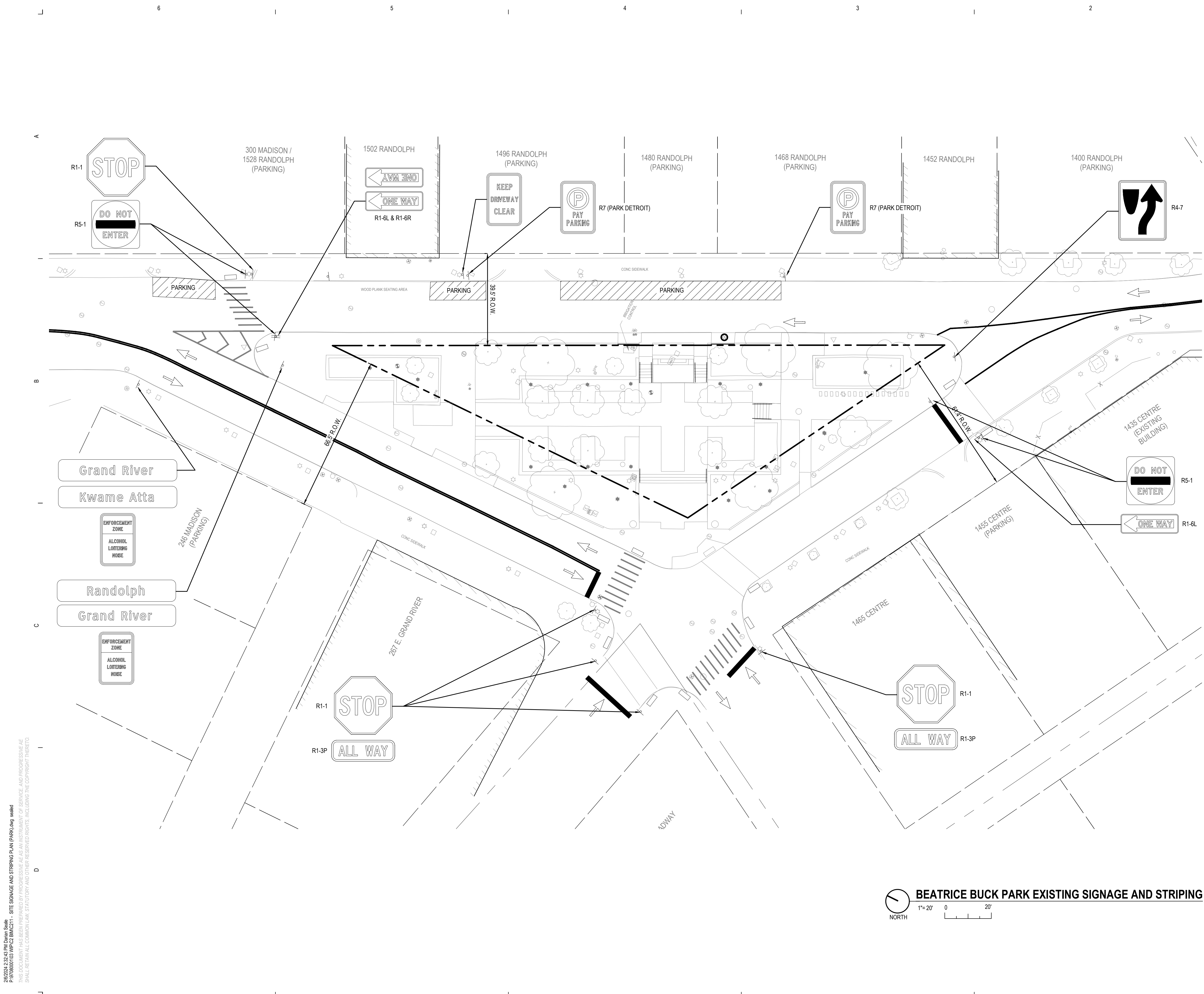
**PROGRESSIVE ae**  
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 REDEVELOPMENT AND UPGRADE OF BEATRICE BUCK PARK (HARMONIE PARK) AND GRATIOT PLAZA  
 DETROIT, MICHIGAN  
 COA ARCHITECT COA ENGINEER  
 PROGRESSIVE AE, INC.  
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 2307 E. Grand Blvd., Suite 505 | Detroit, MI 48202 | 616.361.2664 www.progressiveae.com

PROJECT NUMBER  
 97080001  
 PROJECT MANAGER  
 DWW  
 PROFESSIONAL  
 DWW  
 DRAWN BY  
 DDS  
 CHECKED BY  
 DWW

**GRATIOT PLAZA  
 SITE LAYOUT  
 C202**

2/6/2024 2:28:33 PM Dorian Skala  
 P:\170600\103\WP\C2 BIM\C202 - SITE LAYOUT PLAN (R2).dwg sealed  
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**CALL 811 NOTE:**  
 CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

**BENCHMARKS:**

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TOP OF W. FLANGE BOLT TO HYD UNDER "DI" SW QUADRANT OF GRATIOT AVENUE AND RANDOLPH STREET

**BEATRICE BUCK PARK EXISTING SIGNAGE AND STRIPING**  
 1"= 20'  
 NORTH

2/6/2024 2:28:24 PM Dorian Salko  
 P:\170600103\WPC2\C211 - SITE SIGNAGE AND STRIPING PLAN (PARV).dwg salko  
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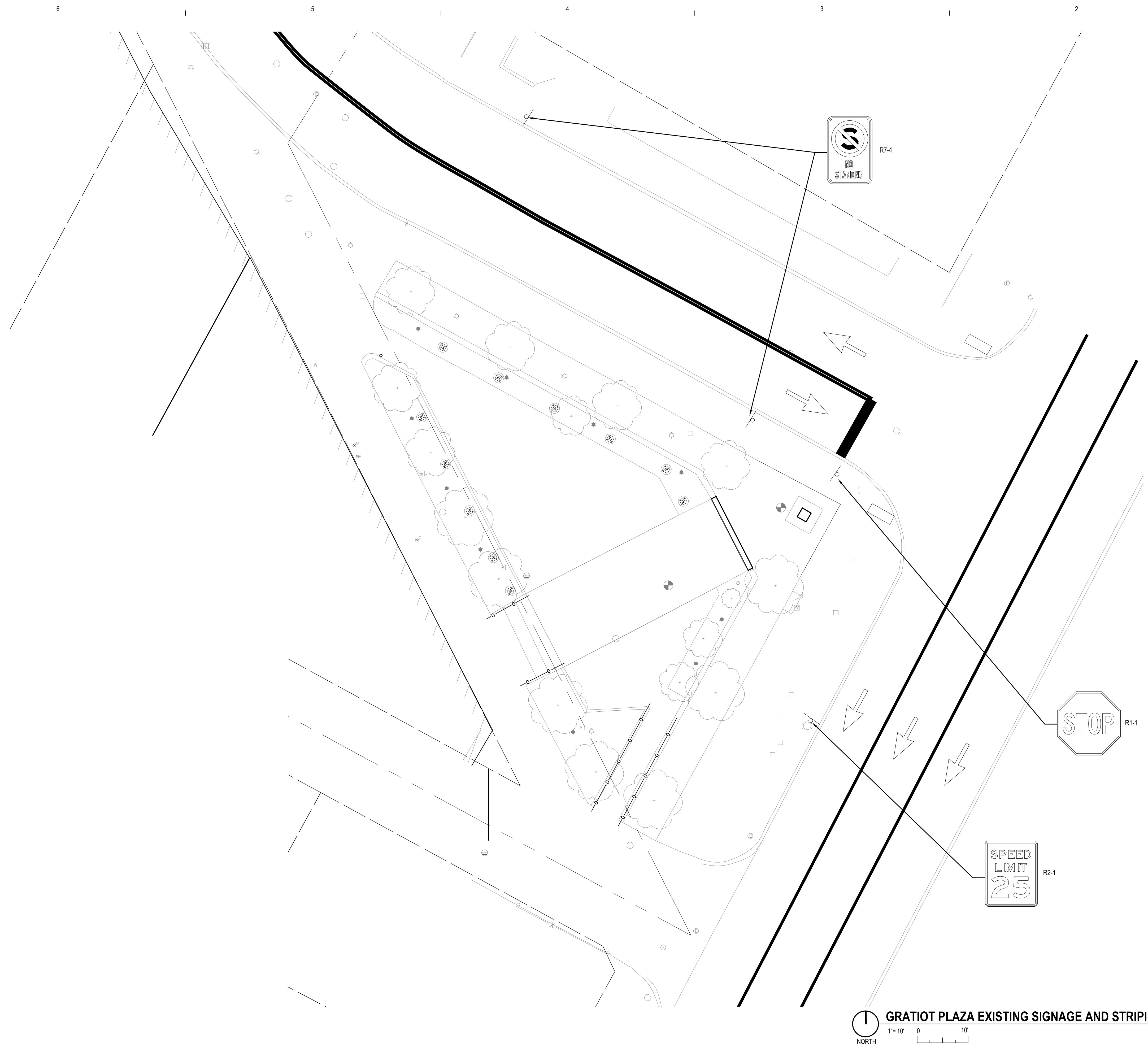
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PROJECT NUMBER  
 97080001  
 PROJECT MANAGER  
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 PROFESSIONAL  
 DWW  
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 DDS  
 CHECKED BY  
 DWW

**BEATRICE BUCK PARK EXISTING SIGNAGE AND STRIPING C211**

2/6/2024 2:25:54 PM Dorian Skalko  
 P:\1706000103\WP\02 BIM\0217 - SITE SIGNAGE AND STRIPING PLAN (R2).dwg sealed  
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**GRATIOT PLAZA EXISTING SIGNAGE AND STRIPING**  
 NORTH 1"=10' 0 10'



**CALL 811 NOTE:**  
 CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

**BENCHMARKS:**

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- BM #3 ELEVATION = 603.72  
TOP OF W. FLANGE BOLT TO HYD UNDER "DI" SW QUADRANT OF GRATIOT AVENUE AND RANDOLPH STREET

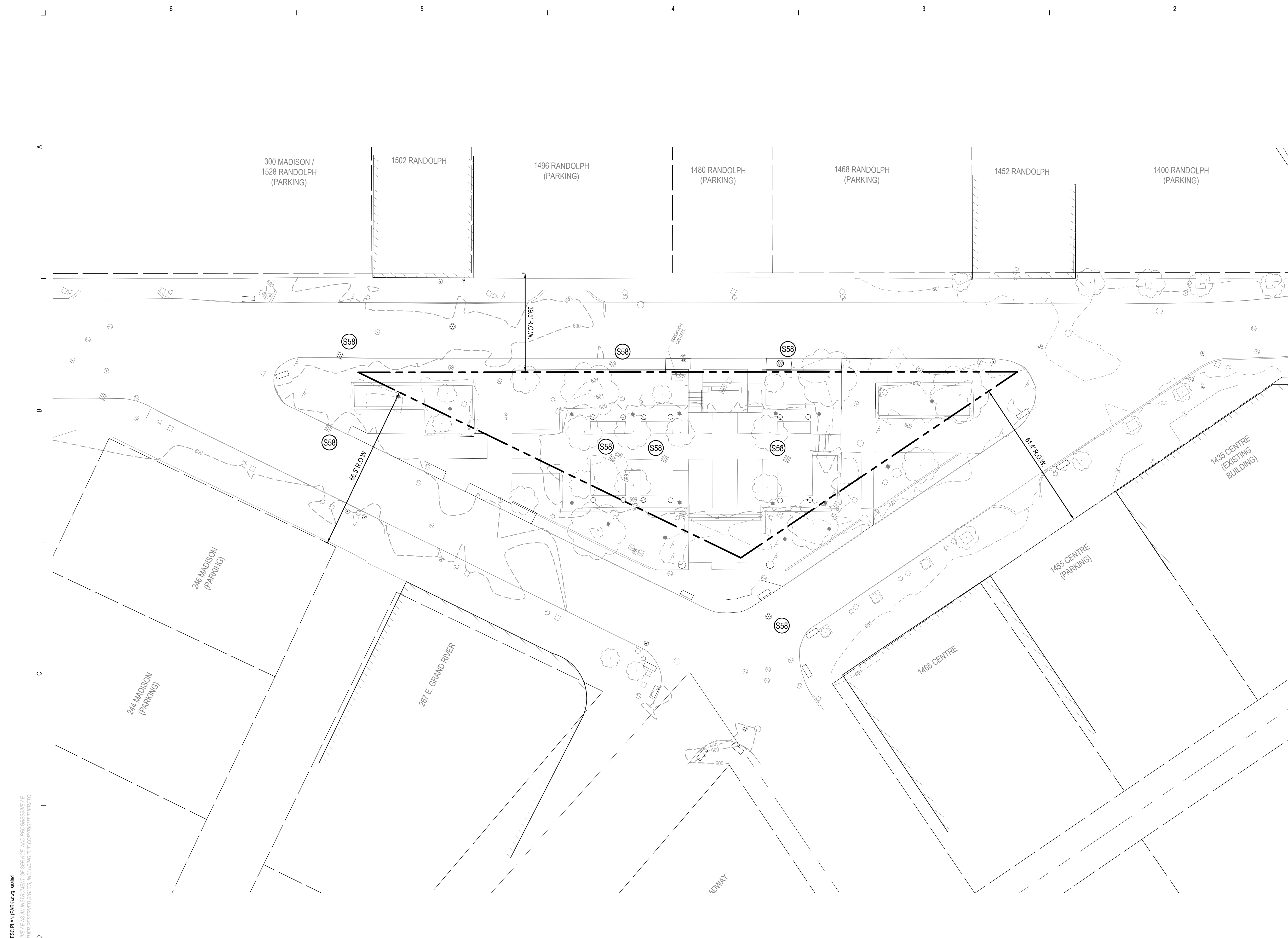
**PROGRESSIVE ae**  
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 DWW  
 PROFESSIONAL  
 DWW  
 DRAWN BY  
 DDS  
 CHECKED BY  
 DWW

**GRATIOT PLAZA EXISTING SIGNAGE AND STRIPING C212**



**CALL 811 NOTE:**  
 CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

**BENCHMARKS:**

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 TOP OF W. FLANGE BOLT TO HYD UNDER "DI" SW QUADRANT OF GRATIOT AVENUE AND RANDOLPH STREET

**GRADING LEGEND**

→	FLOW ARROW
TP	TOP OF PAVEMENT
TC	TOP OF CURB
TW	TOP OF WALL
BW	BOTTOM OF WALL
GR	GROUND
GP	GUTTER PAN
FF	FINISH FLOOR ELEVATION
EX	EXISTING ELEVATION
HP	HIGH POINT
LP	LOW POINT
L	LANDING
R	RAMP

**S-E-S-C KEYING SYSTEM**

KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
<b>EROSION CONTROLS</b>			
E5	DUST CONTROL		For use on construction sites, unpaved roads, etc. to reduce dust and sedimentation from wind and construction activities.
E8	PERMANENT SEEDING & MULCH BLANKETS		Stabilization method utilized on sites where earth change has been completed (final grading attained).
S51	SILT FENCE		Use adjacent to critical areas, to prevent sediment laden sheet flow from entering these areas.
S58	INLET PROTECTION FABRIC DROP		Use at stormwater inlets, especially at construction sites.

- E5 \*DUST CONTROL TO BE MAINTAINED ON ENTIRE PROJECT
- S51 \*\*SILT FENCE AS NEEDED ON PROJECT AS DIRECTED BY FIELD ENGINEER

**BEATRICE BUCK PARK GRADING AND SESC PLAN**  
 1"=20'  
 NORTH

2/6/2024 2:33:04 PM Dorian Sisk  
 P:\170000\103 WPC2 BIM\301 - SITE GRADING AND SESC PLAN (PAR).dwg sealed  
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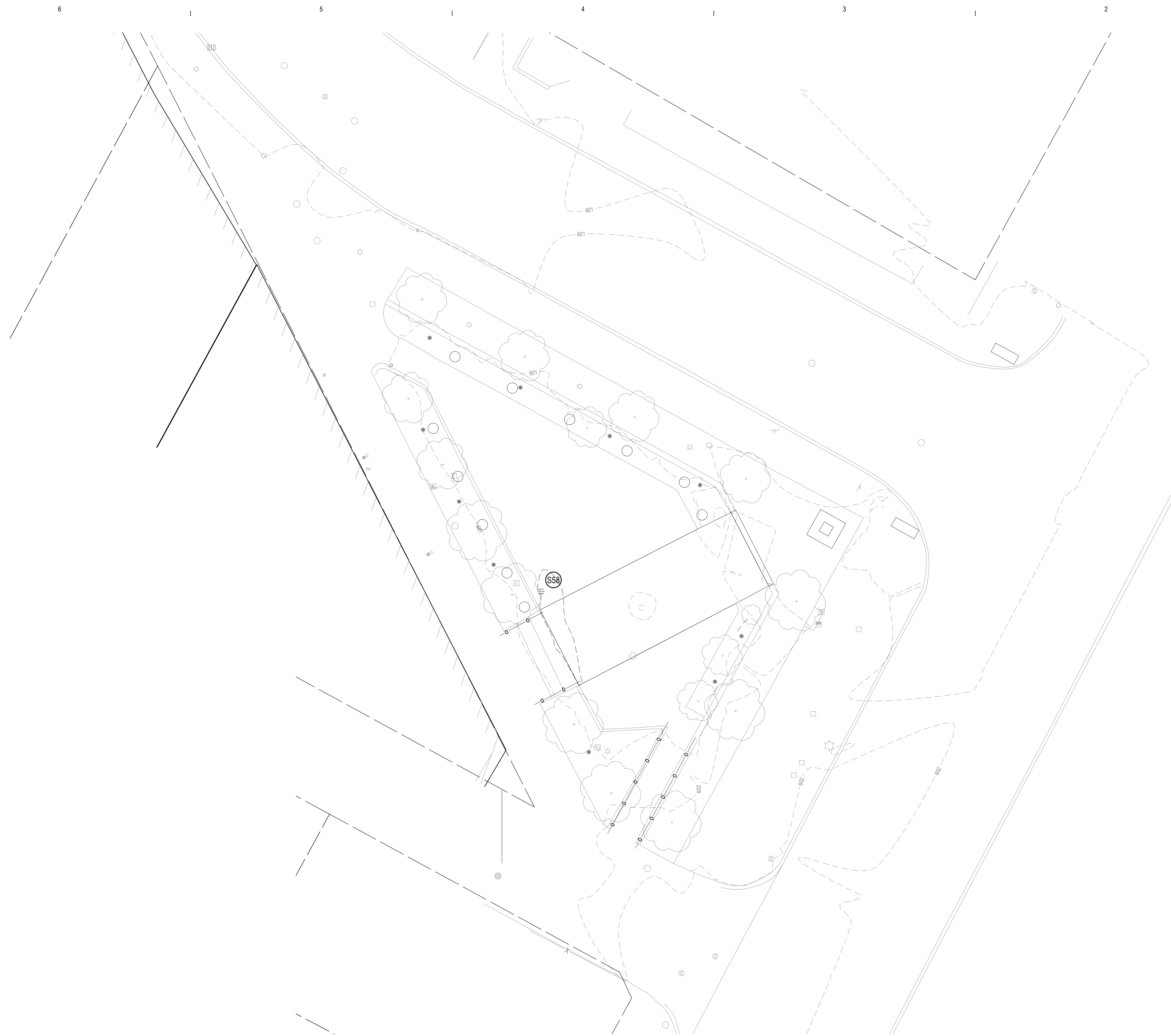
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PROJECT NUMBER  
 97080001  
 PROJECT MANAGER  
 DWW  
 PROFESSIONAL  
 DWW  
 DRAWN BY  
 DDS  
 CHECKED BY  
 DWW

**BEATRICE BUCK PARK GRADING AND SESC PLAN C301**

2/6/2024 2:31:15 PM Darian Skala  
 P:\170000\103\WP\C2\BMC302 - SITE GRADING AND SESC PLAN (P.J24).dwg sealed  
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**GRATIOT PLAZA GRADING AND SESC PLAN**  
 1"=10'  
 NORTH

**CALL 811 NOTE:**  
 CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

**BENCHMARKS:**

BM #1 TOP OF SW FLANGE BOLT TO HYD UNDER "J" OF E/JW S. SIDEOF GRAND RIVER AVENUE ±50' NW OF NW BLDG CORNER TO BUILDING ADDRESS 3N E. GRAND RIVER	ELEVATION = 601.35
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**GRADING LEGEND**

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GR	GROUND
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L	LANDING
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**S-E-S-C KEYING SYSTEM**

KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
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- (E5) \*DUST CONTROL TO BE MAINTAINED ON ENTIRE PROJECT
- (S51) \*\*SILT FENCE AS NEEDED ON PROJECT AS DIRECTED BY FIELD ENGINEER

PARADISE VALLEY CULTURAL AND ENTERTAINMENT DISTRICT CONSERVANCY  
 REDEVELOPMENT AND UPGRADE OF BEATRICE BUCK PARK (HARMONIE PARK) AND GRATIOT PLAZA  
 DETROIT, MICHIGAN  
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**PROJECT NUMBER**  
97080001

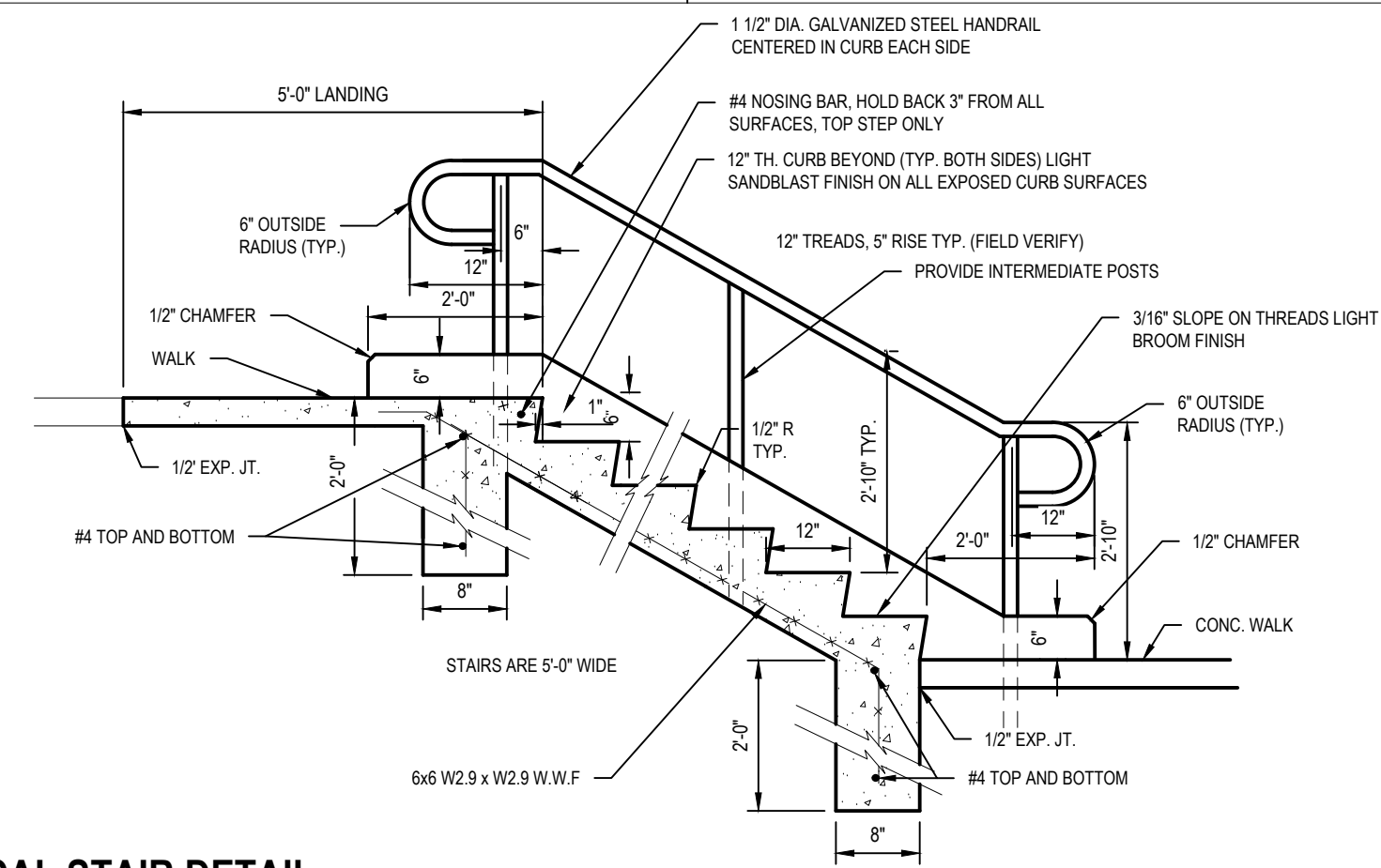
**PROJECT MANAGER**  
DWW

**PROFESSIONAL**  
DWW

**DRAWN BY**  
DDS

**CHECKED BY**  
DWW

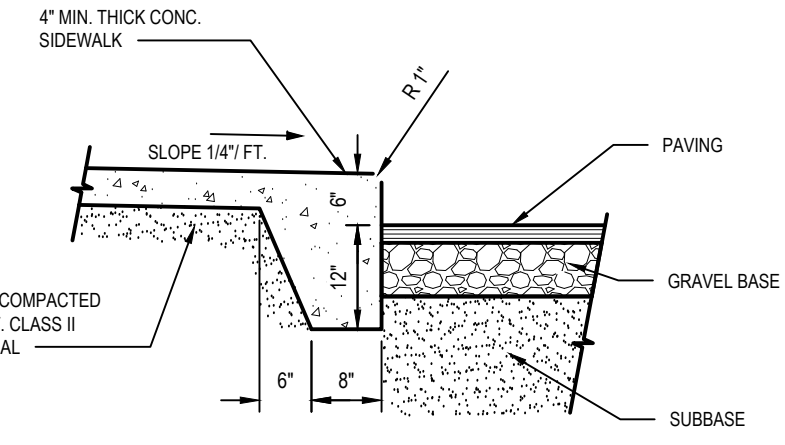
**GRATIOT PLAZA GRADING AND SESC PLAN C302**



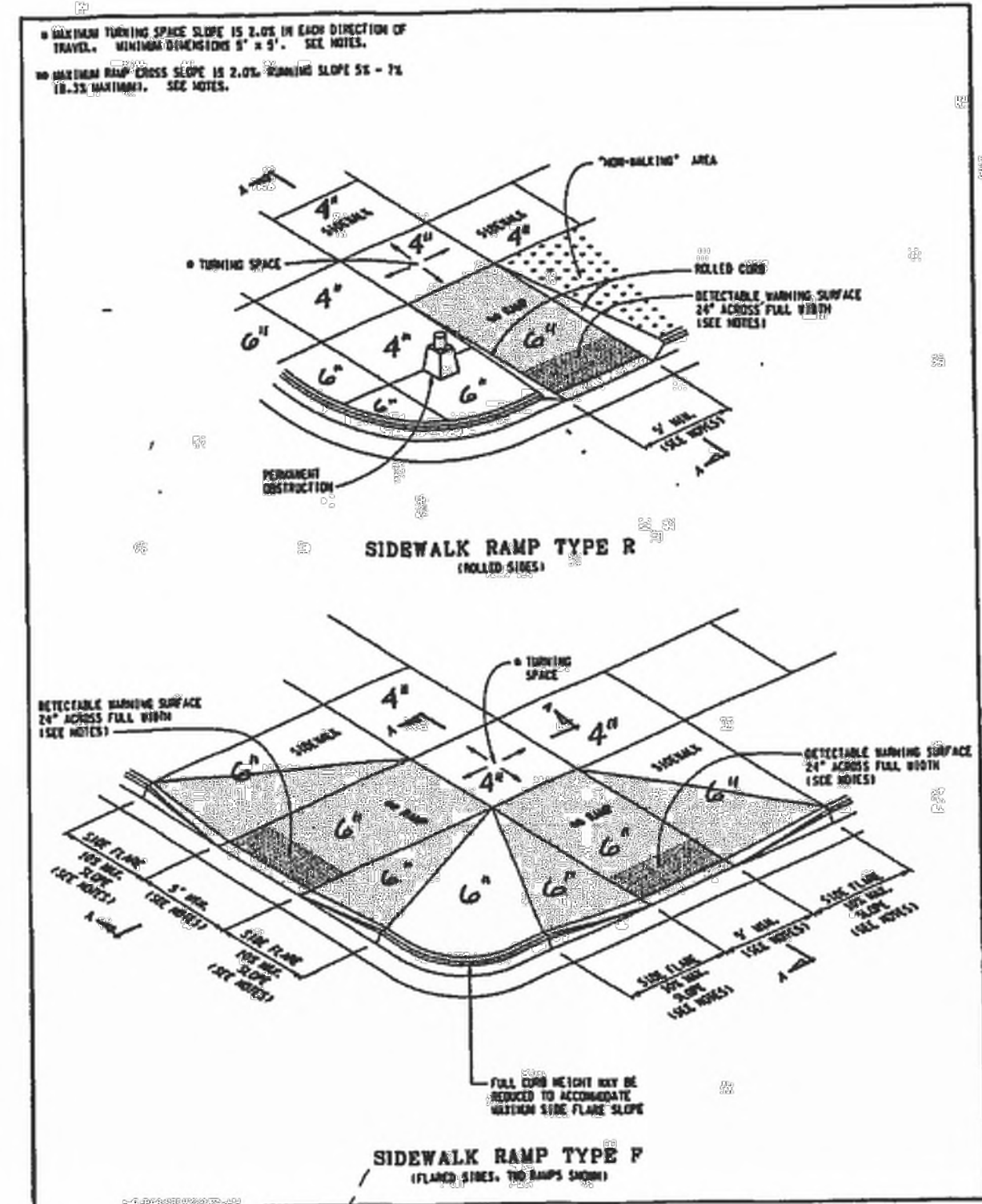
**A6** TYPICAL STAIR DETAIL  
NOT TO SCALE




**A4** STEEL H-BEAM POLE WITH WOOD ACCENT  
NOT TO SCALE



**A3** INTEGRAL CONCRETE WALK / CURB DETAIL  
NOT TO SCALE



**C6** SIDEWALK RAMP DETAIL  
NOT TO SCALE


**CITY OF DETROIT**  
 DEPARTMENT OF PUBLIC WORKS, CITY ENGINEERING DIVISION  
**SIDEWALK RAMP AND DETECTABLE WARNING DETAILS**  
 R-28-1 WITH CITY OF DETROIT THICKNESS AMENDMENT  
 4/19/2017 SHEET 1 OF 7

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**ISSUANCE**  
 02/06/2024  
 CITY APPROVAL

PROJECT NUMBER  
 97080001  
 PROJECT MANAGER  
 DWW  
 PROFESSIONAL  
 DWW  
 DRAWN BY  
 DDS  
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 DWW

2/6/2024 2:33:22 PM Dorian Skalko  
 P:\17060001\03\WP\C2\BIM\C501 - SITE DETAILS.dwg sealed  
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**CALL 811 NOTE:**  
CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

**GENERAL LANDSCAPE NOTES**

- IT HAS BEEN DETERMINED THAT THE EXISTING TREES ON SITE WILL BE SAVED. THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING THE EXISTING IVY FROM THE UPPER TREE BRANCHES DOWN TO THE POINT WHERE MULTIPLE BRANCHES BEGIN TO FORM THE UPPER CANOPY. PRUNE OUT ALL DEAD WOOD, BROKEN BRANCHES, AND LIMBS AS REQUIRED. THE CONTRACTOR WILL ALSO BE RESPONSIBLE FOR CONSULTING WITH A CERTIFIED ARBORIST TO DETERMINE THE CONDITION OF THE TREES, AS WELL AS AN APPROPRIATE FERTILIZATION PROGRAM TO ENSURE THE VIABILITY OF THE PLANT MATERIAL.
- ALL IVY BEYOND THE BASE OF THE TRUNK OF EACH TREE WILL BE REMOVED AND DISPOSED OF OFF-SITE. THIS REMOVAL ALSO INCLUDES THE IVY ON EXISTING STONE WALLS, LIGHTS, SIGNS, AND ANY OTHER VERTICAL ELEMENTS.
- IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND CONDITION OF THE EXISTING PLANT MATERIAL WHICH INCLUDES TREES, SHRUBS, PERENNIALS, AND GROUNDCOVER. ANY INFILL PLANTINGS WOULD BE SELECTED AND INSTALLED BY THE CONTRACTOR. THEY WOULD BE RESPONSIBLE FOR DETERMINING THE APPROPRIATE PLANT MATERIAL, SIZE, AND INSTALLATION DETAILS. ANY PLANT MATERIAL REQUIRING REPLACEMENT WOULD BE THE RESPONSIBILITY OF THE CONTRACTOR, PER THE STANDARD TERMS OF THE SPECIFICATIONS.
- ANY PLANTING AREAS WILL BE COVERED WITH A MINIMUM OF 4" OF SHREDDED HARDWOOD BARK MULCH.
- THE LOCATION OF ANY ANNUAL PLANTINGS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR, AS WELL AS THE COORDINATION WITH THE CITY OF DETROIT PARKS DEPARTMENT.

**PLAN REMOVED  
FROM DOCUMENT SET,  
SEE GENERAL LANDSCAPE  
NOTES**

**progressive ae**  
 PARADISE VALLEY CULTURAL AND ENTERTAINMENT DISTRICT CONSERVANCY  
 REDEVELOPMENT AND UPGRADE OF BEATRICE BUCK PARK (HARMONIE PARK) AND GRATIOT PLAZA  
 DETROIT, MICHIGAN  
 COA ARCHITECT COA ENGINEER  
 PROGRESSIVE AE, INC.  
 1811 1/2 MILE RD NE Grand Rapids, MI 49525 | 616.361.2664  
 2307 E. Grand Blvd., Suite 505 | Detroit, MI 48202 | 616.361.2664 www.progressiveae.com

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**ISSUANCE**  
02/06/2024  
CITY APPROVAL

**PROJECT NUMBER**  
97080001  
**PROJECT MANAGER**  
DWW  
**PROFESSIONAL**  
DWW  
**DRAWN BY**  
DDS  
**CHECKED BY**  
DWW

**BEATRICE BUCK  
PARK  
LANDSCAPING  
L201**



**CALL 811 NOTE:**  
CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

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**PLAN REMOVED  
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NOTES**

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PARADISE VALLEY CULTURAL AND ENTERTAINMENT DISTRICT CONSERVANCY  
REDEVELOPMENT AND UPGRADE OF BEATRICE BUCK PARK (HARMONIE PARK) AND GRATIOT PLAZA  
DETROIT, MICHIGAN

COA ARCHITECT COA ENGINEER

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**BEATRICE BUCK  
PARK  
LANDSCAPING  
L202**

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PARADISE VALLEY CULTURAL AND ENTERTAINMENT DISTRICT CONSERVANCY  
REDEVELOPMENT AND UPGRADE OF BEATRICE BUCK PARK (HARMONIE PARK) AND GRATIOT PLAZA  
DETROIT, MICHIGAN

COA ARCHITECT COA ENGINEER

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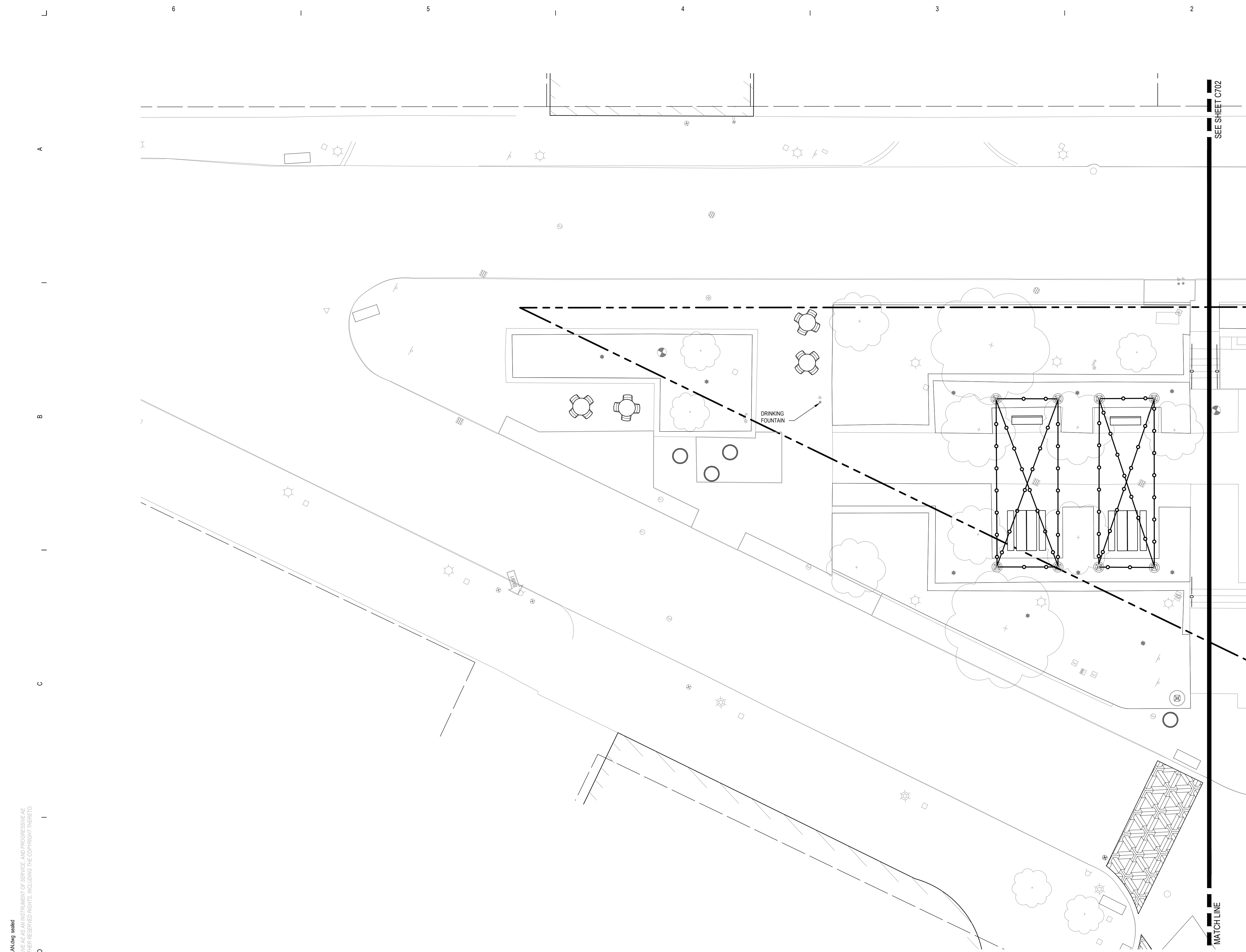
**ISSUANCE**  
02/06/2024  
CITY APPROVAL

PROJECT NUMBER  
97080001  
PROJECT MANAGER  
DWW  
PROFESSIONAL  
DWW  
DRAWN BY  
DDS  
CHECKED BY  
DWW

**GRATIOT PLAZA  
LANDSCAPING  
L203**

PROGRESSIVE AE, INC.  
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2327 E. Grand Blvd. | Suite 305 | Detroit, MI 48202 | 616.361.2664 | www.progressiveae.com





**BEATRICE BUCK PARK SITE FURNISHINGS**  
 1"= 10'  
 NORTH



**CALL 811 NOTE:**  
 CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

**BENCHMARKS:**

- BM #1 ELEVATION = 601.35  
TOP OF SW FLANGE BOLT TO HYD UNDER "J" OF E/JW S. SIDEOF GRAND RIVER AVENUE ±5' NW OF NW BLDG CORNER TO BUILDING ADDRESS 3N E. GRAND RIVER
- BM #2 ELEVATION = 602.86  
TOP OF E. FLANGE BOLT TO HYD UNDER "E" OF MADE S. SIDE OF RANDOLPH ACROSS OF THE MICHIGAN CHRONICLE BUILDING
- BM #3 ELEVATION = 603.72  
TOP OF W. FLANGE BOLT TO HYD UNDER "DI" SW QUADRANT OF GRATIOT AVENUE AND RANDOLPH STREET

**GENERAL SITE LAYOUT NOTES**

1. ALL WORKMANSHIP AND MATERIALS SHALL BE ACCORDING TO THE CURRENT MICHIGAN DEPARTMENT OF TRANSPORTATION (M.D.O.T) STANDARD SPECIFICATIONS FOR CONSTRUCTION.
2. CONTACT "MISS DIG" TOLL FREE AT 1-800-482-7171 THREE (3) DAYS PRIOR TO THE START OF CONSTRUCTION, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS.
3. NO DIMENSION MAY BE SCALED. REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATION.
4. DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED AS B-B (BACK TO BACK) OR E-E (EDGE OF METAL TO EDGE OF METAL).
5. CONTRACTOR TO PAINT STRIPE ALL PARKING SPACES SHOWN. PAINT COLOR TO BE YELLOW.
6. UPON REQUEST, ELECTRONIC INFORMATION WILL BE PROVIDED FOR SITE LAYOUT PURPOSES. CONTRACTOR SHALL REQUEST ALL INFORMATION IN WRITING THROUGH PROGRESSIVE AE. LAYOUT OF ALL NEW CONSTRUCTION SHALL BE DONE BY A LICENSED SURVEYOR.
7. ALL CONCRETE JOINTS SHALL BE TOOLED PER SPECIFICATIONS.
8. CONTRACTOR MUST RESTORE AND REPAIR ANY EXISTING CONDITIONS DISTURBED BY CONSTRUCTION. THIS IS TO INCLUDE BURIED UTILITIES, LIGHTING, LANDSCAPING, SPRINKLING, ETC.
9. ANY AREA DISTURBED BY CONSTRUCTION TO BE RESTORED TO CONDITION EQUAL TO OR BETTER THAN BEFORE CONSTRUCTION BEGAN.
10. ALL PAVEMENT, CURB & GUTTER, SIDEWALK AND UTILITIES WITHIN PUBLIC RIGHT OF WAY SHALL MEET CITY OF DETROIT STANDARDS.
11. CONTRACTOR TO PROTECT EXISTING IRRIGATION SYSTEM AS MUCH AS POSSIBLE. REPAIR DAMAGE TO EXISTING IRRIGATION SYSTEM AND RECONFIGURE SPRINKLER LAYOUT TO ACCOMMODATE THE NEW IMPROVEMENTS.
12. CLIENT AND CONTRACTOR TO DISCUSS THE POTENTIAL LOCATION OF ADDITIONAL ART INSTALLATIONS./
13. COLOR AND FINISH OF FURNISHINGS TO BE SELECTED BY OWNER.

**SITE FURNISHING GRAPHIC KEY**

- BENCH
- LITTER RECEPTACLE
- GROUP TABLE WITH SEATING
- OUTDOOR DINING TABLE WITH SEATING
- 3-FOOT DIAMETER PLANTER POT
- 2-FOOT DIAMETER PLANTER POT
- OVERHEAD FESTOON LIGHTING
- CLEAN AND PREPARE SURFACE FOR PAINT APPLICATION (BY OTHERS)

**PROGRESSIVE ae**  
 PARADISE VALLEY CULTURAL AND ENTERTAINMENT DISTRICT CONSERVANCY  
 REDEVELOPMENT AND UPGRADE OF BEATRICE BUCK PARK (HARMONIE PARK) AND GRATIOT PLAZA  
 DETROIT, MICHIGAN  
 COA ARCHITECT COA ENGINEER  
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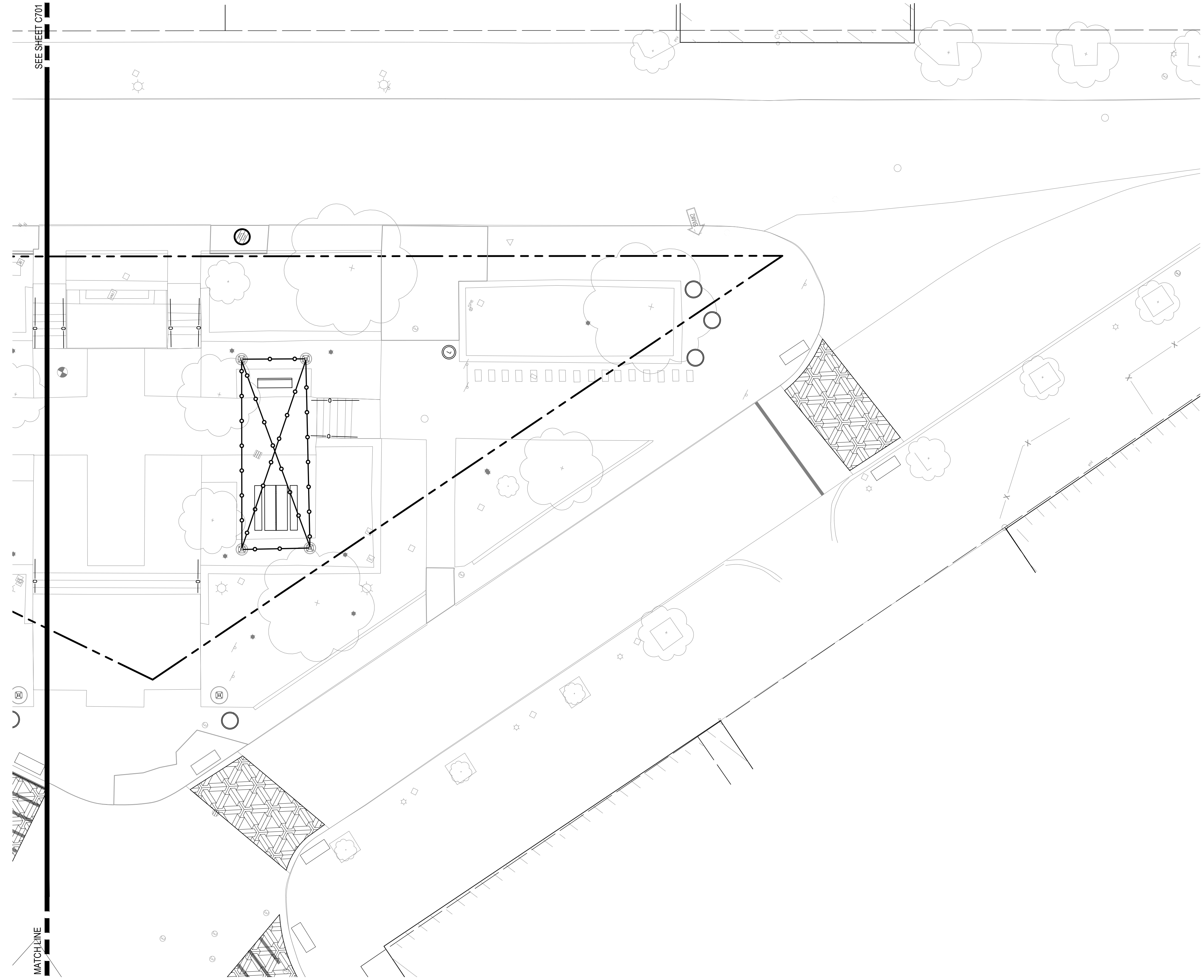
**ISSUANCE**  
 02/06/2024  
 CITY APPROVAL

PROJECT NUMBER  
 97080001  
 PROJECT MANAGER  
 DWW  
 PROFESSIONAL  
 DWW  
 DRAWN BY  
 DDS  
 CHECKED BY  
 DWW

**BEATRICE BUCK PARK SITE FURNISHINGS L701**

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**BEATRICE BUCK PARK SITE FURNISHINGS**  
 1"= 10'  
 NORTH



**CALL 811 NOTE:**  
 CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

**BENCHMARKS:**

- BM #1 ELEVATION = 601.35  
TOP OF SW FLANGE BOLT TO HYD UNDER "J" OF E/JW S. SIDEOF GRAND RIVER AVENUE ±5' NW OF NW BLDG CORNER TO BUILDING ADDRESS 3N E. GRAND RIVER
- BM #2 ELEVATION = 602.86  
TOP OF E. FLANGE BOLT TO HYD UNDER "E" OF MADE S. SIDE OF RANDOLPH ACROSS OF THE MICHIGAN CHRONICLE BUILDING
- BM #3 ELEVATION = 603.72  
TOP OF W. FLANGE BOLT TO HYD UNDER "DI" SW QUADRANT OF GRATIOT AVENUE AND RANDOLPH STREET

**GENERAL SITE LAYOUT NOTES**

1. ALL WORKMANSHIP AND MATERIALS SHALL BE ACCORDING TO THE CURRENT MICHIGAN DEPARTMENT OF TRANSPORTATION (M.D.O.T) STANDARD SPECIFICATIONS FOR CONSTRUCTION.
2. CONTACT "MISS DIG" TOLL FREE AT 1-800-482-7171 THREE (3) DAYS PRIOR TO THE START OF CONSTRUCTION, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS.
3. NO DIMENSION MAY BE SCALED. REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATION.
4. DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED AS B-B (BACK TO BACK) OR E-E (EDGE OF METAL TO EDGE OF METAL).
5. CONTRACTOR TO PAINT STRIPE ALL PARKING SPACES SHOWN. PAINT COLOR TO BE YELLOW.
6. UPON REQUEST, ELECTRONIC INFORMATION WILL BE PROVIDED FOR SITE LAYOUT PURPOSES. CONTRACTOR SHALL REQUEST ALL INFORMATION IN WRITING THROUGH PROGRESSIVE AE. LAYOUT OF ALL NEW CONSTRUCTION SHALL BE DONE BY A LICENSED SURVEYOR.
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12. CLIENT AND CONTRACTOR TO DISCUSS THE POTENTIAL LOCATION OF ADDITIONAL ART INSTALLATIONS./
13. COLOR AND FINISH OF FURNISHINGS TO BE SELECTED BY OWNER.

**SITE FURNISHING GRAPHIC KEY**

- BENCH
- LITTER RECEPTACLE
- GROUP TABLE WITH SEATING
- OUTDOOR DINING TABLE WITH SEATING
- 3-FOOT DIAMETER PLANTER POT
- 2-FOOT DIAMETER PLANTER POT
- OVERHEAD FESTOON LIGHTING
- CLEAN AND PREPARE SURFACE FOR PAINT APPLICATION (BY OTHERS)
- HIGH GRASS CORTEN STEEL PILLARS FOR IVY GROWTH

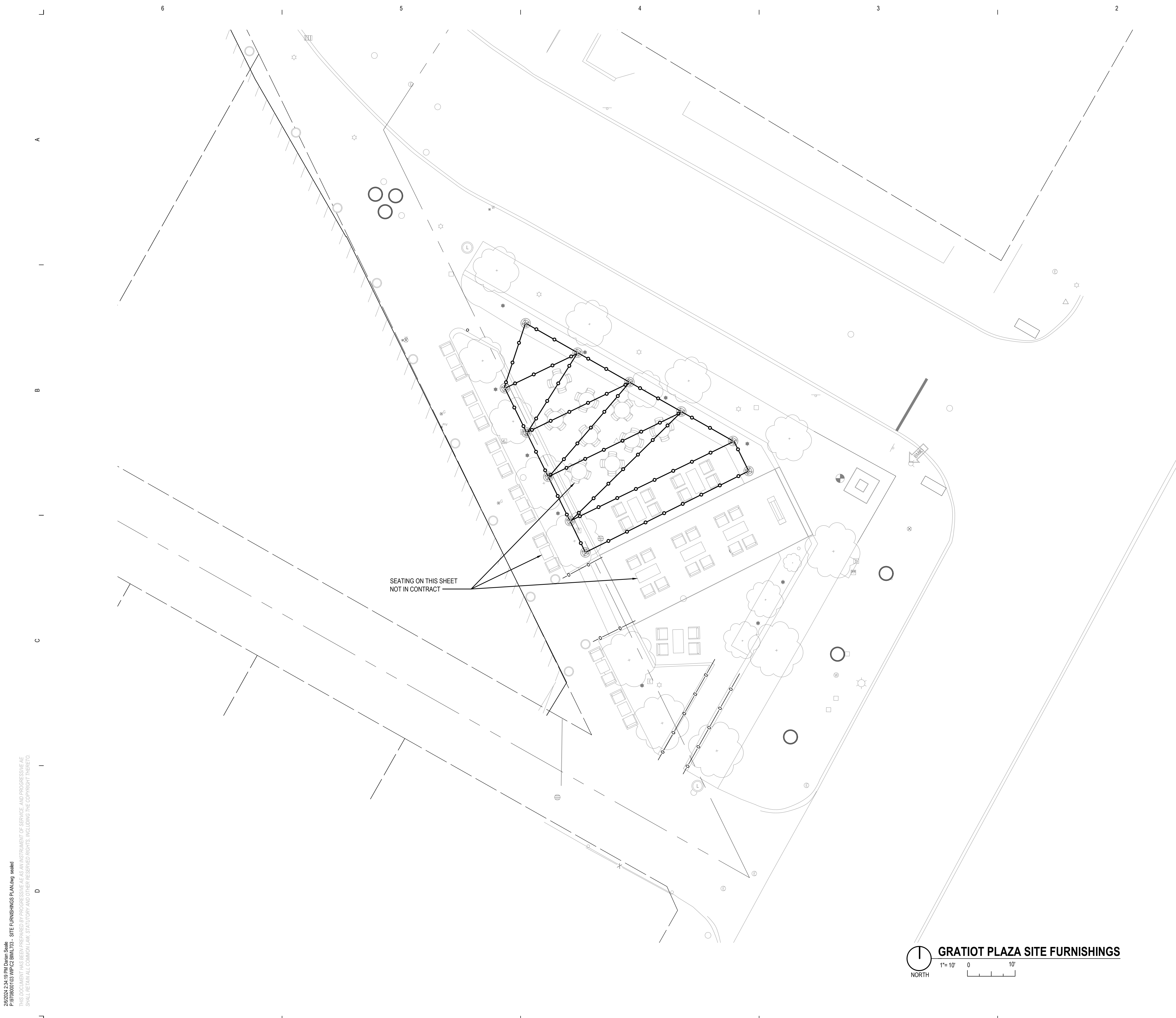
**PROGRESSIVE AE**  
 PARADISE VALLEY CULTURAL AND ENTERTAINMENT DISTRICT CONSERVANCY REDEVELOPMENT AND UPGRADE OF BEATRICE BUCK PARK (HARMONIE PARK) AND GRATIOT PLAZA  
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PROJECT NUMBER  
 97080001  
 PROJECT MANAGER  
 DWW  
 PROFESSIONAL  
 DWW  
 DRAWN BY  
 DDS  
 CHECKED BY  
 DWW

**BEATRICE BUCK PARK SITE FURNISHINGS L702**



**CALL 811 NOTE:**  
 CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

**BENCHMARKS:**

- BM #1 ELEVATION = 601.35  
TOP OF SW FLANGE BOLT TO HYD UNDER "J" OF E/JW S. SIDEOF GRAND RIVER AVENUE ±50' NW OF NW BLDG CORNER TO BUILDING ADDRESS 3N E. GRAND RIVER
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- BM #3 ELEVATION = 603.72  
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- 3-FOOT DIAMETER PLANTER POT
- 2-FOOT DIAMETER PLANTER POT
- OVERHEAD FESTOON LIGHTING

SEATING NOT IN CONTRACT

**GRATIOT PLAZA SITE FURNISHINGS**  
 1"=10'  
 NORTH

2/6/2024 2:24:19 PM Darian Skalko  
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 DDS  
 CHECKED BY  
 DWW

**GRATIOT PLAZA SITE FURNISHINGS L703**

**ELECTRICAL ABBREVIATIONS ...**

A	AMPERES
ACU	AIR CONDITIONING UNIT
AFG	ABOVE FINISH GRADE
AHJ	AUTHORITY HAVING JURISDICTION
AHU	AIR HANDLING UNIT
AL	ALUMINUM
AP	ACCESS PANEL
APPROX	APPROXIMATE
ATS	AUTOMATIC TRANSFER SWITCH
AUX	AUXILIARY
AWG	AMERICAN WIRE GAUGE
B	BOILER
BAS	BUILDING AUTOMATION SYSTEM
BF	BARRIER FREE
BFG	BELOW FINISHED GRADE
BMS	BUILDING MANAGEMENT SYSTEM
BOD	BOTTOM OF DEVICE
BSMT	BASEMENT
C	CONDUIT
CATV	COMMUNITY ANTENNA TELEVISION
CB	CIRCUIT BREAKER
CCTV	CLOSED-CIRCUIT TELEVISION
CF	CEILING FAN
CH	CABINET HEATER
CL	CENTERLINE
CLR	CLEAR, CLEARANCE
CMPR	COMPRESSOR
CONV	CONVECTOR
CP	CIRCULATING PUMP
CR	CARD READER
CT	COOLING TOWER
CU	COPPER
DEPT	DEPARTMENT
DET	DETAIL
DISC	DISCONNECT
DIST	DISTRIBUTION
DW	DISHWASHER
DWH	DOMESTIC WATER HEATER
EF	EXHAUST FAN
ELEC	ELECTRIC, ELECTRICAL
ELEV	ELEVATOR
EM	EMERGENCY
EMS	ENERGY MANAGEMENT SYSTEM
EMT	ELECTRICAL METALLIC TUBING
EWC	ELECTRIC WATER COOLER
EWB	ELECTRIC WATER HEATER
F	FAHRENHEIT
FA	FIRE ALARM
FACP	FIRE ALARM CONTROL PANEL
FBO	FURNISHED BY OTHERS
FC	FLEXIBLE CONNECTION
FDS	FUSED DISCONNECT SWITCH
FIXT	FIXTURE
FL	FLUORESCENT
FLA	FULL LOAD AMPS
FLEX	FLEXIBLE
FMC	FLEXIBLE METAL CONDUIT
FURN	FURNISH, FURNISHED
GALV	GALVANIZED
GEN	GENERATOR
GFI	GROUND FAULT CIRCUIT INTERRUPTOR

**ELECTRICAL ABBREVIATIONS ...**

GND	GROUND
HP	HORSEPOWER
HTG	HEATING
HTR	HEATER
HV	HIGH VOLTAGE
IBC	INTERNATIONAL BUILDING CODE
IG	ISOLATED GROUND
IMC	INTERMEDIATE METAL CONDUIT
JBOX	JUNCTION BOX
KVA	KILOVOLT-AMPERES
KW	KILOWATTS
KWH	KILOWATT-HOURS
LEED	LEADERSHIP IN ENERGY AND ENVIRONMENTAL DESIGN
LTG	LIGHTING
LV	LOW VOLTAGE
MC	MECHANICAL CONTRACTOR
MCA	MINIMUM CIRCUIT AMPS
MCB	MAIN CIRCUIT BREAKER
MCC	MOTOR CONTROL CENTER
MD	MOTORIZED DAMPER
MDP	MAIN DISTRIBUTION PANEL
MECH	MECHANICAL
MFDS	MAIN FUSED DISCONNECT SWITCH
MH	MANHOLE
MLO	MAIN LUGS ONLY
MOP	MAXIMUM OVERCURRENT PROTECTION
MSBD	MAIN SWITCH BOARD
MT	MOUNT
MTR	MOTOR, MOTORIZED
MTS	MANUAL TRANSFER SWITCH
NEMA	NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION
NL	NIGHT-LIGHT
OH	OVERHEAD
OHD	OVERHEAD DOOR
P	PUMP
PH	PHASE
PNL	PANEL
PP	POWER POLE
PRI	PRIMARY
PVC	POLYVINYL CHLORIDE
PWR	POWER
RECEPT	RECEPTACLE
RTU	ROOFTOP UNIT
TEL	TELEPHONE
TR	TAMPER RESISTANT
TV	TELEVISION
UE	UNDERGROUND ELECTRICAL
UG	UNDERGROUND
UH	UNIT HEATER
V	VOLTS
VA	VOLT-AMPERES
VFD	VARIABLE FREQUENCY DRIVE
W	WATTS
WH	WATER HEATER
XFER	TRANSFER
XFMR	TRANSFORMER
Ø	PHASE

**SITE SYMBOL LEGEND**

SYMBOL	DESCRIPTION
	LINEAR LIGHT (TYPE DENOTED)
	IN-GRADE LIGHT (TYPE DENOTED)
	POLE TOP MOUNTED LIGHT (TYPE DENOTED)
	FESTOON LIGHT (TYPE DENOTED)
	GOBO LIGHT (TYPE DENOTED)
	JUNCTION BOX (IN-GRADE)
	POWER PEDESTAL
	UTILITY METER
	CIRCUIT BREAKER PANEL
	CEILING CCTV CAMERA
	SPEAKER (WALL OR CEILING MT.)

NOTE: SYMBOLS REPRESENT EQUIPMENT SPECIFIED BY OTHERS, THE SCOPE OF WORK REPRESENTED IN THESE DRAWINGS INCLUDES DEVICE BACKBOX AND CONDUIT FROM BACKBOX TO ABOVE ACCESSIBLE CEILING TERMINATED WITH INSULATED BUSHING (UNLESS NOTED OTHERWISE).

**GENERAL ELECTRICAL NOTES**

1. ALL WORK TO COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS ADOPTED BY THE AHJ FOR THE PROJECT LOCATION, INCLUDING (NOT NOT LIMITED TO) ELECTRICAL CODES, BUILDING CODES, ENERGY CODES, ETC.
2. COORDINATE INSTALLATION WITH ARCHITECTURAL PLANS, ELEVATIONS, AND REFLECTED CEILING PLANS FOR DEVICE AND FIXTURE PLACEMENT, AS WELL AS FIRE RATED PARTITIONS, EXPANSION JOINTS, ETC.
3. COORDINATE INSTALLATION WITH VENDOR/ CONTRACTOR SHOP DRAWINGS WHERE APPROPRIATE.
4. FIELD COORDINATE INSTALLATION WITH THE INSTALLATION OF OTHER TRADES TO AVOID CLASHES AND CONFLICTS.
5. WHERE MOUNTING HEIGHTS ARE SHOWN, THEY ARE TO BE CONSIDERED TO BE TO THE CENTER OF THE DEVICE, UNLESS NOTED OTHERWISE.
6. ALL CONDUCTORS OPERATING AT 50 VOLTS OR GREATER SHALL BE IN RACEWAY OR PART OF A LISTED CABLE ASSEMBLY SUITABLE FOR THE INSTALLED PURPOSE AND LOCATION, AND ALLOWED BY PROJECT SPECIFICATIONS.
7. ALL CABLES AND CONDUCTORS OPERATING AT LESS THAN 50 VOLTS SHALL BE IN RACEWAY WHERE INSTALLED WITHIN WALLS OR INACCESSIBLE SPACES. CABLES ABOVE ACCESSIBLE CEILINGS MAY BE ROUTED IN CABLE SUPPORT HOOKS/RINGS. CABLES TO BE ROUTED IN CABLE TRAY WHERE SHOWN.
8. FOR 20 AMPERE, 120 VOLT BRANCH CIRCUITS, USE #10 AWG CONDUCTORS FOR BRANCH CIRCUITS LONGER THAN 75 FEET AND #8 AWG CONDUCTORS FOR BRANCH CIRCUITS LONGER THAN 150 FEET, UNO. THIS SHALL BE REQUIRED FOR THE ENTIRE LENGTH OF THE CIRCUIT.
9. FOR 20 AMPERE, 277 VOLT BRANCH CIRCUITS, USE #10 AWG CONDUCTORS FOR BRANCH CIRCUITS LONGER THAN 150 FEET, UNO. THIS SHALL BE REQUIRED FOR THE ENTIRE LENGTH OF THE CIRCUIT.
10. WHERE CONFLICTS EXIST IN DRAWINGS OR BETWEEN DRAWINGS AND SPECIFICATIONS, ISSUE REQUEST FOR INTERPRETATION TO DESIGN TEAM FOR CLARIFICATION PRIOR TO INSTALLATION.

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**PROGRESSIVE AE**  
 PARADISE VALLEY CULTURAL AND ENTERTAINMENT DISTRICT CONSERVACY REDEVELOPMENT AND UPGRADE OF BEATRICE PARK (HARMONIE PARK) AND GRATIOT PLAZA  
 DETROIT, MICHIGAN  
 PROGRESSIVE AE, INC.  
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COA ARCHITECT COA ENGINEER

**ISSUANCE**  
 02/02/2024  
 CITY APPROVAL

PROJECT NUMBER  
 97080001  
 PROJECT MANAGER  
 D. WESTENBURG  
 PROFESSIONAL  
 S. GENGBACH  
 DRAWN BY  
 K. WOOD  
 CHECKED BY  
 S. GENGBACH

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BEATRICE BUCK PARK (HARMONIE PARK)  
 SEE SHEETS ES002 THROUGH ES004 FOR  
 NEW ELECTRICAL / SYSTEMS WORK.

GRATIOT PLAZA  
 SEE SHEETS ES005  
 THROUGH ES007 FOR  
 NEW ELECTRICAL /  
 SYSTEMS WORK.

**OVERALL ELECTRICAL DEMOLITION SITE PLAN**  
 1" = 40'-0"

**SITE DEMOLITION GENERAL NOTES**

- A. REFERENCE CIVIL AND LANDSCAPE DOCUMENTS FOR PHASES OF DEMOLITION AND CONSTRUCTION. COORDINATE THE GENERAL CONSTRUCTION.
- B. DISCONNECT AND REMOVE ALL ELECTRICAL EQUIPMENT, DEVICES, AND LUMINAIRES IN DEMOLITION AREA UNLESS NOTED OTHERWISE.
- C. COORDINATE AND VERIFY REQUIREMENTS WITH NEW WORK TO BE CONSTRUCTED IN THE AREA.
- D. MAINTAIN ELECTRICAL AND DATA/COMMUNICATIONS SERVICE TO EQUIPMENT, DEVICES, AND LUMINAIRES LOCATED OUTSIDE OF DEMOLITION AREA BUT MAY BE AFFECTED BY WORK WITHIN DEMOLITION AREA. PROVIDE CONDUCTORS AND RACEWAY AS REQUIRED.

**SITE DEMOLITION KEYNOTES**

- 1. REMOVE ALL EXISTING IN-GRADE FIXTURES AND WIRING BACK TO SOURCE.
- 2. REMOVE EXISTING SURFACE MOUNTED LIGHTING FIXTURE, WIRING AND ANY ASSOCIATED CONDUIT BACK TO SOURCE.
- 3. REMOVE ALL EXISTING SPEAKERS, WIRE AND CONDUIT BACK TO SOURCE.
- 4. REMOVE EXISTING POWER PEDESTALS, CONDUIT AND WIRE BACK TO SOURCE.
- 5. REMOVE EXISTING POWER AND LIGHTING CONTROLS AND PANELS BACK TO UTILITY METER.

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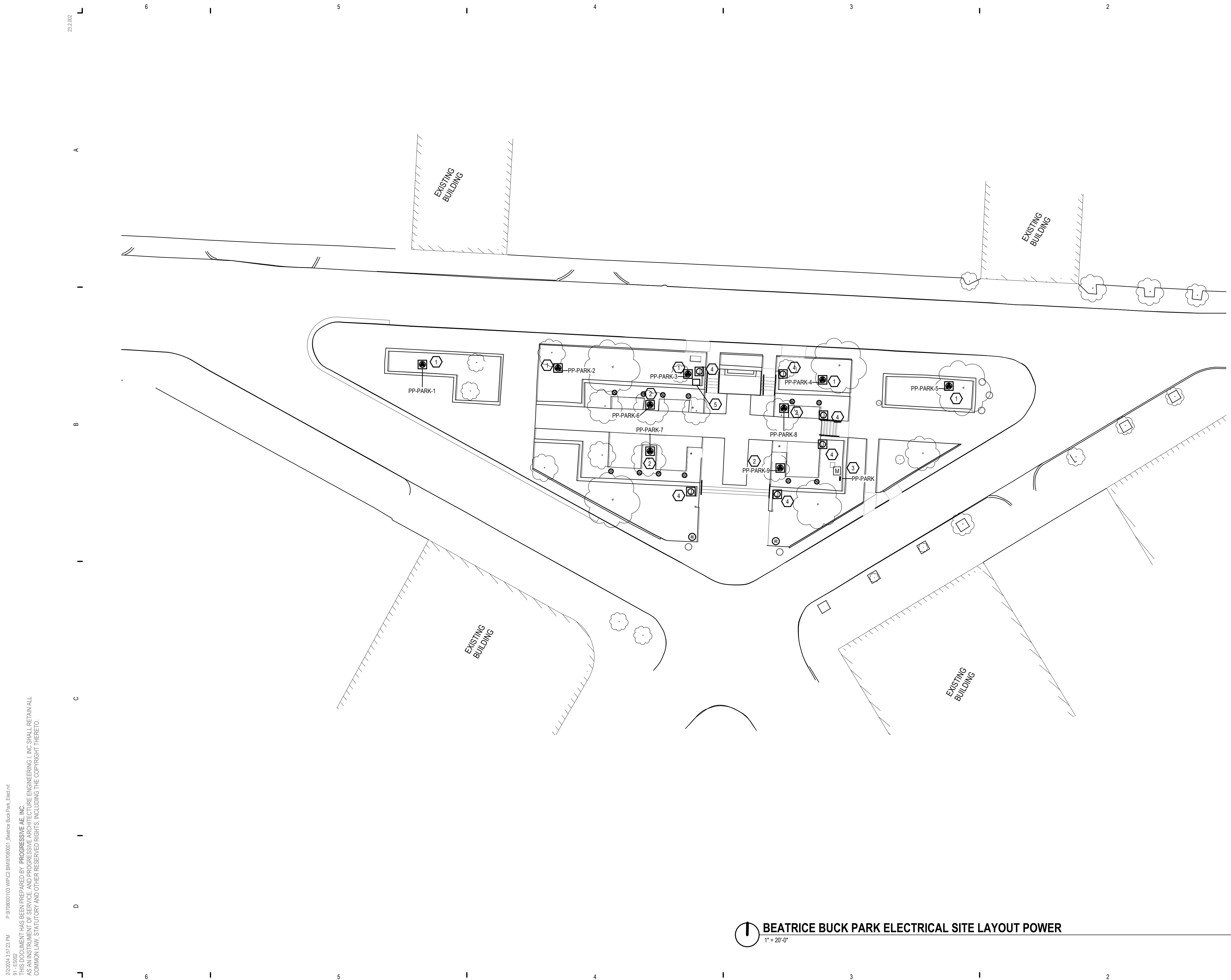
**PARADISE VALLEY CULTURAL AND ENTERTAINMENT DISTRICT CONSERVACY REDEVELOPMENT AND UPGRADE OF BEATRICE PARK (HARMONIE PARK) AND GRATIOT PLAZA**  
 DETROIT, MICHIGAN

COA ARCHITECT COA ENGINEER

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**ISSUANCE**  
 02/02/2024  
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PROJECT NUMBER  
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 PROJECT MANAGER  
 D. WESTENBURG  
 PROFESSIONAL  
 S. GENGBACH  
 DRAWN BY  
 K. WOOD  
 CHECKED BY  
 S. GENGBACH



**BEATRICE BUCK PARK ELECTRICAL SITE LAYOUT POWER**  
 1" = 20'-0"

**SITE GENERAL NOTES**

- A. ALL LIGHTING AND POWER CONDUCTORS SHALL BE INSTALLED BETWEEN 24" (MINIMUM) AND 36" (MAXIMUM) BELOW FINISHED GRADE.
- B. ALL COMMUNICATIONS CONDUIT AND CABLES SHALL BE INSTALLED 36" (MINIMUM) BELOW FINISHED GRADE.
- C. ALL CONDUCTORS FOR EXTERIOR LIGHTING AND POWER CIRCUITS SHALL BE #8 AWG MINIMUM.
- D. ROUTE ALL UNDERGROUND CONDUITS OR UNDERGROUND CABLING PARALLEL TO ONE ANOTHER. DIRECTIONAL BORE UNDER EXISTING CONCRETE AND PAVERS.

**SITE PLAN KEYNOTES**

1. PROVIDE 16", 1-GANG, LEGRAND 30A POWER PEDESTALS #XPP1G16-BK IN LOCATIONS INDICATED FOR FOOD TRUCKS DURING EVENTS. PROVIDE WEATHERPROOF FLIP LID LEGRAND #XPP1G16C-BK AND LEGRAND 1-GANG DEVICE PLATE #XPP1GP-BK. COORDINATE WITH CIVIL, LANDSCAPE ARCHITECT AND IRRIGATION CONTRACTOR FOR EXACT LOCATIONS.
2. PROVIDE 30", 2-GANG, LEGRAND 20A POWER PEDESTALS #XPP2G30-BK WITH (4) USB AND (2) 20A DUPLEX. PROVIDE WEATHERPROOF FLIP LID LEGRAND #XPP2G30C-BK AND LEGRAND 1-GANG DEVICE PLATE #XPP2GP-BK. COORDINATE WITH CIVIL, LANDSCAPE ARCHITECT AND IRRIGATION CONTRACTOR FOR EXACT LOCATIONS.
3. PROVIDE HUBBELL WIEGMANN S5040218 STAINLESS STEEL ENCLOSURE 36x24x8 N4X, 304 STAINLESS STEEL ELECTRICAL PANEL. EXTEND EXISTING FEEDER FROM EXISTING METER WHICH SHALL REMAIN.
4. PROVIDE IN-GRADE JUNCTION BOX FOR ELECTRICAL CONNECTION TO HANDRAILS. REFER TO SHEETS ES003 FOR HANDRAIL LOCATION AND SHEET E802 FOR LIGHTING FIXTURE SCHEDULE. COORDINATE WITH CIVIL / LANDSCAPE TRADES.
5. PROVIDE HUBBELL #WRD723630SFSN4, 72x36x30 NEMA 4X 304 STAINLESS STEEL ENCLOSURE WITH COOLING FOR SOUND SYSTEM, AV, RGBW CONTROLLERS AND REMOTE LED DRIVERS. COORDINATE WITH CIVIL / LANDSCAPE AND SOUND EQUIPMENT TRADES. PROVIDE 8" CONCRETE PAD FOR NEMA 4X WEATHERPROOF CABINET WITH (6) 2" CONDUIT STUB-UPS FOR DMX CABLING, POWER, SPEAKER AND AMP CABLING. REFER TO SHEET E801 FOR PAD BASE DETAIL.

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 REDEVELOPMENT AND UPGRADE  
 OF BEATRICE PARK (HARMONIE PARK) AND GRATIOT PLAZA  
 DETROIT, MICHIGAN

COA ARCHITECT COA ENGINEER

ISSUANCE

02/02/2024  
CITY APPROVAL

PROJECT NUMBER  
97080001

PROJECT MANAGER  
D. WESTENBURG

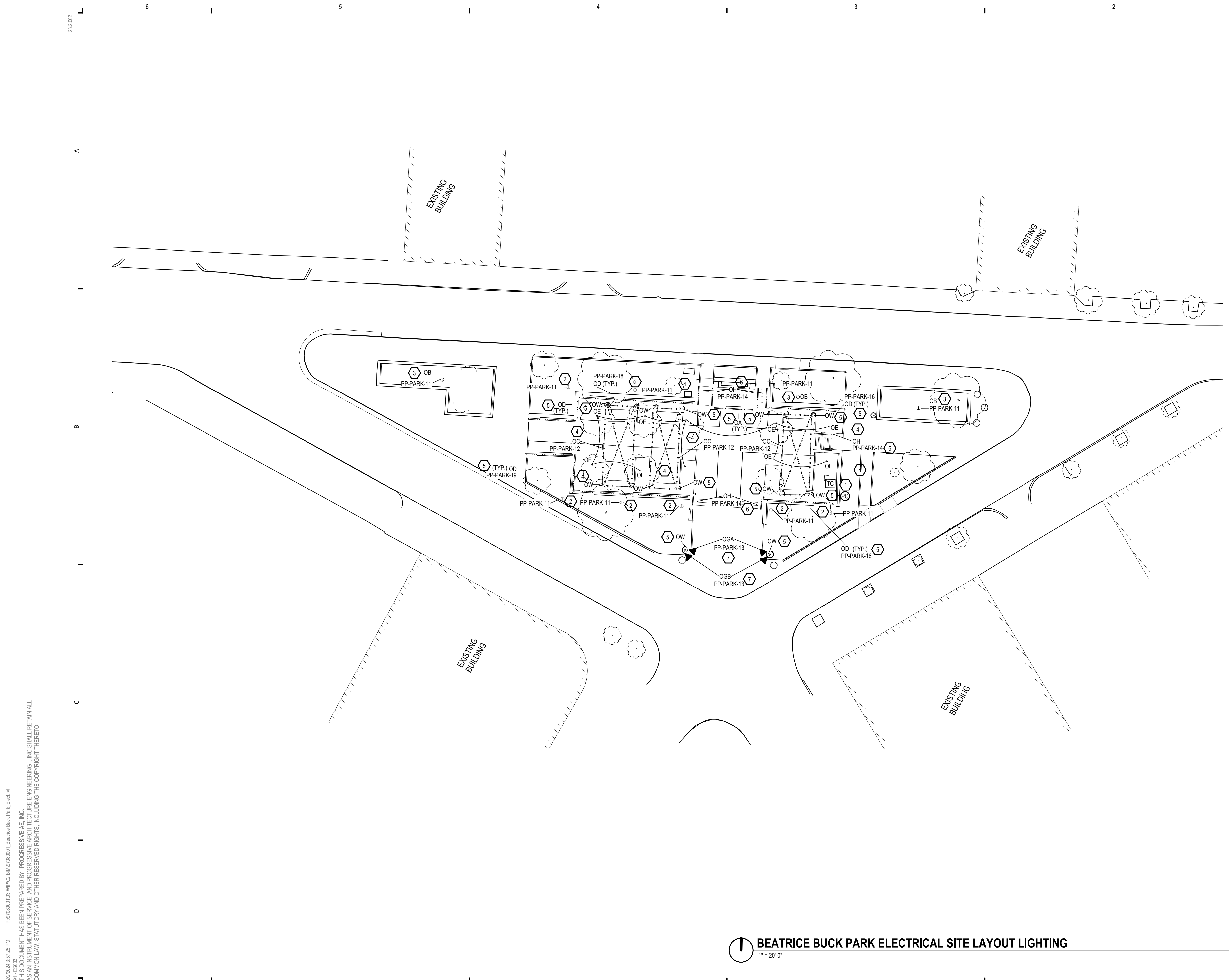
PROFESSIONAL  
S. GENGBACH

DRAWN BY  
K. WOOD

CHECKED BY  
S. GENGBACH

BEATRICE BUCK PARK ELECTRICAL SITE LAYOUT POWER

ES002



**BEATRICE BUCK PARK ELECTRICAL SITE LAYOUT LIGHTING**  
1" = 20'-0"

**SITE GENERAL NOTES**

- A. ALL LIGHTING AND POWER CONDUCTORS SHALL BE INSTALLED BETWEEN 24" (MINIMUM) AND 36" (MAXIMUM) BELOW FINISHED GRADE.
- B. ALL COMMUNICATIONS CONDUIT AND CABLES SHALL BE INSTALLED 36" (MINIMUM) BELOW FINISHED GRADE.
- C. ALL CONDUCTORS FOR EXTERIOR LIGHTING AND POWER CIRCUITS SHALL BE #8 AWG MINIMUM.
- D. ROUTE ALL UNDERGROUND CONDUITS OR UNDERGROUND CABLING PARALLEL TO ONE ANOTHER. DIRECTIONAL BORE UNDER EXISTING CONCRETE AND PAVERS.

**SITE PLAN KEYNOTES**

- 1. GENERAL PARK AND PLAZA LIGHTING SHALL BE CONTROLLED VIA PHOTOCELL AND TIMECLOCK. WITH DMX AND TIMECLOCK OVERRIDE WITH 2, 4, 6 HOUR OVERRIDE CAPABILITIES FOR EVENTS. THE PARK AND PLAZA SHALL BE CONTROLLED SEPARATELY FROM ONE ANOTHER.
- 2. EXISTING POLE AND FIXTURE SHALL REMAIN. RELAMP WITH 3000K LED REPLACEMENT LAMP. CURRENT LIGHTING #93303384.
- 3. PROVIDE NEW POLE BASE, POLE AND LUMINAIRE. REFER TO LUMINAIRE SCHEDULE ON SHEET E602 AND BASE DETAIL ON SHEET E601. VERIFY POLE HEIGHT PRIOR TO ORDERING.
- 4. PROVIDE DMX CONTROLLERS FOR RGBW FIXTURES IN NEMA 4 EXTERIOR WEATHERPROOF BOX. TIE ALL CONTROLLERS INTO ONE MAIN DMX PROGRAMMING STATION FOR SCENE PROGRAMMING. CONNECT SOUND EQUIPMENT AMPLIFIER INTO MAIN DMX CONTROLLER. REFER TO SHEET ES002.
- 5. PROVIDE 120V BRANCH CIRCUITING FROM PANEL PP-PARK TO DMX CONTROLLERS AS NECESSARY FOR A FULLY OPERATIONAL SYSTEM. REFER TO PANEL SCHEDULE PP-PARK ON SHEET E602 FOR BRANCH CIRCUITING. PROVIDE DMX CONTROL CABLING FROM DMX CONTROLLERS LOCATED IN NEMA 4X ENCLOSURE. REFER TO MANUFACTURERS INSTALLATION INSTRUCTIONS.
- 6. PROVIDE IN-GRADE JUNCTION BOX FOR ELECTRICAL CONNECTION TO HANDRAILS. REFER TO SHEETS ES002 FOR JUNCTION BOX LOCATION AND SHEET E602 FOR LIGHTING FIXTURE SCHEDULE. REFER TO MANUFACTURERS INSTALLATION INSTRUCTIONS. COORDINATE WITH CIVIL / LANDSCAPE TRADES.
- 7. COORDINATE AIMING OF GOBO FIXTURES WITH PARK COMMITTEE PRIOR TO INSTALLATION.

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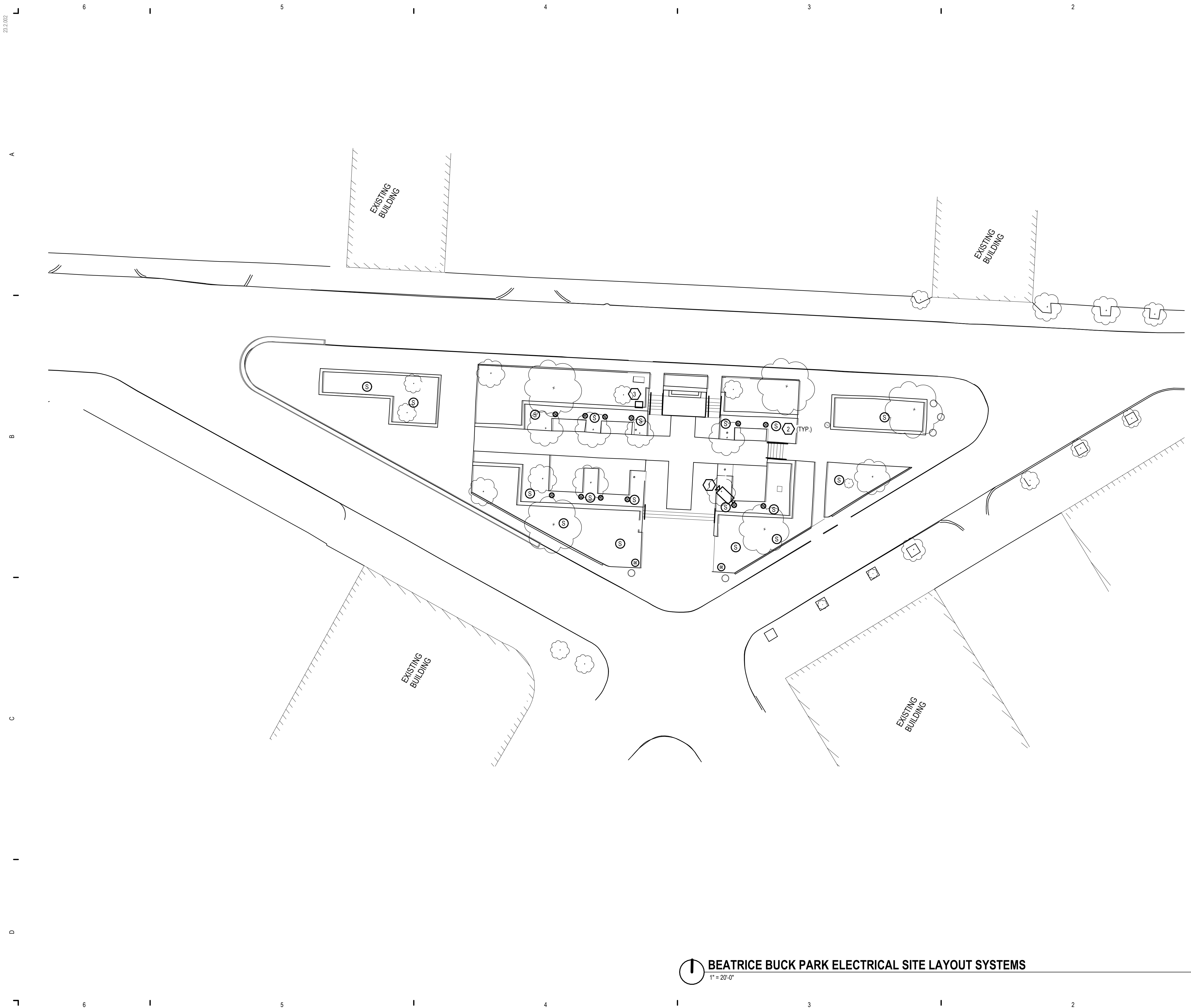
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 PARADISE VALLEY CULTURAL AND ENTERTAINMENT DISTRICT CONSERVACY  
**REDEVELOPMENT AND UPGRADE OF BEATRICE PARK (HARMONIE PARK) AND GRATIOT PLAZA**  
 COA ARCHITECT COA ENGINEER

ISSUANCE  
02/02/2024  
CITY APPROVAL

PROJECT NUMBER  
97080001  
PROJECT MANAGER  
D. WESTENBURG  
PROFESSIONAL  
S. GENGBACH  
DRAWN BY  
K. WOOD  
CHECKED BY  
S. GENGBACH

BEATRICE BUCK PARK  
ELECTRICAL SITE LAYOUT  
LIGHTING  
**ES003**

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**BEATRICE BUCK PARK ELECTRICAL SITE LAYOUT SYSTEMS**  
 1" = 20'-0"

**SITE GENERAL NOTES**

- A. ALL LIGHTING AND POWER CONDUCTORS SHALL BE INSTALLED BETWEEN 24" (MINIMUM) AND 36" (MAXIMUM) BELOW FINISHED GRADE.
- B. ALL COMMUNICATIONS CONDUIT AND CABLES SHALL BE INSTALLED 36" (MINIMUM) BELOW FINISHED GRADE.
- C. ALL CONDUCTORS FOR EXTERIOR LIGHTING AND POWER CIRCUITS SHALL BE #8 AWG MINIMUM.
- D. ROUTE ALL UNDERGROUND CONDUITS OR UNDERGROUND CABLING PARALLEL TO ONE ANOTHER. DIRECTIONAL BORE UNDER EXISTING CONCRETE AND PAVERS.

**SITE PLAN KEYNOTES**

- 1. CAMERAS SHALL BE AXIS M4308-PLC PANORAMIC CAMERA WITH AXIS T94T02D PENDANT KIT AND AXIS T91B67 POLE MOUNT. (OR EQUIVALENT)
- 2. SOUND SHALL BE ATLAS SOUND GSS-G 70V ALL WEATHER LANDSCAPE LOUDSPEAKER WITH DOUBLE 8" COAXIAL SPEAKERS WITH 360-DEGREE HORIZONTAL DISPERSION PATTERN. (OR EQUIVALENT) REMOVE AND REPLACE EXISTING SPEAKERS, UTILIZE EXISTING UNDERGROUND CABLING AND CONDUIT.
- 3. SOUND AND CAMERA EQUIPMENT SHALL BE MOUNTED IN NEMA 4X WEATHERPROOF CABINET. REFER TO SHEET ES002. WALL MOUNTED EQUIPMENT CABINET, 24X24X24, 19-IN EIA RAILS, DUAL-HINGED AND LOCKING DOOR, VENTED FOR DATA SWITCH AND AMPLIFIER / MIXER, TWO (2) DEDICATED 20A, 120V RECEPTACLES AND (1) 2000 VA UPS WITH MINIMUM (8) 20A, 120V RECEPTACLES BY APC OR EQUIVALENT. PROVIDE (1) RACK UNIT FOR CAMERA. THE PARK AND PLAZA SHALL BE CONTROLLED SEPARATELY FROM ONE ANOTHER. PROVIDE 8" CONCRETE PAD FOR NEMA 4X WEATHERPROOF CABINET. REFER TO SHEET EB01 FOR PAD BASE DETAIL.

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 02/02/2024  
 CITY APPROVAL

PROJECT NUMBER  
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 PROFESSIONAL  
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 K. WOOD  
 CHECKED BY  
 S. GENGELBACH

**BEATRICE BUCK PARK  
 ELECTRICAL SITE LAYOUT  
 SYSTEMS**

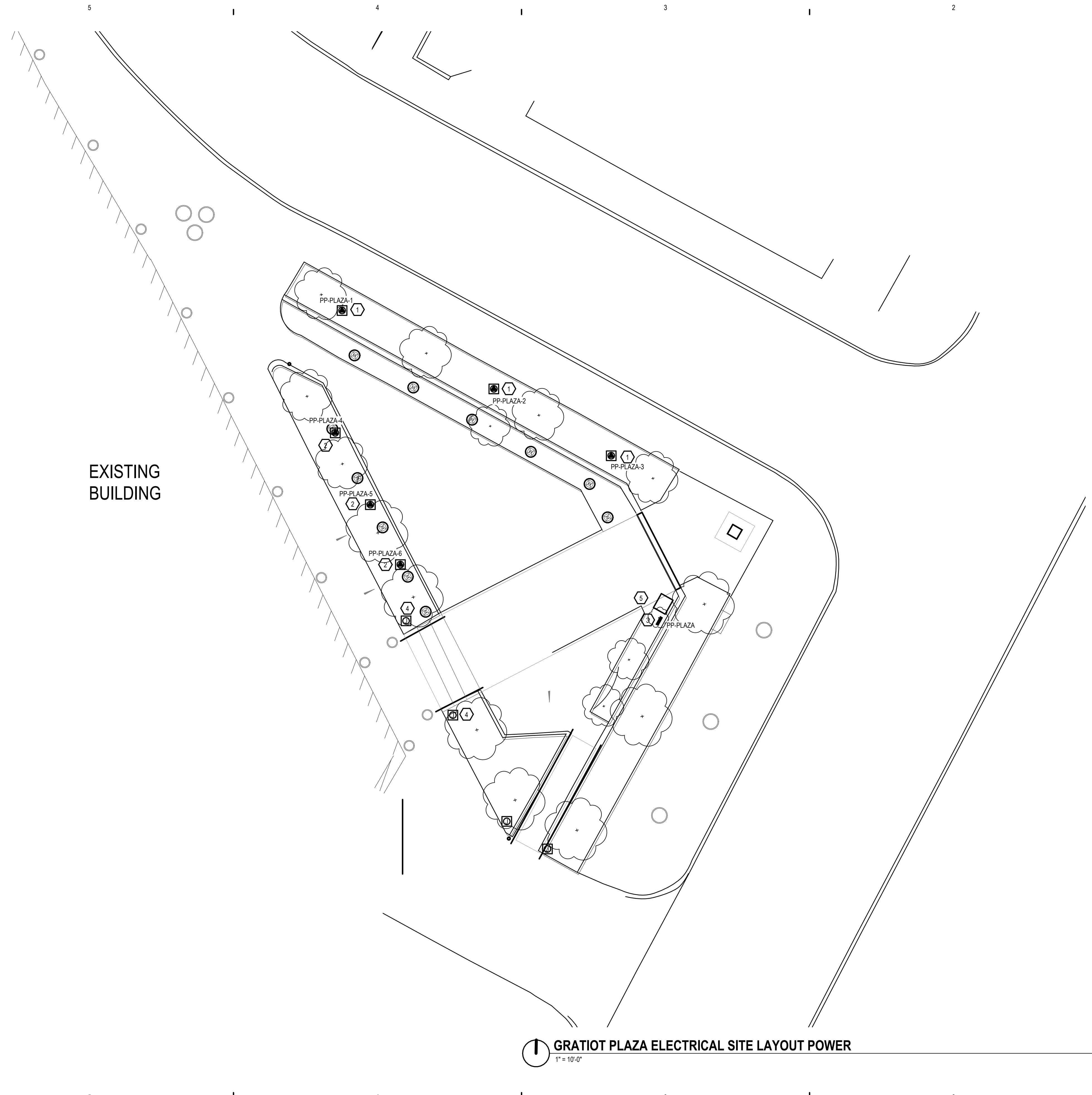
**ES004**

PARADISE VALLEY CULTURAL AND  
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**REDEVELOPMENT AND UPGRADE  
 OF BEATRICE PARK (HARMONIE  
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 DETROIT, MICHIGAN  
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**GRATIOT PLAZA ELECTRICAL SITE LAYOUT POWER**  
 1" = 10'-0"

**SITE GENERAL NOTES**

- A. ALL LIGHTING AND POWER CONDUCTORS SHALL BE INSTALLED BETWEEN 24" (MINIMUM) AND 36" (MAXIMUM) BELOW FINISHED GRADE.
- B. ALL COMMUNICATIONS CONDUIT AND CABLES SHALL BE INSTALLED 36" (MINIMUM) BELOW FINISHED GRADE.
- C. ALL CONDUCTORS FOR EXTERIOR LIGHTING AND POWER CIRCUITS SHALL BE #8 AWG MINIMUM.
- D. ROUTE ALL UNDERGROUND CONDUITS OR UNDERGROUND CABLING PARALLEL TO ONE ANOTHER. DIRECTIONAL BORE UNDER EXISTING CONCRETE AND PAVERS.

**SITE PLAN KEYNOTES**

1. PROVIDE 16", 1-GANG, LEGRAND 30A POWER PEDESTALS #XPP1G16-BK IN LOCATIONS INDICATED FOR FOOD TRUCKS DURING EVENTS. PROVIDE WEATHERPROOF FLIP LID LEGRAND #XPP1G16C-BK AND LEGRAND 1-GANG DEVICE PLATE #XPP1GP-BK. COORDINATE WITH CIVIL, LANDSCAPE ARCHITECT AND IRRIGATION CONTRACTOR FOR EXACT LOCATIONS.
2. PROVIDE 30", 2-GANG, LEGRAND 20A POWER PEDESTALS #XPP2G30-BK WITH (4) USB AND (2) 20A DUPLEX. PROVIDE WEATHERPROOF FLIP LID LEGRAND #XPP2G30C-BK AND LEGRAND 1-GANG DEVICE PLATE #XPP2GP-BK. COORDINATE WITH CIVIL, LANDSCAPE ARCHITECT AND IRRIGATION CONTRACTOR FOR EXACT LOCATIONS.
3. PROVIDE HUBBELL WIEGMANN S5040218 STAINLESS STEEL ENCLOSURE 36x24x8 N4X, 304 STAINLESS STEEL ELECTRICAL PANEL. EXTEND EXISTING FEEDER FROM EXISTING METER WHICH SHALL REMAIN.
4. PROVIDE IN-GRADE JUNCTION BOX FOR ELECTRICAL CONNECTION TO HANDRAILS. REFER TO SHEETS ES003 FOR HANDRAIL LOCATION AND SHEET E602 FOR LIGHTING FIXTURE SCHEDULE. COORDINATE WITH CIVIL / LANDSCAPE TRADES.
5. PROVIDE HUBBELL #WRD723630SFSM4, 72x36x30 NEMA 4X 304 STAINLESS STEEL ENCLOSURE WITH COOLING FOR RBGW CONTROLLERS, REMOTE LED DRIVERS AND FUTURE SOUND AND AV. COORDINATE WITH CIVIL / LANDSCAPE AND SOUND EQUIPMENT TRADES. PROVIDE 8" CONCRETE PAD FOR NEMA 4X WEATHERPROOF CABINET WITH (6) 2" CONDUIT STUB-UPS FOR DMX CABLING, POWER, SPEAKER AND AMP CABLING. REFER TO SHEET E601 FOR PAD BASE DETAIL.

**progressive ae**

**PARADISE VALLEY CULTURAL AND ENTERTAINMENT DISTRICT CONSERVACY REDEVELOPMENT AND UPGRADE OF BEATRICE PARK (HARMONIE PARK) AND GRATIOT PLAZA**

DETROIT, MICHIGAN

COA ARCHITECT COA ENGINEER

**ISSUANCE**  
 02/02/2024  
 CITY APPROVAL

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 CHECKED BY  
 S. GENGLBACH

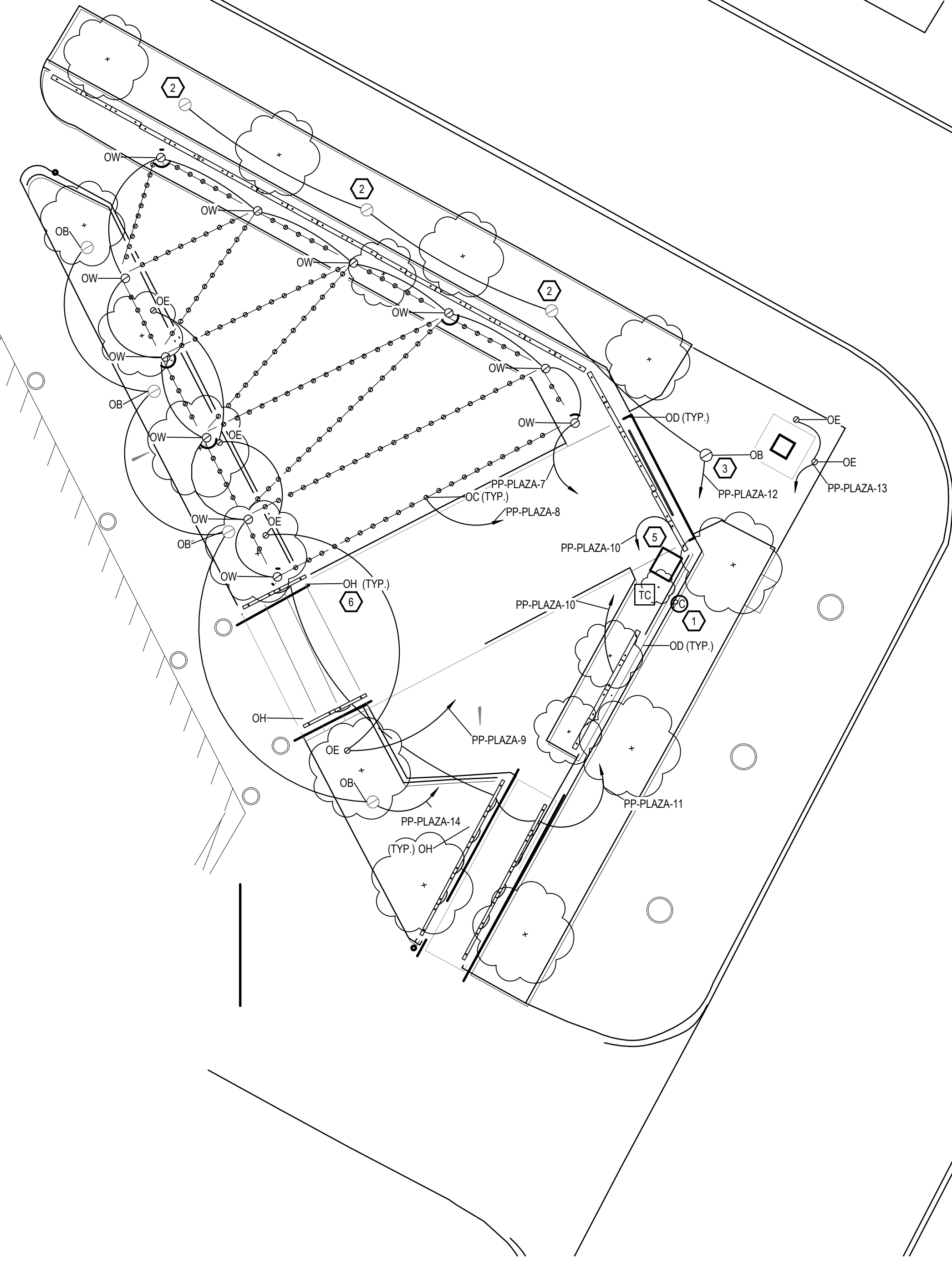
**GRATIOT PLAZA ELECTRICAL SITE LAYOUT POWER**  
**ES005**

PROGRESSIVE AE, INC.  
 1811 1/4 Mile Rd NE | Grand Rapids, MI 49525 | 616.361.2664  
 2937 E. Grand Blvd., Suite 505 | Detroit, MI 48202 | 616.361.2664 | www.progressiveae.com

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 91 - ES006  
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23.2.002  
 A  
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EXISTING BUILDING



**GRATIOT PLAZA ELECTRICAL SITE LAYOUT LIGHTING**  
 1" = 10'-0"

**SITE GENERAL NOTES**

- A. ALL LIGHTING AND POWER CONDUCTORS SHALL BE INSTALLED BETWEEN 24" (MINIMUM) AND 36" (MAXIMUM) BELOW FINISHED GRADE.
- B. ALL COMMUNICATIONS CONDUIT AND CABLES SHALL BE INSTALLED 36" (MINIMUM) BELOW FINISHED GRADE.
- C. ALL CONDUCTORS FOR EXTERIOR LIGHTING AND POWER CIRCUITS SHALL BE #8 AWG MINIMUM.
- D. ROUTE ALL UNDERGROUND CONDUITS OR UNDERGROUND CABLING PARALLEL TO ONE ANOTHER. DIRECTIONAL BORE UNDER EXISTING CONCRETE AND PAVERS.

**SITE PLAN KEYNOTES**

- 1. GENERAL PARK AND PLAZA LIGHTING SHALL BE CONTROLLED VIA PHOTOCELL AND TIMECLOCK. WITH DMX AND TIMECLOCK OVERRIDE WITH 2, 4, 6 HOUR OVERRIDE CAPABILITIES FOR EVENTS. THE PARK AND PLAZA SHALL BE CONTROLLED SEPARATELY FROM ONE ANOTHER.
- 2. EXISTING POLE AND FIXTURE SHALL REMAIN. RELAMP WITH 3000K LED REPLACEMENT LAMP. CURRENT LIGHTING #93303384.
- 3. PROVIDE NEW POLE BASE, POLE AND LUMINAIRE. REFER TO LUMINAIRE SCHEDULE ON SHEET E602 AND BASE DETAIL ON SHEET E601. VERIFY POLE HEIGHT PRIOR TO ORDERING.
- 4. PROVIDE DMX CONTROLLERS FOR RGBW FIXTURES IN NEMA 4 EXTERIOR WEATHERPROOF BOX. TIE ALL CONTROLLERS INTO ONE MAIN DMX PROGRAMMING STATION FOR SCENE PROGRAMMING. CONNECT SOUND EQUIPMENT AMPLIFIER INTO MAIN DMX CONTROLLER. REFER TO SHEET ES002.
- 5. PROVIDE 120V BRANCH CIRCUITING FROM PANEL PP-PLAZA TO DMX CONTROLLERS AS NECESSARY FOR A FULLY OPERATIONAL SYSTEM. REFER TO PANEL SCHEDULE PP-PARK ON SHEET E602 FOR BRANCH CIRCUITING. PROVIDE DMX CONTROL CABLING FROM DMX CONTROLLERS LOCATED IN NEMA 4X ENCLOSURE. REFER TO MANUFACTURERS INSTALLATION INSTRUCTIONS.
- 6. PROVIDE IN-GRADE JUNCTION BOX FOR ELECTRICAL CONNECTION TO HANDRAILS. REFER TO SHEETS ES005 FOR JUNCTION BOX LOCATION AND SHEET E602 FOR LIGHTING FIXTURE SCHEDULE. REFER TO MANUFACTURERS INSTALLATION INSTRUCTIONS. COORDINATE WITH CIVIL / ARCHITECTURAL TRADES.

ISSUANCE  
 02/02/2024  
 CITY APPROVAL

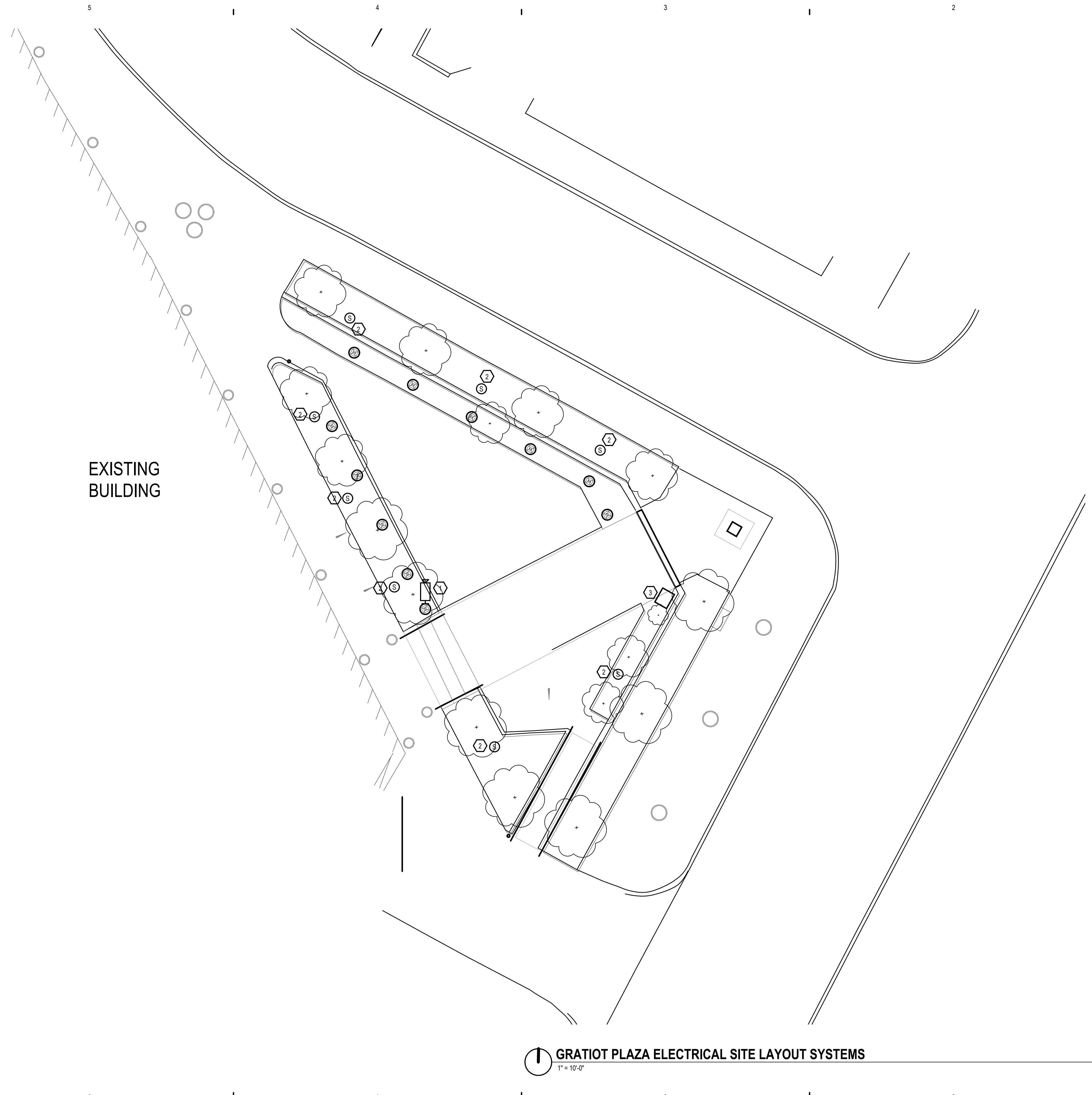
PROJECT NUMBER  
 97080001  
 PROJECT MANAGER  
 D. WESTENBURG  
 PROFESSIONAL  
 S. GENGBACH  
 DRAWN BY  
 K. WOOD  
 CHECKED BY  
 S. GENGBACH

GRATIOT PLAZA  
 ELECTRICAL SITE LAYOUT  
 LIGHTING

ES006

**PROGRESSIVE ae**  
 PROGRESSIVE AE, INC.  
 1811 1/4 Mile Rd NE | Grand Rapids, MI 49525 | 616.361.2664  
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 PARADISE VALLEY CULTURAL AND ENTERTAINMENT DISTRICT CONSERVACY  
**REDEVELOPMENT AND UPGRADE OF BEATRICE PARK (HARMONIE PARK) AND GRATIOT PLAZA**  
 DETROIT, MICHIGAN  
 COA ARCHITECT COA ENGINEER

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**GRATIOT PLAZA ELECTRICAL SITE LAYOUT SYSTEMS**  
 1" = 10'-0"

**SITE GENERAL NOTES**

- A. ALL LIGHTING AND POWER CONDUCTORS SHALL BE INSTALLED BETWEEN 24" (MINIMUM) AND 36" (MAXIMUM) BELOW FINISHED GRADE.
- B. ALL COMMUNICATIONS CONDUIT AND CABLES SHALL BE INSTALLED 36" (MINIMUM) BELOW FINISHED GRADE.
- C. ALL CONDUCTORS FOR EXTERIOR LIGHTING AND POWER CIRCUITS SHALL BE #8 AWG MINIMUM.
- D. ROUTE ALL UNDERGROUND CONDUITS OR UNDERGROUND CABLING PARALLEL TO ONE ANOTHER. DIRECTIONAL BORE UNDER EXISTING CONCRETE AND PAVERS.

**SITE PLAN KEYNOTES**

1. CAMERAS SHALL BE AXIS M4308-PLE PANORAMIC CAMERA WITH AXIS T94T02D PENDANT KIT AND AXIS T91B67 POLE MOUNT. (OR EQUIVALENT)
2. SOUND SHALL BE ATLAS SOUND GSS-G 70V ALL WEATHER LANDSCAPE LOUDSPEAKER WITH DOUBLE 8" COAXIAL SPEAKERS WITH 360-DEGREE HORIZONTAL DISPERSION PATTERN. (OR EQUIVALENT) REMOVE AND REPLACE EXISTING SPEAKERS, UTILIZE EXISTING CABLING AND CONDUIT.
3. SOUND AND CAMERA EQUIPMENT SHALL BE MOUNTED IN EXISTING BUILDING. WALL MOUNTED EQUIPMENT CABINET, 24X24X24, 19-IN EIA RAILS, DUAL-HINGED AND LOCKING DOOR, VENTED FOR DATA SWITCH AND AMPLIFIER / MIXER. TWO (2) DEDICATED 20A, 120V RECEPTACLES AND (1) 2000 VA UPS WITH MINIMUM (8) 20A, 120V RECEPTACLES BY APC OR EQUIVALENT. PROVIDE (1) RACK UNIT FOR CAMERA. THE PARK AND PLAZA SHALL BE CONTROLLED SEPARATELY FROM ONE ANOTHER.

ALL SYSTEMS WORK FOR GRATIOT PLAZA SHALL BE COMPLETED IN FUTURE PHASE. DO NOT BID AT THIS TIME.

**progressive ae**

**PARADISE VALLEY CULTURAL AND ENTERTAINMENT DISTRICT CONSERVACY REDEVELOPMENT AND UPGRADE OF BEATRICE PARK (HARMONIE PARK) AND GRATIOT PLAZA**  
 DETROIT, MICHIGAN

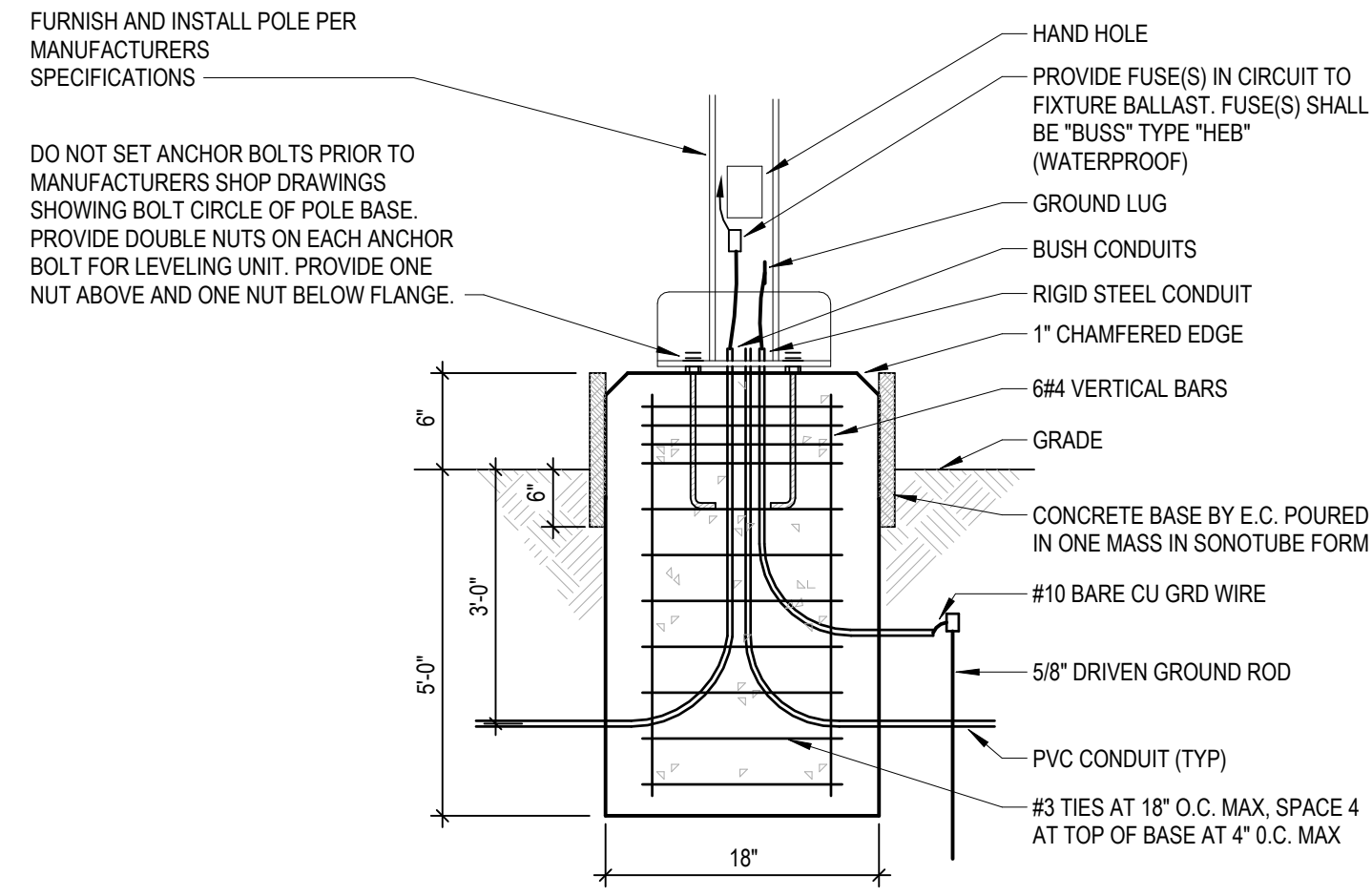
COA ARCHITECT COA ENGINEER

**ISSUANCE**  
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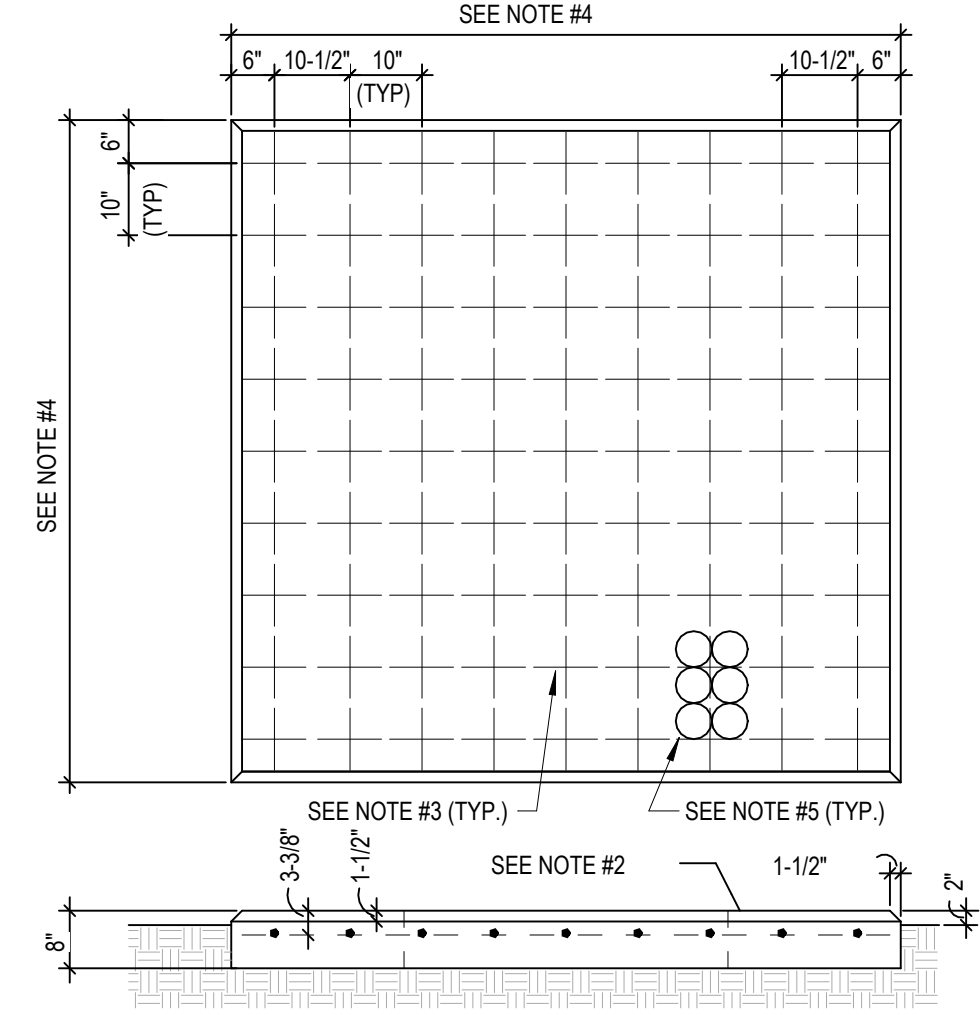
PROJECT NUMBER  
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 D. WESTENBURG  
 PROFESSIONAL  
 S. GENGBACH  
 DRAWN BY  
 K. WOOD  
 CHECKED BY  
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**GRATIOT PLAZA ELECTRICAL SITE LAYOUT SYSTEMS**  
**ES007**

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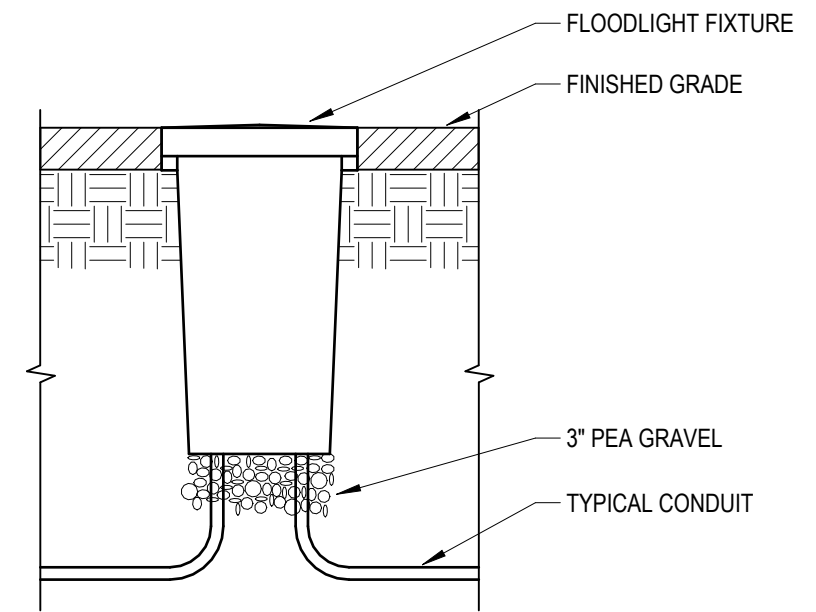


**1 POLE BASE DETAIL**  
NOT TO SCALE

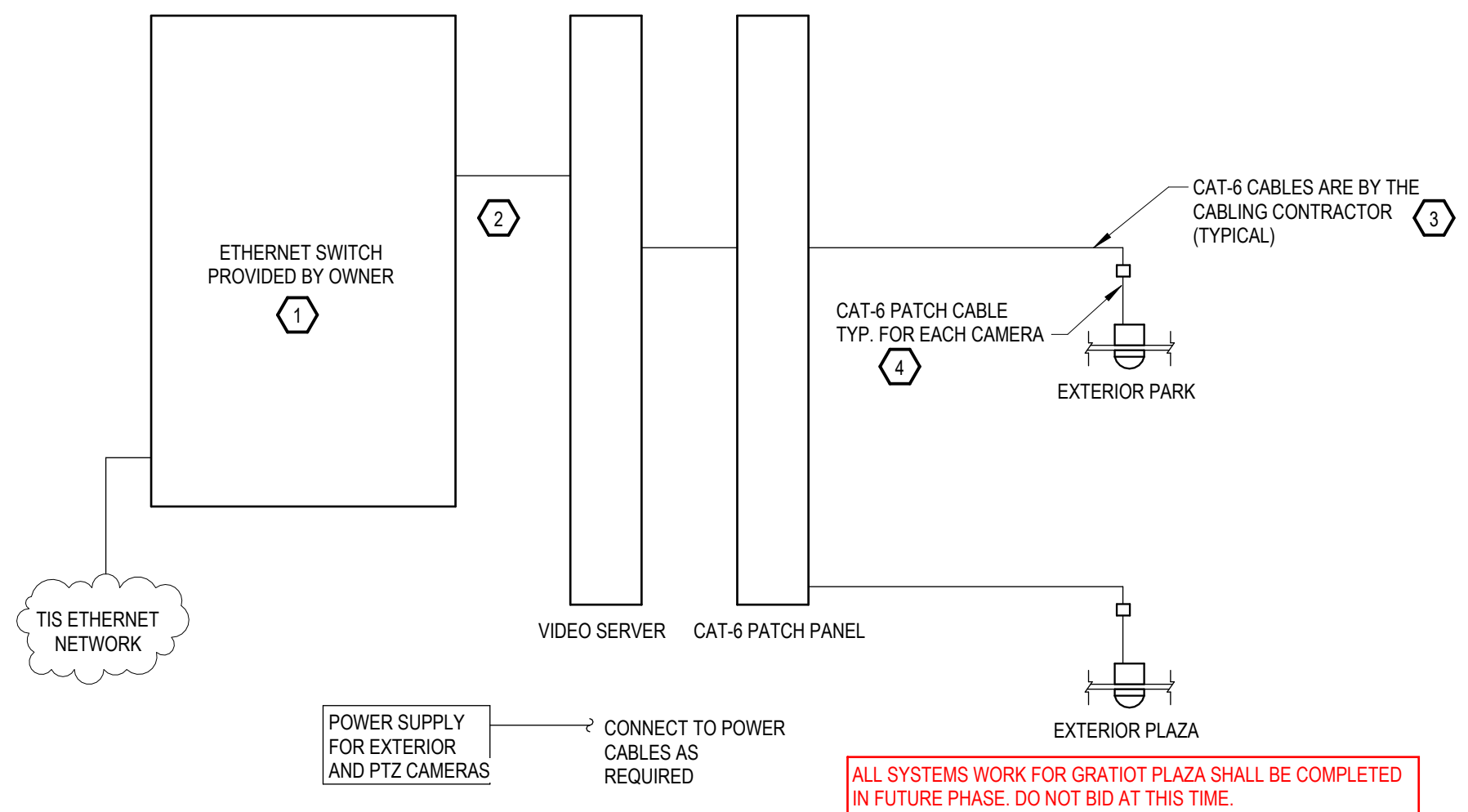


**4 PAD BASE DETAIL**  
NOT TO SCALE

- NOTES**
1. CONCRETE TO BE PLACED ON 1" OF PACKED WASHED GRAVEL OR PEA STONE ONLY IF LOCATED ON IMPERMEABLE SOIL SUCH AS CLAY.
  2. CLASS OF CONCRETE- 3000PSI COMPRESSIVE STRENGTH @ 28 DAYS.
  3. GRADE OF REINFORCING RODS- #5, ASTM A615, GRADE 60 OR 75.
  4. SIZE PAD DIMENSIONS PER MANUFACTURERS SHOP DRAWING. EXTEND PAD MINIMUM OF 3" BEYOND EQUIPMENT.
  5. VERIFY STUB UP LOCATION OF CONDUITS WITH MANUFACTURER SHOP DRAWINGS. STUB MAXIMUM 1" ABOVE PAD SURFACE.



**2 IN-GRADE FIXTURE INSTALLATION DETAIL**  
NOT TO SCALE



**3 VIDEO SECURITY DIAGRAM**  
NOT TO SCALE

**SECURITY NOTES:**

1. CAT-6 CABLES FROM COMM ROOM TO THE CAMERA LOCATION ARE BY OTHERS. PROVIDE AND INSTALL ALL PATCH CABLES REQUIRED FOR COMPLETE CONNECTIVITY.
2. THE CONTRACTOR SHALL SUPPLY ANY AND ALL BALUNS, COUPLERS ADAPTERS AND CONVERTERS THAT ARE REQUIRED FOR THE INTERCONNECTION OF ALL THE SECURITY COMPONENTS.
3. THE CAMERA CABLES SHALL TRANSPORT ALL VIDEO SIGNALS & CONTROL SIGNALS AND POWER SIGNALS.
4. CONTRACTOR SHALL PROVIDE AN APPROPRIATE CAMERA MOUNT BASED ON CAMERA LOCATION AND STRUCTURE AVAILABLE.
5. CONNECT EACH EXTERIOR CAMERA TO A POWER SUPPLY. SIZE THE POWER SUPPLIES PER CAMERA REQUIREMENTS.
6. WHERE THE CAMERA IS NOT INSTALLED WITHIN A DROP CEILING THE CONTRACTOR SHALL PROVIDE A MOUNT AND HOUSING. PROVIDE WEATHERPROOF MOUNTS ON EXTERIOR CAMERAS.
7. POWER FOR EXTERIOR CAMERAS SHALL BE FROM A CENTRAL POWER SUPPLY.
8. CENTRALIZED POWER SUPPLIES SHALL BE MOUNTED IN COMMUNICATIONS ROOMS. COORDINATE THE LOCATION WITH OTHER TRADES PRIOR TO INSTALLATION.
9. CONTRACTOR SHALL PROVIDE THE CORRECT LENS TO EACH CAMERA BASED ON THE INSTALLED LOCATION AND THE OWNERS REQUIREMENTS FOR THE FIELD OF VIEW. COORDINATE WITH THE OWNER DURING INSTALLATION.
10. ALL CAMERAS SHALL CONNECT TO THE IP NETWORK SWITCH IN THE COMMUNICATIONS ROOM. CONTRACTOR SHALL COORDINATE ETHERNET SWITCH CONFIGURATION WITH OWNER.
11. THE NETWORK VIDEO RECORDER IS EXISTING AND IS LARGE ENOUGH TO SUPPORT THESE NEW CAMERAS. CONTRACTOR SHALL PROVIDE ALL LICENSES FOR CAMERAS.

**# KEYED NOTES:**

1. THE DATA NETWORK AND ALL ETHERNET SWITCHES WILL BE PROVIDED BY THE OWNER. THE CONTRACTOR SHALL MEET WITH THE OWNER TO CONFIRM ALL NETWORK SPECIFICATION REQUIREMENTS FOR A VLAN OR OTHER QUALITY OF SERVICE SETTINGS.
2. CONTRACTOR SHALL INSTALL PATCH CABLES FROM PATCH PANEL TO ETHERNET SWITCH.
3. CAT-6 CABLES FROM COMM ROOM TO CAMERA LOCATION.
4. CONTRACTOR SHALL INSTALL PATCH CABLES FROM OUTLET TO CAMERA.

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## LUMINAIRE SCHEDULE

TYPE	DESCRIPTION	MOUNTING	LAMP	VOLT	WATT	MANUFACTURER	CATALOG NUMBER	APPROVED EQUAL	NOTE
OA	LINEAR GRADE MOUNTED WALL WASHER RGBW LED, WITH GLARE SHIELD, 3000K, IP68 RATED, GRAPHITE BLACK, E-BOX CONTROLLER REQUIRED, DMX RDM CONTROL PROTOCOL, RIGHT SIDE INPUT.	SURFACE MOUNT ON GRADE	LED	120 V	4 W	ANOLIS	EMI 4 RGBW K30_WSH E2E E-BOX RI 9011		PROVIDE ANOLIS E-BOX CONTROLLER, EMINERE LEADER CABLE FOR POWER AND DMX CONTROL, JUMPERS AND CONNECTORS.
OB	LED REPLACEMENT LAMP	POLE MOUNTED	LED	120 V	45 W	GE LAMPS	93303384		
OC	FESTOON LED LIGHTING, CLEAR SHATTER PROOF 645 ROUND GLOBES, 2700K, IP44 RATED WATERPROOF IN-LINE FESTOON CABLE, BLACK FINISH, 18" SPACING, NON-DIMMABLE.	CABLE	LED	120 V	1 W	PRIMUS LIGHTING	DSW-24-120-S14-27/150-STK		
OD	RECESSED LINEAR INGRADE RGBW LED, 3000K, E-BOX CONTROLLER, E-BOX INTERFACE WITH DMX512 CONTROL PROTOCOL, ASYMMETRICAL WIDE WALL WASH, 48" IN LENGTH, END FEED, INTEGRAL ANTI-SKID GLASS, INGROUND MOUNTING SLEEVE, INGROUND CONTINUOUS COVER PLATE, US WCA CABLE.	IN-GRADE	LED	120 V	90 W	ANOLIS	EMG 4 RGBW K30 A-SKID wWSH E-BOX 120-277V		PROVIDE ANOLIS E-BOX CONTROLLER, EMINERE LEADER CABLE FOR POWER AND DMX CONTROL, JUMPERS AND CONNECTORS.
OE	6" LED IN-GRADE FIXTURE, INTEGRAL DRIVER, IMPACT AND CORROSION RESISTANT HOUSING, DIE CAST ALUMINUM WITH POWDER COAT FINISH HOUSING, STAINLESS STEEL FACEPLATE, CLEAR GLASS TEMPERED SLIP RESISTANT SILICONE GASKETED GLASS LENS, 3000K, 40 DEGREE FLOOD BEAM SPREAD.	IN-GRADE	LED	120 V	14 W	LITON	IG16-L12-SR-T30		
OGA	OUTDOOR WATERPROOF 100W LOGO GOBO PROJECTOR WITH, (2) FULL COLOR GOBOS	POLE MOUNT TO LANDSCAPE POLE	OSHRAM 121	120 V	100 W	INFINITY PROJECTORS	IP-OD100		LOGO DESIGNS BY OWNER
OGB	OUTDOOR WATERPROOF 300W LOGO GOBO PROJECTOR WITH, (2) FULL COLOR GOBOS	POLE MOUNT TO LANDSCAPE POLE	OSHRAM 121	120 V	300 W	INFINITY PROJECTORS	IP-HW300		LOGO DESIGNS BY OWNER
OH	24V LINEAR LED MOUNTED INTEGRAL TO HANDRAIL, SYMMETRICAL BEAM ANGLE, IP67 RATED, 3000K, EXTRUDED ALUMINUM HOUSING, LISTED FOR WET LOCATIONS, LED 24V NON-DIMMING DRIVER INTEGRAL TO HANDRAIL	MOUNTED INTEGRAL TO HAND RAIL	LED	120 V	18 W	COLE LIGHTING	LR5P-LED-AL/1.9-INT-RE-3K-BP		
OW	12" ADJUSTABLE RGBW LED IN-GRADE FIXTURE, IMPACT AND CORROSION RESISTANT HOUSING MULTI-VOLT INTEGRAL DRIVER, STAINLESS STEEL, 33 DEGREE BEAM ANGLE, 3000K DEFAULT COLOR, FLAT CLEAR ANTI-SLIP LENS, USITT DMX 512 INTERFACE PROTOCOL, IP68 RATED.	IN-GRADE	LED	120 V	65 W	ANOLIS	AS24 INGR RGBW A-SKID 33 DMX		PROVIDE ANOLIS E-BOX CONTROLLER, ARCSOURCE INGROUND 24MC LEADER CABLE FOR POWER AND DMX CONTROL, JUMPERS AND CONNECTORS.

## LIGHTING CONTROL SCHEDULE

CONTROL MODULE	CONTROLLER LOCATION	LIGHTING ZONE	FIXTURE TYPE	TOTAL LOAD	SEQUENCE OF OPERATION	LOCAL CONTROL	OCCUPANCY/VACANCY SENSOR	PHOTOCELL	TIME CLOCK	DMX INTEGRATION	BLINK WARNING	EMERGENCY CIRCUIT
120V	WEATHERPROOF BOX	PARK	OA	16 W	5	NO	No	Yes	Yes	Yes	No	NO
120-277V	WEATHERPROOF BOX	PARK	OB	450 W	1, 2, 4	NO	No	Yes	Yes	No	No	NO
24V	WEATHERPROOF BOX	PARK	OC	218 W	1, 2, 4	NO	No	Yes	Yes	No	No	NO
120V	WEATHERPROOF BOX	PARK	OD	4860 W	5	NO	No	Yes	Yes	Yes	No	NO
120V	WEATHERPROOF BOX	PARK	OE	140 W	1, 2, 4	NO	No	Yes	Yes	No	No	NO
120V	REMOTE CONTROL	PARK	OGA	200 W	6	NO	No	Yes	Yes	No	No	NO
120V	REMOTE CONTROL	PARK	OGB	600 W	6	NO	No	Yes	Yes	No	No	NO
24V	WEATHERPROOF BOX	PARK	OH	252 W	1, 2, 4	NO	No	Yes	Yes	No	No	NO
120V	WEATHERPROOF BOX	PARK	OW	910 W	5	NO	No	Yes	Yes	Yes	No	NO
120V	WEATHERPROOF BOX	PLAZA	OB	360 W	1, 2, 4	NO	No	Yes	Yes	No	No	NO
12V	WEATHERPROOF BOX	PLAZA	OC	166 W	1, 2, 4	NO	No	Yes	Yes	No	No	NO
120V	WEATHERPROOF BOX	PLAZA	OD	2520 W	5	NO	No	Yes	Yes	Yes	No	NO
120V	WEATHERPROOF BOX	PLAZA	OE	84 W	1, 2, 4	NO	No	Yes	Yes	No	No	NO
24V	WEATHERPROOF BOX	PLAZA	OH	252 W	1, 2, 4	NO	No	Yes	Yes	No	No	NO
120V	WEATHERPROOF BOX	PLAZA	OW	715 W	5	NO	No	Yes	Yes	Yes	No	NO

**GENERAL NOTES:**

- A. GENERAL LIGHTING BRANCH CIRCUITING AND CONTROLS SHALL BE MOUNTED ALONG SOUTH WEST RETAINING WALL NEAR EXISTING METER / POWER LOCATION.

**SCHEDULE NOTES:**

- AUTO ON WHEN NO DAYLIGHT IS AVAILABLE.
- AUTO OFF WHEN DAYLIGHT IS AVAILABLE.
- REDUCE LIGHTING TO 20% NO LATER THAN MIDNIGHT TO 6 AM OR WHEN NO ACTIVITY HAS BEEN DETECTED FOR > 15 MINUTES.
- TIME CLOCK OVERRIDE 2, 4, 6, HOUR INTERVALS FOR SPECIAL EVENTS.
- SPECIALTY LIGHTING SHALL BE CONTROLLED BY DMX CONTROLS LOCATED IN EXISTING BUILDING. PROGRAMMED TO AUTO ON TO 3000K WARM WHITE WHEN NO DAYLIGHT IS AVAILABLE AND OFF WHEN DAYLIGHT IS AVAILABLE.
- SPECIALTY LIGHTING SHALL BE CONTROLLED BY REMOTE CONTROL FOR SPECIAL EVENTS.

## CONDUIT AND WIRE SCHEDULE

FEEDER TYPE	COPPER CONDUCTORS		CONDUIT SIZE			
	Ø & N	GND	2Ø+N+GND	3Ø+GND	3Ø+N+GND	3Ø+2N+2GND
20	#12	#12	(1/2")	(1/2")	(1/2")	(3/4")
30	#10	#10	(1/2")	(1/2")	(3/4")	(3/4")
40	#8	#10	(3/4")	(3/4")	(1")	(1")
55	#6	#10	(1")	(1")	(1")	(1")
70	#4	#8	(1 1/4")	(1 1/4")	(1 1/4")	(1 1/4")
85	#3	#8	(1 1/4")	(1 1/4")	(1 1/4")	(1 1/2")
95	#2	#8	(1 1/4")	(1 1/4")	(1 1/2")	(1 1/2")
110	#1	#6	(1 1/2")	(1 1/2")	(1 1/2")	(2")
150	#1/0	#6	(1 1/2")	(1 1/2")	(2")	(2")
175	#2/0	#6	(2")	(2")	(2")	(2 1/2")
200	#3/0	#6	(2")	(2")	(2")	(2 1/2")
230	#4/0	#4	(2")	(2")	(2 1/2")	(2 1/2")
255	250 kCM	#4	(2 1/2")	(2 1/2")	(2 1/2")	(3")
285	300 kCM	#4	(2 1/2")	(3")	(3")	(3")
310	350 kCM	#3	(3")	(3")	(3")	(3 1/2")
335	400 kCM	#3	(3")	(3")	(3")	(3 1/2")
380	500 kCM	#3	(3")	(3")	(3 1/2")	(4")
510	(2) 250 kCM	(2) #1	(2) (2 1/2")	(2) (2 1/2")	(2) (3")	(2) (3")
570	(2) 300 kCM	(2) #1	(2) (2 1/2")	(2) (2 1/2")	(2) (3")	(2) (3 1/2")
620	(2) 350 kCM	(2) #1	(2) (3")	(2) (3")	(2) (3")	(2) (3 1/2")
760	(2) 500 kCM	(2) #1/0	(2) (3")	(2) (3")	(2) (3 1/2")	(2) (4")
1005	(3) 400 kCM	(3) #2/0	(3) (3")	(3) (3")	(3) (3")	(3) (3 1/2")
1240	(4) 350 kCM	(4) #3/0	(4) (3")	(4) (3")	(4) (3")	(4) (3 1/2")
1260	(3) 600 kCM	(3) #3/0	(3) (3 1/2")	(3) (3 1/2")	(3) (4")	(3) (5")
1675	(5) 400 kCM	(5) #4/0	(5) (3")	(5) (3")	(5) (3 1/2")	(5) (4")
1680	(4) 600 kCM	(4) #4/0	(4) (3 1/2")	(4) (3 1/2")	(4) (4")	(4) (5")
2010	(6) 400 kCM	(6) 250 kCM	(6) (3")	(6) (3")	(6) (3 1/2")	(6) (4")
2100	(5) 600 kCM	(5) 250 kCM	(5) (3 1/2")	(5) (3 1/2")	(5) (4")	(5) (5")
2520	(6) 600 kCM	(6) 350 kCM	(6) (3 1/2")	(6) (3 1/2")	(6) (4")	(6) (5")
2660	(7) 500 kCM	(7) 350 kCM	(7) (3 1/2")	(7) (3 1/2")	(7) (3 1/2")	(7) (5")
3040	(8) 500 kCM	(8) 400 kCM	(8) (3 1/2")	(8) (3 1/2")	(8) (3 1/2")	(8) (5")
4275	(8) 750 kCM	(8) 500 kCM	(8) (4")	(8) (4")	(8) (5")	(8) (5")
EQ	EQUIPMENT FEEDER - REFER TO ELECTRICAL EQUIPMENT SCHEDULE					
<b>GENERAL NOTES:</b>						
A. THE ABOVE FEEDER SCHEDULE IS A SCHEDULE OF TYPICAL FEEDERS AND SOME SIZES MAY NOT BE UTILIZED.						
B. ALL CONDUCTOR AMPACITIES ARE BASED ON TABLE 310.15(B)(16) OF THE NEC FOR COPPER CONDUCTOR TYPE THW/THWN.						
C. FEEDER SIZES SHOWN ON THE RISER DIAGRAM INDICATE FEEDER AMPACITIES AND DO NOT NECESSARILY CORRESPOND TO CIRCUIT BREAKER AMPACITIES. CERTAIN FEEDERS MAY BE SIZED FOR THE DERATION FACTORS REQUIRED BY CODE AND/OR ARE OVERSIZED FOR VOLTAGE DROP.						
D. WHERE MULTIPLE CONDUITS AND CONDUCTORS ARE INDICATED FOR A SINGLE FEEDER, EACH CONDUIT SHALL CONTAIN 1 PARALLEL PHASE, NEUTRAL, AND GROUND CONDUCTORS INDICATED.						
E. CONDUITS SIZED LARGER THAN INDICATED SHALL BE PERMITTED FOR RUNS WITH UP TO (4) 90° ELBOWS, OR FOR PULLING LONGER RUNS.						

## PANELBOARD: PP-PARK

**LOCATION:** SURFACE NEMA 4  
**MOUNTING:** SURFACE NEMA 4  
**FED FROM:** SEE ONE-LINE DIAGRAM  
**FEEDER:** SEE ONE-LINE DIAGRAM

**PANEL TYPE:** 208Y/120V / 3 Ø / 4W  
**VOLTAGE:** 208Y/120V / 3 Ø / 4W  
**BUS AMPS:** 200 AMPS  
**MAIN DEVICE:** 200 A MAIN CB  
**A.I.C. RATING:** 14,000 AMPS SYMMETRICAL  
**SPECIAL:**

LOAD DESCRIPTION	LOAD TYPE	P	TRIP	CKT	A	B	C	CKT	TRIP	P	LOAD TYPE	LOAD DESCRIPTION	
FOOD TRUCK PEDESTAL	RCPT	1	30 A	1	2800	2800			2	30 A	1	RCPT	FOOD TRUCK PEDESTAL
FOOD TRUCK PEDESTAL	RCPT	1	30 A	3		2800	2800		4	30 A	1	RCPT	FOOD TRUCK PEDESTAL
FOOD TRUCK PEDESTAL	RCPT	1	30 A	5					6	20 A	1	RCPT	PEDESTRIAN CHARGING STATION
PEDESTRIAN CHARGING STATION	RCPT	1	20 A	7	1800	1800			8	20 A	1	RCPT	PEDESTRIAN CHARGING STATION
PEDESTRIAN CHARGING STATION	RCPT	1	20 A	9		1800	140		10	20 A	1	LTS	IN-GROUND LIGHTING
POLE LIGHTING	LTS	1	20 A	11			450	218	12	20 A	1	LTS	FESTOON LIGHTING
GOBO SPECIALTY LIGHTING	LTS	1	20 A	13	800	180			14	20 A	1	LTS	HANDRAIL LIGHTING
STAGE RGBW LIGHTING	LTS	1	20 A	15		16	1260		16	20 A	1	LTS	WALLWASH RGBW LIGHTING
DECORATIVE POLE RGBW LTG	LTS	1	20 A	17			910	1710	18	20 A	1	LTS	WALLWASH RGGW LIGHTING
WALLWASH RGBW LIGHTING	LTS	1	20 A	19	1890	0			20	20 A	1	--	SPARE
AMP / MIXER	--	1	20 A	21		180	0		22	20 A	1	--	SPARE
SPARE	--	1	20 A	23				0	24	20 A	1	--	SPARE
SPACE	--	1	--	25	--	--			26	--	1	--	SPACE
SPACE	--	1	--	27	--	--			28	--	1	--	SPACE
SPACE	--	1	--	29	--	--			30	--	1	--	SPACE

Load Classification	CONNECTED LOAD	DEMAND FACTOR	ESTIMATED DEMAND	PANEL TOTALS
Lighting	7574 VA	125.00%	9468 VA	CONNECTED LOAD: 28954 VA EST. DEMAND LOAD: 25248 VA
Receptacle	21200 VA	73.58%	15600 VA	
Spare	180 VA	100.00%	180 VA	

**CONNECTED CURRENT:** 80 A  
**EST. DEMAND CURRENT:** 70 A

**NOTES:**

## PANELBOARD: PP-PLAZA

**LOCATION:** SURFACE NEMA 1  
**MOUNTING:** SURFACE NEMA 1  
**FED FROM:** SEE ONE-LINE DIAGRAM  
**FEEDER:** SEE ONE-LINE DIAGRAM

**PANEL TYPE:** 208Y/120V / 3 Ø / 4W  
**VOLTAGE:** 208Y/120V / 3 Ø / 4W  
**BUS AMPS:** 100 AMPS  
**MAIN DEVICE:** 100 A MAIN CB  
**A.I.C. RATING:** 14,000 AMPS SYMMETRICAL  
**SPECIAL:**

LOAD DESCRIPTION	LOAD TYPE	P	TRIP	CKT	A	B	C	CKT	TRIP	P	LOAD TYPE	LOAD DESCRIPTION		
FOOD TRUCK PEDESTAL	RCPT	1	30 A	1	2800	2800			2	30 A	1	RCPT	FOOD TRUCK PEDESTAL	
FOOD TRUCK PEDESTAL	RCPT	1	30 A	3		2800	1800		4	20 A	1	RCPT	PEDESTRIAN CHARGING STATION	
PEDESTRIAN CHARGING STATION	RCPT	1	20 A	5				1800	1800	6	20 A	1	RCPT	PEDESTRIAN CHARGING STATION
DECORATIVE POLE RGBW...	LTS	1	20 A	7	715	166			8	20 A	1	LTS	FESTOON LIGHTING	
TREE LIGHTING	LTS	1	20 A	9			56	2520	10	20 A	1	LTS	WALLWASH RGBW LIGHTING	
HANDRAIL LIGHTING	LTS	1	20 A	11			252	180	12	20 A	1	LTS	POLE LIGHTING	
SCULPTURE LIGHTING	LTS	1	20 A	13	28	180			14	20 A	1	LTS	POLE LIGHTING	
SPARE	--	1	20 A	15		0	0		16	20 A	1	--	SPARE	
SPARE	--	1	20 A	17			0	0	18	20 A	1	--	SPARE	

Load Classification	CONNECTED LOAD	DEMAND FACTOR	ESTIMATED DEMAND	PANEL TOTALS
Lighting	4097 VA	125.00%	5121 VA	CONNECTED LOAD: 17897 VA EST. DEMAND LOAD: 17021 VA
Receptacle	13800 VA	86.23%	11900 VA	

**CONNECTED CURRENT:** 50 A  
**EST. DEMAND CURRENT:** 47 A

**NOTES:**