

# 708 PALLISTER RENOVATION

EXTERIOR RENOVATION  
708 PALLISTER STREET,  
DETROIT, MI. 48202

ARCHITECT  
4545 ARCHITECTURE | DESIGN, PLLC  
TIMOTHY FLINTOFF, AIA, NCARB  
2761 E JEFFERSON, SUITE 302  
DETROIT, MI 48207  
248-320-6098

PROJECT DATA  
BUILDING CODE AUTHORITY:  
CITY OF DETROIT, MICHIGAN

OWNER:  
THOMAS TYPINKSKI  
708 PALLISTER ST.,  
DETROIT, MI 48202

APPLICABLE CODES:  
BUILDING CODE  
ALSO KNOWN AS THE "MICHIGAN RESIDENTIAL CODE"  
2015 MICHIGAN RESIDENTIAL CODE (MRC) AS AMENDED  
APPENDIX J: EXISTING BUILDING AND STRUCTURES

MECHANICAL CODE  
ALSO KNOWN AS THE "MICHIGAN MECHANICAL CODE"  
2015 MICHIGAN MECHANICAL CODE AS AMENDED

PLUMBING CODE  
ALSO KNOWN AS THE "MICHIGAN PLUMBING CODE"  
2018 MICHIGAN PLUMBING CODE AS AMENDED

ELECTRICAL CODE  
ALSO KNOWN AS THE "MICHIGAN ELECTRICAL CODE"  
2017 NATIONAL ELECTRICAL CODE (NEC) AS AMENDED & MICHIGAN  
AMMENDMENTS PART 8.

ENERGY CODE  
2015 UNIFORM ENERGY CODE

BARRIER FREE REQUIREMENTS  
AMERICANS WITH DISABILITIES ACT (ADA)  
MBC-2015, CHAPTER 11  
ICC / ANSI 117.1 - 2010, EXCEPT SECTION 611 & 707



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PROJECT LOCATION  
708 PALLISTER ST.

PROJECT SITE MAP: NOT TO SCALE

SYMBOL LEGEND		ABBREVIATION	
	DARKENED ARROW INDICATES ELEVATED SECTION	@	ACOUST.
	ELEVATION NUMBER	A.C.T.	ACOUSTICAL
	SHEET NUMBER WHERE ELEVATION IS LOCATED	ADJ.	ADJACENT
	ELEVATION NUMBER	A.F.F.	ABOVE FINISH FLOOR
	SHEET NUMBER WHERE ELEVATION IS LOCATED	ALUM.	ALUMINUM
	DETAIL REFERENCE NUMBER	ANOD.	ANODIZED
	SHEET NUMBER WHERE DETAIL IS LOCATED	BD.	BOARD
	DETAIL NUMBER	BLDG.	BUILDING
	DETAIL NAME	BLK.	BLOCK
	DRAWING SCALE	BLKG.	BLOCKING
	SHEET NUMBER WHERE DETAIL IS REFERENCED	CEM.	CEMENT
	EL. 8'-0" A.F.F.	C.J.	CONTROL JOINT
	B./CEILING REFERENCE POINT OF ELEVATION	CLG.	CEILING
	8'-0" HEIGHT ABOVE FINISHED FLOOR	CL.	CENTER LINE
	NOTE: DATUM SYMBOL INDICATES A SPECIFIC REFERENCE HEIGHT OF MATERIAL INDICATED	C.O.	CLEAN OUT
	ROOM NAME	COL.	COLUMN
	ROOM NUMBER	CONC.	CONCRETE
	NUMBERS DESIGNATE VERTICAL COLUMN LINES	C.G.	CORNER GUARD
	LETTERS DESIGNATE HORIZONTAL COLUMN LINES	CONST.	CONSTRUCTION
	CIRCLES REPRESENT NEW COLUMN LINES	CONT.	CONTINUOUS
	DASHED CIRCLES REPRESENT EXISTING COLUMNS	CORR.	CORRUGATED
	EXISTING DOOR SYMBOL	CPT.	CARPET
	NEW DOOR SYMBOL	C.T.	CERAMIC TILE
	DOOR DESIGNATION	DET.	DETAIL
	WALL TYPE DESIGNATION NUMBER - COORDINATE WITH SCHEDULE	DM.	DIAMETER
	EQUIPMENT DESIGNATION NUMBER - COORDINATE WITH PLAN NOTES	DN.	DOWN
	KEY NOTE DESIGNATION NUMBER - COORDINATE WITH PLAN NOTES	D.O.	DOOR OPENING
	ADDENDUM DESIGNATION NUMBER	DR.	DOOR
	BULLETIN DESIGNATION NUMBER	DWG.	DRAWING
	MATCH LINE	EACH	EACH WAY
	REF: A3 SHEET REFERENCE FOR DRAWING CONTINUATION	ELEV.	ELEVATION
		E.W.	EACH WAY
		EXG.	EXISTING
		EXIST.	EXISTING
		EXP.	EXPANSION, EXPOSED
		EXT.	EXTERIOR
		F.D.	FLOOR DRAIN
		FDN.	FOUNDATION
		F.R.P.	FIBER REINFORCED PANELS
		FIN.	FINISH
		FLR.	FLOOR
		F.O.	FACE OF
		F.O.S.	FACE OF STUD
		FR.	FRAME
		FTG.	FOOTING
		FV.	FIELD, VERIFY
		GA.	GAUGE
		GALV.	GALVANIZED
		GYP.	GYPSONUM
		HDW.	HARDWARE
		H.M.	HOLLOW METAL
		HORIZ.	HORIZONTAL
		HT.	HEIGHT
		I.D.	INSIDE DIAMETER
		INSUL.	INSULATION
		INT.	INTERIOR
		JT.	JOINT
		LAV.	LAVATORY
		L.G.	LONG
		L.L.O.	LONG LEG OUTSTANDING
		L.L.V.	LONG LEG VERTICAL
		MAX.	MAXIMUM
		MECH.	MECHANICAL
		MET.	METAL
		MEZZ.	MEZZANINE
		M.I.	MISCELLANEOUS IRON
		MIN.	MINIMUM
		MISC.	MISCELLANEOUS
		M.O.	MASONRY OPENING
		N.I.C.	NOT IN CONTRACT
		N.T.S.	NOT TO SCALE
		O.C.	ON CENTER
		O.D.	OUTSIDE DIAMETER
		OPNG.	OPENING
		OPP.	OPPOSITE
		PL.G.	PLATE GLASS
		PL.S.	PLATE STEEL
		P.LAM.	PLASTIC LAMINATE
		PLAS.	PLASTER
		PREFAB.	PREFABRICATED
		PROJ.	PROJECT, PROJECTION
		P.S.F.	POUNDS PER SQUARE FOOT
		PT.	POINT
		R.	RISER
		R.A.	RETURN AIR
		R.B.	RUBBER BASE
		R.C.	ROOF CONDUCTOR
		R.C.P.	REFLECTED CEILING PLAN
		R.D.	ROOF DRAIN
		R.F.	RUBBER FLOORING
		REINF.	REINFORCED, REINFORCING
		REQ'D.	REQUIRED
		RFG.	ROOFING
		RM.	ROOM
		R.S.	ROOF SUMP
		R.T.	RUBBER TILE
		SAN.	SANITARY
		SCHED.	SCHEDULE
		SHT.	SHEET
		SIM.	SIMILAR
		SPEC.	SPECIFICATION
		S.S.	SERVICE SINK
		STL.	STEEL
		STD.	STANDARD
		STOR.	STORAGE
		STRUCT.	STRUCTURAL
		SUSP.	SUSPENDED
		SW.	SWITCH
		SYM.	SYMMETRICAL
		T.	TREAD
		T&B	TOP AND BOTTOM
		TEL.	TELEPHONE
		TERR.	TERRAZZO
		T&G	TONGUE AND GROOVE
		THK.	THICK, THICKNESS
		THRES.	THRESHOLD
		T.O.S.	TOP OF STEEL
		TYP.	TYPICAL
		UIC	UNDERCUT
		U.N.O.	UNLESS NOTED OTHERWISE
		V.B.	VINYL BASE
		V.C.T.	VINYL COMPOSITION TILE
		V.I.F.	VERIFY IN FIELD
		W.	WIDE
		VERT.	VERTICAL
		WAINS.	WAINSCOT
		W.C.	WATER CLOSET
		WD.WIN.	WOOD WINDOW
		WT.	WEIGHT
		W.W.F.	WELDED WIRE FABRIC

## MOUNTING SCHEDULE

### WALL MOUNTED ACCESSORIES

	4" MIN. 48" MAX. FIN.FLR.LINE	DUPLEX OUTLET
	48" MAX. FIN.FLR.LINE	KEY SWITCH or PUSH BUTTON FORWARD APPROACH
	48" MAX. FIN.FLR.LINE	KEY SWITCH or PUSH BUTTON PARALLEL APPROACH
	60" MAX. FIN.FLR.LINE	ROOM NAME SIGN
	60" MAX. FIN.FLR.LINE	FIRE EXIT SIGN @ ELEVATORS
	48" MAX. FIN.FLR.LINE	CARD READER
	48" MAX. FIN.FLR.LINE	LIGHT SWITCH or DIMMER
	VARIES 12" MIN. 60" MAX. FIN.FLR.LINE	FIRE EXTINGUISHER & PANEL CABINETS
	48" MAX. FIN.FLR.LINE	FIRE ALARM PULL BOX
	48" MAX. FIN.FLR.LINE	HVAC CONTROLS
	6'-8" MIN. CLEAR FIN.FLR.LINE	EXIT LIGHT
	12" MAX. FIN.FLR.LINE	CLOCK OUTLET
	16" MAX. 4'-0" MAX. FIN.FLR.LINE	TELEPHONE WALL JACKS

## MATERIAL LEGEND

	ACOUSTICAL CEILING
	BATT/LOOSE INSULATION
	BLOCKING/ROUGH LUMBER
	CONCRETE
	FINISHED WOOD
	GLASS
	GYPSONUM WALLBOARD
	MASONRY
	PARTICLE BOARD
	PLYWOOD

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HDC RENOVATION**

Issued for :  
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**ANJ**

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**TRF**

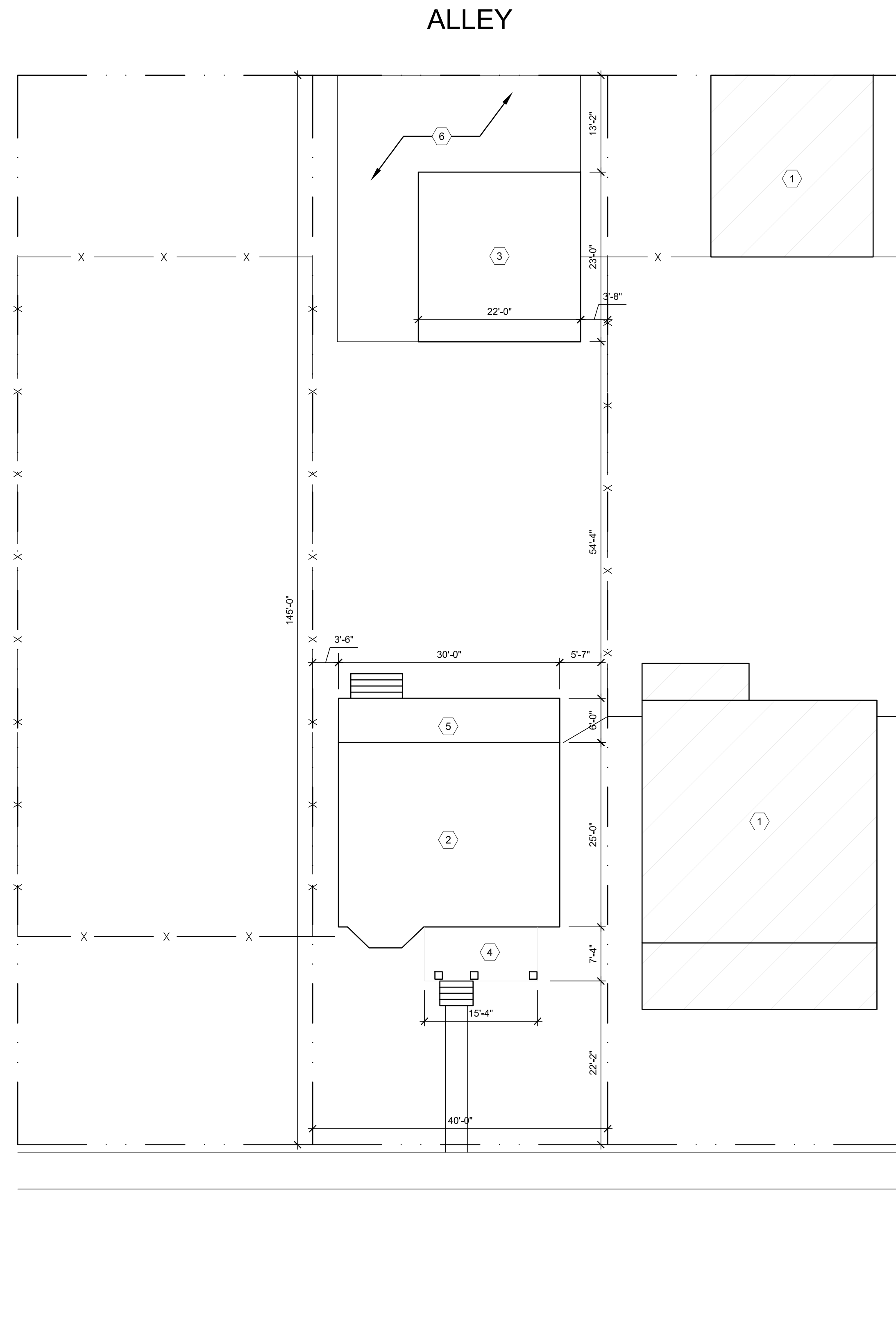
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**TITLE SHEET,  
SHEET INDEX, AND  
CODE INFORMATION**

Project No. :  
**2024001**

Sheet No. :  
**TS1.1**

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PALLISTER

**GENERAL SITE PLAN NOTES:**

1. PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:
2. CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.
3. ASPHALT: BASE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100L, 20AA; SURFACE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100T, 20AA; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDOT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD; MAXIMUM 2 INCH LIFT.
4. PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.
5. ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.
6. ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-S164.
7. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.
8. ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.
9. ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.
10. CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.
11. FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKEWISE ARRANGE FOR ALL INSPECTION.
12. EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.
13. EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.
14. SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.
15. ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.
16. FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.
17. ALL LANDSCAPED AREAS TO BE PROVIDED W/ SPRINKLER SYSTEMS FOR 100% COVERAGE.

**SITE PLAN KEY NOTES:**

(TYPICAL THIS SHEET ONLY)

- ① EXISTING BUILDING NOT IN SCOPE
- ② EXISTING HOUSE
- ③ EXISTING GARAGE
- ④ EXISTING FRONT PORCH
- ⑤ NEW REAR DECK
- ⑥ EXISTING CONCRETE PARKING PAD

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Project No. :
<b>2024001</b>
Sheet No. :
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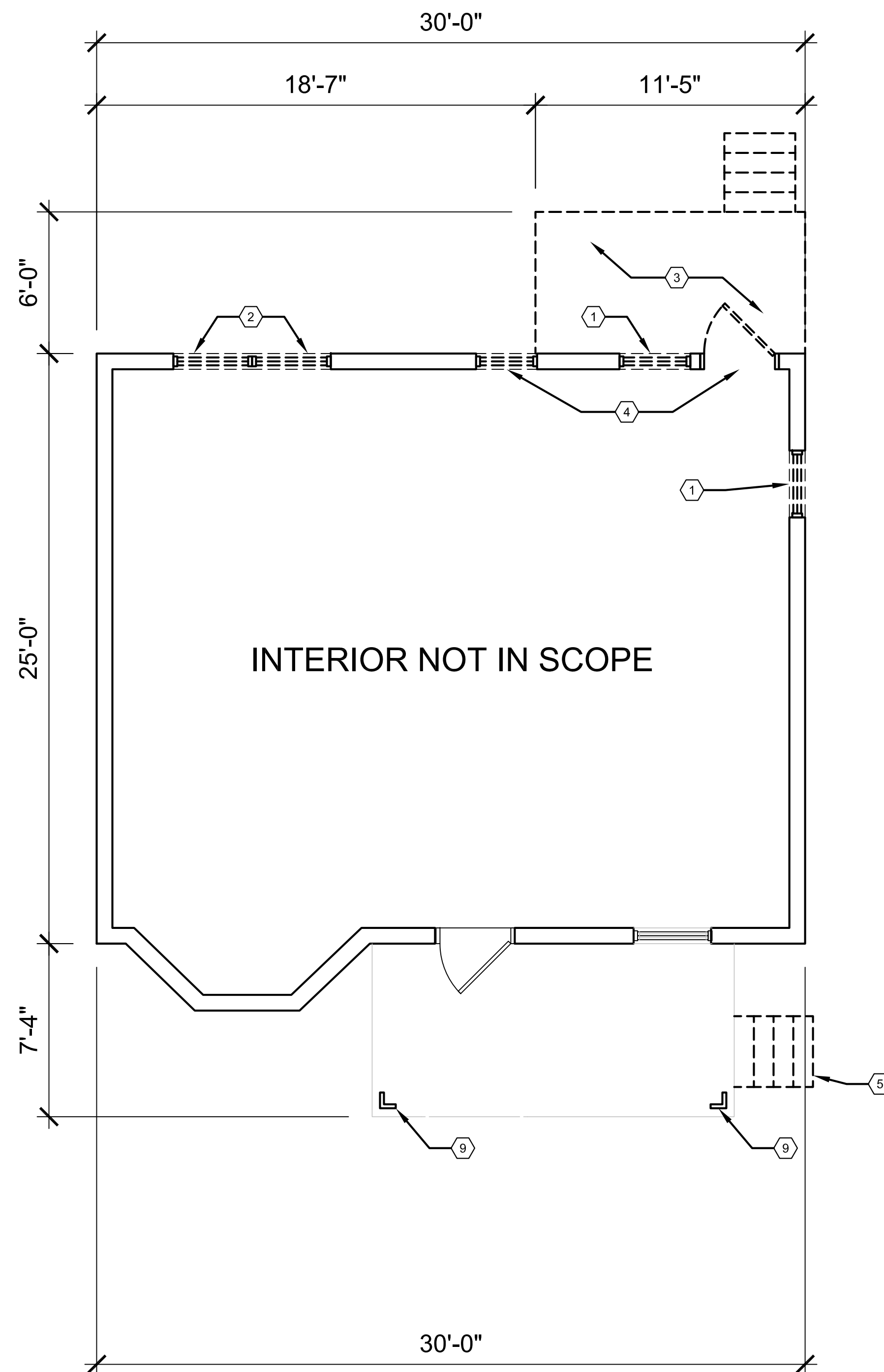
**GENERAL FLOOR PLAN NOTES:**

1. THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK. COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
2. ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
3. WALL THICKNESS' ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
5. PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE KEEPING FLOOR LEVEL AT WALL BASE CONDITION.

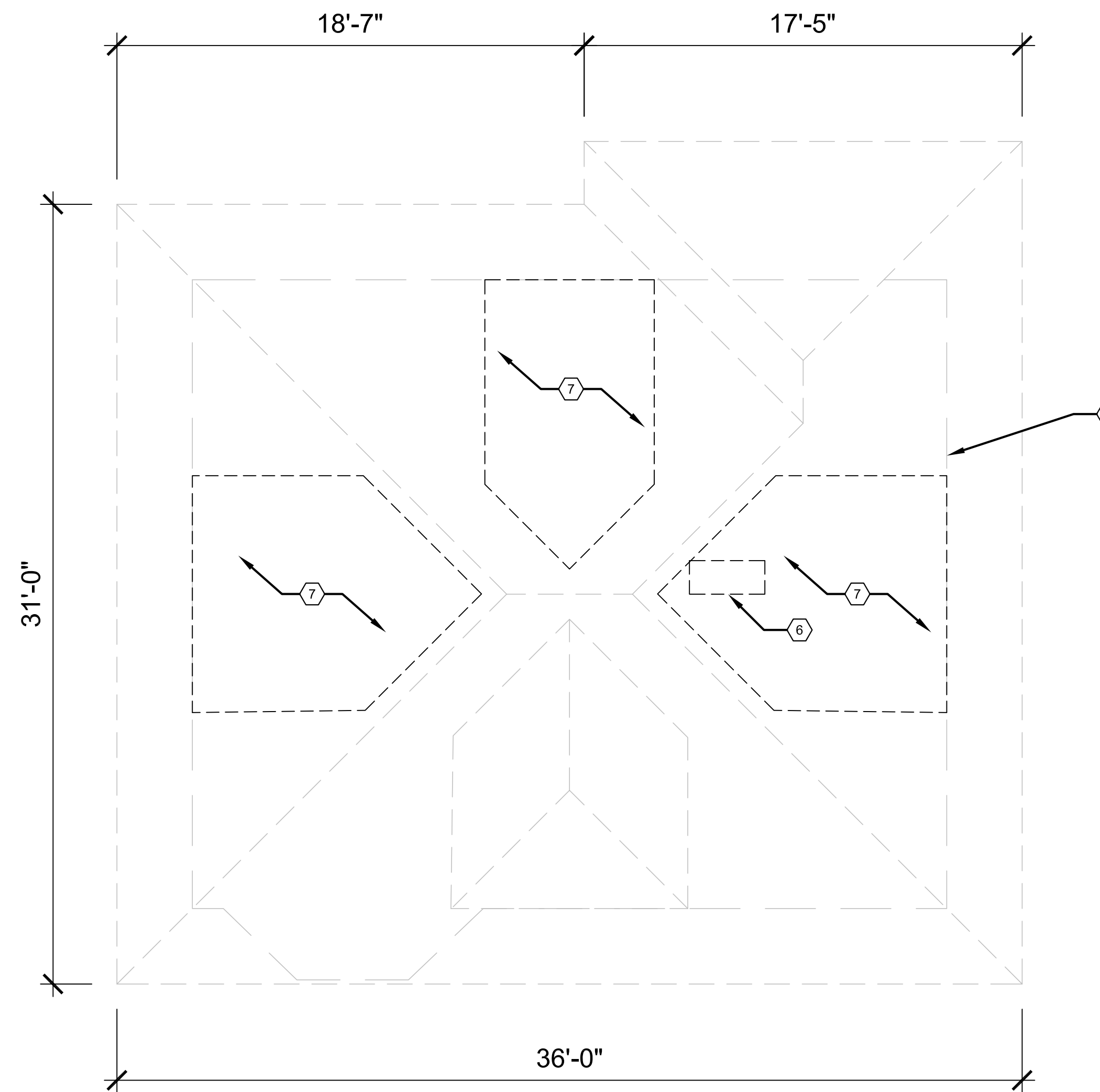
**DEMO PLAN KEY NOTES:**

(TYPICAL THIS SHEET ONLY)

- ① WINDOW TO BE REMOVED AND REPLACED, SEE ELEVATIONS
- ② WINDOW TO BE REMOVED AND REPLACED WITH DOOR, SEE ELEVATIONS
- ③ DEMO EXISTING REAR DECK AND STAIR
- ④ REMOVE AND INFILL REAR DOOR/WINDOW, SEE ELEVATIONS
- ⑤ DEMO EXISTING MASONRY STAIR
- ⑥ CHIMNEY TO BE DEMOLISHED
- ⑦ REMOVE ROOF AS REQ'D FOR NEW DORMER
- ⑧ LINE OF WALLS BELOW
- ⑨ EXISTING COLUMNS TO BE REMOVED



**DEMO FIRST FLOOR PLAN**  
SCALE: 1/4"=1'-0"



**DEMO ROOF PLAN**  
SCALE: 1/4"=1'-0"

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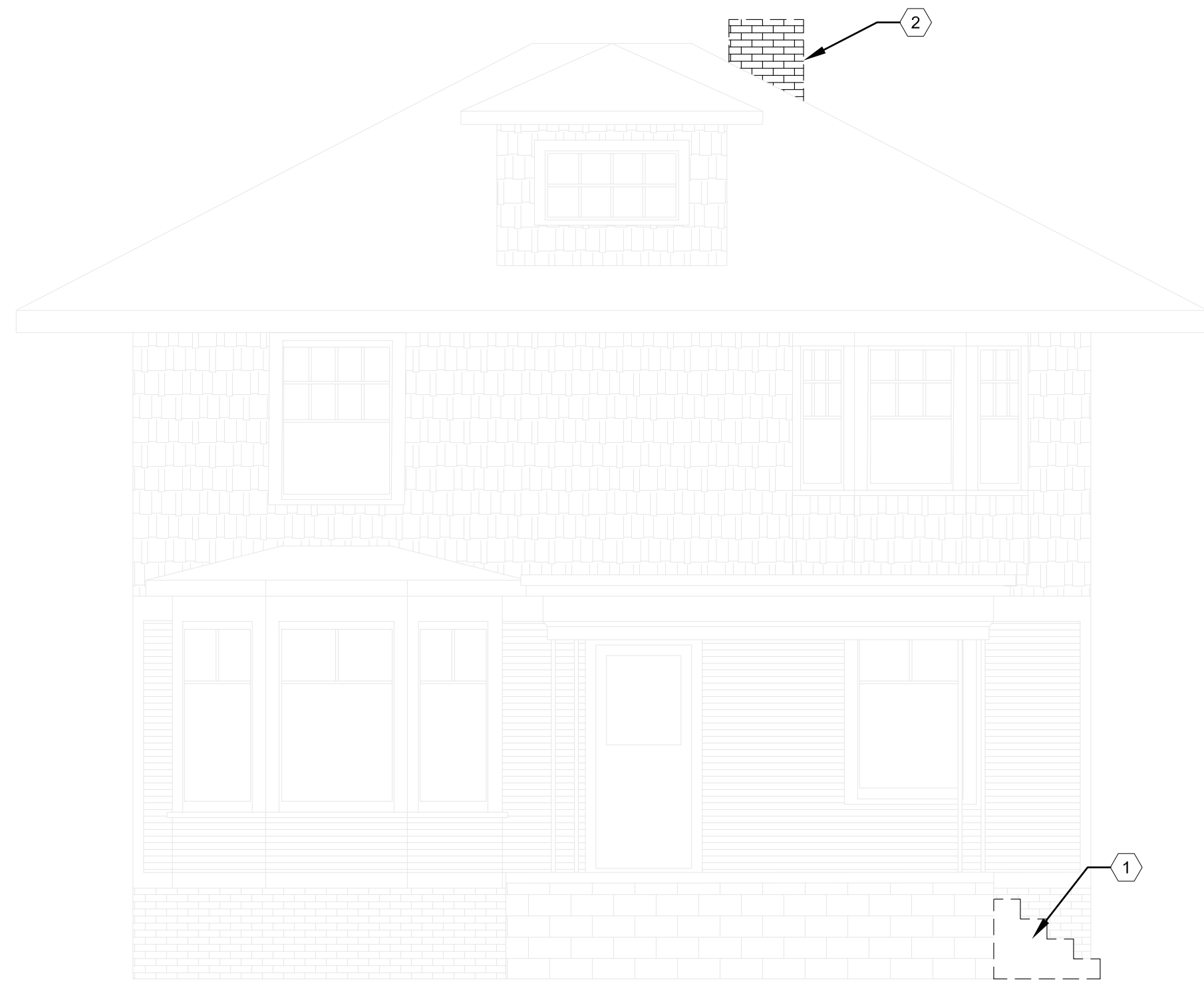
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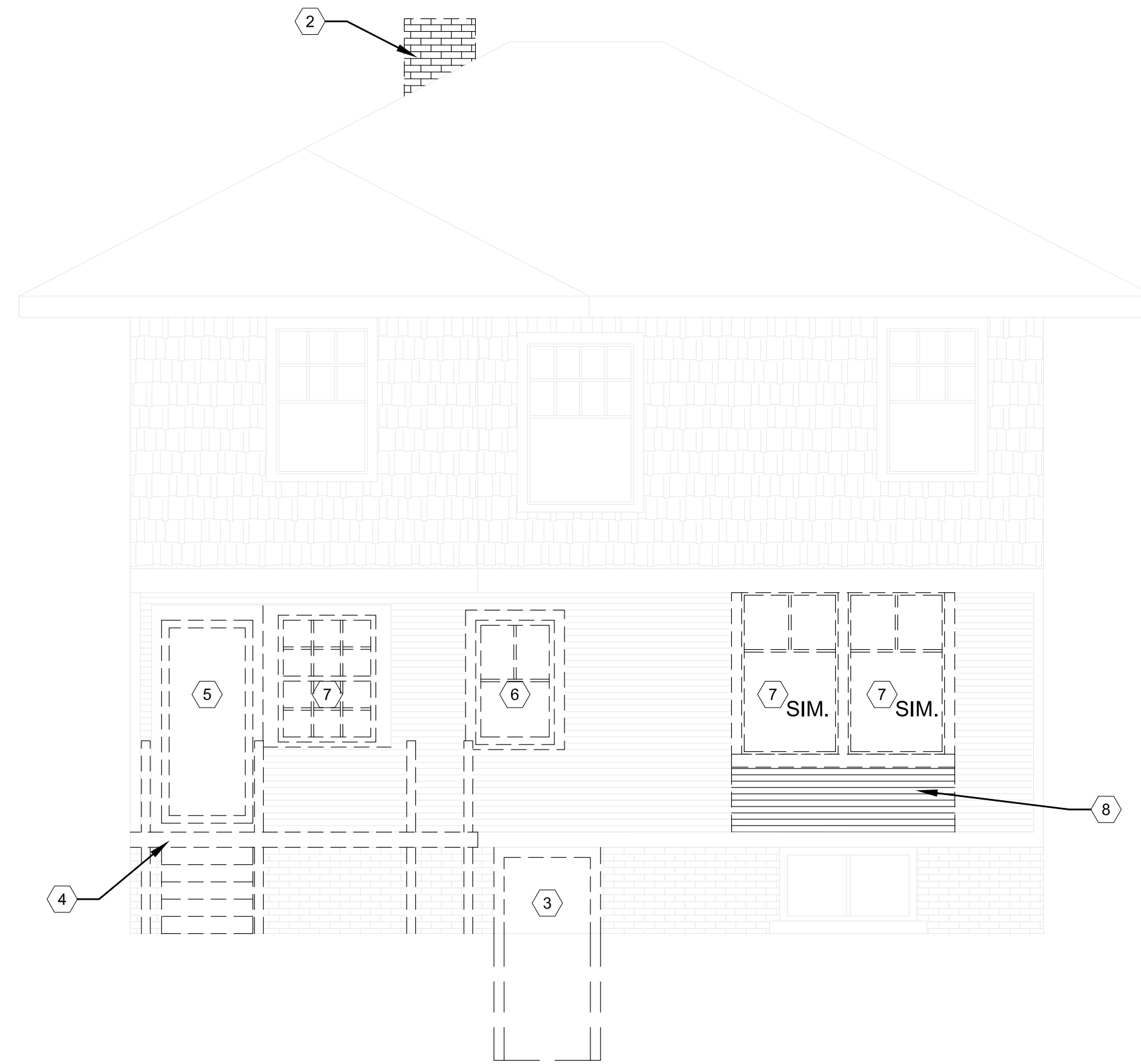
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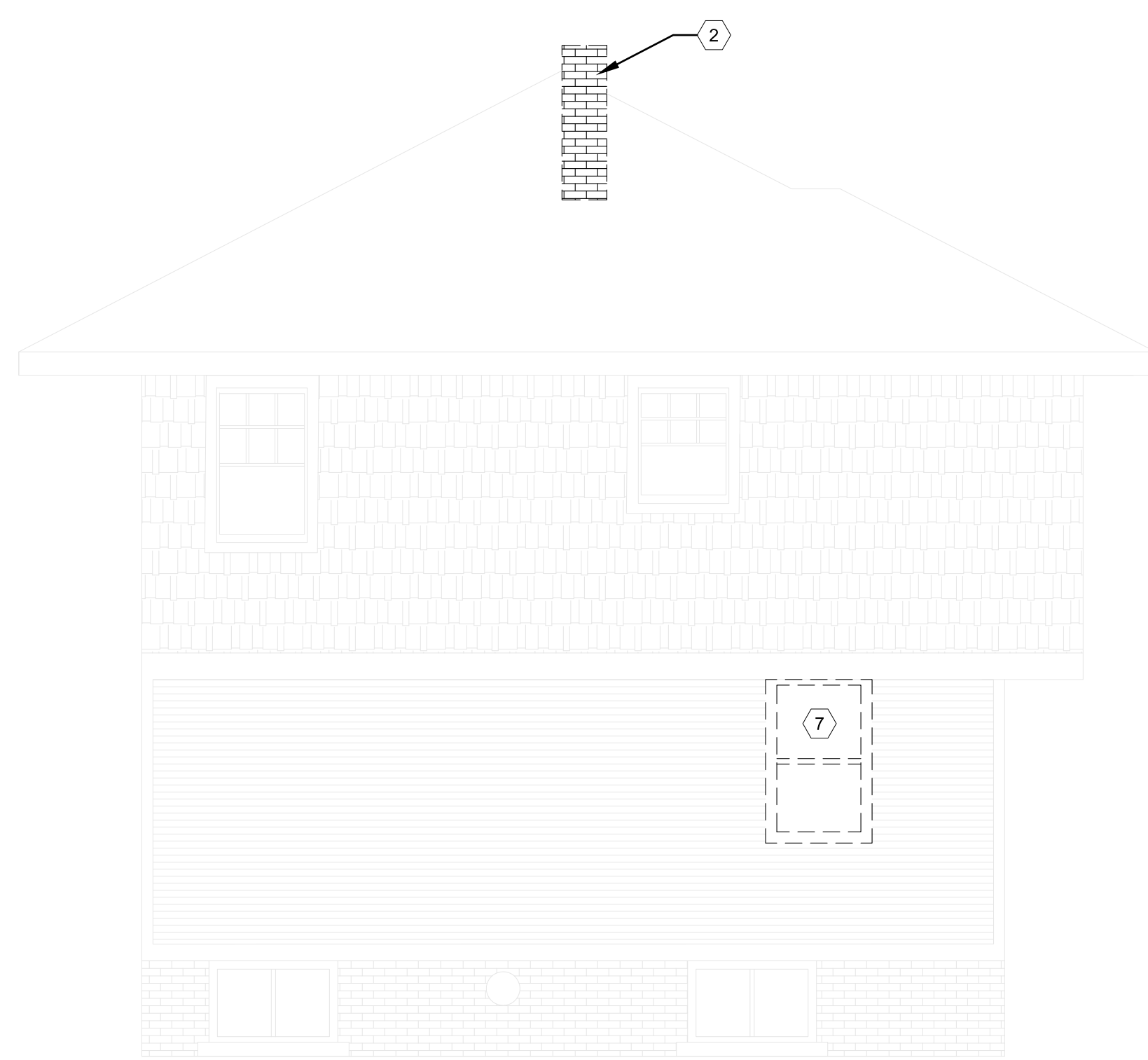
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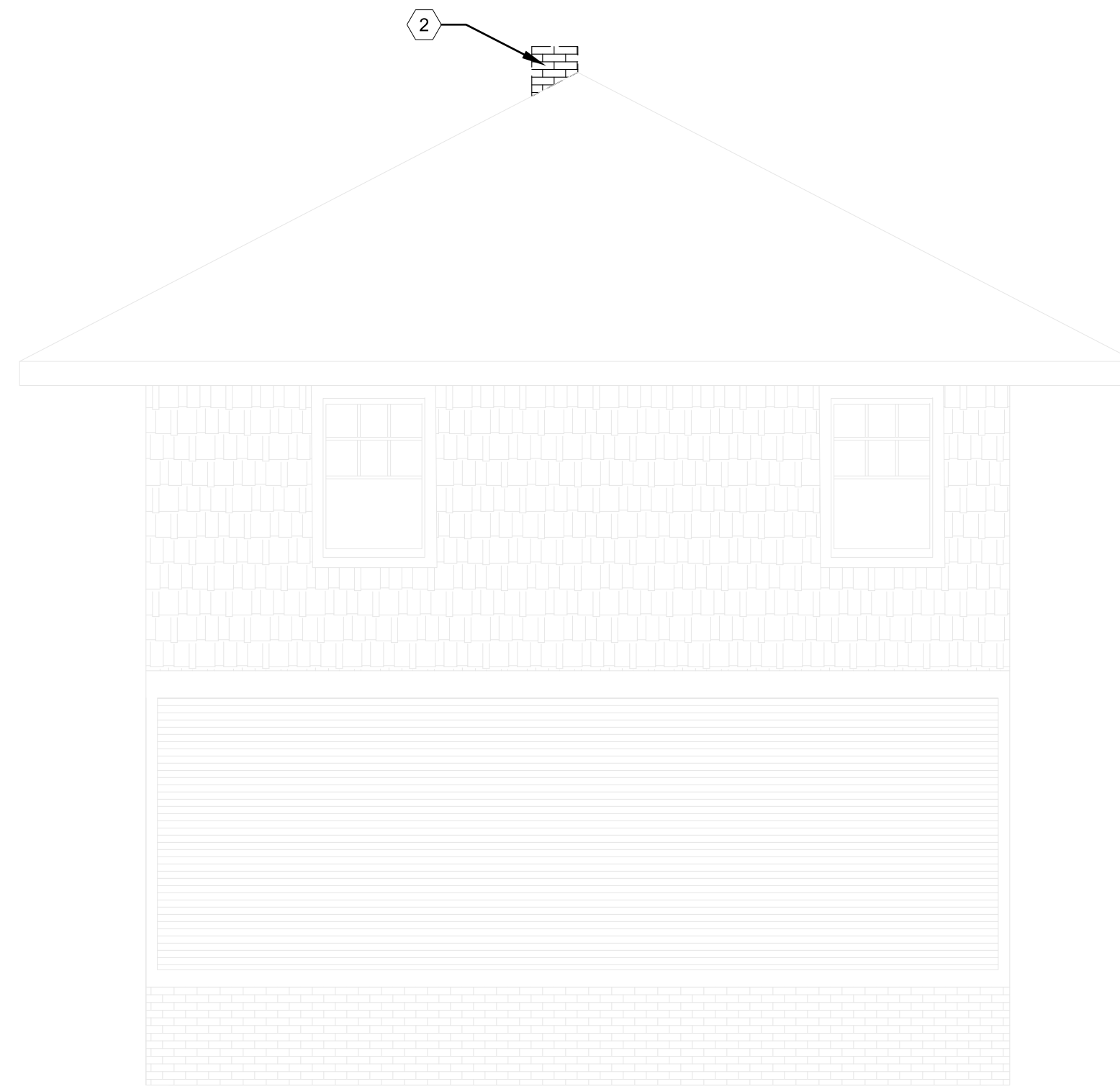
1 SOUTH ELEVATION  
A1.1 SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION  
A1.1 SCALE: 1/4" = 1'-0"



3 EAST ELEVATION  
A1.1 SCALE: 1/4" = 1'-0"



4 WEST ELEVATION  
A1.1 SCALE: 1/4" = 1'-0"

**ELEVATION KEY NOTES:**

(TYPICAL THIS SHEET ONLY)

- 1 MASONRY STAIRS TO BE REMOVED
- 2 CHIMNEY TO BE REMOVED
- 3 EXISTING BASEMENT DOOR TO BE REMOVED, WALL INFILLED; USE IN-KIND MATERIALS FOR EXTERIOR CLADDING. EARTH TO BE INFILLED
- 4 REAR DECK AND STAIR TO BE DEMO'D
- 5 DOOR TO BE REMOVED, WALL INFILLED; USE IN-KIND MATERIALS FOR EXTERIOR CLADDING
- 6 EXISTING WINDOW TO BE INFILLED; USE IN-KIND MATERIALS FOR EXTERIOR CLADDING
- 7 EXISTING WINDOW TO BE REMOVED AND REPLACED, SEE EXTERIOR ELEVATIONS
- 8 WALL TO BE REMOVED FOR NEW DOOR, SEE EXTERIOR ELEVATIONS

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DEMO EXTERIOR  
ELEVATIONS

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Sheet No. :

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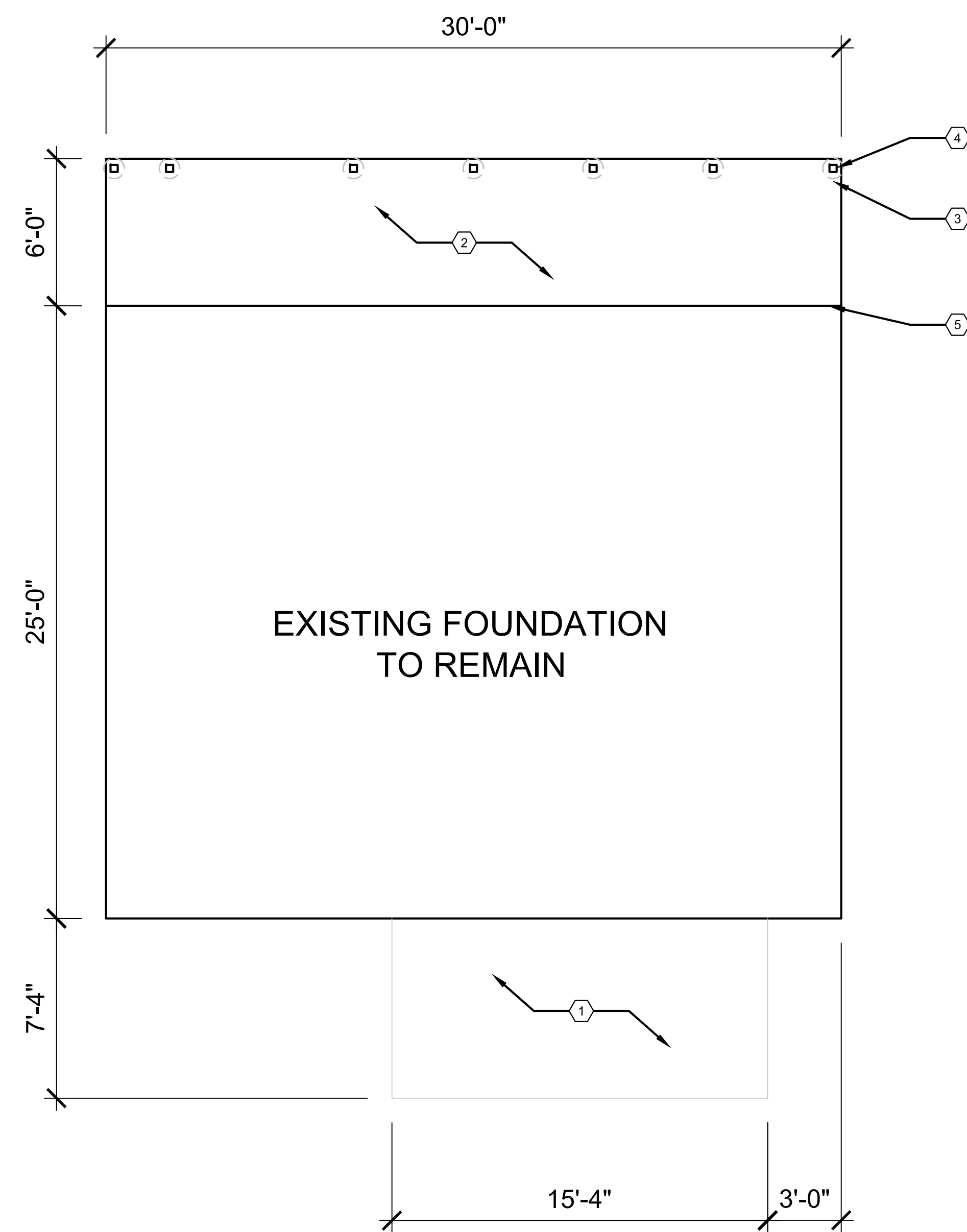
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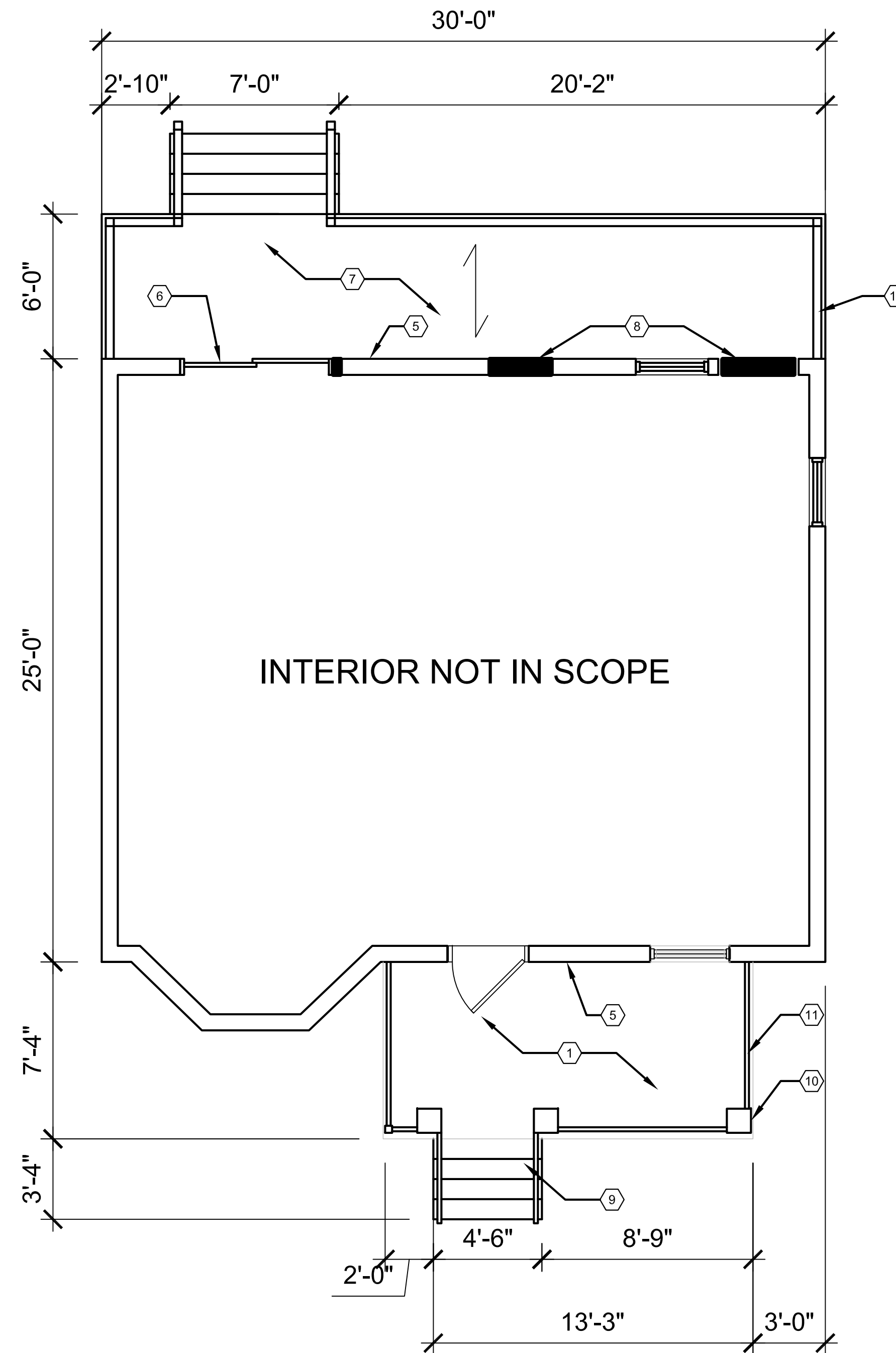
**PLAN KEY NOTES:**

(TYPICAL THIS SHEET ONLY)

- 1 EXISTING MASONRY PORCH TO REMAIN
- 2 NEW DECK FOOTPRINT
- 3 10" SONOTUBE (TYP.), B.O.F. TO BE MIN. 42" BELOW GRADE
- 4 4x4 WOOD POST (TYP.)
- 5 LEDGER TO HOUSE, USING STRUCTURAL EPOXY AS REQ'D, STAGGER BOLTS 12" T & B
- 6 NEW SLIDING GLASS DOOR, SEE ELEVATIONS. INFILL WALL AS REQ'D.
- 7 WOOD DECKING ON 2x8 WOOD DECK JOISTS, MAX 16" O.C.
- 8 REMOVE AND INFILL EXISTING DOOR/WINDOW
- 9 NEW MASONRY STAIR
- 10 WOOD WRAPPED 4x4 WOOD POSTS, SEE ELEVATIONS
- 11 NEW WOOD HANDRAIL, MIN. 36" TALL



**FOUNDATION PLAN**  
SCALE: 1/4"=1'-0"



**FIRST FLOOR PLAN**  
SCALE: 1/4"=1'-0"

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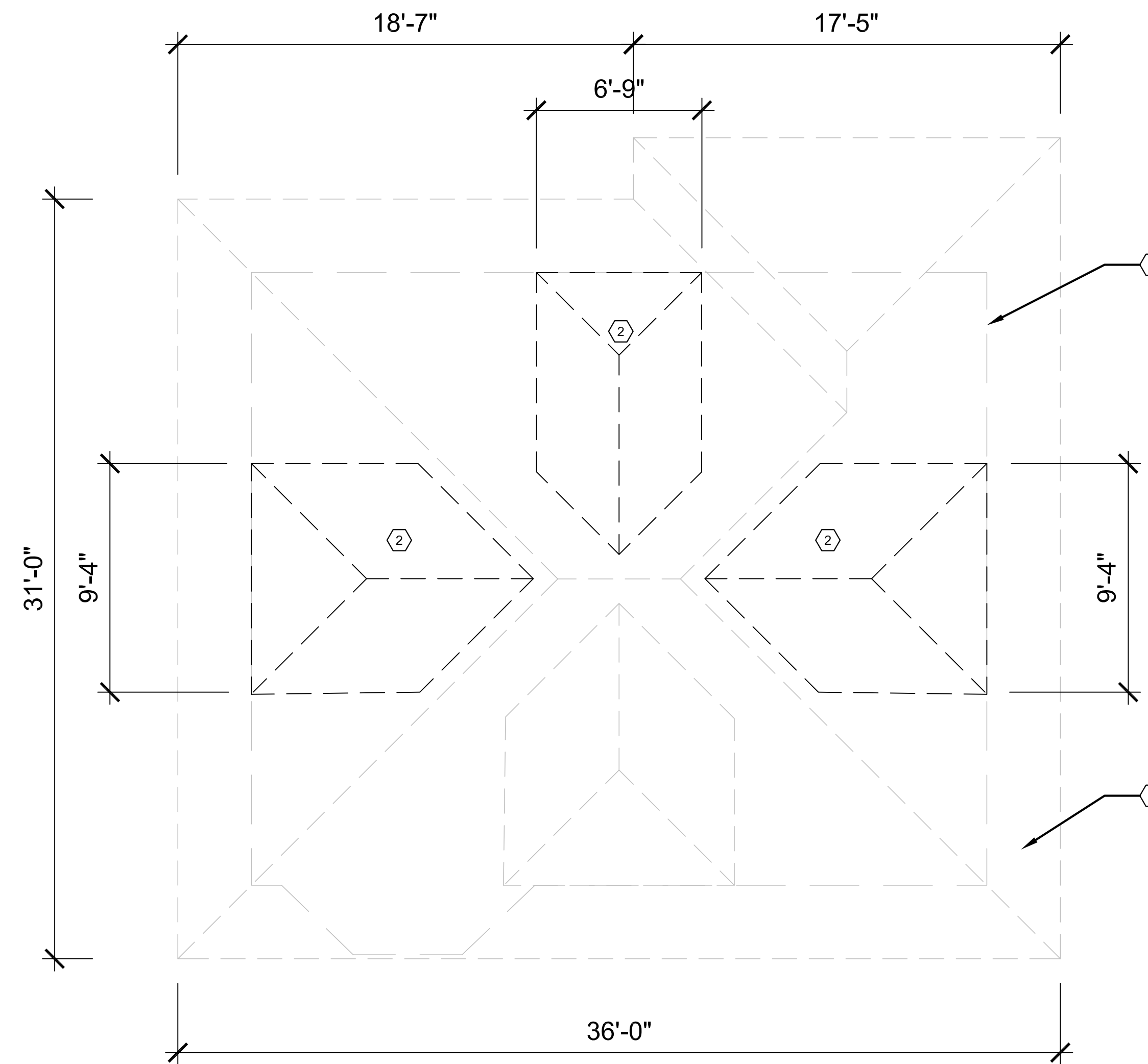
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**PLAN KEY NOTES:**

(TYPICAL THIS SHEET ONLY)

- ① LINE OF WALLS BELOW
- ② NEW DORMER; ROOF AND SIDING TO COORDINATE WITH EXISTING
- ③ EXISTING ROOF TO BE REPAIRED WITH IN-KIND MATS. AS REQ'D (TYP.) SHINGLES TO BE REPLACED WITH CERTAINTEEED LANDMARK PRO ROOF SHINGLES IN CINDER BLACK



**ROOF PLAN**  
SCALE: 1/4"=1'-0"

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ROOF PLAN

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Sheet No. :  
**A1.2**

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Project :  
**708 PALLISTER  
HDC RENOVATION**

Issued for :  
**HDC REVIEW 01/18/2024**

Drawn by :  
**ANJ**  
Check by :  
**THF**

Sheet Title :  
**EXTERIOR  
ELEVATIONS**

Project No. :  
**2024001**

Sheet No. :  
**A3.1**

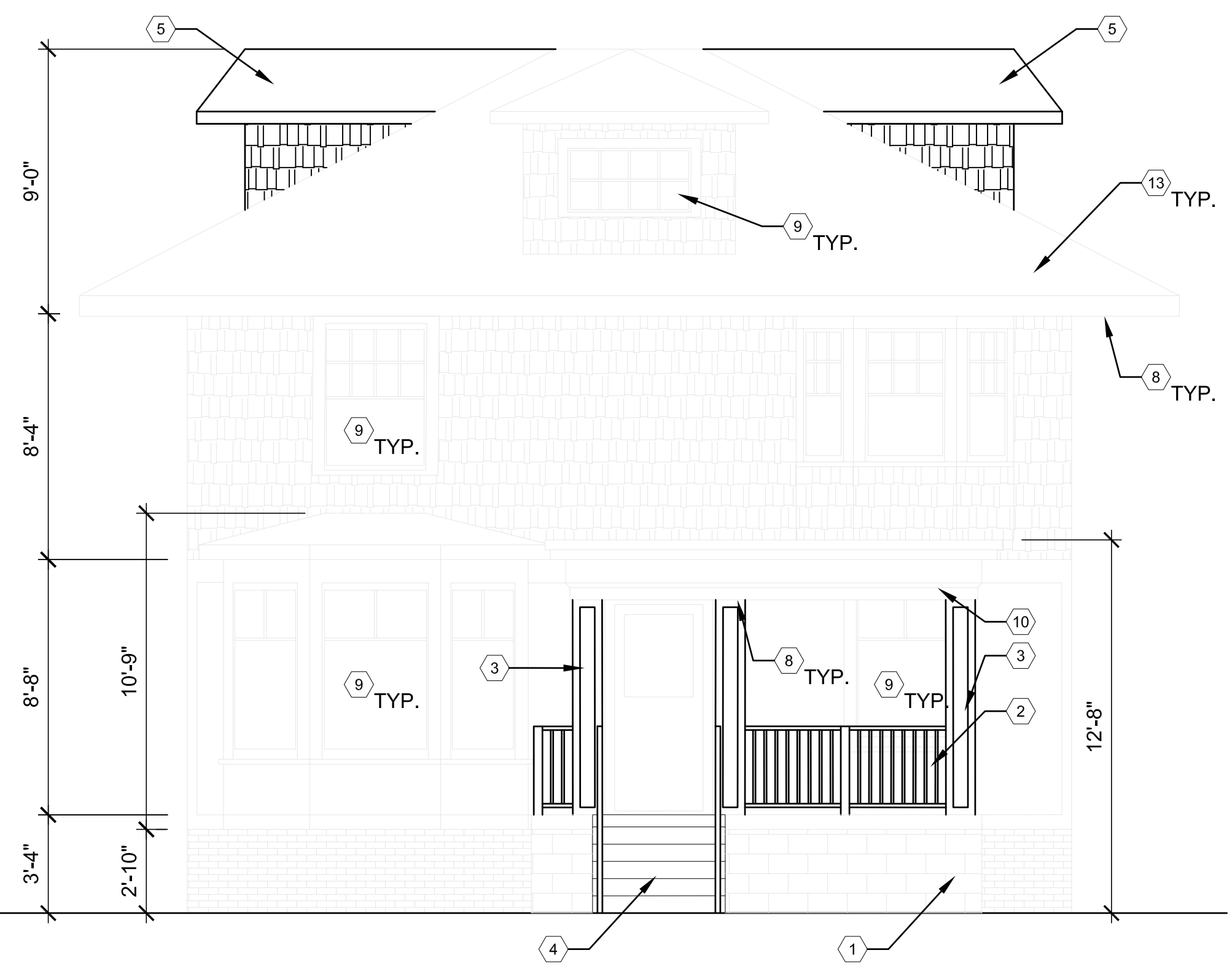
**ELEVATION KEY NOTES:**

(TYPICAL THIS SHEET ONLY)

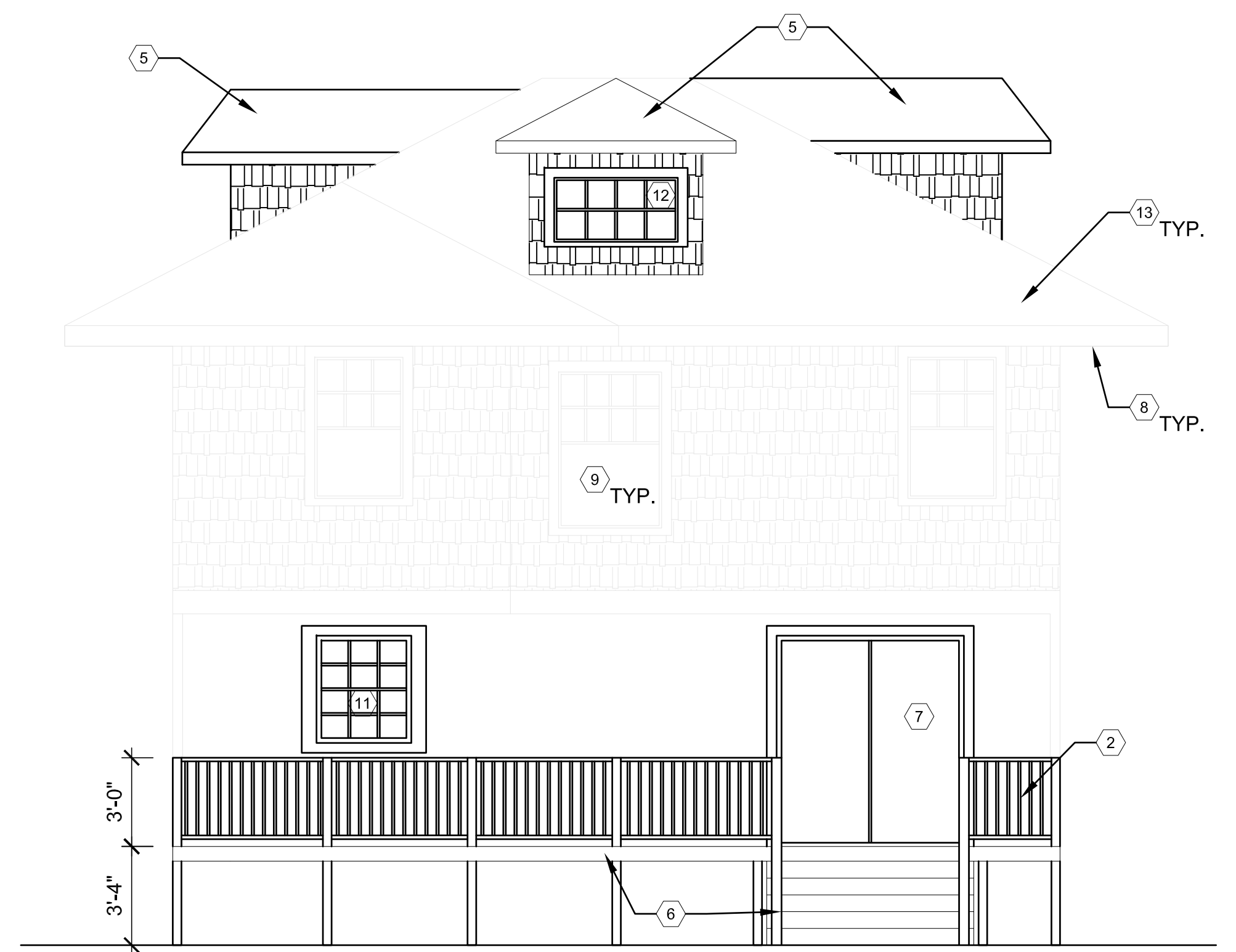
- ① EXISTING MASONRY PORCH TO REMAIN
- ② WOOD RAILING, MIN. 36" TALL
- ③ PINE WRAPPED 4x4 WOOD POSTS, PAINTED. OWNER TO DETERMINE PAINT COLOR
- ④ NEW MASONRY STAIR
- ⑤ NEW DORMER; ROOF AND SIDING TO MATCH EXISTING
- ⑥ NEW WOOD BACK DECK AND STAIR
- ⑦ SLIDING GLASS DOOR. BASIS OF DESIGN: ANDERSON 100 GLIDING PATIO DOOR IN BLACK
- ⑧ SOFFITS TO BE PATCHED & REPAIRED WITH IN-KIND MATERIALS
- ⑨ EXISTING WINDOWS TO BE REPAIRED & REPAINTED (UNLESS NOTED OTHERWISE)
- ⑩ EXISTING PORCH ROOF TO REMAIN
- ⑪ EXISTING WINDOW TO BE REPLACED. BASIS OF DESIGN: ANDERSON 100 SINGLE HUNG WINDOW IN BLACK
- ⑫ NEW WINDOW. BASIS OF DESIGN: ANDERSON 100 CASEMENT WINDOW IN BLACK
- ⑬ ROOF TO BE REPAIRED AS REQ'D USING IN-KIND MATERIALS; ROOF TO BE SHINGLED WITH CERTAINTED LANDMARK PRO ASPHALT ROOF SHINGLES IN CINDER BLACK

GENERAL NOTE: ROOF, EXTERIOR CLADDING TO BE PATCHED AND REPAIRED AS REQ'D. ALL REPAIRS TO USE IN-KIND MATERIALS.

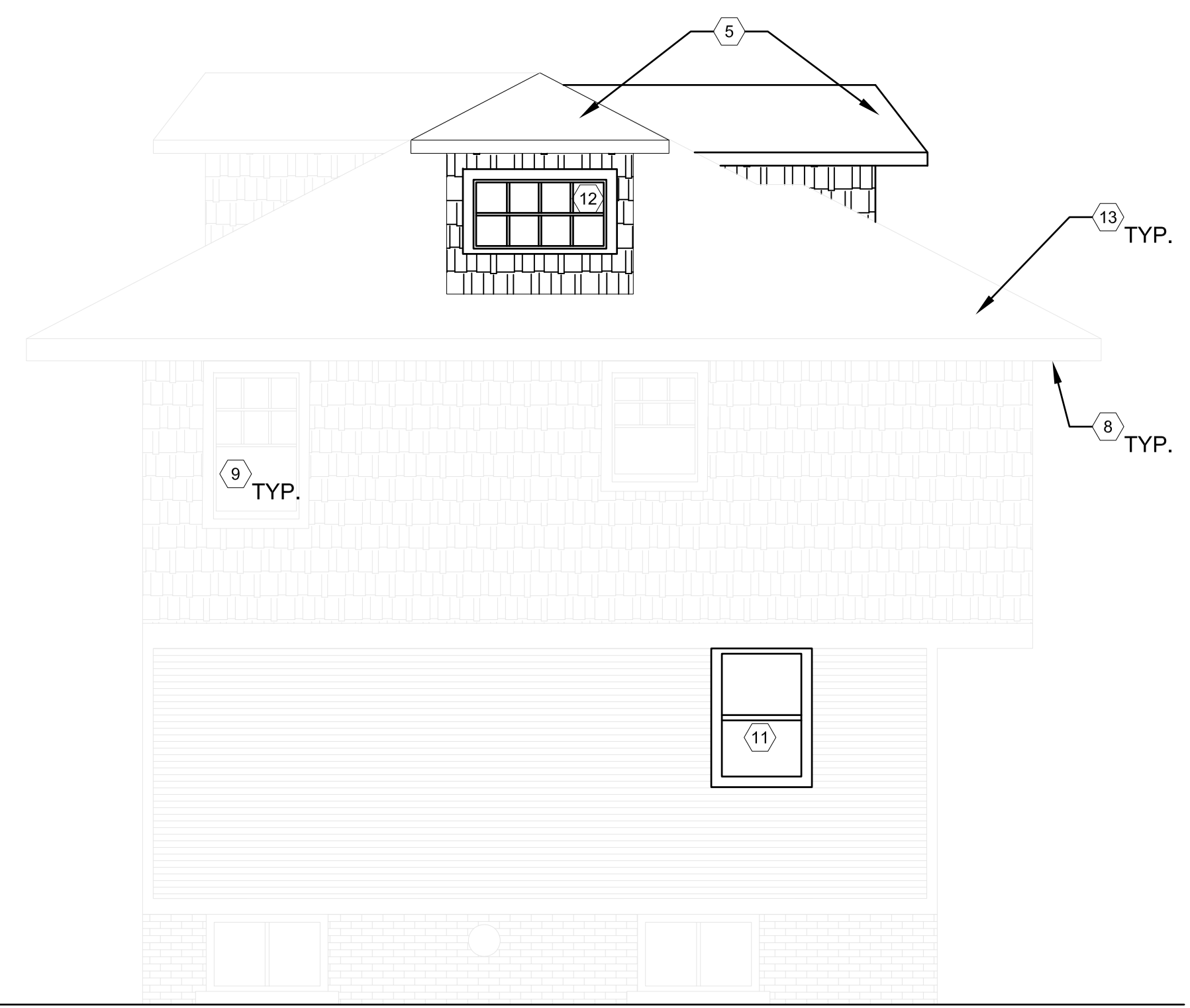
HOUSE TO BE PAINTED IN ACCORDANCE WITH HDC COLOR SYSTEM E  
ALL SIDING TO BE C4 YELLOWISH WHITE  
ALL TRIM AND SASH TO BE B19 BLACK  
SEE A6.1 FOR COLOR RENDER



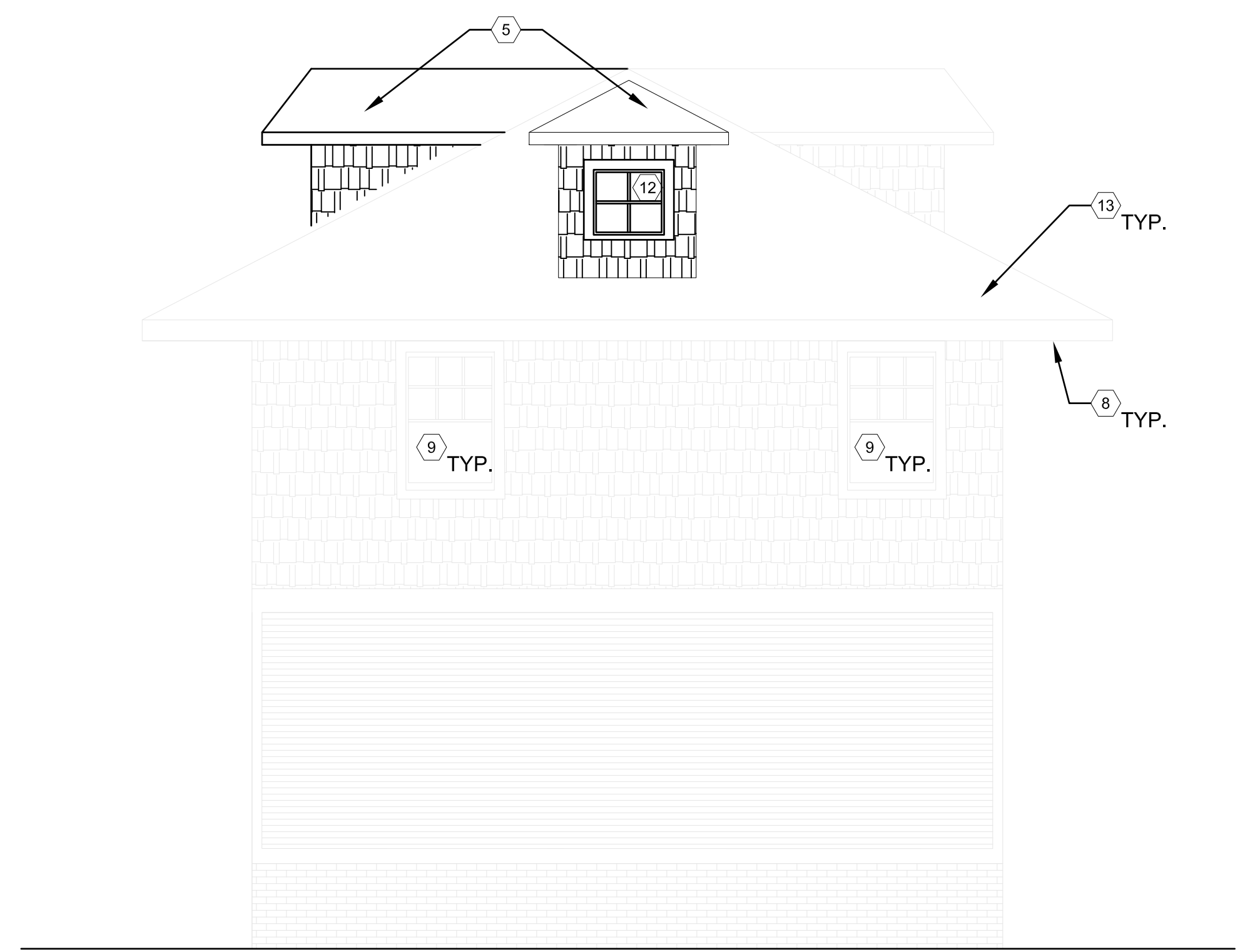
**1 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**4 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

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NEW ROOF SHINGLES TO BE INSTALLED, SEE ELEVATIONS

SIDING TO BE PAINTED (TYP.) (SEE ELEVATIONS)

**ELEVATION KEY NOTES:**

(TYPICAL THIS SHEET ONLY)

- ① NEW WOOD FRONT STAIR AND PORCH
- ② WOOD RAILING, MIN. 36" TALL
- ③ WRAPPED 2x6 WOOD POSTS
- ④ EXISTING ROOF TO REMAIN
- ⑤ NEW DORMER; ROOF AND SIDING TO MATCH EXISTING
- ⑥ NEW WOOD BACK DECK AND STAIR
- ⑦ SLIDING GLASS DOOR
- ⑧ SOFFITS TO BE PATCHED & REPAIRED WITH IN-KIND MATERIALS
- ⑨ EXISTING WINDOWS TO BE REPAIRED & REPAINTED

REPAIR WITH IN-KIND MATERIALS (TYP.)

EXISTING MASONRY STAIR TO BE REMOVED

1 SOUTH ELEVATION - EXISTING



CHIMNEY TO BE DEMO'D

SIDING TO BE PAINTED (TYP.) (SEE ELEVATIONS)

WINDOW TO BE REPLACED TO ACCOMMODATE INTERIOR LAYOUT

DOOR AND WINDOW TO BE INFILLED TO ACCOMMODATE INTERIOR LAYOUT

DECK AND STAIRS TO BE DEMO'D AND REPLACED;

NEW ROOF SHINGLES TO BE INSTALLED, SEE ELEVATIONS

TRIM AND SASH TO BE PAINTED (TYP.) (SEE ELEVATIONS)

WINDOWS TO BE REMOVED, REPLACED WITH SLIDING GLASS DOOR

EXISTING BASEMENT DOOR TO BE INFILLED

2 NORTH ELEVATION - EXISTING

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Sheet Title :

EXTERIOR  
ELEVATION  
PHOTOS

Project No. :

2024001

Sheet No. :

**A3.2**

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PATCH AND REPAIR AS REQ'D WITH IN-KIND MATERIALS; PAINT (COLORS TO MATCH HOUSE, SEE ELEVATIONS) (TYP.)

REPLACE EXISTING EXTERIOR DOOR AND HARDWARE

REPAIR AND PAINT EXISTING WINDOW

1 SOUTH ELEVATION - EXISTING



3 WEST ELEVATION - EXISTING



PATCH AND REPAIR AS REQ'D WITH IN-KIND MATERIALS; PAINT (COLORS TO MATCH HOUSE, SEE ELEVATIONS) (TYP.)

HANGER OR REPLACE ROOF JOISTS, SHEATHING, AND ICE/WATER BARRIER AS REQ'D;

REPLACE EXISTING ROOF SHINGLES WITH CERTAINEED LANDMARK PRO ASPHALT ROOF SHINGLES IN CINDER BLACK

2 NORTH ELEVATION - EXISTING



4 ROOF - EXISTING

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Issued for :  
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Drawn by :  
 ANJ  
 Check by :  
 THF

Sheet Title :  
 GARAGE  
 ELEVATIONS AND  
 ROOF PLAN

Project No. :  
 2024001

Sheet No. :  
**A3.3**

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THF

Sheet Title :

RENDERINGS

Project No. :

2024001

Sheet No. :

A6.1

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