

Proposed Design for the
SEYBURN INN

7810 Kercheval Avenue
 Detroit Michigan



HISTORICAL DISTRICT COMMISSION
PROJECT REVIEW

OWNER, CONTRACTOR
 AND ARCHITECT



656 ST. CLAIR STREET
 GROSSE POINTE, MI 48230
 TELEPHONE
 313.571.3385

PROJECT

SEYBURN-INN

7810 KERCHEVAL AVE
 DETROIT, MI, 48214

ISSUED FOR

ISSUED FOR	DATE
SCHEMATIC DESIGN	01/27/2023
HDC PRE-REVIEW	03/30/2023
HDC SUBMISSION	11/20/2023

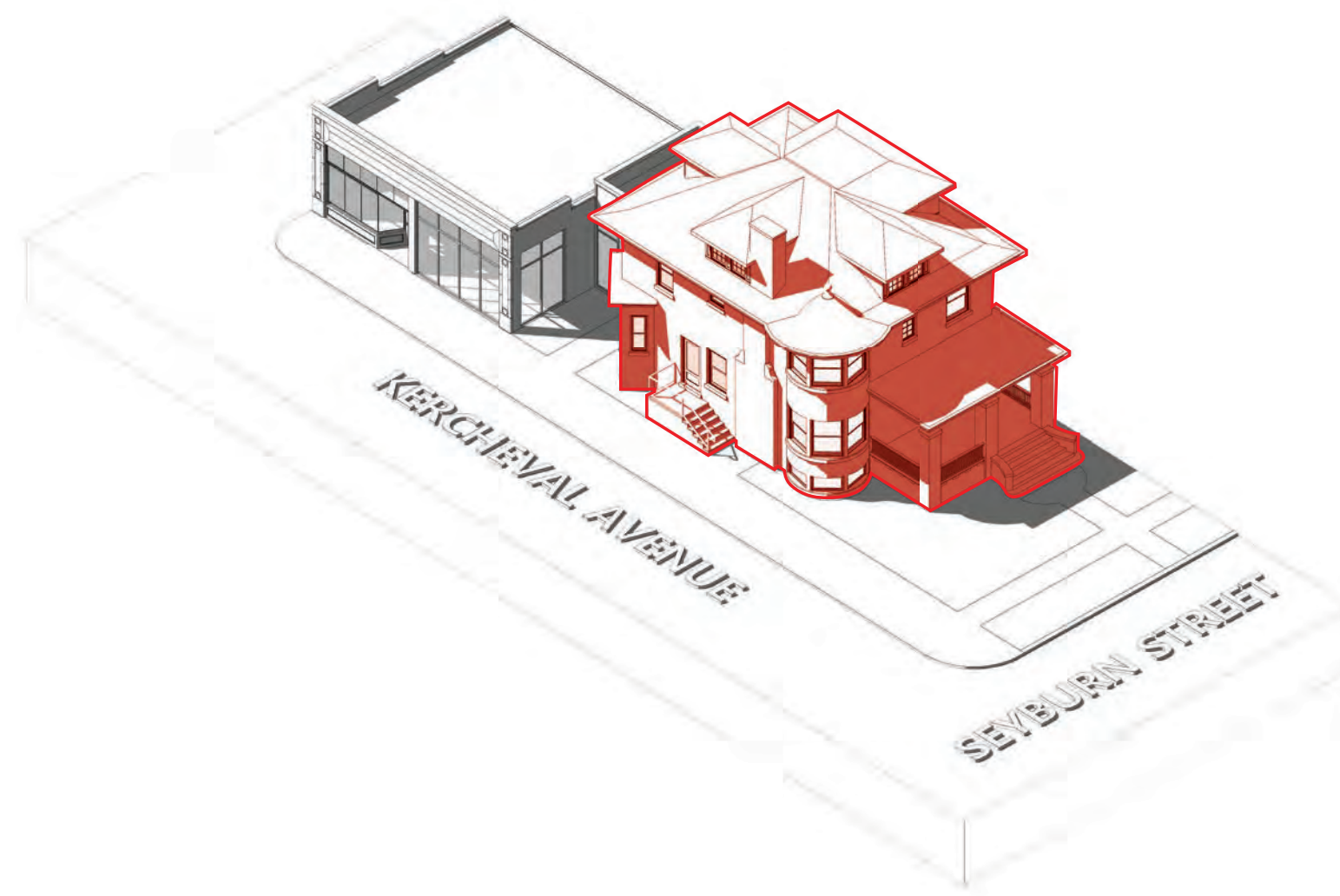
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COVER PAGE

PROJECT NO:
 DRAWN BY: MML
 CHECKED BY: TJM

- SHEET NO. -

T100



HOUSE DETAILED PHOTOS

■ INDICATES AREA OF WORK/CONSTRUCTION



EXISTING PERSPECTIVE SOUTH



EXISTING PERSPECTIVE EAST



EXISTING PERSPECTIVE NORTHEAST



- MASONRY CHIMNEY
- FASCIA ,SOFFIT, AND TRIM BOARD
-DETERIORATING WOOD
-CHIPPING PAINT
- SOLIDER COURSE
- BOARDED UP CURVED WINDOWS
- LIMESTONE SILL
- BRICK VENEER
- MISSING SIDE ENTRY PORCH

- HIPPED DORMER WITH COMPROMISED FRAMING
- HIPPED ROOF WITH COMPROMISED FRAMING
- OUTDATED SATELLITE DISH
- BOARDED UP WINDOW
- FASCIA ,SOFFIT, AND TRIM BOARD
-DETERIORATING WOOD
-CHIPPING PAINT
- INFILLED SCREEN PANELS
- MASONRY COLUMNS
- MASONRY PORCH
- NON HISTORICAL METAL RAILING
- CONCRETE PORCH STEPS

EXISTING PERSPECTIVE SOUTHEAST

OWNER, CONTRACTOR
AND ARCHITECT

H

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DEVELOPMENT

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DETAILED PHOTOS

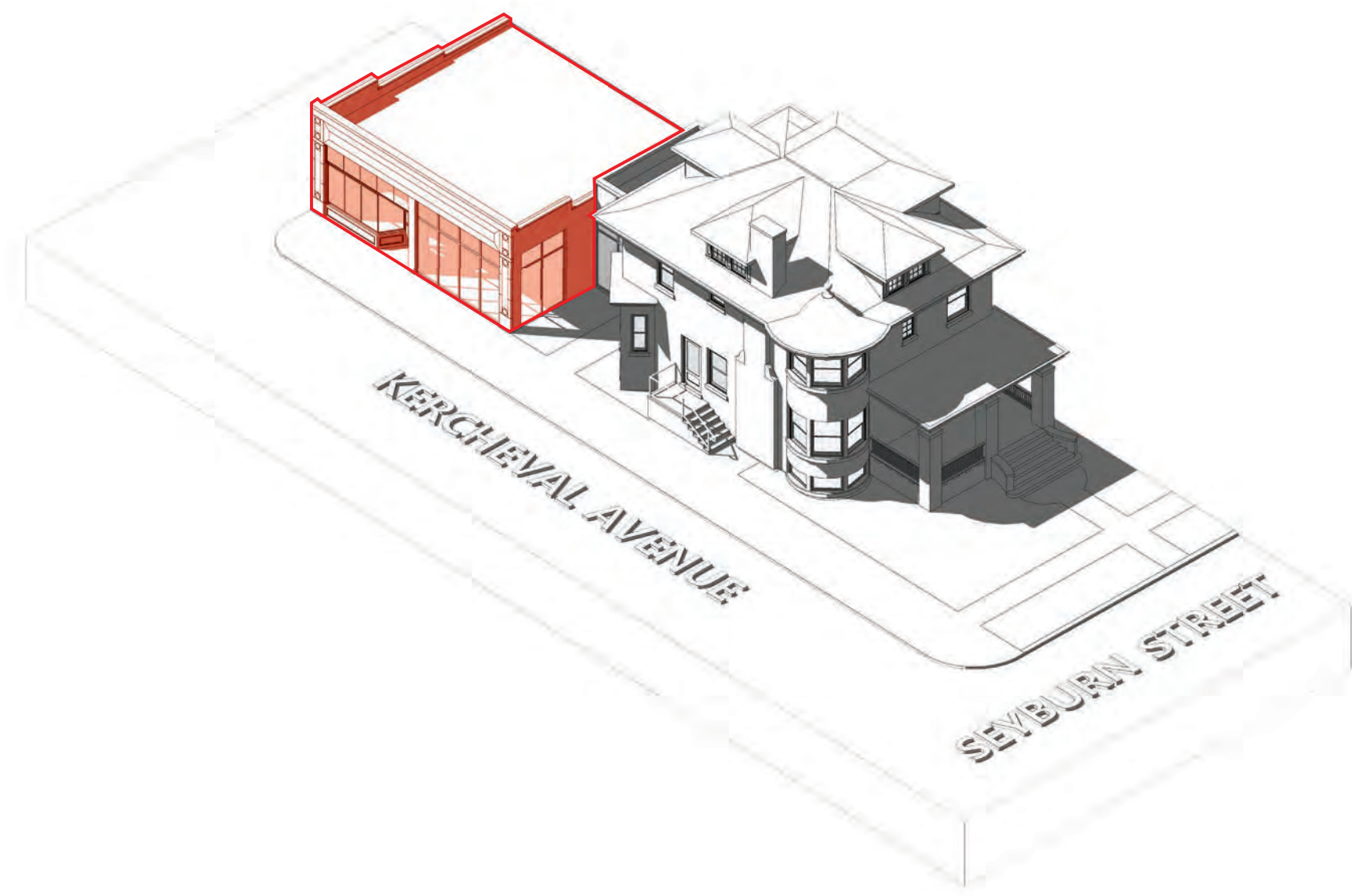
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A100



ACCESSORY STRUCTURE DETAILED PHOTOS

■ INDICATES AREA OF WORK/CONSTRUCTION

- STEEL BRACKETS
- SOILDER COURSE TRIM
- LIMESTONE VENEER
- BOARDED UP STOREFRONT



EXISTING PERSPECTIVE SOUTHEAST



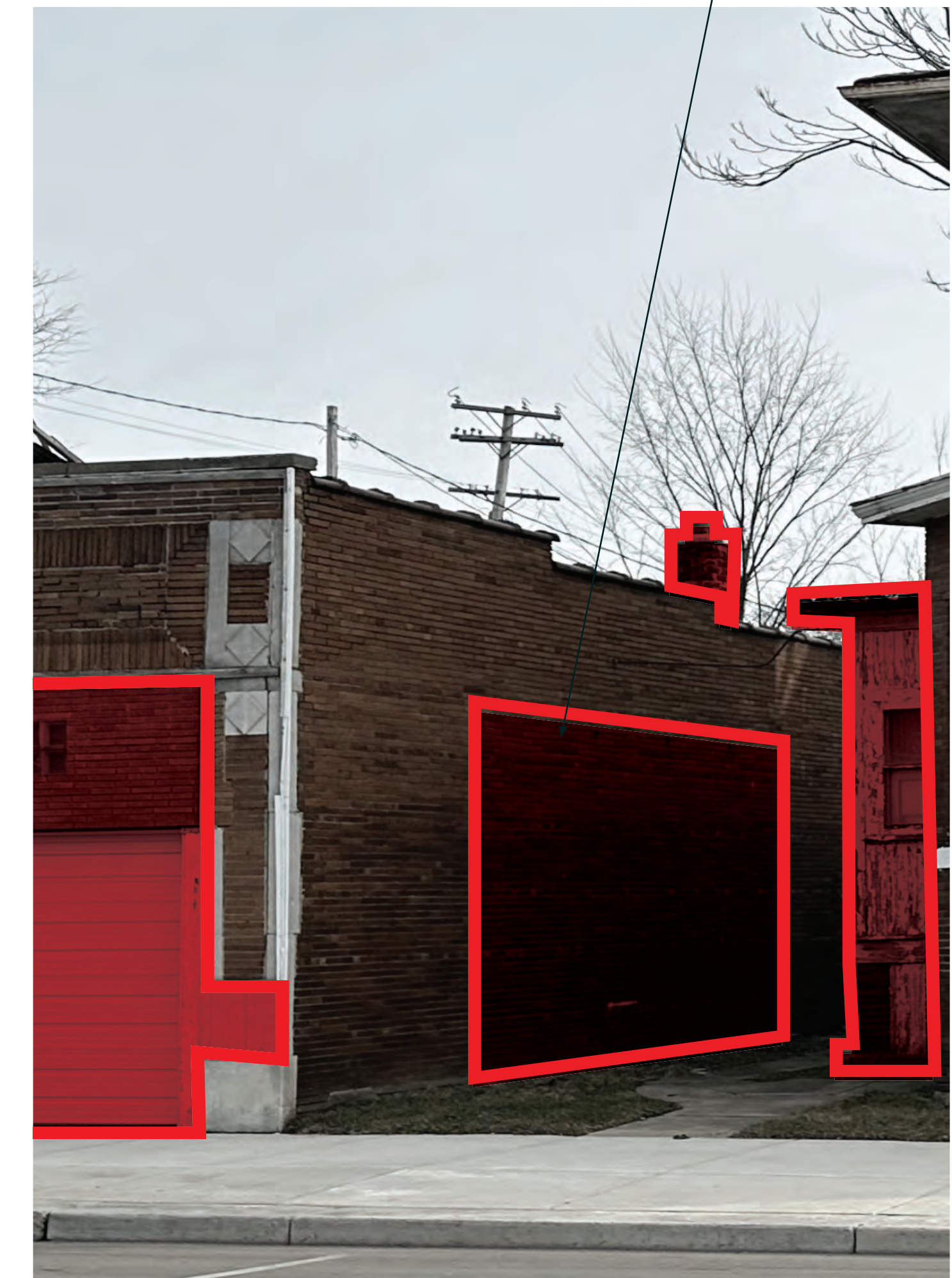
EXISTING PERSPECTIVE EAST

- BILLBOARD
- MASONRY CHIMNEY



EXISTING PERSPECTIVE SOUTHEAST

LOACTION OF NEW MASONRY OPENING



EXISTING PERSPECTIVE SOUTHEAST

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EXISTING CONDITIONS

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A101

FASCIA ,SOFFIT, AND TRIM BOARD
-DETERIORATING WOOD
-CHIPPING PAINT

POORLY MAINTAINED CURVED WINDOWS

BRICK VENEER

LIMESTONE SILL

MISSING SIDE PORCH



HIPPED ROOF DORMER WITH
- COMPROMISED FRAMING
- DETERIORATING SHINGLE SHAKE

HIPPED ROOF WITH
-COMPROMISED FRAMING

MISMATCHING WINDOW

OUTDATED SATELLITE DISH

FASCIA ,SOFFIT, AND TRIM BOARD
-DETERIORATING WOOD
-CHIPPING PAINT

NON HISTORICAL SCREENED PORCH

CONCRETE STEPS WITH METAL GUARD RAIL

DESCRIPTION OF EXISTING CONDITIONS:

-THE EXISTING CONDITIONS OF THE ORIGINAL BRICK HOUSE INDICATE SIGNIFICANT DETERIORATION BOTH INSIDE AND OUT, WITH THE MASONRY SHOWING SIGNS OF CRACKING AND DETERIORATION IN MANY AREAS. IN ADDITION TO MISSING A SIDE ENTRYWAY, ALL OF THE WINDOWS ARE DETERIORATING OR BOARDED UP, WHICH LIMITS NATURAL LIGHT AND CREATES AN UNATTRACTIVE APPEARANCE.

-THE COMMERCIAL SPACE BEHIND THE HOUSE IS ALSO IN A STATE OF DISREPAIR, WITH BOARDED UP STOREFRONTS AND CRACKING MASONRY. DEBRIS ON THE ROOF FURTHER COMPROMISES ITS STRUCTURAL INTEGRITY AND CREATES SAFETY HAZARDS.

EXISTING PERSPECTIVE EAST

EXISTING STEEL SIGN BRACKETS

EXISTING STEEL SIGN BRACKETS

MASONRY VENEER

EXISTING STOREFRONT WALLS



EXISTING PERSPECTIVE SOUTHWEST

FASCIA ,SOFFIT, AND TRIM BOARD
-DETERIORATING WOOD
-CHIPPING PAINT

WINDOWS INFILLED WITH WOOD PANELS

DETERIORATING ADDITION



EXISTING PERSPECTIVE SOUTH

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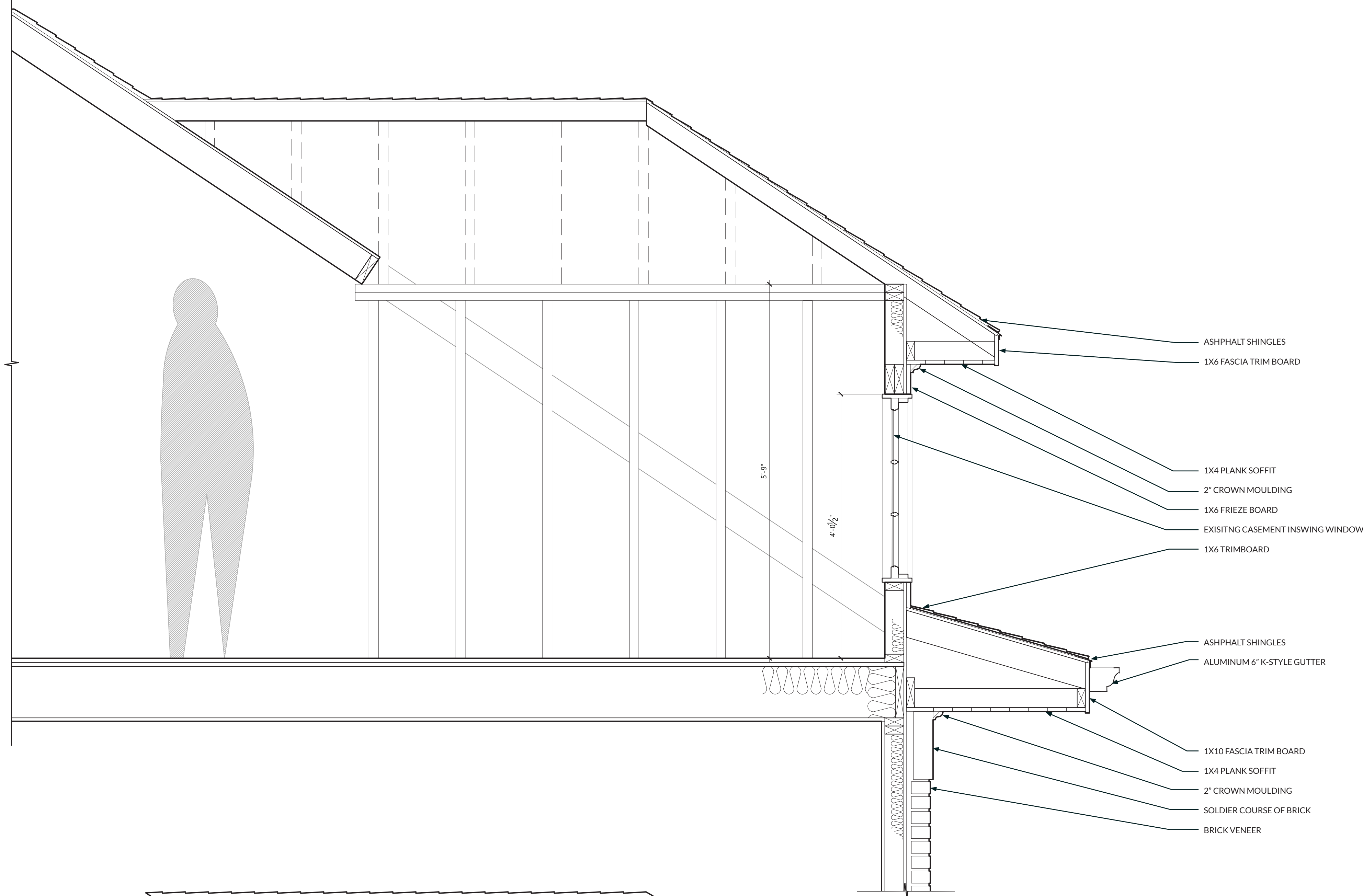
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EXISTING CONDITIONS

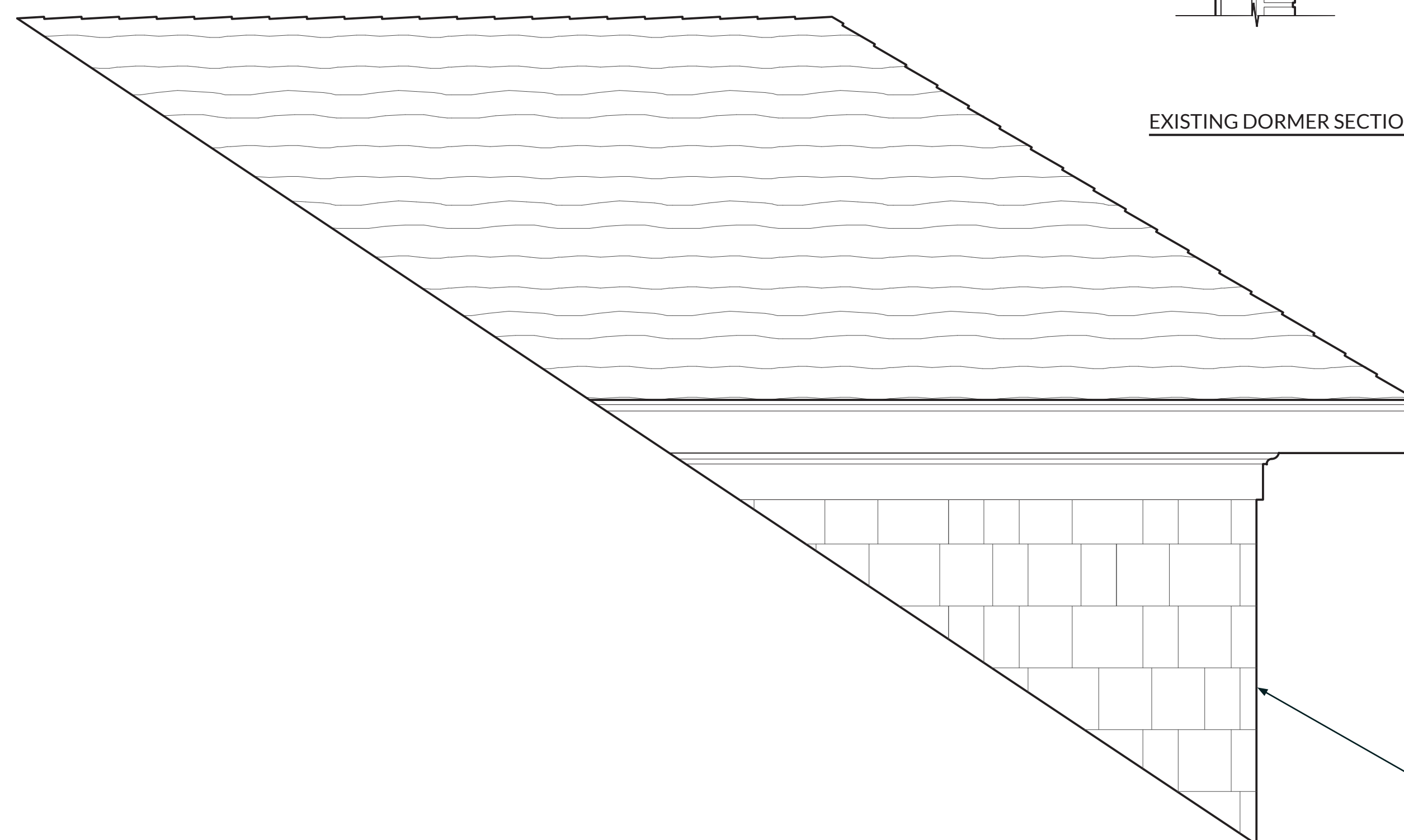
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A102



EXISTING DORMER SECTION



EXISTING DORMER SIDE ELEVATION



EXISTING DORMER FRONT ELEVATION

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EXISTING CONDITIONS
DORMER

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A104

ENTRY DOOR AND CAGE TO BE
REMOVED

HISTORICAL SIDE LIGHT TO BE REPAIRED
-REMOVE METAL CAGE



ENTRY DOOR TO BE REMOVED

REPAIR HISTORICAL SIDE LIGHT
-REPAIR SIDE LIGHT JAMB,SILL, AND PANEL

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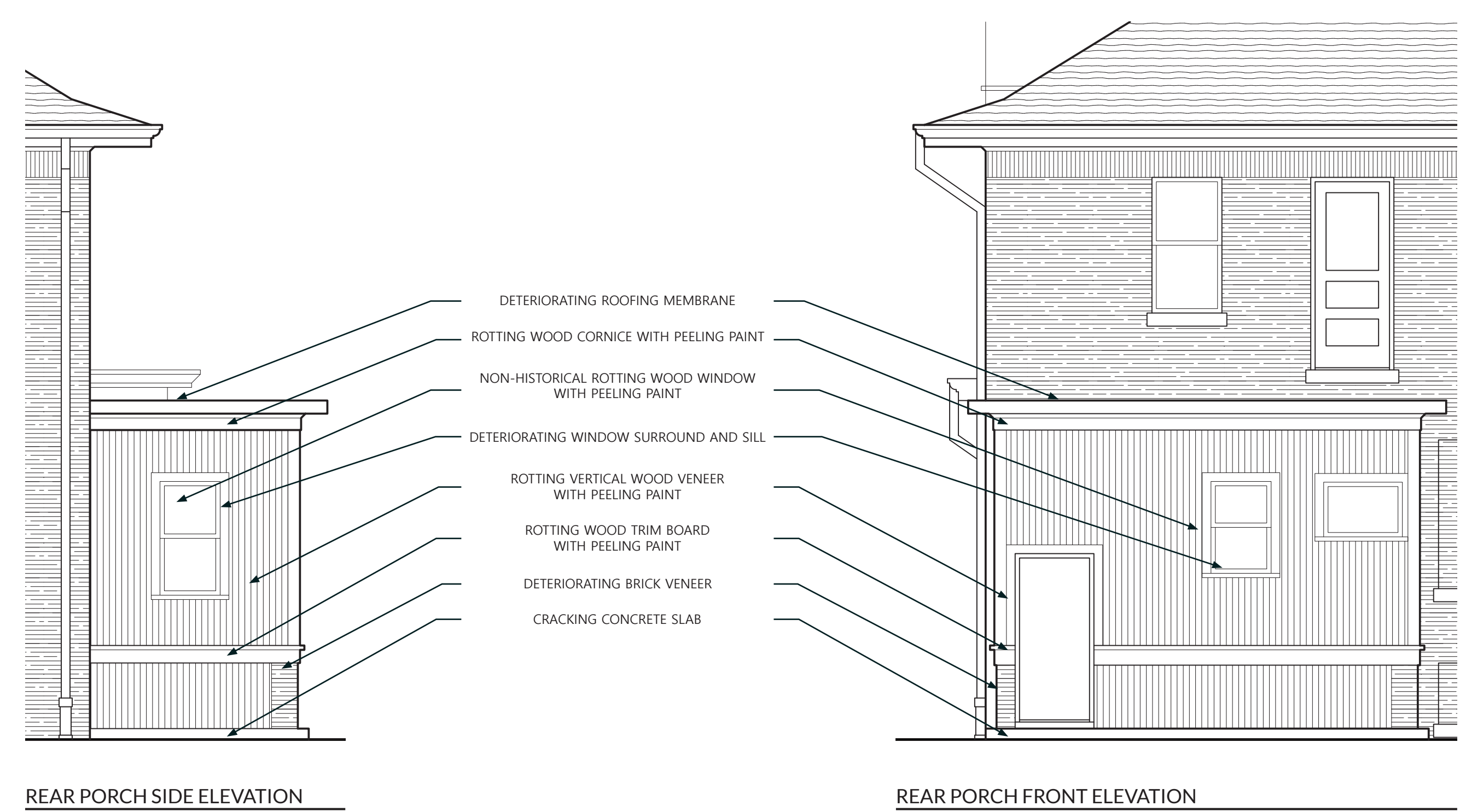
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EXISTING CONDITIONS
FRONT DOOR

PROJECT NO:
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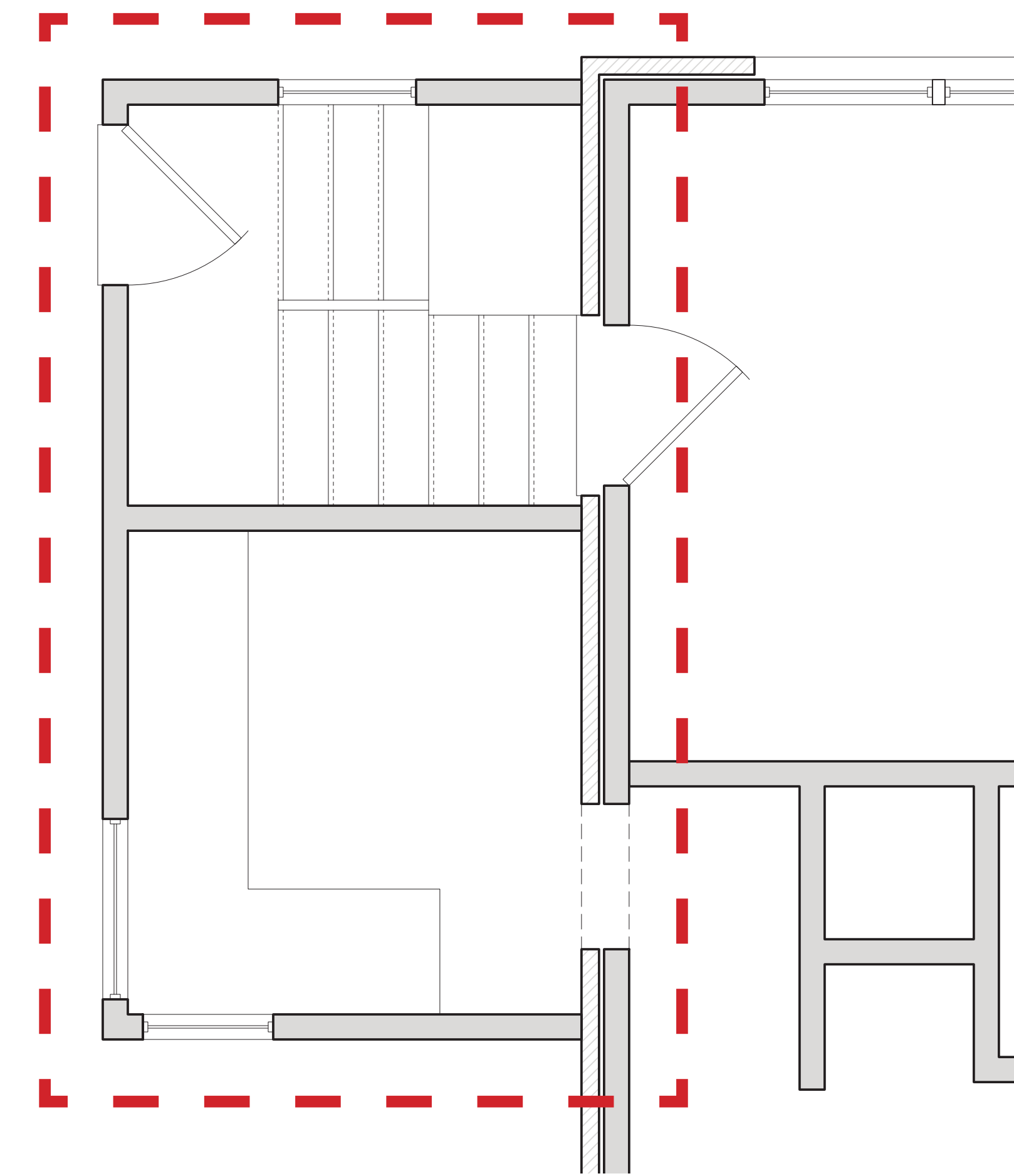
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A103



REAR PORCH SIDE ELEVATION

REAR PORCH FRONT ELEVATION



REAR PORCH EXISTING PLAN

OWNER, CONTRACTOR
AND ARCHITECT

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DEVELOPMENT

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EXISTING CONDITIONS
REAR PORCH

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A105



TRANSOM TRIM DETAIL



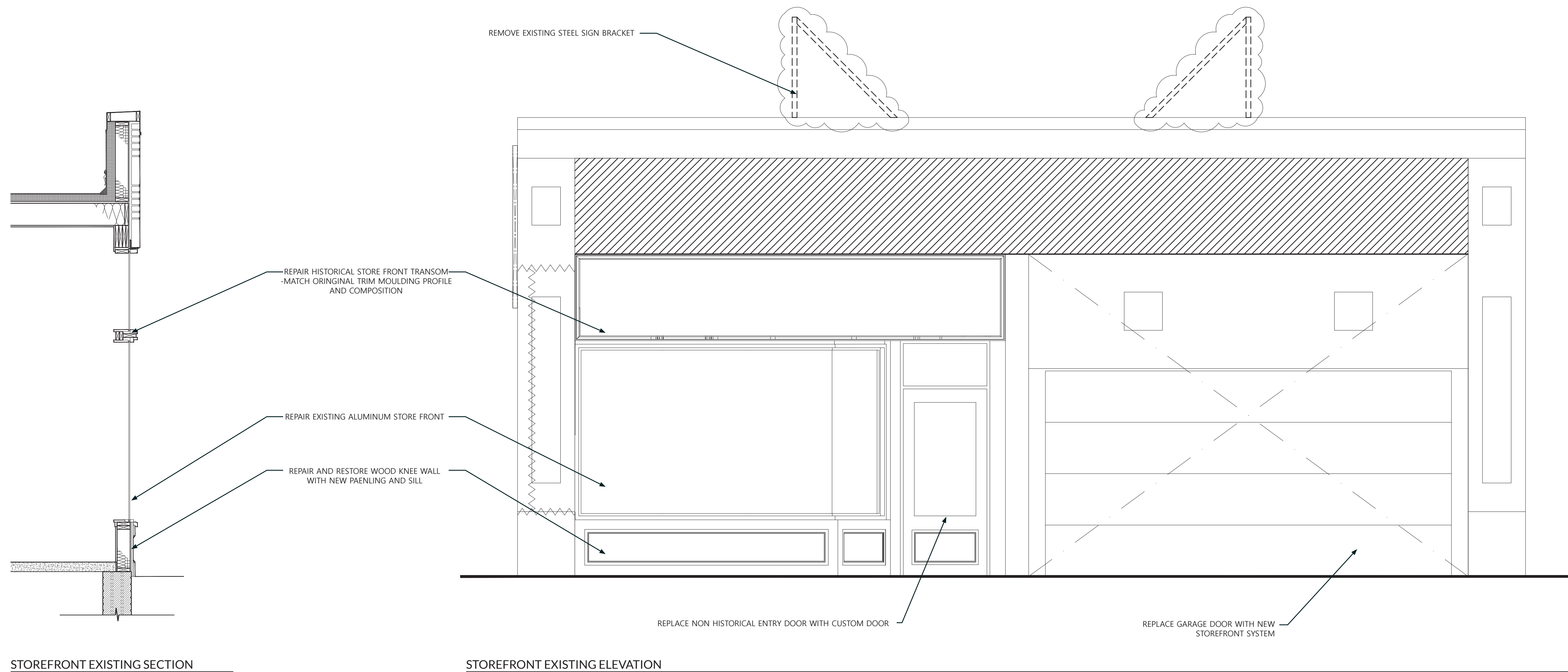
EXTERIOR VIEW OF TRANSOM



EXISTING BOARDED UP STORE FRONT



INTERIOR VIEW OF TRANSOM



STOREFRONT EXISTING SECTION

STOREFRONT EXISTING ELEVATION

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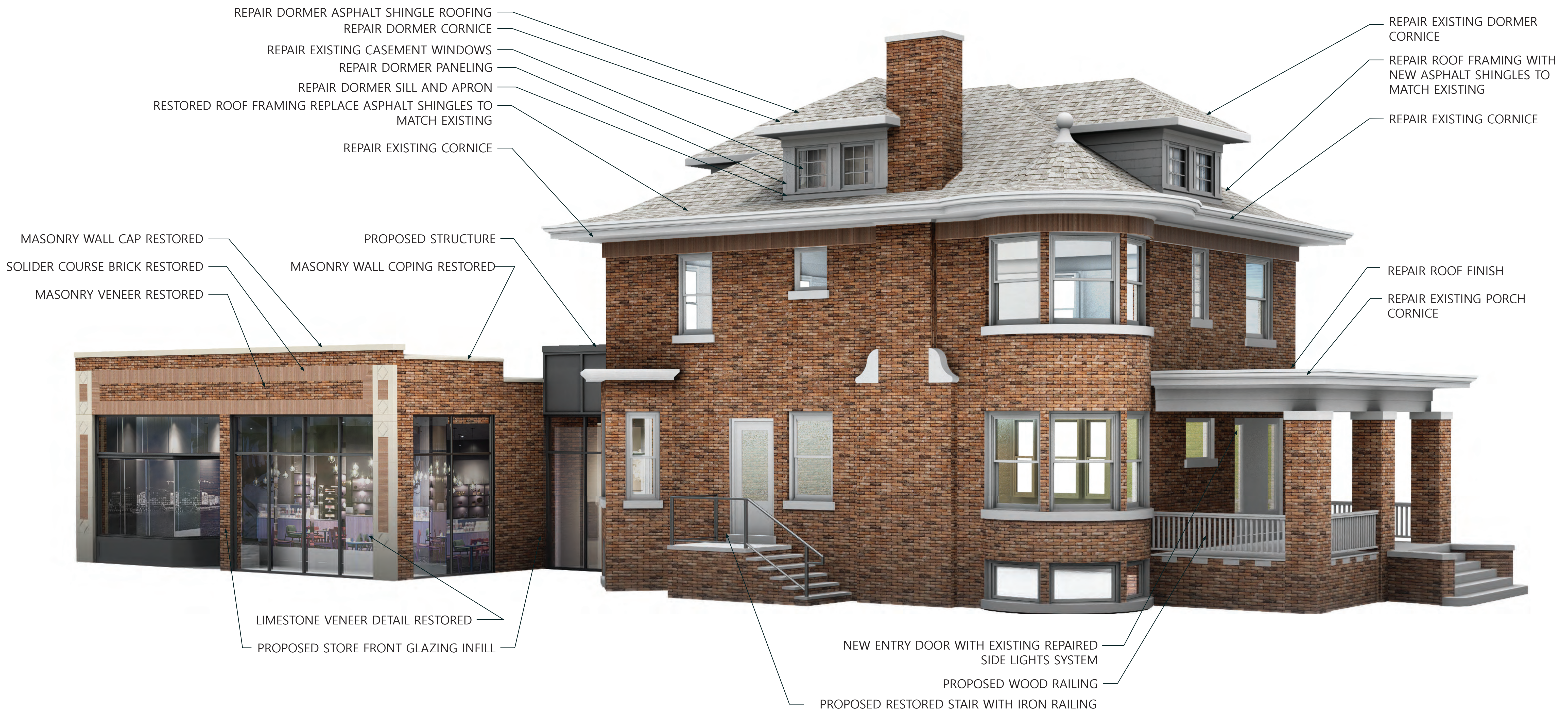
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EXISTING CONDITIONS STOREFRONT

PROJECT NO. _____

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PROPOSED KERCHEVAL AVENUE PERSPECTIVE

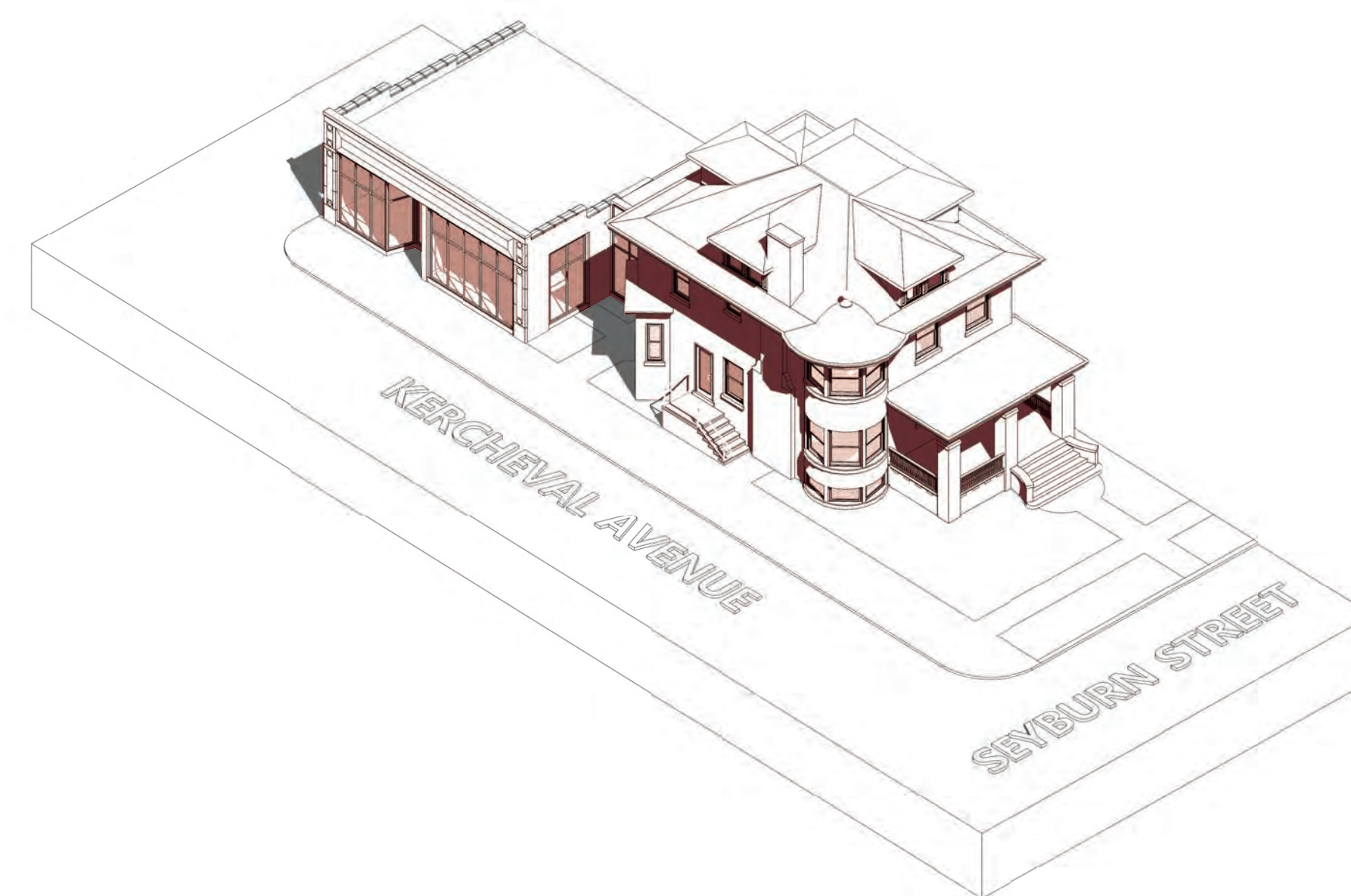
DESCRIPTION OF THE PROJECT:

THE SCOPE OF WORK FOR THIS PROJECT CONSISTS OF THREE MAIN PARTS:

(1)THE PROJECT WILL INVOLVE A SIGNIFICANT RENOVATION AND REPROGRAMMING OF THE EXISTING HOUSE, WITH CHANGES TO THE LAYOUT AND FUNCTION OF THE SPACE. THIS MAY INVOLVE RELOCATING A STAIRCASE, ENLARGING A DORMER, AND CREATING A NEW DORMER ON THE REAR FACADE.

(2)A STRUCTURE WILL BE ADDED TO CONNECT THE HOUSE AND THE COMMERCIAL SPACE PROVIDING ADA ACCESS TO THE SPACES AND IMPROVING OVERALL FUNCTIONALITY. THIS WILL INCLUDE A STAIRCASE, ADA LIFT, AND A STOREFRONT WITH A ADA COMPLIANT ENTRY DOOR WITH ADA HARDWARE TO ENSURE THE SPACE IS ACCESSIBLE TO PEOPLE WITH DISABILITIES.

(3)THE EXISTING COMMERCIAL SPACE WILL BE RENOVATED AND MODERNIZED TO BETTER SERVE A FUTURE TENANT. THIS WILL INCLUDE DEMOLITION AND REMOVAL OF DEBRIS, IMPROVEMENTS TO ELECTRICAL SYSTEMS, AND ADDING NEW STOREFRONTS TO MAKE THE SPACE MORE ATTRACTIVE AND USABLE.



OWNER, CONTRACTOR AND ARCHITECT
HOLCOMB DEVELOPMENT
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PROPOSED DESIGN

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A200



RENDERING WEST ON KERCHEVAL AVENUE

OWNER, CONTRACTOR
AND ARCHITECT



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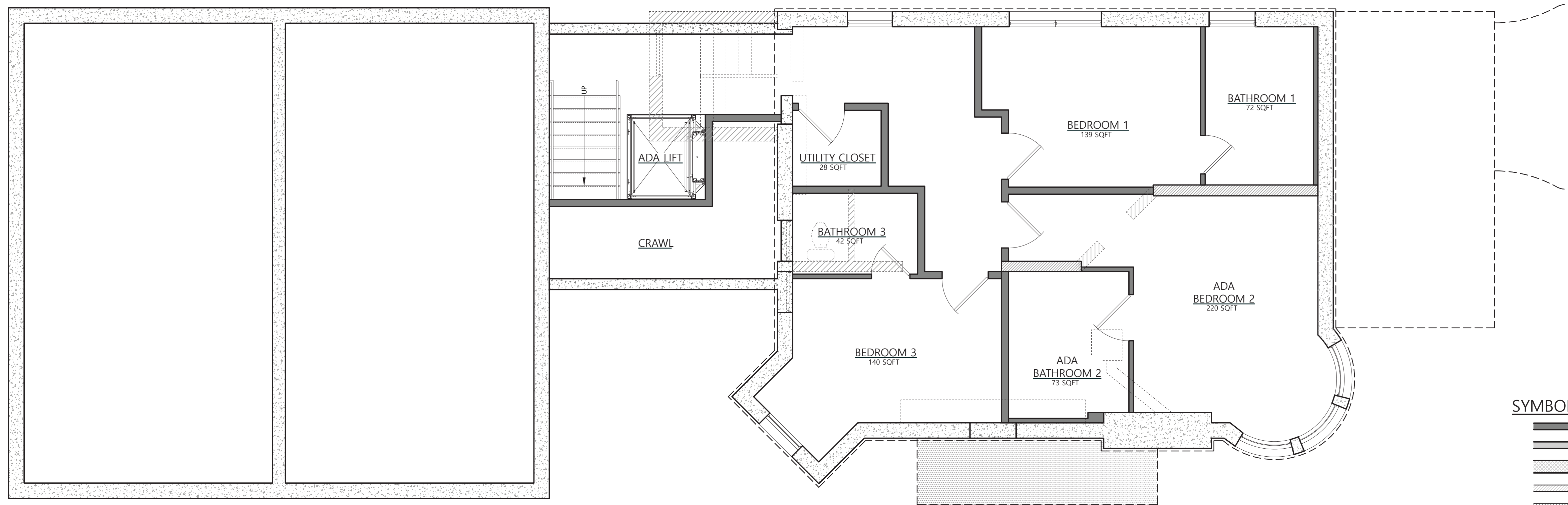
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PROPOSED RENDERING

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A201

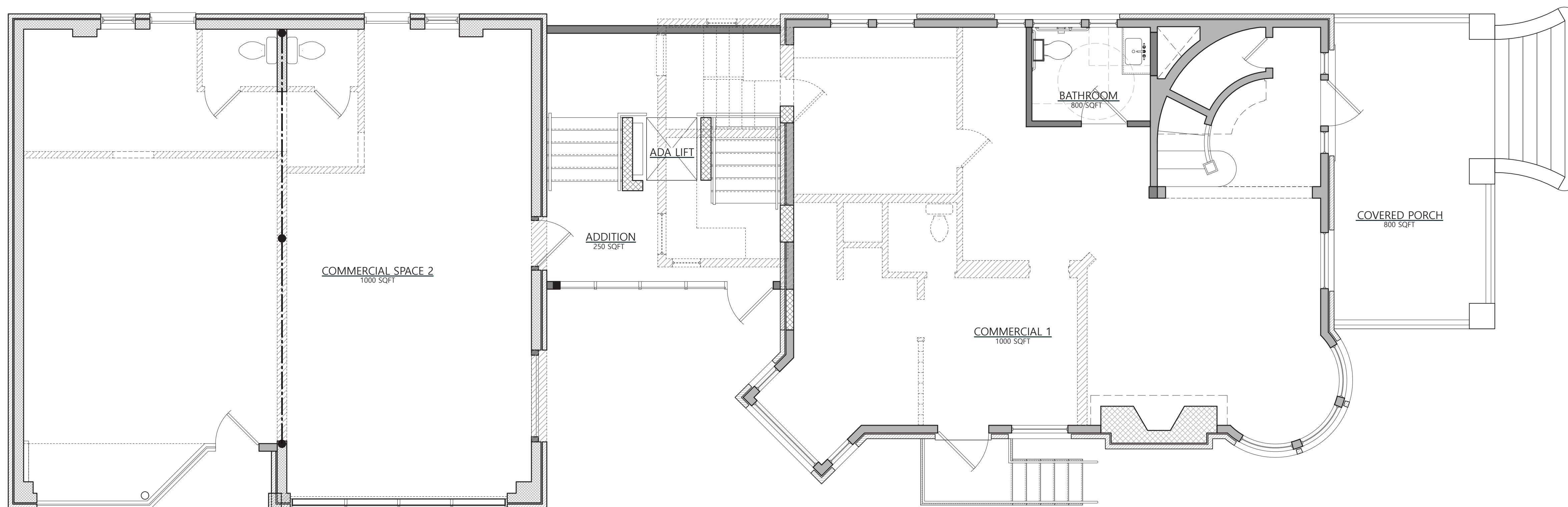


SYMBOL LEGEND

- INDICATES NEW WOOD FRAMED WALL CONSTRUCTION TO REMAIN
- INDICATES EXISTING WOOD FRAMED WALL CONSTRUCTION TO REMAIN
- INDICATES EXISTING EXTERIOR WALL CONSTRUCTION TO REMAIN
- INDICATES EXISTING BRICK VENEER TO REMAIN
- INDICATES NEW BRICK VENEER
- INDICATES EXISTING WALLS TO BE REMOVED
- INDICATES EXISTING DOORS TO BE REMOVED
- INDICATES EXISTING WINDOWS TO BE REMOVED
- INDICATES EXISTING COMPONENT TO BE REMOVED
- INDICATES EXISTING AREA TO BE REMOVED

BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

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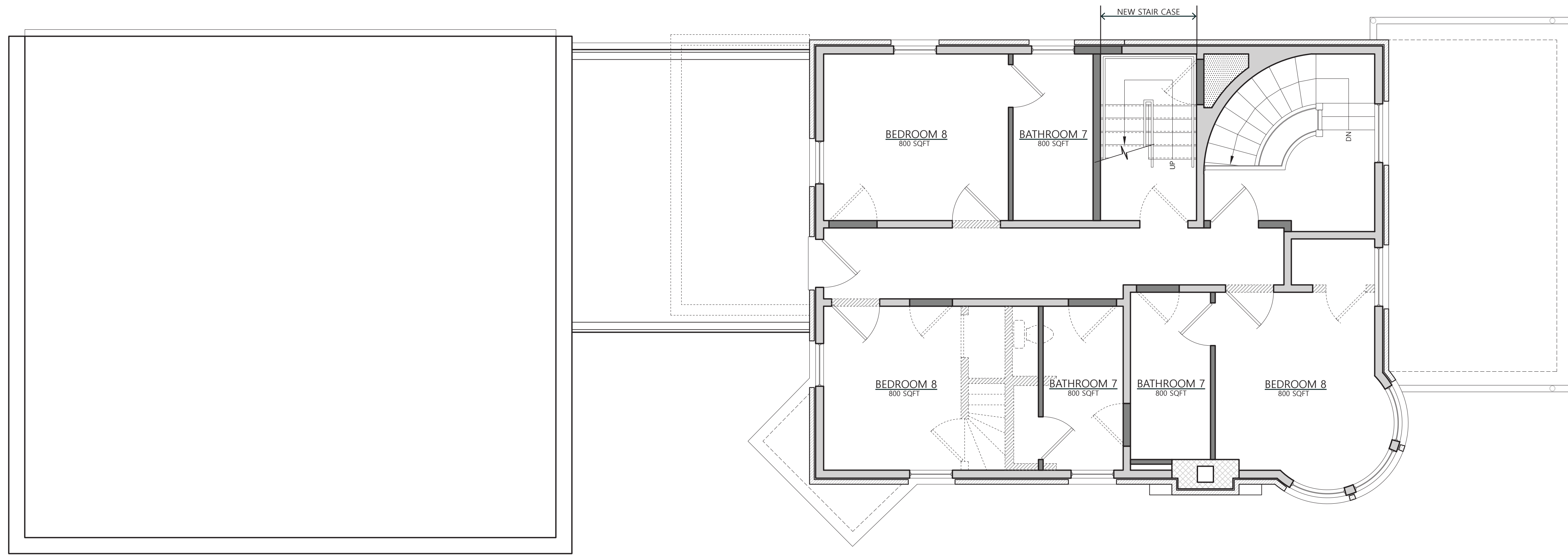
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FLOOR PLANS

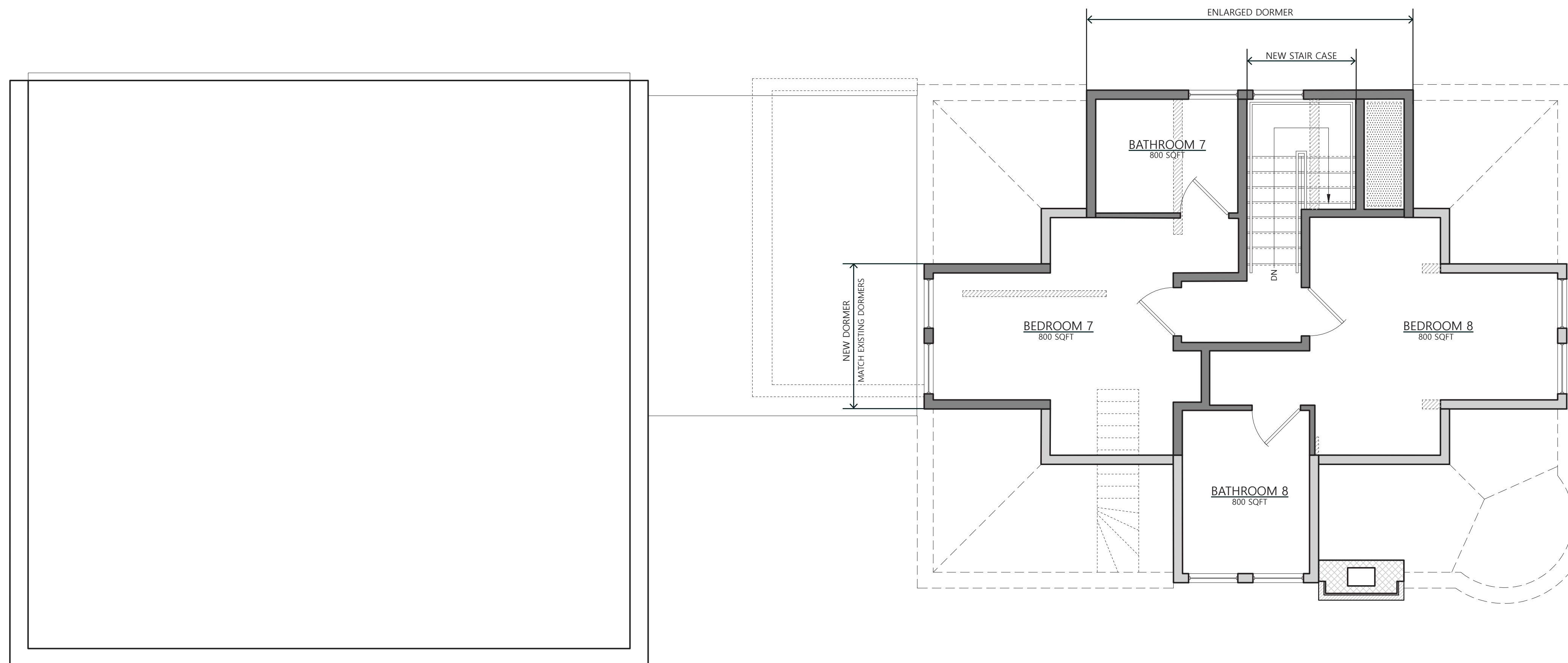
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A300



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

SYMBOL LEGEND

- INDICATES NEW WOOD FRAMED WALL CONSTRUCTION TO REMAIN
- INDICATES EXISTING WOOD FRAMED WALL CONSTRUCTION TO REMAIN
- INDICATES EXISTING EXTERIOR WALL CONSTRUCTION TO REMAIN
- INDICATES EXISTING BRICK VENEER TO REMAIN
- INDICATES NEW BRICK VENEER
- INDICATES EXISTING WALLS TO BE REMOVED
- INDICATES EXISTING DOORS TO BE REMOVED
- INDICATES EXISTING WINDOWS TO BE REMOVED
- INDICATES EXISTING COMPONENT TO BE REMOVED
- INDICATES EXISTING AREA TO BE REMOVED

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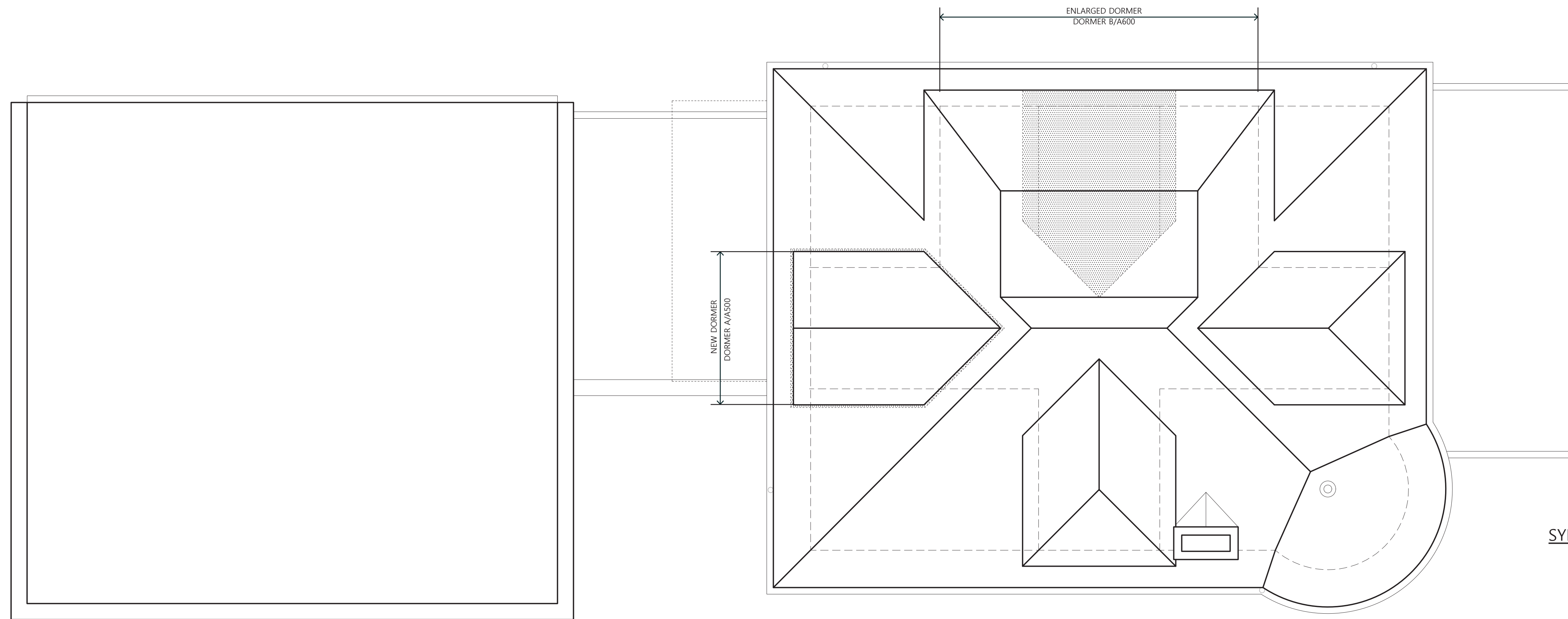
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FLOOR PLANS

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A301



ROOF PLAN
SCALE: 1/4" = 1'-0"

SYMBOL LEGEND

- INDICATES NEW WOOD FRAMED WALL CONSTRUCTION TO REMAIN
- INDICATES EXISTING WOOD FRAMED WALL CONSTRUCTION TO REMAIN
- INDICATES EXISTING EXTERIOR WALL CONSTRUCTION TO REMAIN
- INDICATES EXISTING BRICK VENEER TO REMAIN
- INDICATES NEW BRICK VENEER
- INDICATES EXISTING WALLS TO BE REMOVED
- INDICATES EXISTING DOORS TO BE REMOVED
- INDICATES EXISTING WINDOWS TO BE REMOVED
- INDICATES EXISTING COMPONENT TO BE REMOVED
- INDICATES EXISTING AREA TO BE REMOVED

ENLARGED DORMER
-DEMO EXISTING FRAMING AND RE-FRAME LARGER DORMER
-FASCIA, TRIM, SOFFIT BOARD TO MATCH EXISTING DORMERS
-REFERENCE SECTION (B/A500)

NEW DORMER
-WINDOWS, CORNICE, PANELS TO MATCH EXISTING DORMERS
-REFERENCE SECTION (A/A500)



ROOF PERSPECTIVE

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FLOOR PLANS

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A302



STONE CAP
-CRACKING RESTORED
-NATURAL FINISH
MASONRY VENEER
-CRACKING RESTORED
-TUCK POINT WHERE NEEDED
MASONRY SOLIDER COURSE
-CRACKING RESTORED
-TUCK POINT WHERE NEEDED
LIMESTONE VENEER
-CRACKING RESTORED
-NATURAL FINISH
FULL RESTORE ORIGINAL
STOREFRONT

NEW EXTERIOR DOOR
-REFER TO PAGE A601

TUBELITE STOREFRONT
-PER SPEC

NEW EXTERIOR DOOR
-REFER TO PAGE A601

IRON TUBE RAILING
REBUILT MASONRY PORCH
-USE RECLAIM BRICK
-CONCRETE TOP

FRONT ELEVATION

WINDOW SCHEDULE - BASEMENT

MARK	OPERATION	BRAND	SIZE (WIDTH x HEIGHT)	QTY.	ROUGH OPENING	MASONRY OPENING	MATERIALS	EXTERIOR COLOR	INTERIOR COLOR	HARDWARE FINISH	REMARKS
(A)	AWNING	-	36" x 28"	1	FIELD VERIFY	FIELD VERIFY	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(B)	AWNING	-	42" x 28"	1	FIELD VERIFY	FIELD VERIFY	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(C)	AWNING	-	42" x 28"	1	FIELD VERIFY	FIELD VERIFY	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(D)	AWNING	-	42" x 28"	1	FIELD VERIFY	FIELD VERIFY	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(E)	AWNING	-	38" x 28"	1	FIELD VERIFY	FIELD VERIFY	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(F)	AWNING	-	38" x 28"	1	FIELD VERIFY	FIELD VERIFY	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(G)	AWNING	-	38" x 28"	1	FIELD VERIFY	FIELD VERIFY	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(H)	AWNING	-	38" x 28"	1	FIELD VERIFY	FIELD VERIFY	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(I)	MASONRY INFILL										
(J)	MASONRY INFILL										

WINDOW SCHEDULE - FIRST FLOOR

MARK	OPERATION	BRAND	SIZE (WIDTH x HEIGHT)	QTY.	ROUGH OPENING	MASONRY OPENING	MATERIALS	EXTERIOR COLOR	INTERIOR COLOR	HARDWARE FINISH	REMARKS
(K)	MASONRY INFILL										
(L)	DOUBLE HUNG	-	22" x 68"	1	FIELD VERIFY	FIELD VERIFY	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(M)	DOUBLE HUNG	-	34" x 68"	2	FIELD VERIFY	FIELD VERIFY	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(N)	DOUBLE HUNG	-	22" x 68"	1	FIELD VERIFY	FIELD VERIFY	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(O)	DOUBLE HUNG	-	46" x 68"	1	FIELD VERIFY	FIELD VERIFY	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(P)	DOUBLE HUNG	-	42" x 68"	1	FIELD VERIFY	FIELD VERIFY	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(Q)	DOUBLE HUNG	-	42" x 68"	1	FIELD VERIFY	FIELD VERIFY	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(R)	DOUBLE HUNG	-	42" x 68"	1	FIELD VERIFY	FIELD VERIFY	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(S)	FIXED	-	42" x 28"	1	FIELD VERIFY	FIELD VERIFY	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(T)	DOUBLE HUNG	-	22" x 68"	1	FIELD VERIFY	FIELD VERIFY	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(U)	DOUBLE HUNG	-	38" x 68"	1	FIELD VERIFY	FIELD VERIFY	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(V)	DOUBLE HUNG	-	22" x 68"	1	FIELD VERIFY	FIELD VERIFY	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(W)	PUSH-OUT CASEMENT	-	26" x 34"	1	FIELD VERIFY	FIELD VERIFY	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(X)	PUSH-OUT CASEMENT	-	26" x 34"	1	FIELD VERIFY	FIELD VERIFY	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(Y)	DOUBLE HUNG	-	26" x 54"	1	FIELD VERIFY	FIELD VERIFY	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(Z)	DOUBLE HUNG	-	32" x 54"	1	FIELD VERIFY	FIELD VERIFY	STEEL EXTERIOR/ STEEL INTERIOR	WHITE	WHITE	MATCH EXISTING	
(AA)	DOUBLE HUNG	-	32" x 54"	1	FIELD VERIFY	FIELD VERIFY	STEEL EXTERIOR/ STEEL INTERIOR	WHITE	WHITE	MATCH EXISTING	
(AB)	MASONRY INFILL										

WINDOW SCHEDULE - SECOND FLOOR

MARK	OPERATION	BRAND	SIZE (WIDTH x HEIGHT)	QTY.	ROUGH OPENING	MASONRY OPENING	MATERIALS	EXTERIOR COLOR	INTERIOR COLOR	HARDWARE FINISH	REMARKS
(AC)	DOUBLE HUNG	-	32" x 62"	1	FIELD VERIFY	FIELD VERIFY	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(AD)	SINGLE HUNG	-	32" x 32"	1	FIELD VERIFY	FIELD VERIFY	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(AE)	DOUBLE HUNG	-	36" x 62"	1	FIELD VERIFY	FIELD VERIFY	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(AF)	DOUBLE HUNG	-	36" x 62"	1	FIELD VERIFY	FIELD VERIFY	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(AG)	CASEMENT	-	24" x 48"	1	FIELD VERIFY	FIELD VERIFY	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(AH)	DOUBLE HUNG	-	44" x 62"	1	FIELD VERIFY	FIELD VERIFY	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(AI)	DOUBLE HUNG	-	32" x 62"	1	FIELD VERIFY	FIELD VERIFY	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(AJ)	DOUBLE HUNG	-	32" x 62"	1	FIELD VERIFY	FIELD VERIFY	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(AK)	DOUBLE HUNG	-	32" x 62"	1	FIELD VERIFY	FIELD VERIFY	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(AL)	DOUBLE HUNG	-	32" x 62"	1	FIELD VERIFY	FIELD VERIFY	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	

WINDOW SCHEDULE - THIRD FLOOR

MARK	OPERATION	BRAND	SIZE (WIDTH x HEIGHT)	QTY.	ROUGH OPENING	MASONRY OPENING	MATERIALS	EXTERIOR COLOR	INTERIOR COLOR	HARDWARE FINISH	REMARKS
(AM)	PUSH-IN CASEMENT	-	34" x 34"	1	FIELD VERIFY	-	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(AN)	PUSH-IN CASEMENT	-	34" x 34"	1	FIELD VERIFY	-	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(AO)	PUSH-IN CASEMENT	-	34" x 34"	1	FIELD VERIFY	-	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(AP)	PUSH-IN CASEMENT	-	34" x 34"	1	FIELD VERIFY	-	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(AQ)	PUSH-IN CASEMENT	-	34" x 34"	1	FIELD VERIFY	-	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(AR)	PUSH-IN CASEMENT	-	34" x 34"	1	FIELD VERIFY	-	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(AS)	PUSH-IN CASEMENT	-	34" x 34"	1	FIELD VERIFY	-	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	
(AT)	PUSH-IN CASEMENT	-	34" x 34"	1	FIELD VERIFY	-	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	NEW SEE PAGE A601
(AU)	PUSH-IN CASEMENT	-	34" x 34"	1	FIELD VERIFY	-	WOOD EXTERIOR/ WOOD INTERIOR	WHITE	WHITE	MATCH EXISTING	NEW SEE PAGE A601

WINDOW SCHEDULE GENERAL NOTE:
1. ALL WINDOWS TO BE RESTORED
2. REFER TO ARTISAN RENOVATIONS
LLC'S WINDOW ASSESSMENT FOR
SPECIFIC SCOPE OF WORK



REPAIR EXISTING DORMER AS NEEDED
-REFER TO PAGE A104

REPAIR AS NEEDED MASONRY
CHIMNEY AND LIMESTONE CAP
REPAIR CORNICE AS NEEDED
-MILLWORK TO MATCH EXISTING
SIZE AND FINISH
6" ALUMINUM GUTTER
-K STYLE GUTTER
-WHITE FINISH

NEW DORMER
-REFER TO DORMER "B" ON A500

REPAIR EXISTING ROOF AS NEEDED

6" ALUMINUM K STYLE GUTTER
-REPLACE IF NEEDED
-MATCH EXISTING

REPAIR CORNICE AS NEEDED
-MILLWORK TO MATCH EXISTING SIZE AND FINISH

EXISTING BRICK, REPAIRED AND/OR REPLACED

EXISTING PORCH ROOF REPAIR AS NEEDED

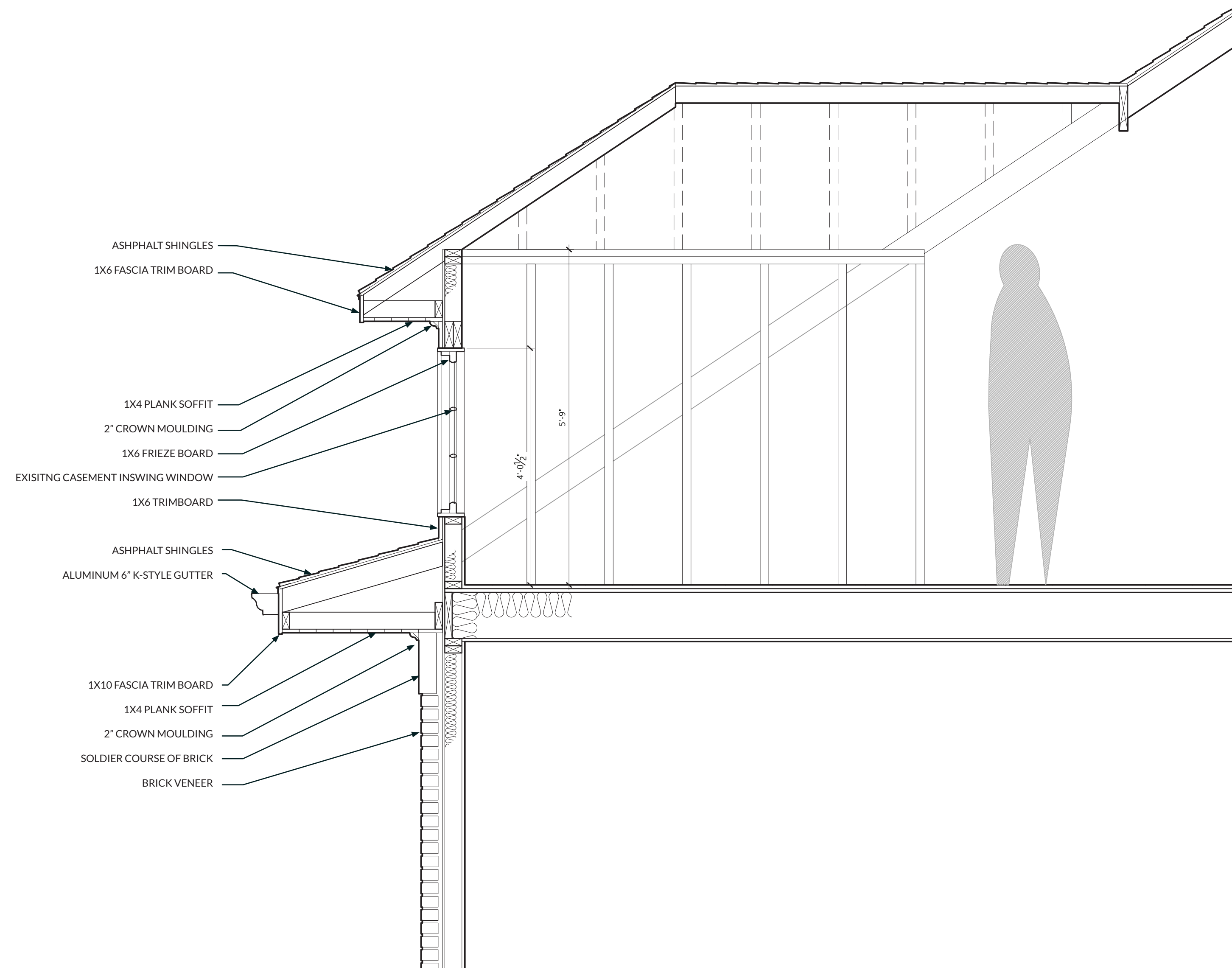
6" ALUMINUM K STYLE GUTTER
-REPLACE IF NEEDED
-MATCH EXISTING

REPAIR CORNICE AS NEEDED
-PAINTED WHITE TO MATCH EXISTING

NEW CUSTOM FRONT DOOR TO MATCH
EXISTING SIDE LITES (REFER TO PAGE (A601))

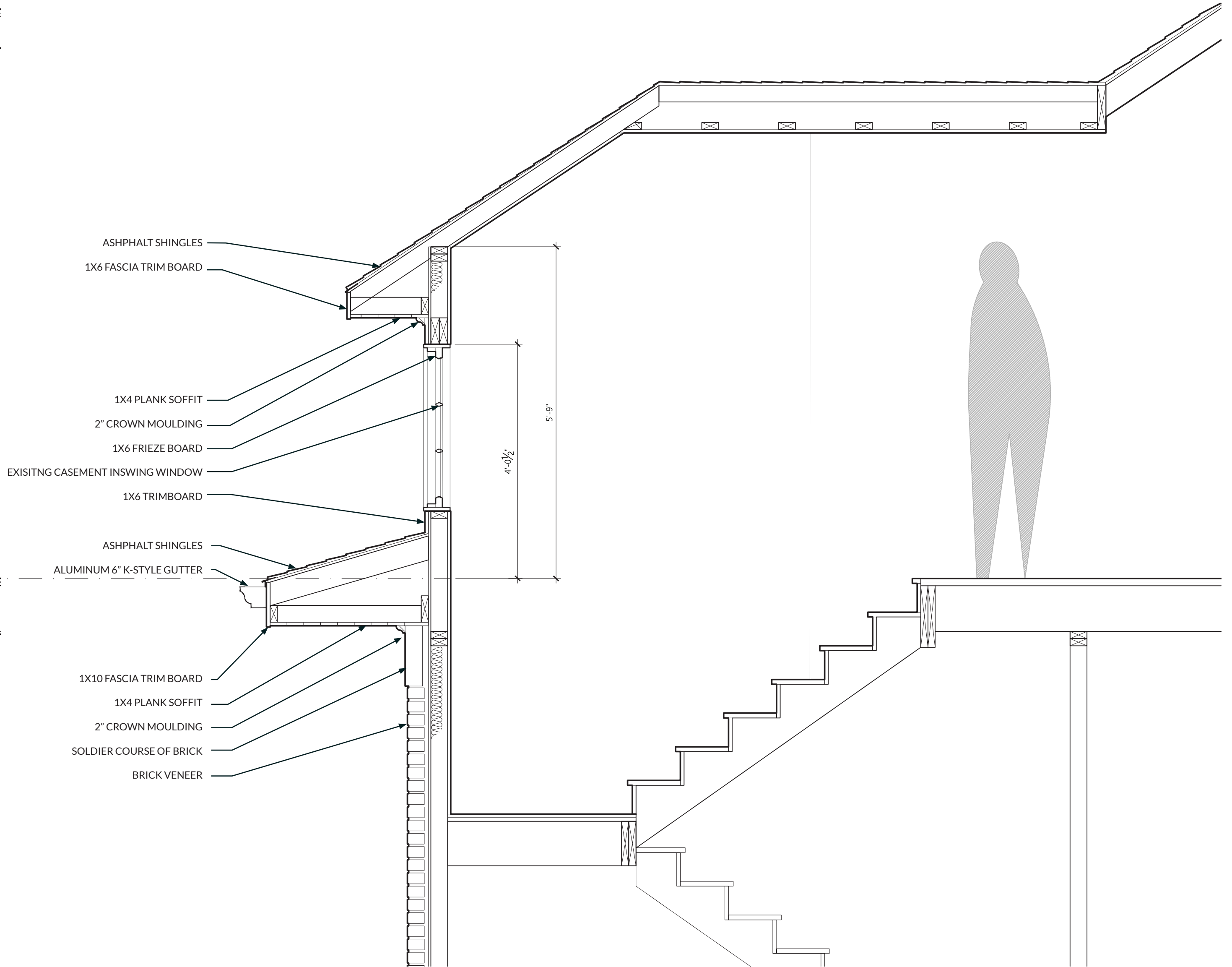
REPAIR SIDE LITES

RIGHT ELEVATION



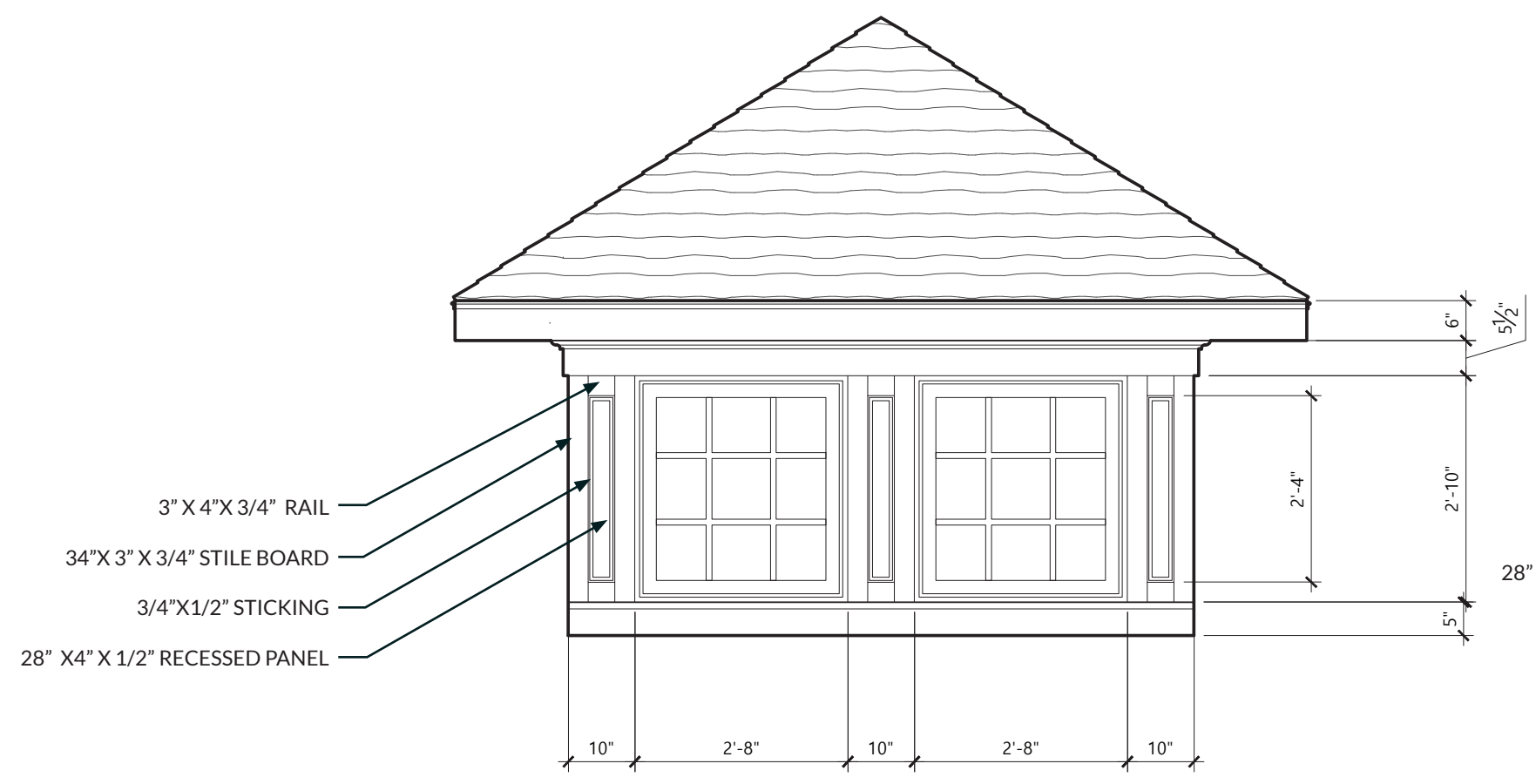
PROPOSED DORMER SECTIONS

"A"



PROPOSED DORMER SECTIONS

"B"



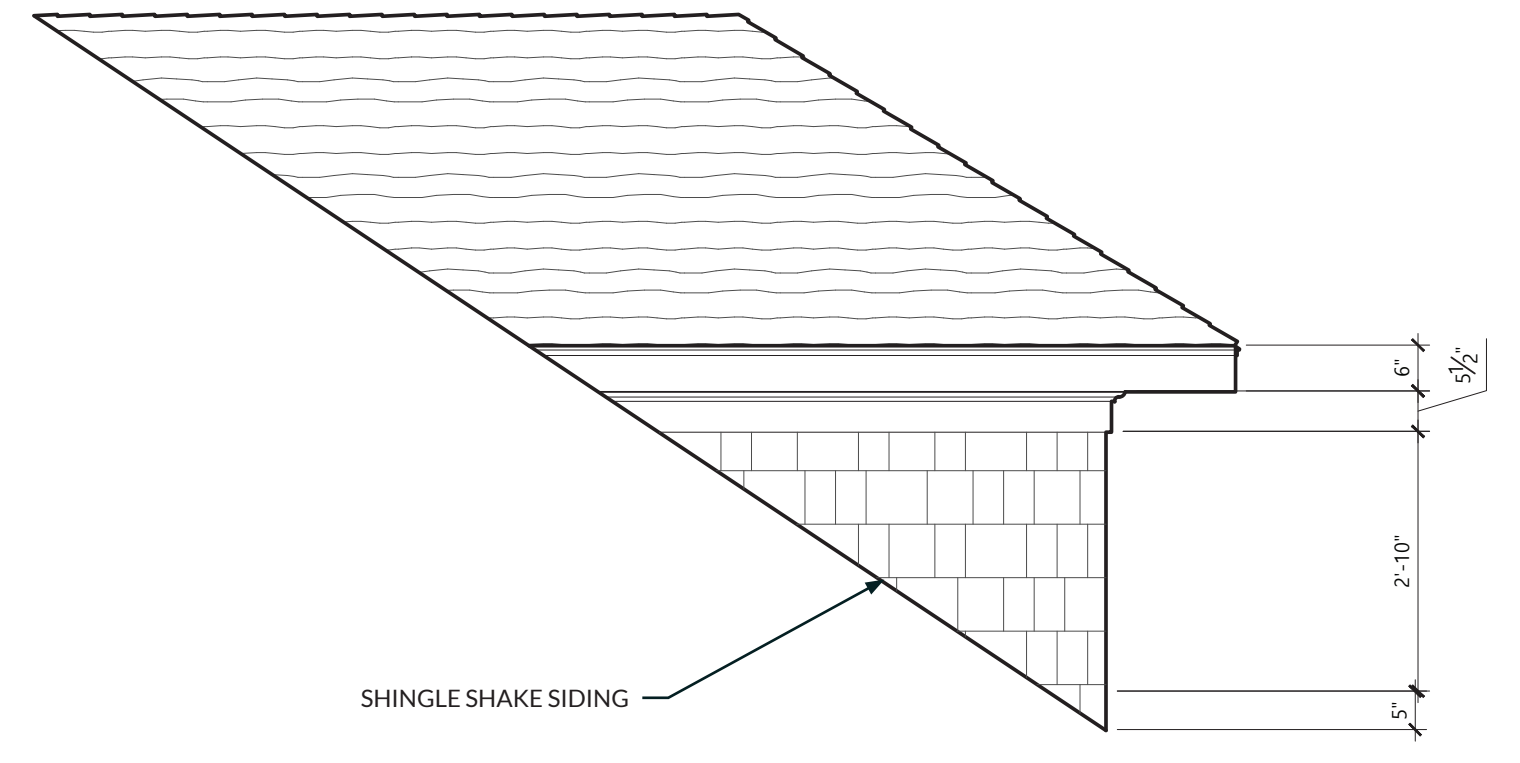
PROPOSED DORMER FRONT ELEVATION

"A"



PROPOSED DORMER FRONT ELEVATION

"B"



PROPOSED DORMER SIDE ELEVATION

"A+B"

PROJECT

SEYBURN-INN

7810 KERCHEVAL AVE
DETROIT, MI, 48214

ISSUED FOR	DATE
SCHEMATIC DESIGN	01/27/2023
HDC PRE-REVIEW	03/30/2023
HDC SUBMISSION	11/20/2023

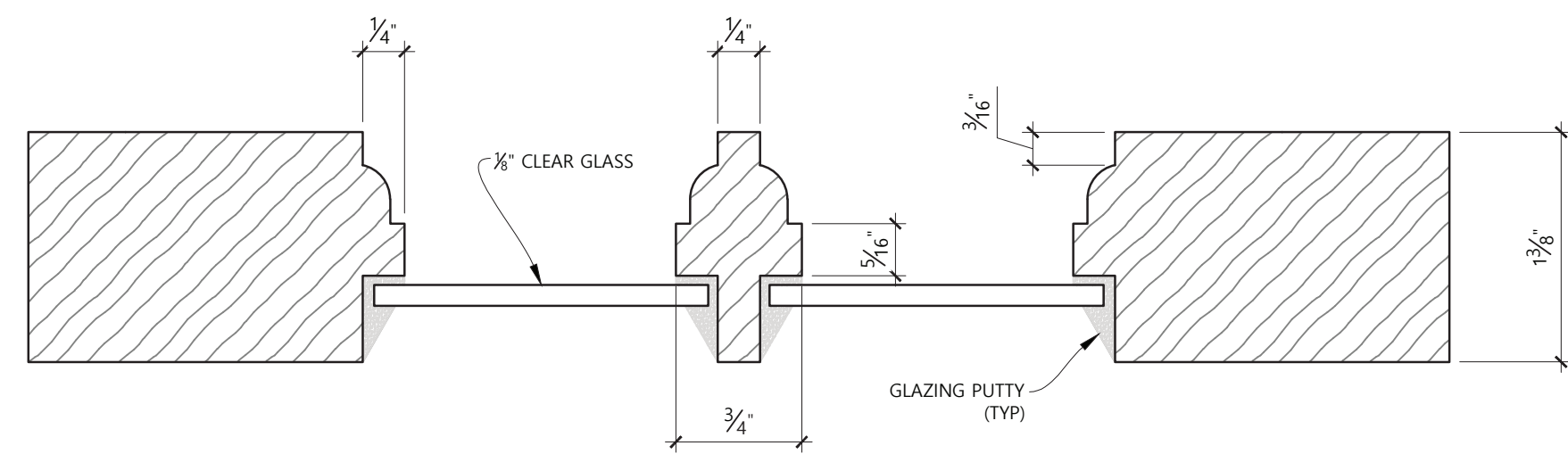
DRAWING TITLE

PROPOSED DORMER DETAILS

PROJECT NO.
DRAWN BY: MML
CHECKED BY: TJM

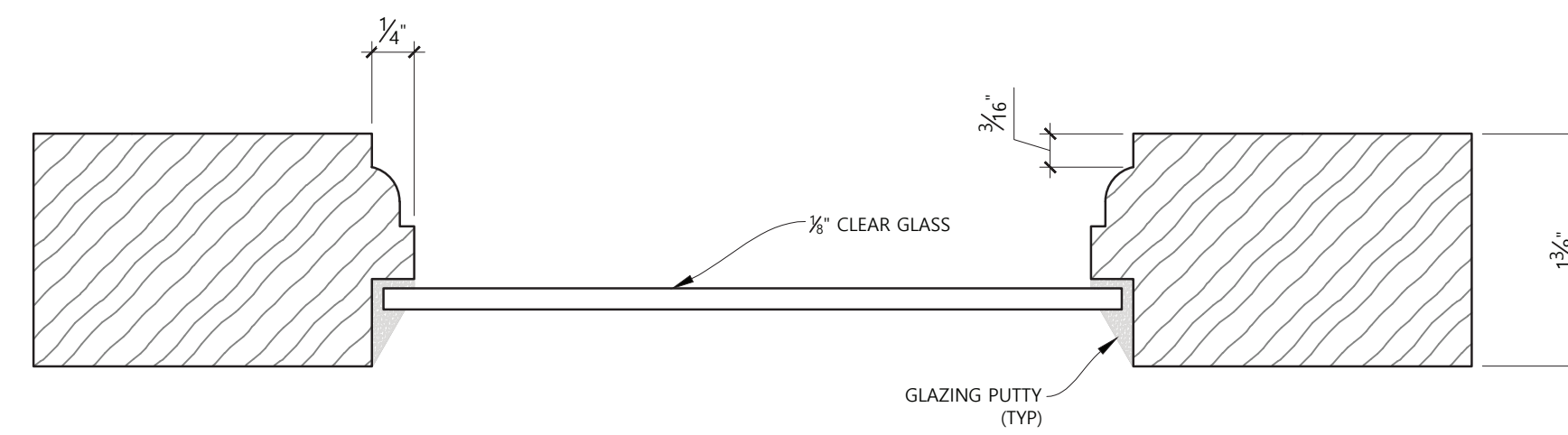
- SHEET NO. -
A500

ALL DETAILS SHOWN ON THIS PAGE WHERE PROVIDED BY ARTISAN RENOVATIONS LLC



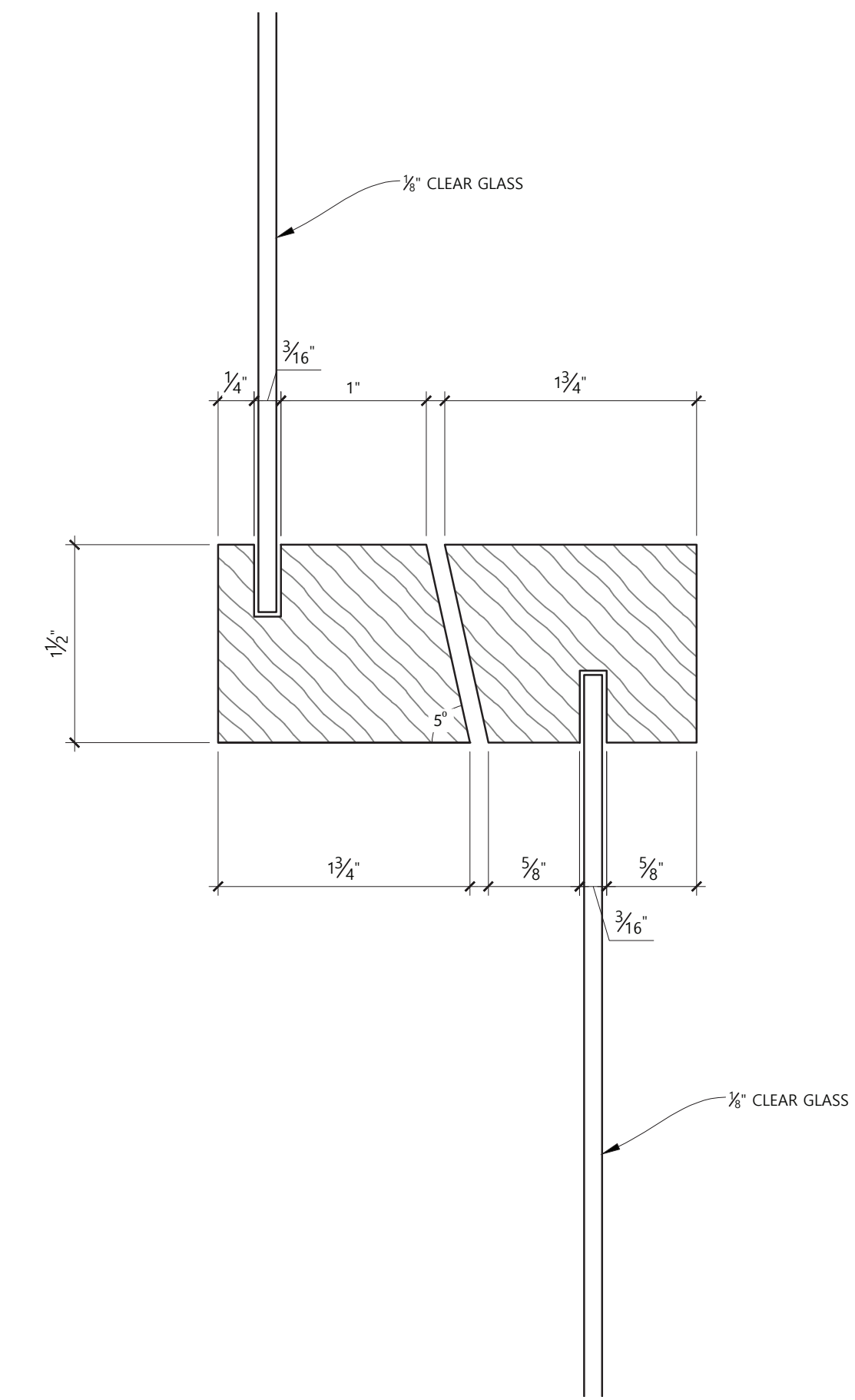
(PLAN VIEW)

EXISTING MULTI-LITE SASH PROFILE CASEMENT
FULL SCALE



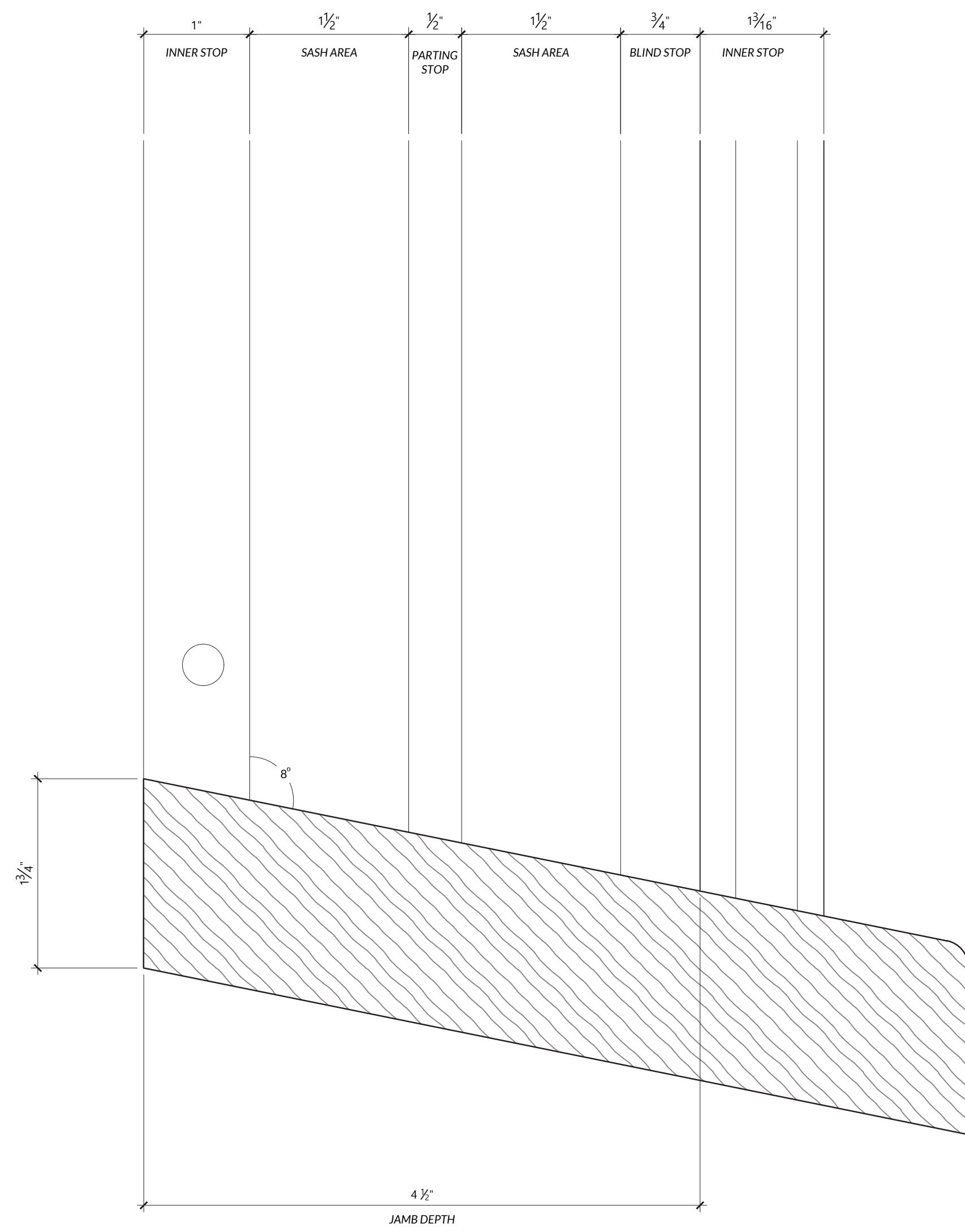
(PLAN VIEW)

EXISTING FULL-LITE SASH PROFILE DOUBLE HUNG
FULL SCALE



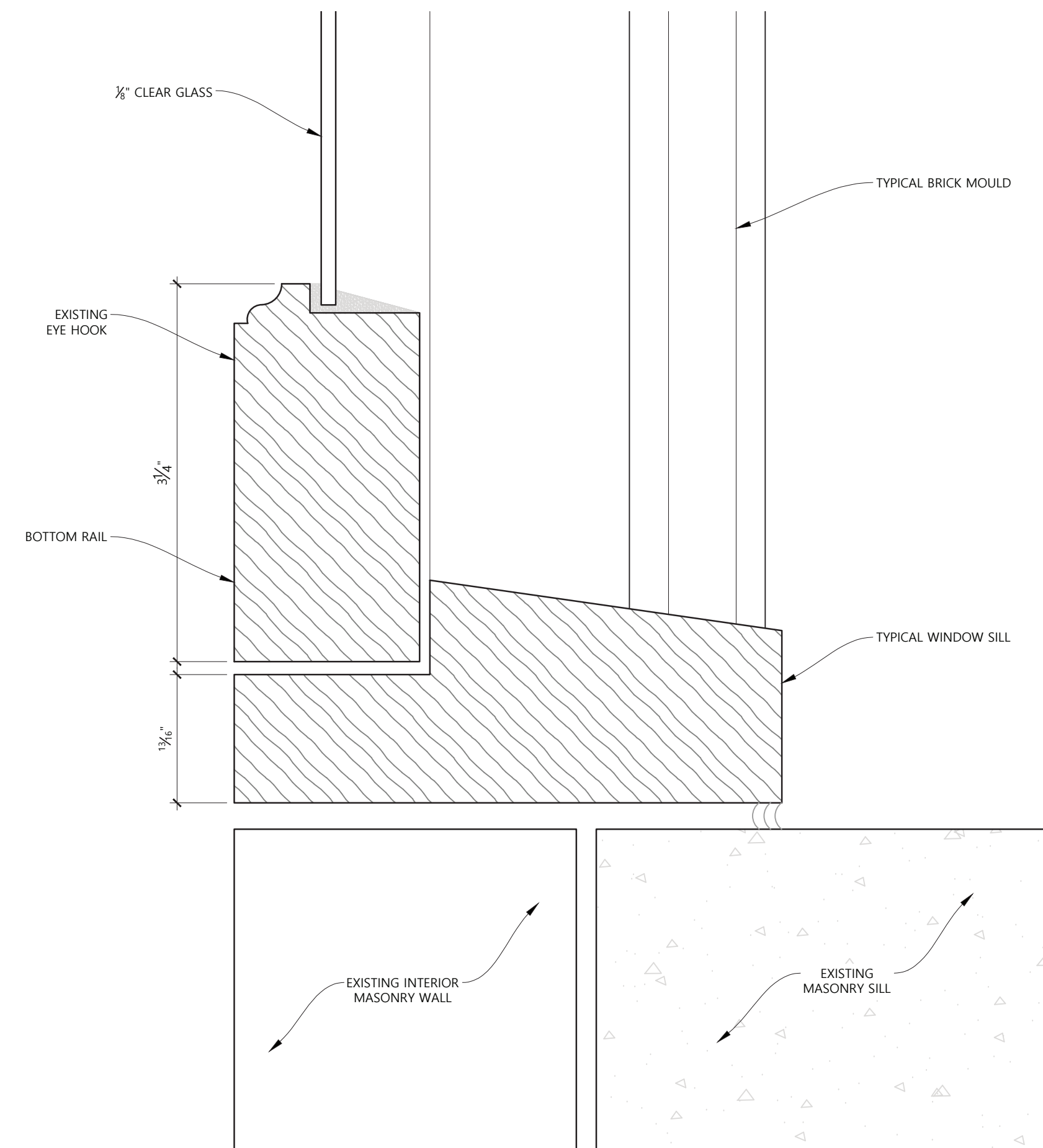
(SECTION VIEW)

EXISTING BRICK MOULD TYPICAL ALL MASONRY OPENING
FULL SCALE



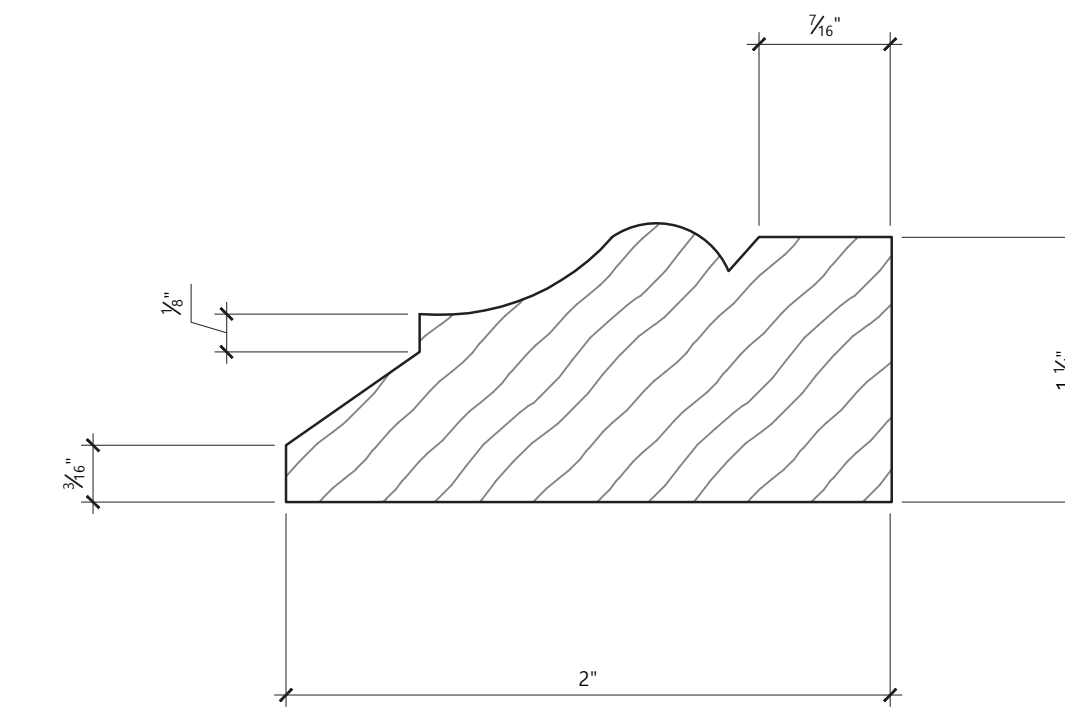
(SECTION / ELEVATION VIEW)

EXISTING LOWER LEVEL SASH PROFILE AWNING
FULL SCALE



(SECTION VIEW)

EXISTING LOWER LEVEL SASH PROFILE AWNING
FULL SCALE



(PLAN VIEW)

EXISTING BRICK MOULD TYPICAL ALL MASONRY OPENING
FULL SCALE

OWNER, CONTRACTOR
AND ARCHITECT



656 ST. CLAIR STREET
GROSSE POINTE, MI 48230
TELEPHONE
313.571.3385

PROJECT

SEYBURN-INN

7810 KERCHEVAL AVE
DETROIT, MI, 48214

ISSUED FOR

DATE	FOR
01/27/2023	SCHEMATIC DESIGN
03/30/2023	HDC PRE-REVIEW
11/20/2023	HDC SUBMISSION

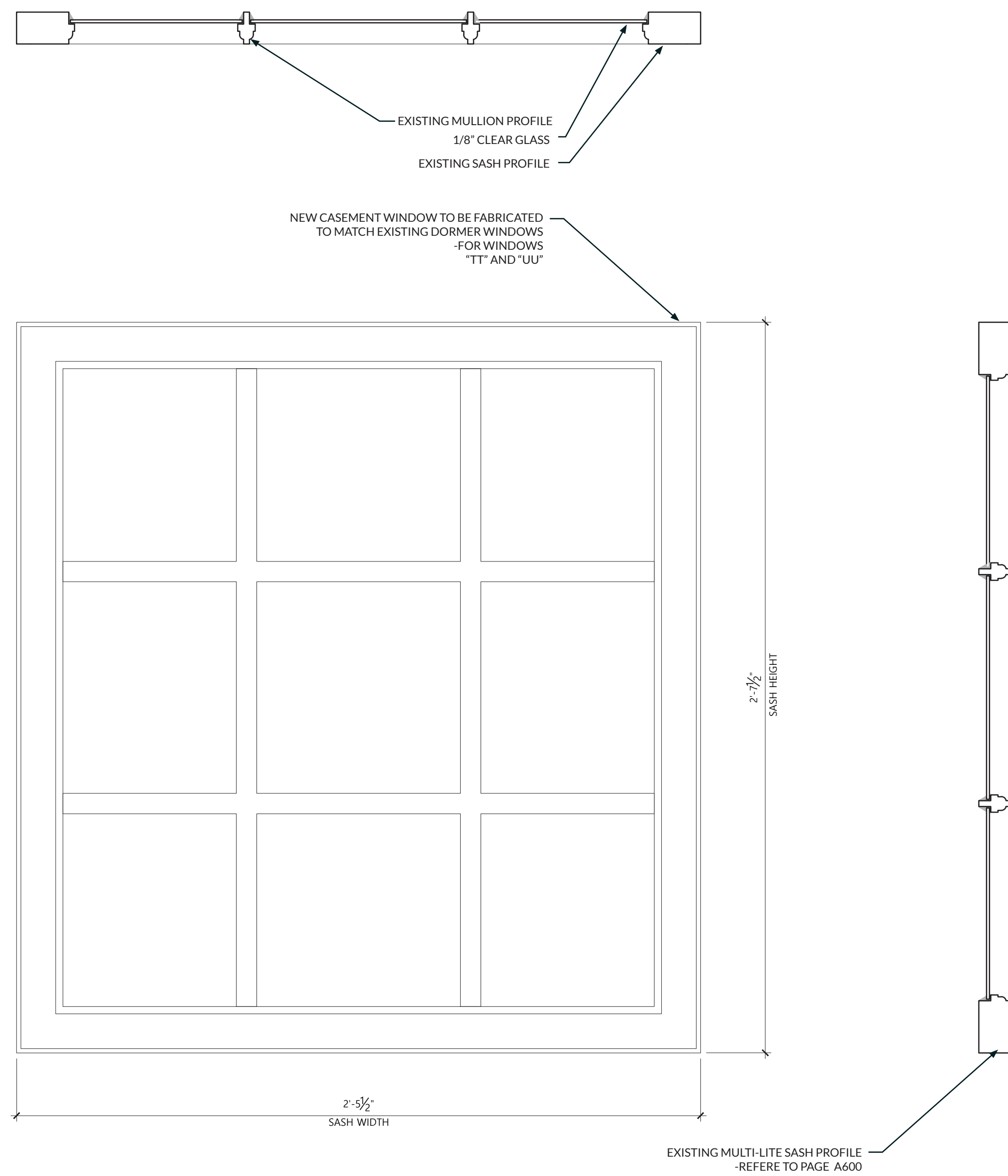
DRAWING TITLE

EXISTING WINDOW DETAILS

PROJECT NO:
DRAWN BY: MML
CHECKED BY: TJM

- SHEET NO. -

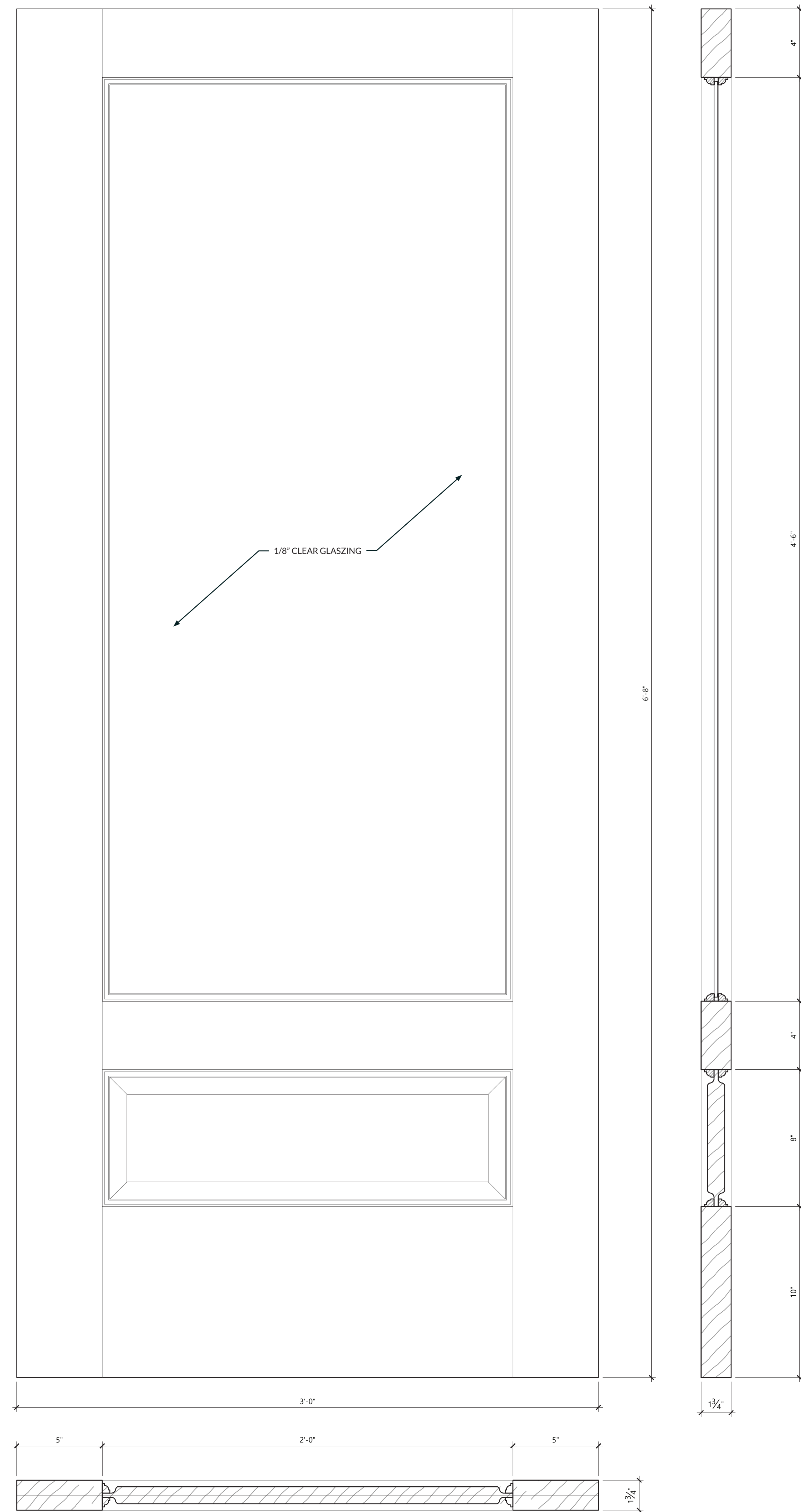
A600



NEW CASEMENT WINDOW TO BE FABRICATED
TO MATCH EXISTING DORMER WINDOWS
-FOR WINDOWS
"TT" AND "UU"

NEW WOOD CASEMENT WINDOW CONSTRUCTION TO USE EXISTING MULTI-LITE SASH PROFILE

NEW WOOD MULTI-LITE SASH CASEMENT WINDOW



NEW EXTERIOR WOOD DOOR

OWNER, CONTRACTOR
AND ARCHITECT



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PROJECT

SEYBURN-INN

7810 KERCHEVAL AVE
DETROIT, MI, 48214

ISSUED DATE
FOR

SCHEMATIC DESIGN	01/27/2023
HDC PRE-REVIEW	03/30/2023
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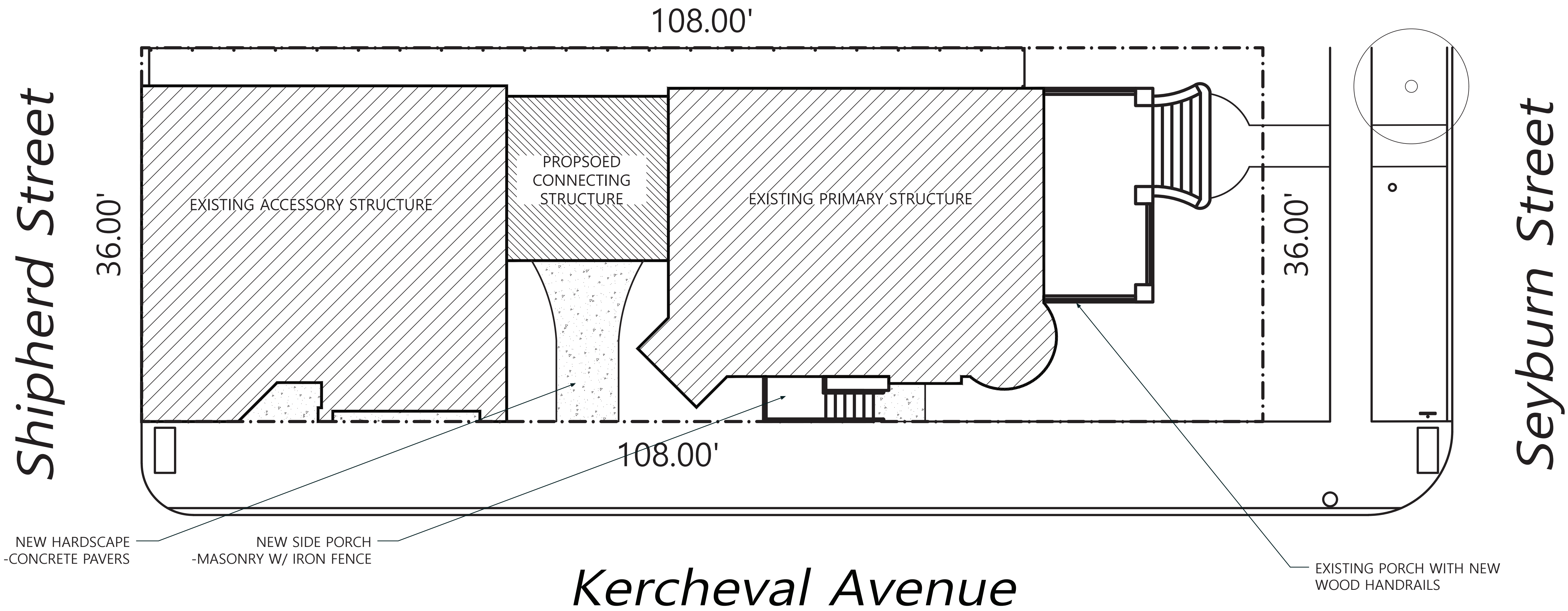
DRAWING TITLE

PROPOSED WINDOW
AND DOOR DETAILS

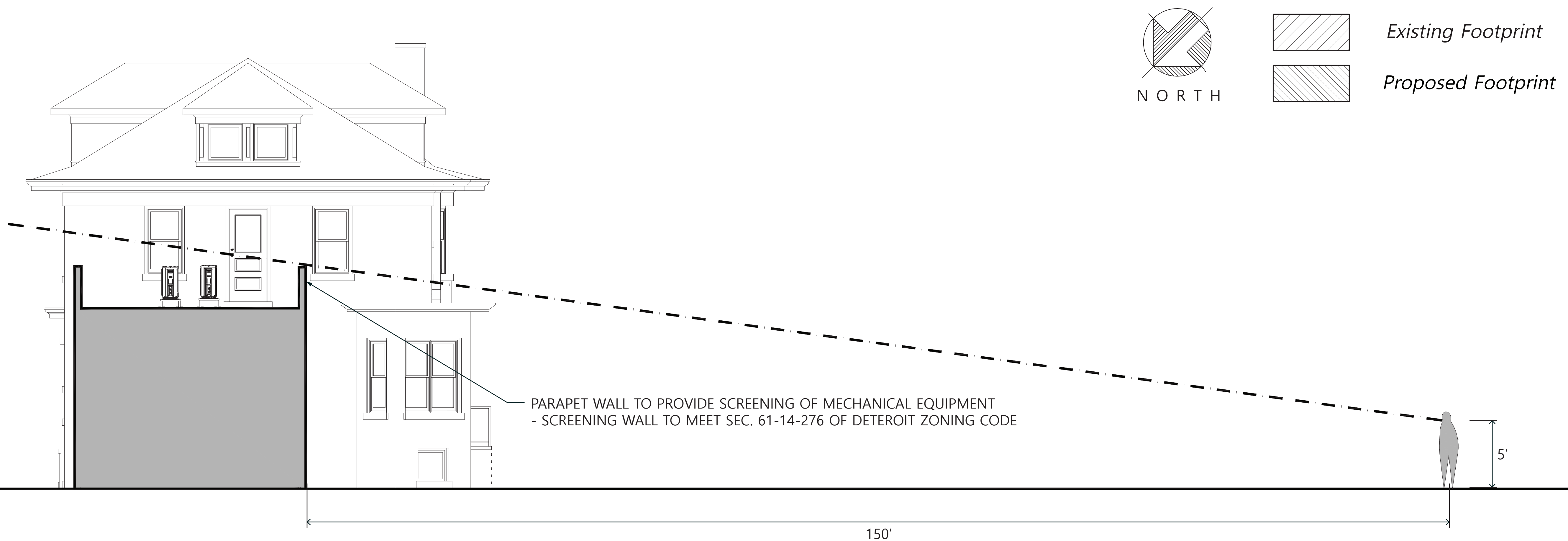
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DRAWN BY: MML
CHECKED BY: TJM

- SHEET NO. -

A601



ARCHITECTURAL SITE PLAN



OWNER, CONTRACTOR AND ARCHITECT



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TELEPHONE
313.571.3385

PROJECT

SEYBURN-INN

7810 KERCHEVAL AVE
DETROIT, MI, 48214

ISSUED FOR DATE

SCHEMATIC DESIGN	01/27/2023
HDC PRE-REVIEW	03/30/2023
HDC SUBMISSION	11/20/2023

DRAWING TITLE

PROPOSED DESIGN

PROJECT NO:
DRAWN BY: MML
CHECKED BY: TJM

- SHEET NO. -

A700