

4138 LINCOLN RENOVATION

HDC REVIEW



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STRUCTURAL ENGINEER:
TBD

GENERAL CONTRACTOR:
TBD

DRAWING INDEX

- COVER SHEET

ARCHITECTURAL

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PROJECT INFORMATION

ADDRESS:
4138 LINCOLN STREET
DETROIT, MI 48208

PROJECT DESCRIPTION
COMPLETE EXTERIOR REHABILITATION AND INTERIOR RENOVATION OF AN HISTORIC SINGLE-FAMILY RESIDENCE INCLUDING FRONT PORCH REPAIR AND NEW DECKS AT SIDE AND REAR

LEGAL DESCRIPTION:
E LINCOLN S 30 FT 111 HODGES BROS
SUB L1 P308 PLATS, W C R 6/53 30 X 120

PARCEL ID:
06005445

PARCEL USE CODE:
41110

ZONING:
R3-RESIDENTIAL

APPLICABLE CODES
2015 Michigan Residential Code
2015 Michigan Mechanical Code
2017 Michigan Electrical Code
2015 Michigan Plumbing Code

BUILDING DATA
2 Stories with Basement / Attic:
BASEMENT LEVEL: 960 SF
FIRST LEVEL: 975 SF
SECOND LEVEL 1030 SF
TOTAL AREAS: 2965 SF

CONSTRUCTION TYPE
V-B

ENERGY EFFICIENCY
COMPLY WITH SECTION N102 OF THE 2015 MICHIGAN RESIDENTIAL CODE:

CLIMATE ZONE: 5A
CEILING: R-38
WOOD-FRAMED WALL: R-20
FLOOR: R-20 (OR FILL CAVITY)
BASEMENT WALL: R-10 / R-13
SLAB: R-10 (2'-0" DEEP)

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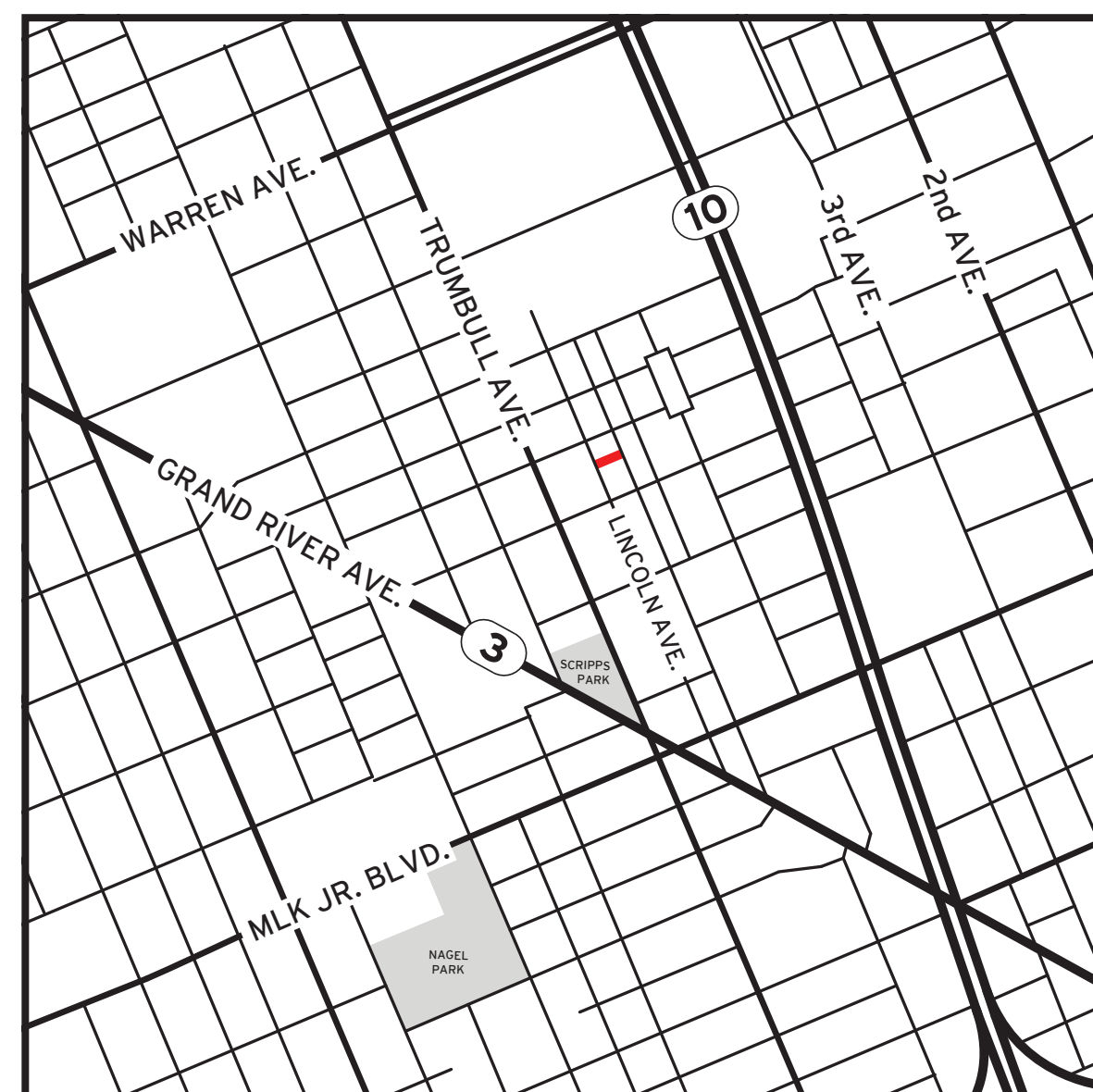
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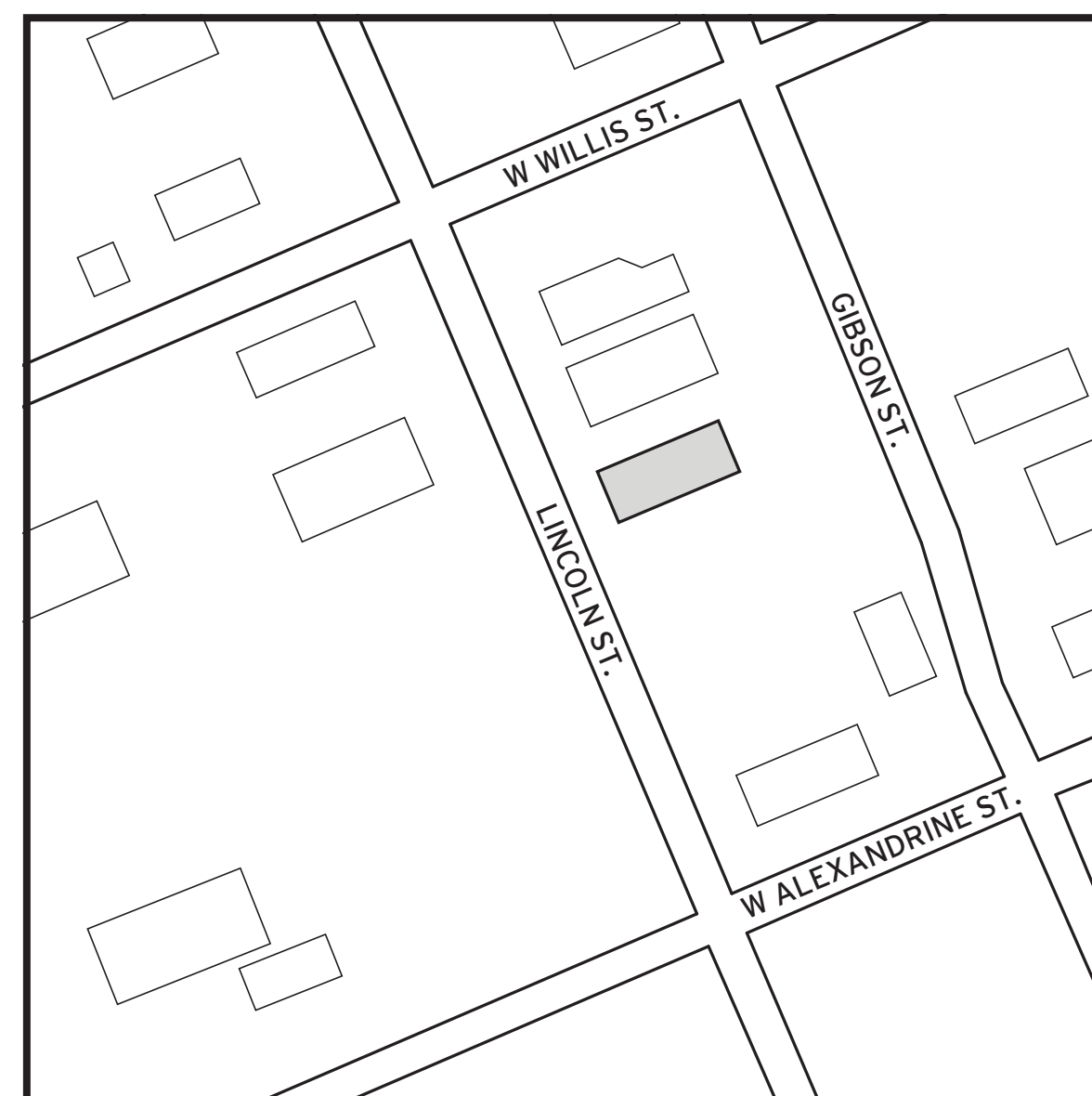
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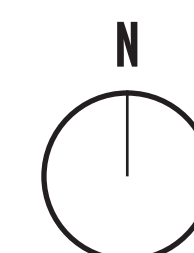
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LOCATION REFERENCE
SCALE: NOT TO SCALE

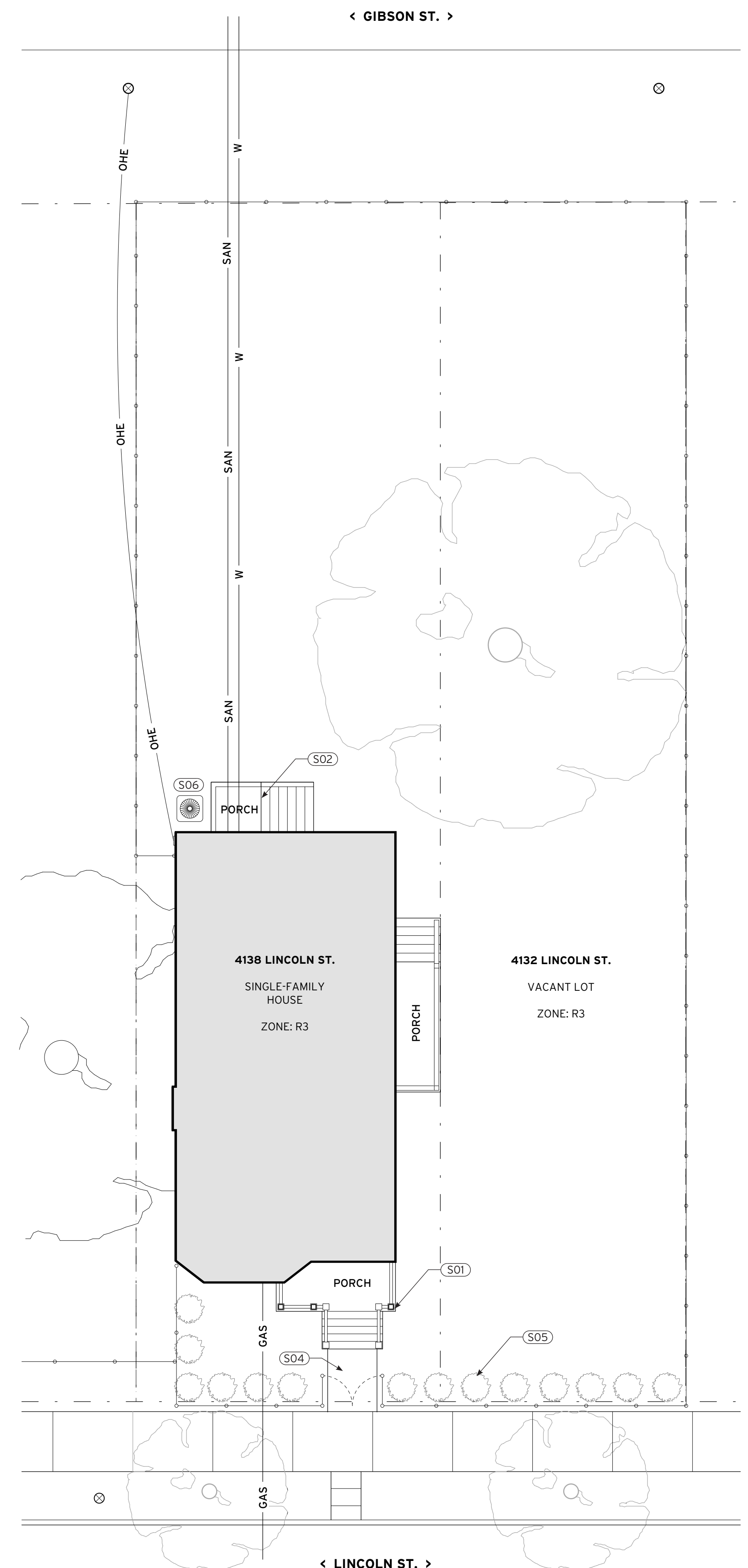


SITE AREA PLAN
SCALE: NOT TO SCALE



DRAWING SYMBOLS	
	EXTERIOR ELEVATION
	DETAIL CALLOUT
	SECTION TAG
	INTERIOR ELEVATION
	LEVEL REFERENCE
	WALL TYPE TAG
	KEYNOTE TAG
	WINDOW TAG
	ROOM TAG
	DOOR TAG

ABBREVIATIONS	
V.I.F.	VERIFY IN FIELD
O.C.	ON CENTER
DIA.	DIAMETER
U.O.N.	UNLESS OTHERWISE NOTED
PTD.	PAINTED
V.TO.	VENT TO OUTSIDE
U.S.	UNDERSIDE
A.F.F.	ABOVE FINISH FLOOR
A.G.	ABOVE GRADE
TYP.	TYPICAL
H	HEIGHT
W	WIDTH
D	DEPTH
MAT'L	MATERIAL
REQ'D	REQUIRED
SIM.	SIMILAR
CLG.	CEILING
EX.	EXISTING
MTD.	MOUNTED
T.M.E.	TO MATCH EXISTING
STD.	STANDARD
OCC.	OCCUPANT
ABV.	ABOVE
W.C.	WATER CLOSET (BATHROOM)
T&B	TOP AND BOTTOM
T&G	TONGUE AND GROOVE
P.T.	PRESSURE-TREATED
V.W.O	VERIFY WITH OWNER
P.B.O.	PROVIDED BY OWNER
CONT.	CONTINUOUS
EQ.	EQUAL (FOR DIMENSIONS)



SYMBOLS

- - - - - Property Boundary
- SAN — Sanitary Service Line
- W — Water Service Line
- GAS — Gas Service Line
- OHE — Overhead Primary Electric Service Line
- COM — Overhead Low-Voltage Communications Service Line
- Existing Fence

UTILITY NOTES

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE/SHE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM HIS/HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL STANDARDS, SPECIFICATIONS, AND GUIDELINES FOR CONSTRUCTION.

GENERAL NOTES

1. THIS SITE AND BUILDING PLAN ARE DIAGRAMMATIC IN NATURE. ALL BOUNDARIES, LOCATIONS, TOPOGRAPHY, LEGAL MEETS AND BOUNDS, IMPROVEMENTS, MONUMENTS, ETC. ARE TO BE VERIFIED BY THE OWNER'S LAND SURVEYOR.
2. THE GENERAL CONTRACTOR IS TO VERIFY ALL SITE CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK
3. THE GENERAL CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS TO PROTECT EXISTING UNDERGROUND UTILITIES OR STRUCTURES NOT SCHEDULED FOR DEMOLITION (WHETHER SHOWN ON THE PLANS OR NOT) DURING THE CONSTRUCTION OF THIS PROJECT.
4. EQUIPMENT SHALL BE SELECTED AND OPERATED SUCH THAT STRUCTURES, UTILITIES, AND OTHER WORK THAT ARE TO REMAIN WILL NOT BE DAMAGED OR CAUSE INJURY TO WORKERS.
5. CONTRACTOR SHALL FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM WORK. THESE AREAS SHALL BE FILLED WITH ENGINEERED FILL OR SUITABLY EXCAVATED MATERIAL AND COMPACTED TO 95% OF MAXIMUM DENSITY.
6. ALL DEBRIS AND EXCESS EXCAVATED MATERIAL MUST BE LEGALLY DISPOSED OF.
7. ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE RULES AND REGULATIONS PERTAINING TO SAFETY ESTABLISHED BY OSHA AND ALL LOCAL CODES AND REQUIREMENTS

SITE PLAN NOTES

- S01 RESTORED WOOD-FRAMED FRONT PORCH AND RECONSTRUCTED STEPS
- S02 NEW WOOD-FRAMED REAR PORCH AND STEPS. ENSURE THAT NEW FOOTING PLACEMENTS DO NOT BEAR ON EXISTING UTILITY ROUTES BELOW.
- S03 EXISTING CHAIN-LINK FENCE AND GATE TO BE REMOVED
- S04 NEW CONCRETE WALKWAY TO REPLACE EXISTING
- S05 TAKE PRECAUTIONS TO PRESERVE ALL EXISTING HEDGEROW PLANTINGS
- S06 NEW AIR CONDENSER

LEGAL DESCRIPTION

THE FOLLOWING DESCRIBED PREMISES SITUATED IN THE CITY OF DETROIT, COUNTY OF WAYNE AND STATE OF MICHIGAN, TO WIT:
 E LINCOLN S 30 FT III HODGES BROS SUB LI P308 PLATS, W C R 6/53 30 X 120
 COMMONLY KNOWN AS:
 4138 LINCOLN STREET, DETROIT, MICHIGAN 48208
 PARCEL ID: 06005445

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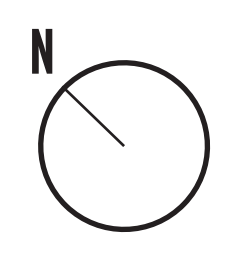
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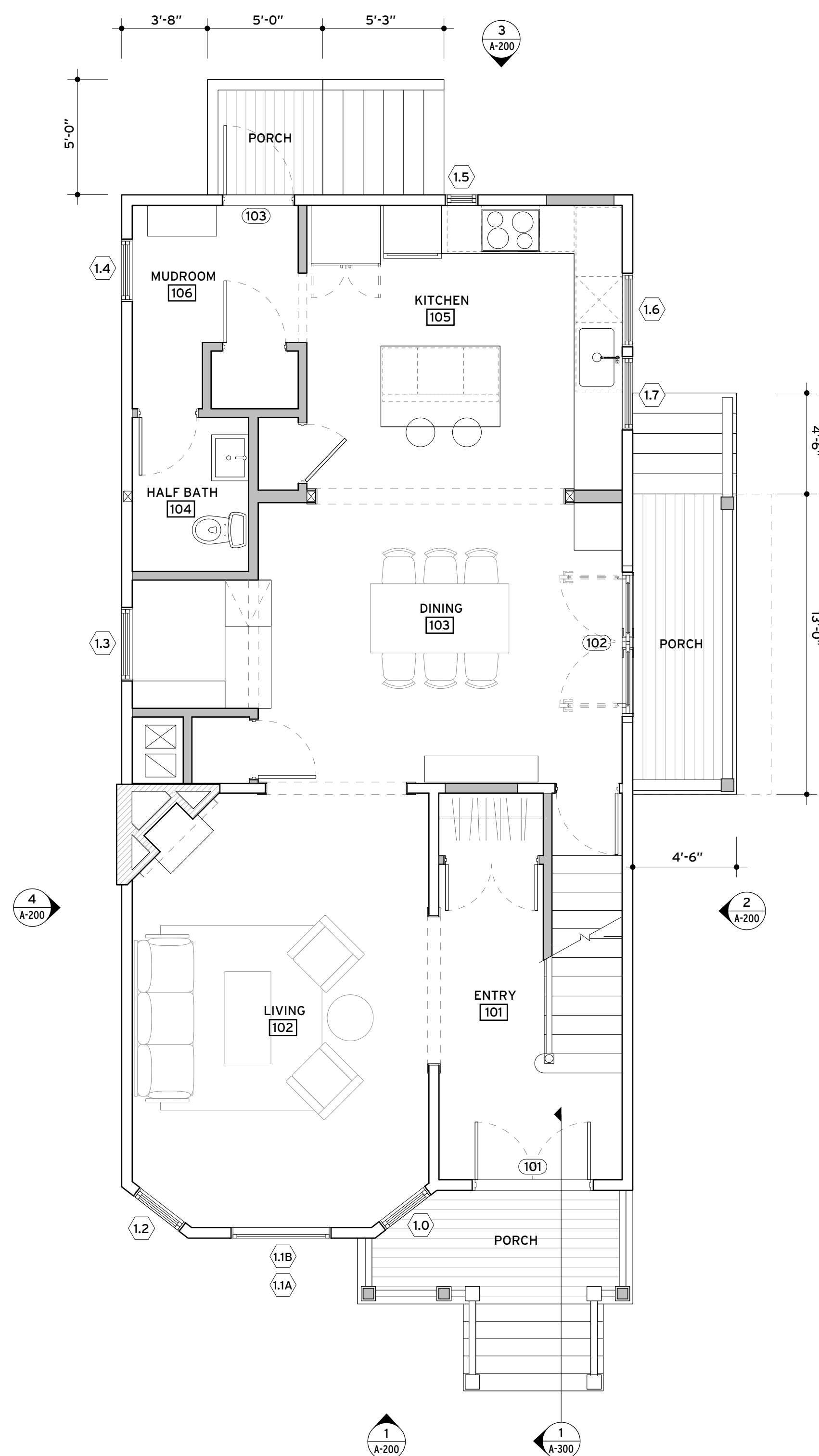
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1 SITE PLAN
 SCALE: 1/8" = 1'-0"

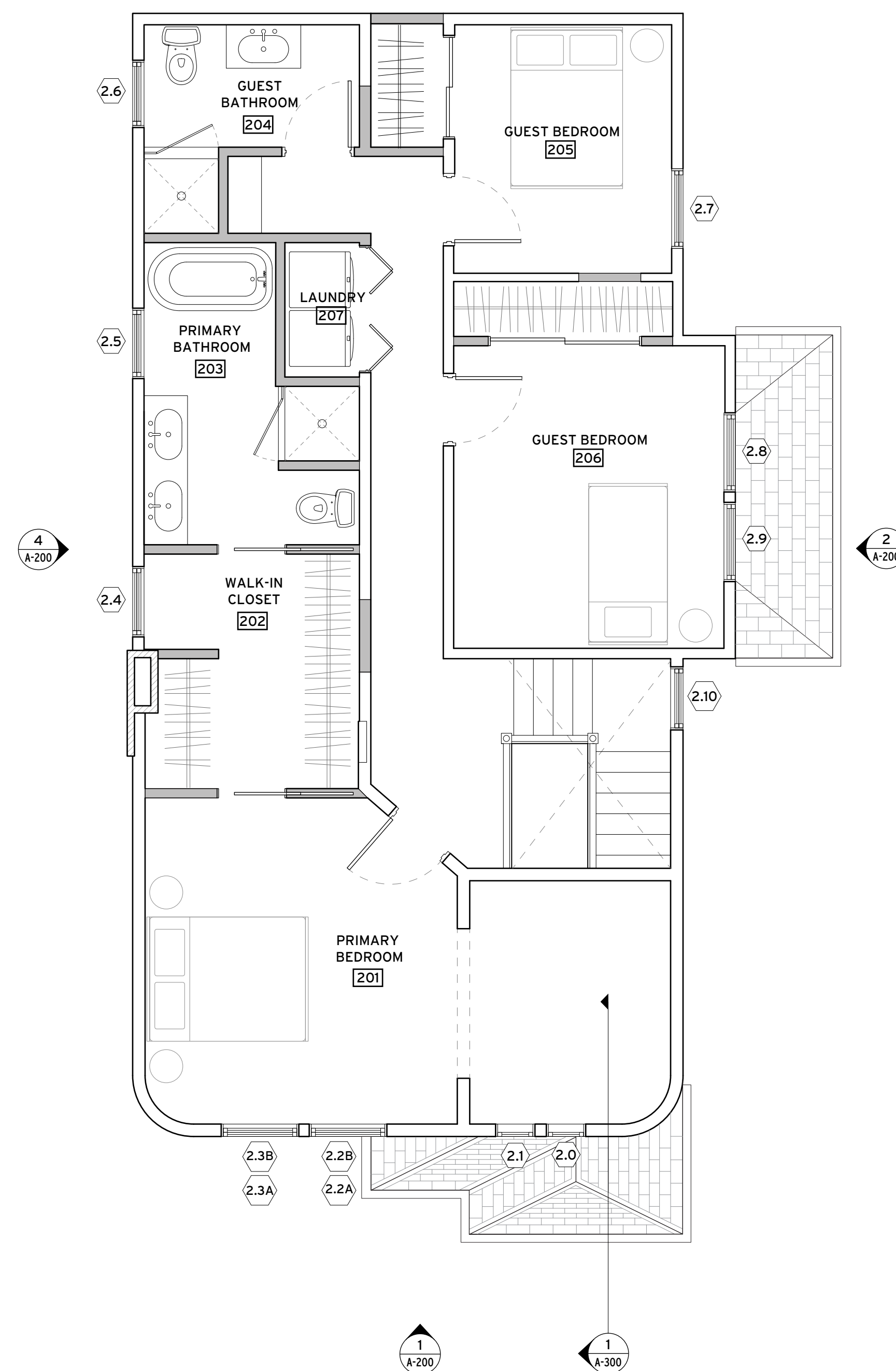


SITE PLAN

A-100



1 FIRST FLOOR ARCHITECTURE PLAN
SCALE: 1/4" : 1'-0"



2 SECOND FLOOR ARCHITECTURE PLAN
SCALE: 1/4" : 1'-0"

SYMBOLS

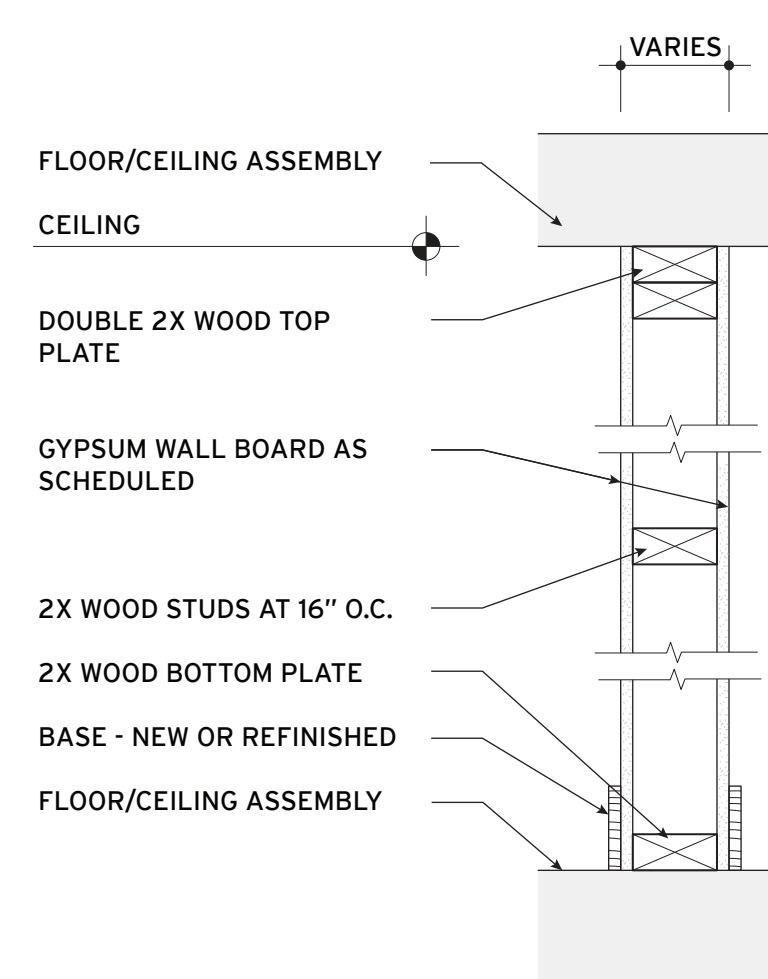
- Existing Brick Masonry Wall
- Existing Wood Stud Wall
- New Wood Stud Wall

GENERAL NOTES

1. IF CONFLICTS EXIST BETWEEN THESE DRAWINGS AND THE PHYSICAL CONDITIONS, CONTACT THE ARCHITECT UPON DISCOVERY PRIOR TO FURTHER PHYSICAL CONSTRUCTION.
2. ALL NEW INTERIOR WALL PARTITION CONSTRUCTION IS TO BE 'AT', UNLESS OTHERWISE NOTED - REFER TO WALL ASSEMBLY DETAILS ON THIS SHEET.
3. ALL DIMENSIONS ARE MEASURED FROM FINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED.
4. WHERE A NEW WALL IS TO COORDINATE WITH AN EXISTING WALL, MAKE ALL NECESSARY PREPARATIONS TO ENSURE A SMOOTH AND CONSISTENT FINISH ACROSS ENTIRE SURFACE.
5. FIRE-SEAL/FIRE-CAULK SEALANT TO BE INSTALLED AT ALL INTERSECTIONS, CONSTRUCTION ASSEMBLIES, PENETRATIONS, OR AS REQUIRED TO COMPLETE FIRE-BLOCKING CLOSURES PER APPLICABLE RESIDENTIAL CODE.
6. ALL WALL ASSEMBLIES LOCATED AT OR ADJACENT TO AN EXISTING EXTERIOR WALL, OR ARE LOCATED ADJACENT TO A COLD ZONE ARE TO RECEIVE A MINIMUM OF R-21 INSULATION PER CODE.
7. ALL LOCATIONS OF CEMENTITIOUS TILE BACKER BOARD ARE TO BE COORDINATED WITH THE OWNER AND SCHEDULED WALL ASSEMBLY.
8. GENERAL CONTRACTOR IS TO COORDINATE WITH OWNER TO PROVIDE BLOCKING WHERE REQUIRED TO SUPPORT MILLWORK, EQUIPMENT, SHELVING, OR OTHER FINISHES.

ARCHITECTURE NOTES

STRUCTURAL NOTES



A1 NON-FIRE RATED WALL ASSEMBLY
2X4 WOOD CONSTRUCTION
1/2" GYPSUM WALL BOARD - EACH SIDE
WALL THICKNESS = 4-1/2"

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ARCHITECTURE PLANS

LIGHT FIXTURE SCHEDULE						
#	TYPE	MANUFACTURER / MODEL	LAMP		FINISH	NOTES
			TYPE	VOLTS		
A	4" RECESSED					
B	4" RECESSED (WET RATED)					
C	BEDROOM SURFACE MOUNT					
D	WALL SCONCE					
E	DINING PENDANT					
F	KITCHEN PENDANT					
G	STAIR PENDANT					
H	BATHROOM SCONCE					
J	EXTERIOR SCONCE					
K	BASEMENT UTILITY STRIP					
L	CEILING FAN					

ELECTRICAL SYMBOLS

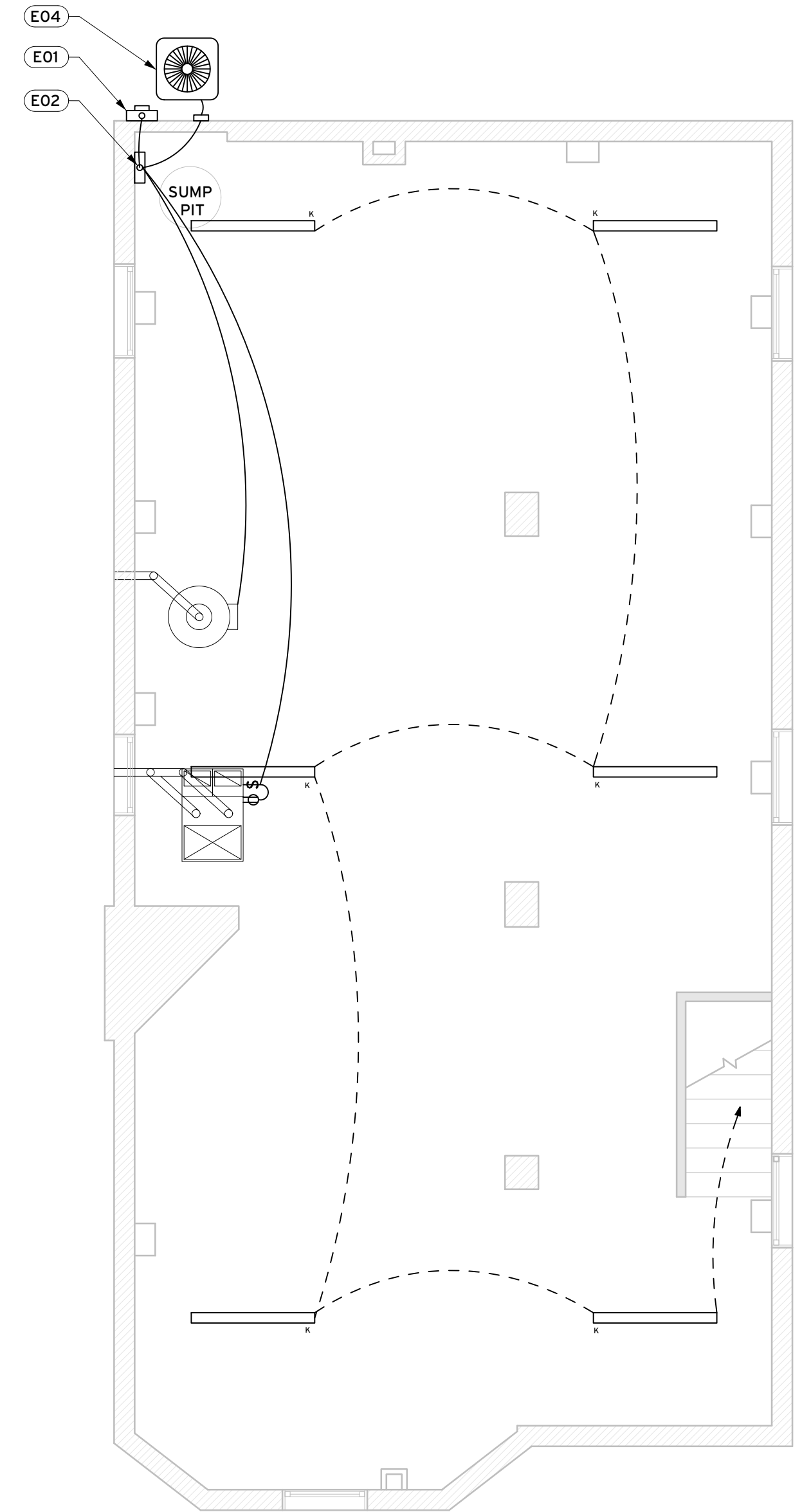
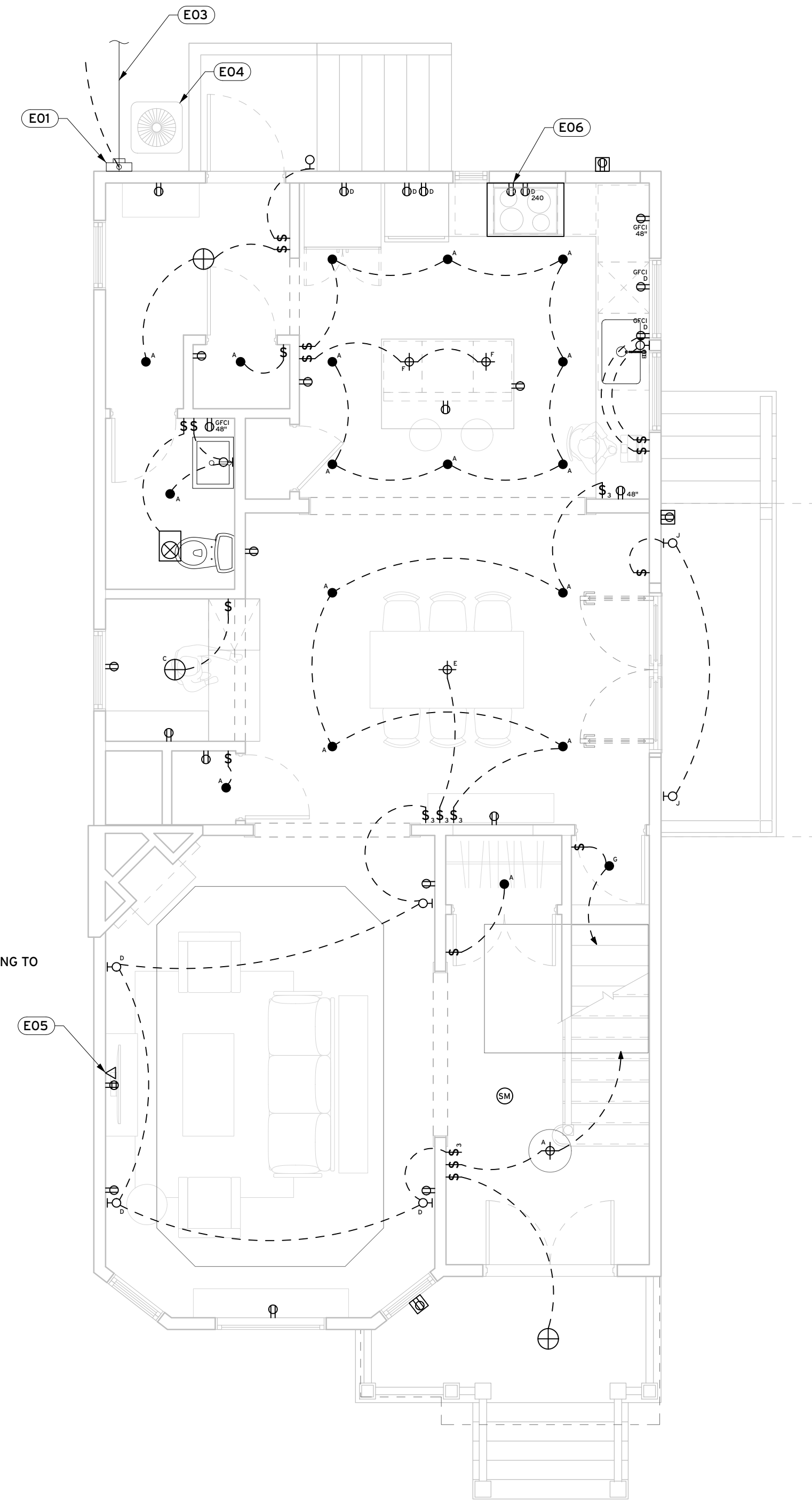
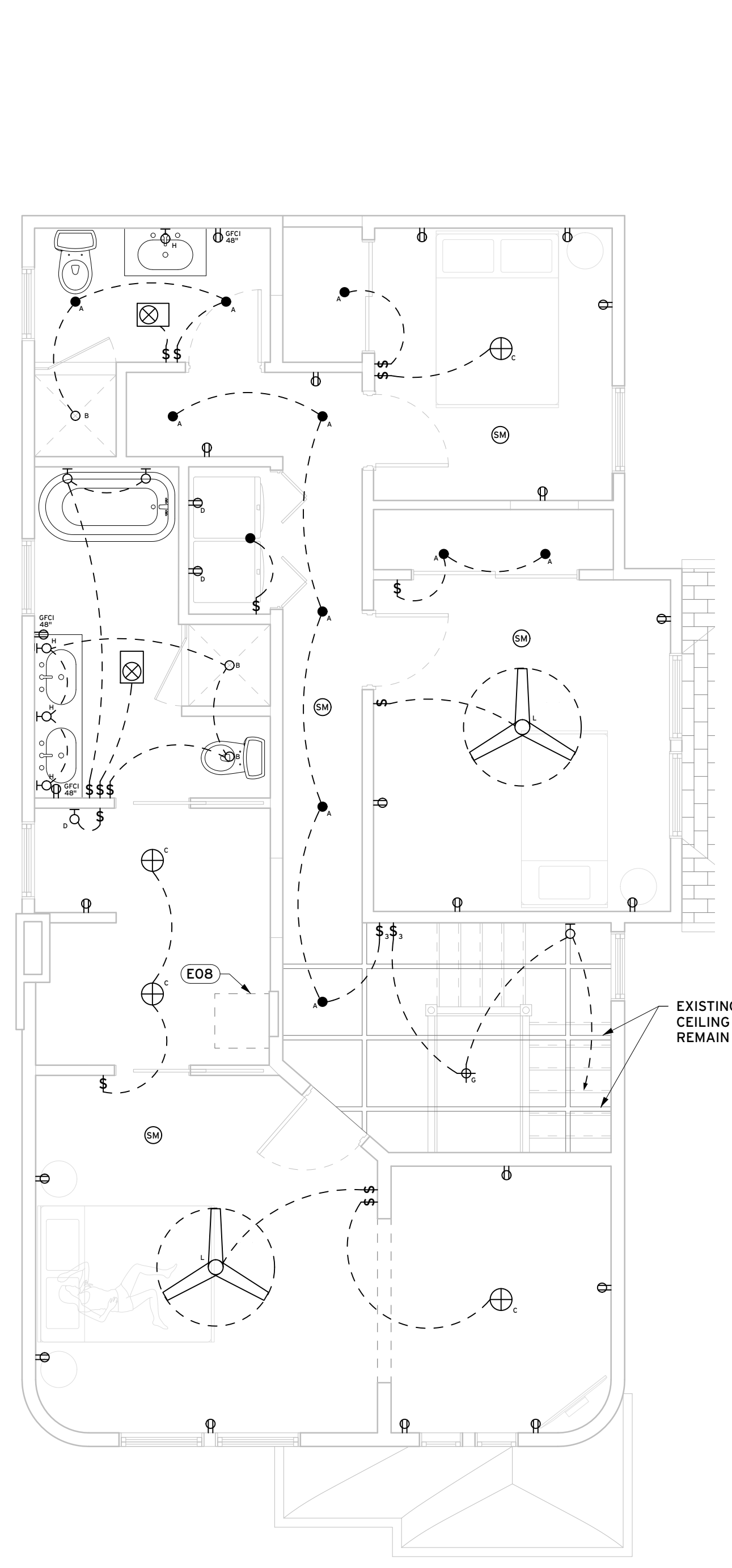
- ELECTRICAL METER
- ELECTRICAL PANEL
- LIGHT FIXTURE FEED
- POWER FEED
- 4" RECESSED LIGHT
- 4" WATERPROOF RECESSED LIGHT
- PENDANT LIGHT
- SURFACE-MOUNT LIGHT
- WALL SCONCE LIGHT
- SURFACE MOUNT UTILITY LIGHT
- SMOKE/CARBON MONOXIDE DETECTOR
- EXHAUST FAN
- CEILING FAN WITH LIGHT
- SWITCH
- 3-WAY SWITCH
- DATA CONNECTION
- DUPLEX OUTLET
- QUADPLEX OUTLET
- DUPLEX OUTLET - COUNTERTOP HEIGHT
- DUPLEX OUTLET - DEDICATED CIRCUIT
- DUPLEX OUTLET - GFCI
- 240v OUTLET
- EXTERIOR-RATED DUPLEX OUTLET

GENERAL ELECTRICAL NOTES

- INSTALLATION SHALL COMPLY WITH, AND ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, REGULATIONS, AND CODES. ALL EQUIPMENT SHALL BE SPECIFICATION GRADE AND SHALL HAVE ALL U.L. LABELS FOR INTENDED USE.
 - EXAMINATION OF SITE IS MANDATORY. CONTRACTOR IS HEREBY HELD TO HAVE EXAMINED THE SITE AND HAVE INCLUDED IN HIS/HER BID PRICE ALL COSTS DUE TO SITE AND FIELD CONDITIONS.
 - ELECTRICIAN IS RESPONSIBLE FOR ALL DESIGN, CALCULATIONS, AND PERMITTING ASSOCIATED WITH THIS DISCIPLINE. ALL REQUIRED PERMIT AND INSPECTIONS SHALL BE OBTAINED BY CONTRACTOR AND SUCH COSTS SHALL BE INCLUDED IN BID PRICE FOR THIS WORK.
 - ELECTRIC SERVICE TO THE SITE WILL BE UNDERGROUND AS PROVIDED BY UTILITY COMPANY. SECONDARY METERED SERVICE AT THE VOLTAGE INDICATED ON DRAWINGS. SERVICE WILL BE PROVIDED BY DTE ENERGY. POWER COMPANY WILL PROVIDE AND INSTALL PRIMARY CABLE, SERVICE TRANSFORMER, AND WILL MAKE FINAL CONNECTIONS. TRADE CONTRACTOR SHALL INSTALL METER SOCKET AND WEATHERHEAD IF REQUIRED.
 - CONTRACTOR IS TO COORDINATE WITH THE UTILITY COMPANY PROVIDING SERVICE TO THIS PROJECT AND COMPLY WITH THEIR REQUIREMENTS. INCLUDE ANY UTILITY COMPANY CHARGES IN BASE BID PRICE.
 - ELECTRICAL PANEL SHALL BE OF VOLTAGE, PHASE, SERVICE, AND NUMBER OF WIRES INDICATED ON THE DRAWINGS. BREAKERS SHALL BE THERMAL MAGNETIC, TRIP FREE, SINGLE OR MULTIPLE BOLTED DESIGN, MOLDED CASE, MINIMUM 1,000 A.I.C. AT 240 VOLTS. DEVICES SHALL BE AS INDICATED ON THE DRAWINGS OR AS SCHEDULED.
 - PROVIDE TEMPORARY POWER AND LIGHTING DURING CONSTRUCTION BY INSTALLING TWO (2) QUADRA-PLEX OUTLETS ON DEDICATED 20-AMPERE CIRCUITS IMMEDIATELY ADJACENT TO PANEL FOR UTILITY USE. FEEDER AND BRANCH CIRCUITS ARE TO BE FULLY CONCEALED IN WALLS AND CEILING PER CODE.
 - PROVIDE DEDICATED CIRCUITS FOR EACH APPLIANCE AND EQUIPMENT WITHIN KITCHEN AND LAUNDRY AREA.
 - INSTALL GROUND FAULT INTERRUPT BREAKER OR DEVICE IN THE DISTRIBUTION PANEL TO CONTROL ALL 'WET AREA' AND EXTERIOR OUTLETS, PER CODE.
 - INSTALL ARC FAULT INTERRUPT BREAKER OR DEVICE IN THE DISTRIBUTION PANEL IN ALL REQUIRED AREAS PER THE APPLICABLE CODE.
 - ALL RECEPTACLES IN DWELLING UNITS SHALL BE TAMPER RESISTANT RECEPTACLES.
 - GANG ALL ADJACENT SWITCHES WITHIN A SINGULAR GANGBOX AND UNDER A SINGULAR COVER PLATE AT LOCATIONS WITH MULTIPLE SWITCHES. MOUNTING HEIGHTS, UNLESS OTHERWISE NOTED:
- GENERAL OUTLETS: 18" A.F.F.
 KITCHEN COUNTERTOP OUTLETS: 48" A.F.F.
 BATHROOM OUTLETS: 48" A.F.F.
 GENERAL SWITCHES: 48" A.F.F.
- MOUNT TWO DEDICATED RECEPTACLES BELOW SINK FOR GARBAGE DISPOSAL AND BELOW COUNTER FOR DISHWASHER.
 - INSTALL INTERCONNECTED, HARDWIRED, ELECTRIC SMOKE/CARBON MONOXIDE DETECTORS WITH BATTERY BACK-UP AT EACH LEVEL PER CODE.
 - MOUNT REQUIRED SMOKE DETECTORS LOCATED IN BEDROOMS CENTERED ON DOOR INTO BEDROOM.

ELECTRICAL NOTES

- E01 ELECTRICAL METER LOCATION FED WITH OVERHEAD PRIMARY SERVICE LINE - COORDINATE WITH DTE FOR SIZING, DISCONNECT AND INSTALLATION REQUIREMENTS.
- E02 100 AMP ELECTRICAL SERVICE PANEL (MIN.) INSTALLED ON 4' X 4' X 3/4" PLYWOOD BACKBOARD. LOCATE MODEM/ROUTER INTERFACE CONNECTED TO LOW VOLTAGE FEED ADJACENT TO SERVICE PANEL.
- E03 PROVIDE DEDICATED SUB-METERED UNDERGROUND ELECTRICAL SERVICE IN REAR YARD FOR FUTURE GARAGE/CARPORT. COORDINATE WITH OWNER FOR SIZING AND LOCATION. ADHERE TO APPLICABLE CODE FOR CAPPING AND CONCEALMENT.
- E04 PROVIDE DEDICATED CIRCUIT AND DISCONNECT TO EXTERIOR AIR CONDENSER ACCORDING TO APPLICABLE CODES AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- E05 COORDINATE EXACT DATA CONNECTION INSTALL LOCATIONS WITH OWNER AND UTILITY PROVIDER
- E06 LOCATE DUPLEX OUTLET FOR RANGE HOOD IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- E07 LINE OF DROPPED CEILING DUCT SOFFITT AT PERIMETER OF LIVING AREA - REFER TO ARCHITECTURE PLANS.
- E08 LINE OF ATTIC ACCESS HATCH



3 SECOND LEVEL ELECTRICAL PLAN
SCALE: 1/4"=1'-0"

2 FIRST LEVEL ELECTRICAL PLAN
SCALE: 1/4"=1'-0"

1 BASEMENT LEVEL ELECTRICAL PLAN
SCALE: 1/4"=1'-0"

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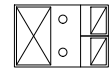
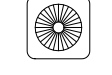
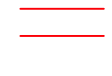




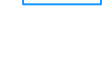
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ELECTRICAL PLANS

A-110

ELECTRICAL SYMBOLS

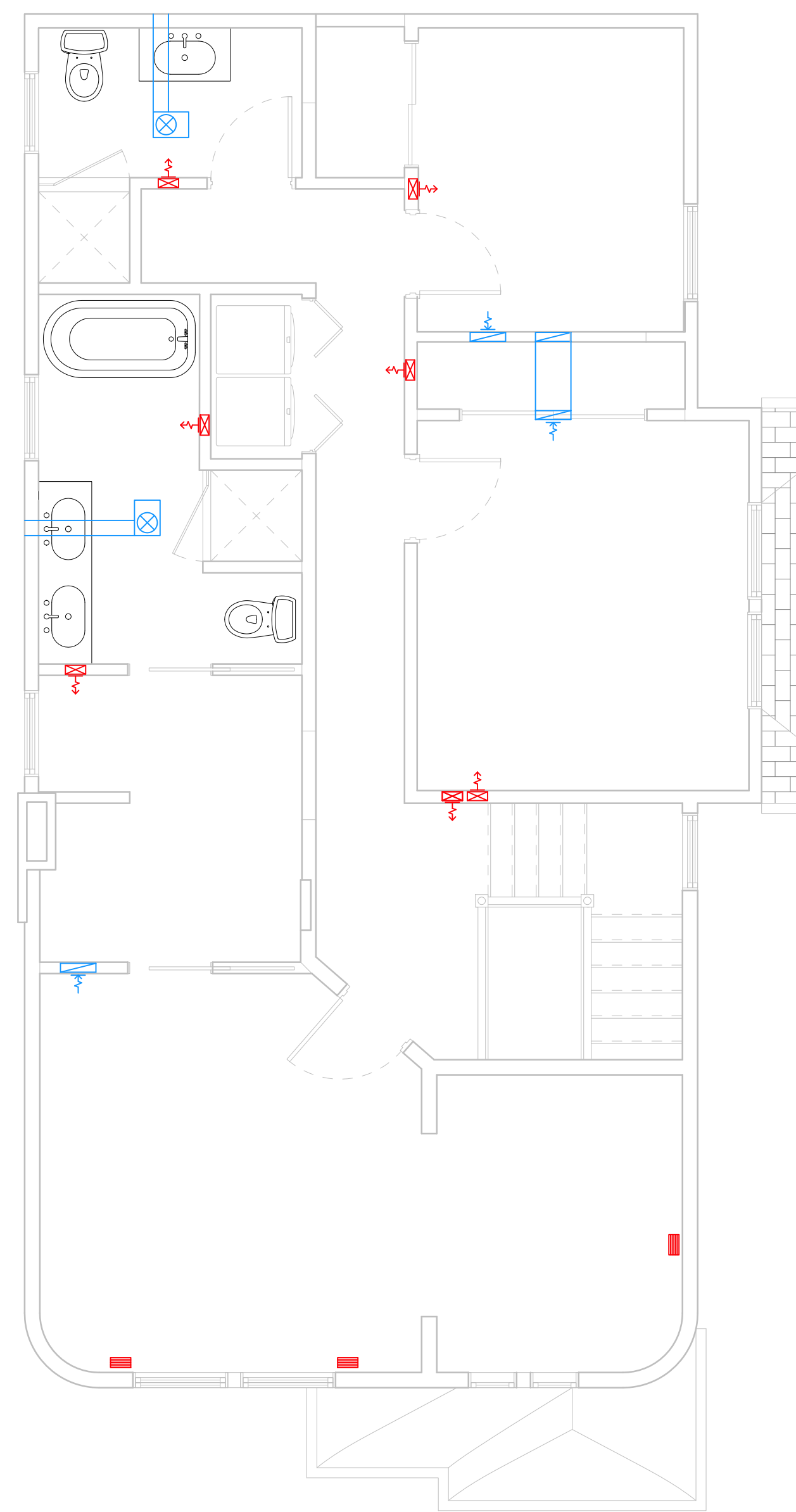
-  FURNACE
-  AIR CONDENSER
-  SUPPLY AIR (TRUNK/DUCT)
-  RETURN AIR (TRUNK/DUCT)
-  SUPPLY AIR (WALL/BASEBOARD)
-  SUPPLY AIR (FLOOR)
-  RETURN AIR (WALL)
-  EXHAUST FAN

GENERAL MECHANICAL NOTES

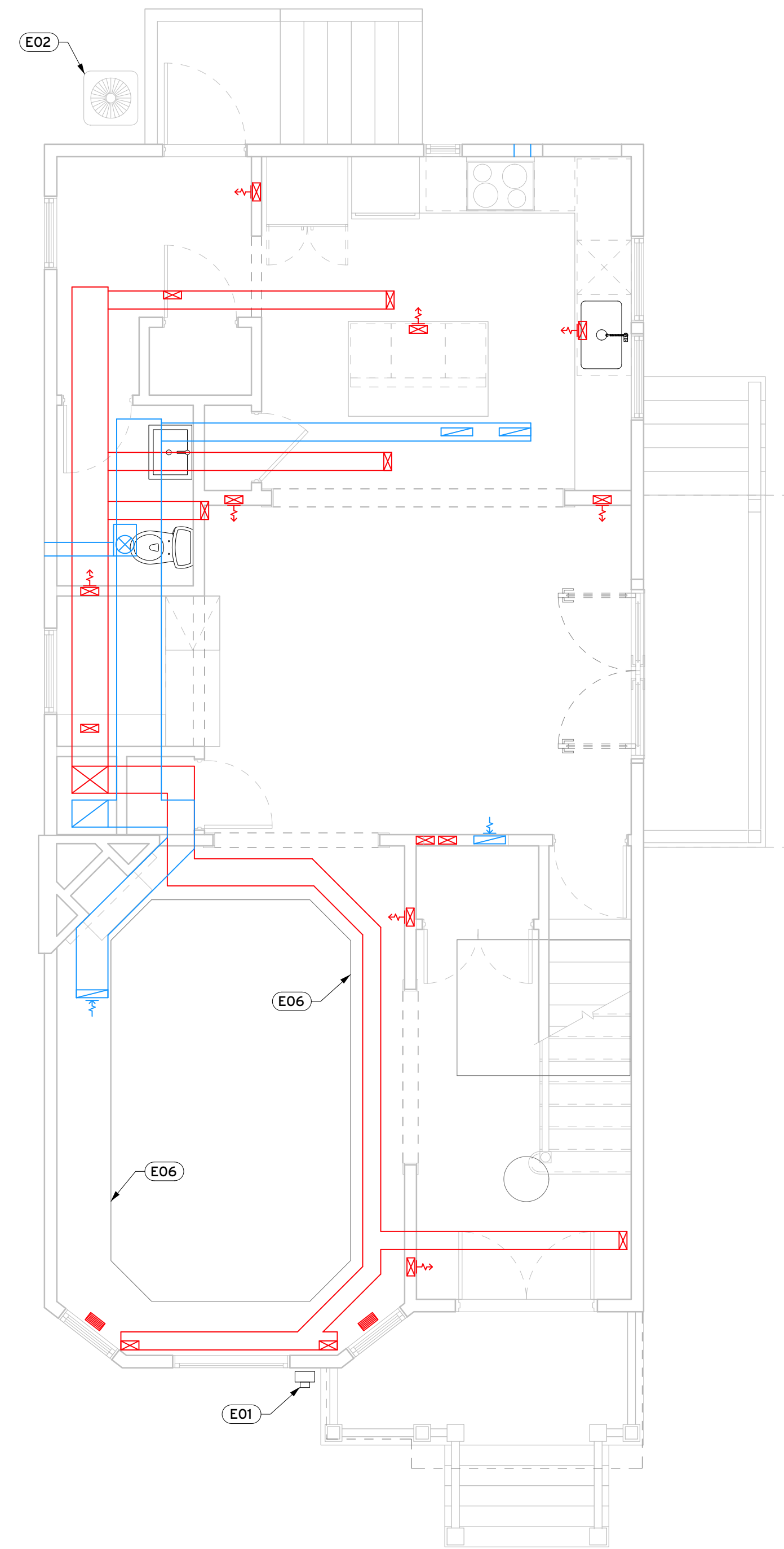
1. HVAC DRAWINGS ARE DIAGRAMMATIC TO GIVE GENERAL DIRECTION OF PLACEMENT - LOCATION, SIZING, AND EXACT PLACEMENT OF ALL HVAC EQUIPMENT AND DUCTING IS TO BE DESIGNED AND FURNISHED BY THE GENERAL CONTRACTOR OF HVAC SUB-CONTRACTOR.
2. INSTALLATION SHALL COMPLY WITH, AND ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, REGULATIONS, AND CODES.

MECHANICAL NOTES

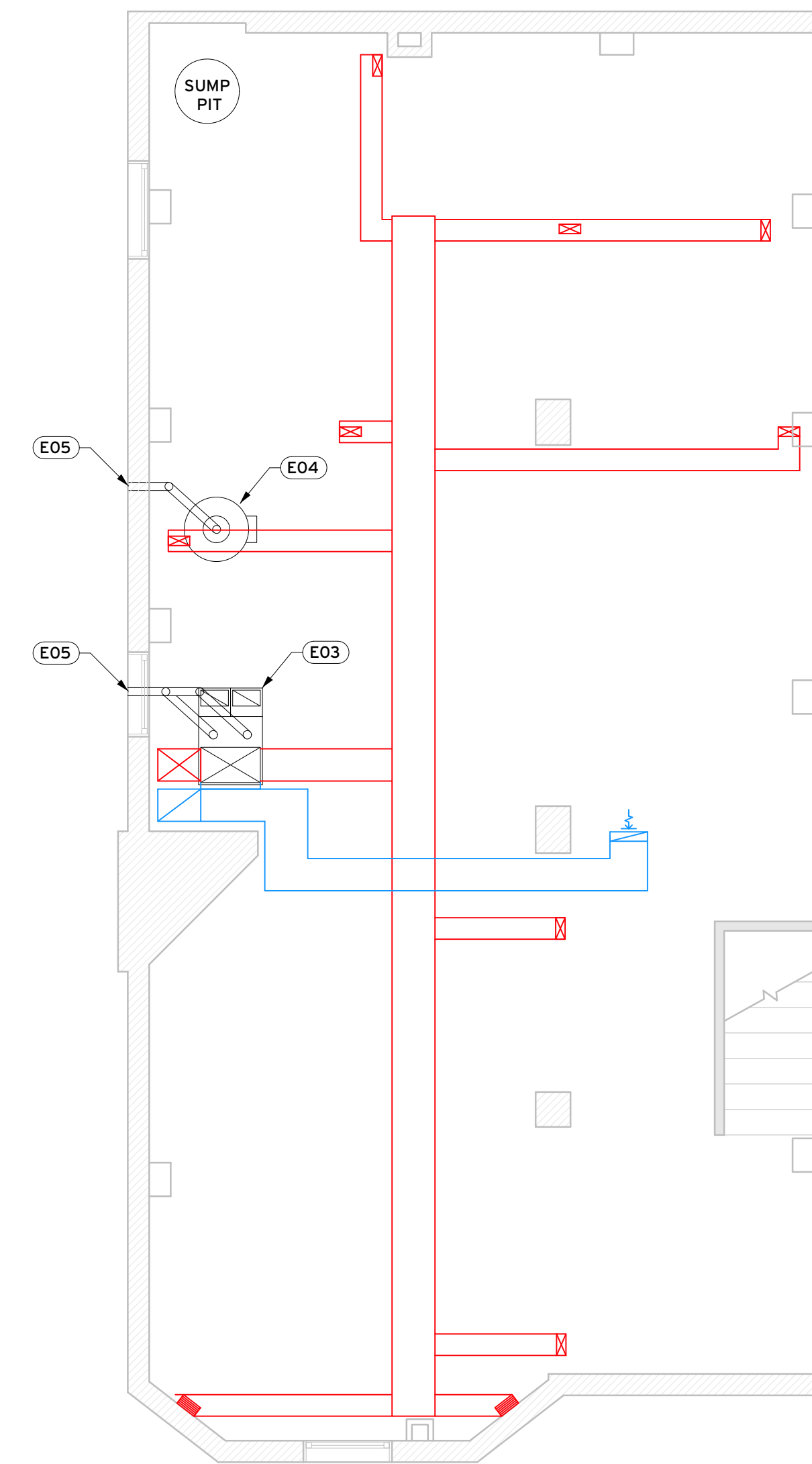
- E01 GAS METER AND SHUT OFF - COORDINATE SIZE AND CAPACITY WITH UTILITY PROVIDER TO ALLOW FOR ADDITIONAL SERVICE TO FUTURE ACCESSORY DWELLING UNIT.
- E02 AIR CONDENSER MOUNTED ON LEVEL PLATFORM OVER CRUSHED GRAVEL ABOVE GRADE - HVAC CONTRACTOR TO SPECIFY SIZE/CAPACITY ACCORDING TO MANUFACTURER'S INSTALLATION INSTRUCTIONS AND APPLICABLE CODES.
- E03 GAS FURNACE/A-COIL SYSTEM TO BE DESIGNED AND BUILT BY HVAC CONTRACTOR. PROVIDE FLOOR DRAIN DIRECTLY BELOW FURNACE LOCATION FOR CONDENSATE, PER CODE.
- E04 80 GALLON HIGH EFFICIENCY GAS WATER HEATER - COORDINATE WITH OWNER FOR SELECTION.
- E05 LOCATE EXHAUST PENETRATIONS PER APPLICABLE CODE AND MANUFACTURER'S REQUIREMENTS - MAINTAIN 3'-0" FROM ALL BUILDING OPENINGS
- E06 LINE OF DROPPED CEILING DUCT SOFFIT AT PERIMETER OF LIVING AREA - REFER TO ARCHITECTURE PLANS.



3 SECOND LEVEL MECHANICAL PLAN
SCALE: 1/4"=1'-0"



2 FIRST LEVEL MECHANICAL PLAN
SCALE: 1/4"=1'-0"



1 BASEMENT LEVEL MECHANICAL PLAN
SCALE: 1/4"=1'-0"

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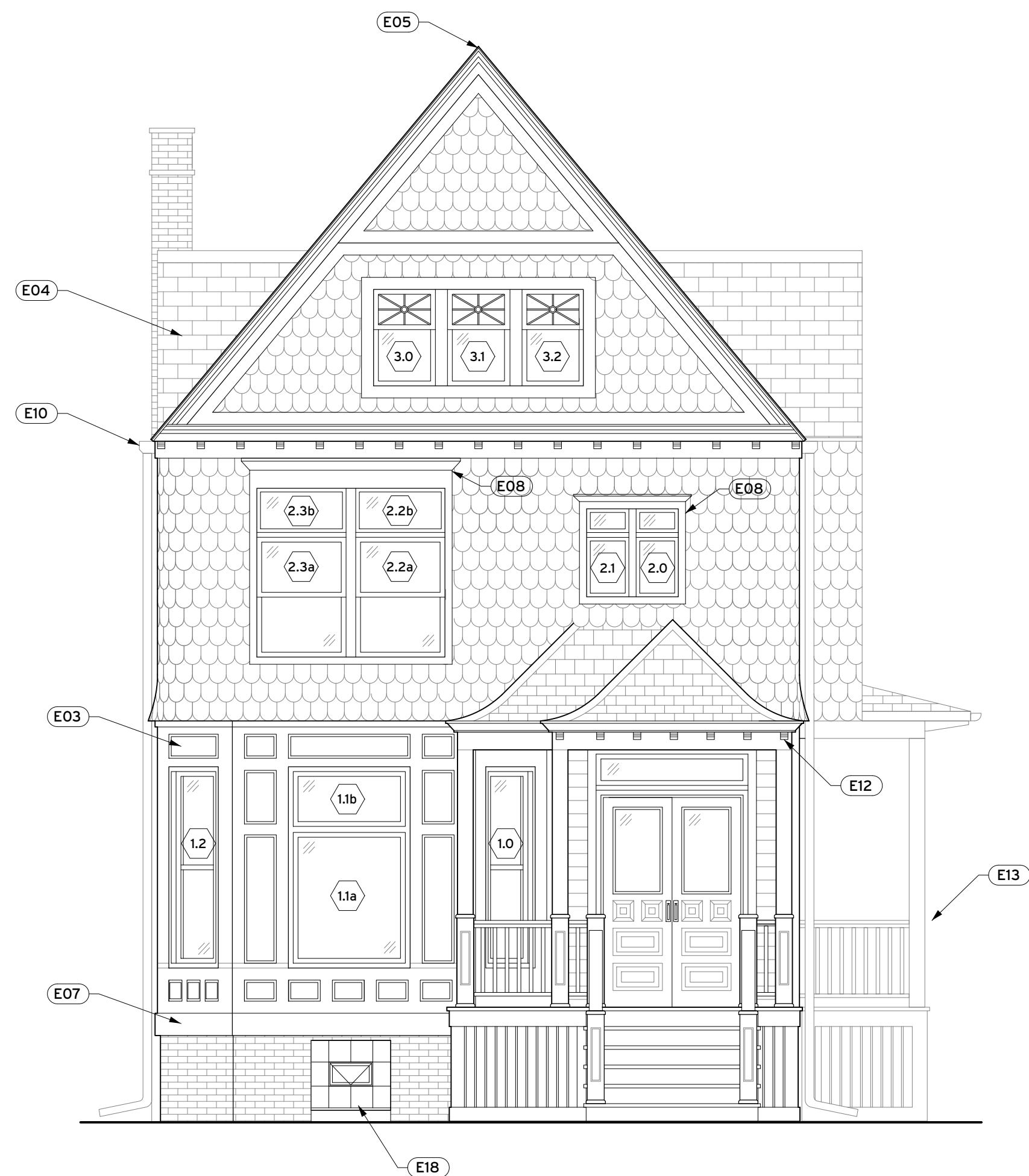
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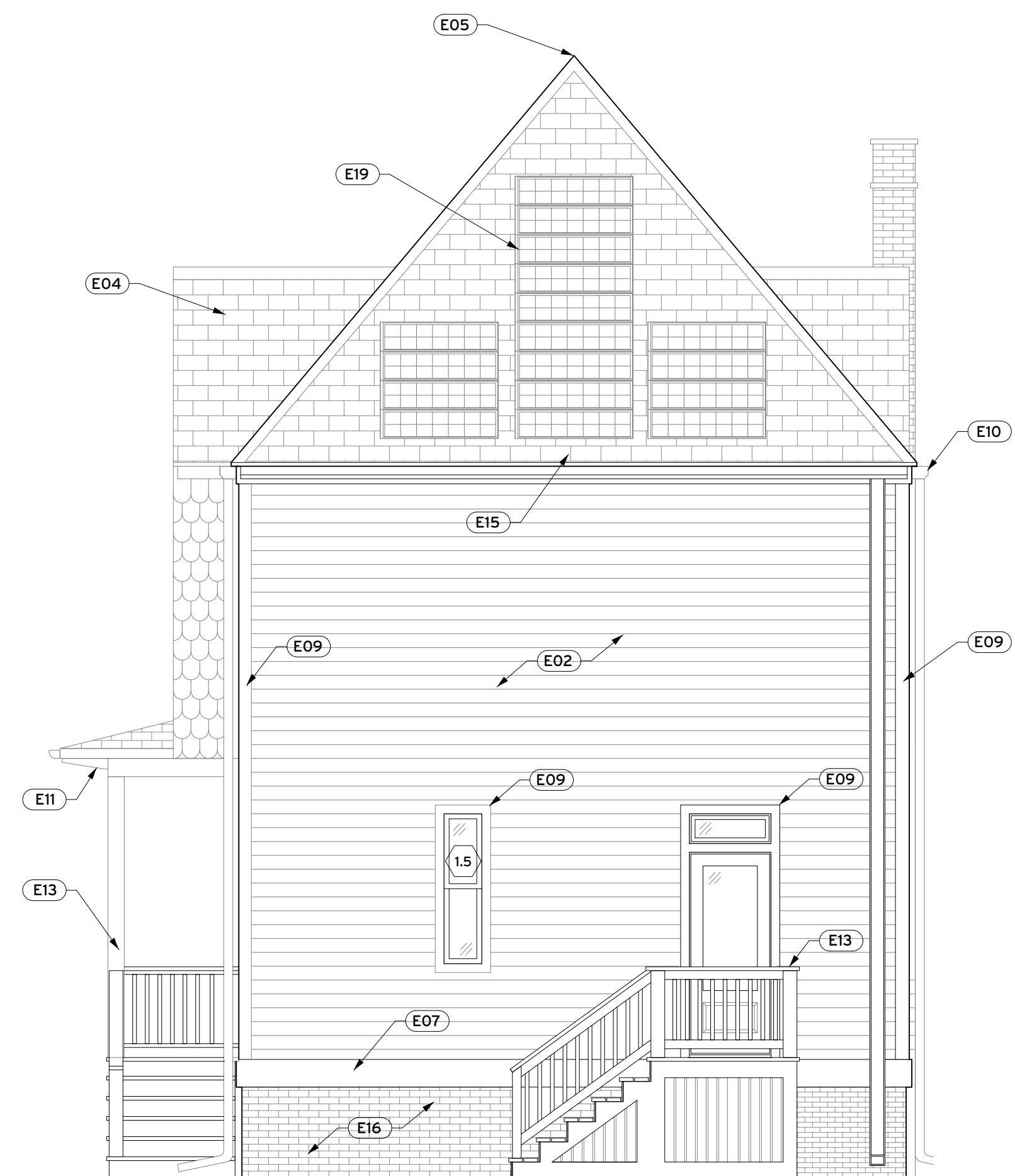
MECHANICAL PLANS



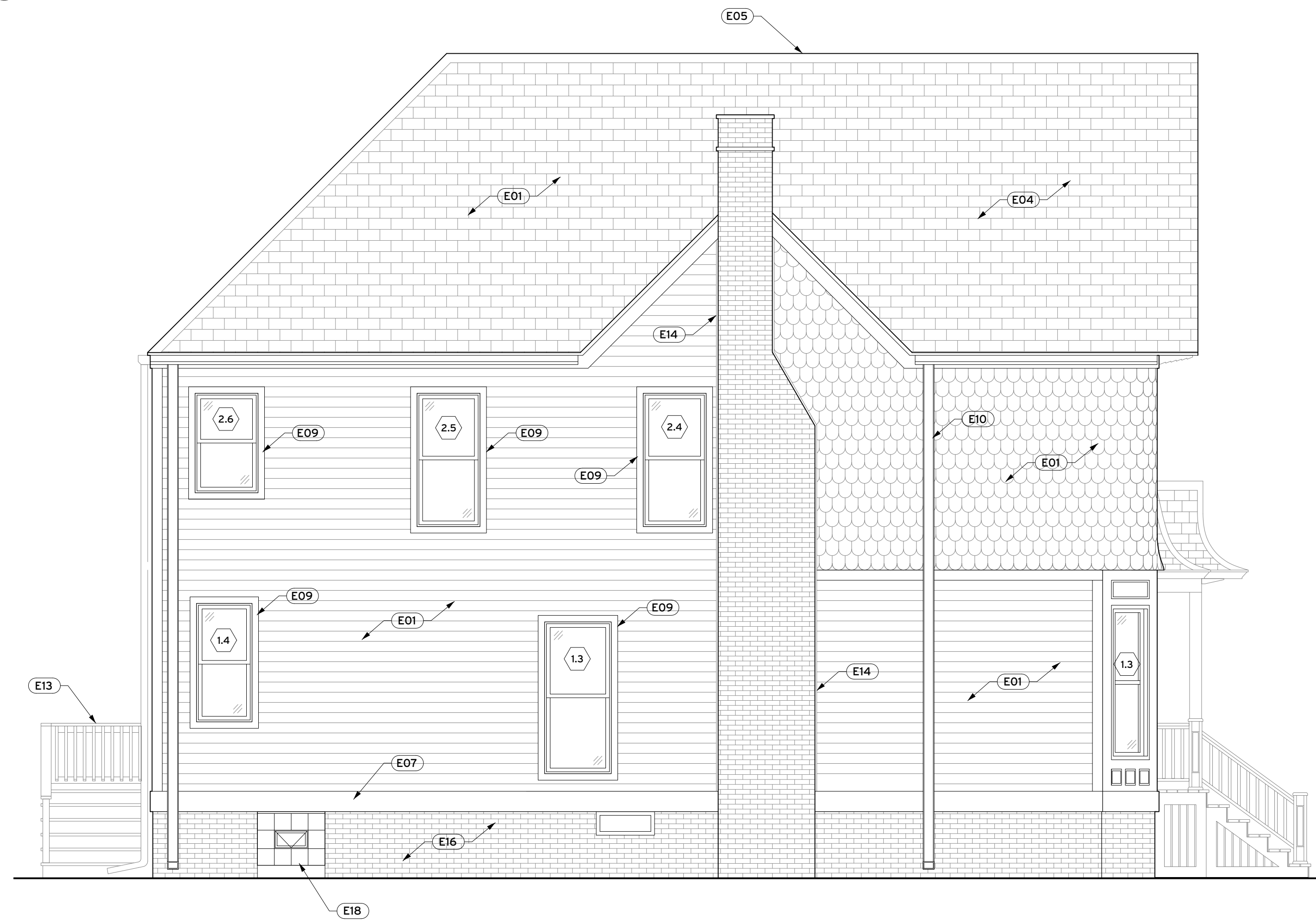
1 FRONT ELEVATION (LINCOLN ST.)
SCALE: 1/4"=1'-0"



2 SIDE ELEVATION (SOUTH)
SCALE: 1/4"=1'-0"



3 REAR ELEVATION
SCALE: 3/16"=1'-0"



4 SIDE ELEVATION (NORTH)
SCALE: 1/4"=1'-0"

GENERAL NOTES

1. IF CONFLICTS EXIST BETWEEN THESE DRAWINGS AND OTHER WITHIN THIS SET OR WITH THE PHYSICAL CONDITIONS, NOTIFY THE ARCHITECT UPON DISCOVERY PRIOR TO FURTHER PHYSICAL CONSTRUCTION.
2. ALL ASSEMBLIES ARE TO BE PERFORMED ACCORDING TO ASSEMBLY DETAILS, ASSOCIATED UL RATINGS, AND THE SPECIFICATIONS.
3. PROVIDE PRE-FINISHED ALUMINUM FLASHING, COUNTER FLASHING, AND DRIP EDGES WHEREVER NECESSARY OR INDICATED ON DRAWINGS TO MAINTAIN A WEATHER AND WATER TIGHT SEAL, AND TO PRESERVE ALL WARRANTIES.
4. PREPARE ALL WINDOW AND DOOR OPENINGS WITH CONTINUOUS FLASHING APPROPRIATE FOR THE ASSEMBLY AND MATERIAL APPLICATION.

ELEVATION NOTES

- E01 EXISTING WOOD SIDING TO BE REFINISHED - SAND ALL SURFACES TO SMOOTH, REMOVE ANY ROTTED OR DETERIORATED BOARDS AND PERFORM DUTCHMAN REPAIR OR REPLACE WITH BOARDS OF MATCHING PROFILE AND SPECIES. PAINT ACCORDING TO PAINT DIAGRAM.
- E02 NEW CEDAR LAP SIDING - MATCH PROFILE OF EXISTING LAP SIDING. ATTACH WITH STAINLESS STEEL NAILS DIRECTLY INTO STUDS AND PAINT ACCORDING TO PAINT DIAGRAM.
- E03 EXISTING WOOD PANELING AND TRIM TO BE REFINISHED - REMOVE BLOCKING FROM PREVIOUS SIDING, REPLACE ANY DETERIORATED TRIM BOARDS AND PATCH IN NEW MATCHING WOOD TRIM PIECES. SAND ALL SURFACE SMOOTH AND PAINT ACCORDING TO PAINT DIAGRAM.
- E04 NEW ASPHALT ROOF SHINGLES (BLACK) AND UNDERLAYMENT.
- E05 CONTINUOUS SHINGLE-CAPPED RIDGE VENT RUNNING THE FULL LENGTH OF THE TOP RIDGE. REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- E06 INSTALL ICE AND WATER SHIELD AT ALL EAVE CONDITIONS FROM EDGE OF ROOF TO 2'-0" BEYOND INTERIOR FACE OF WARM ZONE (EXTERIOR WALL), VALLEYS, AND RIDGES; PER CODE.
- E07 NEW 2X10 TRIM BOARD TO REPLACE EXISTING. PAINT ACCORDING TO PAINT DIAGRAM.
- E08 EXISTING TRIM/MOLDING TO REMAIN AND BE REFINISHED - SAND TO REMOVE COATING, REMOVE ANY ROTTED OR DETERIORATED PORTIONS AND REPLACE WITH TRIM/MOLDING OF MATCHING PROFILE AND SPECIES. CAULK ALONG EDGE OF TRANSITION TO SIDING AND PAINT.
- E09 EXISTING TRIM BOARD TO BE REFINISHED. REPLACE WITH 1X4 CEDAR WOOD TRIM BOARD MATCHING EXISTING IN PROFILE IF DETERIORATED OR MISSING AND MITRE ALL CORNERS.
- E10 6" SQUARE SEAMLESS 0.27 GAUGE ALUMINUM GUTTER AND DOWNSPOUTS (BLACK FINISH). INSTALL WITH FULLY CONCEALED BRACKETS, SUPPORTS, AND ANCHORS.
- E11 EXISTING BRACKETS TO BE INSTALLED AT NEW SIDE PORCH SOFFIT - SAND SMOOTH AND PAINT ACCORDING TO PAINT DIAGRAMS.
- E12 EXISTING FRONT PORCH ROOF TO REMAIN AND BE RESTORED INCLUDING STRUCTURE, CORNICE, DECORATIVE BRACKETS, AND WOOD BEAD BOARD CEILING. PORCH COLUMNS, BASE, BALUSTERS, NEWEL POSTS, SKIRTING, AND TRIM TO BE REPLACED PER DETAILS A-300.
- E13 NEW WOOD PORCH/DECK - REFER TO DECK SECTIONS
- E14 REMOVE DRIED AND LOOSE CAULK, CLEAN EDGES, AND CLOSE ANY GAPS BETWEEN CHIMNEY AND WALL WITH FIRE-PROOF CAULK
- E15 PATCH DEMOLISHED PORTION OF OLD ADDITION ROOF TO BLEND SEAMLESSLY WITH ROOF PITCH.
- E16 REPLACE AND REPOINT PORTIONS OF MASONRY FOUNDATION WALL THAT ARE SPALLING OR DETERIORATED.
- E17 EXISTING WINDOW TRIM TO BE REFINISHED - SAND ALL SURFACES TO REMOVE ANY COATING AND PAINT TRIM COLOR
- E18 INFILL BASEMENT WINDOW OPENING WITH 8" GLASS BLOCK WITH VENT OPENING
- E19 CERTAINTED "SOLSTICE SHINGLE" SOLAR PANEL ARRAY, BY OTHERS.

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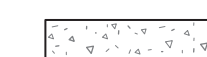

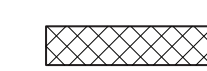



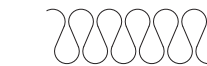
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EXTERIOR ELEVATIONS

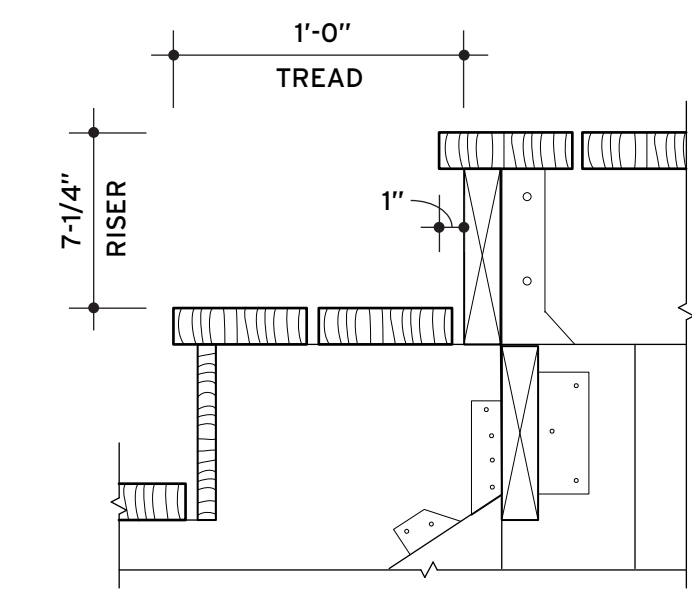
A-200

SYMBOLS

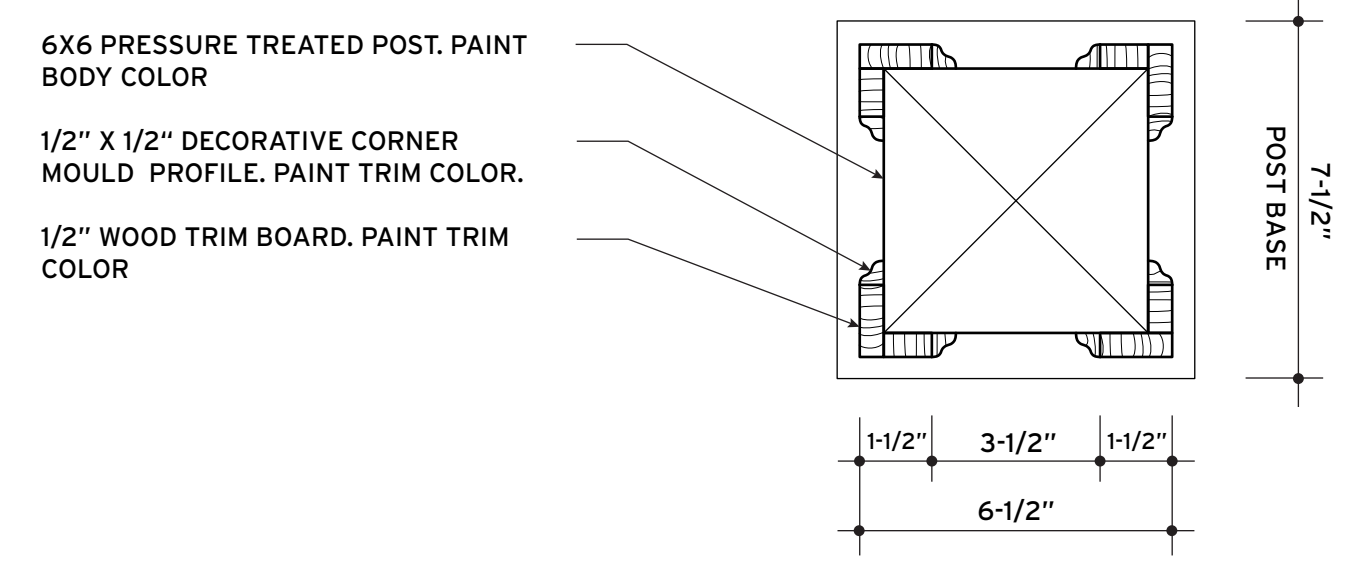
-  Concrete Foundation
-  Masonry Brick
-  Masonry CMU Block
-  Rigid Insulation Board
-  Plywood Sheathing
-  Wood (Solid or Composite)
-  Insulation

GENERAL NOTES

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2. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO APPROVAL BY THE ARCHITECT.
3. THE ARCHITECT AND ENGINEER ASSUME NO RESPONSIBILITY FOR THE DESIGN OR PROPER INSTALLATION OF TEMPORARY BUILDING BRACING OR SHORING REQUIRED TO COMPLETE THE PROJECT.
4. WHERE A NEW ASSEMBLY IS TO COORDINATE WITH AN EXISTING ASSEMBLY, MAKE ALL NECESSARY PREPARATIONS TO ENSURE A SMOOTH AND CONSISTENT FINISH ACROSS THE ENTIRE SURFACE.
5. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE LOCAL JURISDICTION INCLUDING SECTION R317 STAIRWAYS OF THE 2015 MICHIGAN RESIDENTIAL CODE.
6. THE MAXIMUM STAIR RISER HEIGHT SHALL NOT EXCEED 8-1/4" MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS, AND MINIMUM TREAD DEPTH SHALL NOT BE LESS THAN 9" MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS.



4 SIDE PORCH STAIR DETAIL
SCALE: 1-1/2" : 1'-0"



5 PORCH NEWEL POST (TYP.)
SCALE: 3" : 1'-0"

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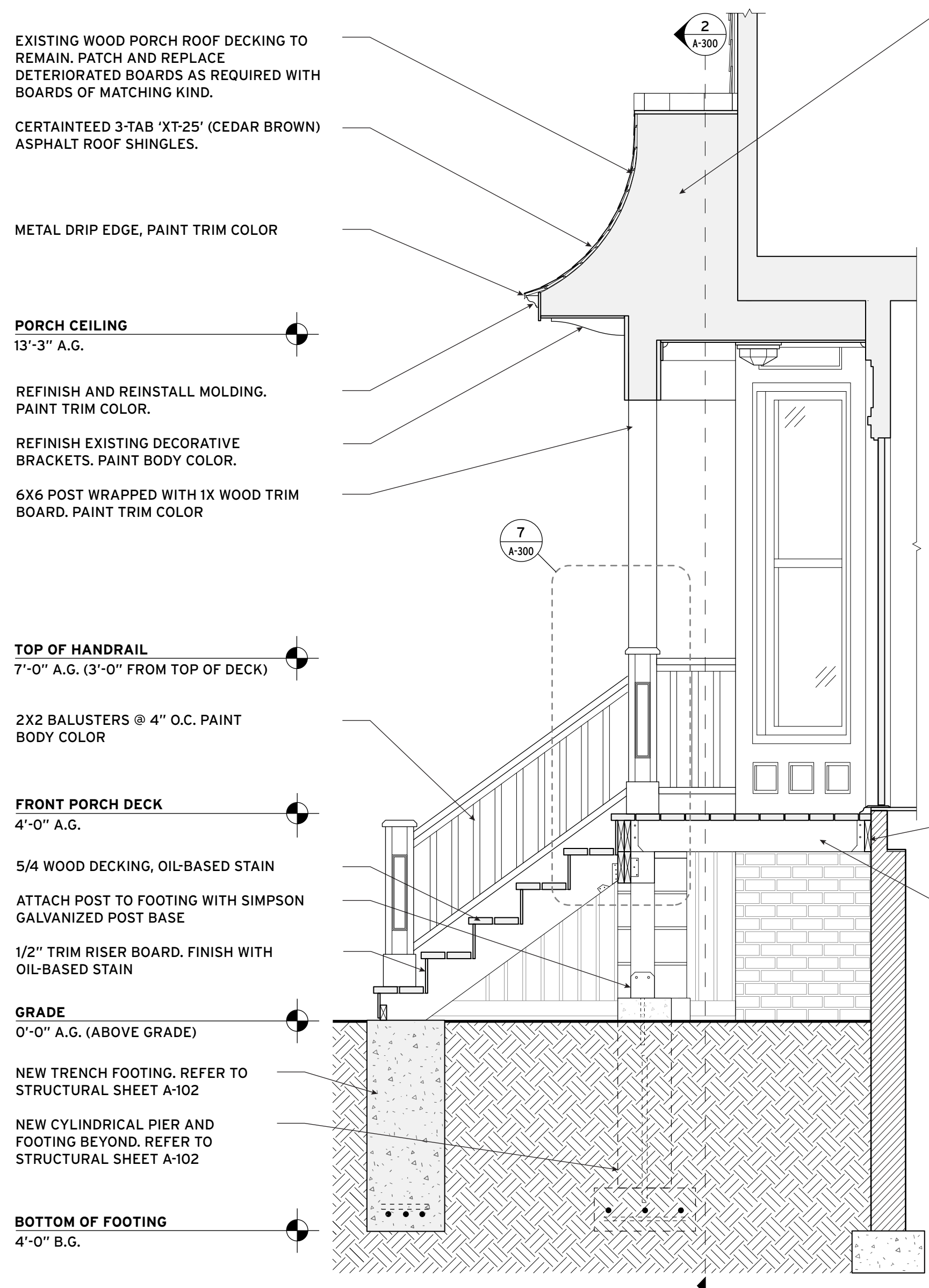
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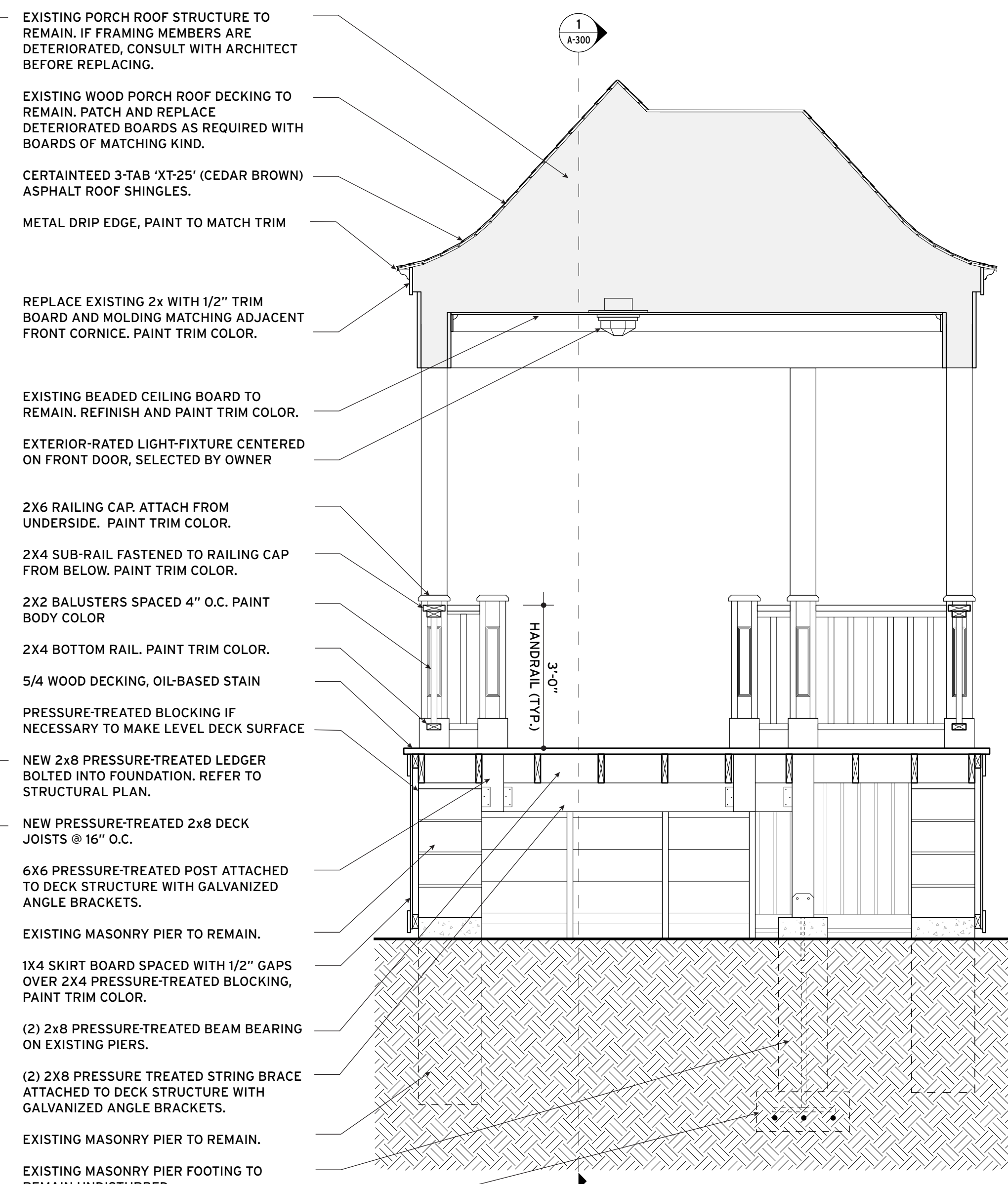
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PORCH DETAILS

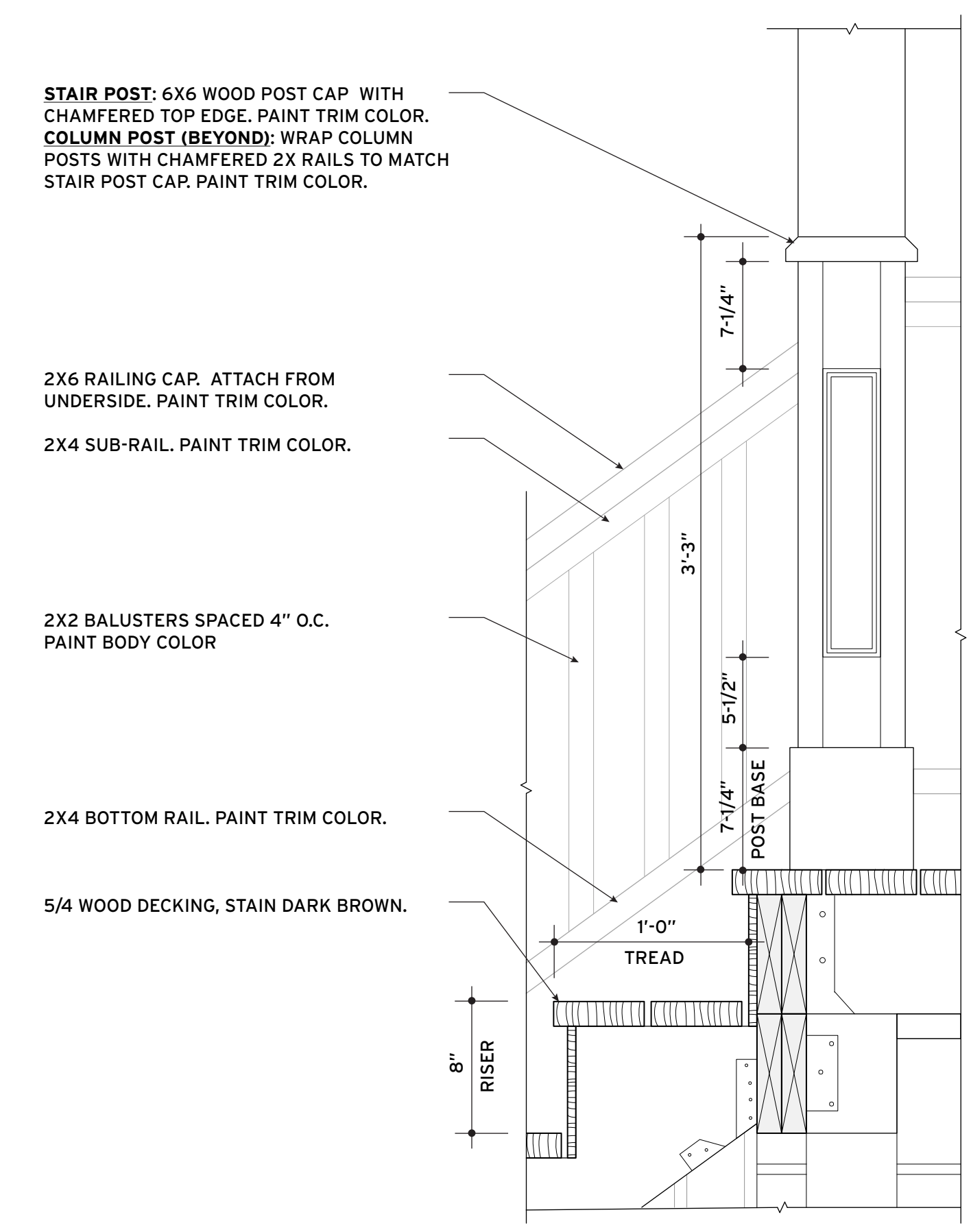
A-300



1 FRONT PORCH SOFFIT AND STAIR SECTION
SCALE: 5/8" : 1'-0"



2 FRONT PORCH SECTION
SCALE: 5/8" : 1'-0"



3 FRONT PORCH DETAIL
SCALE: 1-1/2" : 1'-0"

EXISTING WOOD SHINGLE OR LAP SIDING TO BE REFINISHED. CUT TOP ROW TO FIT NEW FLASHING AND TRIM.

EXISTING HEADER AND STUD WALL TO REMAIN. REFER TO STRUCTURAL PLAN A-103 FOR NEW HEADER.

NEW METAL HEAD FLASHING

NEW EXTERIOR WINDOW TRIM. REFER TO ELEVATIONS A-200.

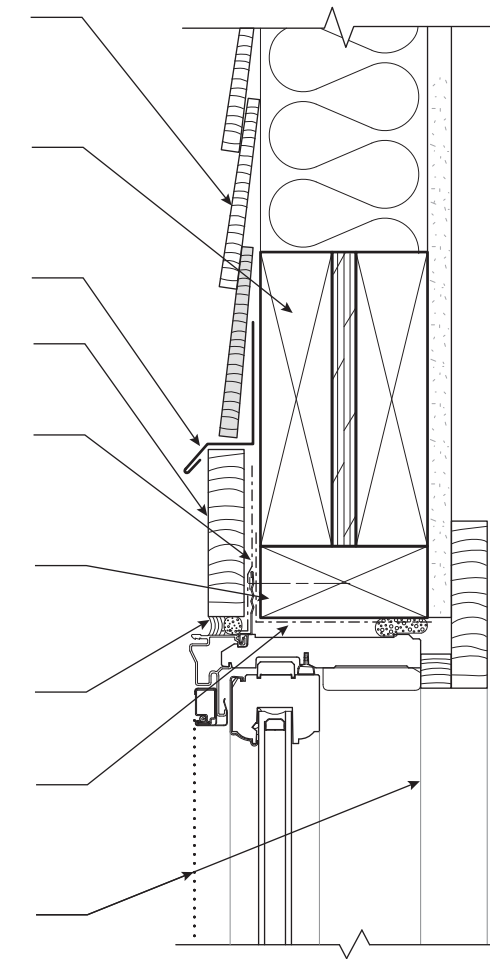
SELF-ADHERED MEMBRANE HEAD FLASHING OVER NAILING FLANGE. SEAL TOP EDGE WITH COMPLIANT SEALANT

NEW 2X4 BLOCKING. EXISTING WINDOW CASING TO BE CUT BACK TO ALLOW FOR INSTALLATION OF NEW WINDOW.

PAINTABLE EXTERIOR GRADE CAULK SEALANT. PAINT TRIM COLOR

NEW LIQUID-APPLIED OR SHEET MEMBRANE FLASHING, TURN DOWN 2" OVER JAMB FLASHING.

NEW WINDOW UNIT - REFER TO WINDOW SCHEDULE



3 NEW WINDOW HEAD DETAIL AT SIDING

SCALE: 3" : 1'-0"

EXISTING WOOD SHINGLE OR LAP SIDING TO BE REFINISHED.

NEW EXTERIOR WINDOW TRIM. REFER TO ELEVATIONS A-200.

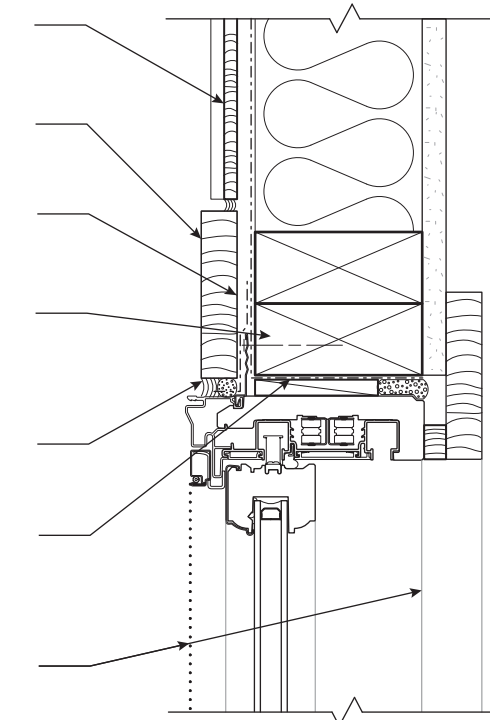
SELF-ADHERED MEMBRANE JAMB FLASHING OVER NAILING FLANGE.

NEW 2X4 BLOCKING. EXISTING WINDOW CASING TO BE CUT BACK TO ALLOW FOR INSTALLATION OF NEW WINDOW.

PAINTABLE EXTERIOR GRADE CAULK SEALANT. PAINT TRIM COLOR

NEW LIQUID-APPLIED OR SHEET MEMBRANE JAMB FLASHING, LAP OVER TURNED-UP SILL FLASHING

NEW WINDOW UNIT - REFER TO WINDOW SCHEDULE



4 NEW WINDOW JAMB DETAIL AT SIDING

SCALE: 3" : 1'-0"

NEW WINDOW UNIT - REFER TO WINDOW SCHEDULE

NEW 2X4 BLOCKING. EXISTING WINDOW CASING TO BE CUT BACK TO ALLOW FOR INSTALLATION OF NEW WINDOW.

NEW LIQUID-APPLIED OR SHEET MEMBRANE PAN FLASHING, TURN UP 3" AT JAMB. JAMB-FLASHING TO LAP OVER TURNED-UP SILL FLASHING.

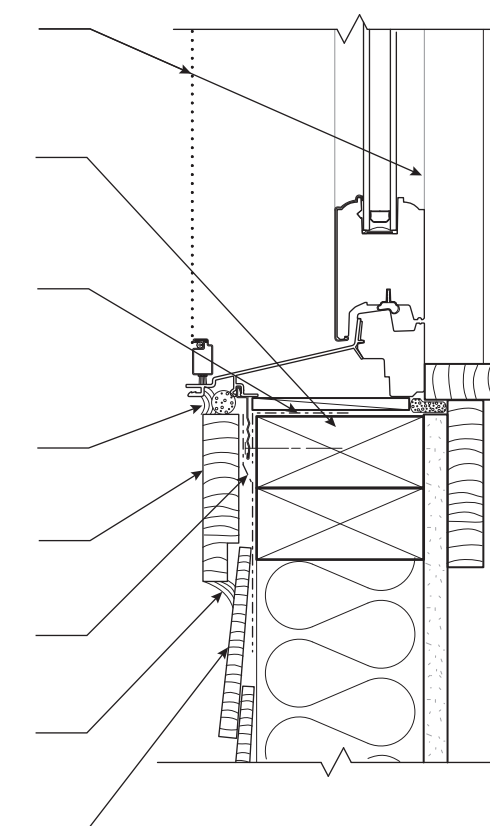
PAINTABLE EXTERIOR GRADE CAULK SEALANT. PAINT TRIM COLOR

NEW EXTERIOR WINDOW TRIM. REFER TO ELEVATIONS A-200.

SELF-ADHERED MEMBRANE JAMB FLASHING OVER NAILING FLANGE.

PAINTABLE EXTERIOR GRADE CAULK SEALANT. PAINT TRIM COLOR

EXISTING WOOD SHINGLE OR LAP SIDING TO BE REFINISHED.



5 NEW WINDOW SILL DETAIL AT SIDING

SCALE: 3" : 1'-0"

ROOF CONSTRUCTION:

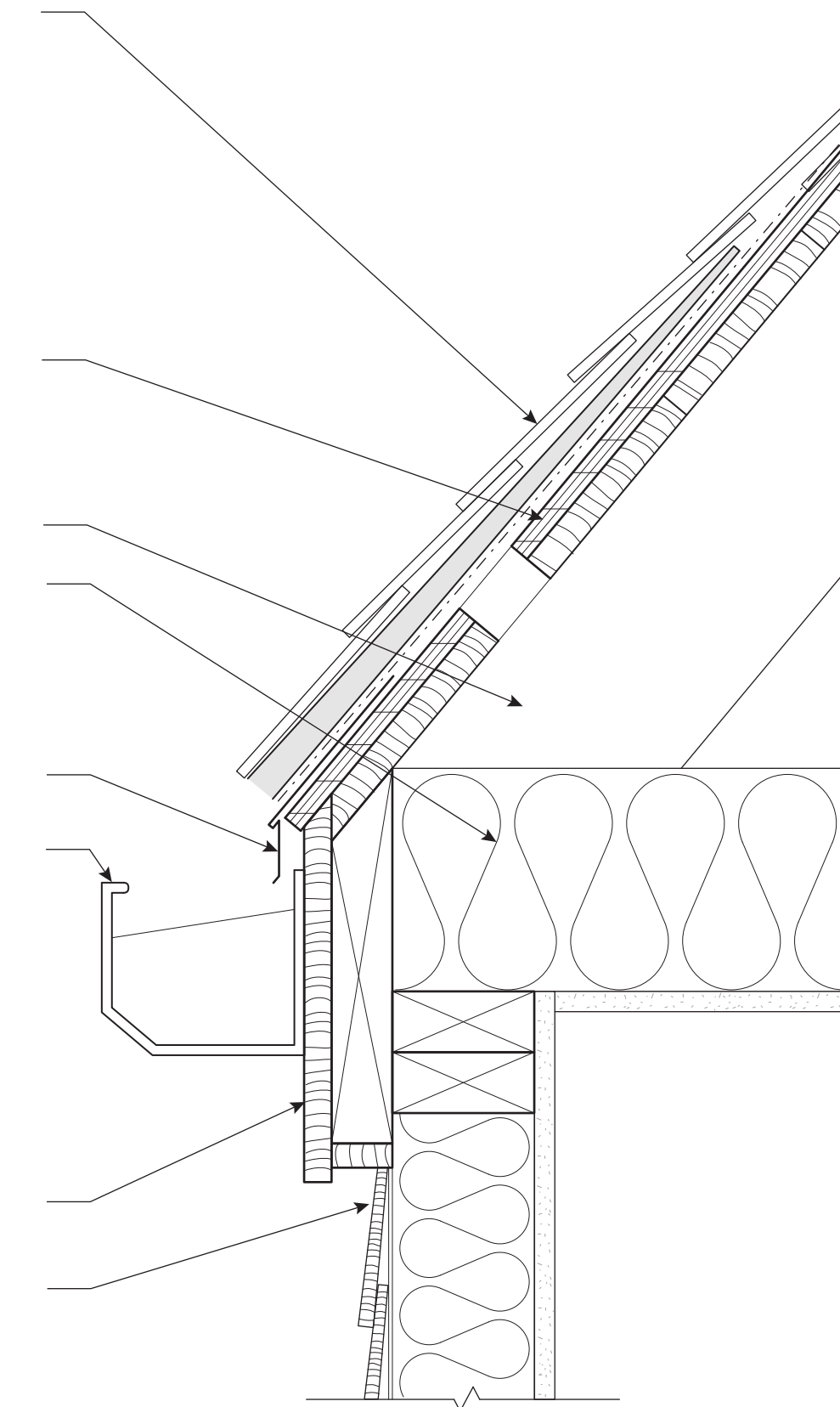
- A. NEW ATLAS 'STORMMASTER SHAKE' (BLACK SHADOW) ASPHALT ROOF SHINGLES.
 1. REMOVE ALL EXISTING SHINGLES
 2. INSTALL CONTINUOUS EDGE VENT SYSTEM AND CONTINUOUS ALUMINUM DRIP EDGES ACCORDING TO MANUFACTURER'S INSTRUCTIONS
 3. INSTALL 15LB BITUMINOUS ROOFING FELT OVER ENTIRE ROOF.
 4. INSTALL CONTINUOUS GRACE ICE AND WATER SHIELD, OR EQUAL, AT ALL EAVES AND IN ALL VALLEYS.
- B. 1/2" PLYWOOD (NOT OSB) OVER EXISTING ROOF DECKING. PATCH AND REPLACE WITH LIKE MATERIAL ANY PORTIONS OF THE EXISTING DECKING THAT IS DAMAGED, DETERIORATED, OR MISSING PRIOR TO INSTALLING NEW PLYWOOD.
- C. EXISTING WOOD RAFTERS TO REMAIN UNALTERED.
- D. R-40 LOOSE FILL CELLULOSE INSULATION IN ATTIC. INSTALL APPROPRIATE BAFFLES TO PROVIDE FOR REQUIRED VENTILATION.

PRE-FINISHED METAL DRIP EDGE. MATCH TRIM COLOR, OR BLACK.

5" SQUARE SEAMLESS 0.27 GAUGE ALUMINUM GUTTER, INSTALL WITH FULLY CONCEALED BRACKETS, SUPPORTS, AND ANCHORS. MATCH TRIM COLOR, OR BLACK.

1X WOOD FASCIA BOARD. PROVIDE CLOSURE BACK TO WALL ASSEMBLY. PAINT TRIM COLOR.

EXISTING WOOD SIDING TO BE REFINISHED. EXISTING TRIM AND SIDING TO BE CUT BACK TO ALLOW INSTALLATION OF NEW EAVE CONDITION.



1 EAVE CONDITION (TYPICAL)

SCALE: 3" : 1'-0"

NEW CEDAR LAP SIDING - MATCH PROFILE OF EXISTING LAP SIDING. ATTACH WITH STAINLESS STEEL NAILS DIRECTLY INTO STUDS AND PAINT BODY COLOR.

FILL ENTIRE CAVITY WITH BATT INSULATION - R21 MINIMUM PER CODE.

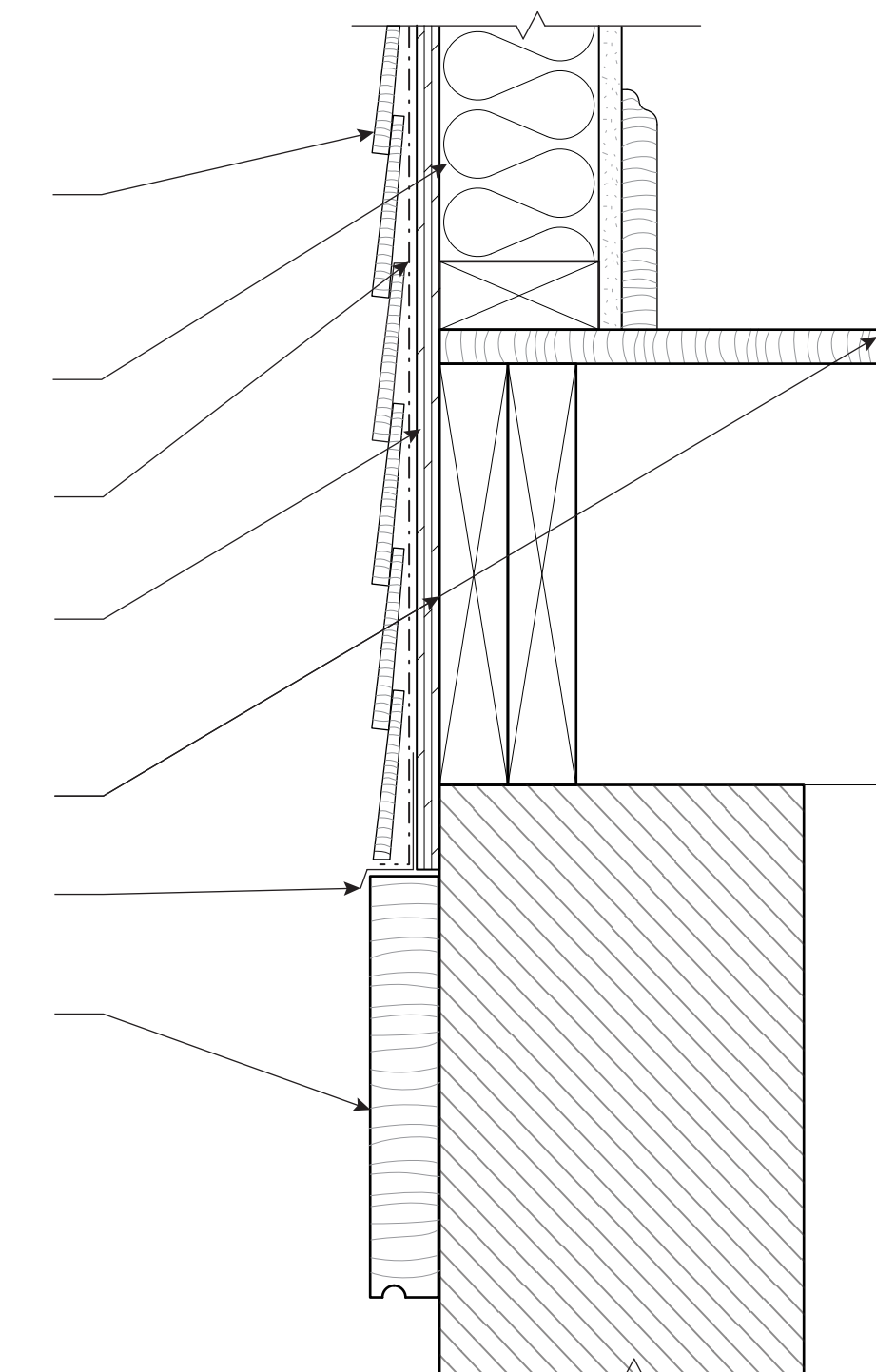
TYVEK BUILDING WRAP (OR EQUAL) - AT REAR FACADE ONLY. TAPE ALL JOINTS AND PENETRATIONS.

NEW 1/2" EXTERIOR GRADE APA RATED WALL SHEATHING - AT REAR FACADE ONLY - SCREWED INTO WALL STRUCTURE WITH APPROVED #8 DECK SCREWS AT 8" O.C.

EXISTING FLOOR STRUCTURE TO REMAIN

PRE-FINISHED METAL DRIP EDGE - MATCH TRIM COLOR, OR BLACK.

NEW 2X10 TRIM BOARD TO REPLACE EXISTING. PAINT TRIM COLOR.



2 EXTERIOR WALL DETAIL AT REAR FACADE

SCALE: 3" : 1'-0"

SYMBOLS

- Concrete Foundation
- Masonry Brick
- Masonry CMU Block
- Rigid Insulation Board
- Plywood Sheathing
- Wood (Solid or Composite)
- Insulation

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4. WHERE A NEW ASSEMBLY IS TO COORDINATE WITH AN EXISTING ASSEMBLY, MAKE ALL NECESSARY PREPARATIONS TO ENSURE A SMOOTH AND CONSISTENT FINISH ACROSS THE ENTIRE SURFACE.
5. PROVIDE EXPOSED PRE-FINISHED ALUMINUM FLASHING AT ALL ROOF VALLEYS, (5" MINIMUM) SHINGLES TO OVERLAP A MINIMUM OF 4" EACH SIDE.
6. PROVIDE PRE-FINISHED ALUMINUM STEP FLASHING AT CHIMNEYS.

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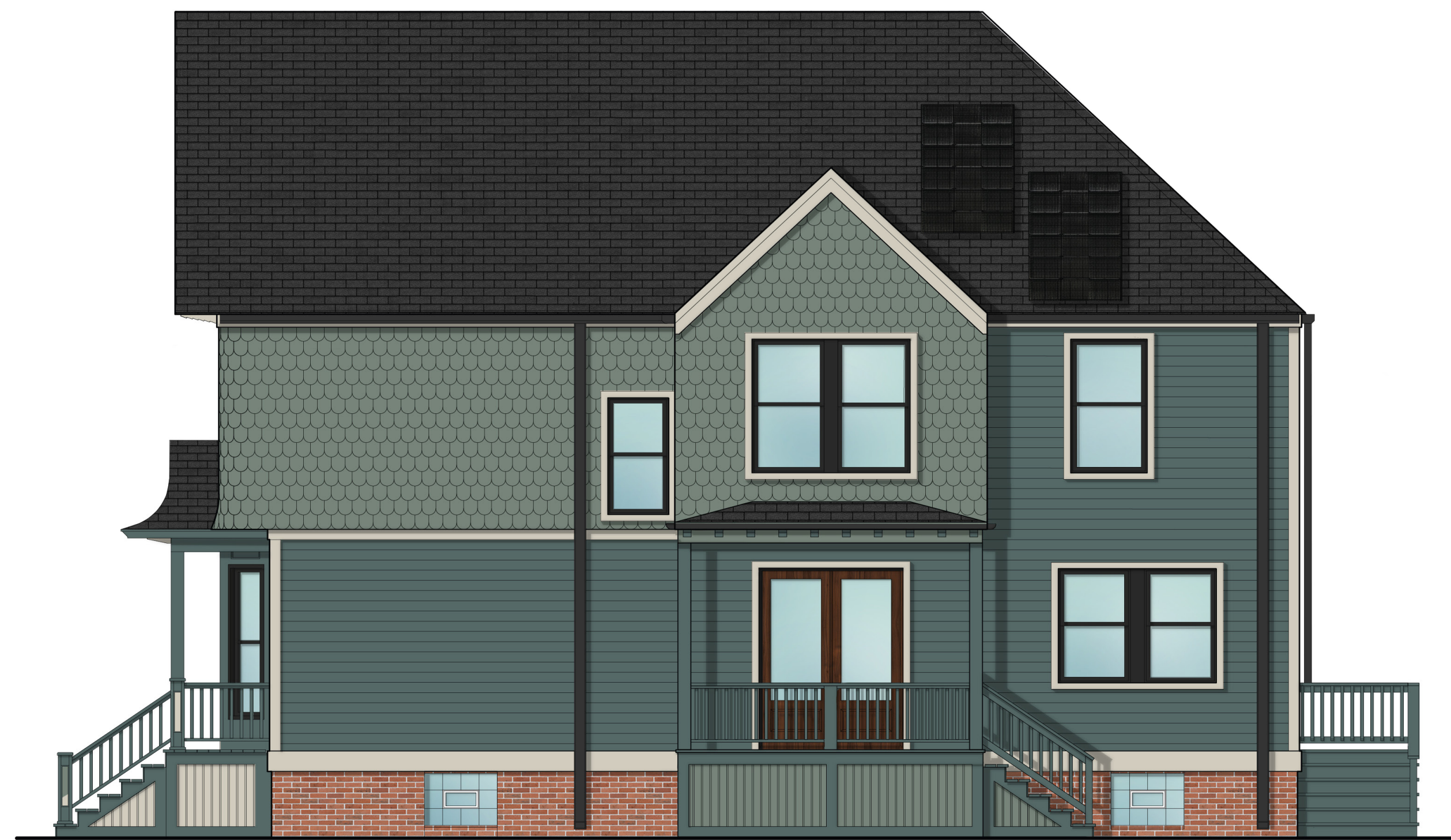
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BUILDING DETAILS

A-301



1 SOUTHWEST ELEVATION (SIDE)
SCALE: 1/4" : 1'-0"



2 SOUTHEAST ELEVATION (FRONT)
SCALE: 1/4" : 1'-0"



3 NORTHWEST ELEVATION (SIDE)
SCALE: 1/4" : 1'-0"



4 NORTHEAST ELEVATION (BACK)
SCALE: 1/4" : 1'-0"

PAINT COLORS

- BODY COLOR 1:**
Viking Ottoson Linseed-Oil, Custom Mix
Match HDC Color System B: B:10 Grayish Green
- BODY COLOR 2:**
Viking Ottoson Linseed-Oil, Custom Mix
Match HDC Color System B: B:12 Grayish Green
- TRIM COLOR:**
Viking Ottoson Linseed-Oil
Umber Grey
- WINDOW SASH COLOR:**
Match HDC Color System B: B:19 Black

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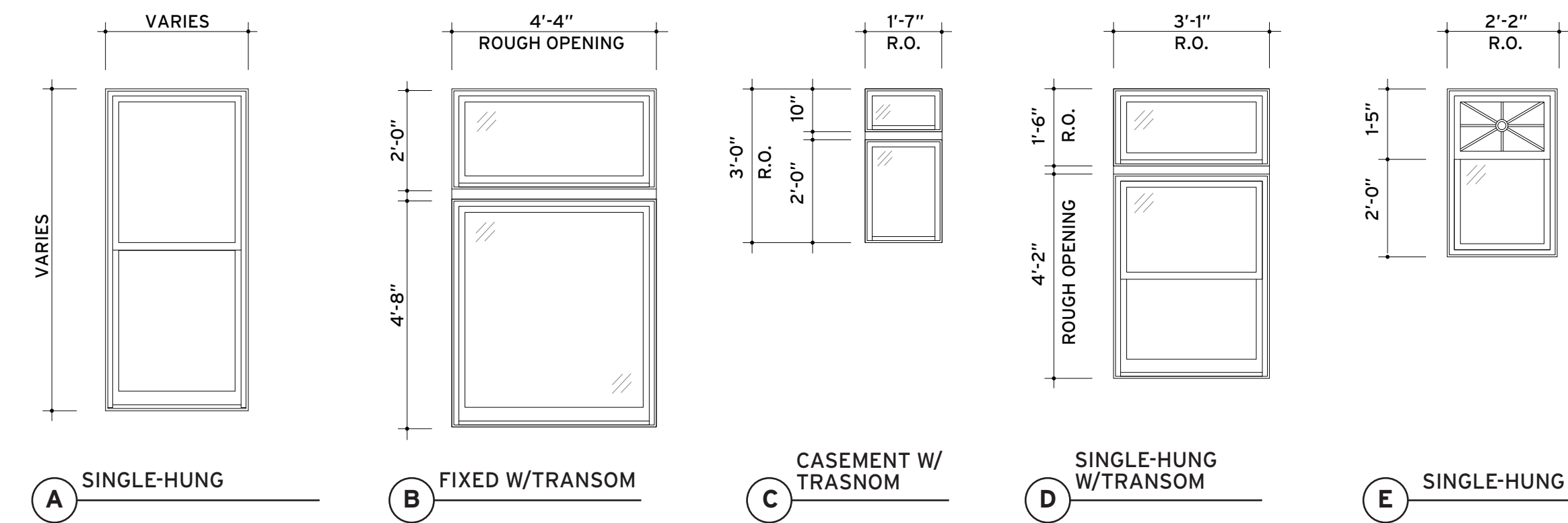
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PAINT DIAGRAMS

WINDOW SCHEDULE									
#	ROUGH OPENING		FRAME SIZE		OPERATION	TYPE	MATERIAL	MANUFACTURER/MODEL	NOTES
	W	H	W	H					
1.0	2'-6"	7'-0"			SINGLE-HUNG	A	WOOD (PINE/FIR)	MARVIN ULTIMATE WOOD	TO BE INSTALLED IN EXISTING OPENING
1.1a	4'-4"	4'-8"			FIXED	B	WOOD (PINE/FIR)	MARVIN ULTIMATE WOOD	TO BE INSTALLED IN EXISTING OPENING
1.1b	4'-4"	2'-0"			FIXED (TRANSOM)	B	WOOD (PINE/FIR)	MARVIN ULTIMATE WOOD	TO BE INSTALLED IN EXISTING OPENING
1.2	2'-6"	7'-0"			SINGLE-HUNG	A	WOOD (PINE/FIR)	MARVIN ULTIMATE WOOD	TO BE INSTALLED IN EXISTING OPENING
1.3	3'-2"	6'-10"			SINGLE-HUNG	A	WOOD (PINE/FIR)	MARVIN ULTIMATE WOOD	TO BE INSTALLED IN EXISTING OPENING
1.4	2'-8"	5'-4"			SINGLE-HUNG	A	WOOD (PINE/FIR)	MARVIN ULTIMATE WOOD	TO BE INSTALLED IN EXISTING OPENING
1.5	-	-	2'-8"	1'-0"	TRANSOM	-	WOOD (PINE/FIR)	MARVIN ULTIMATE WOOD	MATCH WIDTH TO NEW DOOR
1.6	-	-	1'-3"	4'-11"	SINGLE-HUNG	A	WOOD (PINE/FIR)	MARVIN ULTIMATE WOOD	NEW OPENING
1.7	3'-2"	5'-1"			SINGLE-HUNG	A	WOOD (PINE/FIR)	MARVIN ULTIMATE WOOD	TO BE INSTALLED IN EXISTING OPENING
1.8	3'-2"	5'-1"			SINGLE-HUNG	A	WOOD (PINE/FIR)	MARVIN ULTIMATE WOOD	TO BE INSTALLED IN EXISTING OPENING
2.0	1'-7"	3'-0"			CASEMENT+TRANSOM	C	WOOD (PINE/FIR)	MARVIN ULTIMATE WOOD	COMBINED UNIT - TO BE INSTALLED IN EXISTING OPENING
2.1	1'-7"	3'-0"			CASEMENT+TRANSOM	C	WOOD (PINE/FIR)	MARVIN ULTIMATE WOOD	COMBINED UNIT - TO BE INSTALLED IN EXISTING OPENING
2.2a	3'-1"	4'-2"			SINGLE-HUNG	D	WOOD (PINE/FIR)	MARVIN ULTIMATE WOOD	COMBINED UNIT - TO BE INSTALLED IN EXISTING OPENING
2.2b	3'-1"	1'-6"			FIXED (TRANSOM)	D	WOOD (PINE/FIR)	MARVIN ULTIMATE WOOD	COMBINED UNIT - TO BE INSTALLED IN EXISTING OPENING
2.3a	3'-1"	4'-2"			SINGLE-HUNG	D	WOOD (PINE/FIR)	MARVIN ULTIMATE WOOD	COMBINED UNIT - TO BE INSTALLED IN EXISTING OPENING
2.3b	3'-1"	1'-6"			FIXED (TRANSOM)	D	WOOD (PINE/FIR)	MARVIN ULTIMATE WOOD	COMBINED UNIT - TO BE INSTALLED IN EXISTING OPENING
2.4	2'-10"	6'-0"			SINGLE-HUNG	A	WOOD (PINE/FIR)	MARVIN ULTIMATE WOOD	TO BE INSTALLED IN EXISTING OPENING
2.5	2'-10"	6'-0"			SINGLE-HUNG	A	WOOD (PINE/FIR)	MARVIN ULTIMATE WOOD	TO BE INSTALLED IN EXISTING OPENING
2.6	2'-8"	4'-6"			SINGLE-HUNG	A	WOOD (PINE/FIR)	MARVIN ULTIMATE WOOD	TO BE INSTALLED IN EXISTING OPENING
2.7	3'-2"	6'-0"			SINGLE-HUNG	A	WOOD (PINE/FIR)	MARVIN ULTIMATE WOOD	TO BE INSTALLED IN EXISTING OPENING
2.8	3'-2"	6'-0"			SINGLE-HUNG	A	WOOD (PINE/FIR)	MARVIN ULTIMATE WOOD	TO BE INSTALLED IN EXISTING OPENING
2.9	3'-2"	6'-0"			SINGLE-HUNG	A	WOOD (PINE/FIR)	MARVIN ULTIMATE WOOD	TO BE INSTALLED IN EXISTING OPENING
2.10	2'-6"	5'-3"			SINGLE-HUNG	A	WOOD (PINE/FIR)	MARVIN ULTIMATE WOOD	TO BE INSTALLED IN EXISTING OPENING
3.0	2'-2"	3'-5"			SINGLE-HUNG	E	WOOD	RESTORATION	EXISTING WINDOW TO BE REPAIRED
3.1	2'-2"	3'-5"			SINGLE-HUNG	E	WOOD	RESTORATION	EXISTING WINDOW TO BE REPAIRED
3.2	2'-2"	3'-5"			SINGLE-HUNG	E	WOOD	RESTORATION	EXISTING WINDOW TO BE REPAIRED

GENERAL WINDOW NOTES
1. WINDOW CONTRACTOR IS TO VERIFY EXISTING OPENINGS PRIOR TO WINDOW FABRICATION.
2. WINDOW CONTRACTOR IS TO PROVIDE WEATHERSTRIPPING, JOINT SEALANTS, AND CLOSURES WHERE REQUIRED TO PRODUCE WEATHERPROOF AND DRAFT-FREE OPERATION.



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SCHEDULES

A-600