

Description of Existing Conditions.

- **3627 Lincoln.** The rear portion of the lot is flat and empty, with a dilapidated wood fence on the property line adjacent to the alley. Evidence of a previously existing accessory structure can be found in the rear portion of the lot closest to Brainard, and Sanborn maps show the previously existing structure, as well as 0' setback garages on neighboring lots. Currently, garages do not exist for the single family homes on the block as the properties were vacant for long periods and garages have collapsed.

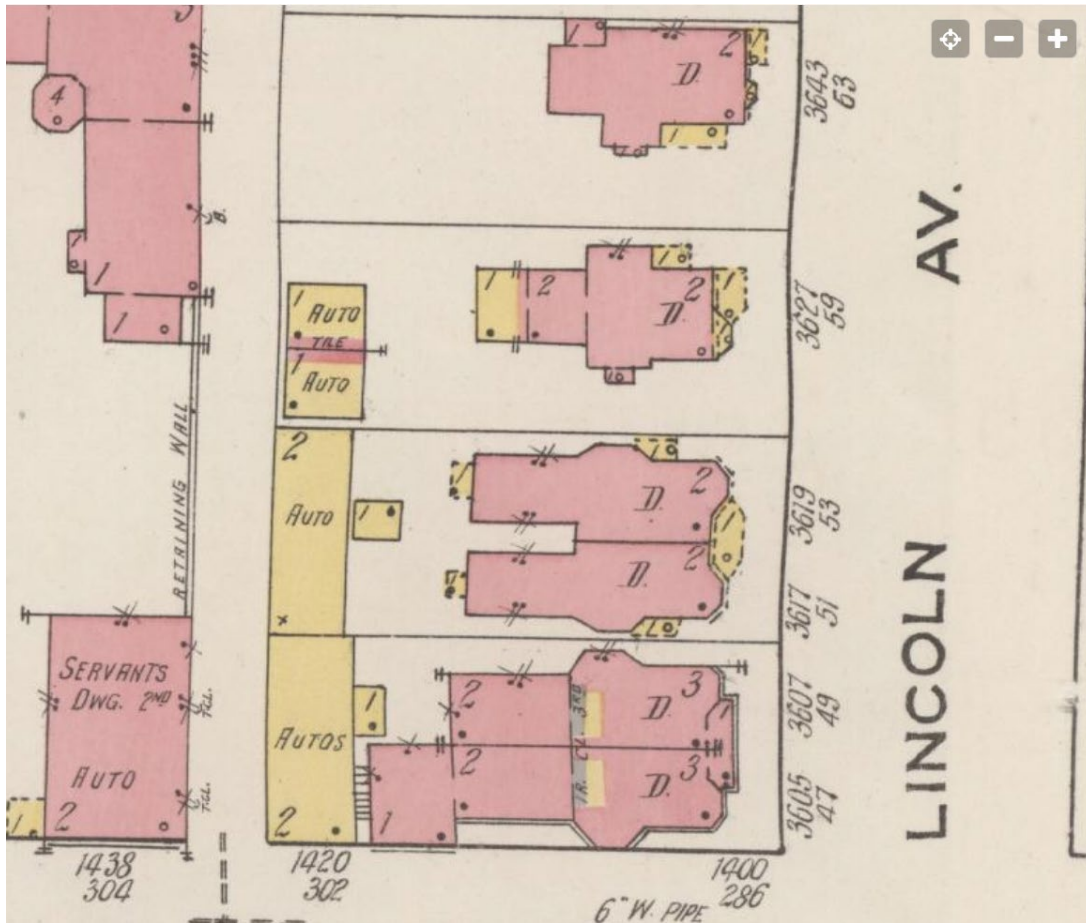


Figure 1: Sanborn Map 66

- **The block and surrounding area.** The block and surrounding area are currently under heavy development (Scripps project). Additionally, neighboring lots south of the parcel are owned by the land bank and planned to be developed into dense apartment complexes. With the increase in density, the residents who use parking on the street may find it more difficult to find parking near their residence.

Description of Project.

- The plan is to build a 3 car garage (22x40) in the rear of the lot. The construction crew working on the Scripps development on the other side of the alley is willing to work with me on development of the garage so we can make a cohesive alley throughway. Foundation work will be done first as the construction crews are available and in the area. The build up of the garage will happen next after final approval from the HDC.
- **The materials and layout of the garage described below are a fair representation of what is planned to be built. When construction of the above ground portion of the garage begins, the HDC will be consulted on the specific final details of materials, design and layout so that proper adjustments and approvals can be made.**

Detailed Scope of work.

Foundation -

- Remove existing, dilapidated wood fence.
- Dig and pour foundation.
- Lay one layer of CMU on perimeter as needed.
- Perform cement flat work on the interior perimeter of the footing.

Garage

- Build wood frame and roof
- Install roof / gutters
- Install exterior sheathing and materials
- Install pedestrian and garage doors

Garage and Site Layout

The garage will be set back 2' from the property line to allow for any construction that may happen during the build out of the new alley. There is an 8' clearance on left side in order to account for future buried electrical lines to the house. 2' offset remains on the right side. Minor adjustments may be made due to building and safety requirements. The alley side will have 3 garage doors. The side of the garage facing the house will have a regular sized pedestrian door and a large pedestrian door that opens the shop to the rear of the yard.

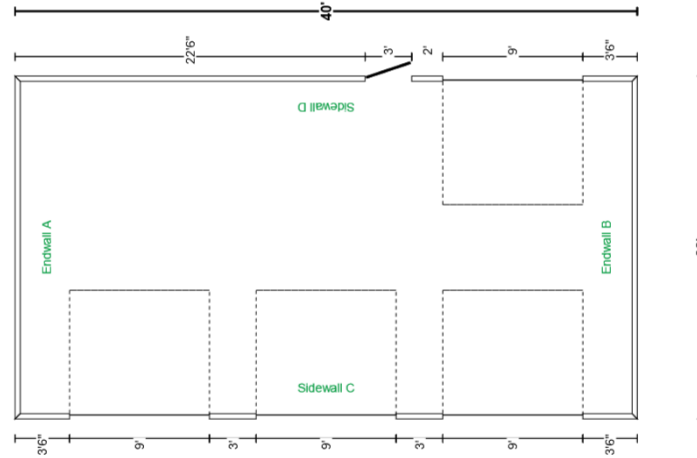


Figure 2: Garage Layout

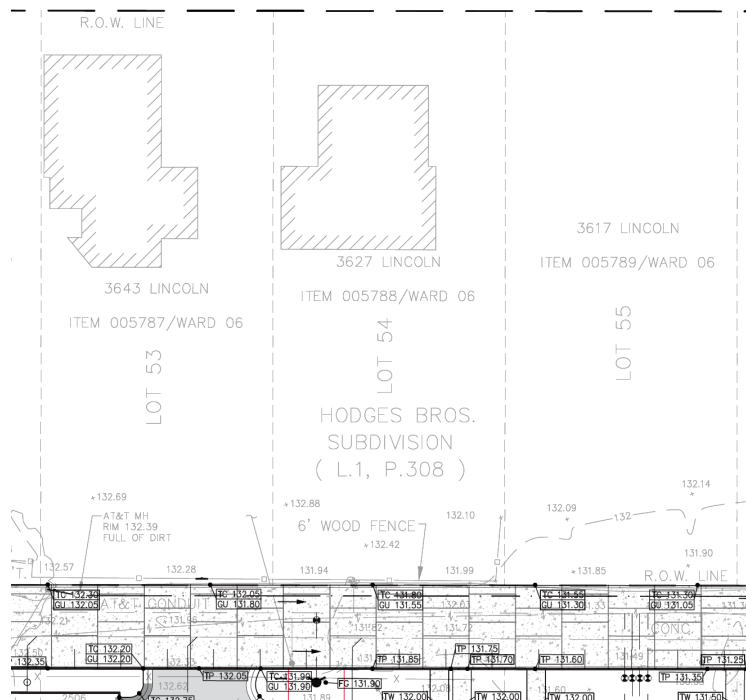


Figure 3: Surrounding Area

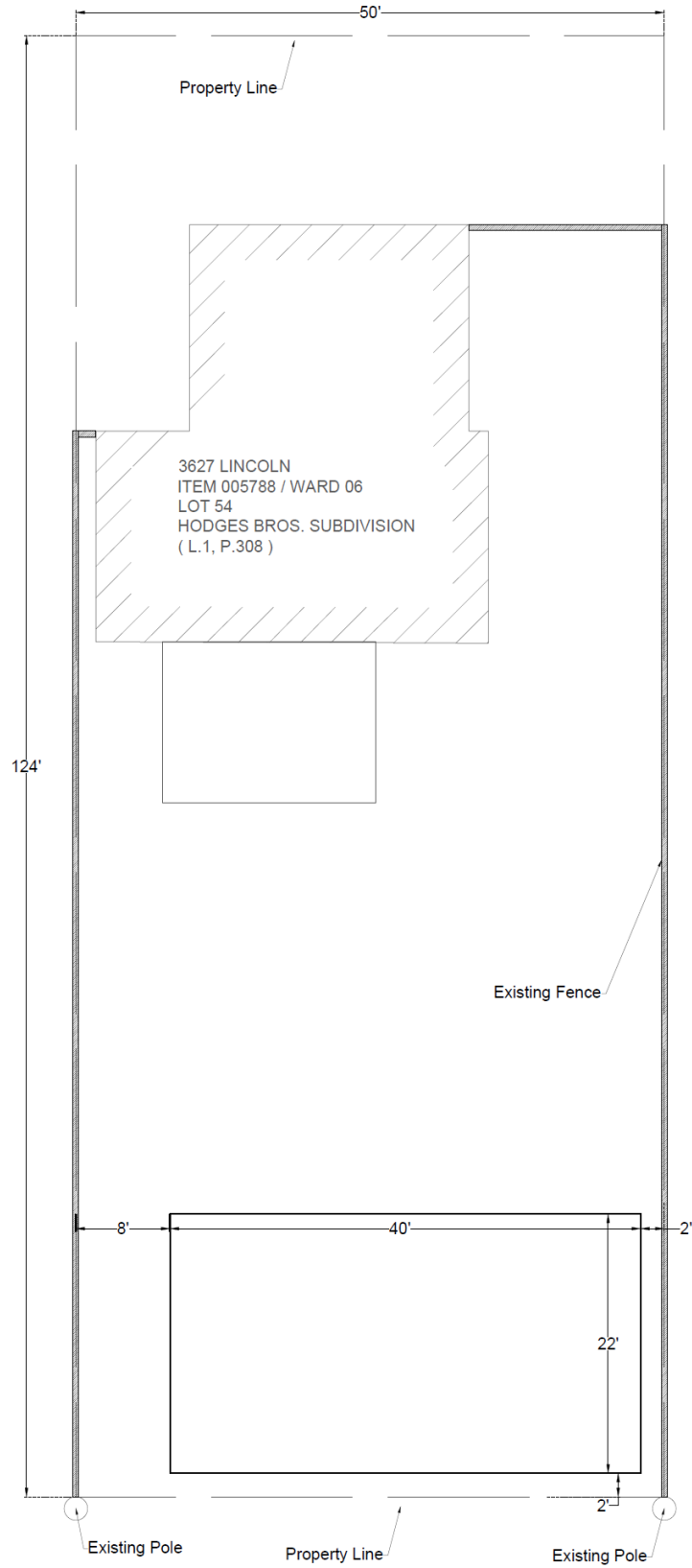


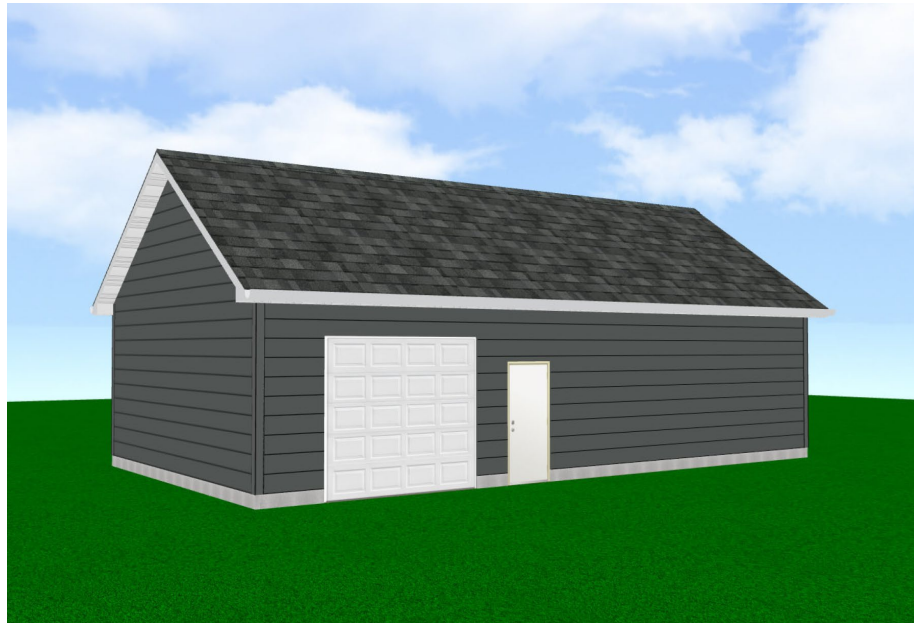
Figure 4: Parcel Layout and Setback

Garage Design

*Note, the picture below is only for structural design. Colors are not accurate. 8/12 pitch roof, 3 bay (aluminum doors), 1 foot over hang on eaves and gable. This is similar to garage designs in the area (shown in photos at the end of this doc).



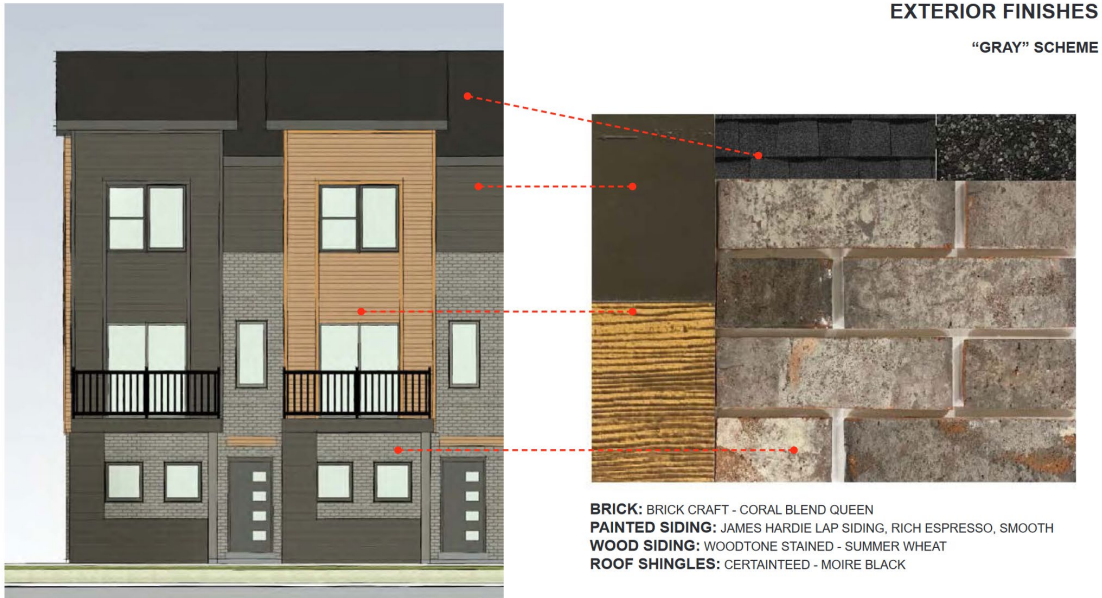
Alley Side



View from Backyard

Materials

The materials used for the garage will be the same or similar to those approved by the HDC for The Towns @ Scripps Park development. The design will use hardie board lap siding over the majority of the structure, wood siding for trim as appropriate, and dimensional shingles that match the color of the existing house. This is consistent with the "Gray Scheme", but will most likely not use brick due to cost. The original scheme can be seen on page 23 of https://detroitmi.gov/sites/detroitmi.localhost/files/hdc-submitted-materials/2021-01/012821_Towns%40ScrippsPark_HDC%20Package.pdf A screen shot is below. Note this is only for reference of what the materials will be.



Area Photos.



Rear of Lot, View from Above



Looking South, Towards Brainard



Looking North



Ground Level view



View of Fence across alley



Views from alley (North and South)



Remnants of an old accessory building north in the alley

Garages throughout Woodbridge with varying, sizes, heights, roof pitches, and layouts.

