

# 4138 LINCOLN RENOVATION

## HDC REVIEW



**PROJECT OWNER:**  
ERIC JONES AND PAMELA CASTILLO  
3926 AVERY ST.  
DETROIT, MI 48208  
ericd\_jones77@hotmail.com

**ARCHITECT:**  
SUBJECT STUDIO  
1577 ASH ST.  
DETROIT, MI 48208  
hi@subject-studio.com

**STRUCTURAL ENGINEER:**  
TBD

**GENERAL CONTRACTOR:**  
TBD

**DRAWING INDEX**

- COVER SHEET

**ARCHITECTURAL**

A-100 SITE PLAN  
A-101 ARCHITECTURE PLANS

A-200 EXTERIOR ELEVATIONS

A-300 PORCH DETAILS  
A-301 BUILDING DETAILS

A-400 PAINT DIAGRAMS

**PROJECT INFORMATION**

**ADDRESS:**  
4138 LINCOLN STREET  
DETROIT, MI 48208

**PROJECT DESCRIPTION**  
COMPLETE EXTERIOR REHABILITATION AND INTERIOR RENOVATION OF AN HISTORIC SINGLE-FAMILY RESIDENCE INCLUDING FRONT PORCH REPAIR AND NEW DECKS AT SIDE AND REAR

**LEGAL DESCRIPTION:**  
E LINCOLN S 30 FT 111 HODGES BROS  
SUB L1 P308 PLATS, W C R 6/53 30 X 120

**PARCEL ID:**  
06005445

**PARCEL USE CODE:**  
41110

**ZONING:**  
R3-RESIDENTIAL

**APPLICABLE CODES**

2015 Michigan Residential Code  
2015 Michigan Mechanical Code  
2017 Michigan Electrical Code  
2015 Michigan Plumbing Code

**BUILDING DATA**

2 Stories with Basement / Attic:  
BASEMENT LEVEL: 960 SF  
FIRST LEVEL: 975 SF  
SECOND LEVEL: 1030 SF  
TOTAL AREAS: 2965 SF

**CONSTRUCTION TYPE**

V-B

**ENERGY EFFICIENCY**

COMPLY WITH SECTION N102 OF THE 2015 MICHIGAN RESIDENTIAL CODE:

CLIMATE ZONE: 5A  
CEILING: R-38  
WOOD-FRAMED WALL: R-20  
FLOOR: R-20 (OR FILL CAVITY)  
BASEMENT WALL: R-10 / R-13  
SLAB: R-10 (2'-0" DEEP)

THIS DOCUMENT AND THE SUBJECT MATTER CONTAINED HEREIN IS PROPRIETARY AND IS NOT TO BE USED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF SUBJECT STUDIO LLC.  
DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY.

**ARCHITECT**  
SUBJECTSTUDIO  
1577 ASH ST.  
DETROIT, MI 48208  
hi@subject-studio.com  
313.364.9859



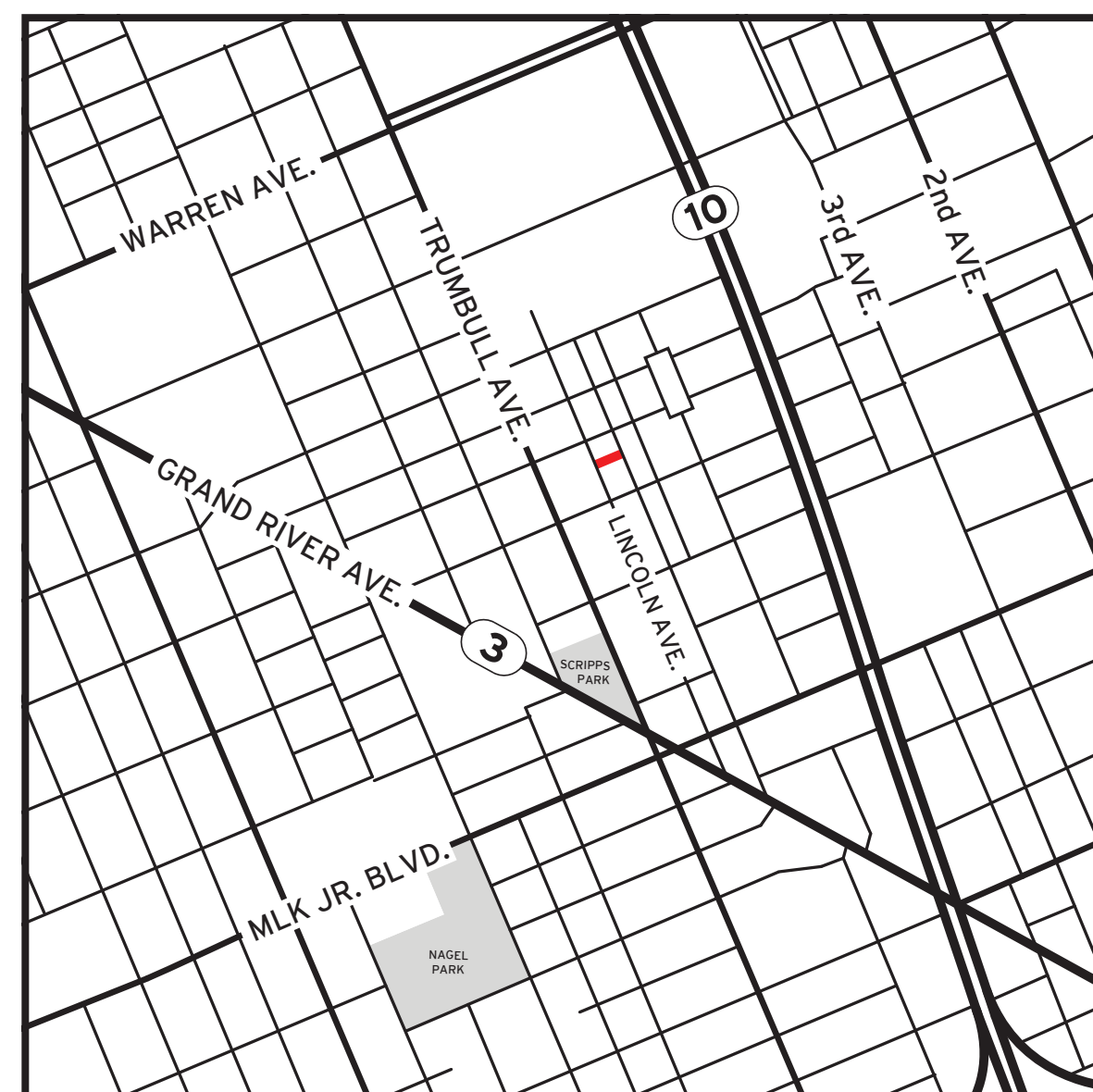
**CONSULTANTS**

**SEAL**

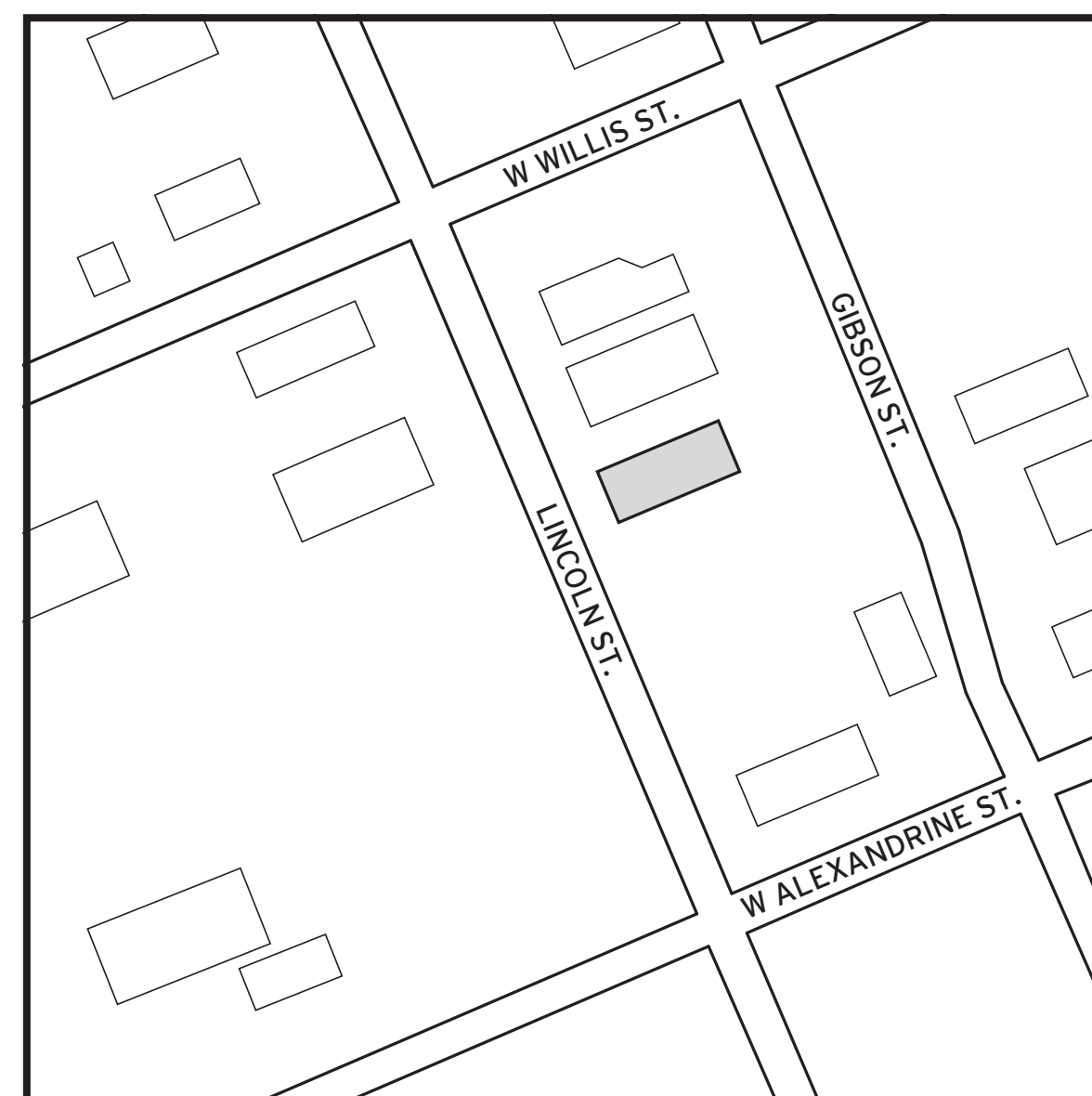
**DATE SET**  
08/21/23 HDC REVIEW

**COVER SHEET**

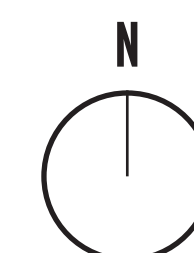
**A-000**



1 LOCATION REFERENCE  
SCALE: NOT TO SCALE

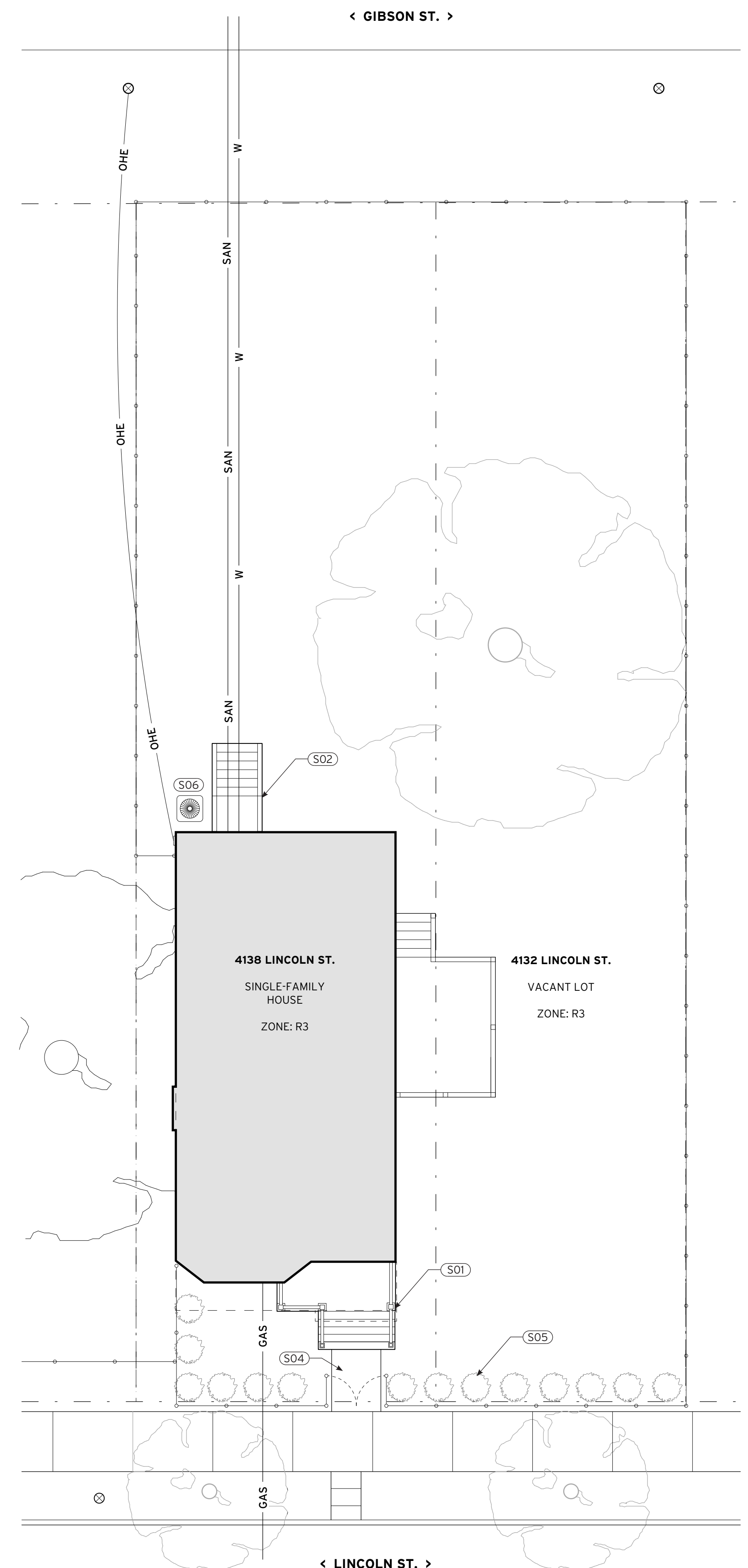


2 SITE AREA PLAN  
SCALE: NOT TO SCALE



DRAWING SYMBOLS	
	EXTERIOR ELEVATION
	DETAIL CALLOUT
	SECTION TAG
	INTERIOR ELEVATION
	LEVEL REFERENCE
	WALL TYPE TAG
	KEYNOTE TAG
	WINDOW TAG
	ROOM TAG
	DOOR TAG

ABBREVIATIONS	
V.I.F.	VERIFY IN FIELD
O.C.	ON CENTER
DIA.	DIAMETER
U.O.N.	UNLESS OTHERWISE NOTED
PTD.	PAINTED
V.TO.	VENT TO OUTSIDE
U.S.	UNDERSIDE
A.F.F.	ABOVE FINISH FLOOR
A.G.	ABOVE GRADE
TYP.	TYPICAL
H	HEIGHT
W	WIDTH
D	DEPTH
MAT'L	MATERIAL
REQ'D	REQUIRED
SIM.	SIMILAR
CLG.	CEILING
EX.	EXISTING
MTD.	MOUNTED
T.M.E.	TO MATCH EXISTING
STD.	STANDARD
OCC.	OCCUPANT
ABV.	ABOVE
W.C.	WATER CLOSET (BATHROOM)
T&B	TOP AND BOTTOM
T&G	TONGUE AND GROOVE
PT.	PRESSURE-TREATED
V.W.O	VERIFY WITH OWNER
P.B.O.	PROVIDED BY OWNER
CONT.	CONTINUOUS
EQ.	EQUAL (FOR DIMENSIONS)



**SYMBOLS**

- - - - - Property Boundary
- SAN — Sanitary Service Line
- W — Water Service Line
- GAS — Gas Service Line
- OHE — Overhead Primary Electric Service Line
- COM — Overhead Low-Voltage Communications Service Line
- Existing Fence

**UTILITY NOTES**

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE/SHE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM HIS/HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL STANDARDS, SPECIFICATIONS, AND GUIDELINES FOR CONSTRUCTION.

**GENERAL NOTES**

1. THIS SITE AND BUILDING PLAN ARE DIAGRAMMATIC IN NATURE. ALL BOUNDARIES, LOCATIONS, TOPOGRAPHY, LEGAL MEETS AND BOUNDS, IMPROVEMENTS, MONUMENTS, ETC. ARE TO BE VERIFIED BY THE OWNER'S LAND SURVEYOR.
2. THE GENERAL CONTRACTOR IS TO VERIFY ALL SITE CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK
3. THE GENERAL CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS TO PROTECT EXISTING UNDERGROUND UTILITIES OR STRUCTURES NOT SCHEDULED FOR DEMOLITION (WHETHER SHOWN ON THE PLANS OR NOT) DURING THE CONSTRUCTION OF THIS PROJECT.
4. EQUIPMENT SHALL BE SELECTED AND OPERATED SUCH THAT STRUCTURES, UTILITIES, AND OTHER WORK THAT ARE TO REMAIN WILL NOT BE DAMAGED OR CAUSE INJURY TO WORKERS.
5. CONTRACTOR SHALL FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM WORK. THESE AREAS SHALL BE FILLED WITH ENGINEERED FILL OR SUITABLY EXCAVATED MATERIAL AND COMPACTED TO 95% OF MAXIMUM DENSITY.
6. ALL DEBRIS AND EXCESS EXCAVATED MATERIAL MUST BE LEGALLY DISPOSED OF.
7. ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE RULES AND REGULATIONS PERTAINING TO SAFETY ESTABLISHED BY OSHA AND ALL LOCAL CODES AND REQUIREMENTS

**SITE PLAN NOTES**

- S01 RESTORED WOOD-FRAMED FRONT PORCH AND RECONSTRUCTED STEPS
- S02 NEW WOOD-FRAMED REAR PORCH AND STEPS. ENSURE THAT NEW FOOTING PLACEMENTS DO NOT BEAR ON EXISTING UTILITY ROUTES BELOW.
- S03 EXISTING CHAIN-LINK FENCE AND GATE TO BE REMOVED
- S04 NEW CONCRETE WALKWAY TO REPLACE EXISTING
- S05 TAKE PRECAUTIONS TO PRESERVE ALL EXISTING HEDGEROW PLANTINGS
- S06 NEW AIR CONDENSER

**LEGAL DESCRIPTION**

THE FOLLOWING DESCRIBED PREMISES SITUATED IN THE CITY OF DETROIT, COUNTY OF WAYNE AND STATE OF MICHIGAN, TO WIT:  
 E LINCOLN S 30 FT III HODGES BROS SUB LI P308 PLATS, W C R 6/53 30 X 120  
 COMMONLY KNOWN AS:  
 4138 LINCOLN STREET, DETROIT, MICHIGAN 48208  
 PARCEL ID: 06005445

**4138 LINCOLN RENOVATION**  
 4138 LINCOLN ST. DETROIT, MI 48208

**ARCHITECT**  
**SUBJECTSTUDIO**  
 1577 ASH ST.  
 DETROIT, MI 48208  
 hi@subject-studio.com  
 313.364.9859



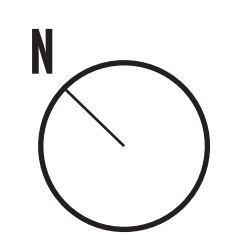
**CONSULTANTS**

**SEAL**

NOT FOR CONSTRUCTION

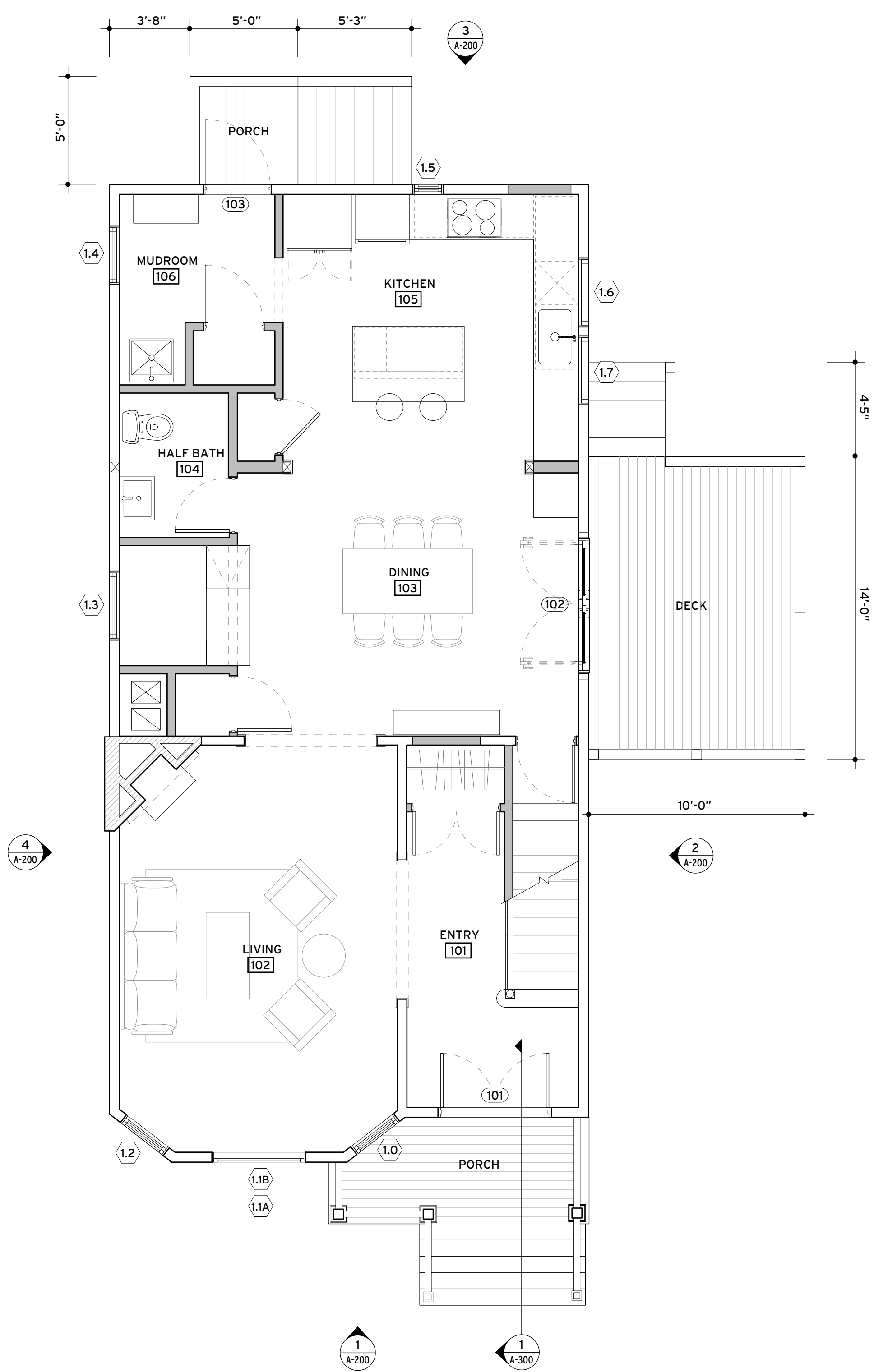
**DATE**    **SET**  
 08/21/23    HDC REVIEW

**1** SITE PLAN  
 SCALE: 1/8" = 1'-0"

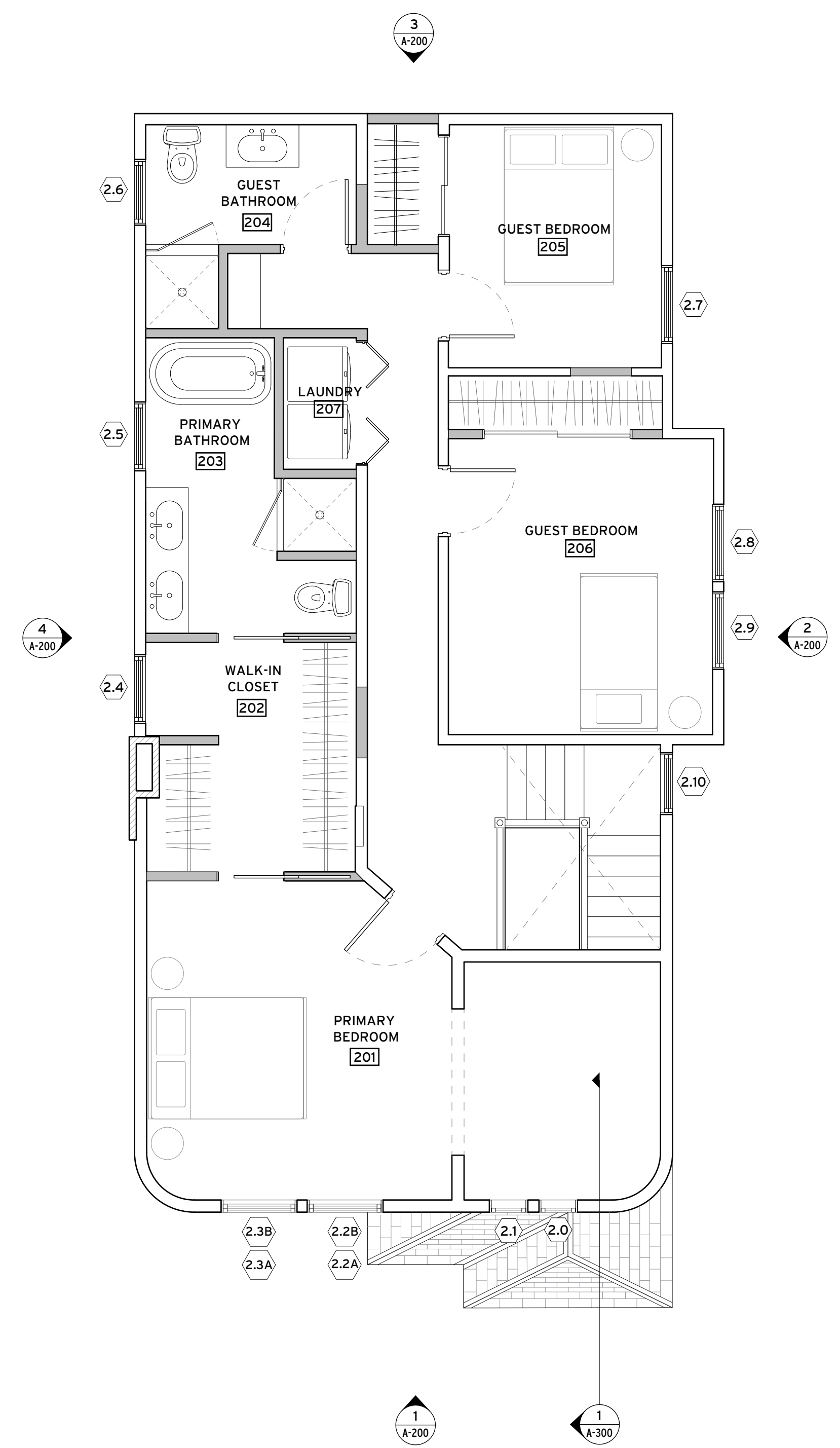


**SITE PLAN**

**A-100**



**1** FIRST FLOOR ARCHITECTURE PLAN  
SCALE: 1/4" = 1'-0"



**2** SECOND FLOOR ARCHITECTURE PLAN  
SCALE: 1/4" = 1'-0"

**SYMBOLS**

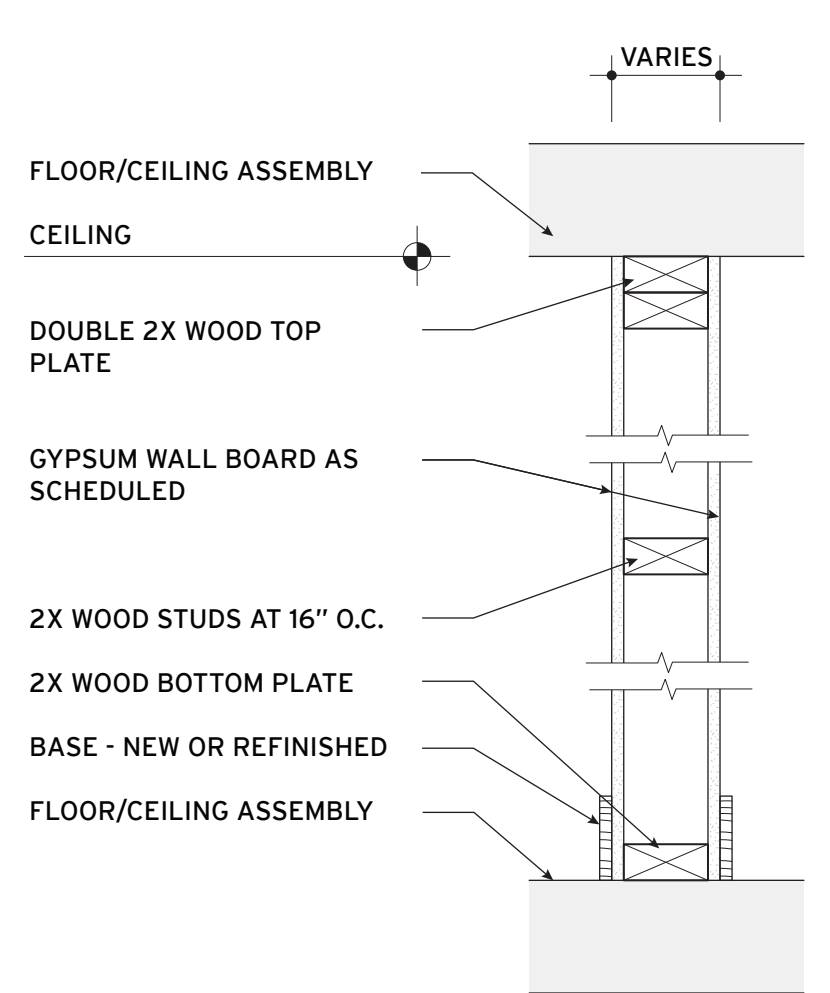
- Existing Brick Masonry Wall
- Existing Wood Stud Wall
- New Wood Stud Wall

**GENERAL NOTES**

1. IF CONFLICTS EXIST BETWEEN THESE DRAWINGS AND THE PHYSICAL CONDITIONS, CONTACT THE ARCHITECT UPON DISCOVERY PRIOR TO FURTHER PHYSICAL CONSTRUCTION.
2. ALL NEW INTERIOR WALL PARTITION CONSTRUCTION IS TO BE 'AT', UNLESS OTHERWISE NOTED - REFER TO WALL ASSEMBLY DETAILS ON THIS SHEET.
3. ALL DIMENSIONS ARE MEASURED FROM FINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED.
4. WHERE A NEW WALL IS TO COORDINATE WITH AN EXISTING WALL, MAKE ALL NECESSARY PREPARATIONS TO ENSURE A SMOOTH AND CONSISTENT FINISH ACROSS ENTIRE SURFACE.
5. FIRE-SEAL/FIRE-CAULK SEALANT TO BE INSTALLED AT ALL INTERSECTIONS, CONSTRUCTION ASSEMBLIES, PENETRATIONS, OR AS REQUIRED TO COMPLETE FIRE-BLOCKING CLOSURES PER APPLICABLE RESIDENTIAL CODE.
6. ALL WALL ASSEMBLIES LOCATED AT OR ADJACENT TO AN EXISTING EXTERIOR WALL, OR ARE LOCATED ADJACENT TO A COLD ZONE ARE TO RECEIVE A MINIMUM OF R-21 INSULATION PER CODE.
7. ALL LOCATIONS OF CEMENTITIOUS TILE BACKER BOARD ARE TO BE COORDINATED WITH THE OWNER AND SCHEDULED WALL ASSEMBLY.
8. GENERAL CONTRACTOR IS TO COORDINATE WITH OWNER TO PROVIDE BLOCKING WHERE REQUIRED TO SUPPORT MILLOWRK, EQUIPMENT, SHELVING, OR OTHER FINISHES.

**ARCHITECTURE NOTES**

**STRUCTURAL NOTES**



**A1** NON-FIRE RATED WALL ASSEMBLY  
2X4 WOOD CONSTRUCTION  
1/2" GYPSUM WALL BOARD - EACH SIDE  
WALL THICKNESS = 4-1/2"

**4138 LINCOLN RENOVATION**  
4138 LINCOLN ST. DETROIT, MI 48208

ARCHITECT  
**SUBJECTSTUDIO**  
1577 ASH ST.  
DETROIT, MI 48208  
hi@subject-studio.com  
313.364.9859



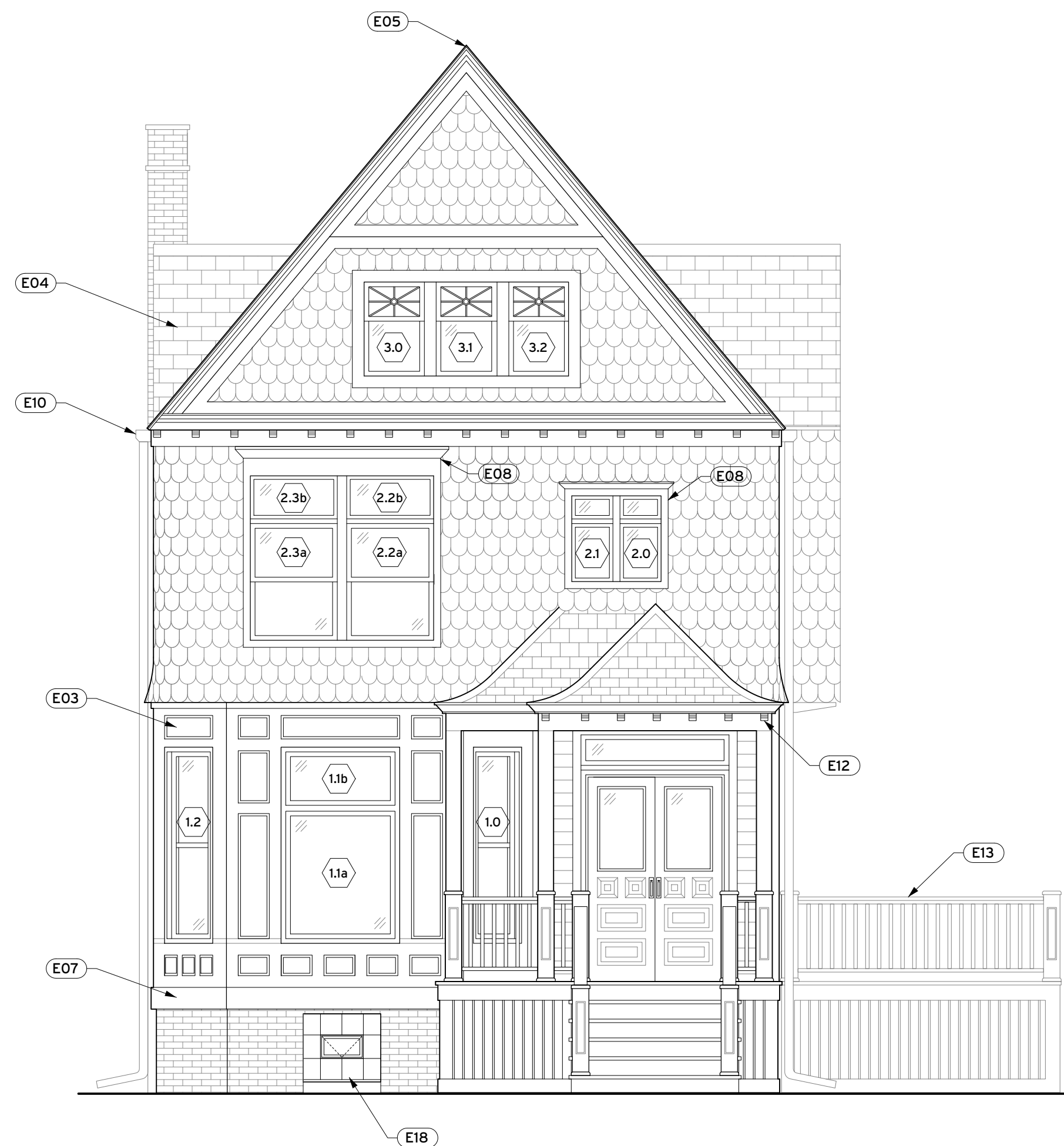
CONSULTANTS

SEAL

NOT FOR CONSTRUCTION

DATE SET  
08/21/23 HDC REVIEW

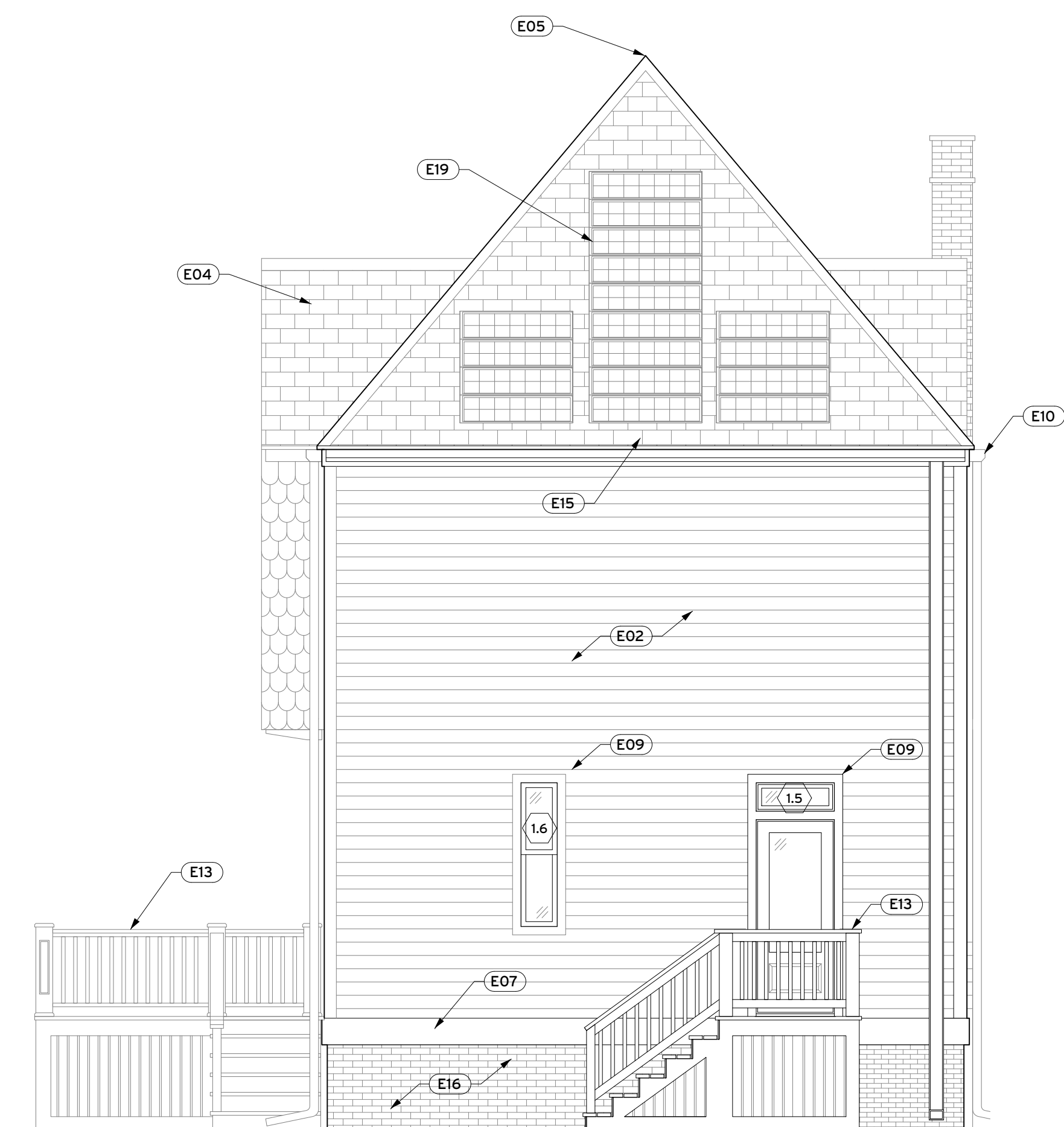
**ARCHITECTURE PLANS**



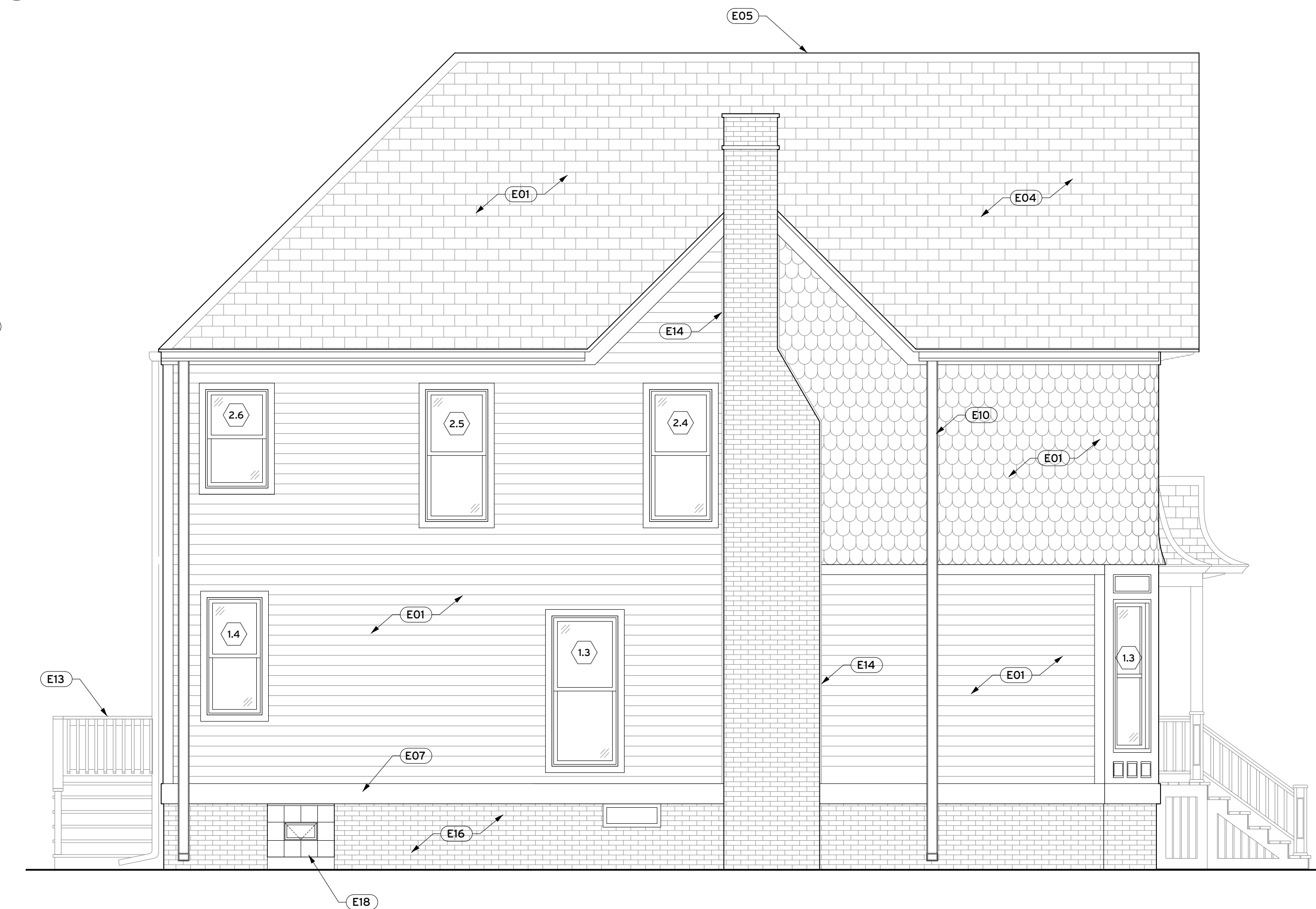
**1 FRONT ELEVATION (LINCOLN ST.)**  
SCALE: 1/4"=1'-0"



**2 SIDE ELEVATION (SOUTH)**  
SCALE: 1/4"=1'-0"



**3 REAR ELEVATION**  
SCALE: 3/16"=1'-0"



**4 SIDE ELEVATION (NORTH)**  
SCALE: 1/4"=1'-0"

**GENERAL NOTES**

1. IF CONFLICTS EXIST BETWEEN THESE DRAWINGS AND OTHER WITHIN THIS SET OR WITH THE PHYSICAL CONDITIONS, NOTIFY THE ARCHITECT UPON DISCOVERY PRIOR TO FURTHER PHYSICAL CONSTRUCTION.
2. ALL ASSEMBLIES ARE TO BE PERFORMED ACCORDING TO ASSEMBLY DETAILS, ASSOCIATED UL RATINGS, AND THE SPECIFICATIONS.
3. PROVIDE PRE-FINISHED ALUMINUM FLASHING, COUNTER FLASHING, AND DRIP EDGES WHEREVER NECESSARY OR INDICATED ON DRAWINGS TO MAINTAIN A WEATHER AND WATER TIGHT SEAL, AND TO PRESERVE ALL WARRANTIES.
4. PREPARE ALL WINDOW AND DOOR OPENINGS WITH CONTINUOUS FLASHING APPROPRIATE FOR THE ASSEMBLY AND MATERIAL APPLICATION.

**ELEVATION NOTES**

- E01 EXISTING WOOD SIDING TO BE REFINISHED - SAND ALL SURFACES TO SMOOTH. REMOVE ANY ROTTED OR DETERIORATED BOARDS AND PERFORM DUTCHMAN REPAIR OR REPLACE WITH BOARDS OF MATCHING PROFILE AND SPECIES. PAINT ACCORDING TO PAINT DIAGRAM.
- E02 NEW CEDAR LAP SIDING - MATCH PROFILE OF EXISTING LAP SIDING. ATTACH WITH STAINLESS STEEL NAILS DIRECTLY INTO STUDS AND PAINT ACCORDING TO PAINT DIAGRAM.
- E03 EXISTING WOOD PANELING AND TRIM TO BE REFINISHED - REMOVE BLOCKING FROM PREVIOUS SIDING. REPLACE ANY DETERIORATED TRIM BOARDS AND PATCH IN NEW MATCHING WOOD TRIM PIECES. SAND ALL SURFACE SMOOTH AND PAINT ACCORDING TO PAINT DIAGRAM.
- E04 NEW ASPHALT ROOF SHINGLES (BLACK) AND UNDERLAYMENT.
- E05 CONTINUOUS SHINGLE-CAPPED RIDGE VENT RUNNING THE FULL LENGTH OF THE TOP RIDGE. REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- E06 INSTALL ICE AND WATER SHIELD AT ALL EAVE CONDITIONS FROM EDGE OF ROOF TO 2'-0" BEYOND INTERIOR FACE OF WARM ZONE (EXTERIOR WALL), VALLEYS, AND RIDGES; PER CODE.
- E07 NEW 2X10 TRIM BOARD TO REPLACE EXISTING. PAINT ACCORDING TO PAINT DIAGRAM.
- E08 EXISTING TRIM BOARD / MOLDING TO BE REFINISHED - SAND TO REMOVE COATING, REMOVE ANY ROTTED OR DETERIORATED PORTIONS AND REPLACE WITH BOARDS OF MATCHING PROFILE AND SPECIES. CAULK ALONG EDGE OF TRANSITION TO SIDING AND PAINT.
- E09 NEW 1X4 CEDAR WOOD TRIM
- E10 6" SQUARE SEAMLESS 0.27 GAUGE ALUMINUM GUTTER AND DOWNSPOUTS (BLACK FINISH). INSTALL WITH FULLY CONCEALED BRACKETS, SUPPORTS, AND ANCHORS.
- E11 EXISTING BRACKETS TO BE REFINISHED - SAND SMOOTH AND PAINT ACCORDING TO PAINT DIAGRAMS. REPLACE MISSING BRACKETS IN PROFILE.
- E12 EXISTING FRONT PORCH ROOF TO REMAIN AND BE RESTORED INCLUDING STRUCTURE, CORNICE, DECORATIVE BRACKETS, AND WOOD BEAD BOARD CEILING. PORCH COLUMNS, BASE, BALUSTERS, NEWEL POSTS, SKIRTING, AND TRIM TO BE REPLACED PER DETAILS A-300.
- E13 NEW WOOD PORCH/DECK - REFER TO DECK SECTIONS
- E14 REMOVE DRIED AND LOOSE CAULK, CLEAN EDGES, AND CLOSE ANY GAPS BETWEEN CHIMNEY AND WALL WITH FIRE-PROOF CAULK
- E15 PATCH DEMOLISHED PORTION OF OLD ADDITION ROOF TO BLEND SEAMLESSLY WITH ROOF PITCH.
- E16 REPLACE AND REPOINT PORTIONS OF MASONRY FOUNDATION WALL THAT ARE SPALLING OR DETERIORATED.
- E17 EXISTING WINDOW TRIM TO BE REFINISHED - SAND ALL SURFACES TO REMOVE ANY COATING AND PAINT TRIM COLOR
- E18 INFILL BASEMENT WINDOW OPENING WITH 8" GLASS BLOCK WITH VENT OPENING
- E19 CERTAINTED "SOLSTICE SHINGLE" SOLAR PANEL ARRAY, BY OTHERS.

**4138 LINCOLN RENOVATION**

4138 LINCOLN ST. DETROIT, MI 48208

ARCHITECT  
SUBJECTSTUDIO  
1577 ASH ST.  
DETROIT, MI 48208  
hl@subject-studio.com  
313.364.9859



**CONSULTANTS**

**SEAL**

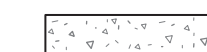
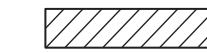


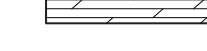
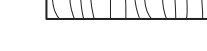

NOT FOR  
CONSTRUCTION

DATE SET  
08/21/23 HDC REVIEW

**EXTERIOR ELEVATIONS**

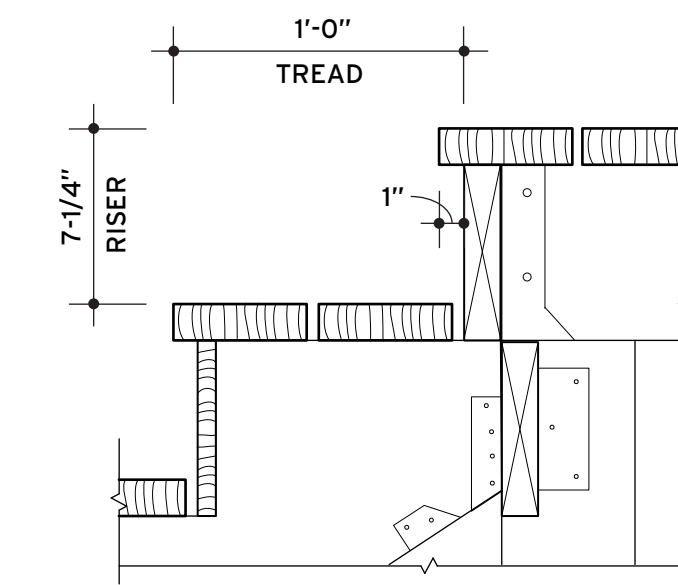
**A-200**

**SYMBOLS**

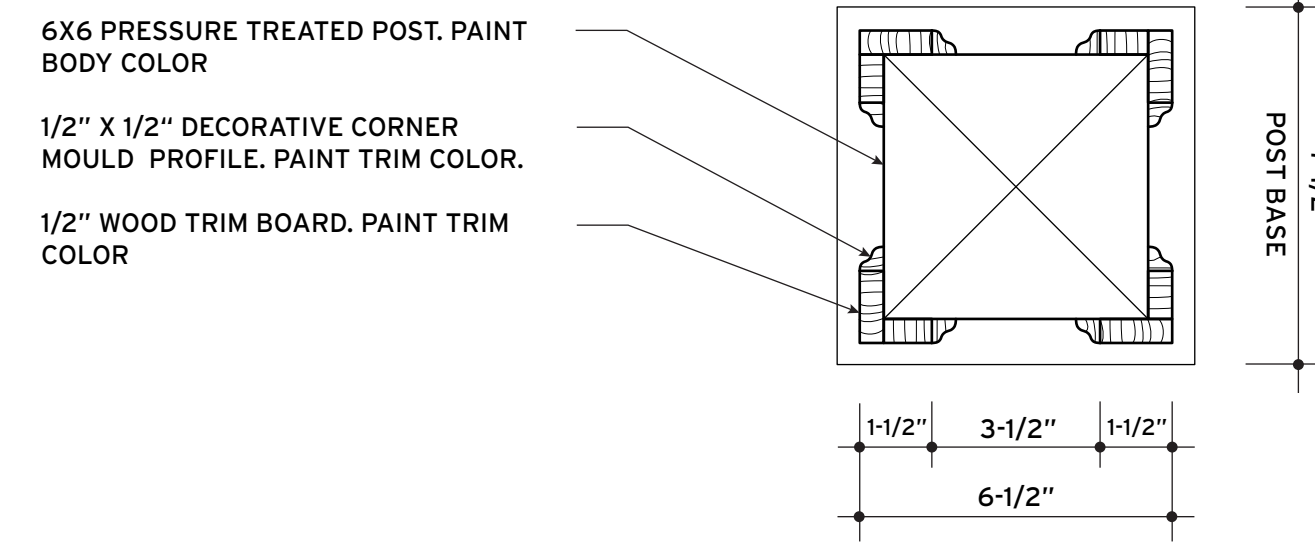
-  Concrete Foundation
-  Masonry Brick
-  Masonry CMU Block
-  Rigid Insulation Board
-  Plywood Sheathing
-  Wood (Solid or Composite)
-  Insulation

**GENERAL NOTES**

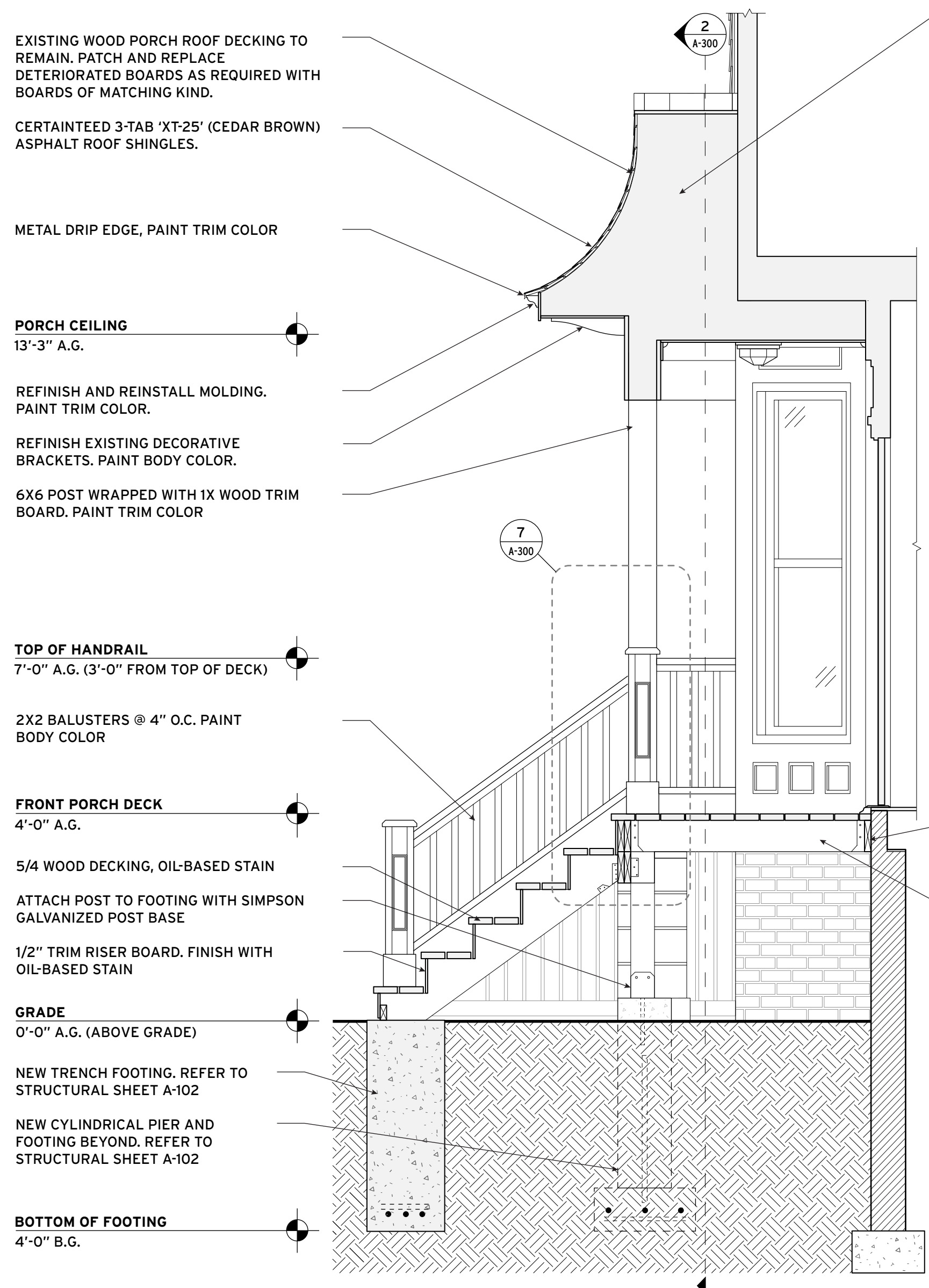
1. IF ANY GENERAL NOTE CONFLICTS WITH ANY DETAIL, OR NOTE ON THE PLANS OR IN THE SPECIFICATIONS, THE STRICTEST PROVISION SHALL GOVERN.
2. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO APPROVAL BY THE ARCHITECT.
3. THE ARCHITECT AND ENGINEER ASSUME NO RESPONSIBILITY FOR THE DESIGN OR PROPER INSTALLATION OF TEMPORARY BUILDING BRACING OR SHORING REQUIRED TO COMPLETE THE PROJECT.
4. WHERE A NEW ASSEMBLY IS TO COORDINATE WITH AN EXISTING ASSEMBLY, MAKE ALL NECESSARY PREPARATIONS TO ENSURE A SMOOTH AND CONSISTENT FINISH ACROSS THE ENTIRE SURFACE.
5. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE LOCAL JURISDICTION INCLUDING SECTION R317 STAIRWAYS OF THE 2015 MICHIGAN RESIDENTIAL CODE.
6. THE MAXIMUM STAIR RISER HEIGHT SHALL NOT EXCEED 8-1/4" MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS, AND MINIMUM TREAD DEPTH SHALL NOT BE LESS THAN 9" MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS.



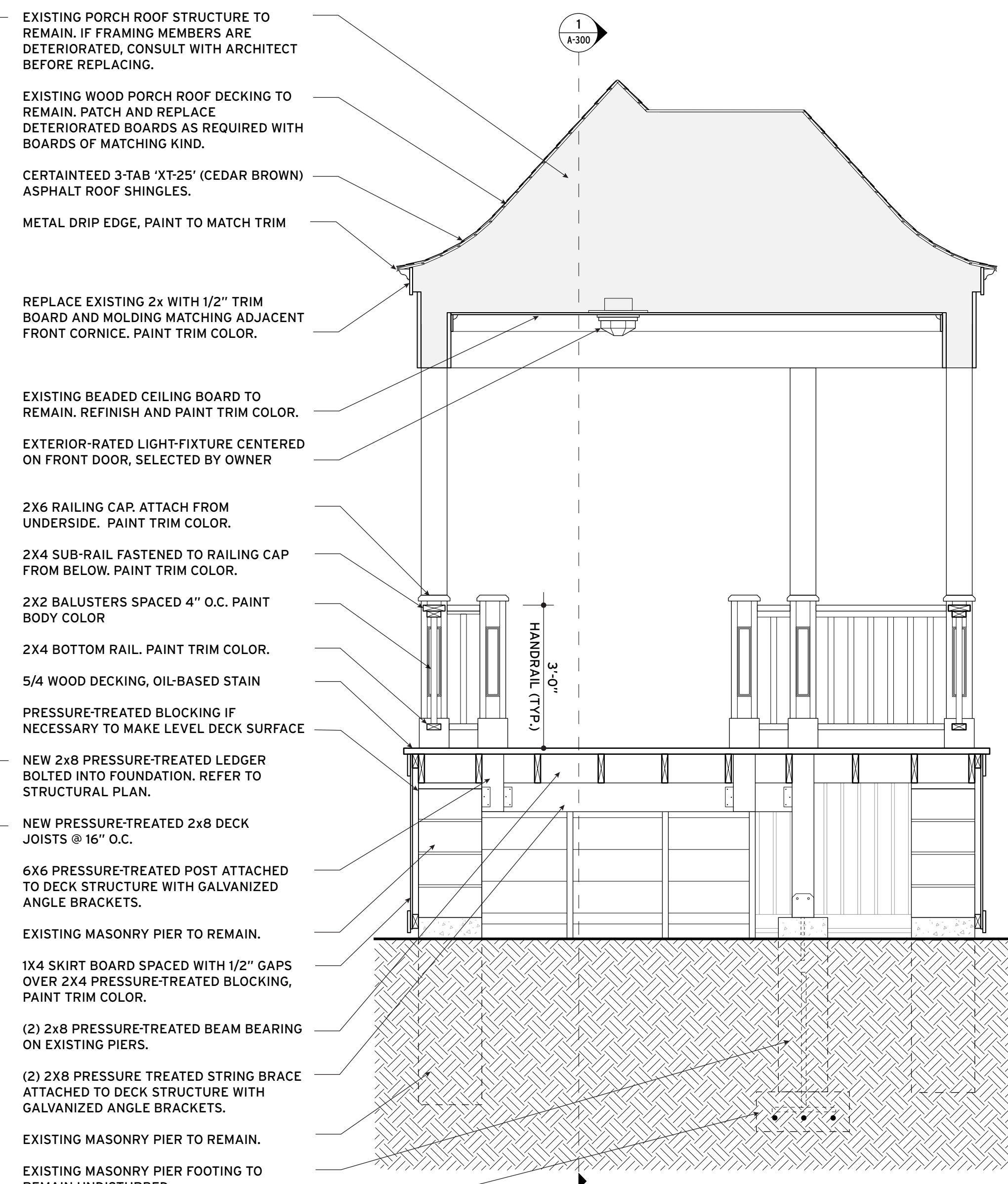
**4 SIDE PORCH STAIR DETAIL**  
SCALE: 1-1/2" : 1'-0"



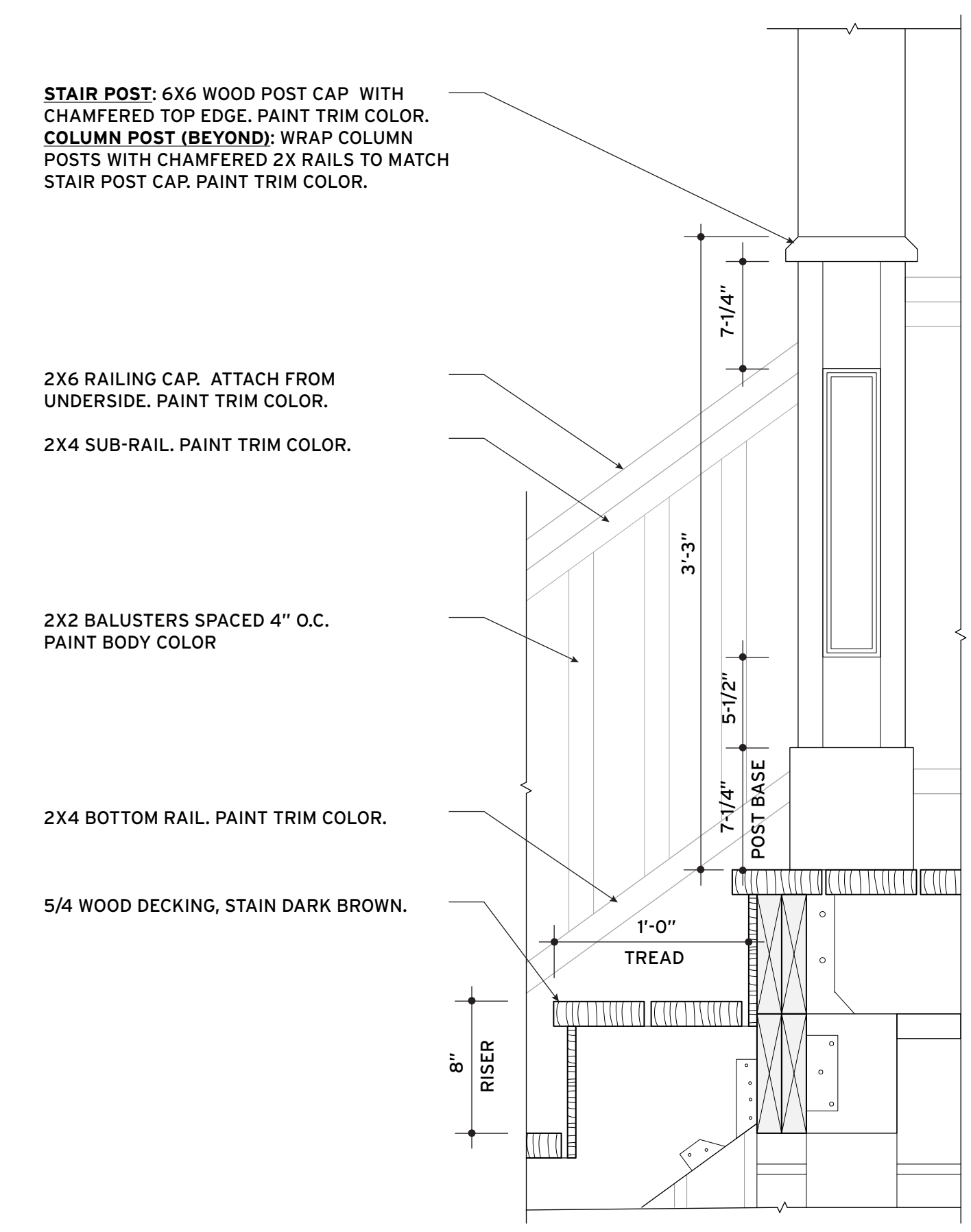
**5 PORCH NEWEL POST (TYP.)**  
SCALE: 3" : 1'-0"



**1 FRONT PORCH SOFFIT AND STAIR SECTION**  
SCALE: 5/8" : 1'-0"



**2 FRONT PORCH SECTION**  
SCALE: 5/8" : 1'-0"



**3 FRONT PORCH DETAIL**  
SCALE: 1-1/2" : 1'-0"

**4138 LINCOLN RENOVATION**  
4138 LINCOLN ST. DETROIT, MI 48208

ARCHITECT  
SUBJECTSTUDIO  
1577 ASH ST.  
DETROIT, MI 48208  
hi@subject-studio.com  
313.364.9859



CONSULTANTS

SEAL


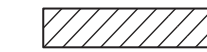

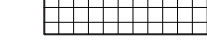
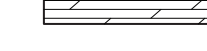


NOT FOR CONSTRUCTION

DATE SET  
08/21/23 HDC REVIEW

**PORCH DETAILS**

**A-300**

**SYMBOLS**

-  Concrete Foundation
-  Masonry Brick
-  Masonry CMU Block
-  Rigid Insulation Board
-  Plywood Sheathing
-  Wood (Solid or Composite)
-  Insulation

**GENERAL NOTES**

1. IF ANY GENERAL NOTE CONFLICTS WITH ANY DETAIL, OR NOTE ON THE PLANS OR IN THE SPECIFICATIONS, THE STRICTEST PROVISION SHALL GOVERN.
2. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO APPROVAL BY THE ARCHITECT.
3. THE ARCHITECT AND ENGINEER ASSUME NO RESPONSIBILITY FOR THE DESIGN OR PROPER INSTALLATION OF TEMPORARY BUILDING BRACING OR SHORING REQUIRED TO COMPLETE THE PROJECT.
4. WHERE A NEW ASSEMBLY IS TO COORDINATE WITH AN EXISTING ASSEMBLY, MAKE ALL NECESSARY PREPARATIONS TO ENSURE A SMOOTH AND CONSISTENT FINISH ACROSS THE ENTIRE SURFACE.
5. PROVIDE EXPOSED PRE-FINISHED ALUMINUM FLASHING AT ALL ROOF VALLEYS, (5" MINIMUM) SHINGLES TO OVERLAP A MINIMUM OF 4" EACH SIDE.
6. PROVIDE PRE-FINISHED ALUMINUM STEP FLASHING AT CHIMNEYS.

EXISTING WOOD SHINGLE OR LAP SIDING TO BE REFINISHED. CUT TOP ROW TO FIT NEW FLASHING AND TRIM.

EXISTING HEADER AND STUD WALL TO REMAIN. REFER TO STRUCTURAL PLAN A-103 FOR NEW HEADER.

NEW METAL HEAD FLASHING

NEW EXTERIOR WINDOW TRIM. REFER TO ELEVATIONS A-200.

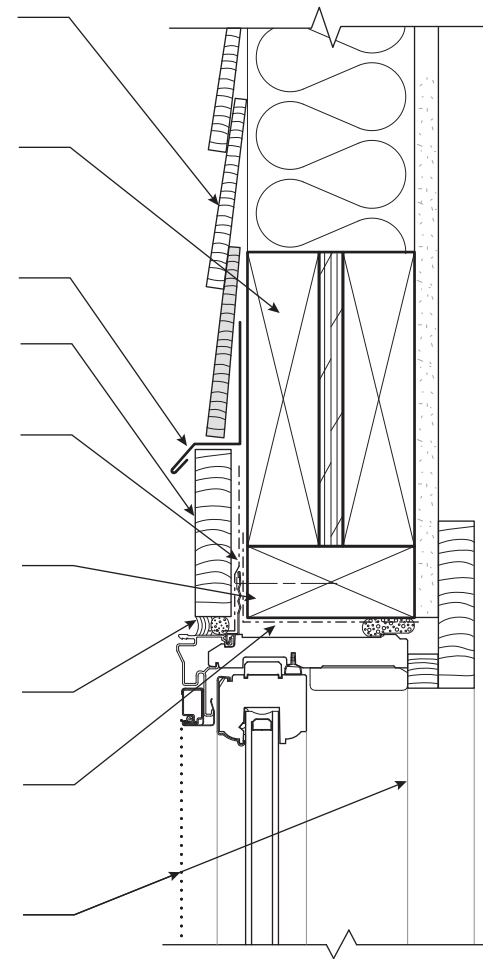
SELF-ADHERED MEMBRANE HEAD FLASHING OVER NAILING FLANGE. SEAL TOP EDGE WITH COMPLIANT SEALANT

NEW 2X4 BLOCKING. EXISTING WINDOW CASING TO BE CUT BACK TO ALLOW FOR INSTALLATION OF NEW WINDOW.

PAINTABLE EXTERIOR GRADE CAULK SEALANT. PAINT TRIM COLOR

NEW LIQUID-APPLIED OR SHEET MEMBRANE FLASHING, TURN DOWN 2" OVER JAMB FLASHING.

NEW WINDOW UNIT - REFER TO WINDOW SCHEDULE



**3 NEW WINDOW HEAD DETAIL AT SIDING**

SCALE: 3" : 1'-0"

EXISTING WOOD SHINGLE OR LAP SIDING TO BE REFINISHED.

NEW EXTERIOR WINDOW TRIM. REFER TO ELEVATIONS A-200.

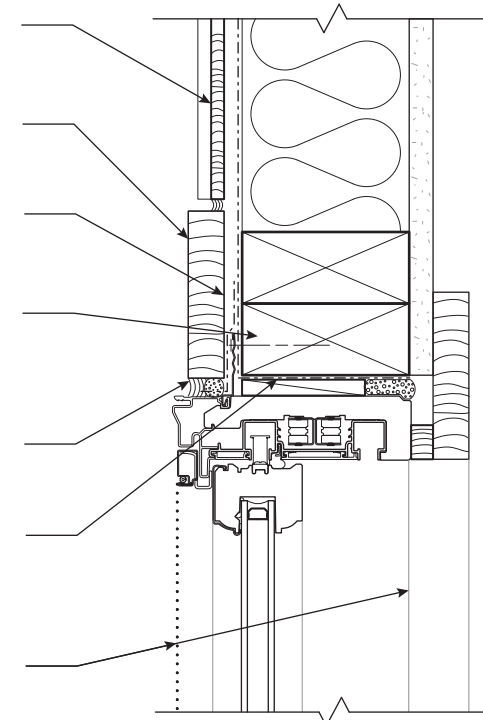
SELF-ADHERED MEMBRANE JAMB FLASHING OVER NAILING FLANGE.

NEW 2X4 BLOCKING. EXISTING WINDOW CASING TO BE CUT BACK TO ALLOW FOR INSTALLATION OF NEW WINDOW.

PAINTABLE EXTERIOR GRADE CAULK SEALANT. PAINT TRIM COLOR

NEW LIQUID-APPLIED OR SHEET MEMBRANE JAMB FLASHING, LAP OVER TURNED-UP SILL FLASHING

NEW WINDOW UNIT - REFER TO WINDOW SCHEDULE



**4 NEW WINDOW JAMB DETAIL AT SIDING**

SCALE: 3" : 1'-0"

NEW WINDOW UNIT - REFER TO WINDOW SCHEDULE

NEW 2X4 BLOCKING. EXISTING WINDOW CASING TO BE CUT BACK TO ALLOW FOR INSTALLATION OF NEW WINDOW.

NEW LIQUID-APPLIED OR SHEET MEMBRANE PAN FLASHING, TURN UP 3" AT JAMB. JAMB-FLASHING TO LAP OVER TURNED-UP SILL FLASHING.

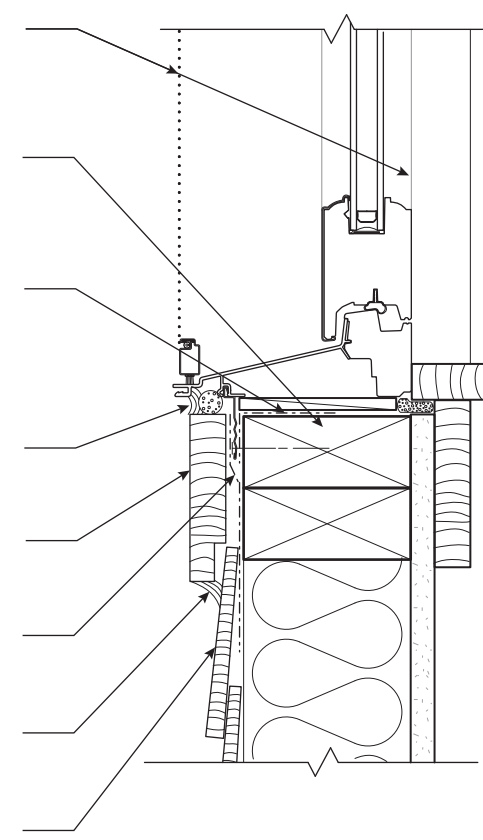
PAINTABLE EXTERIOR GRADE CAULK SEALANT. PAINT TRIM COLOR

NEW EXTERIOR WINDOW TRIM. REFER TO ELEVATIONS A-200.

SELF-ADHERED MEMBRANE JAMB FLASHING OVER NAILING FLANGE.

PAINTABLE EXTERIOR GRADE CAULK SEALANT. PAINT TRIM COLOR

EXISTING WOOD SHINGLE OR LAP SIDING TO BE REFINISHED.



**5 NEW WINDOW SILL DETAIL AT SIDING**

SCALE: 3" : 1'-0"

**ROOF CONSTRUCTION:**

A. NEW ATLAS 'STORMMASTER SHAKE' (BLACK SHADOW) ASPHALT ROOF SHINGLES.

1. REMOVE ALL EXISTING SHINGLES

2. INSTALL CONTINUOUS EDGE VENT SYSTEM AND CONTINUOUS ALUMINUM DRIP EDGES ACCORDING TO MANUFACTURER'S INSTRUCTIONS

3. INSTALL 15LB BITUMINOUS ROOFING FELT OVER ENTIRE ROOF.

4. INSTALL CONTINUOUS GRACE ICE AND WATER SHIELD, OR EQUAL, AT ALL EAVES AND IN ALL VALLEYS.

B. 1/2" PLYWOOD (NOT OSB) OVER EXISTING ROOF DECKING. PATCH AND REPLACE WITH LIKE MATERIAL ANY PORTIONS OF THE EXISTING DECKING THAT IS DAMAGED, DETERIORATED, OR MISSING PRIOR TO INSTALLING NEW PLYWOOD.

C. EXISTING WOOD RAFTERS TO REMAIN UNALTERED.

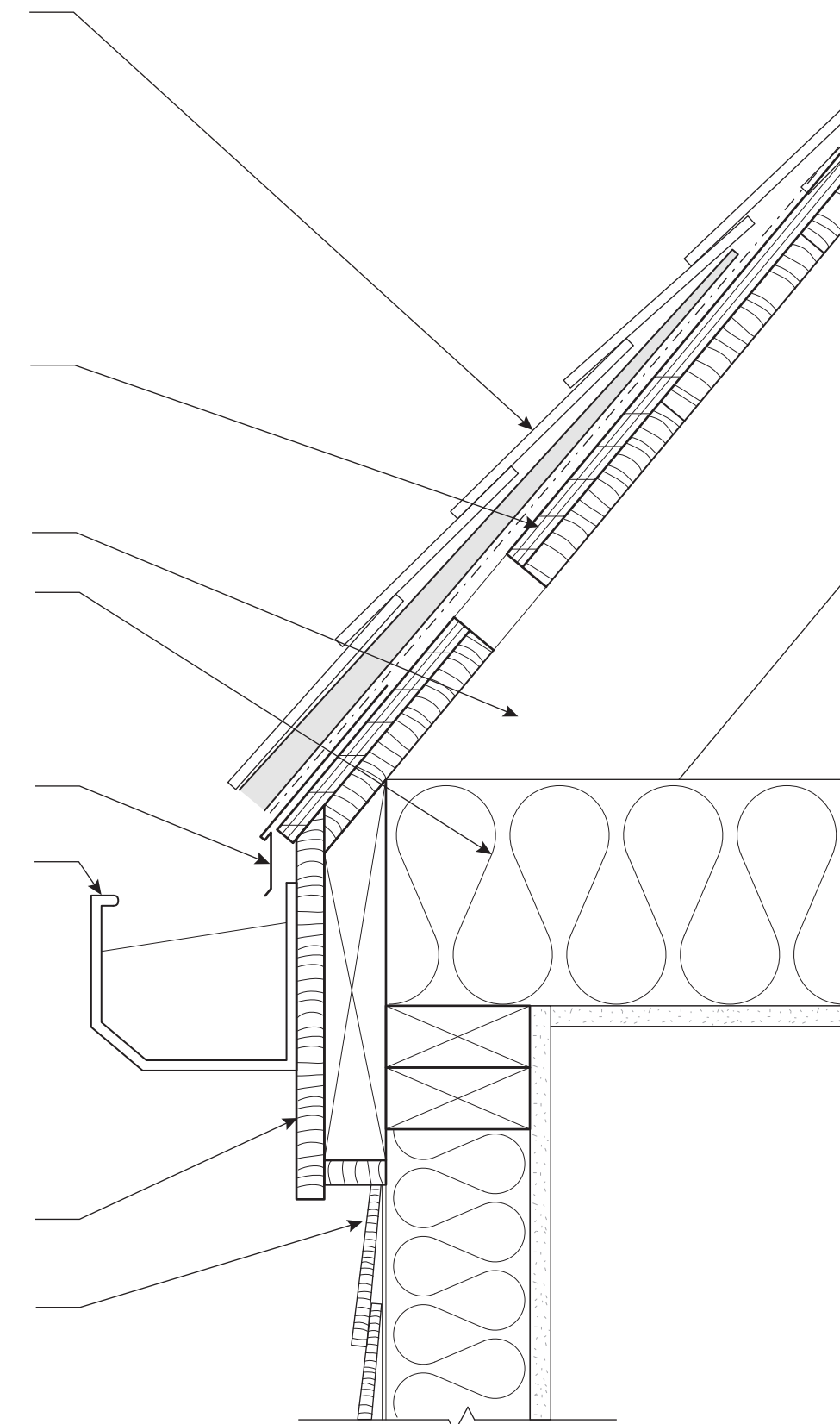
D. R-40 LOOSE FILL CELLULOSE INSULATION IN ATTIC. INSTALL APPROPRIATE BAFFLES TO PROVIDE FOR REQUIRED VENTILATION.

PRE-FINISHED METAL DRIP EDGE. MATCH TRIM COLOR, OR BLACK.

5" SQUARE SEAMLESS 0.27 GAUGE ALUMINUM GUTTER, INSTALL WITH FULLY CONCEALED BRACKETS, SUPPORTS, AND ANCHORS. MATCH TRIM COLOR, OR BLACK.

1X WOOD FASCIA BOARD. PROVIDE CLOSURE BACK TO WALL ASSEMBLY. PAINT TRIM COLOR.

EXISTING WOOD SIDING TO BE REFINISHED. EXISTING TRIM AND SIDING TO BE CUT BACK TO ALLOW INSTALLATION OF NEW EAVE CONDITION.



**1 EAVE CONDITION (TYPICAL)**

SCALE: 3" : 1'-0"

NEW CEDAR LAP SIDING - MATCH PROFILE OF EXISTING LAP SIDING. ATTACH WITH STAINLESS STEEL NAILS DIRECTLY INTO STUDS AND PAINT BODY COLOR.

FILL ENTIRE CAVITY WITH BATT INSULATION - R21 MINIMUM PER CODE.

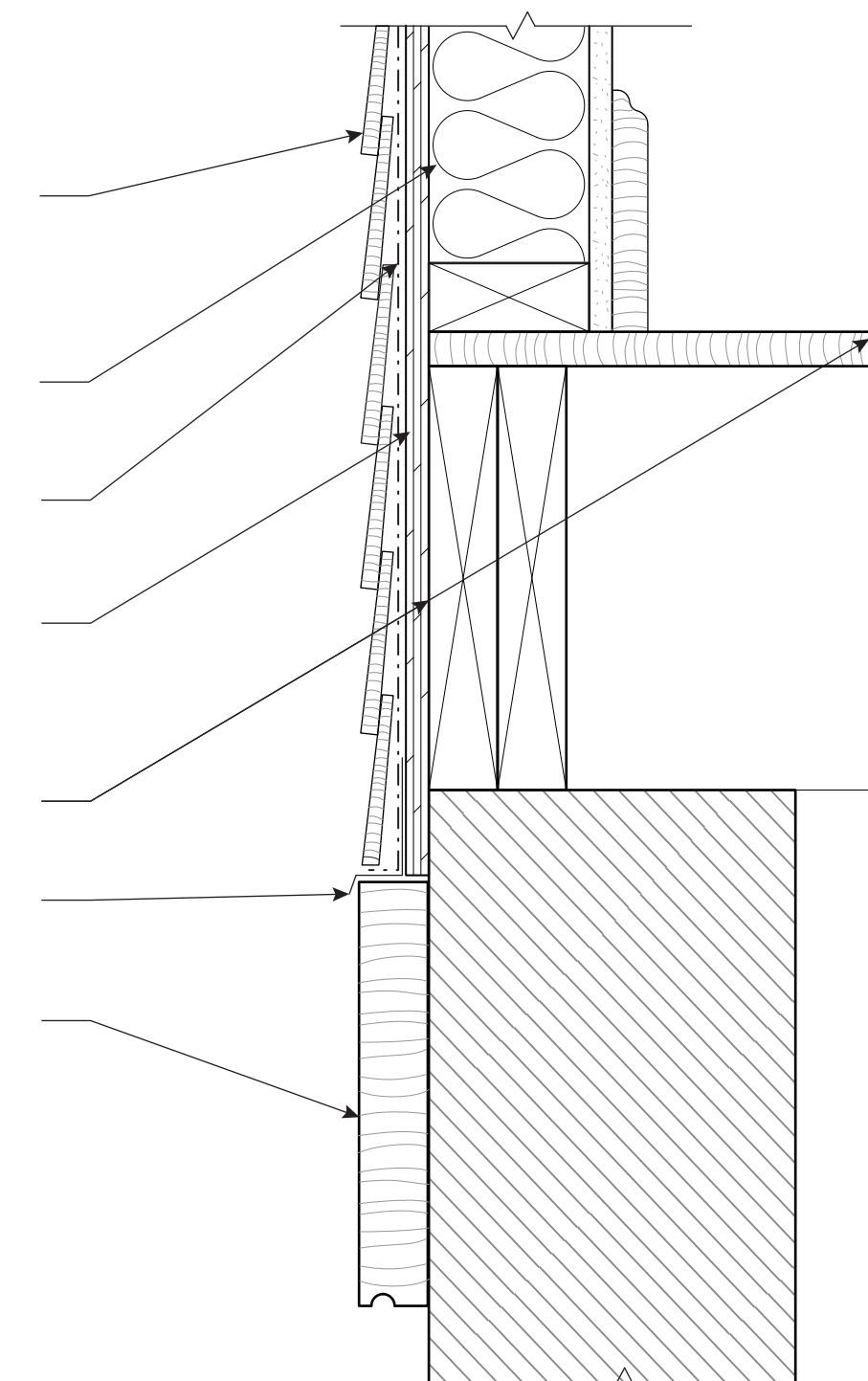
TYVEK BUILDING WRAP (OR EQUAL) - AT REAR FACADE ONLY. TAPE ALL JOINTS AND PENETRATIONS.

NEW 1/2" EXTERIOR GRADE APA RATED WALL SHEATHING - AT REAR FACADE ONLY - SCREWED INTO WALL STRUCTURE WITH APPROVED #8 DECK SCREWS AT 8" O.C.

EXISTING FLOOR STRUCTURE TO REMAIN

PRE-FINISHED METAL DRIP EDGE - MATCH TRIM COLOR, OR BLACK.

NEW 2X10 TRIM BOARD TO REPLACE EXISTING. PAINT TRIM COLOR.



**2 EXTERIOR WALL DETAIL AT REAR FACADE**

SCALE: 3" : 1'-0"

**4138 LINCOLN RENOVATION**

4138 LINCOLN ST. DETROIT, MI 48208

ARCHITECT  
SUBJECTSTUDIO  
1577 ASH ST.  
DETROIT, MI 48208  
hi@subject-studio.com  
313.364.9859



CONSULTANTS

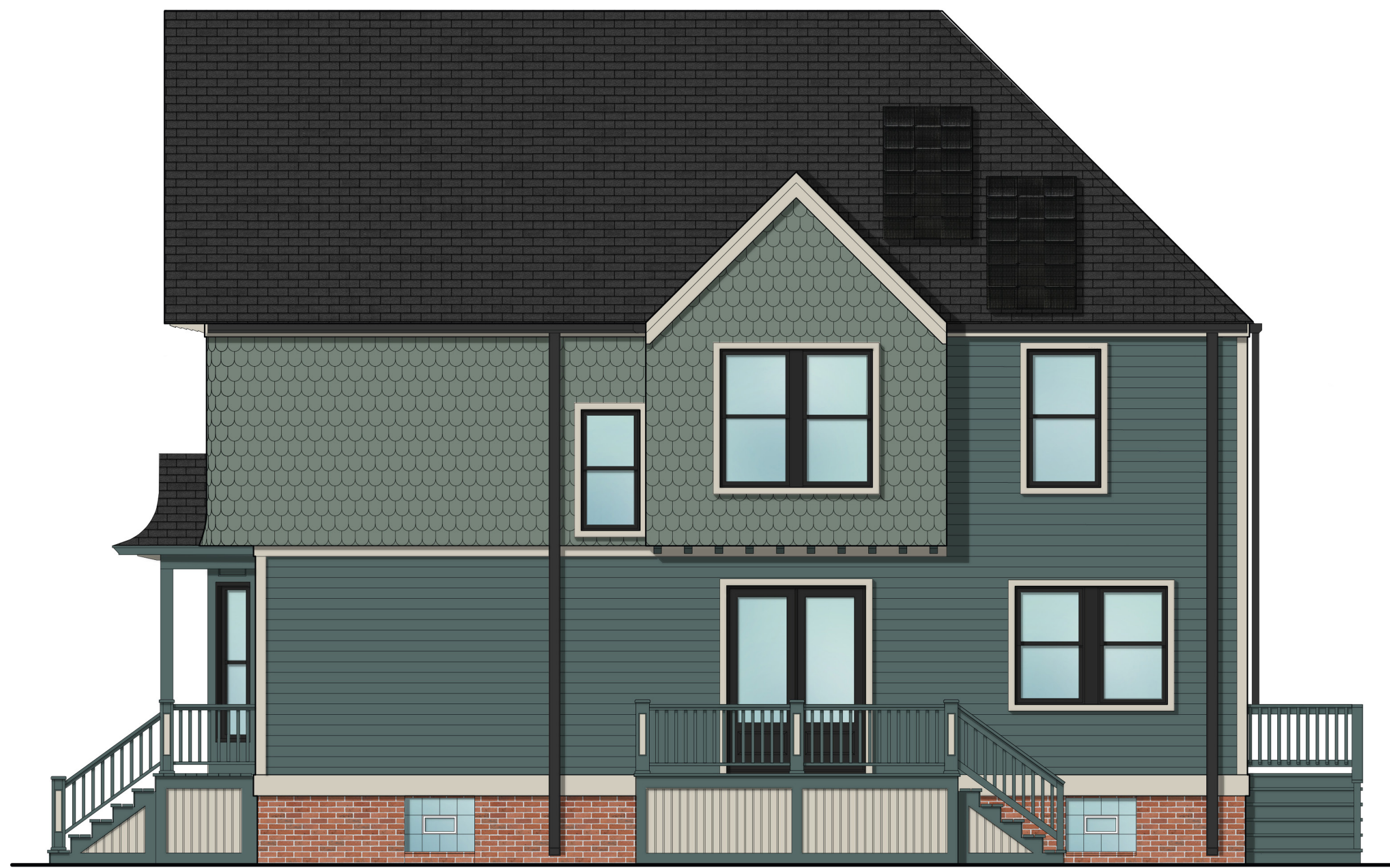
SEAL

NOT FOR CONSTRUCTION

DATE SET  
08/21/23 HDC REVIEW

**BUILDING DETAILS**

**A-301**



1 SOUTHWEST ELEVATION (SIDE)  
SCALE: 1/4" : 1'-0"



2 SOUTHEAST ELEVATION (FRONT)  
SCALE: 1/4" : 1'-0"



3 NORTHWEST ELEVATION (SIDE)  
SCALE: 1/4" : 1'-0"



4 NORTHEAST ELEVATION (BACK)  
SCALE: 1/4" : 1'-0"

**PAINT COLORS**

- BODY COLOR 1:**  
Viking Ottoson Linseed-Oil, Custom Mix  
Match HDC Color System B: B:10 Grayish Green
- BODY COLOR 2:**  
Viking Ottoson Linseed-Oil, Custom Mix  
Match HDC Color System B: B:12 Grayish Green
- TRIM COLOR:**  
Viking Ottoson Linseed-Oil  
Umber Grey
- WINDOW SASH COLOR:**  
Match HDC Color System B: B:19 Black

**4138 LINCOLN RENOVATION**

4138 LINCOLN ST. DETROIT, MI 48208

**ARCHITECT**  
SUBJECTSTUDIO  
1577 ASH ST.  
DETROIT, MI 48208  
hi@subject-studio.com  
313.364.9859



**CONSULTANTS**

**SEAL**

NOT FOR  
CONSTRUCTION

**DATE SET**  
08/21/23 HDC REVIEW

**PAINT DIAGRAMS**