

THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

DATE: _____

PROPERTY INFORMATION

ADDRESS(ES): _____ AKA: _____

PARCEL ID: _____ HISTORIC DISTRICT: _____

SCOPE OF WORK: (Check ALL that apply)

<input type="checkbox"/> Windows/ Doors	<input type="checkbox"/> Walls/ Siding	<input type="checkbox"/> Painting	<input type="checkbox"/> Roof/Gutters/ Chimney	<input type="checkbox"/> Porch/Deck/ Balcony	<input type="checkbox"/> Addition
<input type="checkbox"/> Demolition	<input type="checkbox"/> Signage	<input type="checkbox"/> New Building	<input type="checkbox"/> Major Alteration <i>(3+ scope items)</i>	<input type="checkbox"/> Site Improvements <i>(landscape, trees, fences, patios, etc.)</i>	

BRIEF PROJECT DESCRIPTION: _____

APPLICANT IDENTIFICATION

Property Owner/
Homeowner

Contractor

Tenant or
Business Occupant

Architect/Engineer/
Consultant

NAME: _____ COMPANY NAME: _____

ADDRESS: _____ CITY: _____ STATE: _____ ZIP: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB

Completed Building Permit Application
(highlighted portions only)

ePLANS Permit Number (only applicable if you've already
applied for permits through ePLANS)

Current Photographs: Including the front of the building & detailed photographs of the area(s) affected by
the proposed work. All photographs must be labeled or captioned, e.g. "west wall", "second floor window," etc.

Description of existing conditions (including materials and design)

Description of project (if replacing any existing material(s), include an explanation as to why
replacement--rather than repair--of existing and/or construction of new is required)

Detailed scope of work (formatted as bulleted list)

Brochure/cut sheets for proposed replacement material(s) and/or product(s), as applicable

NOTE:

Based on the scope of work, additional
documentation may be required.
See www.detroitmi.gov/hdc for scope-
specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEtED) to perform the work.

SUBMIT COMPLETED REQUESTS TO: HDC@DETROITMI.GOV

P2 - BUILDING PERMIT APPLICATION

Date: _____

PROPERTY INFORMATION

Address: _____ Floor: _____ Suite#: _____ Stories: _____

AKA: _____ Lot(s): _____ Subdivision: _____

Parcel ID#(s): _____ Total Acres: _____ Lot Width: _____ Lot Depth: _____

Current Legal Use of Property: _____ Proposed Use: _____

Are there any existing buildings or structures on this parcel? Yes No

PROJECT INFORMATION

Permit Type: New Alteration Addition Demolition Correct Violations

Foundation Only Change of Use Temporary Use Other: _____

Revision to Original Permit #: _____ (Original permit has been issued and is active)

Description of Work (Describe in detail proposed work and use of property, attach work list)

MBC use change No MBC use change

Included Improvements (Check all applicable; these trade areas require separate permit applications)

HVAC/Mechanical Electrical Plumbing Fire Sprinkler System Fire Alarm

Structure Type

New Building Existing Structure Tenant Space Garage/Accessory Building

Other: _____ Size of Structure to be Demolished (LxWxH) _____ cubic ft.

Construction involves changes to the floor plan? Yes No

(e.g. interior demolition or construction to new walls)

Use Group: _____ Type of Construction (per current MI Bldg Code Table 601) _____

Estimated Cost of Construction \$ _____ By Contractor \$ _____ By Department

Structure Use

Residential-Number of Units: _____ Office-Gross Floor Area _____ Industrial-Gross Floor Area _____

Commercial-Gross Floor Area: _____ Institutional-Gross Floor Area _____ Other-Gross Floor Area _____

Proposed No. of Employees: _____ List materials to be stored in the building: _____

PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements (must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings, existing and proposed distances to lot lines. (Building Permit Application Continues on Next Page)

For Building Department Use Only

Intake By: _____ Date: _____ Fees Due: _____ DngBld? No

Permit Description:

Permit #: _____ Current Legal Land Use: _____ Proposed Use: _____

Permit#: _____ Date Permit Issued: _____ Permit Cost: \$ _____

Zoning District: _____ Zoning Grant(s): _____

Lots Combined? Yes No (attach zoning clearance)

Revised Cost (revised permit applications only) Old \$ _____ New \$ _____

Structural: _____ Date: _____ Notes: _____

Zoning: _____ Date: _____ Notes: _____

Other: _____ Date: _____ Notes: _____



IDENTIFICATION (All Fields Required)

Property Owner/Homeowner **Property Owner/Homeowner is Permit Applicant**

Name: _____ Company Name: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Mobile: _____

Driver's License #: _____ Email: _____

Contractor **Contractor is Permit Applicant**

Representative Name: _____ Company Name: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Mobile: _____ Email: _____

City of Detroit License #: _____

TENANT OR BUSINESS OCCUPANT **Tenant is Permit Applicant**

Name: _____ Phone: _____ Email: _____

ARCHITECT/ENGINEER/CONSULTANT **Architect/Engineer/Consultant is Permit Applicant**

Name: _____ State Registration#: _____ Expiration Date: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Mobile: _____ Email: _____

HOMEOWNER AFFIDAVIT (Only required for residential permits obtained by homeowner.)

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name: _____ Signature: _____ Date: _____
(Homeowner)

Subscribed and sworn to before me this _____ day of _____ 20 ____ A.D. _____ County, Michigan

Signature: _____ My Commission Expires: _____
(Notary Public)

PERMIT APPLICANT SIGNATURE

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. **I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be**

Print Name: _____ Signature: _____ Date: _____
(Permit Applicant)

Driver's License #: _____ Expiration: _____

Subscribed and sworn to before me this _____ day of _____ 20 ____ A.D. _____ County, Michigan

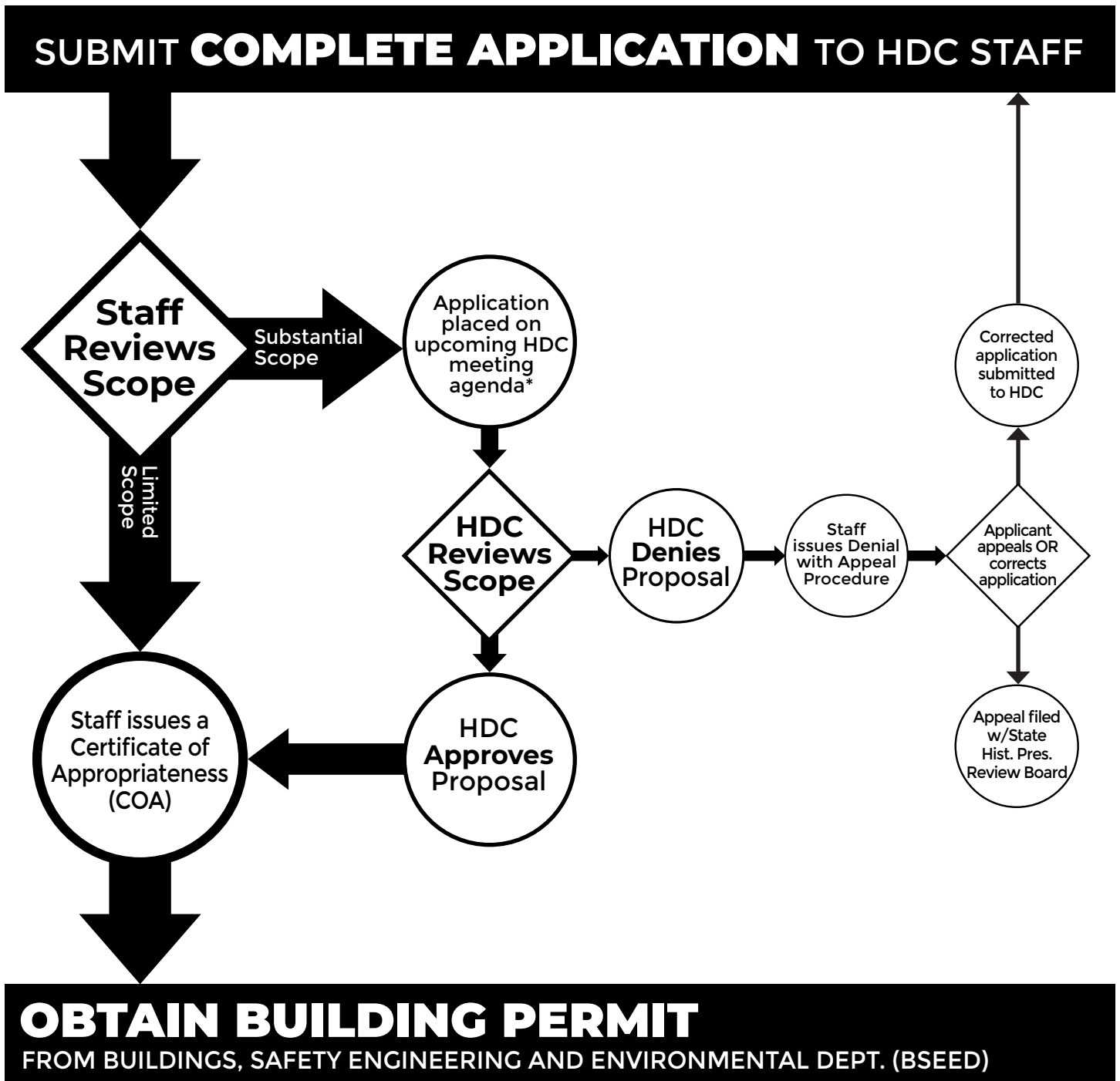
Signature: _____ My Commission Expires: _____
(Notary Public)

Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.

This application can also be completed online. Visit detroitmi.gov/bseed/elaps for more information.



HISTORIC DISTRICT COMMISSION REVIEW & PERMIT PROCESS



* THE COMMISSION MEETS REGULARY AT LEAST ONCE PER MONTH, TYPICALLY ON THE SECOND WEDNESDAY OF THE MONTH.
(SEE WEBSITE FOR MEETING SCHEDULE/AGENDAS)

FIND OUT MORE AT: www.detroitmi.gov/hdc

1815 Church St

Exterior Improvements and New Accessory Dwelling Unit

August 9, 2023
Historic Specialist
City of Detroit, Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, MI 48226

Re: 1815 Church St, Detroit, MI 48216
Exterior Improvements and New Accessory Dwelling Unit

Dear Historic Specialist,

We respectfully submit this enclosed description of the exterior improvements to the existing residence and construction of a new accessory dwelling unit at 1815 Church St. to the City of Detroit Historic District Commission for review.

Table of Contents

1. Project Description
 - a. Existing Conditions
 - b. Proposed Exterior Improvements to Existing House
 - c. Proposed New Accessory Dwelling Unit
2. Scope of work
 - a. Proposed Exterior Improvements to Existing House
 - b. Proposed New Accessory Dwelling Unit
3. Drawings
4. Accessory Dwelling Unit Perspectives
5. Current Photographs
6. Cut Sheets

1. Project Description

The existing residence is home to a growing family and the house does not have enough space to accommodate family members who are visiting from out of town. The owners would like to build an accessory dwelling unit in the rear yard of the home with a garage on the first floor and guest house above. They would also like to make exterior improvements on the existing home, including new cladding, details, roof, and gutters.

a. Existing Conditions

The existing house was built in 1900 in the Folk Victorian Style with a cross gabled form. A reconstructed, wood porch on the northeast corner of the primary facade, facing Church Street, leads to the main entry of the home. The porch has a single slope roof that transitions into a gable form at the northmost edge, forming a pediment. The upper portion of the north, street facing gable protrudes from the facade, possibly indicating detailing concealed by the non-original facade.

The gabled roof material has green asphalt shingles with white aluminum gutters and downspouts. During an earlier renovation, the home was clad in beige vinyl siding. The house has aluminum clad, double-hung one-over-one windows. There is one fixed glass window with a transom above, on the first floor, centered on the street facing gable. The wood framed walls rest on the exposed brick foundation walls that extend above grade. A non-historic painted steel shed abuts the east facade. An unfinished cedar deck protrudes from the rear, south facade of the home.

Along the alley at the south end of the property is a deteriorated concrete parking pad. A cedar wood fence with a gate extends from the edge of the east facing gable. The fence continues from the rear of the adjacent multi-family home and continues parallel to the alley, separating the parking pad from the rest of the rear yard. The fence continues along the west edge of the property, terminating at the southern edge of the west facing gable.

b. Proposed Exterior Improvements to Existing House

The non-historic shingles, gutters, and cladding will be removed from the home. The existing non-historic porch skirting, railing, decking, steps, and post will be removed. The non-historic steel shed will also be removed. Immediately after removal of the vinyl siding and trim, the contractor shall photograph all elevations of the building, documenting the presence or absence of any historic cladding or detail. The demolition and installation of any remaining historic cladding and details shall not proceed prior to review and approval of the Detroit Historic District Commission.

A new, painted turned post will be installed where the existing one was removed. The porch skirting will be replaced with Allura fiber cement trim. New wood decking will be installed on the porch. New wood railing with square pickets will be installed. No new cladding shall be installed prior to approval by the Detroit Historic District Commission. Historic cladding or details discovered during demolition shall be salvaged and repaired if possible or replaced in kind. If no historic detailing or cladding is found, housewrap will be installed over the sheathing of the building's walls. New cladding will be installed. Allura smooth texture, fiber cement, lap siding will be the primary cladding. Allura Shake half-round fiber cement shingles will be installed on the walls of the second-floor of the northern mass of the building, terminating at the intersection of the cross gable. If historic detailing is found after removing the cladding, it will be restored if possible, or replaced in kind. If the historic detailing no longer exists, new detailing will be created as shown on the attached drawings.

The existing windows will remain and the frames will be painted. The paint colors used throughout will follow Color System B. See the attached drawings for color locations. CertainTeed Landmark Pro Max Def dimensional asphalt shingles in weathered wood color will be installed on the roof. A Schoolhouse 6" Otis ceiling fixture in black finish with opal glass traditional 14" shade will be installed on the porch ceiling. A Schoolhouse Reed Scone black finish with opal glass jar shade will be installed at the rear entry door.

c. Proposed New Accessory Dwelling Unit

The existing deteriorated concrete parking pad will be removed and a new accessory dwelling unit will be constructed at the rear of the property 1'-0" from the alley. The intent of the design is to complement the existing home while being distinguishable as non-historic. Proportions and roof slopes are inspired by those of the existing home. The new building will have an upright and wing form that wraps around an existing tree. The upright portion will be two-stories and the ell (wing) will be one-and-a-half-stories. The first floor will function as a garage and the second floor will function as a guest house.

The building will be wood framed, slab on grade construction. Two 8'-0" x 8'-0" sectional, insulated, overhead doors will open to the alley from the south facade. On the first floor of the north facade, a recessed entry will provide protection from weather to the garage entry door. A wood framed exterior stair, painted to match the new trim color of the existing house, will lead to a landing at the second floor where the glazed entry door to the guest house is located. The windows will primarily have a vertical expression and are centrally located within the gables, similar to the existing house. One window on the west facade will have a horizontal expression. The roof will be cross-gabled similar to that of the existing home. The soffits and fascia of the eaves will be painted to match the new trim color of the existing house. See the attached drawings for finish locations.

The cladding on the first floor will be Allura smooth texture, fiber cement, lap siding painted a deep charcoal. The walls of the second floor will be clad in red cedar with a clear penetrating sealer. The windows will be Pella Reserve Contemporary aluminum clad wood with black exterior finish. All windows will be casement except the window on the west facade will be an awning window. Certainteed Landmark Pro Max Def dimensional asphalt shingles in weathered wood color will be installed on the roof to match the new shingles of the existing home. There will be a single Schoolhouse Allegheny Sconce in a black finish located above each of the garage doors. Another Schoolhouse Allegheny Sconce in the same finish will be installed next to the entry door on the first floor. There will be four RBW Crisp Sconces in a black finish with frosted glass on the west facade of the building to light the stairs and landing. Two RBW Crisp Sconces in the same finish will be installed on the east facade.

2. Scope of Work

a. Proposed Exterior Improvements to Existing House

- Remove existing parking pad.
- Provide temporary shoring to support existing porch roof structure and remove after new post is installed. Remove existing front porch skirting, trim, decking, stairs, and post.
- Remove existing vinyl cladding.
- Remove existing shingles.
- Remove existing gutters and downspouts.
- Remove existing exterior lighting.
- Photograph all elevations of the existing home after non-historic cladding is removed and submit photos to the Historic District Commission for review.
- No new cladding to be installed prior to approval by the Detroit Historic District Commission.
- Historic cladding or details discovered during demolition shall be salvaged and repaired if possible. If discovered historic materials are deteriorated beyond repair they will be replaced in kind.
- If no historic cladding is discovered during demolition then Install new housewrap in preparation for new cladding.
- Restore, or replace in kind, existing details if found after removal of existing siding.
- Install Allura smooth texture, fiber cement, lap siding.
- Install Allura shake half-round fiber cement shingles on walls of the second-floor of northern mass of the building, terminating at intersection of the cross gable.
- Install Allura fiber cement trim.
- Install new turned post at the porch.
- Install Certainteed Landmark Pro Max Def dimensional asphalt shingles in weathered wood color.
- Install aluminum seamless half round gutters, downspouts, and splash blocks.
- Install (1) one Schoolhouse Reed Scone in black finish with opal glass jar shade on south facade wall at rear entry door.
- Install (1) one Schoolhouse 6" Otis ceiling fixture in black finish with opal glass traditional 14" shade on north facade front porch ceiling.
- Paint existing window frames according to selected colors from Color System B. See drawings for locations.
- Paint siding, porch, details, skirting and trim according to selected colors from Color System B. See drawings for locations.
- Clean existing brick masonry using the gentlest method possible. No power washing of masonry is permitted.

b. Proposed New Accessory Dwelling Unit

- Pour new footings and slab for the new accessory dwelling unit.
- Construct the new accessory dwelling unit with insulated wood framed walls clad with Allura smooth texture, fiber cement, lap siding in dark charcoal finish at first floor and red cedar lap siding with clear penetrating sealer. See drawings for locations.
- Construct new insulated cross gabled roof with Certainteed Landmark Pro Max Def dimensional asphalt shingles in weathered wood color.
- Install aluminum seamless half round gutters, downspouts, and splash blocks.
- Construct new wood framed stairs and landing.
- Install (2) two 8'-0" x 8'-0" sectional, insulated, overhead doors at south facade.
- Install insulated entry door at first floor of north facade,
- Install insulated, glazed entry door on second floor of west facade.
- Install (2) two Pella Reserve Contemporary aluminum clad wood casement windows with black exterior finish on north facade.
- Install (1) one Pella Reserve Contemporary aluminum clad wood awning window with black exterior finish on west facade.
- Install (1) one Pella Reserve Contemporary aluminum clad wood casement windows with black exterior finish on south facade.
- Install (1) one Pella Reserve Contemporary aluminum clad wood casement windows with black exterior finish on east facade.
- Install (1) one Schoolhouse Allegheny Sconce in black finish on north facade at entry door.
- Install (4) four RBW Crisp Sconces in black finish with frosted glass on west facade.
- Install (1) one Schoolhouse Allegheny Sconce in black finish above each overhead door on south facade.
- Install (2) two RBW Crisp Sconces in black finish with frosted glass on east facade.
- Install new heat pump condenser under stairs at west facade.
- Construct bedroom, kitchen, living room, bathroom, closets, and mechanical closet.
- Install interior doors lighting, finishes, plumbing fixtures, and equipment.
- Backfill around the foundation and regrade to slope away from the building.
- Reconfigure existing fence to accommodate new building and construct new gates.
- Replant in areas disturbed by construction.

We hope that this project description is fitting for your approval. If you have any comments or require any additional materials or information to assist with your decision, please feel free to reach out to us through the contact information provided below. We are happy to assist in any way that we can.

Thank you,

Roger Van Tol, Designer
4425 Christiancy St., Detroit, MI 48209
vantolre@gmail.com
313.236.9978

3. Drawings

See following pages



1815 CHURCH ST.

1815 CHURCH ST, DETROIT, MI 48216

LOCATION MAP

GENERAL NOTES

- ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE LOCAL JURISDICTION. UNLESS OTHERWISE AGREED UPON, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SECURING ALL BUILDING PERMITS AS REQUIRED FOR WORK TO BE PERFORMED AND WILL RETAIN AND PAY FOR ALL REQUIRED INSPECTIONS DURING THE COURSE OF THE WORK.
- PROVIDE SAFE AND SECURE JOBSITE PRIOR TO, DURING, AND AFTER WORK. PROVIDE ALL NECESSARY SAFETY DEVICES, LIGHTING, AND BARRIERS AS NECESSARY - ESPECIALLY AROUND ALL STAIR, ELEVATOR, AND ROOF PENETRATIONS IN ACCORDANCE WITH LOCAL CODES AND REGULATIONS, AND ANY APPLICABLE OSHA GUIDELINES.
- THE GENERAL CONTRACTOR SHALL VISIT THE SITE BEFORE PROVIDING A PRICE AND BE AWARE OF EXISTING CONDITIONS TO THE EXTENT AND INFLUENCE OF THE WORK.
- DO NOT SCALE DRAWINGS FOR DIMENSIONS AND / OR SIZES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD MEASURING EXISTING CONDITIONS PRIOR TO THE BEGINNING OF WORK, AND PERIODICALLY DURING PROGRESS OF WORK TO VERIFY ALL CRITICAL DIMENSIONS. ANY DEVIATIONS FROM DIMENSIONS INDICATED ON DRAWINGS ARE TO BE APPROVED BY ARCHITECT, PRIOR TO CONSTRUCTION.
- ANY DISCREPANCIES FOUND IN THE DRAWINGS, DIMENSIONS, EXISTING CONDITIONS, OR ANY APPARENT ERROR IN CLASSIFYING OR SPECIFYING A PRODUCT OR ITS USE IS TO BE POINTED OUT TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK. ADDENDA WILL BE ISSUED AS NECESSARY AND WILL BECOME PART OF THE CONTRACT DOCUMENTS. FOR THOSE DISCREPANCIES NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT, IT WILL BE ASSUMED THAT THE CONTRACTOR HAS BID THE MORE EXPENSIVE METHOD OF CONSTRUCTION.
- THE GENERAL CONTRACTOR / SUB-CONTRACTORS ARE TO VERIFY ALL CONDITIONS PRIOR TO THE BEGINNING OF CONSTRUCTION OF ANY TRADE. NOTIFY ARCHITECT OF ANY DISCREPANCIES WITHIN THE PLANS, DRAWINGS, OR OBVIOUS FIELD CONDITIONS WHICH PROHIBIT THE WORK FROM BEING BUILT, AS SHOWN.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE MEANS, METHODS, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.
- THE GENERAL CONTRACTOR IS TO COORDINATE ALL CIVIL, ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, AND STRUCTURAL TRADES.
- THE GENERAL CONTRACTOR IS TO PRESERVE, TAKE CARE OF, AND COORDINATE WITH THE UTILITY COMPANIES AND SUB-CONTRACTORS.
- SHOP DRAWINGS / SUBMITTALS / SAMPLES ARE TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH ALL ITEMS WHICH REQUIRE FABRICATION.
- CHANGES IN THE WORK SHALL BE INITIATED THROUGH CONSTRUCTION DIRECTIVES. CONTRACTOR SHALL NOT PROCEED WITH EXECUTION OF CHANGES WITHOUT WRITTEN APPROVAL FROM OWNER OF CHANGE ORDER NOTING CHANGES TO CONTRACT PRICE AND TIME.
- THE STRUCTURE HAS BEEN DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY COMPLETED. IT IS THE GENERAL CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCING TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF TEMPORARY BRACING, SHORING, SUPPORT, GUYS, OR TIE-DOWNS IF NECESSARY.
- ENSURE ALL FIRE AND LIFE SAFETY ITEMS THAT ARE EXISTING AND REQUIRED. REMAIN OPERATIONAL DURING CONSTRUCTION.
- MAINTAIN ALL REQUIRED FIRE RATINGS / SEPARATIONS IN WALLS AND CEILINGS AS REQUIRED BY THE APPLICABLE BUILDING CODE, AND RULES AND PER THE RULES AND REGULATIONS OF THE LOCAL JURISDICTION.
- EXECUTE FIRE WATCH AND PREVENTION PROCEDURES ON SITE DURING FIELD CUTTING AND WELDING OPERATIONS MEETING THE OWNERS REQUIREMENTS.
- PROVIDE NECESSARY TEMPORARY CONSTRUCTION BARRIERS BETWEEN EXISTING AND NEW CONSTRUCTION SPACES (DEMOLITION AREA). MAINTAIN LEGAL EXITING SYSTEMS AND EGRESS FOR BOTH SPACES PER LOCAL CODES. PROVIDE SIGNAGE TO DESIGNATE THE EXITS AND SEPARATION OF THE SPACES.
- EXISTING CONSTRUCTION NOT UNDERGOING ALTERATION IS TO REMAIN UNDISTURBED. WHERE SUCH EXISTING CONDITIONS NOT UNDERGOING ALTERATION ARE DISTURBED AS A RESULT OF THE OPERATIONS OF THIS CONTRACT, ALL ADVERSELY AFFECTED CONDITIONS MUST BE REPAIRED OR REPLACED BY THE CONTRACTOR AS REQUIRED TO THE SATISFACTION OF THE ARCHITECT.
- ANY DAMAGE TO NEW OR EXISTING CONSTRUCTION CAUSED BY THE CONTRACTOR'S NEGLIGENCE OR INADEQUATE PROTECTIVE OR SECURITY MEASURES DURING CONSTRUCTION ARE TO BE CORRECTED AT THE GENERAL CONTRACTOR'S EXPENSE.
- PROVIDE ADEQUATE SHORING AND SUPPORT OF ALL STRUCTURAL ITEMS TO BE REMOVED IN ACCORDANCE WITH STRUCTURAL ENGINEERS DOCUMENTS / SPECIFICATIONS, LOCAL CODES AND REGULATIONS, AND ANY APPLICABLE OSHA GUIDELINES.
- DEMOLITION OF ALL PORTIONS OF THE STRUCTURE TO BE REMOVED SHALL BE DONE WITH THE UTMOST CARE, USING TOOLS AND METHODS SUBJECT TO OWNER'S APPROVAL. ALL POSSIBLE CARE SHALL BE TAKEN TO AVOID DAMAGING, SHOCK, OR VIBRATION TO PORTIONS OF THE EXISTING STRUCTURE TO REMAIN.
- IF DEMOLITION OF EXISTING STRUCTURE IS REQUIRED TO ACCESS A SPACE OR COMPLETE CONSTRUCTION, AND IT IS NOT INDICATED ON THE DOCUMENTS, NOTIFY ARCHITECT TO HAVE A STRUCTURAL ENGINEER REVIEW THE SCOPE OF DEMOLITION REQUIRED AND PROVIDE EITHER AN APPROVAL OR DOCUMENTS TO INSTRUCT THE METHODS OF DEMOLITION.
- REMOVE AND / OR RELOCATE ALL MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS INCLUDING PIPING, FIXTURES, EQUIPMENT, DUCTWORK, WIRING, DEVICES, PANELS, AND ACCESSORIES AS REQUIRED. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DOCUMENTS FOR FURTHER DIRECTION PRIOR TO START OF DEMOLITION.
- THE GENERAL CONTRACTOR AND DEMOLITION CONTRACTOR, SHALL VERIFY THE EXISTENCE AND LOCATIONS, AND ELEVATIONS OF ALL EXISTING UTILITIES INCLUDING EXISTING WATER, SEWERS / STORM MAINS, DRAINS, ELECTRICAL AND GAS SERVICES, ETC., IN THE DEMOLITION AREAS BEFORE PROCEEDING WITH THE WORK. ALL DISCREPANCIES SHALL BE DOCUMENTED AND REPORTED TO THE ARCHITECT.
- REMOVE ALL MATERIALS AND DEBRIS CREATED DURING THE DEMOLITION AND/OR THE CONSTRUCTION PROCESS AND DISPOSE OFF SITE IN A SAFE AND LEGAL MANNER.
- CAP, PATCH, AND REPAIR ALL HOLES AND SURFACES IN WALLS, FLOORS, AND CEILINGS WHERE ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, OR PLUMBING ITEMS ARE TO BE REMOVED.
- NEATLY SAW CUT AND REMOVE CONCRETE AS REQUIRED FOR PLACEMENT OF NEW INSTALLATIONS OF PLUMBING, NECESSARY CAPPING OF EXISTING, AND INSTALLATION OF NEW FOUNDATION WORK.
- PREPARE ALL DEMOLITION AREAS FOR NEW FINISHES.
- THE GENERAL CONTRACTOR IS TO COORDINATE ALL WORK WITH OWNER'S PERSONNEL TO AVOID ANY INTERFERENCE OR CONFLICT IN OPERATIONS.
- THE GENERAL CONTRACTOR FOR A PERIOD OF ONE YEAR FROM THE DATE OF COMPLETION AND ACCEPTANCE BY OWNER, SHALL ADJUST, REPAIR, OR REPLACE AT NO COST TO THE OWNER ANY ITEM OF EQUIPMENT, MATERIAL, OR WORKMANSHIP FOUND TO BE DEFECTIVE, INCLUDING OR AFFECTED WITHIN THE SCOPE OF THE CONTRACT.

LEGEND

- A1 DOOR TAG
- 1.1 WINDOW TAG
- 001 KEYNOTE TAG
- 1 SECTION TAG

ABBREVIATIONS

A/C	AIR CONDITIONING
ADU.	ACCESSORY DWELLING UNIT
ALUM.	ALUMINUM
BO.	BOTTOM OF
BD.	BOARD
CONT.	CONTINUOUS
DBL.	DOUBLE
DEMO.	DEMOLITION
DIA.	DIAMETER
DIM.	DIMENSION
ELEV.	ELEVATION
EQ.	EQUAL
EXIST.	EXISTING
FRMD.	FRAMED
GALV.	GALVANIZED
GYP.	GYPSON
INSUL.	INSULATION, INSULATED
MAX.	MAXIMUM
MIN.	MINIMUM
MTL.	METAL
OH.	OPPOSITE HAND
OC.	ON CENTER
REQ.	REQUIRED
SS.	STAINLESS STEEL
TEMP.	TEMPERED
TO.	TOP OF
UNO.	UNLESS OTHERWISE NOTED
VIF.	VERIFY IN FIELD
W/	WITH
WD.	WOOD

PROJECT INFORMATION

PROJECT DESCRIPTION:
EXTERIOR IMPROVEMENTS TO EXISTING HOUSE AND NEW CONSTRUCTION OF TWO-STORY ACCESSORY DWELLING UNIT WITH FIRST FLOOR GARAGE AT ALLEY IN REAR OF PROPERTY.

PROJECT ADDRESS:
1815 CHURCH ST.
DETROIT, MI 48216

PARCEL NUMBER:
08000477

PARCEL USE CODE:
4110

LEGAL DESCRIPTION:
LOT 4, BLK 3, LUTHER BEECHER'S SUBDIVISION, CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, AS RECORDER IN LIBER 2, OF PLATS, PAGE 27, WAYNE COUNTY RECORDS

ZONING DISTRICT:
R-2

PARCEL SIZE:
• 33' x 131'
• 4,312 SF | 0.099 ACRE

LOT AREA COVERAGE:

• BY RIGHT	1,509 sf	0.035 acre	35%
• EXISTING	1,106 sf	0.026 acre	26%
• PROPOSED	1,783 sf	0.041 acre	41%

FLOOR AREA RATIO (FAR):

• EXISTING HOUSE	0.45
• PROPOSED CARRIAGE HOUSE	0.28
• TOTAL	0.73

GROSS BUILDING AREA:

• EXISTING HOUSE	
FIRST FLOOR	1,068 sf
SECOND FLOOR	906 sf
TOTAL	1,974 sf
• PROPOSED CARRIAGE HOUSE	
GARAGE	715 sf
SECOND FLOOR	598 sf

WATER SHED:
100 YEAR 3 HR RAINFALL: 3"
CARRIAGE HOUSE ROOF AREA: 795 sf
EXISTING HOUSE ROOF AREA:

PROPOSED NEW CARRIAGE HOUSE BUILDING DATA

CONSTRUCTION TYPE: V-B
PROPOSED NEW CONSTRUCTION HEIGHT: 25'-4"
EXISTING

STORIES ABOVE GRADE: 2

APPLICABLE CODES:

- 2015 MICHIGAN RESIDENTIAL CODE
- 2015 MICHIGAN MECHANICAL CODE (MMC)
- 2015 MICHIGAN PLUMBING CODE
- 2017 MICHIGAN/NATIONAL ELECTRICAL CODE (NEC)

ENERGY EFFICIENCY:
COMPLY WITH SECTION N102 OF THE 2015 MICHIGAN RESIDENTIAL CODE

- CLIMATE ZONE 5A
- CEILING R-38
- WOOD FRMD. WALL R20 OR R13(CAVITY) +R5(SHEATHING)
- MASS WALL R-13 / R-17
- FLOOR R-20
- FILL CAVITY R-19 MINIMUM
- BASEMENT WALL R-10 / R-13
- SLAB R-10 (2'-0" DEEP)
- CRAWL SPACE R-15 / R-10

PROJECT TEAM

OWNER:
BEN NEWMAN
1815 CHURCH ST.
DETROIT, MI 48216
bennewman@gmail.com

DESIGNER:
ROGER VAN TOL
4425 CHRISTIANCY ST.
DETROIT, MI 48209
vantolre@gmail.com

DRAWING INDEX

G.001 COVER
C.101 BOUNDARY & TOPOGRAPHICAL SURVEY
AS.101 SITE PLAN

EXISTING HOUSE

D.101 DEMOLITION PLANS
A.101 FLOOR AND ROOF PLANS (EXISTING HOUSE)
A.201 EXTERIOR ELEVATIONS (EXISTING HOUSE)
A.202 EXTERIOR ELEVATIONS (EXISTING HOUSE)

ACCESSORY DWELLING UNIT

A.102 FLOOR & ROOF PLANS (ACCESSORY DWELLING UNIT)
A.203 EXTERIOR ELEVATIONS (ACCESSORY DWELLING UNIT)
A.301 WALL SECTIONS (ACCESSORY DWELLING UNIT)

DATE	REVISION
09.12.2022	SITE PLAN REVIEW
08.09.2023	HDC PROJECT REVIEW

COVER

G.001

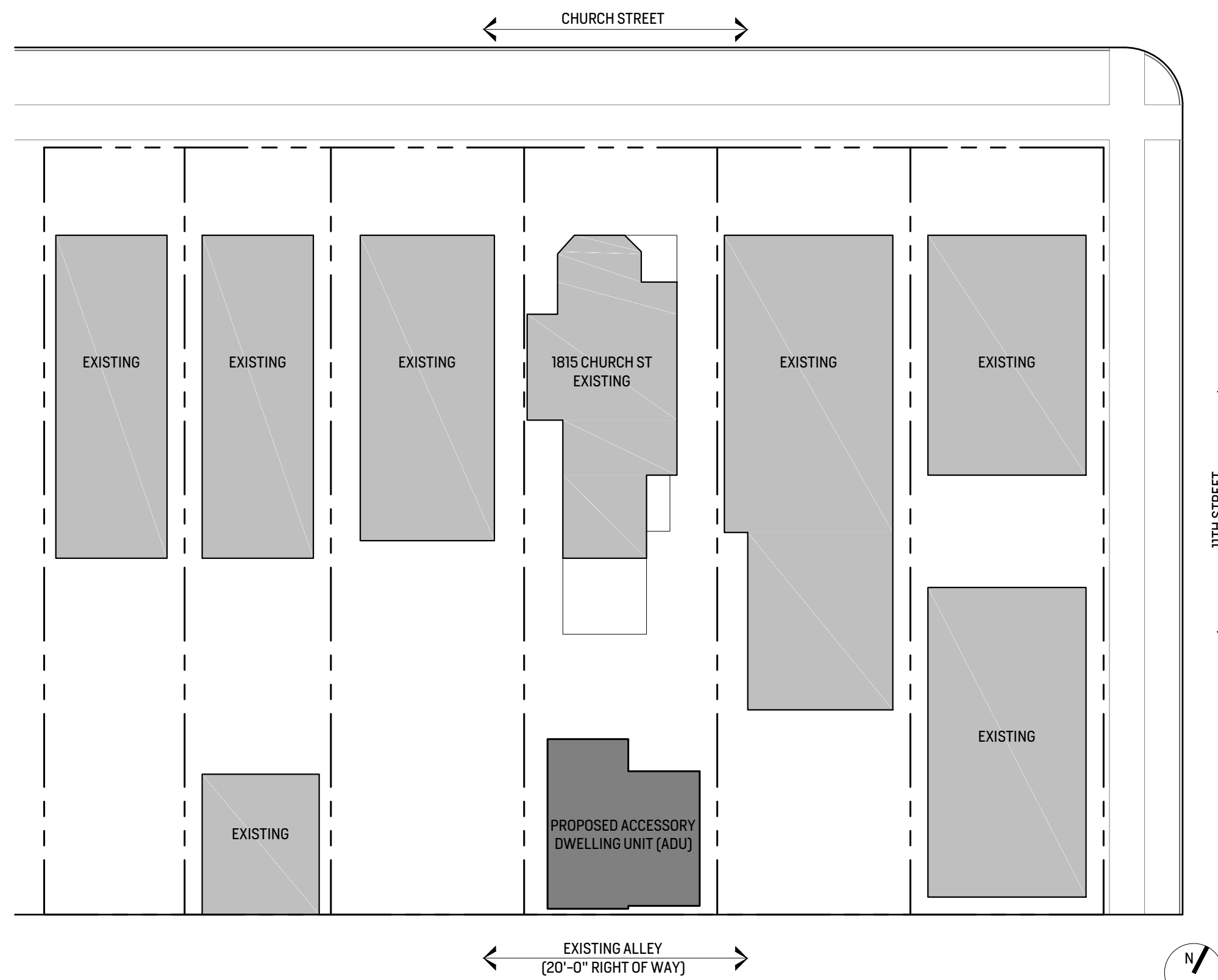
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CHURCH ST ACCESSORY DWELLING UNIT

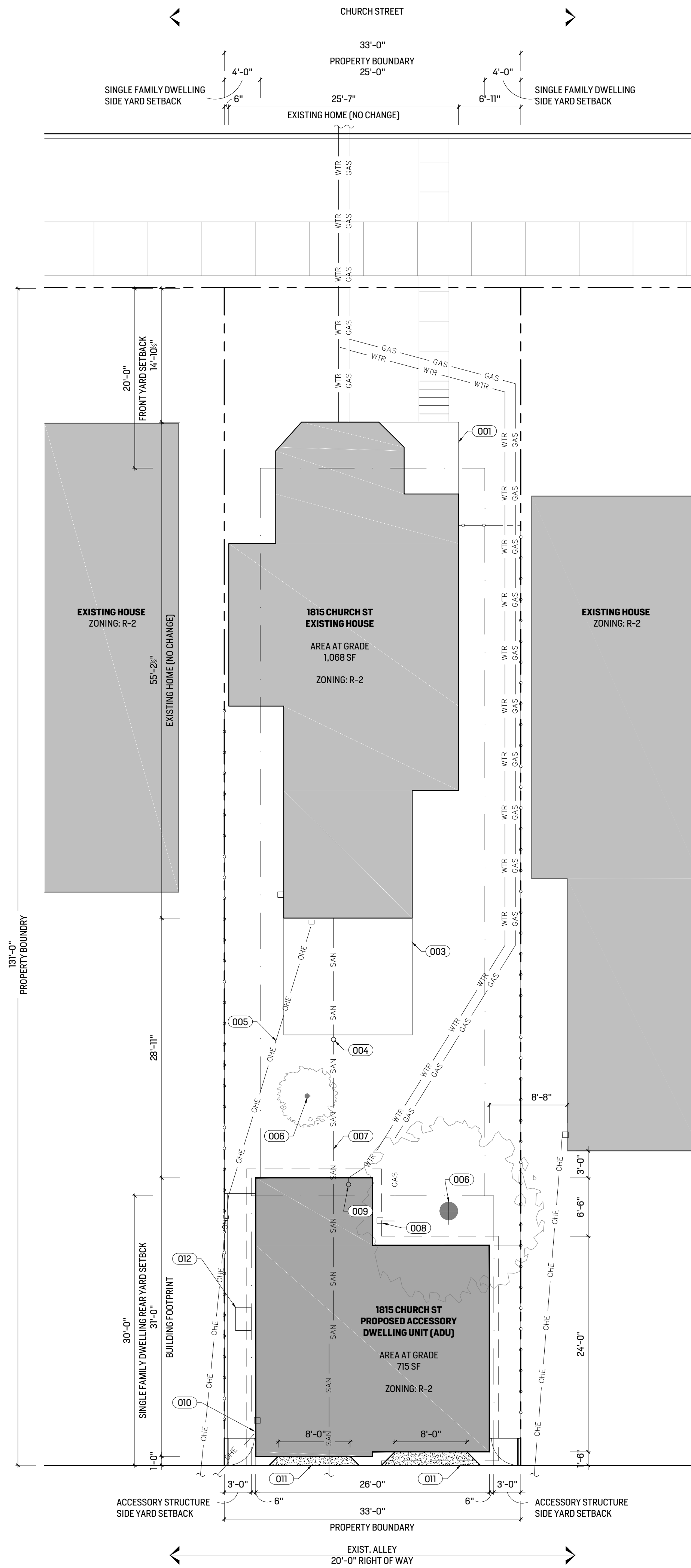
1815 CHURCH ST, DETROIT, MI 48216

ROGER VAN TOL | 4425 CHRISTIANCY, DETROIT, MI 48209 | 313.236.6976 | vandolre@gmail.com

2 SITE AREA PLAN
SCALE: 1" = 20'-0"



1 ARCHITECTURAL SITE PLAN
SCALE: 1/8" = 1'



LEGEND

- PROPERTY LINE
- - - - - PROPERTY SETBACK
- SAN - SANITARY SERVICE LINE
- WTR - WATER SERVICE LINE
- OHE - OVERHEAD PRIMARY ELECTRIC SERVICE LINE
- +— FENCE

KEYNOTES

ALL KEYNOTES LISTED BELOW MAY NOT BE USED ON THIS SHEET.

- 001 EXISTING PORCH. SEE FLOOR PLANS.
- 002 NOT USED.
- 003 EXISTING DECK.
- 004 COORDINATE SANITARY SEWER CLEAN-OUT LOCATION WITH DECK, GENERAL CONTRACTOR, AND CODE REQUIREMENTS. INSTALL IN PLANTING BED AREA NOT OPEN YARD OR LAWN.
- 005 EXISTING OVERHEAD SERVICE LINE TO PRIMARY HOUSE.
- 006 EXISTING TREE TO REMAIN.
- 007 REPLACE EXISTING LINE WITH NEW PVC PIPE. TIE NEW LINE INTO EXISTING TAP IF FREE AND CLEAR OF OBSTRUCTIONS OR CRACKS.
- 008 GAS SERVICE LINE, METER, AND SHUT-OFF. CONTRACTOR TO COORDINATE WITH OWNER AND UTILITY PROVIDER (DTE) TO SIZE METER AND SERVICE LINES TO SUPPLY PRIMARY HOUSE AND ACCESSORY DWELLING UNIT WITH SEPARATELY METERED GAS SERVICE PER APPLICABLE CODES.
- 009 WATER SERVICE LINE, METER, AND SHUT-OFF. CONTRACTOR TO COORDINATE WITH OWNER AND UTILITY PROVIDER (DWS&D) TO SIZE METER AND SERVICE LINES TO SUPPLY PRIMARY HOUSE AND ACCESSORY DWELLING UNIT WITH SEPARATELY METERED WATER SERVICE PER APPLICABLE CODES.

GENERAL NOTES

1. THIS SITE AND BUILDING PLAN IS DIAGRAMMATIC IN NATURE. ALL BOUNDARIES, LOCATIONS, TOPOGRAPHY, LEGAL MEETS AND BOUNDS, IMPROVEMENTS, MONUMENTS, ETC. ARE TO BE VERIFIED BY THE OWNER'S LAND SURVEYOR.
2. THE PROPERTY BOUNDARY SURVEY ON THIS DRAWING HAS BEEN FURNISHED BY ENGINEERING SERVICES, INC. AND HAS BEEN PROVIDED FOR USE OF THIS PROJECT BY THE OWNER.
3. THE OWNER/GENERAL CONTRACTOR IS TO VERIFY ALL SITE CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK.
4. LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY. THE OWNER/CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE/SHE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM HIS/HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
5. THE OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL STANDARDS, SPECIFICATIONS, AND GUIDELINES BEFORE CONSTRUCTION.
6. NEW ELECTRICAL AND LOW VOLTAGE UTILITY CONNECTION ROUTING IS DIAGRAMMATIC IN NATURE. UTILITY PROVIDER TO DETERMINE FINAL ROUTING.

DATE	REVISION
09.12.2022	SITE PLAN REVIEW
04.03.2023	SITE PLAN REVIEW - REV.1
08.09.2023	HDC PROJECT REVIEW

SITE PLAN

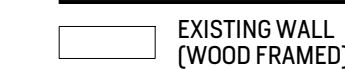
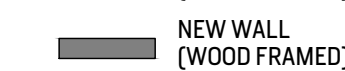


AS.101

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CHURCH ST ACCESSORY DWELLING UNIT
1815 CHURCH ST, DETROIT, MI 48216

ROGER VAN TOL | 4625 CHRISTIANITY, DETROIT, MI 48209 | 313.236.9978 | vandreg@gmail.com

LEGEND

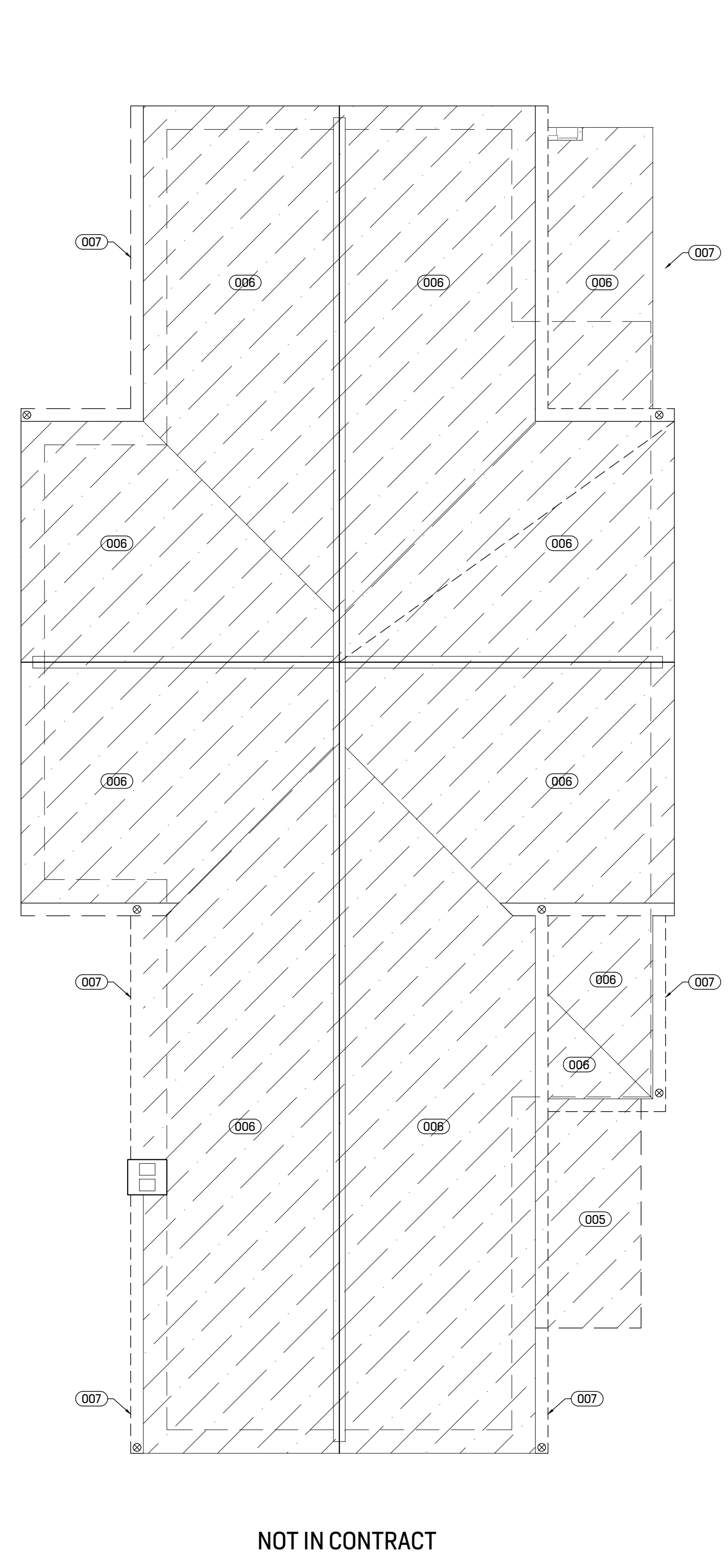
-  EXISTING WALL (WOOD FRAMED)
-  NEW WALL (WOOD FRAMED)
-  DEMOLISH ELEMENT/WALL
-  DEMOLISH FLOOR/SHINGLES

GENERAL NOTES

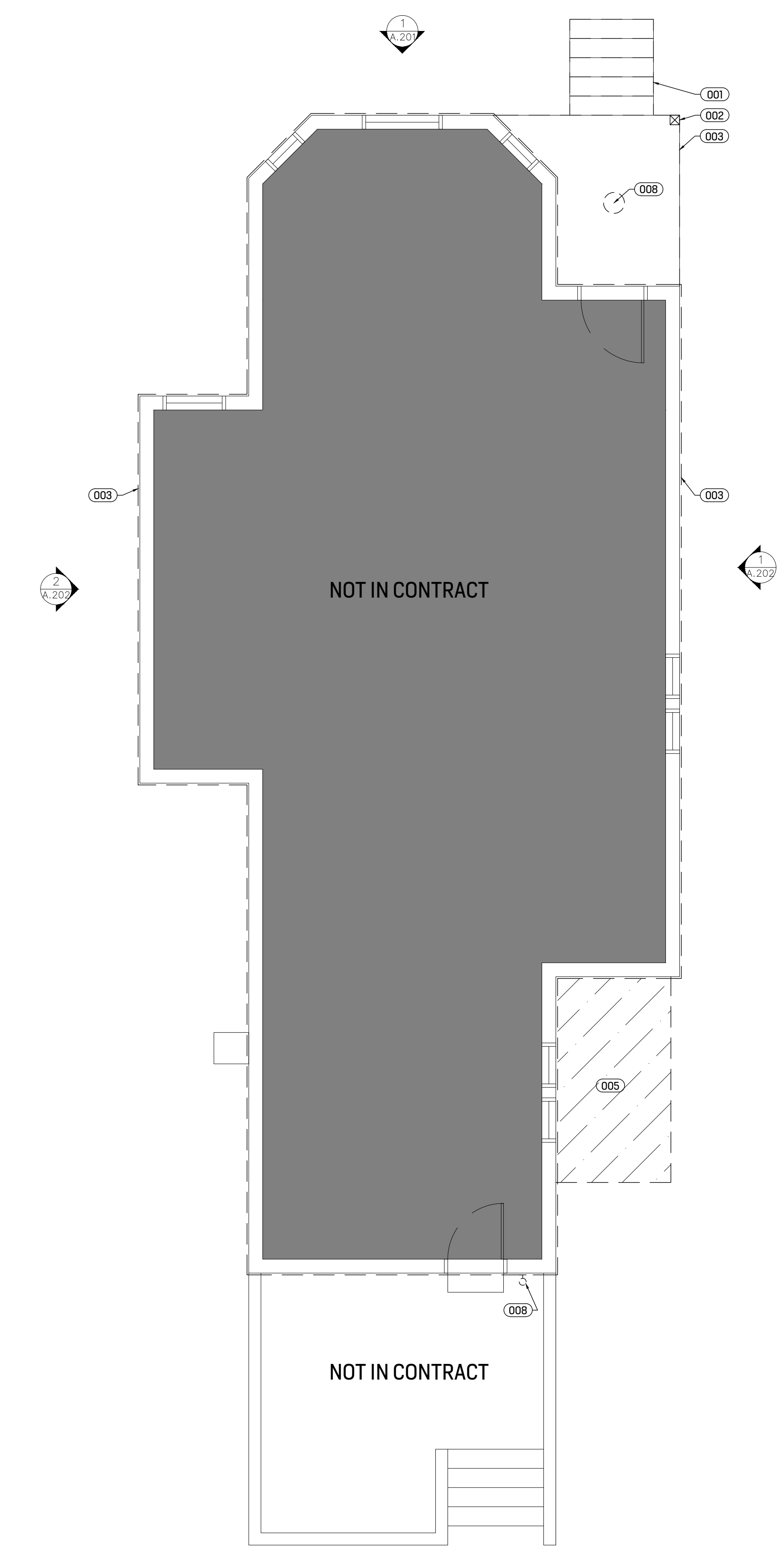
1. ALL KEYNOTES / CALLOUTS INDICATE AREAS OF WORK TO BE COMPLETED, BUT MAY NOT COVER EVERY INSTANCE NECESSARY. CONTRACTOR TO FIELD VERIFY AND DOCUMENT ALL CONDITIONS PRIOR TO RENOVATION TO DETERMINE TOTAL SCOPE OF WORK. ALERT THE DESIGNER / OWNER IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THESE DOCUMENTS AND THE CONTRACTORS VERIFICATION AND SCOPE OF WORK. FOR REVIEW AND APPROVAL.
2. CONTRACTOR TO PHOTOGRAPH ALL ELEVATIONS OF BUILDING IMMEDIATELY AFTER REMOVAL OF VINYL SIDING AND TRIM, DOCUMENTING PRESENCE OR ABSENCE OF ANY PREVIOUS CLADDING OR DETAIL. DEMOLITION AND INSTALLATION OF CLADDING AND DETAILS SHALL NOT PROCEED PRIOR TO REVIEW AND APPROVAL OF THE DETROIT HISTORIC DISTRICT COMMISSION.

KEYNOTES

- ALL KEYNOTES LISTED BELOW MAY NOT BE USED ON THIS SHEET.
- 001 REMOVE STAIRS AND RAILING.
 - 002 REMOVE COLUMN. PROVIDE SHORING AS REQ.
 - 003 REMOVE PORCH DECK, RAILING, AND SKIRTING. PORCH STRUCTURE TO REMAIN.
 - 004 REMOVE ALL NON-HISTORIC SIDING AND TRIM.
 - 005 REMOVE METAL SHED IN ITS ENTIRETY.
 - 006 REMOVE ROOF SHINGLES, UNDERLAYMENT AND DRIP EDGE..
 - 007 REMOVE ALL GUTTERS AND DOWNSPOUTS.
 - 008 REMOVE EXTERIOR LIGHT.



2 ROOF PLAN (EXISTING HOUSE)
SCALE: 1/4" = 1'



1 FIRST FLOOR PLAN (EXISTING HOUSE)
SCALE: 1/4" = 1'

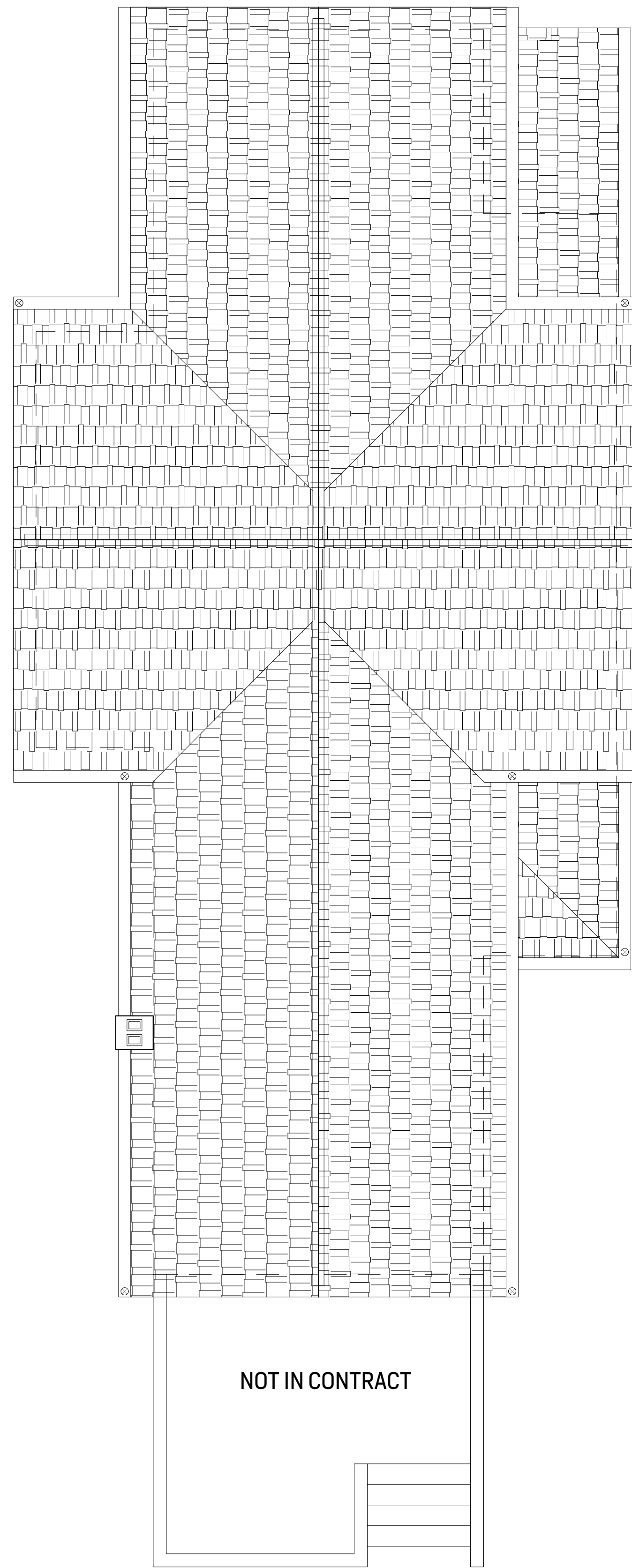
CHURCH ST ACCESSORY DWELLING UNIT
1815 CHURCH ST, DETROIT, MI 48216

DATE	REVISION
09.12.2022	SITE PLAN REVIEW
01.06.2022	SITE PLAN REVIEW - REV. 1
08.09.2023	HDC PROJECT REVIEW

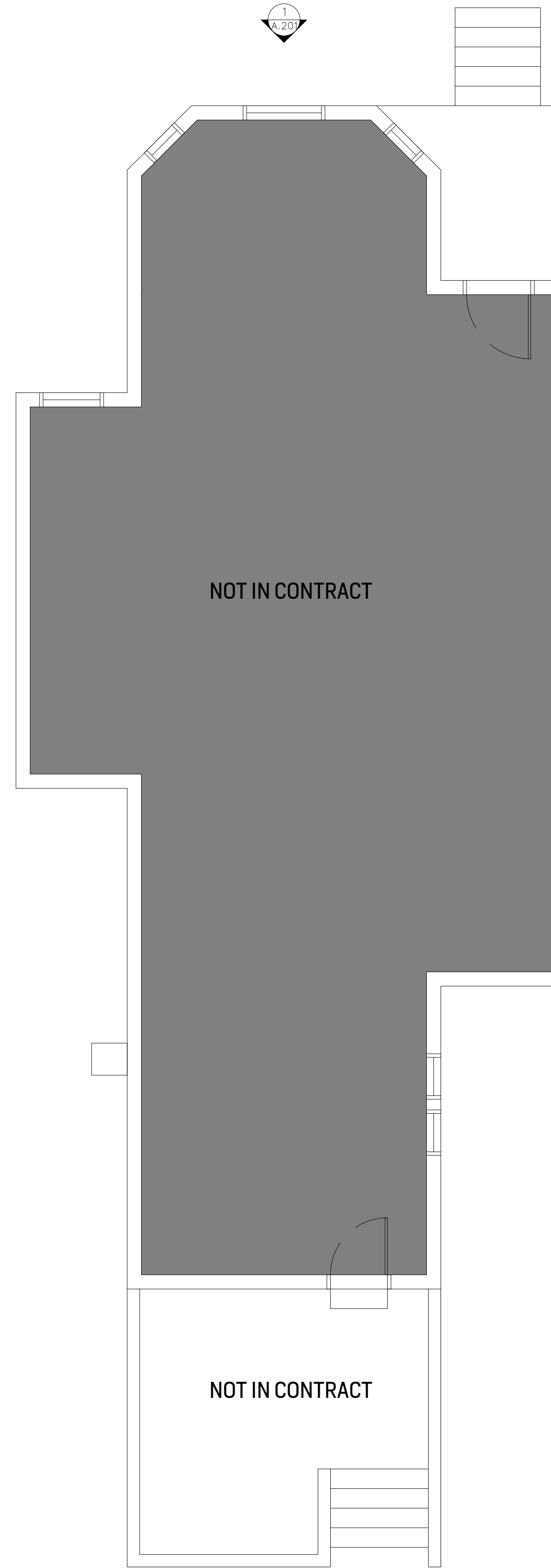
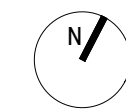
EXISTING HOUSE
DEMOLITION PLANS
D.101

LEGEND

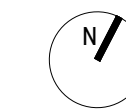
EXISTING WALL
(WOOD FRAMED)



2 ROOF PLAN (EXISTING HOUSE)
SCALE: 1/4" = 1'



1 FIRST FLOOR PLAN (EXISTING HOUSE)
SCALE: 1/4" = 1'



DATE	REVISION
09.12.2022	SITE PLAN REVIEW
01.06.2022	SITE PLAN REVIEW - REV. 1
08.09.2023	HDC PROJECT REVIEW

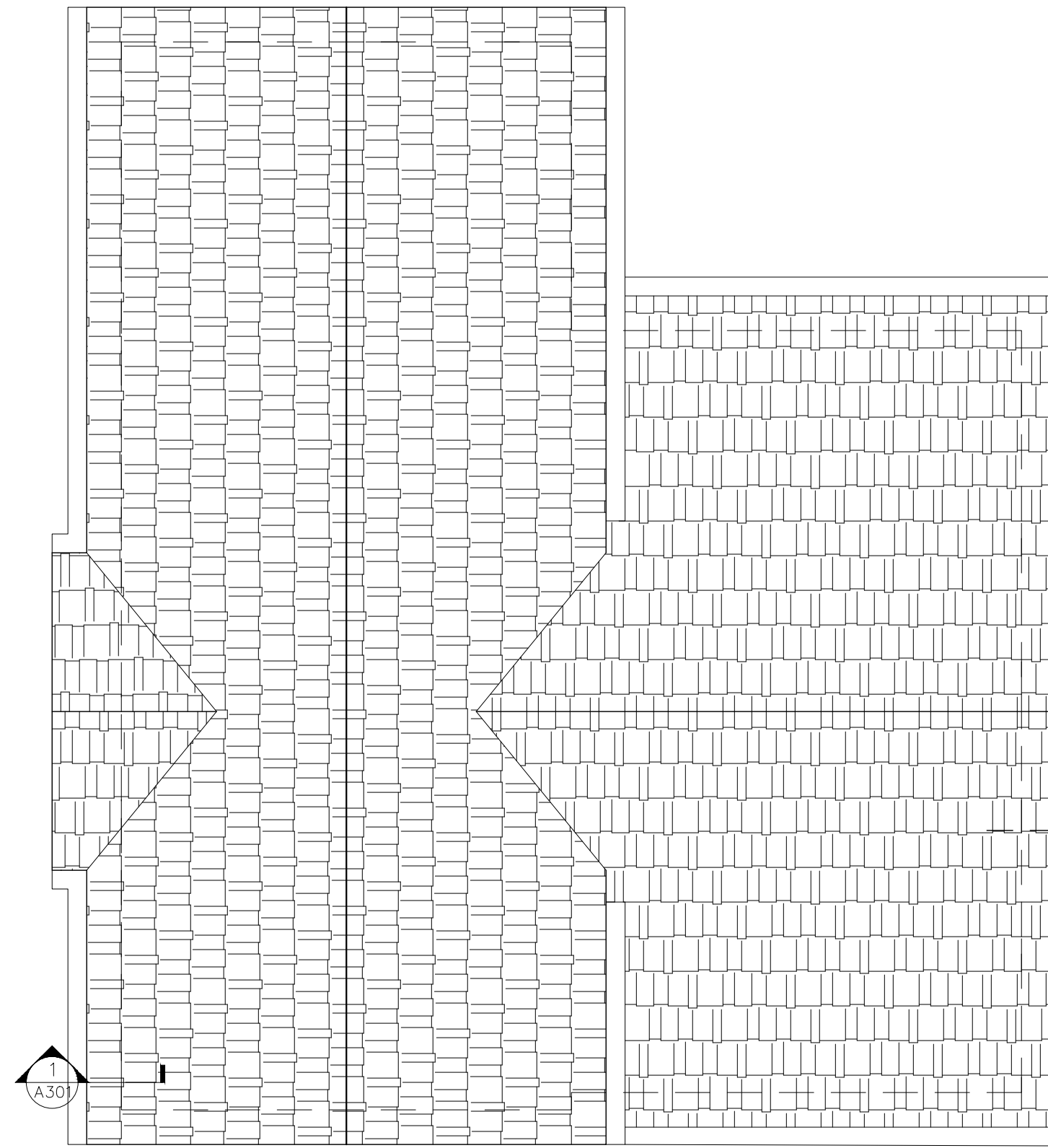
EXISTING HOUSE
FLOOR & ROOF
PLANS

A.101

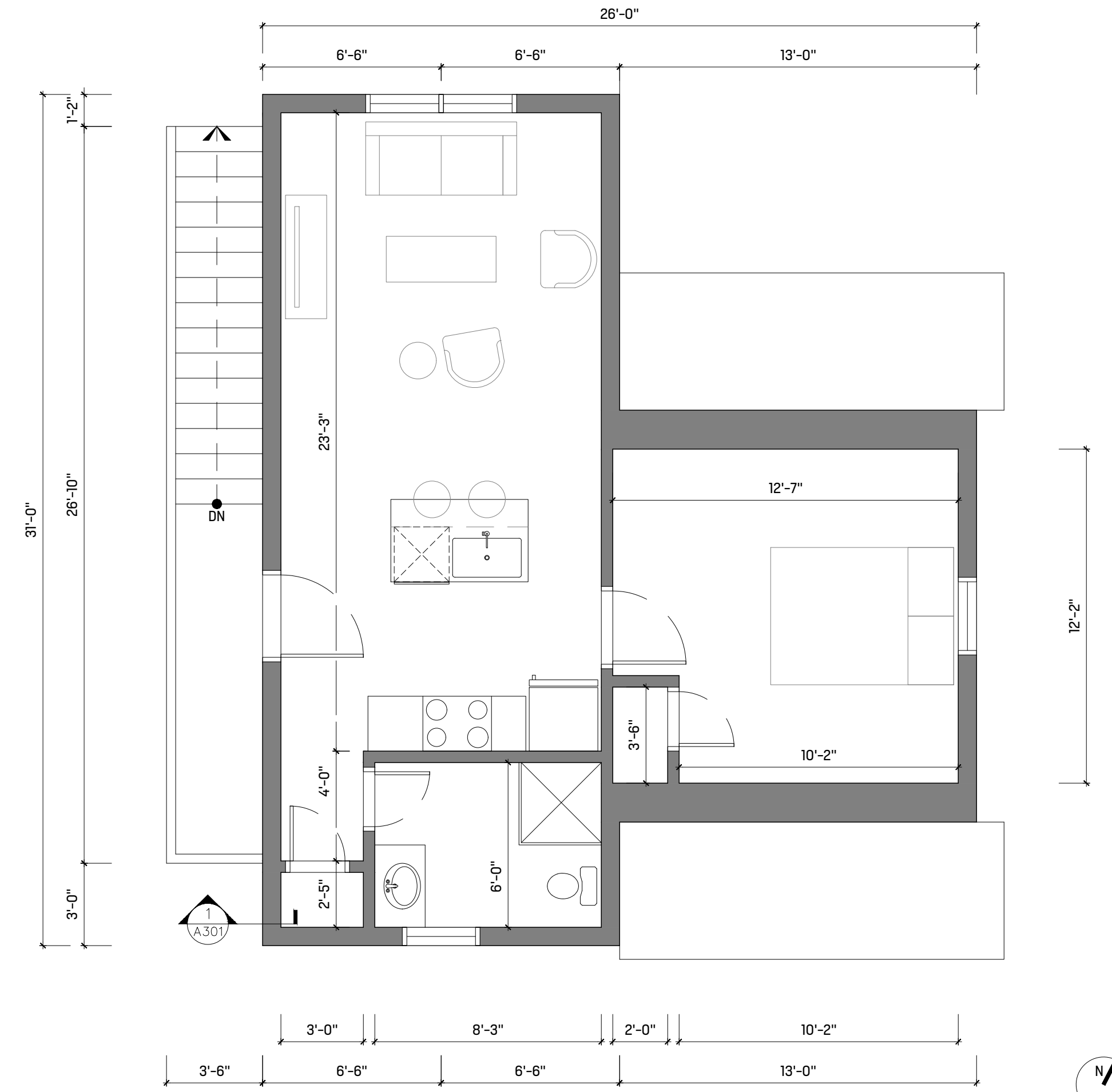
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CHURCH ST ACCESSORY DWELLING UNIT
1815 CHURCH ST, DETROIT, MI 48216

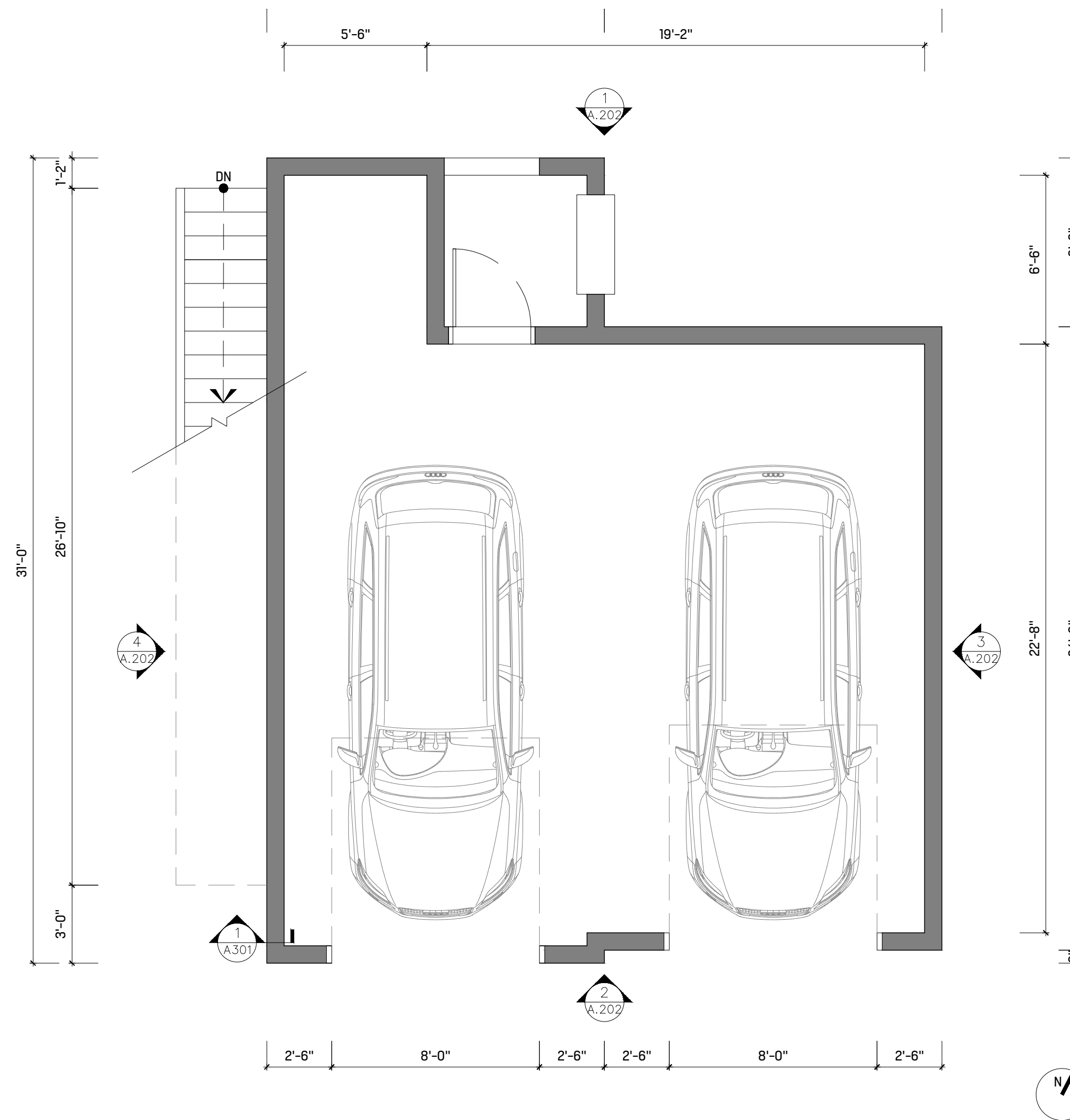
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3 ROOF PLAN (ACCESSORY DWELLING UNIT)
SCALE: 1/4" = 1'



2 SECOND FLOOR PLAN (ACCESSORY DWELLING UNIT)
SCALE: 1/4" = 1'



1 FIRST FLOOR PLAN (ACCESSORY DWELLING UNIT)
SCALE: 1/4" = 1'

LEGEND
 [Line] EXISTING WALL (WOOD FRAMED)
 [Thick Line] NEW WALL (WOOD FRAMED)

CHURCH ST ACCESSORY DWELLING UNIT

1815 CHURCH ST, DETROIT, MI 48216

ROGER VAN TOL | 4625 CHRISTIANCY, DETROIT, MI 48209 | 313.236.9978 | vandine@gmail.com

DATE	REVISION
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01.06.2023	SITE PLAN REVIEW - REV. 1
08.09.2023	HDC PROJECT REVIEW

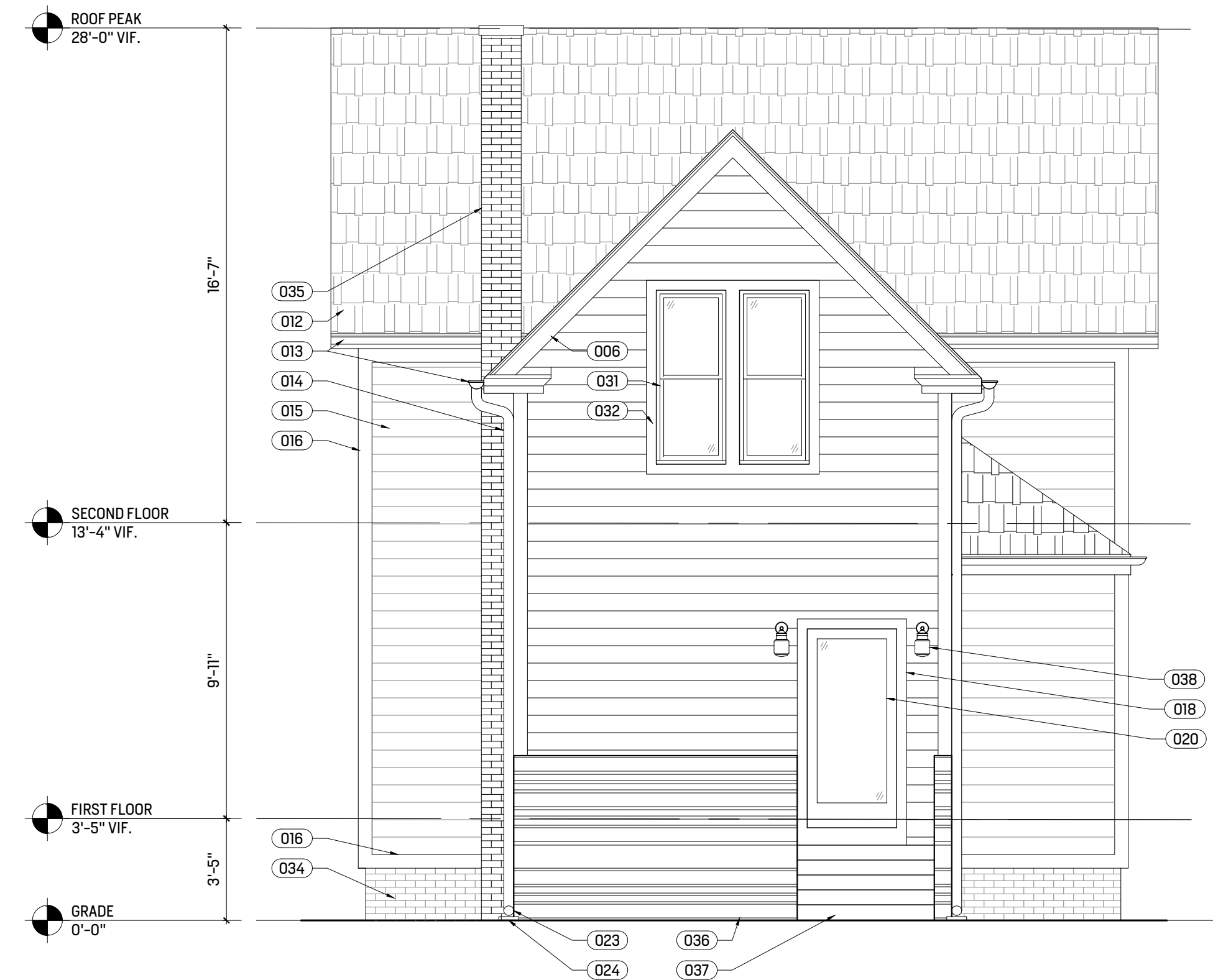
ACCESSORY DWELLING UNIT
FLOOR & ROOF PLANS

A.102

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1 NORTH ELEVATION (EXISTING HOME)
SCALE: 1/4" = 1'



2 SOUTH ELEVATION (EXISTING HOME)
SCALE: 1/4" = 1'

KEYNOTES

- ALL KEYNOTES LISTED BELOW MAY NOT BE USED ON THIS SHEET.
- 001 4/4 FIBER CEMENT SUNBURST CENTER. - B12
 - 002 7/16" FIBER CEMENT SUNBURST. - B10
 - 003 4/4 x 4 FIBER CEMENT TRIM. - B10
 - 004 ALTERNATING 7/16" x 4/4 FIBER CEMENT TRIM. - B10
 - 005 4/4 x 6 FIBER CEMENT TRIM. - B10.
 - 006 4/4 FIBER CEMENT FASCIA. - B10
 - 007 4/4 FRIEZE BOARD. - B10
 - 008 ALUMINUM DRIP EDGE. - B10
 - 009 FIBER CEMENT HALF ROUND SHINGLES. - B12
 - 010 BREAK METAL FLASHING. - B10
 - 011 4/4 FIBER CEMENT TRIM SET AT 45 DEGREE ANGLE. - B10
 - 012 DIMENSIONAL ASPHALT SHINGLE. - CERTAINTED LANDMARK PRO MAX DEF WEATHERED WOOD.
 - 013 ALUMINUM SEAMLESS HALF ROUND GUTTER. - B10
 - 014 ALUMINUM DOWNSPOUT. - B10
 - 015 FIBER CEMENT LAP SIDING 7" EXPOSURE. - B12
 - 016 4/4 x 6 FIBER CEMENT TRIM. - B10
 - 017 TURNED WOOD COLUMN. - B10
 - 018 EXISTING ENTRY & STORM DOOR. PAINT. - A9
 - 019 WOOD DECKING. - A9
 - 020 WOOD NEWEL POST WITH TURNED CAP. - B10
 - 021 STAIR TREAD. - A9
 - 022 RISER. - B10
 - 023 ALUMINUM DOWNSPOUT LEADER. - B10
 - 024 CEMENT SPLASH BLOCK.
 - 025 TOP RAIL. - B10
 - 026 BALUSTER. - B10
 - 027 BOTTOM RAIL. - B10
 - 028 CONTINUOUS FIBER CEMENT TRIM. MATCH TOP MATCH RISER HEIGHT. - A9
 - 029 4/4 x 4 FIBER CEMENT SCREEN BOARD. - B12
 - 030 4/4 x 4 FIBER CEMENT TRIM AROUND SKIRT. - B10
 - 031 EXISTING WINDOW. PAINT FRAME AND SASHES - A9
 - 032 4/4 x 4 FIBER CEMENT WINDOW TRIM. - B10
 - 033 LIGHT FIXTURE - SCHOOLHOUSE REED SCONCE JAR SHADE. BLACK W/ OPAL GLASS.
 - 034 EXISTING BRICK FOUNDATION WALL. SEE GENERAL NOTES FOR TUCK-POINTING, MASONRY REPLACEMENT, AND CLEANING.
 - 035 EXISTING BRICK CHIMNEY. SEE GENERAL NOTES FOR TUCK-POINTING, MASONRY REPLACEMENT, AND CLEANING.
 - 036 EXISTING DECK TO REMAIN.
 - 037 EXISTING STAIR TO REMAIN.
 - 038 ATTIC VENT. - B10
 - 039 STAIR AND RAILING BEYOND.

EXTERIOR FINISH LEGEND

- A9 MODERATE REDDISH BROWN.
- B10 GRAYISH GREEN (LIGHT)
- B12 GRAYISH GREEN (DARK)

GENERAL NOTES

1. ALL KEYNOTES / CALLOUTS INDICATE AREAS OF WORK TO BE COMPLETED, BUT MAY NOT COVER EVERY INSTANCE NECESSARY. CONTRACTOR TO FIELD VERIFY AND DOCUMENT ALL CONDITIONS PRIOR TO RENOVATION TO DETERMINE TOTAL SCOPE OF WORK. ALERT THE DESIGNER / OWNER IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THESE DOCUMENTS AND THE CONTRACTORS VERIFICATION AND SCOPE OF WORK FOR REVIEW AND APPROVAL.
2. ALL MASONRY CLEANING TO BE DONE IN ACCORDANCE WITH THE DETROIT HISTORIC DISTRICT COMMISSION GUIDELINES.
3. CONTRACTOR TO CLEAN ALL MASONRY WITH A GENTLE WATER ABRASIVE CLEANING METHOD PRIOR TO RESTORATION PROCESS FOR EVALUATION OF ALL MASONRY AND STONE SURFACES. ASSEMBLIES AND CONDITIONS, ALERT DESIGNER / OWNER UPON COMPLETION OF MASONRY CLEANING FOR INSPECTION OF ALL SURFACES PRIOR TO COMMENCEMENT OF FURTHER WORK.
4. CONTRACTOR IS TO CLEAN ALL MASONRY FOLLOWING COMPLETION OF ALL EXTERIOR SCOPES OF WORK. CONTRACTOR IS TO SEAL ALL EXTERIOR MASONRY AFTER RESTORATION.
5. THE RESTORATION CONTRACTOR SHALL PERFORM A TEST AREA OF THE MASONRY RESTORATION PROCESS IN A LOCATION INDICATED BY THE DESIGNER / OWNER FOR REVIEW AND APPROVAL PRIOR TO THE START OF THE MASONRY RESTORATION WORK. (CUT OUT MORTAR JOINTS, REPAIR, RE-POINT, AND CLEAN AS SPECIFIED).
6. CONTRACTOR TO COORDINATE RENOVATION OF EXTERIOR FACADE ELEMENTS WITH INSTALLATION OF ALL OTHER TRADE ITEMS WHICH ARE TO PENETRATE THE EXTERIOR WALL. MAINTAIN REQUIRED CODE CLEARANCE FROM WINDOW OPENINGS WITH ALL ITEMS. IDENTIFY LOCATIONS OF ALL MAJOR PENETRATIONS FOR DESIGNER / ARCHITECT REVIEW AND APPROVAL PRIOR TO CUTTING OR BORING ANY HOLES.
7. RE-POINTING OF MORTAR JOINTS REQUIRES THE EXISTING MORTAR TO BE CUT OUT TO A MIN. OF 1/4" DEPTH. CLEAN THE MASONRY SURFACES FROM LOOSE DEBRIS, AND RE-POINT WITH MORTAR TO MATCH ORIGINAL AS SPECIFIED.
8. ALL EXISTING STEEL LINTELS TO REMAIN ARE TO BE CLEANED AND PAINTED WITH THREE (3) COATS OF RUST INHIBITOR PAINT.
9. REMOVE AND REPLACE EXISTING LINTELS AT OPENINGS WITH IMPACTED JOINTS AT BEARING LOCATIONS. REMOVE EXISTING MASONRY, LINTELS AND FLASHINGS. INSTALL NEW LINTELS, FLASHING, AND WEEPS. PROVIDE MINIMUM BEARING EACH END OF OPENING.
10. PATCH AND REPAIR EXTERIOR WALLS AT ALL ITEMS REMOVED FROM THE EXISTING SURFACE. MATCH ADJACENT AREAS.
11. ALL WOOD IS TO BE PAINT GRADE, PRIMED ON FOUR (4) SIDES AND RECEIVE NO LESS THAN TWO (2) COATS OF PAINT. CONTRACTOR IS TO PRIME ALL EXPOSED END-GRAIN PRIOR TO INSTALLATION. COLORS ARE TO BE SELECTED BY OWNER FROM THE DETROIT HISTORIC DISTRICT COLOR AND STYLE GUIDE. COLOR SYSTEM B.
12. REMOVE ALL EXISTING ASPHALT SHINGLE ASSEMBLIES, AND UNDERLAYMENTS. INSPECT EXISTING ROOF SHEATHING AND REPAIR AS REQUIRED. PREPARE EXISTING WOOD ROOF FRAME AND SHEATHING TO ACCEPT NEW CERTAINTED LANDMARK PRO HIGH DEF ASPHALT SHINGLE. WEATHERED WOOD COLOR. HIPS ARE TO BE ASPHALT. INSTALL OVER PROPER UNDERLAYMENTS PER MANUFACTURER'S INSTALLATION AND WARRANTY REQUIREMENTS. PROVIDE ICE AND WATER SHIELD AT ALL EAVES TO A MINIMUM DISTANCE OF 24" BEYOND INTERIOR FACE OF FINISHED WALL UP ROOF SLOPE. ROOFING ASSEMBLY IS TO ACHIEVE A 30 YEAR WARRANTY. VENTILATE PER CODE.
13. NO NEW CLADDING TO BE INSTALLED PRIOR TO APPROVAL BY THE DETROIT HISTORIC DISTRICT COMMISSION. SEE GENERAL NOTE ON DEMOLITION PLAN. HISTORIC CLADDING OR DETAILS DISCOVERED DURING DEMOLITION SHALL BE SALVAGED AND REPAIRED IF POSSIBLE. IF DISCOVERED HISTORIC CLADDING OR DETAILS ARE DETERIORATED BEYOND REPAIR THEY ARE TO BE REPLACED IN KIND. CLADDING AND DETAILS ILLUSTRATED PERTAINING TO THE EXISTING HOME, IN THIS DRAWING SET, ARE ONLY VALID IF HISTORIC MATERIAL IS NOT DISCOVERED DURING DEMOLITION.

CHURCH ST ACCESSORY DWELLING UNIT
1815 CHURCH ST, DETROIT, MI 48216

DATE 08.09.2023 REVISION HDC PROJECT REVIEW

EXISTING HOUSE
EXTERIOR ELEVATIONS
A.201



1 EAST ELEVATION
SCALE: 1/4" = 1'

KEYNOTES

ALL KEYNOTES LISTED BELOW MAY NOT BE USED ON THIS SHEET.

- 001 4/4 FIBER CEMENT SUNBURST CENTER. - B12
- 002 7/16" FIBER CEMENT SUNBURST. - B10
- 003 4/4 x 4 FIBER CEMENT TRIM. - B10
- 004 ALTERNATING 7/16" x 4/4 FIBER CEMENT TRIM. - B10
- 005 4/4 x 6 FIBER CEMENT TRIM. - B10.
- 006 4/4 FIBER CEMENT FASCIA. - B10
- 007 4/4 FRIEZE BOARD. - B10
- 008 ALUMINUM DRIP EDGE. - B10
- 009 FIBER CEMENT HALF ROUND SHINGLES. - B12
- 010 BREAK METAL FLASHING. - B10
- 011 4/4 FIBER CEMENT TRIM SET AT 45 DEGREE ANGLE. - B10
- 012 DIMENSIONAL ASPHALT SHINGLE. - CERTAINTED LANDMARK PRO MAX DEF WEATHERED WOOD.
- 013 ALUMINUM SEAMLESS HALF ROUND GUTTER. - B10
- 014 ALUMINUM DOWNSPOUT. - B10
- 015 FIBER CEMENT LAP SIDING 7" EXPOSURE. - B12
- 016 4/4 x 6 FIBER CEMENT TRIM. - B10
- 017 TURNED WOOD COLUMN. - B10
- 018 EXISTING ENTRY & STORM DOOR. PAINT. - A9
- 019 WOOD DECKING - A9
- 020 WOOD NEWEL POST WITH TURNED CAP. - B10
- 021 STAIR TREAD - A9
- 022 RISER. - B10
- 023 ALUMINUM DOWNSPOUT LEADER. - B10
- 024 CEMENT SPLASH BLOCK.
- 025 TOP RAIL. - B10
- 026 BALUSTER. - B10
- 027 BOTTOM RAIL. - B10
- 028 CONTINUOUS FIBER CEMENT TRIM. MATCH TOP MATCH RISER HEIGHT. - A9
- 029 4/4 x 4 FIBER CEMENT SCREEN BOARD. - B12
- 030 4/4 x 4 FIBER CEMENT TRIM AROUND SKIRT. - B10
- 031 EXISTING WINDOW. PAINT FRAME AND SASHES - A9
- 032 4/4 x 4 FIBER CEMENT WINDOW TRIM. - B10
- 033 LIGHT FIXTURE - SCHOOLHOUSE REED SCONCE JAR SHADE. BLACK W/ OPAL GLASS.
- 034 EXISTING BRICK FOUNDATION WALL. SEE GENERAL NOTES FOR TUCK-POINTING, MASONRY REPLACEMENT, AND CLEANING.
- 035 EXISTING BRICK CHIMNEY. SEE GENERAL NOTES FOR TUCK-POINTING, MASONRY REPLACEMENT, AND CLEANING.
- 036 EXISTING DECK TO REMAIN.
- 037 EXISTING STAIR TO REMAIN.
- 038 ATTIC VENT. - B10
- 039 STAIR AND RAILING BEYOND.

EXTERIOR FINISH LEGEND

- A9 MODERATE REDDISH BROWN.
- B10 GRAYISH GREEN (LIGHT)
- B12 GRAYISH GREEN (DARK)

GENERAL NOTES

1. ALL KEYNOTES / CALLOUTS INDICATE AREAS OF WORK TO BE COMPLETED, BUT MAY NOT COVER EVERY INSTANCE NECESSARY. CONTRACTOR TO FIELD VERIFY AND DOCUMENT ALL CONDITIONS PRIOR TO RENOVATION TO DETERMINE TOTAL SCOPE OF WORK. ALERT THE DESIGNER / OWNER IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THESE DOCUMENTS AND THE CONTRACTORS VERIFICATION AND SCOPE OF WORK FOR REVIEW AND APPROVAL.
2. ALL MASONRY CLEANING TO BE DONE IN ACCORDANCE WITH THE DETROIT HISTORIC DISTRICT COMMISSION GUIDELINES.
3. CONTRACTOR TO CLEAN ALL MASONRY WITH A GENTLE WATER ABRASIVE CLEANING METHOD PRIOR TO RESTORATION PROCESS FOR EVALUATION OF ALL MASONRY AND STONE SURFACES, ASSEMBLIES AND CONDITIONS. ALERT DESIGNER / OWNER UPON COMPLETION OF MASONRY CLEANING FOR INSPECTION OF ALL SURFACES PRIOR TO COMMENCEMENT OF FURTHER WORK.
4. CONTRACTOR IS TO CLEAN ALL MASONRY FOLLOWING COMPLETION OF ALL EXTERIOR SCOPES OF WORK. CONTRACTOR IS TO SEAL ALL EXTERIOR MASONRY AFTER RESTORATION.
5. THE RESTORATION CONTRACTOR SHALL PERFORM A TEST AREA OF THE MASONRY RESTORATION PROCESS IN A LOCATION INDICATED BY THE DESIGNER / OWNER FOR REVIEW AND APPROVAL PRIOR TO THE START OF THE MASONRY RESTORATION WORK. (CUT OUT MORTAR JOINTS, REPAIR, RE-POINT, AND CLEAN AS SPECIFIED).
6. CONTRACTOR TO COORDINATE RENOVATION OF EXTERIOR FACADE ELEMENTS WITH INSTALLATION OF ALL OTHER TRADE ITEMS WHICH ARE TO PENETRATE THE EXTERIOR WALL. MAINTAIN REQUIRED CODE CLEARANCE FROM WINDOW OPENINGS WITH ALL ITEMS. IDENTIFY LOCATIONS OF ALL MAJOR PENETRATIONS FOR DESIGNER / ARCHITECT REVIEW AND APPROVAL PRIOR TO CUTTING OR BORING ANY HOLES.
7. RE-POINTING OF MORTAR JOINTS REQUIRES THE EXISTING MORTAR TO BE CUT OUT TO A MIN. OF 1-1/4" DEPTH. CLEAN THE MASONRY SURFACES FROM LOOSE DEBRIS, AND RE-POINT WITH MORTAR TO MATCH ORIGINAL AS SPECIFIED.
8. ALL EXISTING STEEL LINTELS TO REMAIN ARE TO BE CLEANED AND PAINTED WITH THREE (3) COATS OF RUST INHIBITOR PAINT.
9. REMOVE AND REPLACE EXISTING LINTELS AT OPENINGS WITH IMPACTED JOINTS AT BEARING LOCATIONS. REMOVE EXISTING MASONRY, LINTELS AND FLASHINGS. INSTALL NEW LINTELS, FLASHING, AND WEEPS. PROVIDE MINIMUM BEARING EACH END OF OPENING.
10. PATCH AND REPAIR EXTERIOR WALLS AT ALL ITEMS REMOVED FROM THE EXISTING SURFACE. MATCH ADJACENT AREAS.
11. ALL WOOD IS TO BE PAINT GRADE, PRIMED ON FOUR (4) SIDES AND RECEIVE NO LESS THAN TWO (2) COATS OF PAINT. CONTRACTOR IS TO PRIME ALL EXPOSED END-GRAIN PRIOR TO INSTALLATION. COLORS ARE TO BE SELECTED BY OWNER FROM THE DETROIT HISTORIC DISTRICT COLOR AND STYLE GUIDE. COLOR SYSTEM B.
12. REMOVE ALL EXISTING ASPHALT SHINGLE ASSEMBLIES, AND UNDERLAYMENTS. INSPECT EXISTING ROOF SHEATHING AND REPAIR AS REQUIRED. PREPARE EXISTING WOOD ROOF FRAME AND SHEATHING TO ACCEPT NEW CERTAINTED LANDMARK PRO HIGH DEF ASPHALT SHINGLE. WEATHERED WOOD COLOR. HIPS ARE TO BE ASPHALT. INSTALL OVER PROPER UNDERLAYMENTS PER MANUFACTURER'S INSTALLATION AND WARRANTY REQUIREMENTS. PROVIDE ICE AND WATER SHIELD AT ALL EAVES TO A MINIMUM DISTANCE OF 24" BEYOND INTERIOR FACE OF FINISHED WALL UP ROOF SLOPE. ROOFING ASSEMBLY IS TO ACHIEVE A 30 YEAR WARRANTY. VENTILATE PER CODE.
13. NO NEW CLADDING TO BE INSTALLED PRIOR TO APPROVAL BY THE DETROIT HISTORIC DISTRICT COMMISSION. SEE GENERAL NOTE ON DEMOLITION PLAN. HISTORIC CLADDING OR DETAILS DISCOVERED DURING DEMOLITION SHALL BE SALVAGED AND REPAIRED IF POSSIBLE. IF DISCOVERED HISTORIC CLADDING OR DETAILS ARE DETERIORATED BEYOND REPAIR THEY ARE TO BE REPLACED IN KIND. CLADDING AND DETAILS ILLUSTRATED PERTAINING TO THE EXISTING HOME. IN THIS DRAWING SET, ARE ONLY VALID IF HISTORIC MATERIAL IS NOT DISCOVERED DURING DEMOLITION.



2 WEST ELEVATION
SCALE: 1/4" = 1'

CHURCH ST ACCESSORY DWELLING UNIT

1815 CHURCH ST, DETROIT, MI 48216

ROBER VAN TOL | 4625 CHRISTIANCY, DETROIT, MI 48209 | 313.236.9378 | vandere@gmail.com

DATE	REVISION
08.09.2023	HDC PROJECT REVIEW

EXISTING HOUSE

EXTERIOR ELEVATIONS

A.202

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EXTERIOR FINISH LEGEND

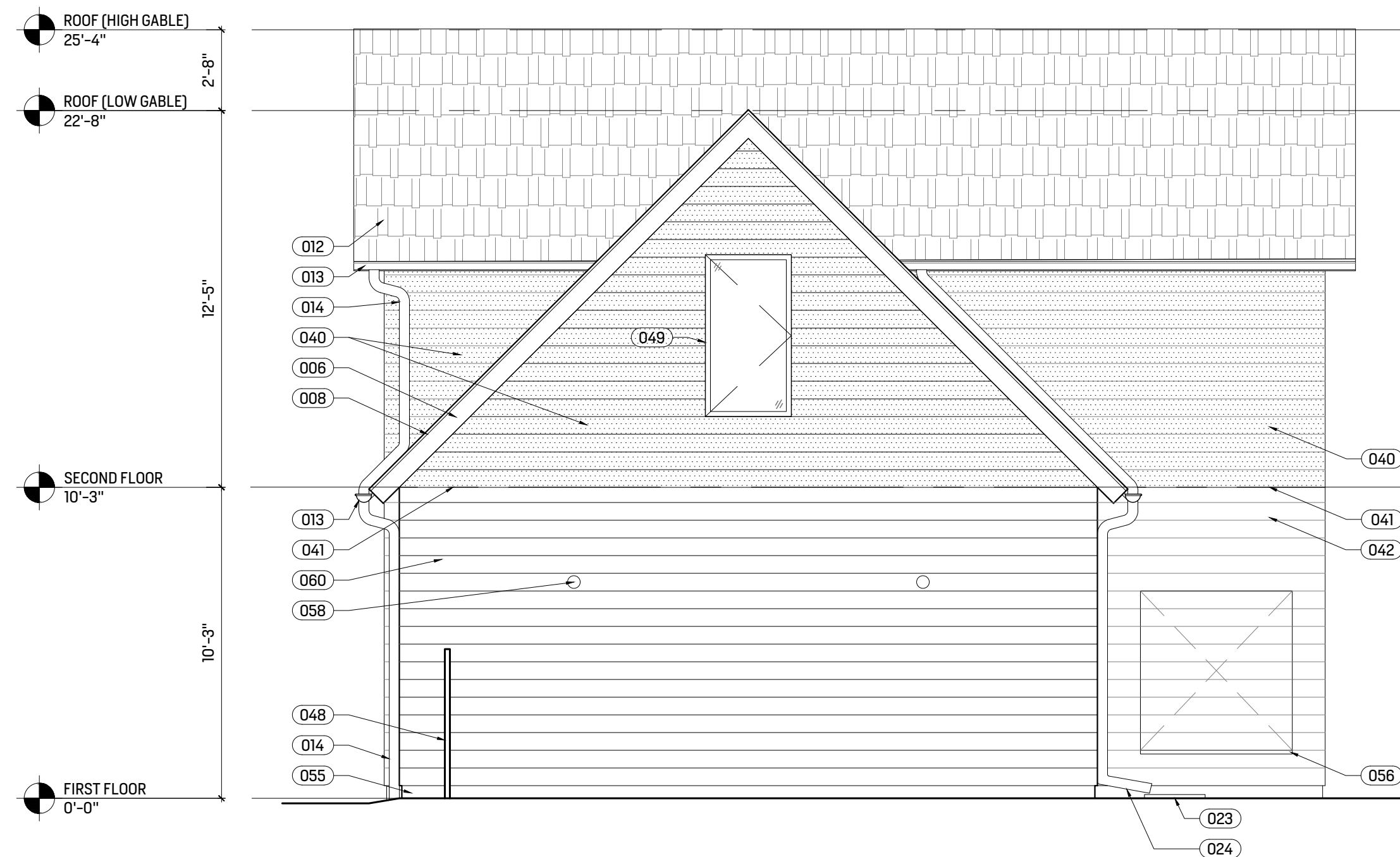
- A9 MODERATE REDDISH BROWN.
- B10 GRAYISH GREEN (LIGHT)
- B12 GRAYISH GREEN (DARK)
- EP01 GRAYISH GREEN (VERY DARK)
- EP02 BLACK
- WD01 RED CEDAR W/ CLEAR SEALER

GENERAL NOTES

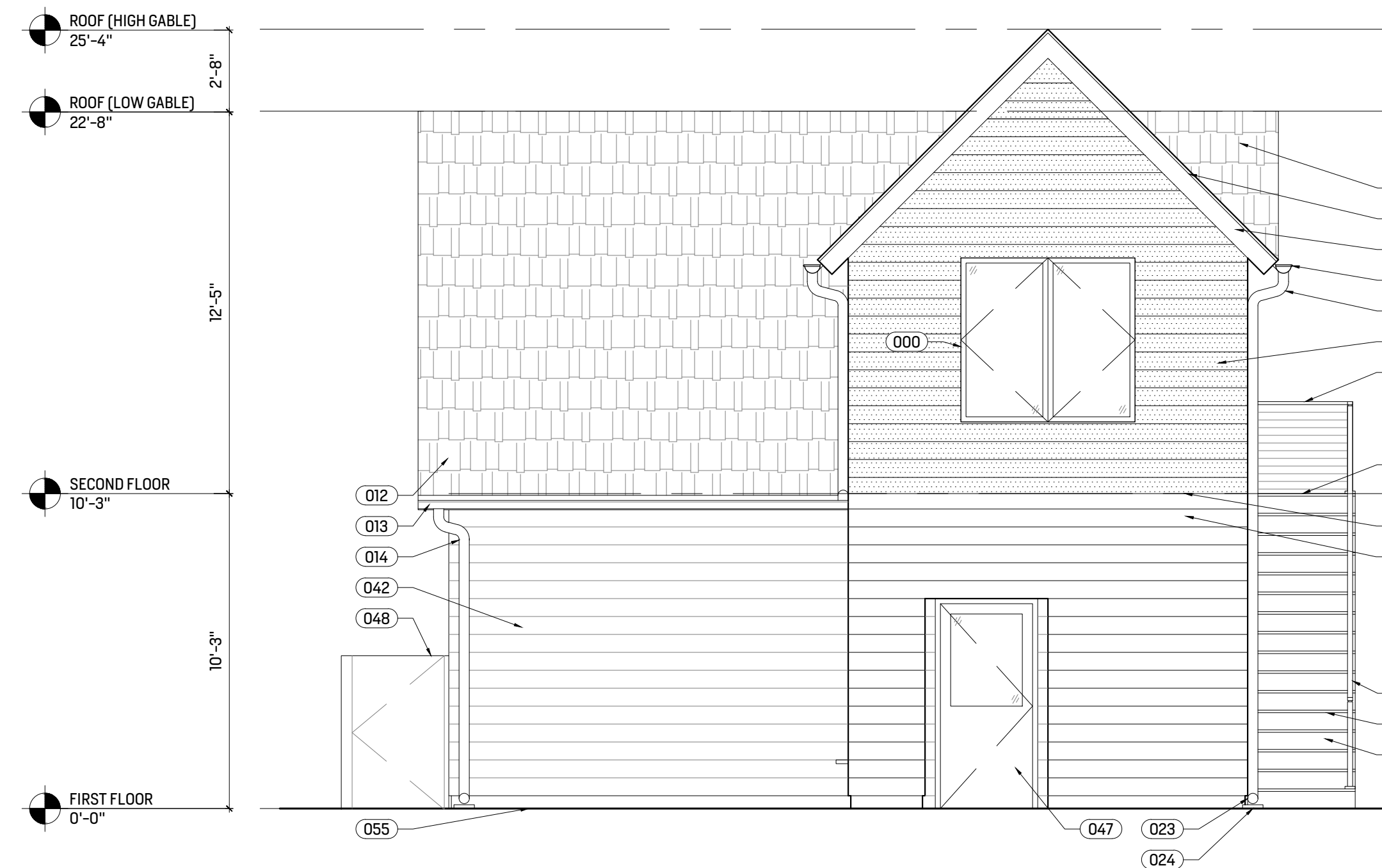
1. ALL KEYNOTES / CALLOUTS INDICATE AREAS OF WORK TO BE COMPLETED, BUT MAY NOT COVER EVERY INSTANCE NECESSARY. CONTRACTOR TO FIELD VERIFY AND DOCUMENT ALL CONDITIONS PRIOR TO RENOVATION TO DETERMINE TOTAL SCOPE OF WORK. ALERT THE DESIGNER / OWNER IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THESE DOCUMENTS AND THE CONTRACTORS VERIFICATION AND SCOPE OF WORK FOR REVIEW AND APPROVAL.
2. ALL MASONRY CLEANING TO BE DONE IN ACCORDANCE WITH THE DETROIT HISTORIC DISTRICT COMMISSION GUIDELINES.
3. CONTRACTOR TO CLEAN ALL MASONRY WITH A GENTLE WATER ABRASIVE CLEANING METHOD PRIOR TO RESTORATION PROCESS FOR EVALUATION OF ALL MASONRY AND STONE SURFACES, ASSEMBLIES AND CONDITIONS. ALERT DESIGNER / OWNER UPON COMPLETION OF MASONRY CLEANING FOR INSPECTION OF ALL SURFACES PRIOR TO COMMENCEMENT OF FURTHER WORK.
4. CONTRACTOR IS TO CLEAN ALL MASONRY FOLLOWING COMPLETION OF ALL EXTERIOR SCOPES OF WORK. CONTRACTOR IS TO SEAL ALL EXTERIOR MASONRY AFTER RESTORATION.
5. THE RESTORATION CONTRACTOR SHALL PERFORM A TEST AREA OF THE MASONRY RESTORATION PROCESS IN A LOCATION INDICATED BY THE DESIGNER / OWNER FOR REVIEW AND APPROVAL PRIOR TO THE START OF THE MASONRY RESTORATION WORK. (CUT OUT MORTAR JOINTS, REPAIR, RE-POINT, AND CLEAN AS SPECIFIED).
6. CONTRACTOR TO COORDINATE RENOVATION OF EXTERIOR FACADE ELEMENTS WITH INSTALLATION OF ALL OTHER TRADE ITEMS WHICH ARE TO PENETRATE THE EXTERIOR WALL. MAINTAIN REQUIRED CODE CLEARANCE FROM WINDOW OPENINGS WITH ALL ITEMS. IDENTIFY LOCATIONS OF ALL MAJOR PENETRATIONS FOR DESIGNER / ARCHITECT REVIEW AND APPROVAL PRIOR TO CUTTING OR BORING ANY HOLES.
7. RE-POINTING OF MORTAR JOINTS REQUIRES THE EXISTING MORTAR TO BE CUT OUT TO A MIN. OF 1-1/4" DEPTH. CLEAN THE MASONRY SURFACES FROM LOOSE DEBRIS, AND RE-POINT WITH MORTAR TO MATCH ORIGINAL AS SPECIFIED.
8. ALL EXISTING STEEL LINTELS TO REMAIN ARE TO BE CLEANED AND PAINTED WITH THREE (3) COATS OF RUST INHIBITOR PAINT.
9. REMOVE AND REPLACE EXISTING LINTELS AT OPENINGS WITH IMPACTED JOINTS AT BEARING LOCATIONS. REMOVE EXISTING MASONRY, LINTELS AND FLASHINGS. INSTALL NEW LINTELS, FLASHINGS, AND WEEPS. PROVIDE MINIMUM BEARING EACH END OF OPENING.
10. PATCH AND REPAIR EXTERIOR WALLS AT ALL ITEMS REMOVED FROM THE EXISTING SURFACE. MATCH ADJACENT AREAS.
11. ALL WOOD IS TO BE PAINT GRADE, PRIMED ON FOUR (4) SIDES AND RECEIVE NO LESS THAN TWO (2) COATS OF PAINT. CONTRACTOR IS TO PRIME ALL EXPOSED END-GRAIN PRIOR TO INSTALLATION. COLORS ARE TO BE SELECTED BY OWNER FROM THE DETROIT HISTORIC DISTRICT COLOR AND STYLE GUIDE, COLOR SYSTEM B.
12. REMOVE ALL EXISTING ASPHALT SHINGLE ASSEMBLIES, AND UNDERLAYMENTS. INSPECT EXISTING WOOD ROOF FRAME AND SHEATHING AS REQUIRED. PREPARE EXISTING WOOD ROOF FRAME AND SHEATHING TO ACCEPT NEW CERTAINTED LANDMARK PRO HIGH DEF ASPHALT SHINGLE, WEATHERED WOOD COLOR. HIPS ARE TO BE ASPHALT. INSTALL OVER PROPER UNDERLAYMENTS PER MANUFACTURER'S INSTALLATION AND WARRANTY REQUIREMENTS. PROVIDE ICE AND WATER SHIELD AT ALL EAVES TO A MINIMUM DISTANCE OF 24" BEYOND INTERIOR FACE OF FINISHED WALL UP ROOF SLOPE. ROOFING ASSEMBLY IS TO ACHIEVE A 30 YEAR WARRANTY. VENTILATE PER CODE.

NO NEW CLADDING TO BE INSTALLED PRIOR TO APPROVAL BY THE DETROIT HISTORIC DISTRICT COMMISSION. SEE GENERAL NOTE ON DETROIT HISTORIC CLADDING ON DETAILS. IF DISCOVERED ALL HISTORIC CLADDING SHALL BE SALVAGED AND REPAIRED IF POSSIBLE. IF DISCOVERED HISTORIC CLADDING OR DETAILS ARE

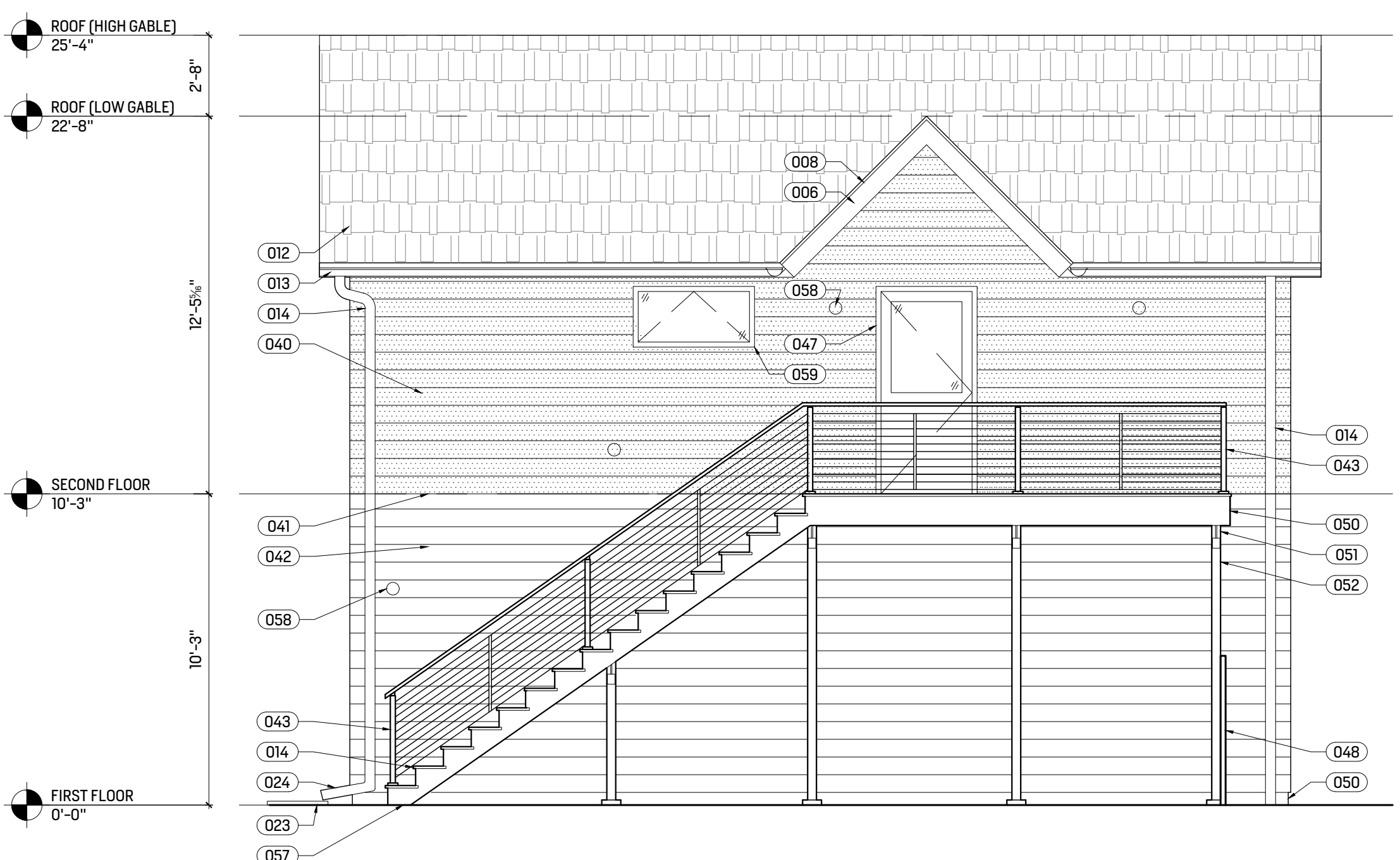
- 006 4/4 FIBER CEMENT FASCIA. - B10
- 007 4/4 FRIEZE BOARD. - B10
- 008 ALUMINUM DRIP EDGE. - B10
- 012 DIMENSIONAL ASPHALT SHINGLE. CERTAINTED LANDMARK PRO MAX DEF WEATHERED WOOD.
- 013 ALUMINUM SEAMLESS HALF ROUND GUTTER. - B10
- 014 ALUMINUM DOWNSPOUT. - B10
- 023 ALUMINUM DOWNSPOUT LEADER. - B10
- 024 CEMENT SPLASH BLOCK.
- 040 WOOD LAP SIDING 7" EXPOSURE. - WD01
- 041 EXTERIOR CLADDING MATERIAL TRANSITION.
- 042 FIBER CEMENT LAP SIDING 7" EXPOSURE. - EP01
- 043 RAILING SYSTEM. - CABLE BULLET SIGNATURE SERIES.
- 044 STAIR TREAD. - EP01
- 045 RISER. - EP01
- 046 WOOD DECKING. - EP01
- 047 ENTRY DOOR. - B10
- 048 WOOD GATE. MATCH EXISTING FENCE PATTERN AND WOOD SPECIES/FINISH.
- 049 CASEMENT WINDOW. - PELLA RESERVE CONTEMPORARY. BLACK FINISH.
- 050 4/4 x 12 FIBER CEMENT TRIM. - EP01
- 051 BEAM. SEE STRUCTURAL. - BLACK
- 052 COLUMN. SEE STRUCTURAL. - BLACK
- 053 4/4 x FIBER CEMENT GARAGE DOOR TRIM.
- 054 7'-0" H x 8'-0" W SECTIONAL INSULATED OVERHEAD DOOR.
- 055 CMU STARTER COURSE.
- 056 SEALED CEMENT SILL.
- 057 4/4 FIBER CEMENT STRINGER TRIM. - EP01
- 058 LIGHT FIXTURE - RBW CRISP SCENCE WET LOCATION. BLACK W/ WHITE GLASS. 2700K
- 059 AWNING WINDOW. - PELLA RESERVE CONTEMPORARY. BLACK FINISH.
- 060 LIGHT FIXTURE - SCHOOLHOUSE ALLEGHENY SCENCE WET LOCATION. BLACK. 2700K



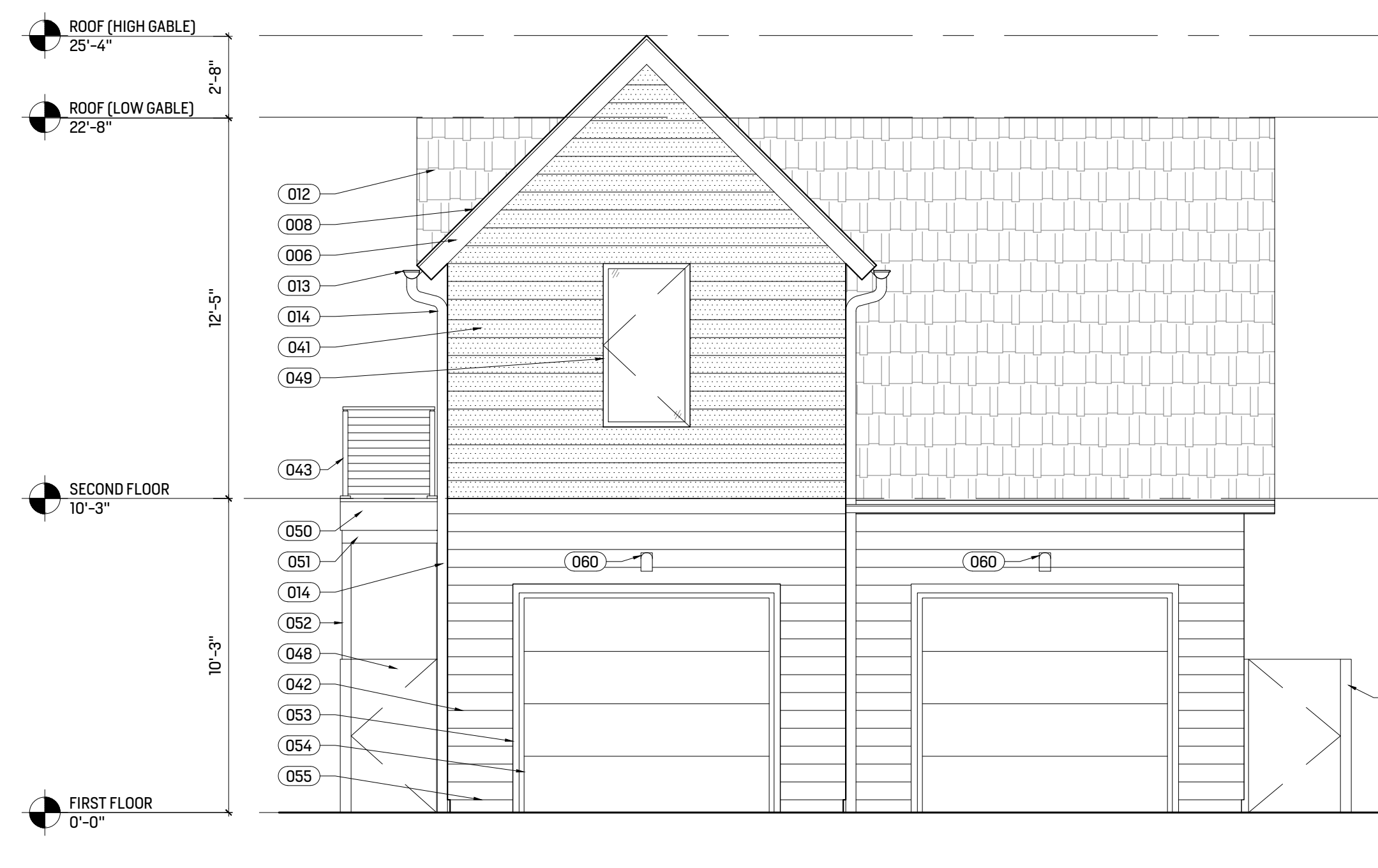
3 EAST ELEVATION (ACCESSORY DWELLING UNIT)
SCALE: 1/4" = 1'



1 NORTH ELEVATION (ACCESSORY DWELLING UNIT)
SCALE: 1/4" = 1'



4 WEST ELEVATION (ACCESSORY DWELLING UNIT)
SCALE: 1/4" = 1'



2 SOUTH ELEVATION (ACCESSORY DWELLING UNIT)
SCALE: 1/4" = 1'

CHURCH ST ACCESSORY DWELLING UNIT

1815 CHURCH ST, DETROIT, MI 48216

ROGER VAN TOL | 4625 CHRISTIANCY, DETROIT, MI 48209 | 313.236.9978 | vandreg@gmail.com

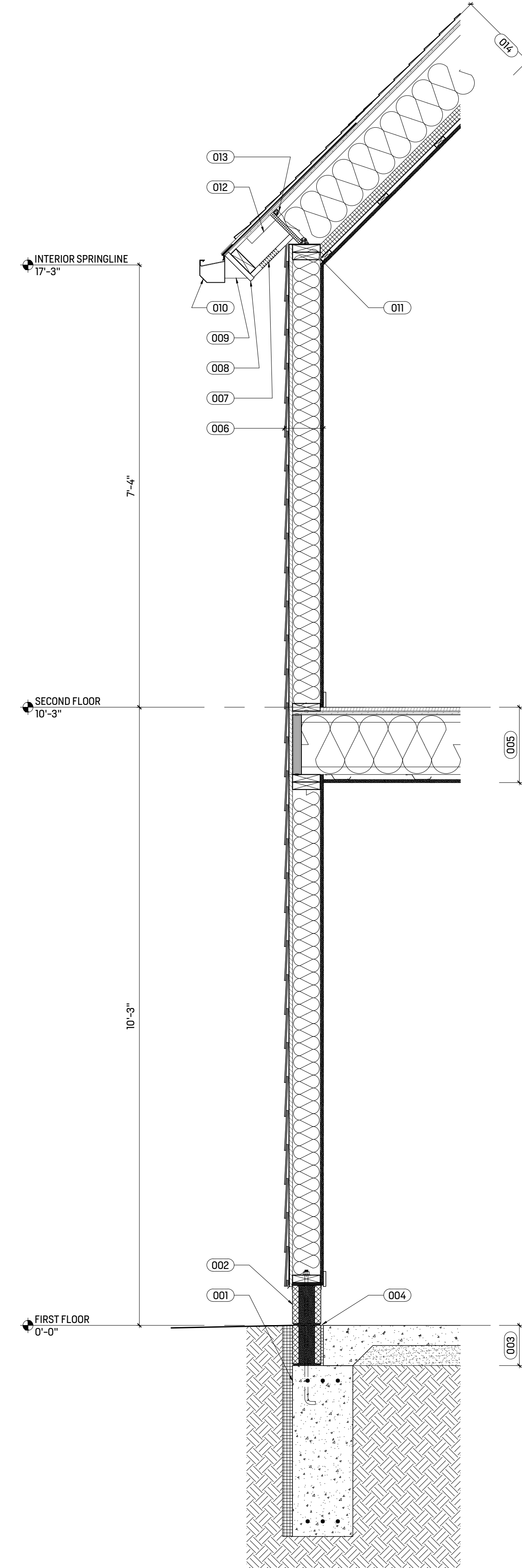
DATE	REVISION
09.12.2022	SITE PLAN REVIEW
04.03.2023	SITE PLAN REVIEW - REV.1
08.09.2023	HDC PROJECT REVIEW

ACCESSORY DWELLING UNIT

EXTERIOR ELEVATIONS

A.203

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1 WALL SECTION
SCALE: 3/4" = 1'

KEYNOTES

- 001 CONCRETE TRENCH FOOTING (3500 psi).
- 002 8 x 6 x 16 CMU STARTER COURSE. GROUT ALL CELLS SOLID AFTER ANCHOR BOLT PLACEMENT.
- 003 **SLAB ASSEMBLY:**
 1. 4" CONCRETE SLAB (3500psi).
 2. 6 x 6 #10 WELDED WIRE FABRIC.
 3. 5 MIL VAPOR AND RADON BARRIER.
 4. 2" FULLY COMPACTED SUB-GRADE.
 5. SMOOTH TROWEL FINISH.
- 004 PROVIDE FIBROUS EXPANSION STRIPS AT SLAB PERIMETER.
- 005 **FLOOR ASSEMBLY - UL L514**

(1) HOUR FIRE SEPARATION BETWEEN GARAGE AND DWELLING).

 1. FINISH FLOOR.
 2. 3/4" TONGUE AND GROOVE ADVANTEC ENGINEERED SUBFLOOR (OR EQUAL) OVER CONSTRUCTION ADHESIVE AT EVERY JOIST. PROVIDE EXPANSION SPACING AT PANELS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. ATTACH WITH #8 DECK SCREWS AT 8" O.C.
 3. SCHEDULED FLOOR JOISTS AT 16" O.C. WITH SOLID RIM BOARD.
 4. FULLY ALL INSULATE ALL JOIST CAVITIES WITH FIBERGLASS BATT INSULATION.
 5. RESILIENT CHANNELS APPLIED PERPENDICULAR TO JOISTS AT 16" O.C. WITH 1 1/2" TYPE 'W' DRYWALL SCREWS.
 6. (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD APPLIED PERPENDICULAR TO RESILIENT CHANNELS WITH 1" TYPE 'S' DRYWALL SCREWS AT 12" O.C.
- 006 **TYPICAL EXTERIOR WALL ASSEMBLY**
 1. FIBER CEMENT LAP SIDING - HARDIE PLANK SMOOTH.
 2. TYVEK BUILDING WRAP - TAPE ALL JOINTS AND PENETRATIONS.
 3. 5/8" DENSGLASS FIREGUARD SHEATHING (AT EAST AND WEST WALLS ONLY) ATTACHED TO WALL WITH #6 DECK SCREWS AT 8" O.C. ALL OTHER WALLS MAY RECEIVE UNTREATED 1/2" EXTERIOR GRADE APA-RATED WALL SHEATHING. INSTALL WITH FACE GRAIN ACROSS STUDS.
 4. 2x6 WOOD STUD FRAMING AT 16" O.C. (MINIMUM).
 5. R21 KRAFT-FACED FIBERGLASS WALL INSULATION (MINIMUM).
 6. 5/8" GYPSUM BOARD.
- 007 FIBER CEMENT SOFFIT PANEL - HARDIE VENTED SMOOTH.
- 008 FIBER CEMENT FASCIA - HARDIE TRIM.
- 009 GUTTER BRACKET.
- 010 5" SQUARE SEAMLESS .027 GAUGE ALUMINUM GUTTER. INSTALL WITH FULLY CONCEALED ANCHORS.
- 011 CONTINUOUS BEAD OF SEALANT
- 012 2" RIGID INSULATION ROUGH CUT AROUND INSULATION BAFFLE - AIR SEAL PERIMETER WITH EXPANDING FOAM SEALANT.
- 013 EXTEND INSULATION BAFFLE THROUGH RIGID INSULATION.
- 014 **ROOF ASSEMBLY**
 1. ASPHALT SHINGLE ASSEMBLY.
 2. INSTALL CONTINUOUS RIDGE VENT PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND CONTINUOUS ALUMINUM DRIP EDGE (BLACK) AT ALL ROOF EDGES.
 3. 15 LB BITUMINOUS ROOF FELT UNDERLAYMENT.
 4. CONTINUOUS 36" WIDE STRIP OF ICE AND WATER SHIELD AT ALL EAVE CONDITIONS AND IN ALL VALLEYS. INSTALL MINIMUM OF 2'-0" MEASURED HORIZONTALLY BEYOND THE INTERIOR FACE OF THE FINISHED WALL ASSEMBLY / FACE OF WARM ZONE PER CODE AT ALL EAVE CONDITIONS.
 5. 5/8" APA RATED ROOF SHEATHING. PROVIDE BRIDGING CLIPS AT EVERY RAFTER BAY.
 6. SCHEDULED ROOF JOISTS / RAFTERS / TRUSSES.
 7. INSULATION BAFFLE. INSTALL TO PROVIDE CONTINUOUS UNOBSTRUCTED VENTILATION FROM SOFFIT VENT TO RIDGE VENT.
 8. R30 FIBERGLASS INSULATION (MINIMUM).
 9. 2" RIGID INSULATION - TAPE ALL JOINTS.
 10. 1X3 FURRING ON 16" O.C.
 11. (1) LAYER 5/8" GYPSUM BOARD WITH 1" TYPE 'S' DRYWALL SCREWS AT 12" O.C.

CHURCH ST ACCESSORY DWELLING UNIT
1815 CHURCH ST, DETROIT, MI 48216

DATE	REVISION
01.06.2022	SITE PLAN REVIEW - REV. 1
08.09.2023	HDC PROJECT REVIEW

ACCESSORY DWELLING UNIT
WALL SECTIONS

A.301
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4. Accessory Dwelling Unit Perspectives

See following pages



ACCESSORY DWELLING UNIT
NORTHEAST PERSPECTIVE



ACCESSORY DWELLING UNIT
NORTH PERSPECTIVE



ACCESSORY DWELLING UNIT
NORTHWEST PERSPECTIVE



ACCESSORY DWELLING UNIT
SOUTHEAST PERSPECTIVE

5. Current Photographs

See following pages

POSSIBLE CONCEALED
HISTORIC DETAILING

NON-HISTORIC PORCH, STAIRS,
AND COLUMN TO BE REPLACED





EAST FACADE VIEW FROM THE NORTHEAST



NON-HISTORIC SHED
TO BE REMOVED

EAST FACADE VIEW FROM THE SOUTHEAST



SOUTH FACADE



WEST FACADE TO THE SOUTH OF THE WEST GABLE



WEST FACADE VIEW FROM THE SOUTHWEST



WEST FACADE VIEW FROM THE NORTHWEST



PARKING PAD TO BE
REMOVED

PARKING PAD AT SOUTH END OF PROPERTY ALONG ALLEY



NEW GATES AND
RECONFIGURED FENCE
TO MATCH EXISTING

TREE TO REMAIN

REAR YARD VIEW FROM NORTH LOOKING FROM REAR DECK



HEAT PUMP COMPRESSOR AT SOUTH END OF WEST FACADE



NON-HISTORIC PORCH, STAIRS,
AND COLUMN TO BE REPLACED

NON-HISTORIC PORCH DETAILS

6. Cut Sheets

See following pages

COLOR SYSTEM B

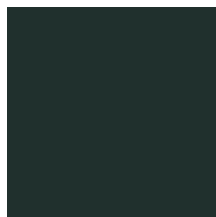
PAINT COLORS

ACCEPTABLE COLOR COMBINATIONS *MS = MUNSELL STANDARD

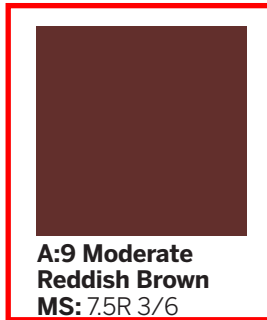
BODY	TRIM	SASH	CORNICE/ PORCH	IRON CRESTING
Any System B Color EXCEPT A:7, A:8, A:9, B:19	Any System B Color	Match trim color or A:9, B:12, B:18, B:19	Match trim color or stone detailing	A:8, B:8, B:11 or B:19
Shingles: Stained or painted any System B Color ESPECIALLY Dark Greens, Olives, Browns and Yellows EXCEPT A:7, A:8, B:19	Any System B Color	Match trim color or A:9, B:12, B:18, B:19	Match trim color or stone detailing	A:8, B:8, B:11 or B:19
Existing brick or stone	Any System B Color darker than the brick or stone body, ESPECIALLY B:6, B:8, B:11, B:18	Match trim color or A:9, B:12, B:18, B:19	Match trim color or stone detailing	A:8, B:8, B:11 or B:19



B:7 Bluish Gray
MS: 10B 5/1



B:8 Blackish Green
MS: 2.5BG 2/2



B:9 Moderate Reddish Brown
MS: 7.5R 3/6



B:1 Light Yellowish Brown
MS: 10YR 6/4



B:2 Dark Yellow
MS: 5Y 6/6



B:3 Light Yellow
MS: 2.5Y 8/6



B:4 Moderate Yellow
MS: 2.5Y 7/6



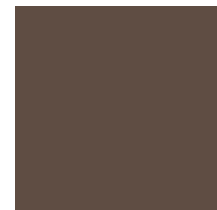
B:5 Light Brown
MS: 7.5YR 5/4



B:6 Moderate Brown
MS: 7.5YR 4/4



B:7 Moderate Yellowish Brown
MS: 10YR 5/4



B:8 Grayish Brown
MS: 5YR 3/2



B:9 Moderate Yellow Green
MS: 2.5GY 6/4



B:10 Grayish Green
MS: 10G 5/2



B:11 Grayish Olive Green
MS: 5GY 4/2



B:12 Grayish Green
MS: 10G 4/2



B:13 Moderate Olive Brown
MS: 2.5Y 4/4



B:14 Dark Grayish Olive
MS: 10Y 2/2



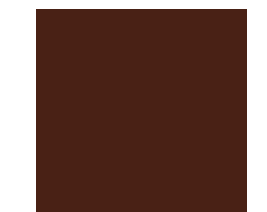
B:15 Dark Grayish Yellow
MS: 5Y 6/4



B:16 Light Grayish Olive
MS: 7.5Y 6/2



B:17 Light Olive
MS: 10Y 5/4



B:18 Dark Reddish Brown
MS: 2.5YRG 2/4



B:19 Black
MS: N 0.5/



PAINT COLORS

EXISTING HOUSE LAP SIDING

EXISTING HOUSE HALF
ROUND SHINGLES

ACCESSORY DWELLING UNIT
FIRST FLOOR LAP SIDING



FULL-LINE PRODUCT COLLECTION





Beyond the appeal of the products.

For more than 75 years, Allura has been building its enviable reputation by Making the Material Difference – focusing on the things that make a real difference for our customers. We begin by providing service through a team of professionals dedicated to exceeding your expectations. We're adamant about ensuring you get the right material in the right location at the right time. To do so, we offer a full line of building materials that deliver the distinctive look and unsurpassed performance you demand.

Unlike wood, vinyl and other traditional building materials, Allura Fiber Cement products resist damage from hail or termite attacks, resist rot, are noncombustible, and are free from manufacturing defects. They are also suitable in both hot and cold climates and are fire resistant. What's more, Allura products feature realistic wood grain and textures, come in an incredible array of colors and are paintable for unlimited design possibilities.



When it comes to the natural look you want with none of the hassles, Allura fiber cement products are all you need.

- *Durable, engineered to endure harsh weather and high-wind climates*
- *Noncombustible, Class A fire rating*
- *Superior aesthetics*
- *Factory pre-primed*
- *Distinctive, more realistic textures*
- *30-year limited warranty*
- *Best ROI for homeowners* for 8 years in a row*

* According to Remodeling Cost vs Value Report



Impact-resistant



Termite-resistant



Rot-resistant



Weather-resistant



Noncombustible



LAP SIDING



Classic style. State-of-the-art performance.

Combining the appearance and workability of wood with the durability of specially formulated fiber cement, Allura Lap Siding not only looks great but lasts considerably longer than traditional exterior wall cladding or vinyl siding.



AVAILABLE TEXTURES *



Traditional Cedar



Smooth

DESIGNER'S CORNER

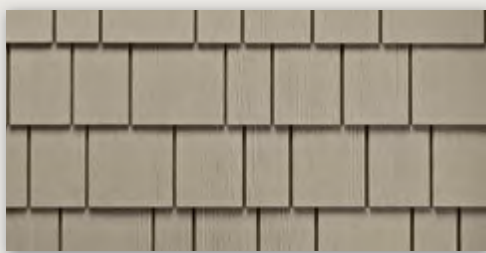
Our Traditional Cedar texture features a deep, realistic wood grain appearance for an unbeatable classic style, while the Smooth texture creates a cleaner, modern aesthetic. You can even customize your design utilizing our extensive range of widths. No matter the style, Allura Lap Siding has got yours covered.

LAP SIDING*

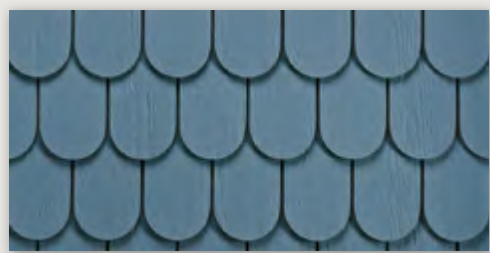
Thickness	Width	Length	Exposure
5/16"	5 1/4"	12'	4"
5/16"	6 1/4"	12'	5"
5/16"	7 1/4"	12'	6"
5/16"	8 1/4"	12'	7"
5/16"	9 1/4"	12'	8"
5/16"	12"	12'	10 3/4"

* 1/4" min. overlap with all Lap Siding. Check market availability, as products may vary.

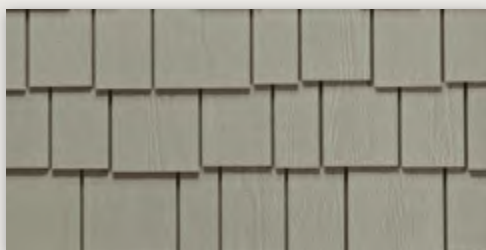
SHAKE



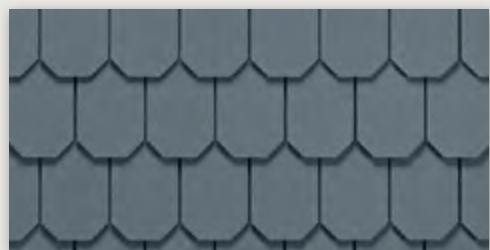
Random Square - Straight Edge



Half Rounds



Random Square - Staggered Edge



Octagons

The undeniable allure of texture and detail.

Replacing split or rotted wood shingles is a thing of the past thanks to Allura Shake. Featuring the natural beauty of cedar, our Shake provide the appearance of wood without the wear and tear, ideal for everything from small facades to large areas to full wall applications. What's more, our Shake achieves the look of individual shingles in easy-to-install panels. To elevate the authenticity even further, opt for Allura Shake Select, the innovative interlocking 3-panel system that minimizes repeating patterns to deliver a truly random aesthetic. All of which deliver a lot of extra curb appeal without a lot of extra work.

Allura Shake*

- Primed only
- Two textures: Traditional Cedar & Combed

STAGGERED EDGE

Thickness	Dimensions	Exposure
1/4"	16" x 48"	6"

STRAIGHT EDGE

Thickness	Dimensions	Exposure
1/4"	16" x 48"	7"
1/4"	12" x 48"	5"

HALF ROUNDS & OCTAGON

Thickness	Dimensions	Exposure
1/4"	16" x 48"	7"

* Check market availability, as products may vary.



DESIGNER'S CORNER

When it comes to creativity and versatility, Allura Shake is all you need to establish a look that's all your own. Whether you prefer the classic Straight Edge look, the "randomness" of Staggered Edge or the decorative possibilities of our Half Round, Allura Shake makes your design ideas come alive.

Tie it all together.

Thanks to our special fiber cement formulation, Allura Trim has all the advantages of wood and none of the hassles. It looks like wood yet is incredibly durable. It won't rot, warp or splinter and is designed to significantly outperform wood in every way. Best of all, there is no need for special tools on the job site. Our Trim can be cut with the same saw blades and installed with the same tools normally used for wood products. Why bother with wood? Trim provides the look and long-lasting protection you need to bring your home that all-important finishing touch.



TRIM FEATURES

- Available in reversible Cedar/Smooth board for added versatility
- 15-year limited warranty

DESIGNER'S CORNER

Nothing brings the look of your home together quite like Allura Trim. Its clean lines, exceptional durability and paintability provide the ultimate in beauty and versatility. Allura Trim is the perfect finishing touch.

Size	Thickness	Nominal Width*								
		2"	3"	4"	5"	6"	8"	10"	12"	
7/16"	7/16"			●		●	●		●	
4/4	3/4"	●	●	●		●	●	●	●	
5/4	1"	●	●	●	●	●	●	●	●	
8/4	1 1/2"			●		●				

All available in 12-ft. lengths

*Check market availability, as products may vary.



Industry-leading
15-year Transferable Trim
Limited Warranty

We don't just promise world-class service. We guarantee it.

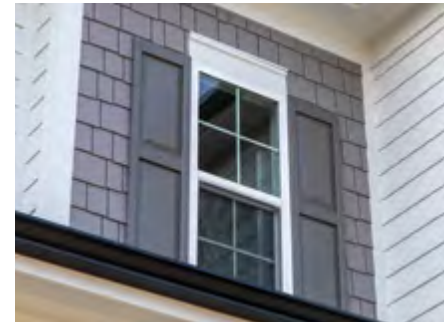
At Allura, we believe the building industry is first and foremost a service industry. We understand time is money and you deserve respectful, courteous and knowledgeable customer service. So you can always count on us for helpful technical support, customer service reps and managers who are eager to assist you with all your Allura fiber cement needs.

ON-TIME SHIPMENTS

We take pride in delivering full and on-time shipments. If for any reason your direct Allura order does not ship on your promised ship date, please contact Allura's Customer Support immediately, so we can assist you.

QUALITY PRODUCTS & PROTECTED INVESTMENT

With over 75 years of experience, Allura provides a top-line fiber cement product using our advanced formulation and quality-control monitoring. Every piece of fiber cement product delivered from Allura will be palletized and wrapped to protect your investment.



BACKED BY CONFIDENCE.

Allura fiber cement siding products are backed by our
30-year Transferable Limited Product Warranty*.

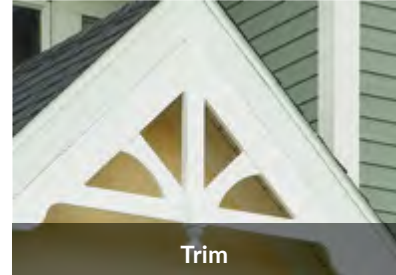
*Please review our Limited Transferable Warranty for specific details. Use of the product subjects you to a Limited Warranty and Arbitration Agreement. For a copy and further details, visit AlluraUSA.com/warranties.



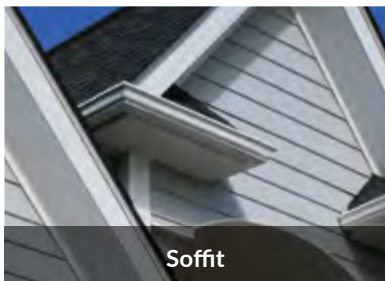
Lap Siding



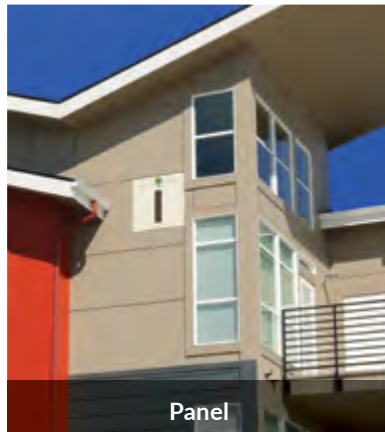
Shake



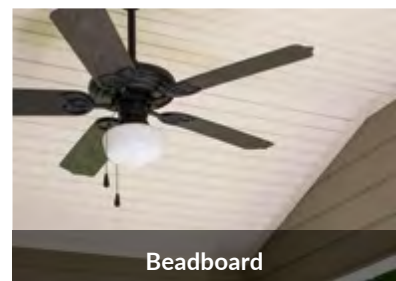
Trim



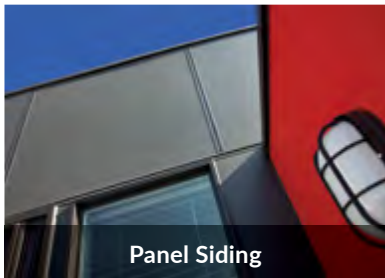
Soffit



Panel



Beadboard



Panel Siding



Shake Select



AlluraUSA.com

396 West Greens Road, Suite 300 • Houston, Texas 77067 • (844) 4.ALLURA (844) 425.5872



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*Please review our Limited Transferable Warranty for specific details. Use of the product subjects you to a Limited Warranty and Arbitration Agreement. For a copy and further details, visit Allurausa.com/warranties.



Otis 6", 14" Traditional Schoolhouse Shade

Application: Surface Mount

Product Origin: Processed and assembled in Portland, Oregon using ethically-sourced domestic and global components.

UL Listed: Yes

Max Wattage: 100 W

Voltage: 120/220 V

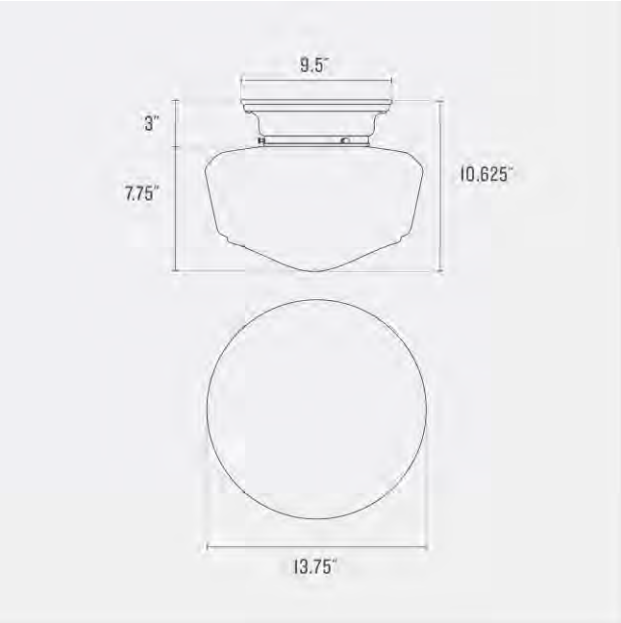
Location Rating: Damp

Dimensions:

Width: 13.75"
Depth: 13.75"
Canopy Width: 9.5"
Fitter Size: 6"

Materials: Brass, Glass

One year guarantee



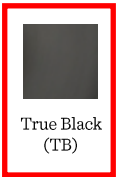
Finish Options



Satin Nickel (SN)



Polished Nickel (PN)



True Black (TB)



Natural Brass (NB)

Glass Options



Black Pinstripe (BPS)



Opal Glass (OP)

EXISTING HOUSE
REAR ENTRY DOOR SCONCE

SCHOOLHOUSE

Reed Sconce: Jar Shade

Application: Wall Sconce

Product Origin: Processed and assembled in Portland, Oregon using ethically-sourced domestic and global components.

UL Listed: Yes

Max Wattage: 60 W

Voltage: 120 Volts

Location Rating: Wet

Dimensions:

Height: 13.5"

Width: 6"

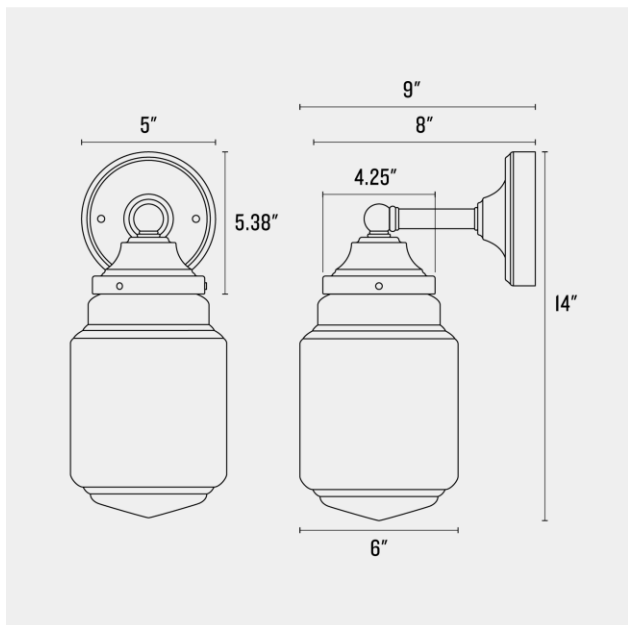
Projection: 9"

Canopy Width: 5"

Fitter Size: 4"

Materials: Brass / Glass

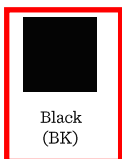
One year guarantee



Finish Options



Natural Brass
(NB)



Black
(BK)

Glass Options



Opal Glass
(OP)



Clear Glass
(CL)

Allegheny Sconce



Application: Wall Sconce

Product Origin: Processed and assembled in Portland, Oregon using ethically-sourced domestic and global components.

UL Listed: Yes

Max Wattage: 60 W

Voltage: 120/220 Volts

Location Rating: Wet

Dimensions:

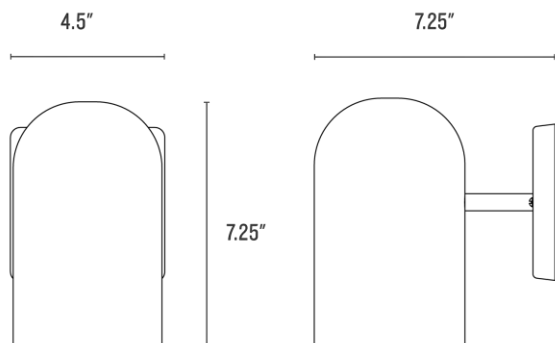
Overall: 7.25"H x 4.625"W x 7.125" D

Shade: 7.25"H x 4.325"W x 4.325" D

Canopy: 4.625"H x 4.625"W x 0.75" D

Details: Must be mounted with shade opening oriented downward as shown.

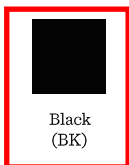
One year guarantee



Color Options



White
(WT)



Black
(BK)



Lichen-Gloss
(LN-G)



Butterscotch
(BU)



Natural Brass
(NB)

Finish Options

Crisp Sconce

Sconces

ACCESSORY DWELLING UNIT
SCONCES ON EAST AND
WEST FACADES



50 Greene St
New York NY 10013
T +1 212 388 1621
sales@rbw.com



For 2D & 3D drawings of all products, including CAD, Revit and IES files, please visit rbw.com

Generate Date: Sun Jun 04 2023

DESCRIPTION

As a versatile flush mount, Crisp's simple, iconic design is suitable for both wall and ceiling installation, indoors and outdoors. The solid glass shade, offered in a range of finishes, is distinguished by its scored surface, adding a subtle textural detail to the environment.

MATERIALS

Cast solid glass, aluminum

COLLECTION NOTES

Luminaire lumens listed are for AC input Triac control. DC input are within photometry downloads. Each form of cast glass is unique. We review each to ensure they conform to ASTM standards, which includes the presence of small air bubbles within the glass.

PERFORMANCE

419 lm (Frosted) | 338 lm (White) | 81 lm (Chrome) | 40 lm (Copper)

Power Consumption 8.5W

Luminaire Watts 7.6W (AC input)

55.1 lm/W (Frosted) | 44.5 lm/W (White) | 10.7 lm/W (Chrome) | 5.3 lm/W (Copper)

90 CRI

LED LIFESPAN

50k hours

CERTIFICATION

ADA Compliant

UL Listed

Suitable for Wet Locations

Suitable for Damp Locations

IP20

IP65



PRODUCT DIMENSIONS

5" Dia. x 3.3" Depth

PRODUCT WEIGHT

3.5 lbs / 2 kg

DIMENSIONAL WEIGHT

3 lbs

YOUR PRODUCT CODE

CR-WS-S10-AA04-30-1_10V_UNV-IP65

Specification Logic

GLASS FINISH

White Interior	S10
Chrome Exterior	S11
Frosted	S12
Copper Exterior	S13

BACKPLATE FINISH

Natural Anodized	AA01
Black Anodized	AA04

COLOR TEMPERATURE

2700K (warm white)	27
3000K (soft white)	30
3500K (neutral white)	35

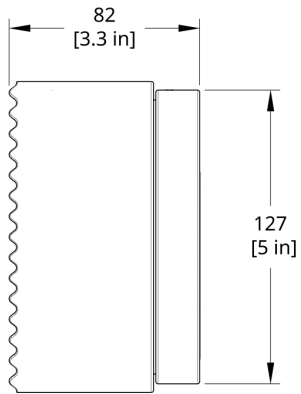
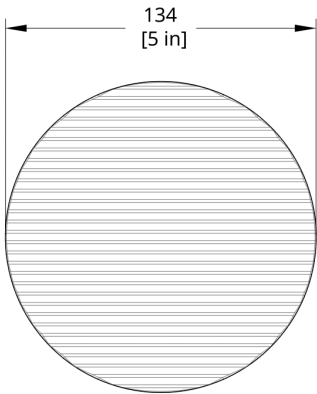
DIMMING / CONTROL / INPUT

1% Dimming, 0-10V Control, 120V or 277V "Universal Input" (Driver External)	1_10V_UNV
Low Voltage (Driver required, driver not included)	LV
10% Dimming, TRIAC / Forward Phase Control, 120V Input	10_TRIAC_120V
1% Dimming, TRIAC / Forward Phase Control, 120V Input (Driver External)	1_TRIAC_120V
0.1% Dimming, 0-10V Control, 120V or 277V "Universal Input" (Driver External)	0.1_10V_UNV

IP RATING

IP 20	IP20
IP 65	IP65

Drawings



CR-WS Crisp Sconce Dimension

Pella® Reserve™

Contemporary Clad/Wood

ACCESSORY DWELLING UNIT
WINDOWS



Simple and sophisticated designs that embody the tenets of pure, contemporary style.

Interior



Exterior



- Clean lines**
 Bring your vision to life with expansive glass options combined with some of the narrowest sightlines in the industry.
- Modern hardware**
 Our renowned, exclusive hardware has set the bar for the industry. Featuring sleek lines, the Saldo foldaway crank adds the perfect finishing touch.
- Architectural interest**
 Our industry-leading modern designs with through-stile construction deliver a clean sash joint with pure, 90-degree exteriors. Square grille profiles provide another layer of design flexibility.
- Virtually unlimited customization**
 If you can dream it, we can build it with our most customizable product line. From extra tall to extra wide, Pella can craft unique windows that complement your aesthetic. Custom sizes, grille patterns and designs, finishes, wood types and glass options are available.
- Tailor-made solutions**
 From preliminary drawings to installation, Pella's expert team of architects, engineers, drafters and consultants can work to deliver custom window and door solutions for your project. Partner with Pella to achieve your unique vision without concessions.
- Cutting-edge innovation**
 Our intentional innovations solve modern-day inconveniences without compromising on design. Preserve the beauty of Pella Reserve windows and doors while protecting what matters most with integrated security sensors.
- Durable interiors and extruded aluminum exteriors**
 To help save you time on the jobsite, interior finish options are available in a variety of paints, stains and primed and ready to paint. To complement your exterior aesthetic, choose from our carefully curated color palette or define your own custom color for your project.
- ENERGY STAR® certified¹**
 Pella wood products offer energy-efficient options that will meet or exceed ENERGY STAR guidelines in all 50 states.
- Testing beyond requirements**
 At Pella, our products are tested beyond requirements to help ensure they have long-lasting performance and reduce call-backs for you.
- Best limited lifetime warranty²**
 Pella Reserve products are covered by the best limited lifetime warranty in the business for wood windows and patio doors.²

Available in these window and patio door styles:



Special shape windows also available.

^{1,2} See back cover for disclosures.

Product Specifications

Window & Patio Door Styles	Min. Width	Min. Height	Max. Width	Max. Height	Performance Class & Grade	Performance Values			Frame / Install
						U-Factor	SHGC	STC	
Awning	13-3/4"	13-3/4"	73"	73"	LC30-CW50	0.19-0.48	0.15-0.55	26-34	Fold-out Fin, Block Frame, EnduraClad Exterior Trim/Brickmould
Casement	13-3/4"	13-3/4"	47"	108"	R30-CW50	0.19-0.48	0.15-0.54	26-34	
Fixed Casement	10"	10"	144"	144"	CW30-CW50	0.16-0.50	0.16-0.50	28-33	
In-Swing Hinged Patio Door (Single)	24"	48"	48"	119-1/2"	LC40-LC55	0.25-0.29	0.14-0.40	31-35	
In-Swing Hinged Patio Door (Double)	48"	79-1/2"	96"	119-1/2"	LC40-LC55	0.25-0.29	0.14-0.40	31-35	
Out-Swing Hinged Patio Door (Single)	24"	48"	48"	119-1/2"	LC40-LC70	0.25-0.30	0.14-0.39	30-36	
Out-Swing Hinged Patio Door (Double)	48"	48"	96"	119-1/2"	LC40-LC70	0.25-0.30	0.14-0.39	30-36	
Sliding Patio Door (O)	30-3/4"	74"	60-3/4"	119-1/2"	LC30-LC70	0.25-0.31	0.18-0.51	-	
Sliding Patio Door (OX, XO)	59-1/4"	74"	119-1/2"	119-1/2"	LC30-LC65	0.25-0.31	0.18-0.51	29-35	
Sliding Patio Door (OXO)	90"	74"	180"	119-1/2"	LC30-LC45	0.25-0.31	0.18-0.51	-	
Sliding Patio Door (OXXO)	116-1/8"	74"	236-1/8"	119-1/2"	LC25-LC40	0.25-0.31	0.18-0.51	-	
Multi-Slide Patio Door	41-7/8"	50-1/2"	713-5/8"	119-1/2"	R15-LC25 ³	0.30-0.36	0.15-0.46	31	
Bifold Patio Door	31-3/4"	51-1/2"	312"	119-1/2"	R15-LC25 ³	0.26-0.44	0.13-0.45	-	For more info visit PellaADM.com

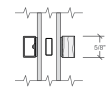
Window sizes available in 1/8" increments

Special sizes available. For more information regarding performance, visit pella.com/performance. For more information regarding frame and installation types, visit PellaADM.com.

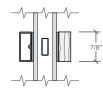
Grilles

Integral Light Technology^{8,4}

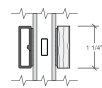
Choose the look of true divided light or make cleaning easier by selecting grilles-between-the-glass.



Square 5/8"



Square 7/8"



Square 1 1/4"

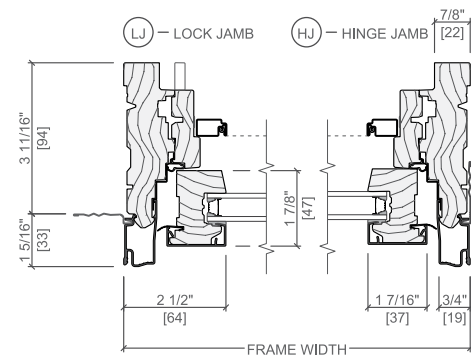


Square 2"

Attention to Detail

Cross Sections

The venting casement cross sections provide visual reference to the squared-off profile on both the lock and hinge jamb and the consistent sightline this will provide from interior through to exterior.



Optional Fold-Out Installation Fin

^{3,4} See back cover for disclosures.

Window Hardware

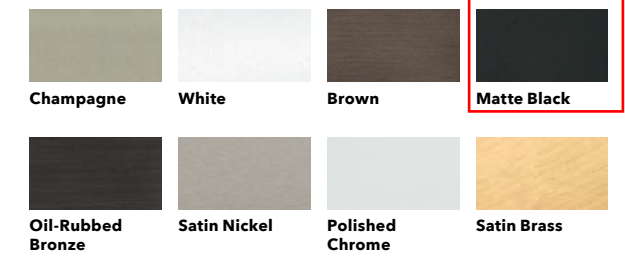
Modern Collection

Achieve the ultimate contemporary look with exclusive hardware designed by Pella. Our renowned modern hardware has set the bar for the industry. Featuring sleek lines, the Saldo fold-away crank adds the perfect finishing touch.



Fold-away Crank
Saldo

Finishes:



Patio Door Hardware

Modern Collection

Select modern hardware created in collaboration with Baldwin[®] to achieve the ultimate contemporary look with sleek finishes.

BALDWIN



Hinged & Bifold
Patio Door Handle
Spiere



Sliding & Multi-Slide
Patio Door Handle
Plazo



Multi-Slide Patio
Door Handle^{5,6}

Finishes:



Essential Collection

Elevate your style and transform a home with elegant selections.



Hinged & Bifold
Patio Door Handle
Standard

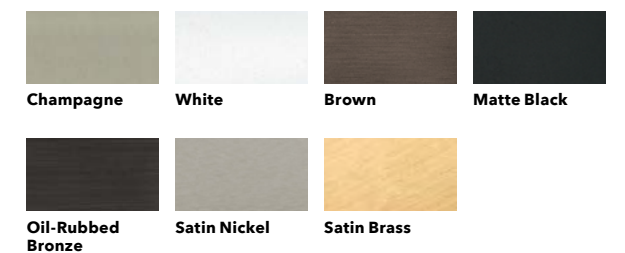


Sliding Patio
Door Handle
Standard



Multi-Slide Patio
Door Handle^{5,6}

Finishes:



Additional hardware collections available. Visit PellaADM.com for more information.

Added Peace of Mind

Integrated Security Sensors

Integrated wireless security sensors maintain aesthetics, streamline security installation and ensure no warranty loss is caused by post-installation drilling. Sensors can be monitored via the free Pella[®] Insynctive[®] App and are compatible with major security panel systems.⁷ For more information, go to connectpella.com.

^{5,6,7} See back cover for disclosures.

Colors

Wood Types

Choose the wood species that best complements your project's interior.



Prefinished Pine Interior Colors

Custom interior finishes, unfinished or primed and ready-to-paint are also available.



Extruded Aluminum-Clad Exterior Colors

Our low-maintenance EnduraClad® exterior finish resists fading. Take durability one step further with EnduraClad Plus which also resists chalking and corrosion.⁸



Custom colors are also available.



The Best Limited Lifetime Warranty in the Industry

We know your reputation matters and you stake your reputation on quality, dependable products. That's why we have the best limited lifetime warranty in the industry for wood windows and patio doors.²

¹ Some Pella products may not meet ENERGY STAR® guidelines in Canada. For more information, contact your local Pella sales representative or go to energystar.gc.ca.

² Based on comparing written limited warranties of leading national wood window and wood patio door brands. See written limited warranty for details, including exceptions and limitations, at pella.com/warranty or contact Pella Customer Service.

³ Ratings are contingent on product configurations.

⁴ Color-matched to your product's interior and exterior color.

⁵ Flush multi-slide handle is a Pella exclusive design.

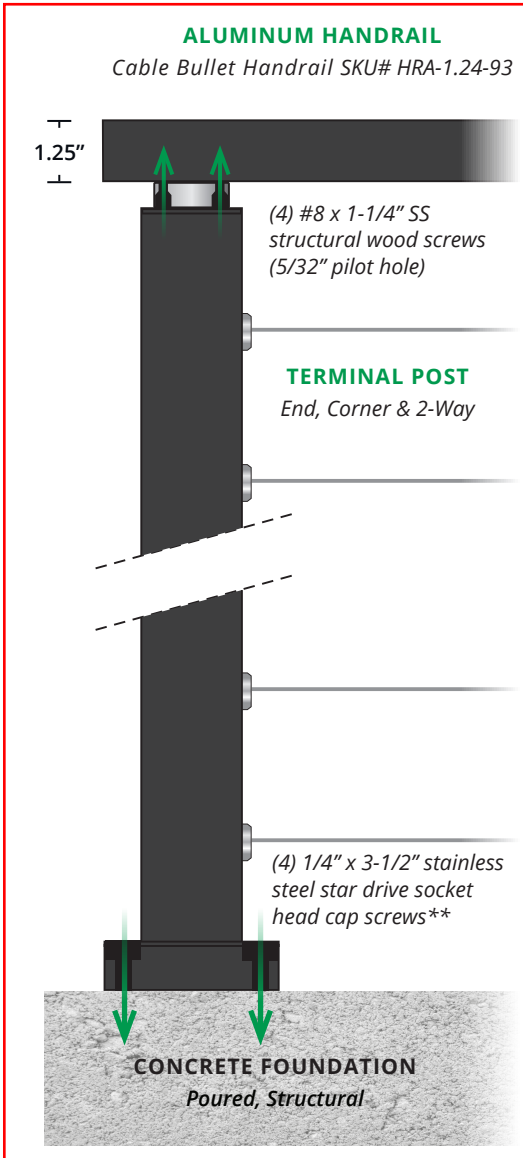
⁶ Flush multi-slide handle is not available in Champagne.

⁷ Requires the Insynctive App on a smart device, an Insynctive Bridge and a wireless home router with internet connection.

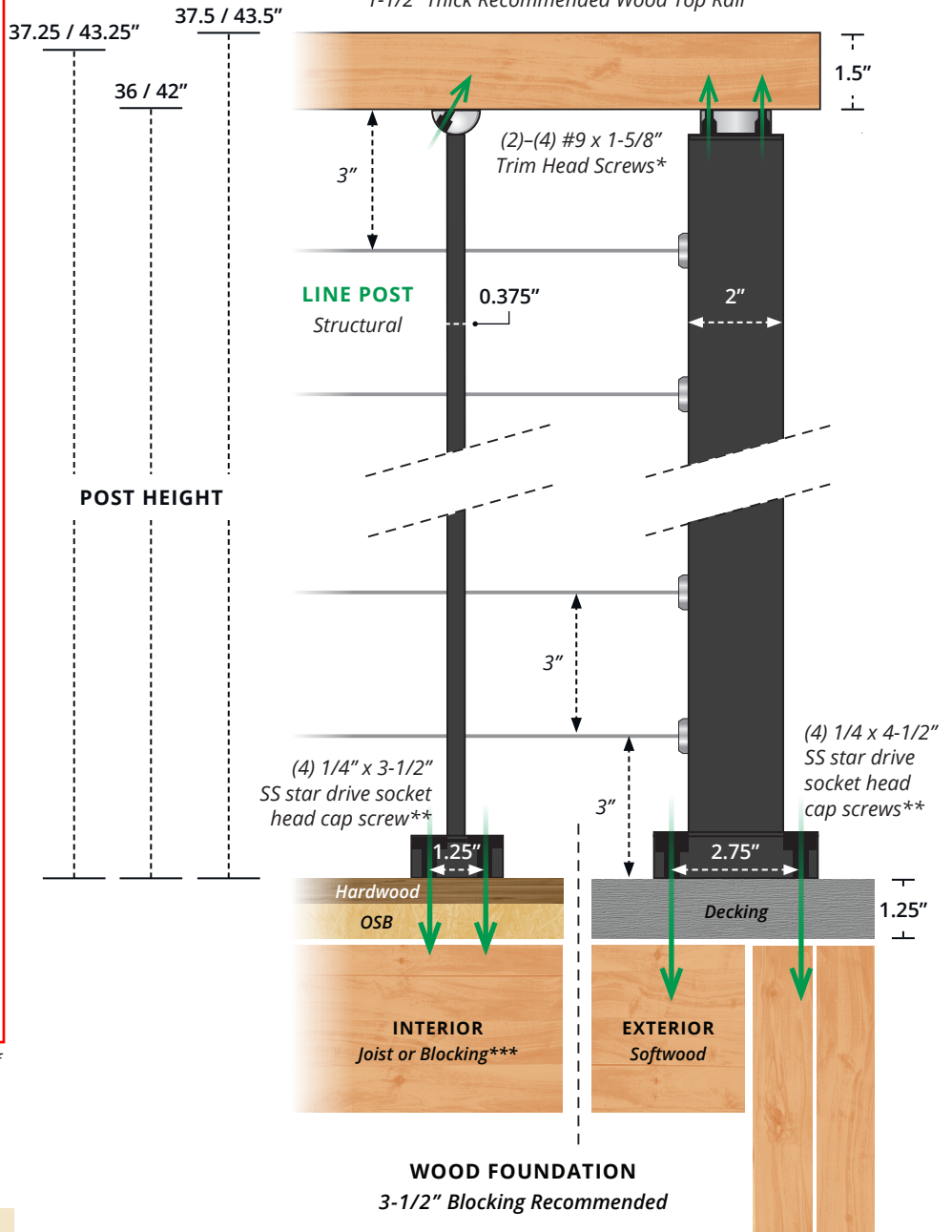
⁸ EnduraClad Plus protective finish is not available with all colors. See your local Pella sales representative for availability.

SIGNATURE SERIES TOP MOUNT POST

36" | 42" | END | CORNER | 2-WAY | LINE



Concrete should be rated at 3500 PSI or higher and free of cracks in the area where posts will be mounted.



*Screw length will vary by handrail thickness.

**Custom Cable Bullet screw with 3" of continuous threading to maximize holding strength. Posts MUST be anchored to project structural frame (joists, blocking). All screw threading should be engaged in structural material. If mounting directly to structural material, use 3-1/2" long mounting screws. If mounting through non-structural material (veneer or trim), use 4-1/2" long mounting screws.

***If no interior blocking, consult a local builder for custom solution to secure against a 200# concentrated load.

IMPORTANT: It is the installer's responsibility to make certain the structure supporting your posts is able to handle the transferred loads of the railing system (+150 lbs of tension/cable).

STEP 1 | SET YOUR POSTS

Mark and drill four pilot holes for the Cable Bullet post mounting screws. Before tightening the structural screws, plumb each post with shims, or use the four 3/8" leveling set screws in post base (hard surfaces only). Once your posts are secured, set the base cover plate in place.



PRO TIP: If your surface is especially soft, use shims or a Cable Bullet Leveling Plate under your post leveling screws to provide additional support.

STEP 2 | ATTACH YOUR TOP RAIL

On tensioning/end posts, use the adhesive strip to temporarily fix the post top collar to your handrail at the desired location. Screw the collar to the handrail, then reassemble the collar and center pin before tightening the set screw.

The line post top can be angled for stair runs with a pitch/slope up to 38-degrees. Loosen the screw that attaches the top to the post column, and adjust the angle as needed.

STEP 3 | INSTALL YOUR CABLES

Your railing is now ready for cable infill. Complete this process following the Tensioner Kit for Metal Posts setup guide.

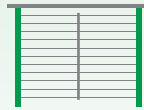
TOOLS & SUPPLIES

- Drill/impact driver
- 3/16" drill bit
- T30 x 6" Star Drive power bit
- Level
- Tape measure
- 3/16" Allen wrench
- 1/8" Allen wrench
- Handrail mounting screws (reference drawing on pg. 1)
- Post mounting screws* (reference drawing on pg. 1)
- Cable Bullet Leveling Plate* or shims

*available at cablebullet.com

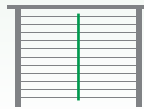
POST SPACING FOR CABLE SUPPORT

Follow these guidelines for optimal cable tension and minimize cable deflection.



TENSIONING POST SPACING | 20' MAX.

To ensure adequate cable tension (150#) use 2-way posts and additional tensioners to cover longer runs.



CABLE SUPPORT POSTS | 4' MAX.

To minimize deflection under load, add intermediate posts, or cable spacer bars every 42-48 inches.

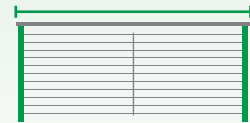
POSTS SPACING FOR HANDRAIL SUPPORT

Structural support post spacing for Cable Bullet reinforced aluminum handrail will vary by layout. Follow the guidelines below.

! For wood top rail, post spacing will vary by material, thickness and rigidity.

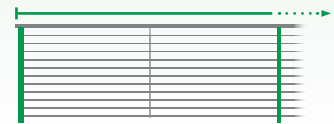
SIMPLE SPAN | 7' MAX.

Standalone section of railing with 2 end posts and no continuation on either end.



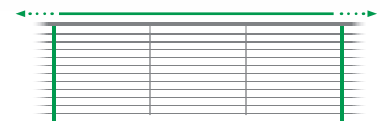
OUTSIDE SPAN | 8' MAX.

One end post with one connecting span on the opposite side.



CENTER SPAN | 9' MAX.

One section of railing with two connecting spans.



IMPORTANT: All recommendations and rail components are designed to comply with the **International Residential Code (IRC)**. Because building codes may vary it is the installer's responsibility to verify that the installed system complies with all applicable state and local building codes.

For more information visit: www.cablebullet.com/pages/terms-conditions

Detailed installation instructions for Signature series railing are available at:
www.cablebullet.com/blogs/guides

WE'RE HERE TO HELP!

CABLEBULLET.COM

INFO@CABLEBULLET.COM

574.742.2737



SIGNATURE SERIES RAILING

Modern cable railing built to last.

- ✓ Sleek aluminum posts
- ✓ Clean, reinforced aluminum handrail
- ✓ Concealed cable tensioners
- ✓ Made exclusively in the U.S.A.

ALUMINUM CABLE RAIL POSTS

Premium, durable railing to impress your clients.

- A slim 2x2-inch column pre-drilled and tapped to accept Cable Bullet concealed tensioner kits.
- Industry-leading, 1/4-inch thick walls to withstand cable rail tension.
- High-quality construction from type 6061 structural aluminum for maximum strength.
- Features a machined stainless steel top for mounting any handrail with a flat underside.
- Architectural-grade powder coating with high performance for outdoor projects.

CLASSIC & VERSATILE TOP MOUNT POSTS

- Clean, press-fit base with no unsightly welds and a flush-mount cover plate to conceal the mounting screws.
- Each post includes 4 post-leveling screws in the base for leveling on hard, irregular surfaces like concrete or stone.

MAXIMIZE YOUR SURFACE AREA SIDE MOUNT POSTS

- Mount posts to the outside face of the deck or stairs to maximize the surface area.
- The installer-friendly design provides more flexible placement options around stairs and angles.



CHOOSING YOUR POSTS

1

POST MOUNT TOP | SIDE

Each collection includes a full line-up of terminal & line posts for nearly any project layout.

2

POST HEIGHT 36" | 42"

Designed to meet the standard IRC railing height requirements on stairs and decks.

3

POST FINISH BLACK | WHITE

Choose between the sleek flat black fine texture coating or the classic flat white fine texture coating.

4

TOP RAIL MATCHING | CUSTOM

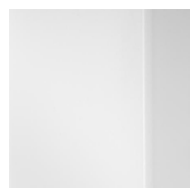
Use any custom top rail with a flat underside or select matching aluminum handrail to complete the railing. See the next page for options.

REINFORCED ALUMINUM HANDRAIL

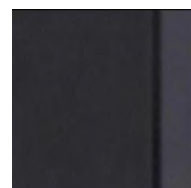
Maximum strength. Minimum profile.

- Reinforced design allows for 7-9 ft spans between posts with cable spacer bars in between (page 30).
- Handrail sections piece together using internal, heavy-duty splines that don't require underlying structural support.
- No bulky rail caps! Using concealed splines to piece sections together creates a clean, finished, and near-seamless look.
- Meets IRC guidelines for handrail grip-size for use on stair runs.
- Sold in 93" sticks sized to meet UPS Ground specifications, so you can avoid costly oversize or freight delivery charges.

AVAILABLE COLORS:



FLAT WHITE
FINE TEXTURE



FLAT BLACK
FINE TEXTURE

ADDITIONAL HANDRAIL MOUNTING METHODS:



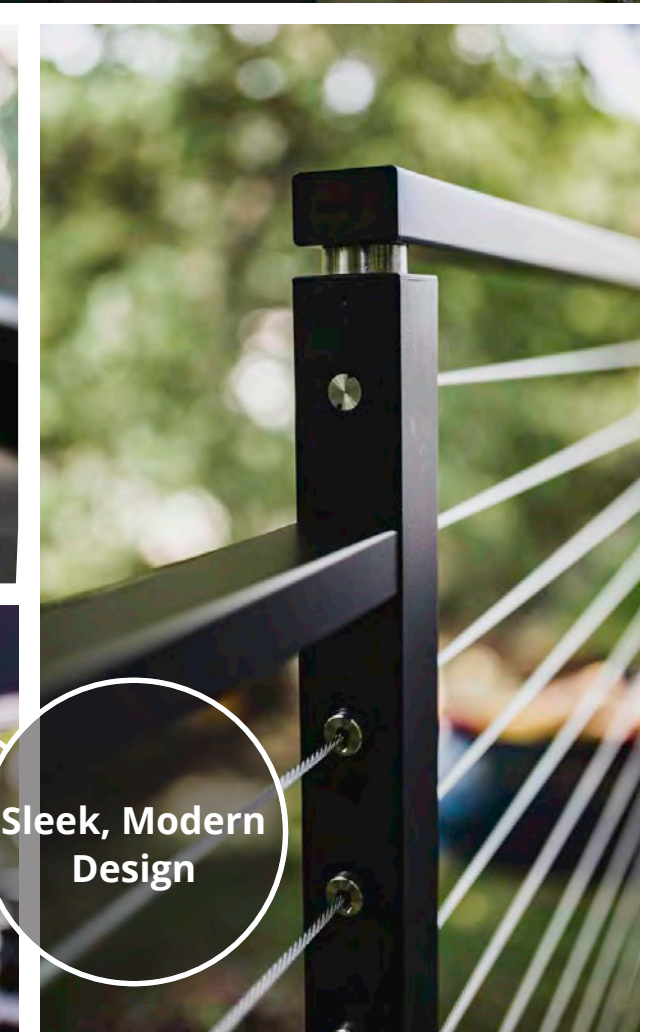
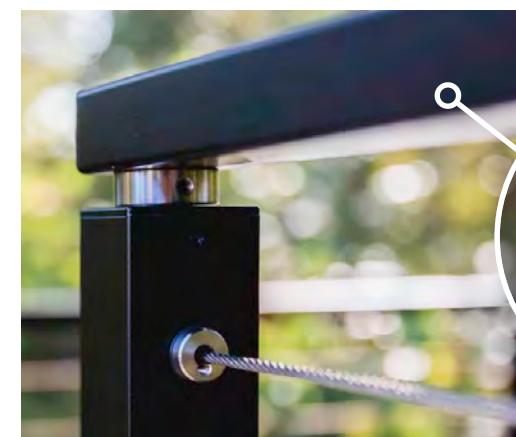
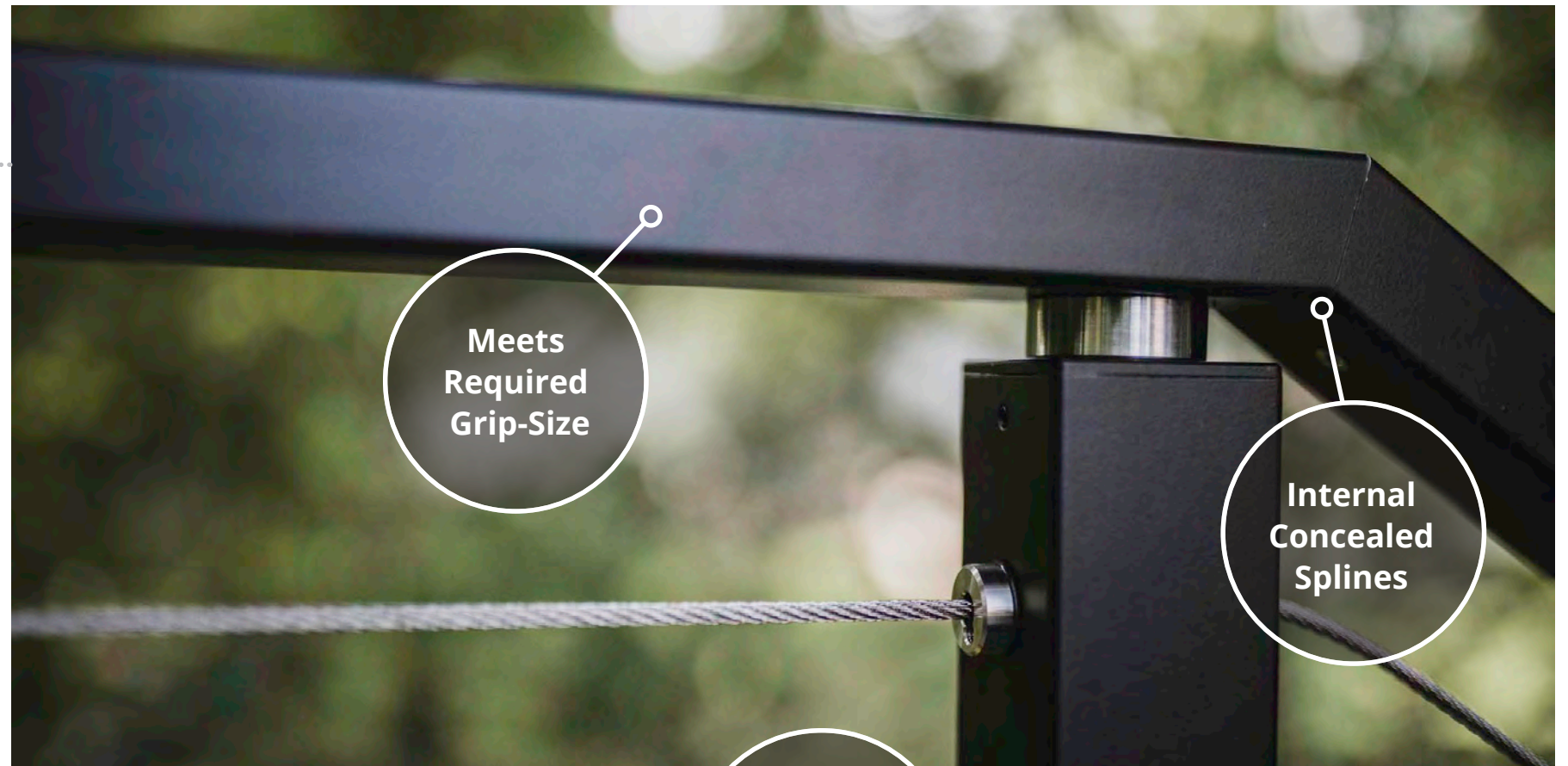
WALL-MOUNTED
HANDRAIL BRACKET
SKU #HRS-SS-WL-ASSY



POST-MOUNTED
HANDRAIL BRACKET
SKU #HRS-SS-V1-2E-ASSY



POST-SIDE
HANDRAIL BRACKET
SKU #HRS-P-S-2-ASSY



CABLE BULLET PRICING

2023 TENSIONER KIT AND FULL RAILING PRICE SHEET

**All prices subject to change.*

1 UNIVERSAL TENSIONER

USE ON BOTH LEVEL & SLOPED RUNS AT BOTH ENDS



TENSIONER KIT FOR WOOD POSTS

STANDARD 1-1/2"
SKU #BW24-16-SE
retail price: \$11.45

XL 1-7/8"
SKU #BW30-16-SE
retail price: \$13.45

XXL 2-3/4"
SKU #BW44-16-SE
retail price: \$15.95



TENSIONER KIT FOR SLEEVED POSTS

STANDARD 1-1/2"
SKU #BC24-16-SE
retail price: \$12.95

XL 1-7/8"
SKU #BC30-16-SE
retail price: \$15.45

XXL 2-3/4"
SKU #BC44-16-SE
retail price: \$17.95



TENSIONER KIT FOR METAL POSTS

SKU #BM14-16-SE
retail price: \$10.95



TENSIONER KIT FOR MASONRY POSTS

SKU #BM24-16-SE
retail price: \$18.95

NEED MORE THAN 1,000 KITS?

Call **574.742.2737** for a custom estimate. Estimate pricing is valid for 30 days from the time the estimate is sent.

SIGNATURE SERIES - ALUMINUM

SIGNATURE SERIES RAILING

BEST PAIRED WITH TENSIONER KITS FOR METAL POSTS



TOP/SURFACE MOUNT POSTS

END | CORNER | 2-WAY | LINE
BLACK FINE TEXTURE | WHITE FINE TEXTURE

TENSIONING POSTS END, CORNER, 2-WAY

36" MODERN TOP
starting at: \$139.95

42" MODERN TOP
starting at: \$149.95

LINE / INTERMEDIATE POSTS

36" MODERN TOP
starting at: \$129.95

42" MODERN TOP
starting at: \$139.95



REINFORCED ALUMINUM HANDRAIL

FLAT BLACK FINE TEXTURE | ~~FLAT WHITE FINE TEXTURE~~
sold in 93" sections \$119.95 per section



SIDE/FASCIA MOUNT POSTS

END | 2-WAY | INSIDE & OUTSIDE CORNER | LINE
BLACK FINE TEXTURE | WHITE FINE TEXTURE

TENSIONING POSTS END, CORNERS, 2-WAY

36" MODERN TOP
starting at: \$139.95

42" MODERN TOP
starting at: \$149.95

LINE / INTERMEDIATE POSTS

36" MODERN TOP
starting at: \$129.95

42" MODERN TOP
starting at: \$139.95

SUMMIT SERIES - VERTICAL ALUMINUM

SUMMIT SERIES RAILING

INTEGRATED-TENSIONING VERTICAL CABLES



TOP/SURFACE MOUNT POSTS

END | CORNER | 2-WAY | STAIR
BLACK FINE TEXTURE

TERMINAL POSTS END, CORNER, 2-WAY

36" RAIL HEIGHT
starting at: \$174.95

42" RAIL HEIGHT
starting at: \$184.95

STAIR POSTS

48" BLANK POST
starting at: \$174.95

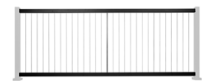
RAIL PANELS

8-FT LEVEL | 4-FT LEVEL | 7.5-FT STAIR
BLACK FINE TEXTURE

LEVEL PANELS 8-FOOT, 4-FOOT

4' PANEL
starting at: \$184.95

8" PANEL
starting at: \$174.95



STAIR PANELS

7.5" PANEL
starting at: \$174.95

VENTURE SERIES - STAINLESS STEEL

VENTURE SERIES RAILING

2-IN-1 FULLY INTEGRATED TENSIONING SYSTEM



TOP/SURFACE MOUNT POSTS

END | LINE
BRUSHED STAINLESS STEEL

TENSIONING END POSTS

36" UNIVERSAL TOP
starting at: \$369.00

42" UNIVERSAL TOP
starting at: \$399.00

LINE / INTERMEDIATE POSTS

36" UNIVERSAL TOP
starting at: \$319.00

42" UNIVERSAL TOP
starting at: \$339.00



STAINLESS STEEL HANDRAIL

BRUSHED FINISH
sold in 93" sections \$239.95 per section



SIDE/FASCIA MOUNT POSTS

END | LINE
BRUSHED STAINLESS STEEL

TENSIONING END POSTS

36" UNIVERSAL TOP
starting at: \$369.00

42" UNIVERSAL TOP
starting at: \$399.00

LINE / INTERMEDIATE POSTS

36" UNIVERSAL TOP
starting at: \$339.00

42" UNIVERSAL TOP
starting at: \$359.00

**2023 price increases are reflected on this sheet. All prices subject to change.*