

May 9, 2023

**VIA EMAIL**

Daniel Rieden, PLA/ASLA  
Lead Landscape Architect  
Historic Preservation Planning &  
Development Department  
2 Woodward Avenue, Suite 808,  
Detroit, MI 48226  
[riedenda@detroitmi.gov](mailto:riedenda@detroitmi.gov)

Re: 4325 Fullerton

Dear Mr. Rieden

I write to follow up on a few additional items that I have discovered since receiving the staff report week. Please consider this a supplement to the application.

**Recommendation 1:** Based on the report, it appears there is some doubt that the windows were beyond repair. To start, I wanted to supplement this section for additional clarity. In February 2020, the Property was subject to an HQS inspection by the Westland Housing Commission. The inspection failed on February 13, 2020, in part, because of the status of the windows. **See Exhibit A.** When I bought the property, nearly all windows were sealed shut with caulk or commercial glue because they were in a state of extreme disrepair. Because this created a substantial safety risk, we managed to unseal at least one window in every room. That said, when these were unsealed, it became clear the windows were in horrible condition. **See, e.g., Exhibit B.** The heating bills skyrocketed to the point that the tenant at the time, Ms. Bebie Blackman, could not afford to live at the property with the exorbitant heating bills. This warranted seeking professionals to evaluate the condition.

To this end, the staff suggested that the window suppliers listed in the application may not have window repair services to adequately assess the conditions and repairability of historic windows. That said, Iovan Glass, Inc. has specialized in window and glass repairs since 1976. This Company does more than just install new windows. It was the consensus of all companies that the windows could not be repaired.

As for the color, all windows of the neighboring homes are white. **See Exhibit C.** Although the commission is concerned with the fading of vinyl, these windows all have painted vinyl with a 20-year warranty against fading, peeling, or blistering. **See Exhibit D.** In that same regard, these windows are “scrutinized under extreme weather and structural stresses at the Polaris in-factory testing facility,” and “[t]op quality and integrity are guaranteed.” **See Exhibit D.**

Daniel Rieden, PLA/ASLA  
May 9, 2023  
Page 2

Finally, it appears there is a significant concern with the absence of the 6/1 divided lite panels. To remedy this for conditional approval, I am willing to install 6 light 3W2H panels to restore that historical feature. **See, e.g., Exhibit E.**

**Recommendation 2:** The conditions of this recommendation are not a problem and will be implemented.

I look forward to meeting with you. I intend to attend via Zoom with assistance of counsel. Should you need further clarification, please reach out to me. I can be reached by phone at (248) 921-3631 or by email at [lee@callteamlee.com](mailto:lee@callteamlee.com).

Sincerely,

Red Hannah LLC

/s/Lee Ehlers  
Lee Ehlers

# EXHIBIT A



# WESTLAND HOUSING COMMISSION

32150 Dorsey Road, Westland, MI 48186



Dear **Landlord**:

In accordance with the Housing Choice Voucher program requirements, your unit was inspected by Parkside Property Management Inc. for Housing Quality Standards (HQS).

**Your unit failed the Initial HQS inspection. The REQUIRED REPAIRS are listed on Page 2.**

The WHC has the right to cite additional HQS violations upon reinspection of the unit should conditions at the time of reinspection warrant such action.

All repairs must be completed and the unit must pass the reinspection within 20 days to be eligible to enter into a HAP contract to receive housing assistance payments.

If you are unable to complete the repairs within 20 days, please notify the Specialist listed on the RFTA packet immediately. Depending on how much time the tenant has remaining on the voucher, the WHC *may* be able to allow additional time to complete the repairs.

Once the repairs are completed, you must leave a message for Parkside Property Mgt at 586.393.1791 to schedule a reinspection of the unit.

If you do not notify Parkside Property Mgt that the unit is ready for a reinspection, none will be scheduled and the unit will not be eligible to participate in the Housing Choice Voucher program.

If your intentions are to not make the required repairs, please notify the Specialist listed on the RFTA packet. You must also notify the prospective tenant so the tenant can continue their search for suitable housing if voucher time permits.

If you have questions regarding the inspection *policies*, please call or email the Specialist listed on the RFTA packet.

If you have questions regarding the inspection *repairs*, please call Parkside Property Mgt at 586.393.1791.

Sincerely, *Westland Housing Commission*

Once the repairs are completed, you must call and leave a message for Parkside Property Mgt at 586.393.1791 to schedule a reinspection of the unit.

Please include in your message: the address of the unit, your name, and your phone number.

I called and/or left message for Parkside Property Mgt on this day: \_\_\_\_\_

Parkside Property Mgt returned my call on this day: \_\_\_\_\_

The Reinspection of this unit is scheduled for:

Day: \_\_\_\_\_ Date: \_\_\_\_\_ Time: \_\_\_\_\_

The landlord or the tenant must be at the unit on this date and time for the reinspection to take place.

If the unit fails the reinspection, the WHC will no longer work with the unit.

Once the unit passes the inspection, the landlord should verify with the WHC that the tenant can move in.

cc: Prospective Tenant

# Westland Housing Commission

Inspector: Parkside Property Management

## HQS INSPECTION RESULTS

February 14, 2020

Lee Ehlers  
59696 Twin Pines  
New Hudson, MI 48165

Page 2 of 2

The INITIAL HQS inspection was performed and failed on:		<b>February 13, 2020</b>	
Tenant:	<b>Bebie Blackman</b>	Unit:	<b>4325 Fullerton Detroit</b>

### REQUIRED REPAIRS

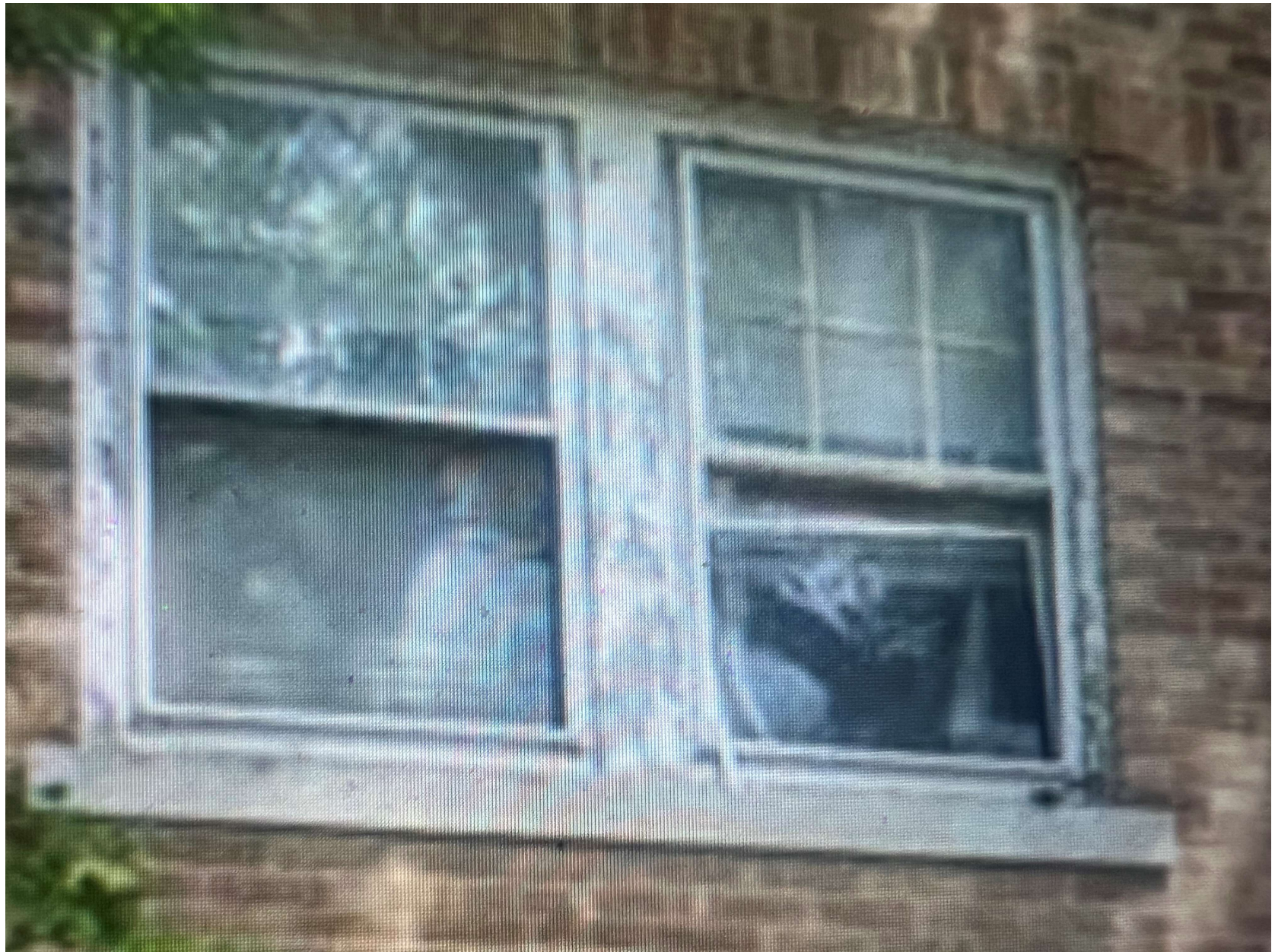
<b><u>Living Room:</u></b>	
<b><u>Kitchen:</u></b>	Wiring inside cabinet for garbage disposal outlet & switch must be in conduit
<b><u>Bathroom:</u></b>	
<b><u>Right Front Bedroom:</u></b>	Install closet light fixture cover
<b><u>Left Rear Bedroom:</u></b>	Install closet light fixture cover
<b><u>Left Front Bedroom:</u></b>	Repair reverse wired outlet, install closet light fixture cover
<b><u>Right Rear Bedroom:</u></b>	Install closet light fixture cover
<b><u>Storage room:</u></b>	
<b><u>Basement:</u></b>	All asbestos covered boiler pipes must be 100% wrapped, secure open electrical sub panel in main circuit box top, repair loose stair step at side landing, remove all peeling on wood walls & repaint, remove old motor
<b><u>Building Exterior:</u></b>	Clean rear yard, install garage switch plate cover, repair upstairs rear porch & all railings on 1 <sup>st</sup> & 2 <sup>nd</sup> floor porches, remove peeling paint on house & garage & on doors & walls & repaint by 5-31-20- delay on painting only
<b><u>Heating &amp; Plumbing:</u></b>	
<b><u>General Health &amp; Safety:</u></b>	Install all missing strike plates for interior doors- they must latch closed properly, install lock on door to attic, remove old boiler pipes sticking out of floor on 1 <sup>st</sup> floor & fill holes, break free all windows, install locks on windows, clean & vacuum & paint all interior window troughs

The WHC has the right to cite additional HQS violations upon reinspection of the unit should conditions at the time of reinspection warrant such action.

If you have questions regarding the inspection repairs, please call Parkside Property Mgt at 586.393.1791.

Once the repairs are completed, you must call Parkside Property Mgt to schedule a re-inspection of the unit

# EXHIBIT B



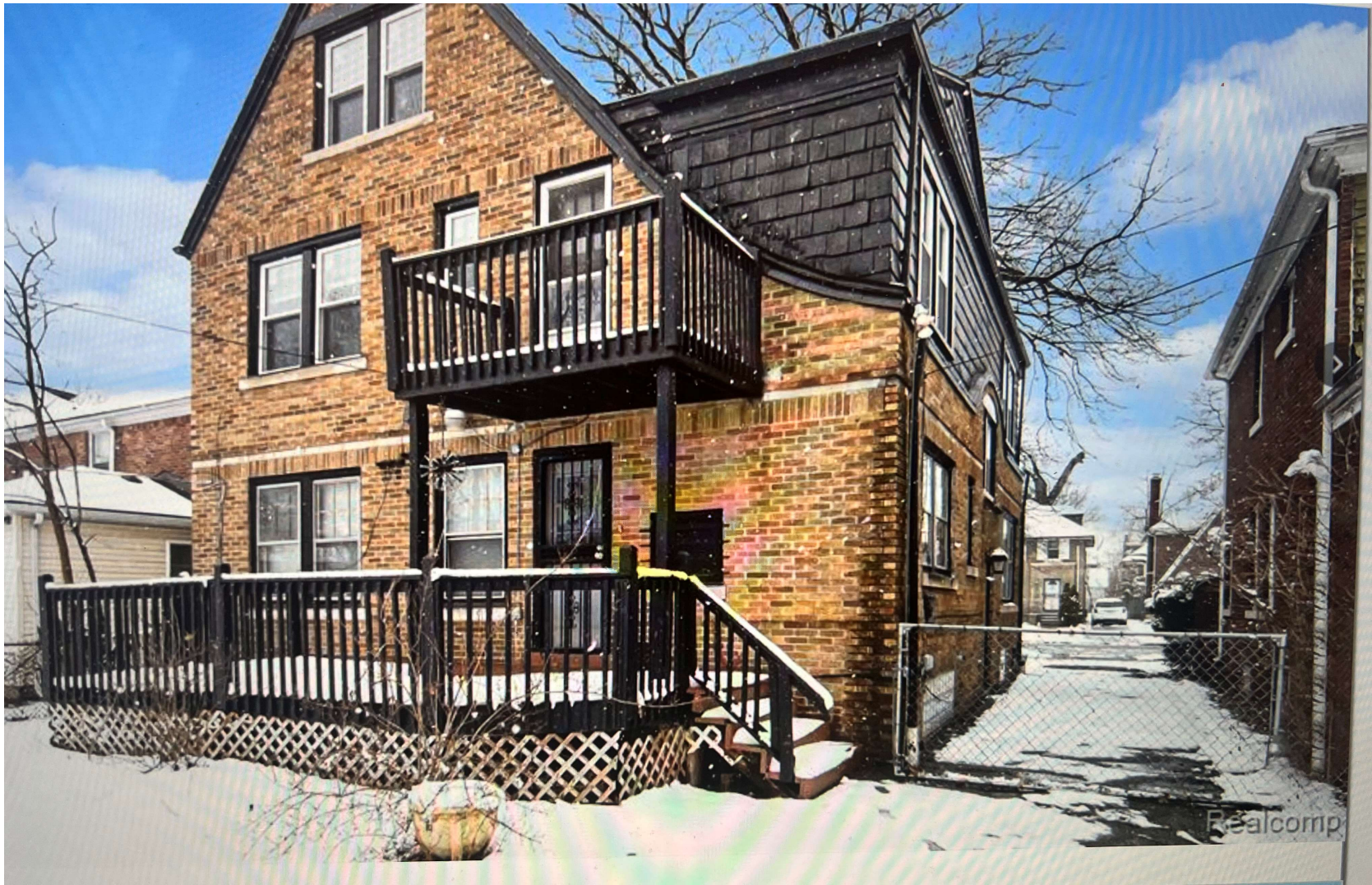
# EXHIBIT C





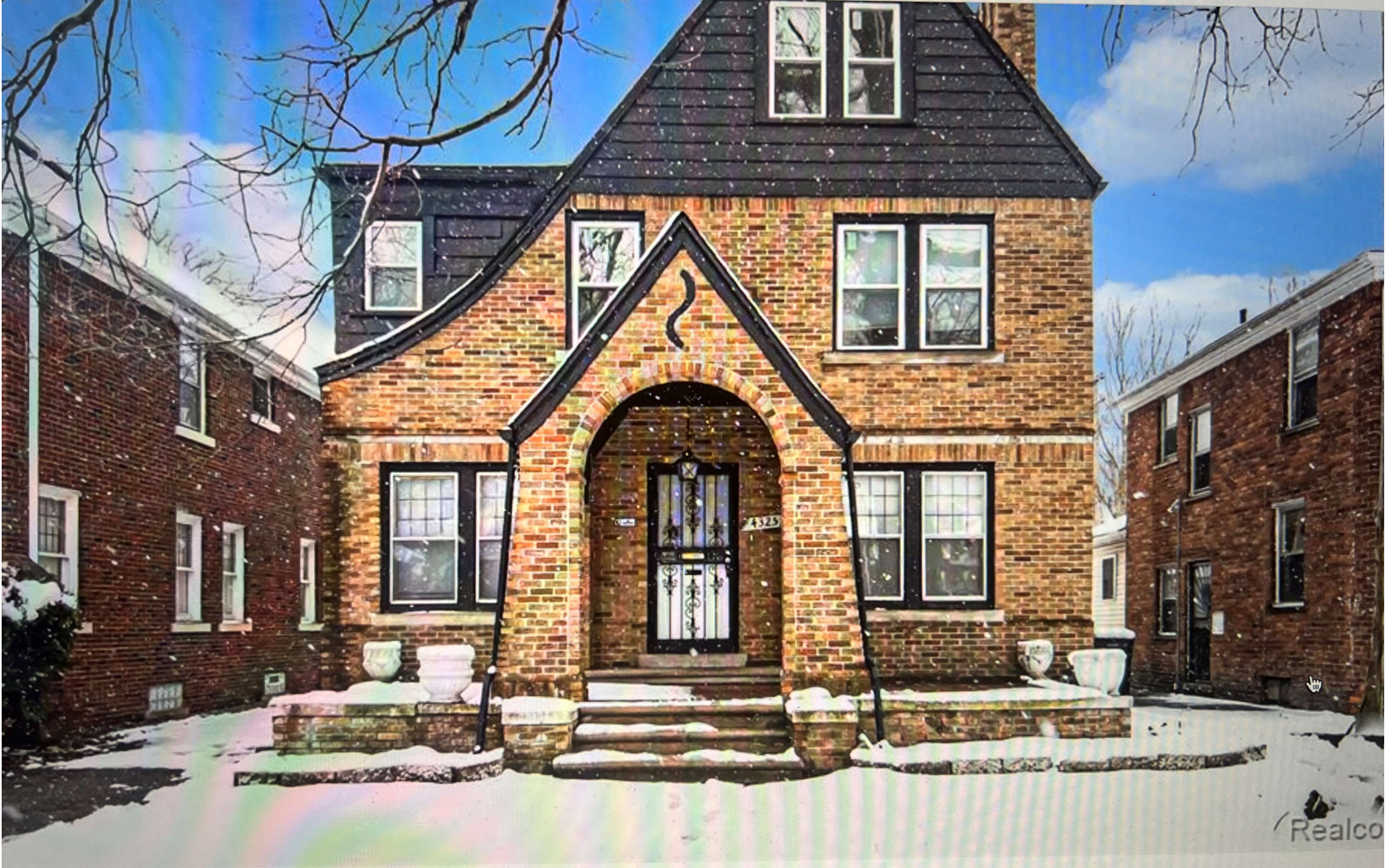






Taskbar showing open files: K LBP.pdf, Lead-Based Pain....pdf, Kellie LBP .pdf, Kellie MLS.pdf, Kellie.pdf

Taskbar showing application icons: File Explorer, Microsoft Edge, Calendar (MAY 38), Mail (37), Photos, WhatsApp, OneDrive, Microsoft Teams, Slack, Apple TV, Adobe Acrobat, Microsoft Edge, Spotify, iTunes, Google Chrome, Zoom, and various utility icons.



Realco

# EXHIBIT D



*The* **THERMALWELD<sup>®</sup>** *Collection*  
**PLUS** VINYL WINDOWS



# ENERGY EFFICIENCY

*Ease of Operation + Ownership*

## Welded Frame & Sash Corners



Fusion welded frame and sash corners are strong and free from gaps.

Integrated Extruded Pull Rails are part of sash extrusions, not added later.

Heavy Duty Cam-Style Locks & Keepers secure and air-tight seal



Satin nickel, brass and aged bronze finishes available\*



energySMART® Insulated Glass

Standard Patented Roller Tilt® ¾" Constant Force Balance System: Springs travel with the sash. This allows the sash to operate with significantly less friction and noise.

Sash Limit Locks limit sash travel secure partial opening

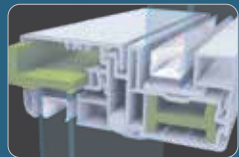


double hung

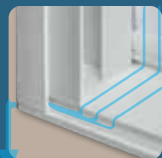


glider

Continuous Over / Under Interlock & Weather-Stripping prevent air infiltration across entire meeting rail



Innergy™ at meeting rails\*



True sloped sill for positive water drain off, no weep holes to clog

\*options



## Benefits of Our Window

Our extrusions are fusion welded at every corner to create seamless and strong windows.



Windows that qualify as Most Efficient are windows with the Ultimate<sup>2</sup> and Ultimate Plus<sup>2</sup> glass packages. Ask your sales rep for more information.

## Maintenance Free

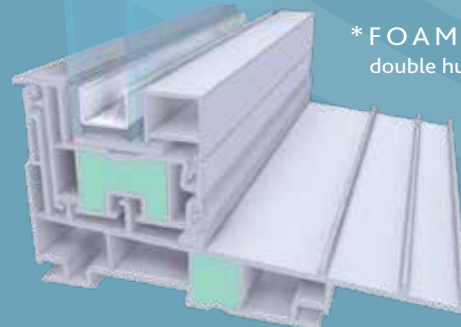
The vinyl formulation maintains its color and smooth surface.

## Multi-Chamber Extrusions

Interior walls add strength. These walls and air chambers between further improve insulating properties.

## Double Hung

Shown here in Bronze Exterior Laminate (full screen required on painted and laminate windows).



\*FOAM FILL double hung

## Casement

Sash cranks fold into base for a clean look. Sash opens fully with just a few turns. These windows are triple sealed against the weather and can be safely cleaned inside the home. Hinged side of sash slides away from frame when fully opened.







### Gliders • 2+3 Lite

Sash lift out from inside for easy cleaning.  
 2 lite - half screen  
 3 lite - active panel screen[s]



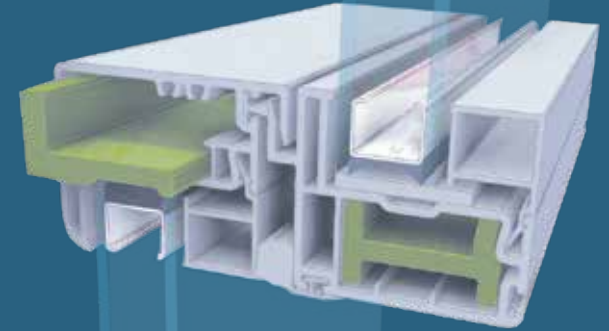
### Awning

Enjoy fresh air even on rainy days.

## \* Innergy®

- Innergy is the innovative, energy-efficient alternative to aluminum.
- Rigid Thermal Reinforcements are advanced fiberglass reinforced resin inserts, designed to slide easily into window chambers for greater support and insulation.
- Better Thermal Performance  
Up to 700 times better than aluminum in material-to-material comparisons.
- Better Thermal Break  
Impervious to cold or heat.
- Better protection against condensation  
Helps prevent staining that can occur with metal reinforcements.
- Better flexibility  
Will not permanently set when impacted.

The name and logo of Deceuninck NV, of its affiliated companies and the products and services manufactured by them, are trademarks protected by national and international laws. Innergy is a registered trademark of Deceuninck North America. The color GREEN is a trademark of Deceuninck North America LLC.



## Screen Options

- Strong, extruded aluminum frame in white or tan
- Half screen Standard • Aluminum Screen Mesh\*
- Available in Pet Screen\* and Full Screen\*

### \* BetterVUE®



#### BetterVUE® Screen Mesh

- Better Insect Screen
- 10% Better Insect Protection
- 20% Better Airflow
- 20% Clearer View

### Standard



#### Standard Screen Mesh

- Sight more obstructed
- Less Airflow than BetterVue Screens
- Proven and Reliable



Flex Screen® CLEAN Full Screen ONLY Comes standard on all exterior painted Double Hungs, Gliders and Hopper. Two half screens on 3 lite Glider.



\*options

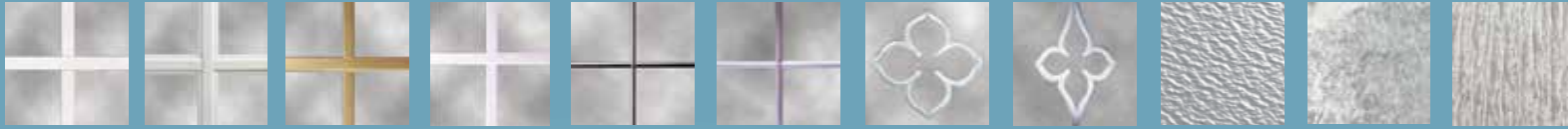
**DECORATIVE GLASS\***

*Designs*



colonial      prairie style      double prairie style      diamond  
n/a contour or brasses

*Internal Muntin Styles*



smooth      contour      antique brass      satin nickel      slim line brass      view      floral view      elongated floral view      obscure      glue chip      rain glass

**COLORS\***

*Vinyl*



white      tan

*Interior Woodgrain Laminate*



medium oak      cherry      vintage pecan      coppertone  
hardware standard on woodgrains

**Exterior Laminate\*** *20 Year Warranty Against fading, peeling or blistering*



wicker      choco brown      bronze      coal black

**MINIBLINDS\***



white      alabaster      tan      silver      gold

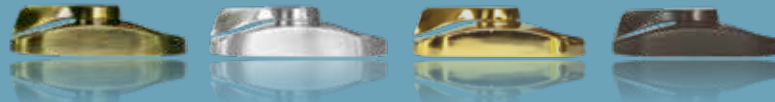
*Please refer to actual color samples for true product representation.*

**Exterior Paint\*** *20 Year Warranty Against fading, peeling or blistering*



Lead time 4-6 weeks ± Muntin color may be affected by glass coatings, such as Low-E. Coil not exact match \*Options Colors shown are reproduced by mechanical process and may vary from actual colors of product. Use actual color selector.

**PLATED LOCK FINISHES\***



antique brass      satin nickel      bright brass      aged bronze

view glass 3/8" v-groove, interior surface of glass unit pane



**RESEARCH & DEVELOPMENT**

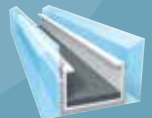
Polaris products are scrutinized under extreme weather and structural stresses at the Polaris in-factory testing facility. Our R&D Department ensures that our products feature the latest industry innovations. Top quality and integrity are guaranteed.



**MORE GLASS OPTIONS** Krypton fill, Bronze or Gray tint

**ENERGY EFFICIENT GLASS**

energySMART® glass is standard in every Polaris® window. These insulated glass (IG) units are panes of glass sealed onto the Intercept® U-shaped steel spacer. Together, the spacer and sealant block temperature transfer and reduce condensation. We also offer many high-performance energySMART upgrades. Low-E coating reduces ultra violet light damage and heat gain. Triple pane IG units have sound deadening properties. Argon or krypton gas fill between panes further reduces temperature transfer. Ask about ENERGY STAR qualified upgrades.



*Ask About Our Glass Breakage Warranty*

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\*options

# EXHIBIT E



[WINDOW GRILLES](#)

[WINDOWS](#)

[DOORS](#)

[SUPPLIES](#)

[BARGAIN](#)

[RESOURCES](#)

[ARTICLES](#)

[CONTACT](#)

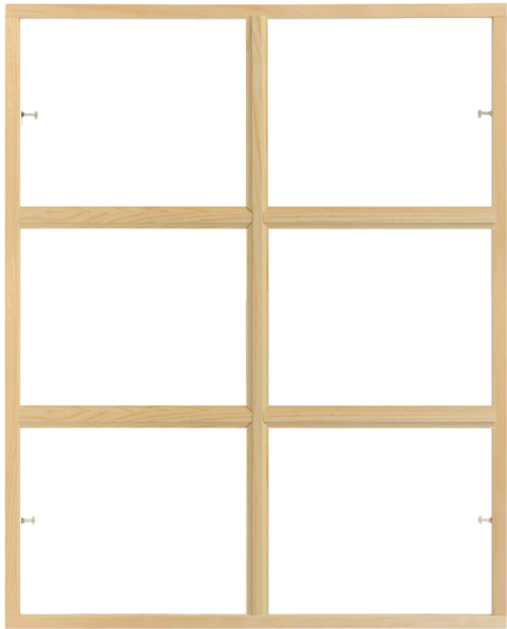
[ABOUT](#)

HOME > 6 LIGHT



# 6 Light

\$83.70



**LIGHT PATTERN**

3W2H

**GRILLE PROFILE**

L-PINE 5/8" X 9/

**SURROUND PROFILE**

D-SURROUND

K-Surround, S3-Pine

**Width (+\$0.00) \***

Visible Glass - whole inch only - See Figure 1  
(NO INCH MARKS)

Width in WHOLE inches

**Width Fraction \***

Specify width fraction separately

Please choose one

**Height (+\$0.00) \***

Visible glass - whole inch only  
(NO INCH MARKS)

Height in WHOLE inches

**Height Fraction \***

Specify height fraction separately

Please choose one

**Pre Finish**

Select Natural for Unfinished Grille  
Select Primed White for light color paints: White, Yellow, Tan  
Select Primed Grey for dark color paints: Black, Bronze, Dark Blue

Natural Unfinished (+\$0.00)

Primed White (+\$20.00)

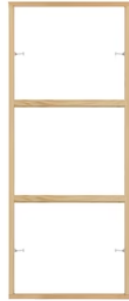
Primed Grey (+\$20.00)

# Related Products



D-Surround, L-Pine

2 Light  
\$80.30



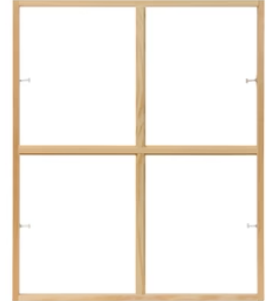
D-Surround, L-Pine

3 Light  
\$81.00



D-Surround, L-Pine

4 Light (2 x 4)  
\$106.70



D-Surround, L-Pine

4 Light (2 x 2)  
\$82.50

## Window Style \*

Is this a double hung window?

[VIEW MORE](#)

Yes

for a  
3 for

## Does the grille require a notch for a sash lock? \*

If your window has a sash lock, locks your full surround grille may need to be notched to allow the grille to be installed.

Yes (+\$35.00)

## Contact us

### Number of sash locks? \*

952-230-7252 • sales@fixhome.com

9944 U.S. Hwy. 10 NW Elk River, MN, 55330

1 sash lock



What is the distance from the left edge of the window to the center of the sash lock? \*

Distance in INCHES

What is the width of the sash lock? \*

Width in INCHES

Customizations Total: \$55.00

### QUANTITY

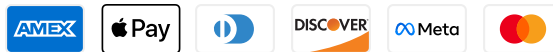
- 1 +

[ADD TO CART](#)

## Information

- FAQ
- Warranty
- Testimonials
- Return Policy

### Accepted Payments



© 2023, FixHome  
Powered by Shopify

Price includes shipping!

Give your window the classic look of a Colonial divided light. Wood Grille: Paint it, Stain it, Customize to match your décor. Fasteners are included. Removal is simple to make cleaning your window a snap. Ordering is just as easy, select your choice of surround and grille bar profiles, specify your visible glass dimensions then click "Add To Cart"! Grilles shipped fully assembled.

[Which profile should I choose?](#)

[How to measure your window](#)

## Details

**Our window grilles are custom made to fit the dimensions provided by you. Click here for information about our [Return Policy](#)**

**Application:** For casement and double hung windows with wood interior sash. Interior Use Only

**Total Lights:** 6

**Pattern:** 3 Wide 2 Tall Colonial or 2 Wide 3 Tall Colonial

**Material:** Pine

**Fastener:** Push pin - clear plastic with stainless nail

**NOTE:** For upper sash grilles that require a sash lock please call 952-230-7252 for instructions on how to provide sash lock notch information.

Recommend 0

Share

Tweet

Save