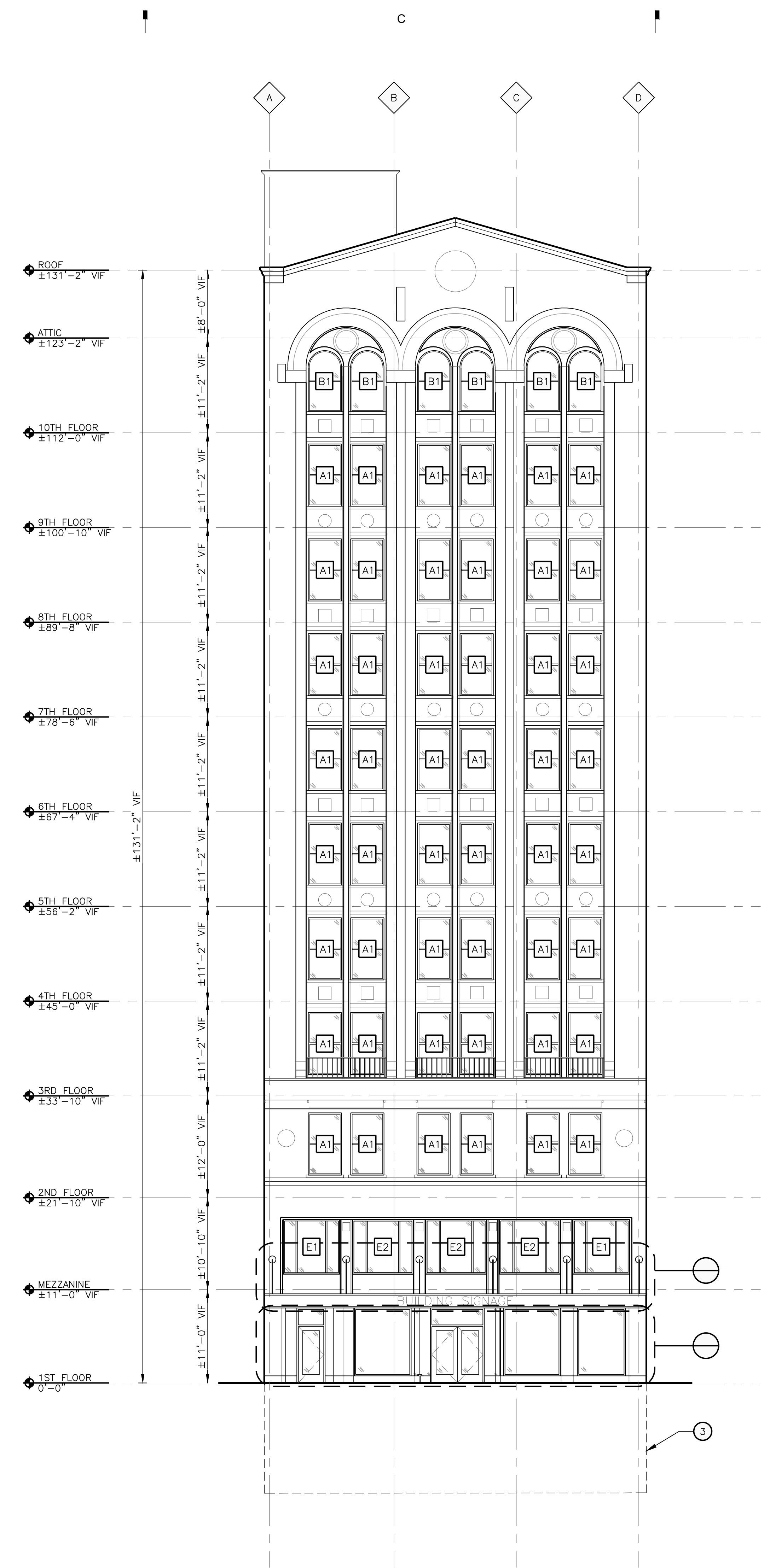


**2 NORTH ELEVATION**  
 A201 SCALE: 1/8" = 1'-0"  
 REFERENCE LOCATIONS: A101, A102, A103, A104



**1 SOUTH ELEVATION**  
 A201 SCALE: 1/8" = 1'-0"  
 REFERENCE LOCATIONS: A101, A102, A103, A104

**GENERAL NOTES**

- A. REFER TO A600 SERIES FOR WINDOW AND DOOR SCHEDULE AND DETAILS.
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- F. EXPOSED STRUCTURAL STEEL SHALL BE GALVANIZED AND PAINTED UNLESS NOTED OTHERWISE.
- G. APPLY SEALANT WHENEVER DISSIMILAR MATERIALS MEET.

**CONSTRUCTION KEYNOTES**

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- 5 NEW METAL COPING.
- 6 GUTTER AND DOWNSPOUT.
- 7 EXIST SILLS TO REMAIN.
- 8 INFILL EXIST WINDOW - SEE X/AXXX.

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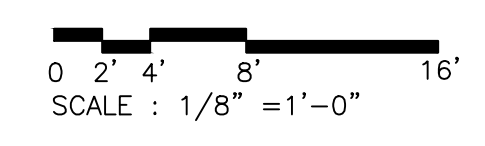
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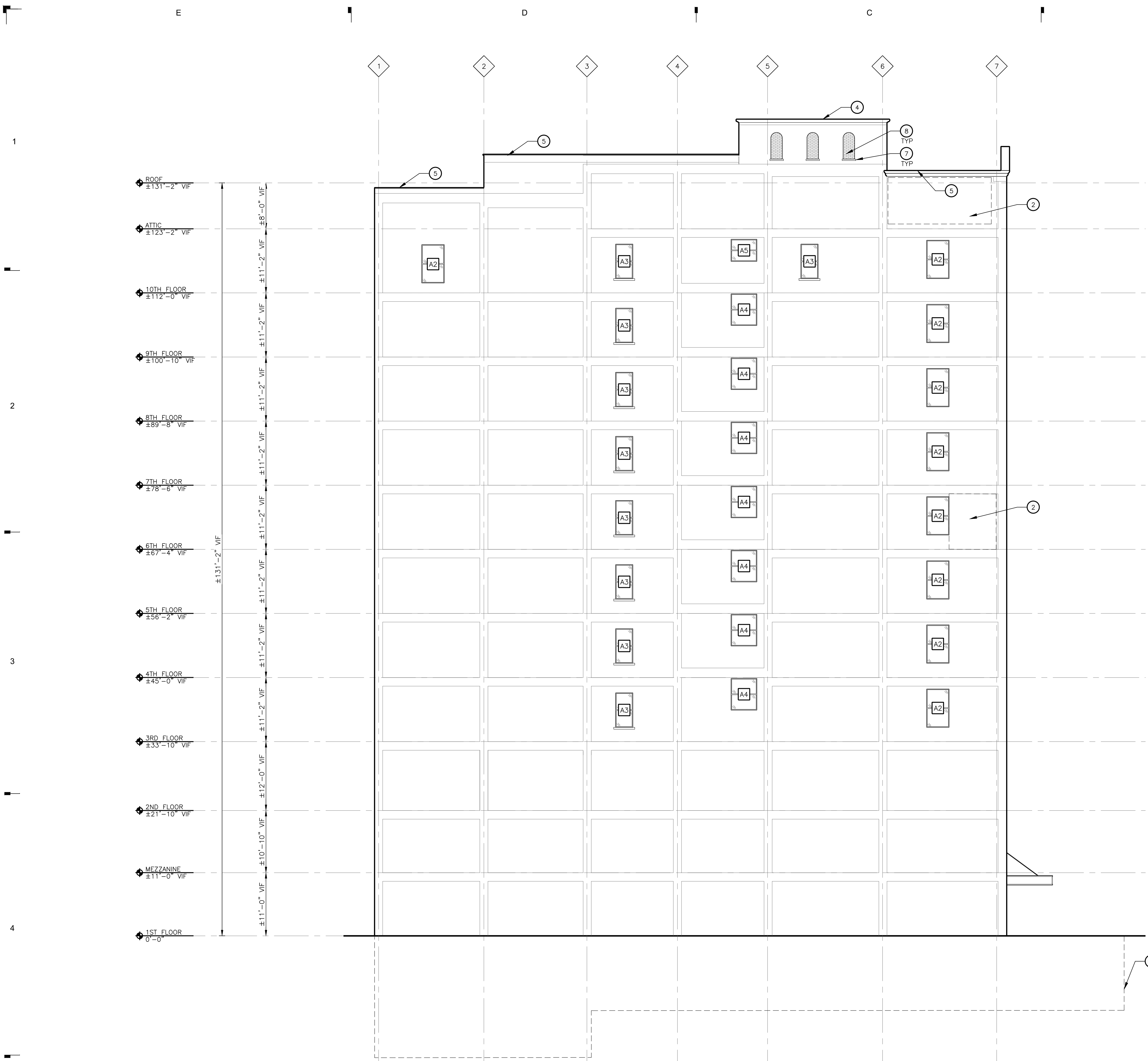
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 Project Number 2022040  
 Sheet Title  
**EXTERIOR ELEVATIONS**

Sheet Number

**A201**



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 Project Number 2022040

Sheet Title  
**EXTERIOR ELEVATIONS**

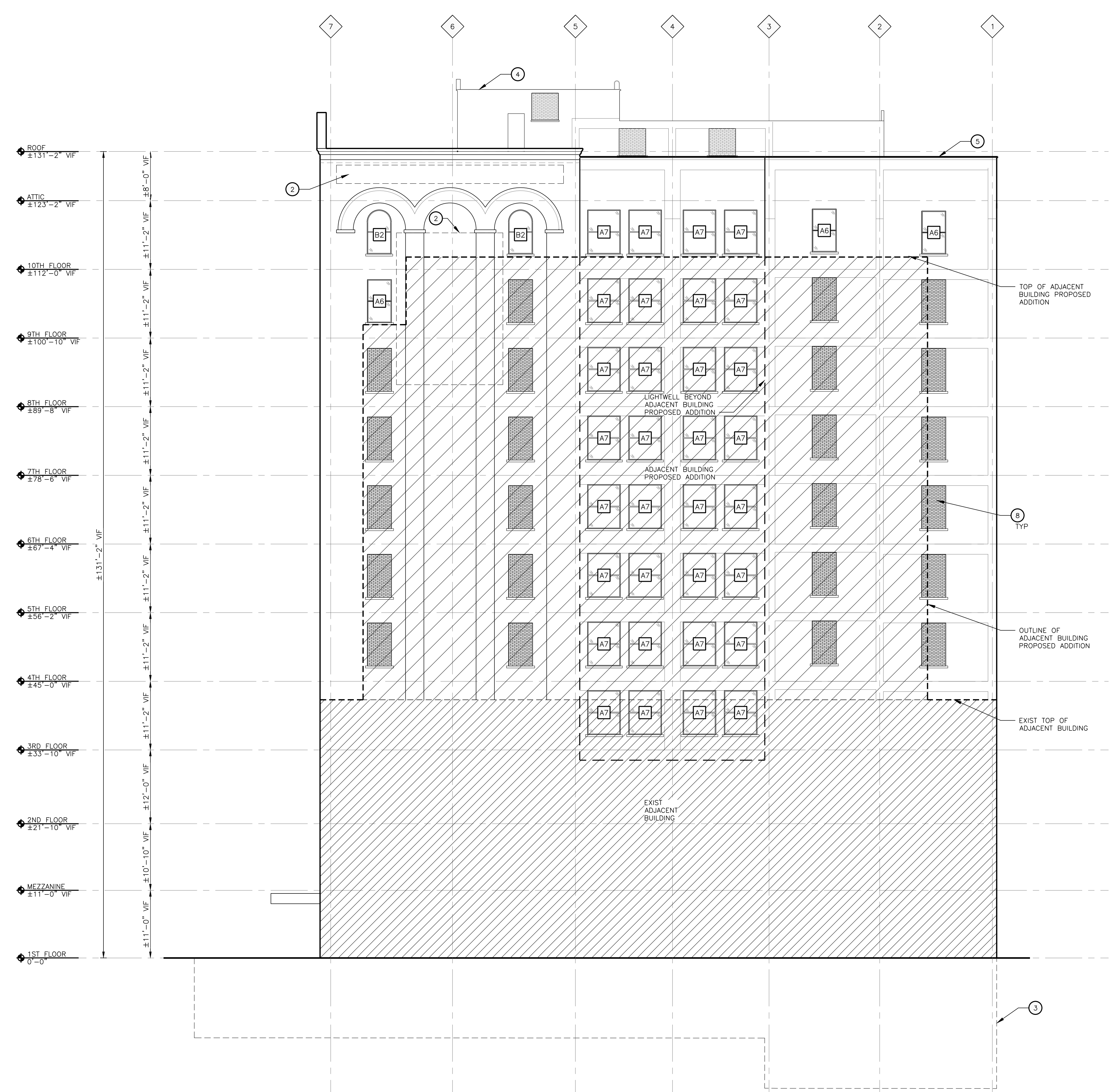
Sheet Number

**A202**

PLOTTED ON 4/13/2023 2:09 PM | PLOTTED BY LAURA MITCHELL

0 2' 4' 8' 16'  
 SCALE : 1/8" = 1'-0"

E D C B A



**1 EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"  
 REFERENCE LOCATIONS: A101, A102, A103, A104

**GENERAL NOTES**

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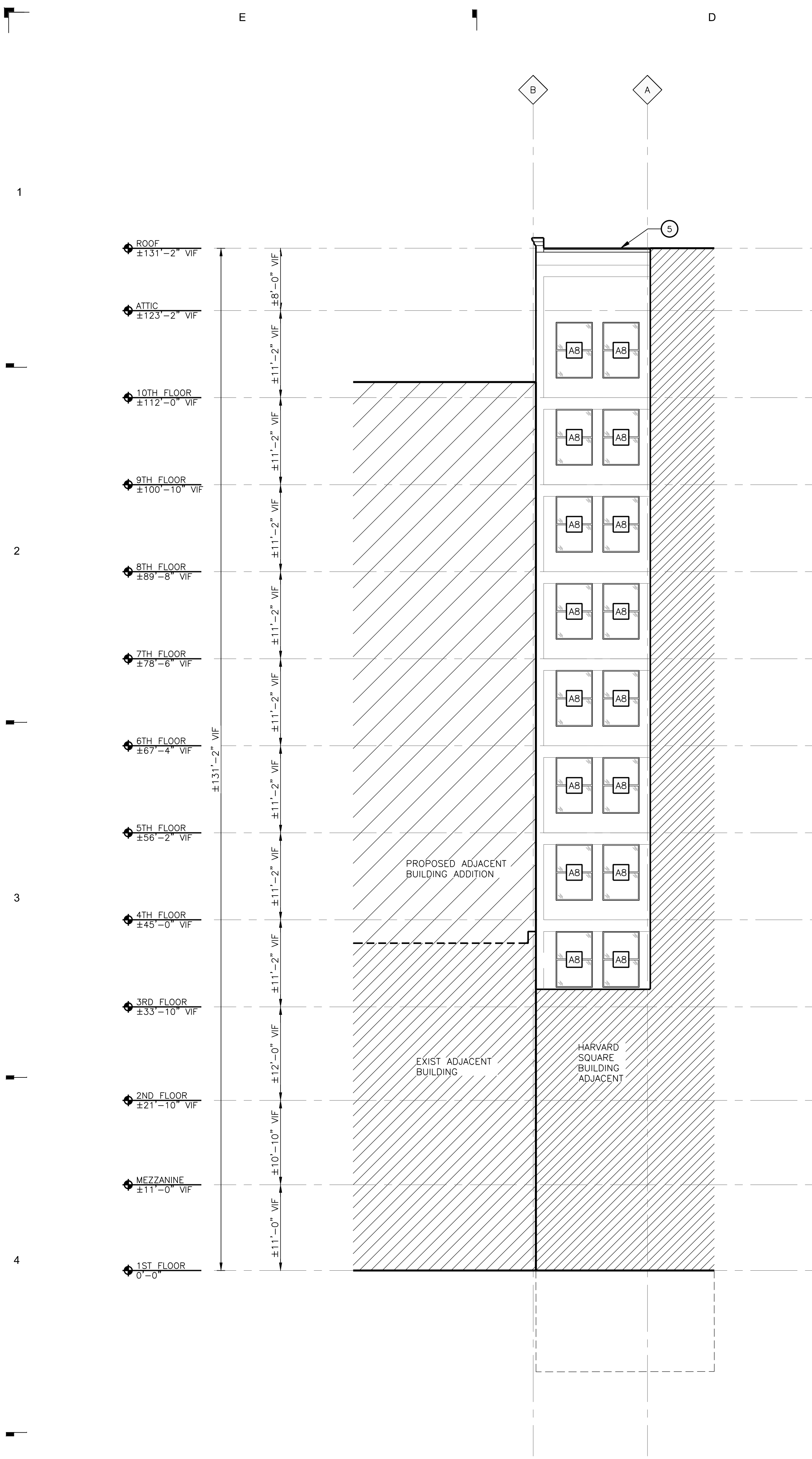
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**EXTERIOR ELEVATIONS**

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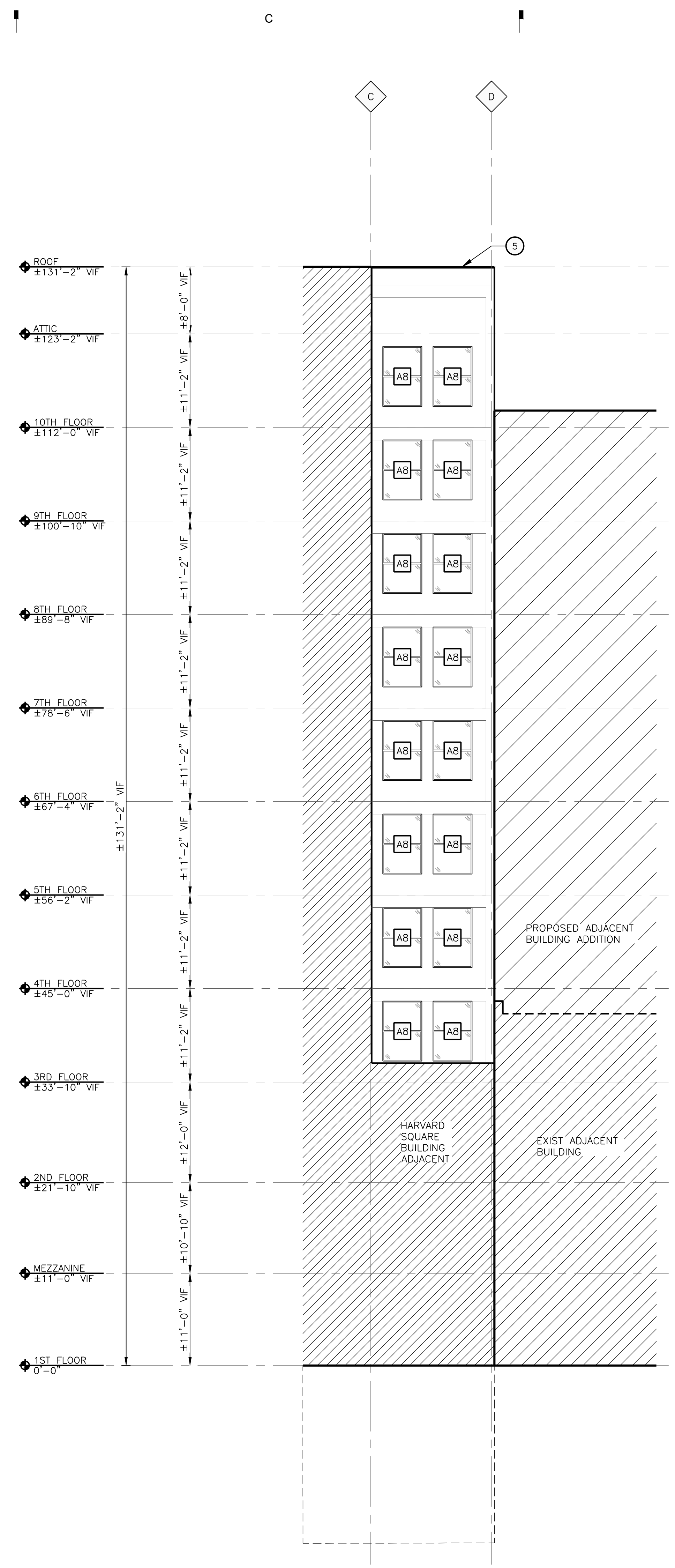
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PLOTTED ON 4/12/2023 3:45 PM | PLOTTED BY LAURA MITCHELL

0 2' 4' 8' 16'  
 SCALE : 1/8" = 1'-0"



**2 SOUTH COURTYARD ELEVATION**  
 SCALE: 1/8" = 1'-0"  
 REFERENCE LOCATIONS: A102, A103, A104



**1 NORTH COURTYARD ELEVATION**  
 SCALE: 1/8" = 1'-0"  
 REFERENCE LOCATIONS: A102, A103, A104

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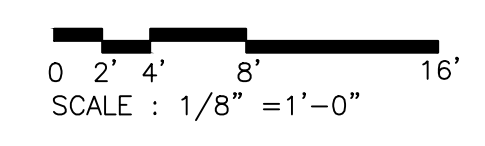
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Sheet Number

**A204**



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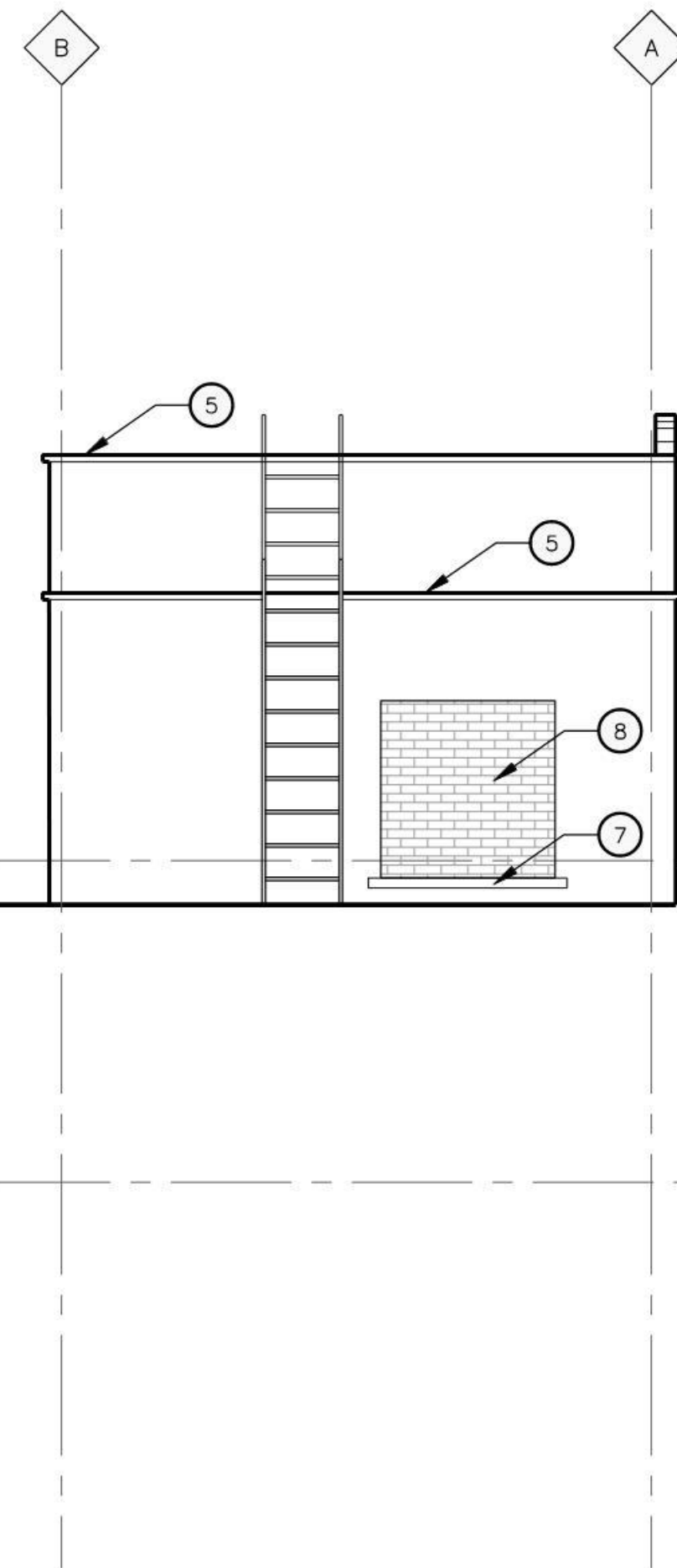
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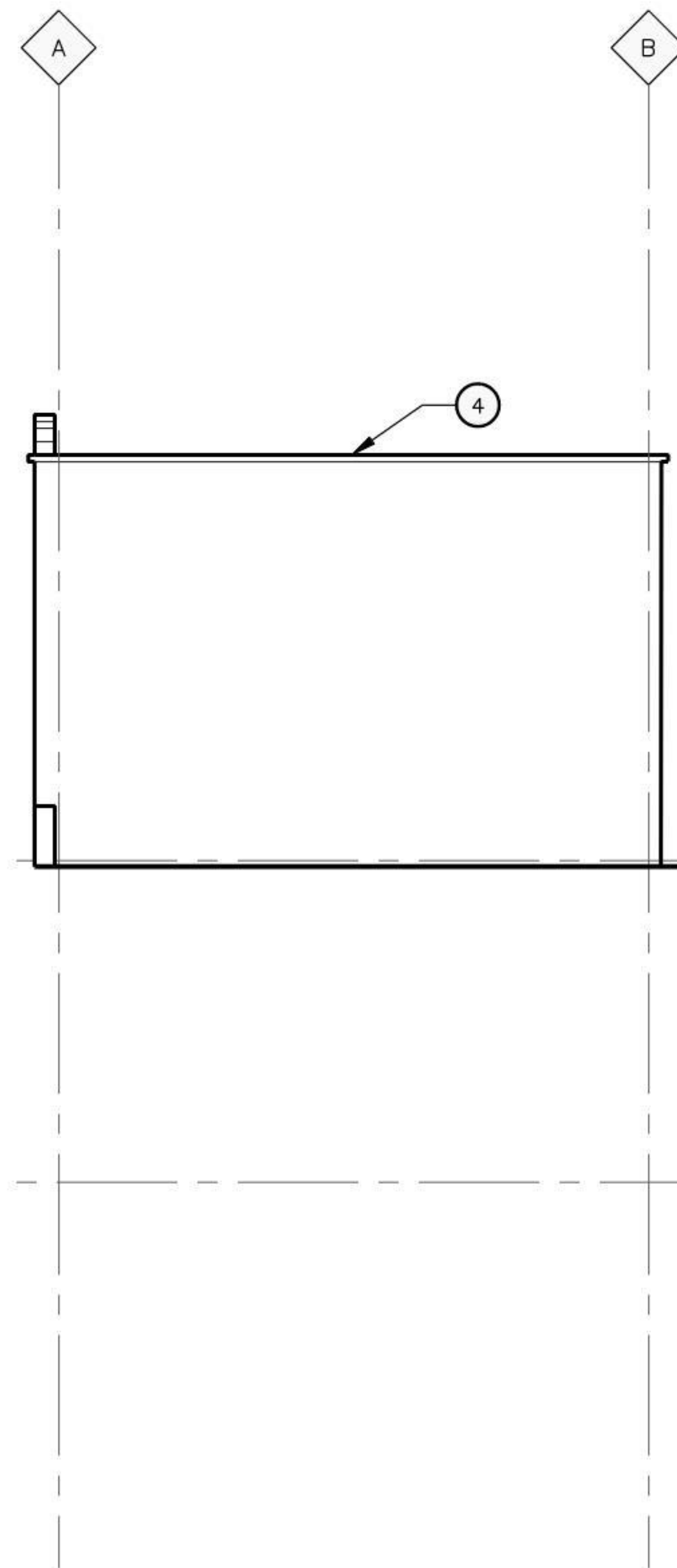
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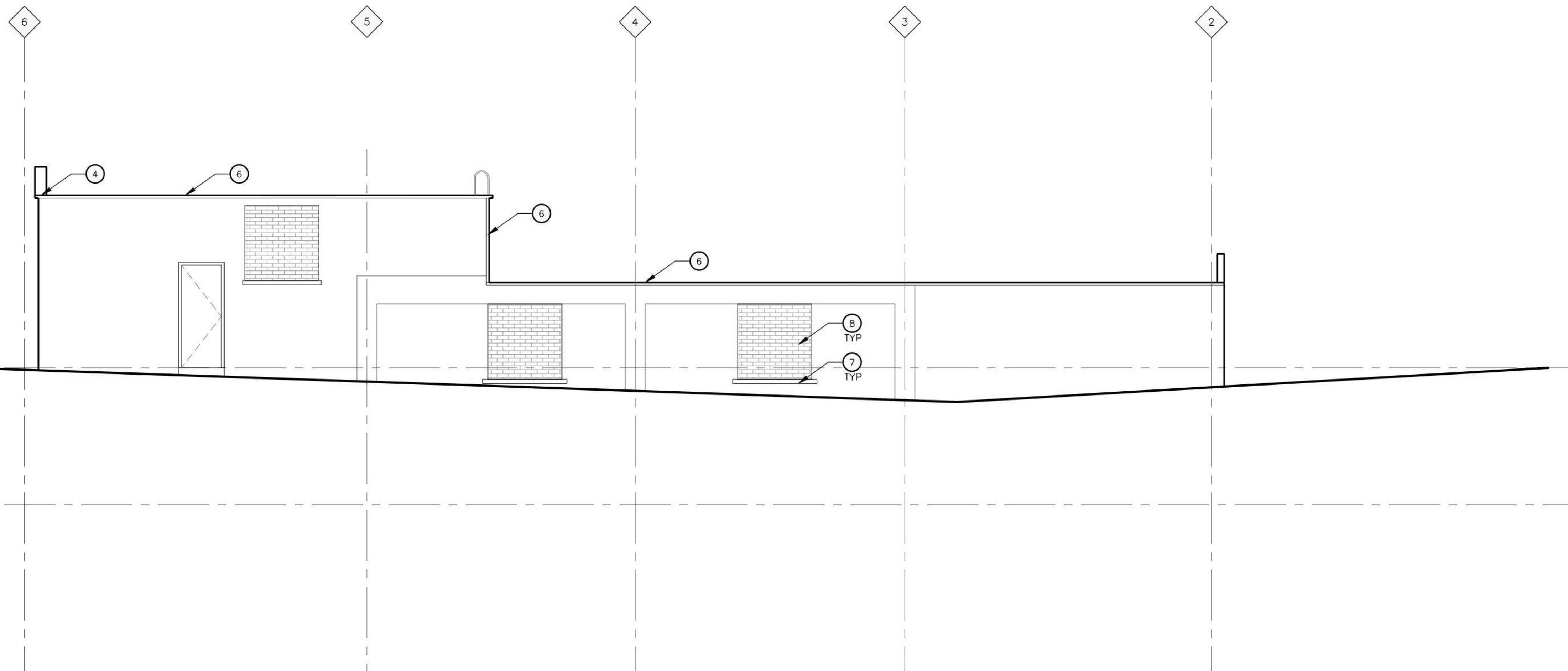
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**2 NORTH PENTHOUSE ELEVATION**  
 A205 SCALE: 1/4" = 1'-0"  
 REFERENCE LOCATIONS: A104



**1 SOUTH PENTHOUSE ELEVATION**  
 A205 SCALE: 1/4" = 1'-0"  
 REFERENCE LOCATIONS: A104



**3 EAST PENTHOUSE ELEVATION**  
 A205 SCALE: 1/4" = 1'-0"  
 REFERENCE LOCATIONS: A104

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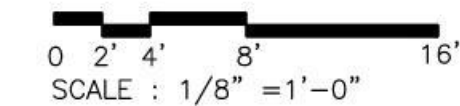
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Project Number 2022040

Sheet Title  
**EXTERIOR ELEVATIONS**

Sheet Number

**A205**





E

D

C

B

A

### CONSTRUCTION KEYNOTES

NOTE: NOT ALL NOTES ARE APPLICABLE TO THIS SHEET.

- 1 GENERATOR
- 2 CHILLER
- 3 DOAS
- 4 EXIST ROOF OPENING TO BE FILLED - COORDINATE W/ STRUCTURAL
- 5 TRASH CHUTE VENT
- 6 METAL LADDER

### ROOFING GENERAL NOTES

- A. CONTRACTOR SHALL REVIEW AND COORDINATE WITH ARCHITECTURAL, MEP, AND STRUCTURAL PLANS TO ASCERTAIN EXACT CONDITIONS AND COMPONENTS RELATED TO THE WORK DESCRIBED BY THESE DOCUMENTS. ALL WORK SHALL BE IN ACCORDANCE WITH ACCEPTED MANUFACTURER'S PRINTED INSTRUCTIONS AND NRCA STANDARDS.
- B. DIMENSIONS, DETAILS, EQUIPMENT SIZE AND LOCATION SHOWN ON THESE ROOF PLAN AND ROOF DETAILS ARE FOR INFORMATION AND REFERENCE ONLY. EXACT SIZE, LOCATION, TYPE OF MATERIAL AND TYPE OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM AND COORDINATE.
- C. REFER TO NOMENCLATURE FOR TYPE OF ROOF SYSTEM, AREAS MARKED WITH DESIGNATED LETTER, SEE ROOF PLAN AND NOMENCLATURE.
- D. MINIMUM SLOPE ALLOWABLE ON THE ROOF SHALL BE NO LESS THAN 1/4" PER FOOT, CRICKET THE UP-SLOPE SIDE OF ALL SQUARE CURBS AND PROJECTIONS OVER 20" IN WIDTH.
- E. CONTRACTOR TO ENSURE RUNOFF PITCHES AWAY FROM ROOF EXPANSION JOINTS AND ROOF AREA SEAMS. ELEVATE ROOF EXPANSION JOINTS A MINIMUM OF 8" ABOVE THE ROOF MEMBRANE.
- F. ALL CRICKET AND TAPERED INSULATION SHALL BE INSTALLED WITH A FINISH 1/4" PER FOOT MIN. SLOPE, CRICKET THE UP-SLOPE SIDE OF ALL SQUARE CURBS AND PROJECTIONS.
- G. ALL PIPING, CONDUITS, ETC. SHALL BE A MIN. 10" ABOVE ROOF SURFACE. PROVIDE PORTABLE PIPE HANGERS WITH PROTECTION PADS.
- H. PROVIDE 22 GAUGE STAINLESS STEEL, 2D FINISH, TREATED WOOD CURB AND BOX HOOD AT ALL GAS LINE AND WATER LINE ROOF PENETRATIONS. SEE A321 FOR TYPICAL ROOF DETAILS.
- I. ISOLATE ALL HEAT PIPES/FLUES AS RECOMMENDED & OUTLINED IN THE NRCA MANUAL FOR ISOLATED STACK FLASHING. REFER TO MEP DRAWINGS FOR SIZE AND LOCATION OF DECK PENETRATIONS AND ROOFTOP EQUIPMENT.
- J. PROVIDE WALKWAY PROTECTION PADS AROUND ALL ROOF HATCHES, MECHANICAL UNITS, AT ROOF TOP ACCESS DOORS, AND LADDERS (TOP & BOTTOM).
- K. CONTRACTOR SHALL REFER TO A321 FOR TYPICAL ROOFING DETAILS IN ADDITION TO DETAILS SPECIFICALLY NOTED ON PLANS.
- L. CONTRACTOR TO ENSURE ALL ROOFTOP PENETRATIONS (EQUIPMENT, SOIL STACKS, ETC.) ARE INSTALLED MIN. 2" FROM OTHER DECK PENETRATIONS, RISE WALLS, AND ROOF EDGE.
- M. THROUGH WALL BASE FLASHING MIN. HEIGHT 10" AND MAX. HEIGHT 20" FROM FINISH DECK. DO NOT STEP THROUGH WALL FLASHING CLOSER THAN 5'-0" FROM CORNERS.
- N. LOCATE PERIMETER DRAINS MAX 6'-0" FROM EDGE TYPICAL UNLESS SHOWN OTHERWISE.
- O. CONTRACTOR SHALL EXAMINE AND ENSURE DRAIN LINES, GUTTERS AND DOWNSPOUTS ARE FREE OF DEBRIS AND BLOCKAGE, FLUSH WITH WATER TO ENSURE THAT DRAINS FLOW FREELY, WHERE APPLICABLE.
- P. OVERFLOW DRAINS SHALL BE SET 2" HIGHER THAN MAIN ROOF DRAIN ELEVATIONS UNLESS NOTED OTHERWISE. OVERFLOW DRAINS SHALL NOT HAVE STRAINERS UNLESS REQUIRED BY LOCAL CODES.
- Q. AVOID THE USE OF PITCH PANS ON LOW-PITCH ROOFS EXCEPT WHERE NO OTHER SOLUTION CAN BE USED.
- R. SECURE NAILERS AND CANT STRIPS TO ROOF DECK NOT TO PARAPETS OR ADJACENT WALLS, TYPICAL.
- S. CONTRACTOR SHALL PROVIDE ALL EQUIPMENT CURBS AND STANDS NECESSARY FOR ROOFTOP EQUIPMENT.

### REROOFING GENERAL NOTES

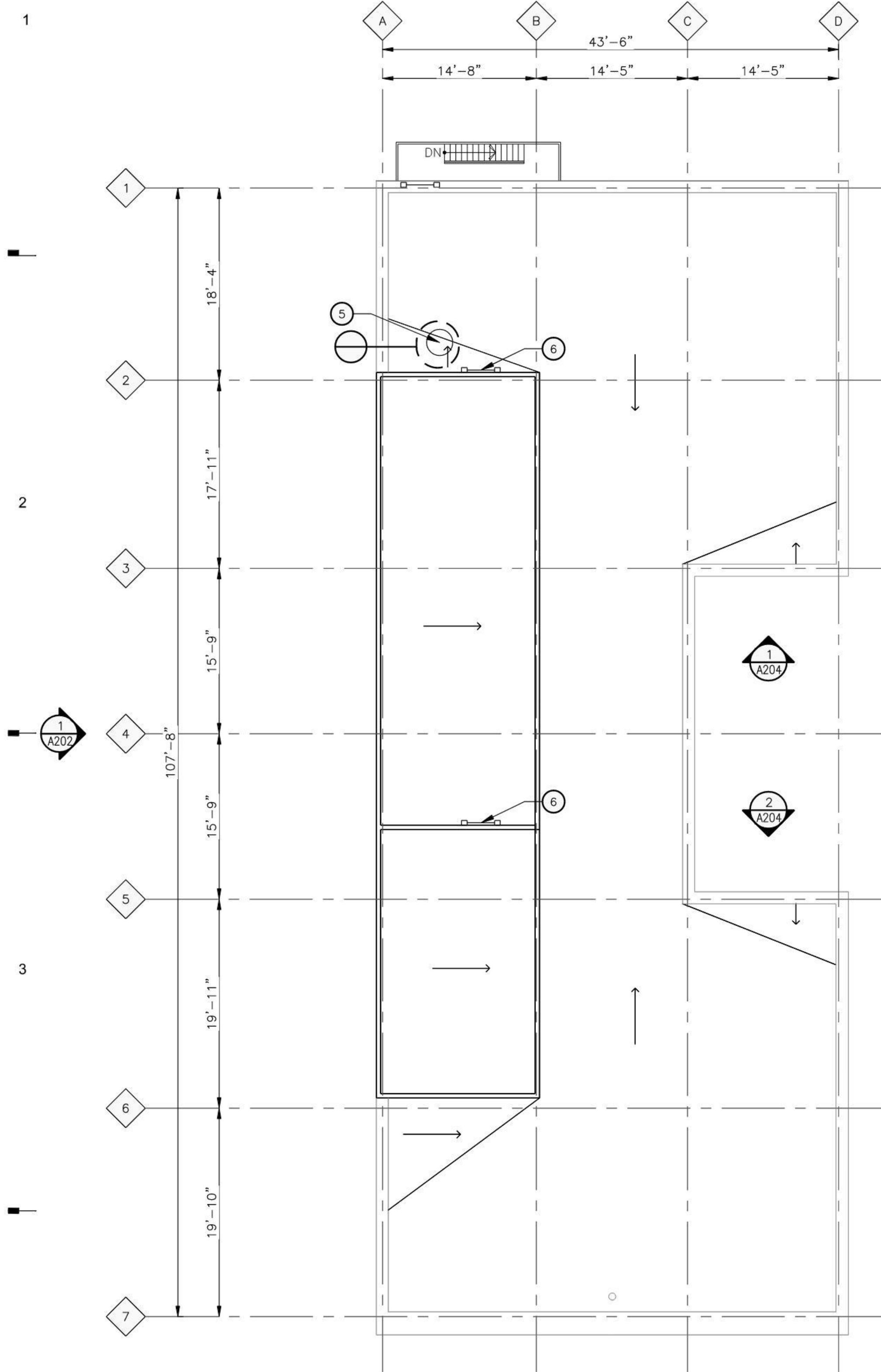
- A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE BUILDING, OCCUPANTS, AND WORKERS THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL TAKE ALL NECESSARY SAFETY PRECAUTIONS AND COMPLY WITH ALL APPLICABLE REGULATIONS INCLUDING OSHA SAFETY REGULATIONS FOR ROOF REPLACEMENT AND DEMOLITION OPERATIONS.
- B. THE CONDITION OF THE EXISTING ROOF ASSEMBLY INCLUDING ROOF COVERING, SUBSTRATE AND DECKING IS UNKNOWN AND MAY BE DAMAGED OR DETERIORATED.
- C. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND MAKE MINOR ADJUSTMENTS AS NECESSARY. NOTIFY ARCHITECT OF ANY DISCREPANCIES WHICH MAY AFFECT THE OUTCOME OF THE WORK.
- D. THE CONTRACTOR SHALL REMOVE AND REINSTALL ALL EXISTING ROOF OR WALL MOUNTED EQUIPMENT AND ACCESSORIES TO REMAIN IN AREAS OF ROOF REPLACEMENT AS NECESSARY TO COMPLETE THE WORK. ALL CURBED ROOF PENETRATIONS SHALL EXTEND A MIN. OF 12" ABOVE THE FINISHED ROOF SURFACE. PROVIDE OR MODIFY EXISTING CONSTRUCTION WITH NEW TREATED WOOD BLOCKING AS NECESSARY. FIELD VERIFY SIZE, QUANTITY, AND LOCATION OF ALL ROOF PENETRATIONS, EQUIPMENT AND ACCESSORIES. MODIFY/EXTEND EXISTING CONTROL WIRING, CONDUIT, DUCTWORK OR PIPING AS NECESSARY. NOTIFY THE OWNER AND COORDINATE ANY INTERRUPTION IN EQUIPMENT SERVICE PRIOR TO REMOVAL.
- E. PROTECT EXISTING UTILITIES DURING CONSTRUCTION. FLASH ALL UTILITY, CONDUIT, AND PIPING PENETRATIONS IN ACCORDANCE WITH THE ROOF MANUFACTURER'S PUBLISHED INSTRUCTIONS. FIELD VERIFY SIZE, QUANTITY AND LOCATION.
- F. ALL EXISTING FINISHES DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO A CONDITION AT LEAST EQUAL IN MATERIAL AND APPEARANCE TO THAT WHICH EXISTED BEFORE CONSTRUCTION BEGAN.
- G. CONTRACTOR TO MAINTAIN DRAINAGE FLOWS AT ALL TIMES DURING THE PERFORMANCE OF THE WORK.
- H. CONTRACTOR TO REMOVE EXISTING ROOFING MATERIALS AT PARAPET WALL AND INSPECT CONDITION OF EXISTING PARAPET WALL. CONTRACTOR SHALL REPORT TO ARCHITECT ANY UNSTABLE CONDITIONS REQUIRING REPAIR PRIOR TO PROCEEDING WITH WORK.
- I. CONTRACTOR SHALL PROVIDE PLYWOOD OR COVER BOARD BEHIND MEMBRANE ROOFING AT ALL EXISTING WALL SURFACES TOO ROUGH FOR PROPER INSTALLATION.

1

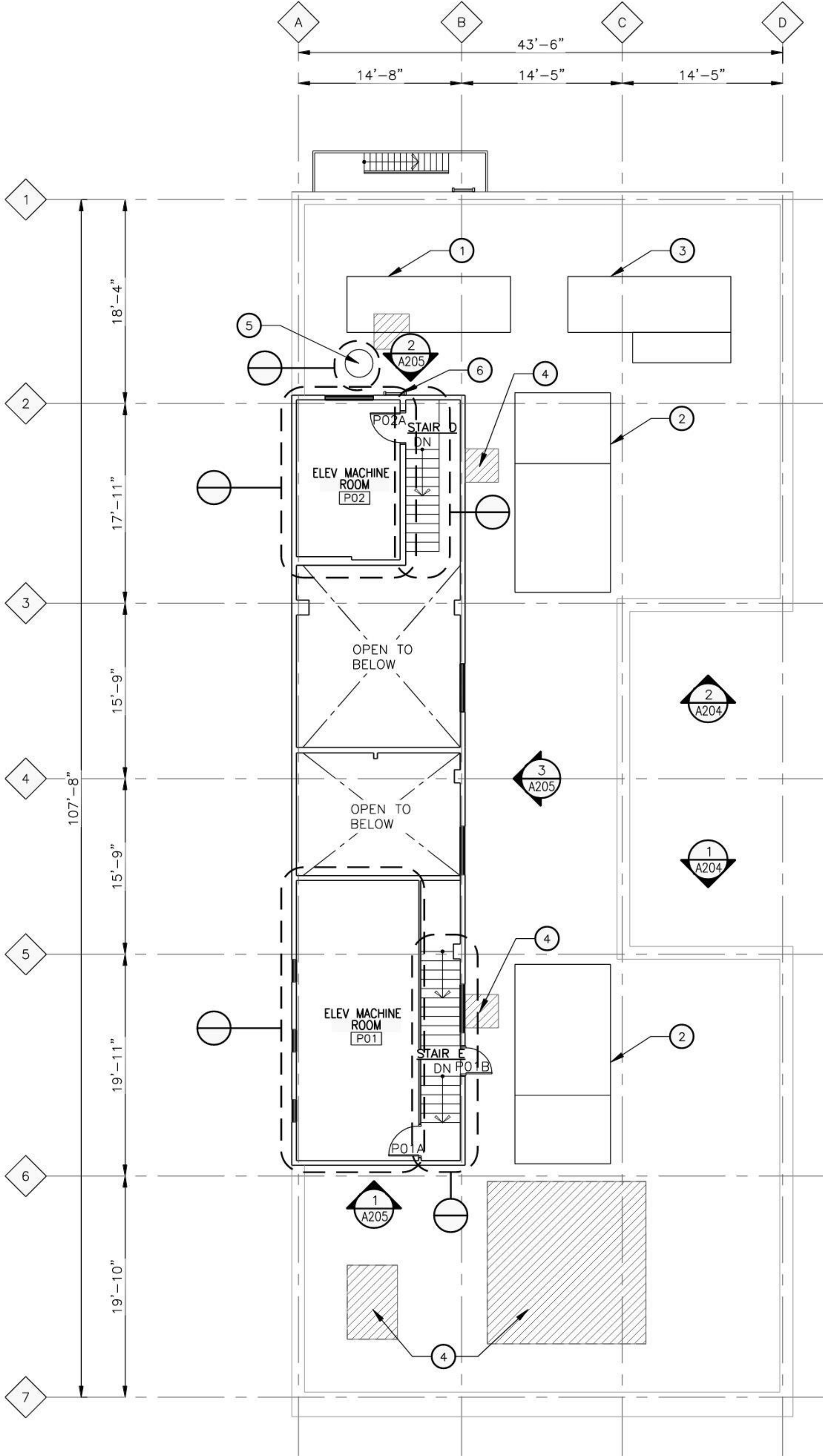
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3

4



**ROOF PLAN**  
SCALE: 1/8" = 1'-0"



**PENTHOUSE FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

ROOF LEGEND	
KEY TO ROOF PLAN	
	SCUPPER AND DOWNSPOUT
	DOWNSPOUT
	ROOF DRAIN
	GUTTER
	GUTTER SLOPE
	ROOF/TAPERED INSULATION SLOPE
	HATCH DENOTES EXTENT OF PROTECTIVE ROOF OVERLAYMENT, TYPICAL AT ALL GREASE DUCT EXHAUSTS, REFER TO SPECIFICATIONS.



0 2' 4' 8' 16'  
SCALE: 1/8" = 1'-0"

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Project

PRELIMINARY  
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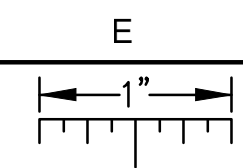
Sheet Title  
**PENTHOUSE & ROOF FLOOR PLAN**

Sheet Number

A104



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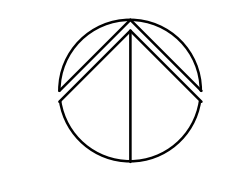
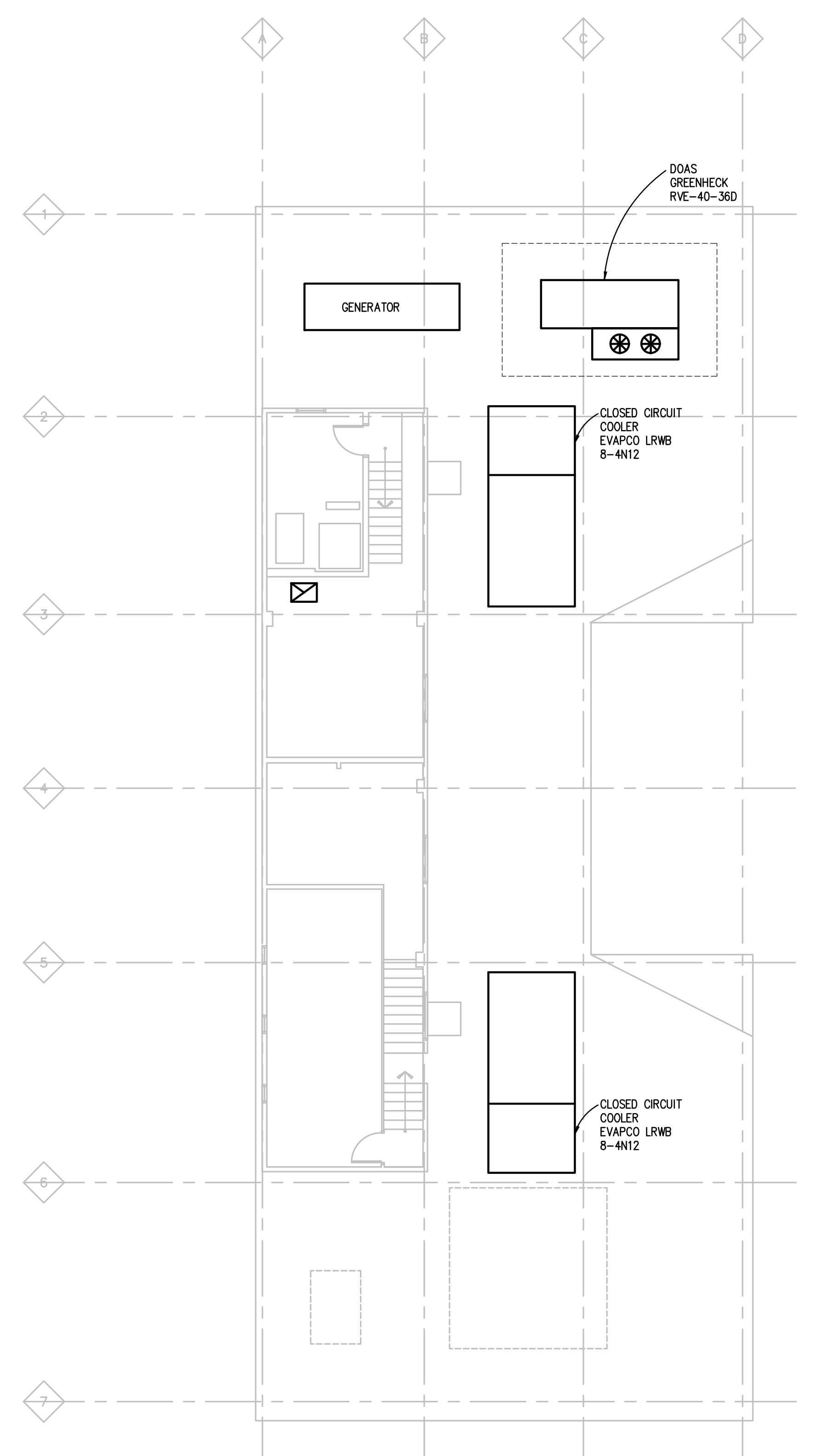
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**PENTHOUSE MECHANICAL PLAN**  
SCALE: 1/8" = 1' - 0"

**PLUMBING GENERAL NOTES:**

1. THESE DRAWINGS ARE DIAGRAMMATIC, AND REPRESENT THE GENERAL INTENT AND ARRANGEMENT OF SYSTEMS. THEY ARE NOT TO BE CONSIDERED FABRICATION/COORDINATION/SHOP DRAWINGS. COORDINATION WITH OTHER TRADES IS REQUIRED. PROVIDE THE ADDITIONAL FITTINGS AND OFFSETS THAT WILL BE REQUIRED TO COMPLETE EACH SYSTEM AND TO AVOID INTERFERENCES WITH ALL OTHER SYSTEMS INCLUDING THE STRUCTURE, SHEET METAL, OTHER PIPING SYSTEMS, ELECTRICAL CONDUITS, BUS DUCTS, CABLE TRAY, LIGHT FIXTURES, ETC. AND/OR OTHER SPACE CONSTRAINTS.
2. INSTALL SYSTEMS SUCH THAT REQUIRED CLEARANCE AND SERVICE ACCESS SPACE IS PROVIDED AROUND ALL MECHANICAL AND ELECTRICAL EQUIPMENT, AND AROUND ANY COMPONENTS WHICH REQUIRE SERVICE ACCESS.
3. PIPING SHALL NOT BE INSTALLED ABOVE ELECTRICAL TRANSFORMERS, SWITCHBOARDS, PANELBOARDS OR MOTOR CONTROL CENTERS.
4. COORDINATE AND PROVIDE ACCESS DOORS WITHIN INACCESSIBLE CEILING, SHAFT, AND CHASE AREAS FOR ALL COMPONENTS WHICH REQUIRE SERVICE ACCESS. REFER TO ARCHITECTURAL DRAWINGS FOR CEILING TYPES.
5. PROVIDE SUPPLEMENTARY STEEL AS REQUIRED FOR THE PROPER SUPPORT OF ALL SYSTEMS.
6. REFER TO ARCHITECTURAL PLANS FOR DIMENSIONED LOCATIONS OF PLUMBING FIXTURES.
7. HOT AND COLD WATER PIPING RUN-OUTS TO LAVATORIES AND SINKS SHALL BE 1/2" UNLESS OTHERWISE NOTED.
8. PLUMBING VENT PIPING THROUGH ROOF SHALL BE LOCATED A MINIMUM OF 10'-0" FROM ANY FRESH AIR INTAKE LOCATION AND A MINIMUM OF 18" CLEAR FROM THE INSIDE FACE OF PARAPET.
9. PROVIDE CODE REQUIRED CLEARANCE FOR ALL CLEANOUTS INSTALLED IN SANITARY WASTE AND VENT PIPING.
10. MINIMUM UNDERGROUND PIPE SIZE SHALL BE 3".
11. WATER SERVICE ENTRANCE PIPING SHALL BE BURIED WITH DEPTH OF COVER OVER TOP OF PIPE OF AT LEAST 12" OR WITH TOP OF PIPE AT LEAST 12" BELOW LEVEL OF MAXIMUM FROST PENETRATION, OR AS REQUIRED BY AUTHORITIES HAVING JURISDICTION, WHICHEVER IS DEEPEST.

**HVAC PIPING GENERAL NOTES:**

1. THESE DRAWINGS ARE DIAGRAMMATIC, AND REPRESENT THE GENERAL INTENT AND ARRANGEMENT OF SYSTEMS. THEY ARE NOT TO BE CONSIDERED FABRICATION/COORDINATION/SHOP DRAWINGS. COORDINATION WITH OTHER TRADES IS REQUIRED. PROVIDE THE ADDITIONAL FITTINGS AND OFFSETS THAT WILL BE REQUIRED TO COMPLETE EACH SYSTEM AND TO AVOID INTERFERENCES WITH ALL OTHER SYSTEMS INCLUDING THE STRUCTURE, SHEET METAL, OTHER PIPING SYSTEMS, ELECTRICAL CONDUITS, BUS DUCTS, CABLE TRAY, LIGHT FIXTURES, ETC. AND/OR OTHER SPACE CONSTRAINTS.
2. INSTALL SYSTEMS SUCH THAT REQUIRED CLEARANCE AND SERVICE ACCESS SPACE IS PROVIDED AROUND ALL MECHANICAL AND ELECTRICAL EQUIPMENT, AND AROUND ANY COMPONENTS WHICH REQUIRE SERVICE ACCESS.
3. PIPING AND DUCTWORK SHALL NOT BE INSTALLED ABOVE ELECTRICAL TRANSFORMERS, SWITCHBOARDS, PANELBOARDS OR MOTOR CONTROL CENTERS.
4. COORDINATE AND PROVIDE ACCESS DOORS WITHIN INACCESSIBLE CEILING, SHAFT, AND CHASE AREAS FOR ALL COMPONENTS WHICH REQUIRE SERVICE ACCESS. REFER TO ARCHITECTURAL DRAWINGS FOR CEILING TYPES.
5. PROVIDE SUPPLEMENTARY STEEL AS REQUIRED FOR THE PROPER SUPPORT OF ALL SYSTEMS.
6. SUBMIT PROPOSED METHODS OF ANCHORING AND GUIDING PIPING SYSTEMS TO STRUCTURAL ENGINEER FOR APPROVAL.
7. COORDINATE LOCATION OF DUCT-MOUNTED HYDRONIC DEVICES WITH SHEET METAL TRADES.
8. BRANCH PIPING SERVING TERMINAL UNIT HEATING COILS OR RADIANT CEILING PANELS SHALL BE 1/4" UNLESS OTHERWISE NOTED. BRANCH PIPING SERVING MORE THAN ONE TERMINAL UNIT HEATING COIL SHALL BE 1" UNLESS OTHERWISE NOTED. BRANCH PIPING SERVING HOT WATER UNIT HEATERS AND CABINET UNIT HEATERS SHALL BE 1" UNLESS OTHERWISE NOTED.
9. REFER TO TEMPERATURE CONTROLS STANDARD MOUNTING HEIGHTS DETAIL FOR ELEVATIONS OF WALL MOUNTED TEMPERATURE CONTROL DEVICES.

**SHEET METAL GENERAL NOTES:**

1. THESE DRAWINGS ARE DIAGRAMMATIC, AND REPRESENT THE GENERAL INTENT AND ARRANGEMENT OF SYSTEMS. THEY ARE NOT TO BE CONSIDERED FABRICATION/COORDINATION/SHOP DRAWINGS. COORDINATION WITH OTHER TRADES IS REQUIRED. PROVIDE THE ADDITIONAL FITTINGS AND OFFSETS THAT WILL BE REQUIRED TO COMPLETE EACH SYSTEM AND TO AVOID INTERFERENCES WITH ALL OTHER SYSTEMS INCLUDING THE STRUCTURE, PIPING SYSTEMS, ELECTRICAL CONDUITS, BUS DUCTS, CABLE TRAY, LIGHT FIXTURES, ETC. AND/OR OTHER SPACE CONSTRAINTS.
2. INSTALL SYSTEMS SUCH THAT REQUIRED CLEARANCE AND SERVICE ACCESS SPACE IS PROVIDED AROUND ALL MECHANICAL AND ELECTRICAL EQUIPMENT, AND AROUND ANY COMPONENTS WHICH REQUIRE SERVICE ACCESS.
3. PIPING AND DUCTWORK SHALL NOT BE INSTALLED ABOVE ELECTRICAL TRANSFORMERS, SWITCHBOARDS, PANELBOARDS OR MOTOR CONTROL CENTERS.
4. COORDINATE AND PROVIDE ACCESS DOORS WITHIN INACCESSIBLE CEILING, SHAFT, AND CHASE AREAS FOR ALL COMPONENTS WHICH REQUIRE SERVICE ACCESS. REFER TO ARCHITECTURAL DRAWINGS FOR CEILING TYPES.
5. PROVIDE SUPPLEMENTARY STEEL AS REQUIRED FOR THE PROPER SUPPORT OF ALL SYSTEMS.
6. REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR DIMENSIONED LOCATION OF GRILLES, REGISTERS, AND DIFFUSERS.
7. REFER TO TEMPERATURE CONTROLS STANDARD MOUNTING HEIGHTS DETAIL FOR ELEVATIONS OF WALL MOUNTED TEMPERATURE CONTROL DEVICES.

**# CONSTRUCTION KEY NOTES:**

1. xxx
2. xxx

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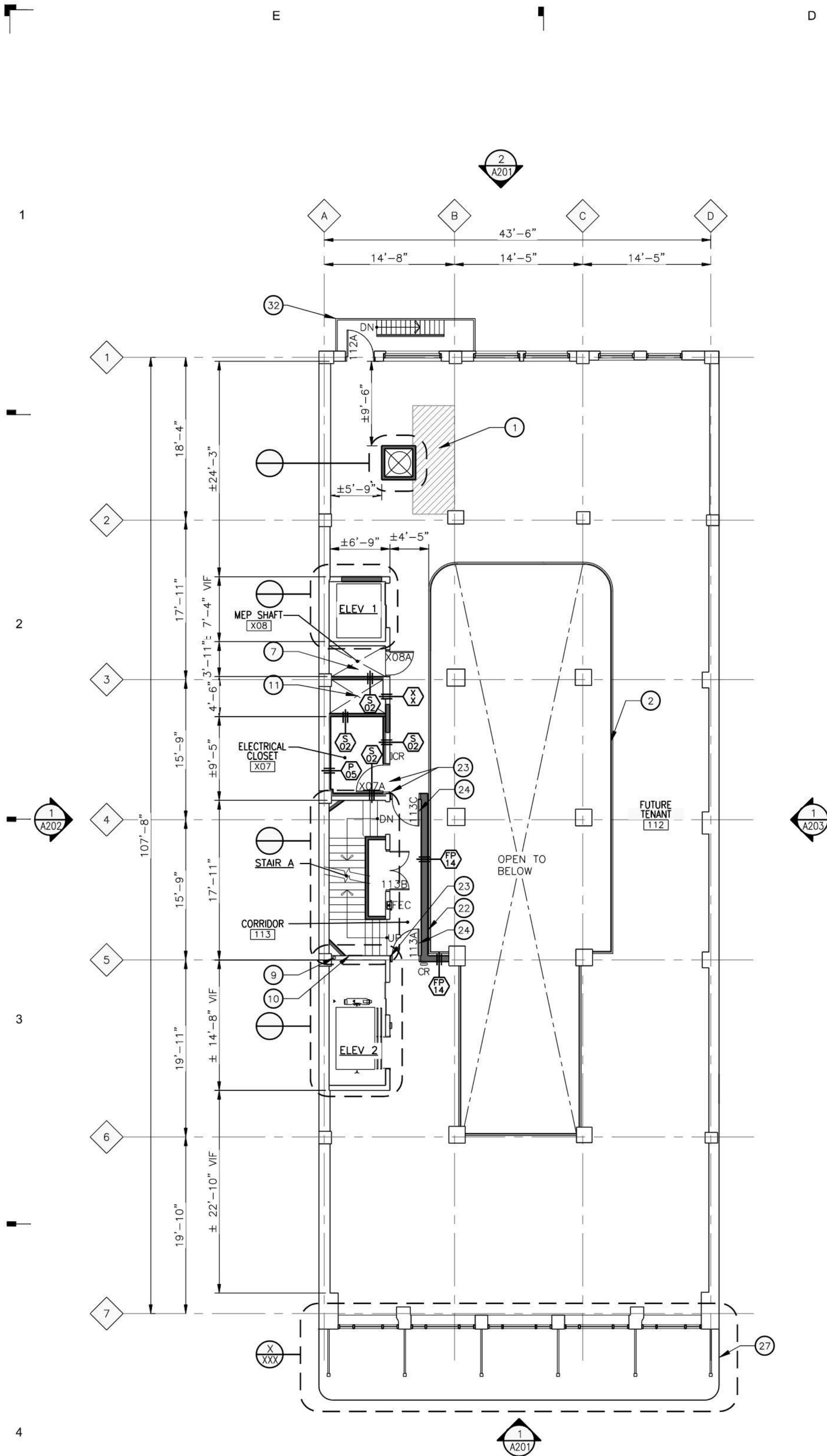
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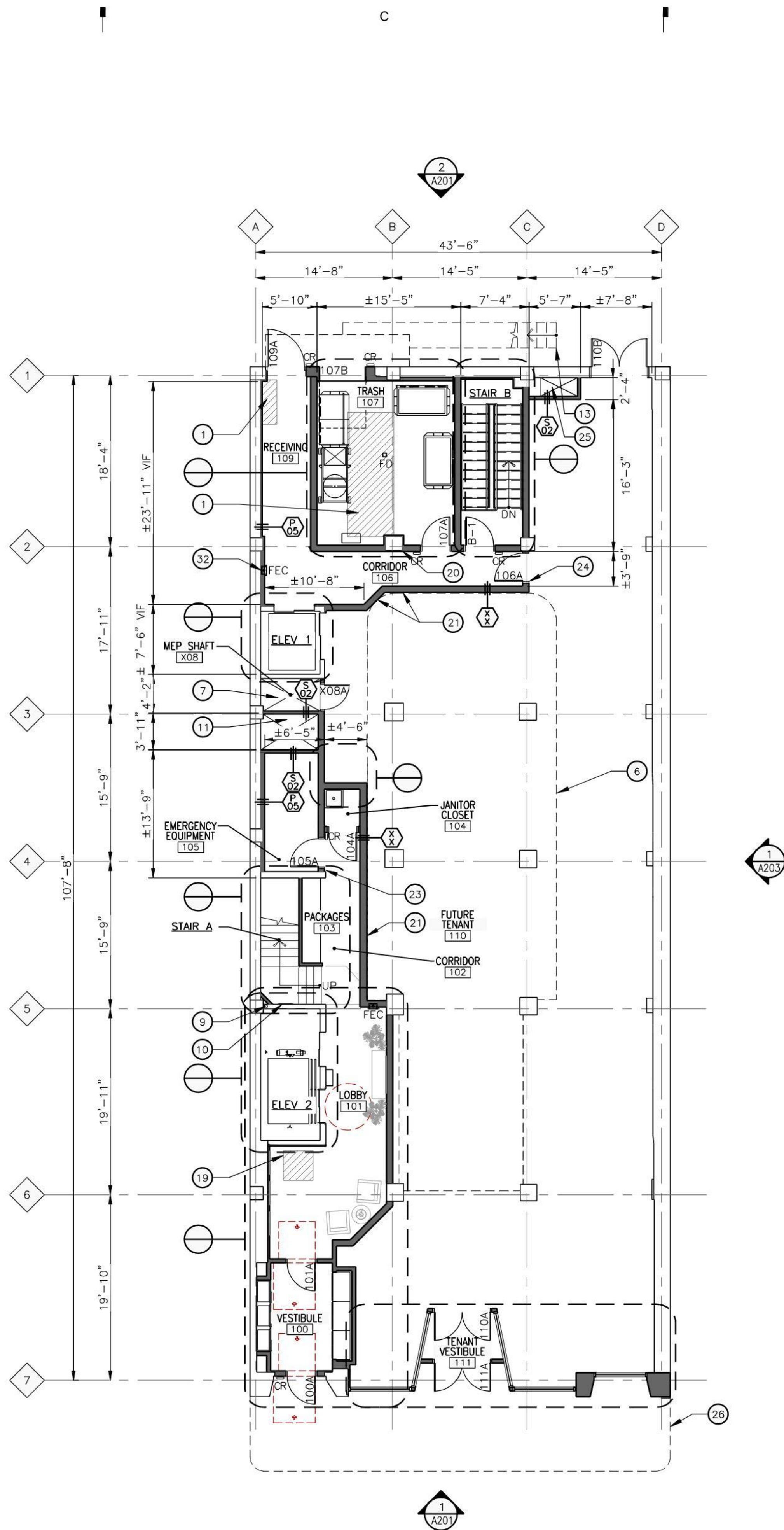
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**MEZZANINE FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**1ST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

**CONSTRUCTION KEYNOTES**

- 1 INFILL EXIST FLOOR OPENING.
- 2 NEW GUARDRAIL TO MATCH HISTORIC.
- 3 NEW STAIR TO MATCH HISTORIC CONFIGURATION.
- 4 OUTLINE OF BUILDING ABOVE.
- 5 INFILLED SIDEWALK VAULT EXTENTS.
- 6 MEZZANINE ABOVE.
- 7 KITCHEN EXHAUST SHAFT.
- 8 FIXED SHUT DOOR.
- 9 STANDPIPE LOCATION. SEE PLUMBING.
- 10 FIRE CONNECTION CABINET.
- 11 MEP SHAFT.
- 12 EXIST CORRIDOR WALLS TO REMAIN. APPLY NEW GYP BD TO FACE OF CLAY TILE ABOVE MARBLE WAINSCOT. MARBLE WAINSCOT TO REMAIN AS-IS. REPLACE TO MATCH WHERE MISSING. ALL DOORS TO BE REPLACED WITH NEW TO MATCH EXISTING PROFILES. NEW DOORS TO BE FIXED CLOSED IN EXISTING OPENINGS NOT BEING REUSED.
- 13 FIRE ESCAPE ABOVE.
- 14 EXIST LOAD BEARING WALL TO REMAIN.
- 15 GAS METER - SEE MECHANICAL.
- 16 RESIDENTIAL UNIT ENTRY DOORS TO HAVE CARD READER INTEGRATED INTO DOOR HARDWARE.
- 17 EXIST DRINKING FOUNTAIN TO REMAIN. REMOVE ALL ASSOCIATED PLUMBING, CAP IN PLACE.
- 18 DURO FIXIT STATION AND AIR PUMP.
- 19 INFILL EXIST FLOOR OPENING WITH NEW STONE TO MATCH ADJACENT PATTERN, COLOR, AND SHEEN. COORDINATE W/ ARCHITECT.
- 20 ALIGN WALL W/ FACE OF COLUMN.
- 21 HOLD FACE OF NEW WALL BACK 1" FROM FACE OF EXIST MEZZANINE EDGE.
- 22 HOLD FACE OF NEW WALL BACK 1" FROM MEZZANINE GUARDRAIL. MEZZANINE GUARDRAIL TO CONTINUE BEHIND NEW WALL.
- 23 ALIGN FACE OF NEW WALL W/FACE OF EXIST ADJACENT WALL.
- 24 CENTER DOOR ON OPENING.
- 25 FIRE PUMP EXHAUST SHAFT.
- 26 CANOPY ABOVE.
- 27 CANOPY BELOW.
- 28 JANITOR'S CLOSET AT 6TH FLOOR ONLY. FLOORS 3-5 AND 7-8 TO BE BUILDING STORAGE CLOSET.
- 29 JANITOR'S CLOSET AT 10TH FLOOR ONLY. 9TH FLOOR TO BE BUILDING STORAGE CLOSET.
- 30 NEW SKYLIGHT - SEE X/AXXX.
- 31 NEW FIRE ESCAPE IN EXIST LOCATION. COORDINATE CONNECTIONS TO BUILDING W/ STRUCTURAL.
- 32 CENTER FIRE EXTINGUISHER CABINET ON WALL.
- 33 ALIGN FACE OF NEW WALL W/ EDGE OF EXIST MARBLE.

**GENERAL NOTES**

- A. FIRESTOPPING: PROVIDE FIRESTOPPING ASSEMBLIES AT ALL PENETRATIONS AND INTERRUPTIONS TO FIRE RATED ASSEMBLIES WHICH PROVIDE THE SPECIFIED FIRE RATING FOR PARTITION OR FLOOR. SEE SPECIFICATIONS.
- B. FIRE RATED PARTITIONS SHALL BE CONTINUOUS FROM FLOOR TO STRUCTURE ABOVE AND SHALL BE FIRE STOPPED TIGHTLY TO STRUCTURE PER CODE (U.L. SYSTEM). SEE A501 FOR ADDITIONAL REQUIREMENTS.
- C. PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS NOTED OTHERWISE. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESS OF FINISHES.
- D. COORDINATE AND PROVIDE BACKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
- E. CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED. COORDINATE LOCATIONS AND EXTENTS OF BLOCKING WITH PRODUCT MANUFACTURERS AND SHOP DRAWINGS.
- F. LOCATE DOOR FRAMES 6" FROM INSIDE CORNER TO DOOR OPENING, UNLESS NOTED OTHERWISE.
- G. ALL INTERIOR GLAZING INCL DOORS, SIDELITES, & BORROWED LITES SHALL BE CLEAR LAMINATED SAFETY GLASS OR CLEAR TEMPERED SAFETY GLAZING, UNLESS NOTED OTHERWISE.
- H. RECESSED ITEMS (GREATER THAN 16 SQ. IN.) IN RATED AND/OR SMOKE WALLS, INCLUDING ELEC PANELS, ELEC DUCTS, MED GAS VALVE BOXES, FIRE EXT CABINETS, ETC. SHALL BE BACKED WITH 5/8" TYPE "X" GYPSUM BOARD TO MAINTAIN RATING AT FIRE WALL.
- I. SEMI-RECESSED FIRE EXTINGUISHER (FE) ARE SHOWN ON PLAN - REFER TO SHEET A501 FOR TYPICAL DETAILS. FINAL LOCATION OF FIRE EXTINGUISHERS SHALL BE REVIEWED IN FIELD WITH BUILDING OFFICIAL PRIOR TO INSTALLATION ROUGH-IN.
- J. COORDINATE TELECOMMUNICATIONS, A/V, DATA AND SECURITY SYSTEMS INSTALLATIONS. PROVIDE AND INSTALL TELEPHONE AND ELECTRICAL PANEL BOARDS. PANEL BOARDS SHALL BE 4' X 8' X 3/4" THICK, PLYWOOD, FIRE RETARDANT TREATED.
- K. COORDINATE WITH ROOM FINISH AND MATERIAL SCHEDULE.
- L. COORDINATE WITH ENLARGED ROOM PLAN FOR ADDITIONAL REQUIREMENTS.
- M. SEE PARTITION NOTES ON SHEET A501 FOR ADDITIONAL REQUIREMENTS.
- N. WHERE NEW GYPSUM BOARD PARTITIONS ARE A CONTINUATION OF AN EXISTING PARTITION OR COLUMN ENCASEMENT, THE FACE OF THE NEW GYPSUM BOARD SHALL BE ALIGNED WITH THE FACE OF THE EXISTING SURFACE. WHERE NEW GYPSUM BOARD PARTITION IS SHOWN INTERSECTING A COLUMN ENCASEMENT THE CENTERLINE OF THE WALL SHALL BE CENTERED ON THE COLUMN ENCASEMENT.
- O. WHERE NEW OR INFILL PARTITION ABUTS EXISTING PARTITION, FACE OF PARTITIONS SHALL ALIGN, UNLESS NOTED OTHERWISE.
- P. PARTITIONS WITH EXISTING FRAMING MAY REQUIRE REWORK TO ACCOMMODATE NEW OPENINGS, ETC.
- Q. WHERE EXISTING FIRE-RESISTANCE RATED PARTITIONS ARE DAMAGED OR HAVE EXISTING OPENINGS, PARTITION TO BE PATCHED AND REPAIRED WITH MATERIALS MATCHING THE EXISTING ASSEMBLY TO MEET THE REQUIRED FIRE RESISTANCE RATING. CONTRACTOR TO REVIEW THE CONDITION OF ALL PARTITIONS IN THE FIELD.
- R. ALTERNATE PARTITION ASSEMBLIES THAT VARY FROM THE ASSEMBLIES PROVIDED IN THE PARTITION SCHEDULE TO BE SUBMITTED BY THE CONTRACTOR TO THE ARCHITECT FOR CONSIDERATION. ALTERNATE ASSEMBLIES MAY REQUIRE REVIEW BY THE LOCAL JURISDICTION. ANY REVIEW SHALL NOT CONSTITUTE A CLAIM FOR DELAY.
- S. WHERE FINISHES ARE SPECIFIED ON THE FINISH PLAN REMOVE ALL EXISTING FINISHES. PATCH AND REPAIR WALLS AND FLOOR TO ENSURE EVEN SURFACE. PREPARE THEM TO ACCEPT NEW SCHEDULED FINISH PER MANUFACTURER'S INSTRUCTIONS. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- T. PROVIDE NEW STRUCTURAL LINTELS AT ALL MASONRY WALLS WHERE PREVIOUS OPENING DOES NOT HAVE A LINTEL AND AT NEW OPENINGS. LINTEL SHALL EXTEND MINIMUM 8" EITHER SIDE OF OPENING, UNLESS NOTED OTHERWISE. SEE STRUCTURAL.
- U. WHERE EXISTING ACCESS PANELS CONFLICT WITH CONSTRUCTION, RELOCATE PANELS TO ALIGN WITH AND FIT WITHIN NEW CONSTRUCTION.
- V. PROVIDE TEMPORARY DUSTPROOF PARTITIONS AS REQUIRED TO PROTECT ALL EXISTING AREAS FROM DAMAGE.
- W. WHERE SLAB ON GRADE REMOVAL IS REQUIRED FOR UTILITY PLACEMENT REFER TO TYPICAL CONCRETE SLAB INFILL DETAIL ON SHEET A\_\_\_\_\_.

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