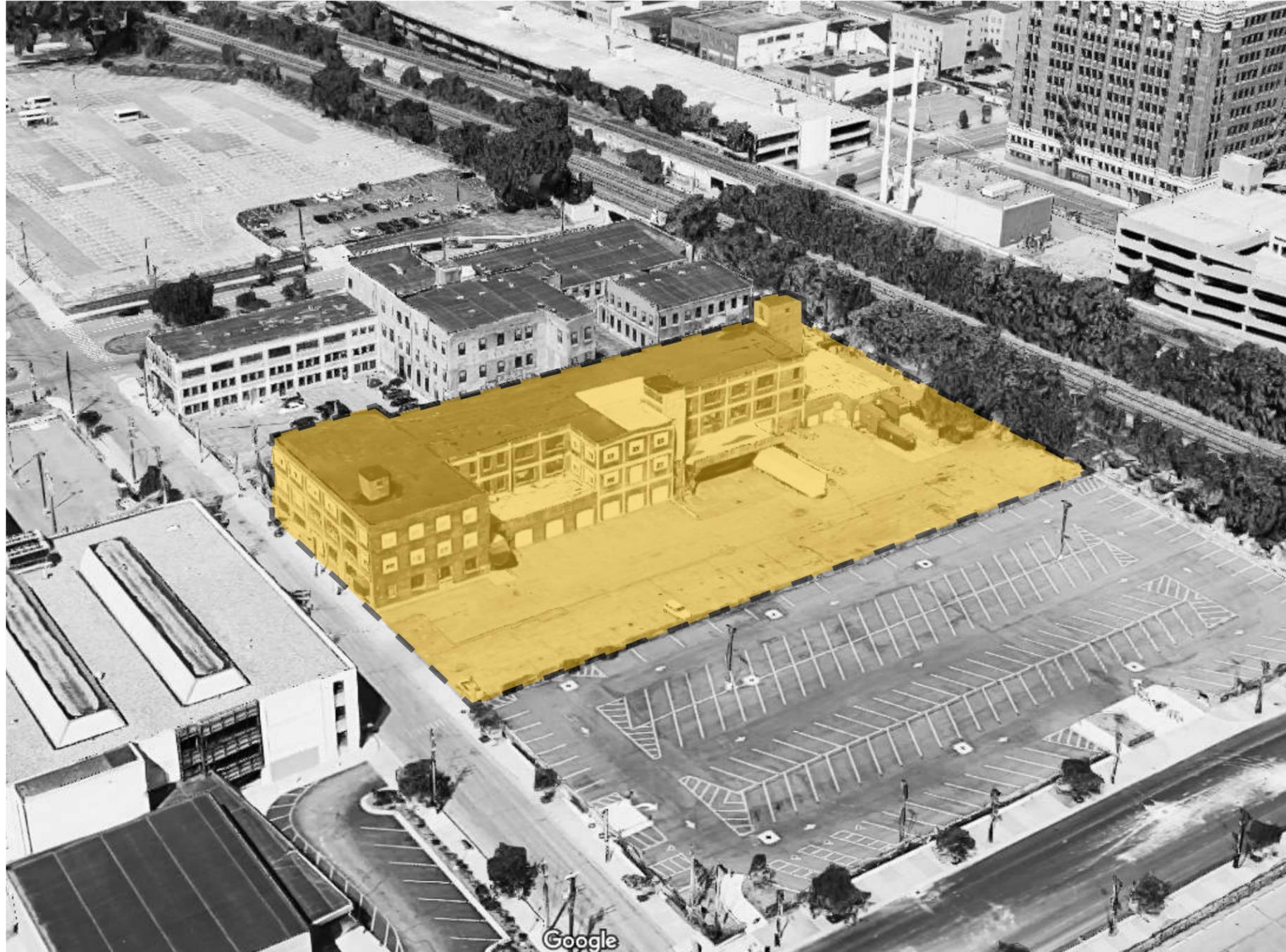


# 450 AMSTERDAM



## PROJECT NARRATIVE

450 Amsterdam is a proposed renovation of a former industrial building into 92 loft apartments. Most recently, the building was occupied by Westcott Paper Products, but was originally the Cadillac Motor Car Assembly plant. Designed by George Mason, this building was the first reinforced concrete automobile factory, as documented by Michael G. Smith in his 2019 article "The First Concrete Auto Factory: An Error in the Historical Record." The reinforced concrete floor and columns of the building are visible on the facade, and the spaces between are infilled with monolithic masonry and steel multi-paned awning windows. Some of the original window openings have been infilled and replaced with smaller windows or enlarged and replaced with garage doors.

The proposed scope to be reviewed by the Historic District Commission and staff in this presentation is the site design for the project and the windows on the Amsterdam facade (South). This project has previously been reviewed by HDC and received a conditional certificate of appropriateness. In this review site design was omitted to be reviewed later as the design work for this scope was still being completed.

The other component being presented today (South facade windows) was discussed at the previous meeting. Since that time new information has become available as a thorough structural analysis of existing building conditions was completed. In this presentation we propose maintaining the window existing window opening size on the facade. This is a different approach than the rest of the building because it has been discovered that these windows are detailed differently. The East, North, and West windows will have an increased opening size to remove the failing lentil detail at the window heads. All windows will maintaining existing opening width.



**LEGEND**

- SITE
- NEW AMSTERDAM HISTORIC DISTRICT
- BIKE ROUTE
- HIGH FREQUENCY CORRIDOR

PERIOD OF SIGNIFICANCE (1900)

1905

New Construction

Construction began after a fire destroyed the previous Cadillac plant. The building was completed in 67 days in order to restart production as soon as possible. The use of reinforced concrete by George D. Mason provided the building with open floor and window space, while protecting against fire and vibration. It is the second documented reinforced concrete industrial structure in Detroit.



1900

1910

1920

1930

END OF PERIOD OF SIGNIFICANCE (1940)

1954

Building Sold

The building was purchased by Louis Rose of Rose Realty Company to house his business.

1965

Building Sold

The building was purchased by Westcott Paper Products (a previous tenant) to house their headquarters until the turn of the twenty-first century.



1940

1950

1960

1970

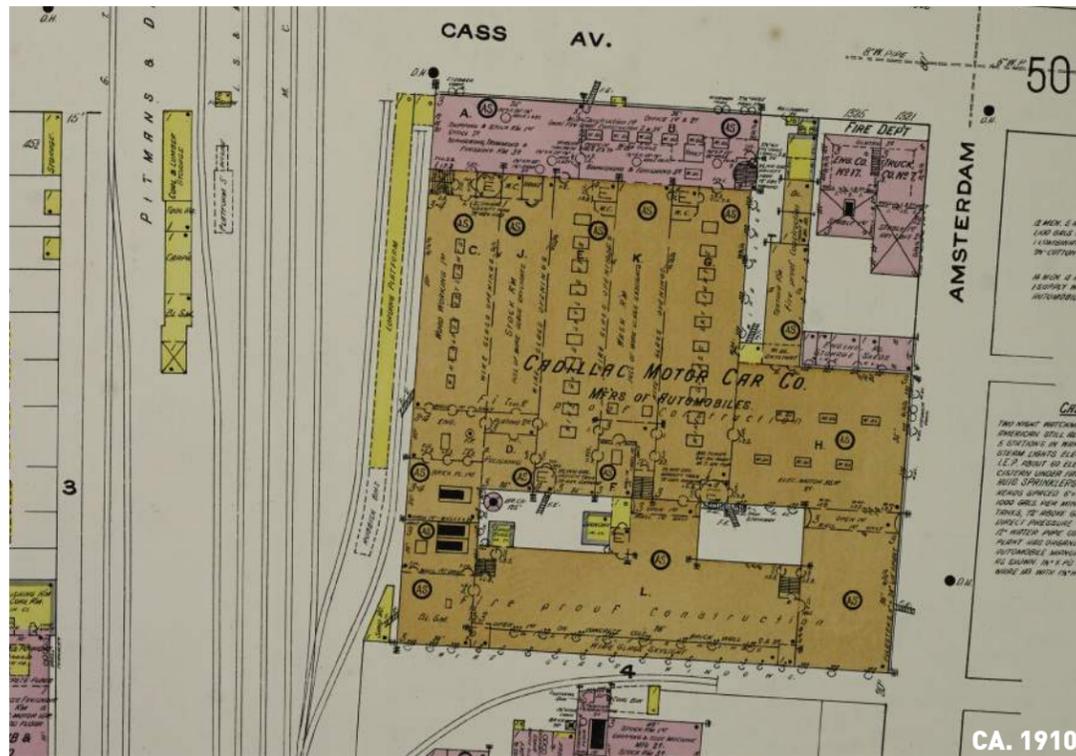
1980

1990

2000

2010

2020



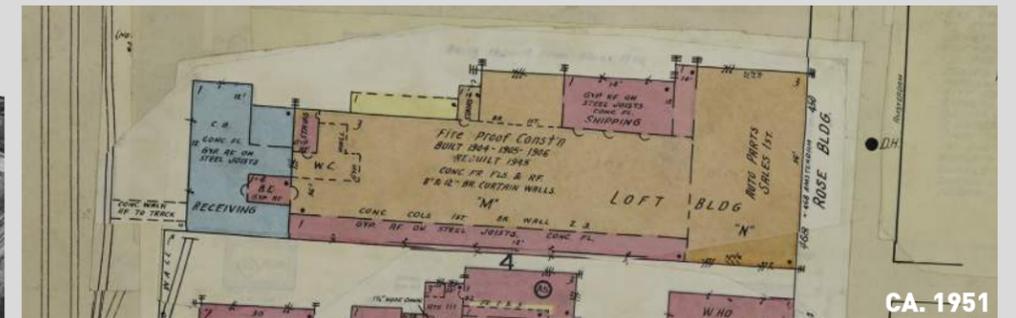
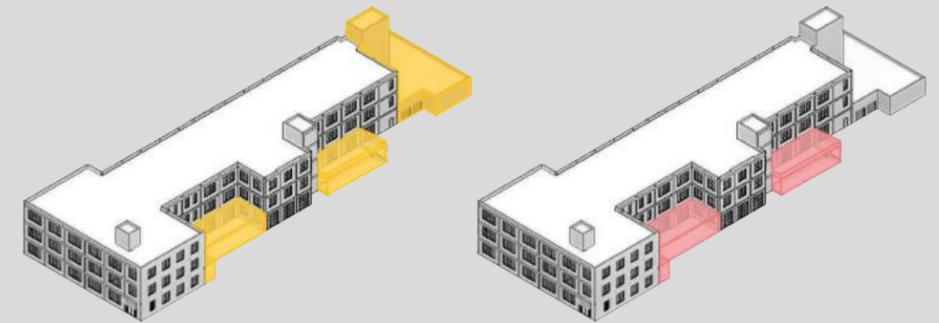
CA. 1910

1945

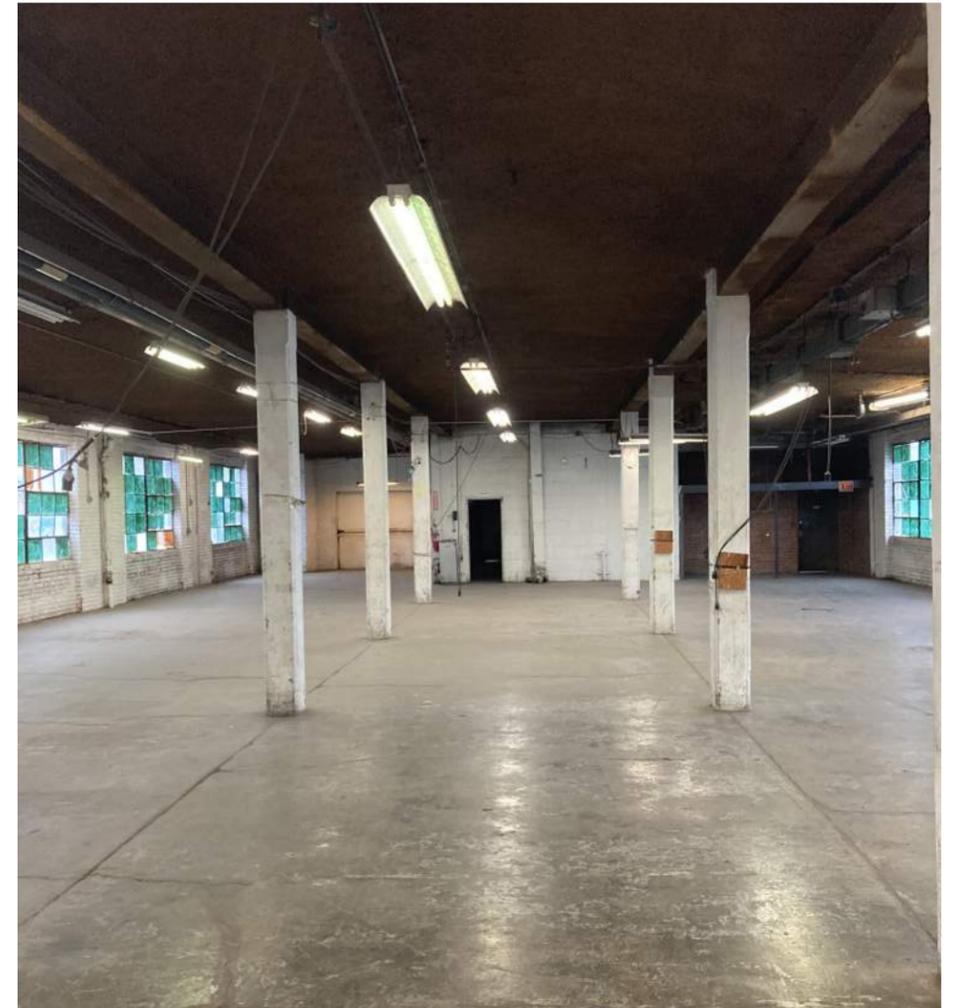
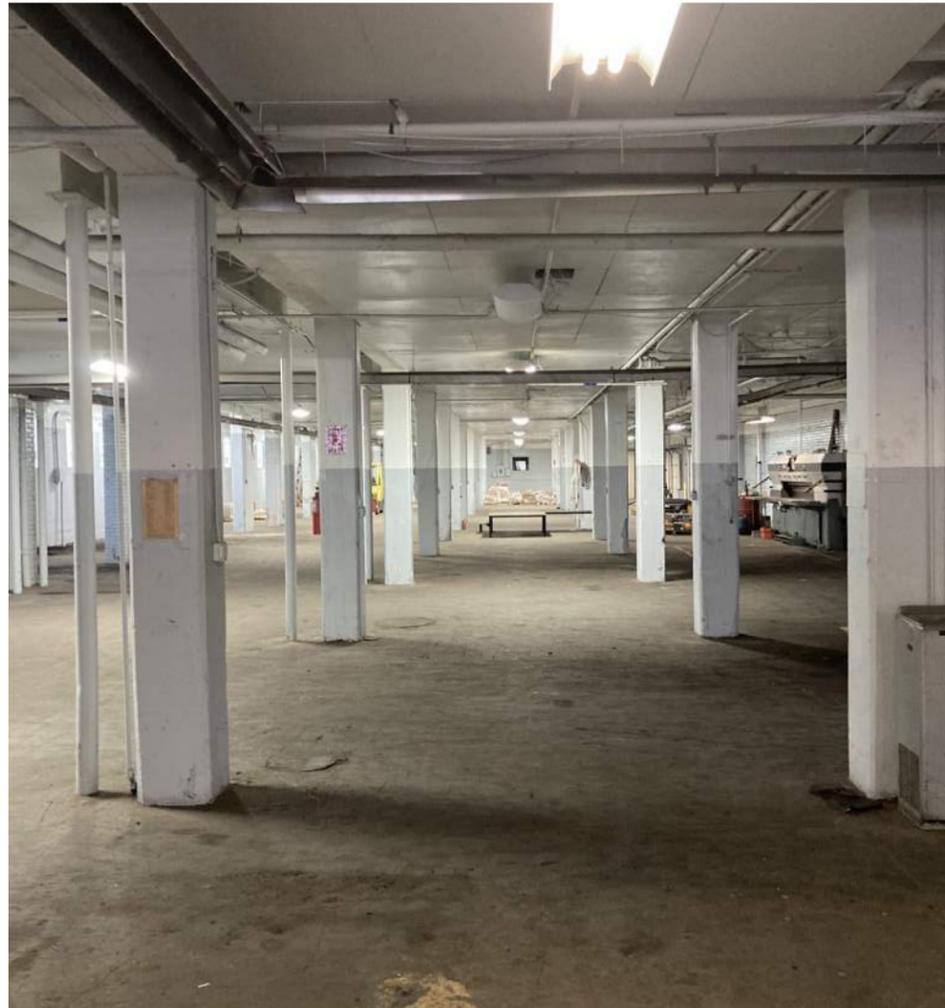
Additions

The Sanborn map to the left (1910) details the entire Cadillac production plant as it was originally constructed. An additional Sanborn map to the right (1951) indicates a significant portion of the factory was demolished in the mid-1940s. It also shows slight modifications to the structure after the period of significance. Much of the block was converted to surface level parking, which remains to this day.

The axonometric drawings to the right identify the alterations made to the building in the 1940s and our proposed demolition of two of these alterations.



CA. 1951





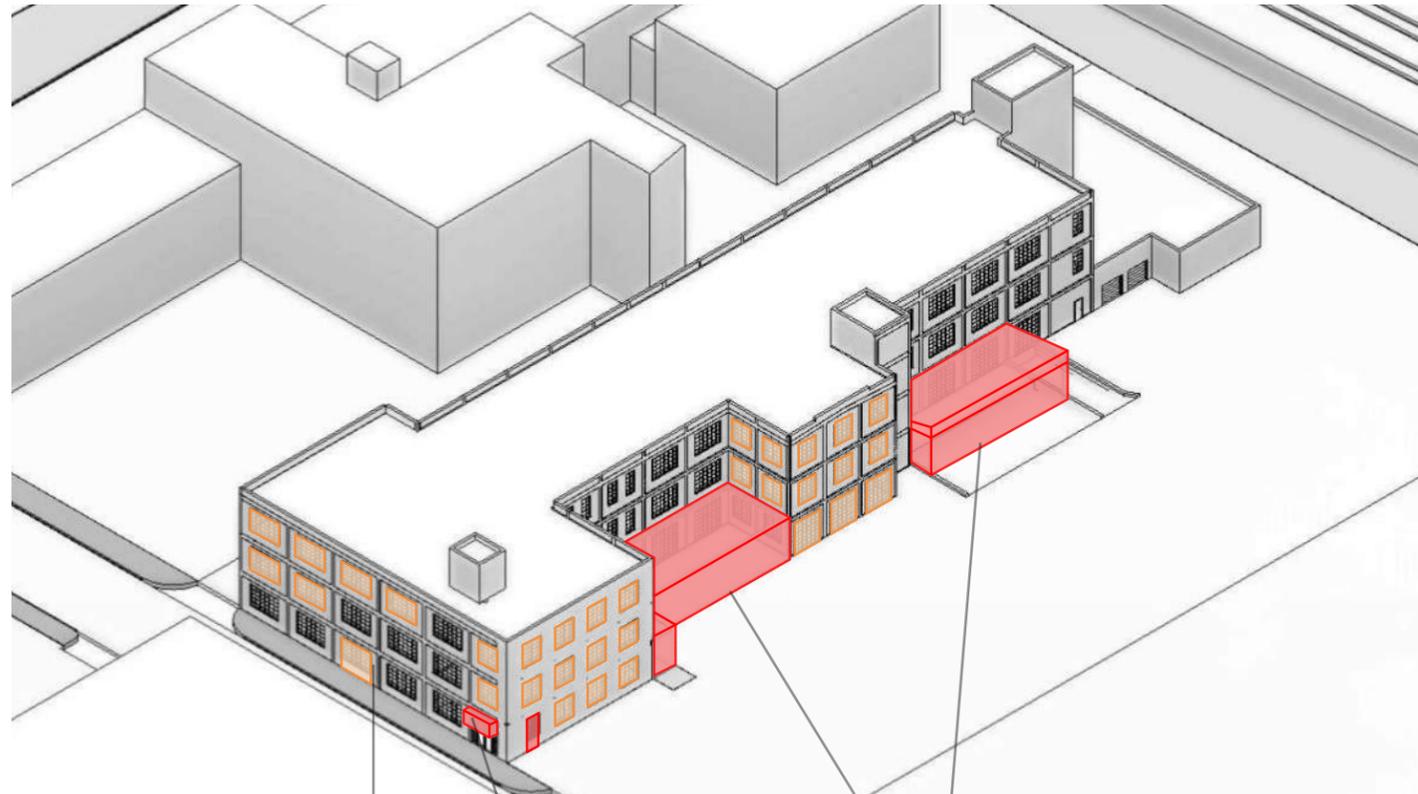
to

Removal of canopy has been previously approved by HDC

Ramps to be in-filled to level grade



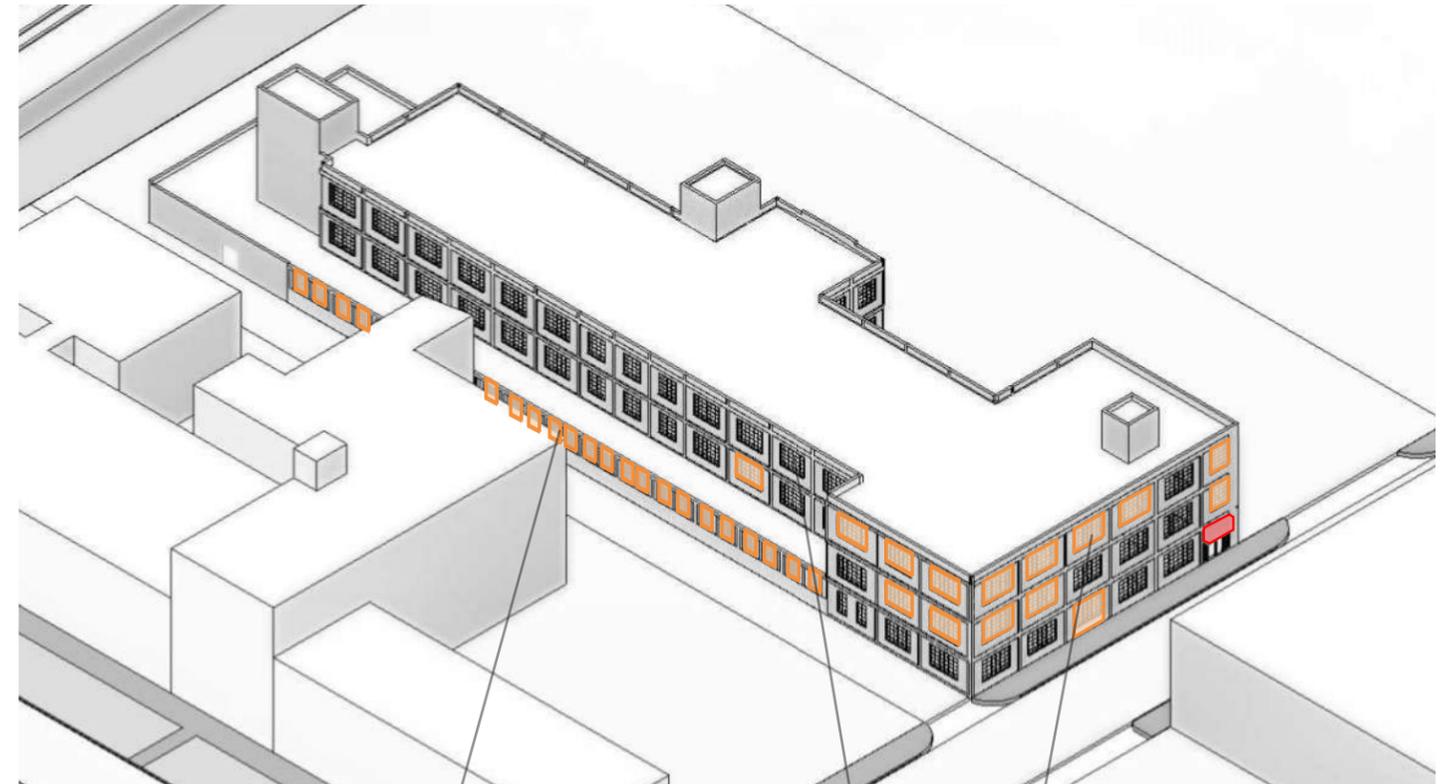
Ramps to be  
in-filled to level  
grade



ORIGINAL WINDOW  
OPENINGS TO BE  
RESTORED

AWNING TO BE REMOVED

LOADING DOCKS BUILT  
IN 1945 TO BE REMOVED



GLASS BLOCK TO BE  
REMOVED. REPLACED WITH  
REPLICATED WINDOW

REPLICATE WINDOWS IN  
EXISTING OPENINGS

ORIGINAL WINDOW  
OPENINGS TO BE  
RESTORED

PROJECT: 450 AMSTERDAM  
 DATE: 10/27/21  
 CLIENT: GREATWATER

**ZONING DISTRICT:** B-4 GENERAL BUSINESS DISTRICT  
**OVERLAY/HISTORIC DISTRICTS:** NEW AMSTERDAM HISTORIC DISTRICT

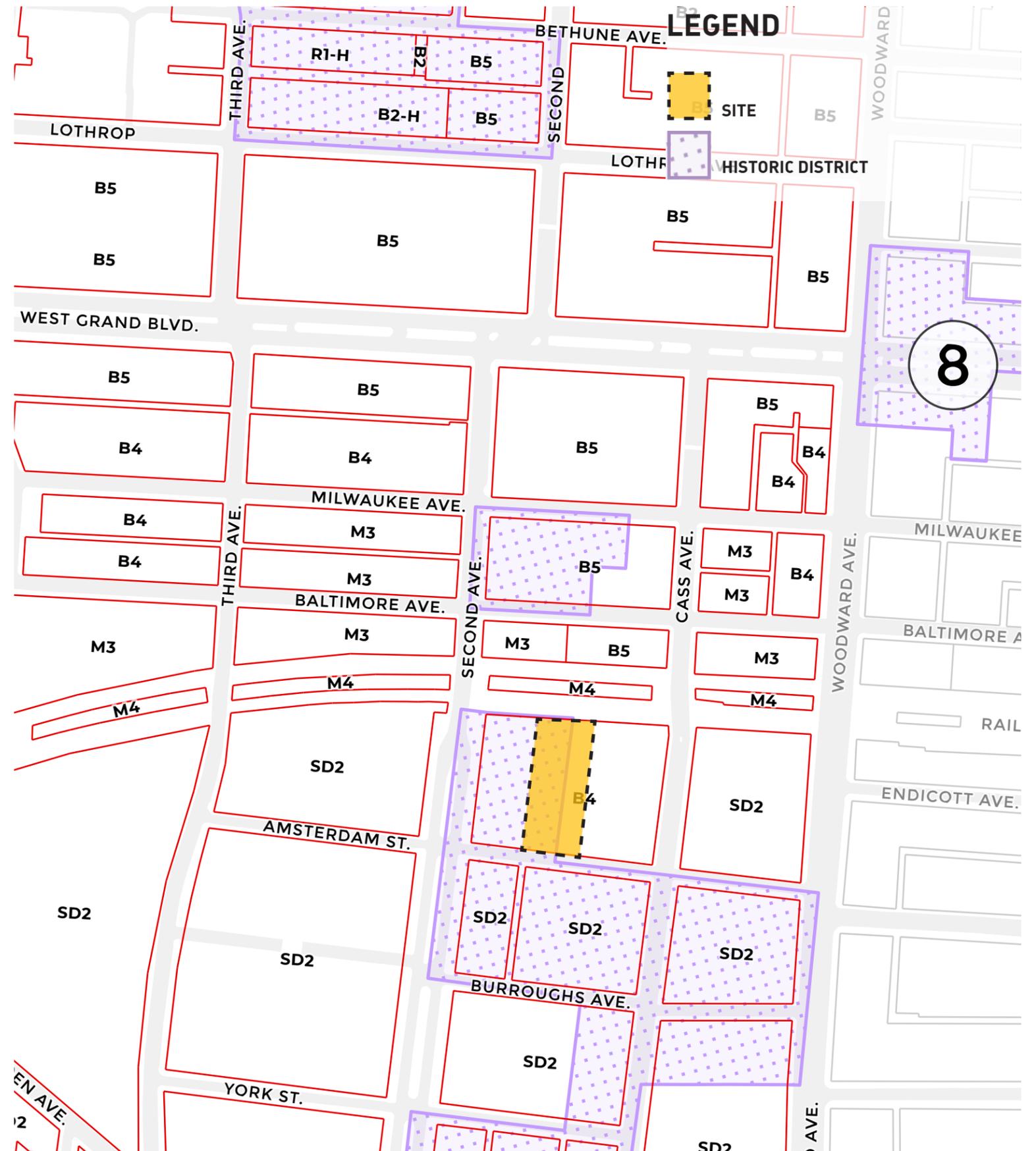
**USES:**

<b>BY-RIGHT:</b>	Lofts or Multiple-family dwellings where located in the CBD or Traditional Main Street Overlay District
<b>CONDITIONAL:</b>	Loft, outside the CBD Multiple-family dwelling Residential use combined in structures with permitted commercial uses

<b>SETBACKS</b>	FRONT	SIDE	REAR	<b>PARKING</b>
	None	None	30	

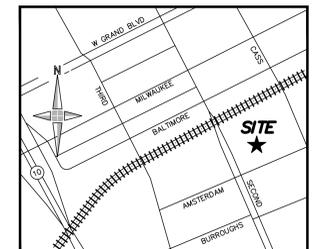
**HEIGHT**  
 35'-0" for new buildings

**ENTITLEMENT PROCESS:**  
 Conditional use approval followed by Site Plan Review for change in use. Historic District Commission approval req'd.

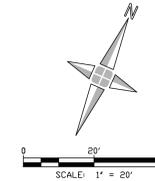




Know what's below.  
Call before you dig.

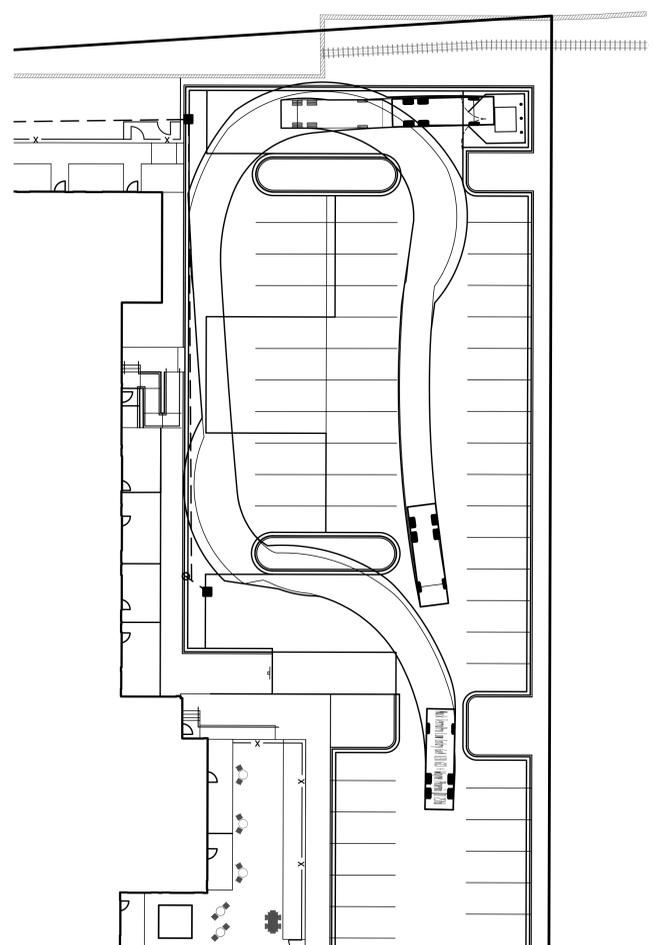


**LOCATION MAP**  
(NOT TO SCALE)

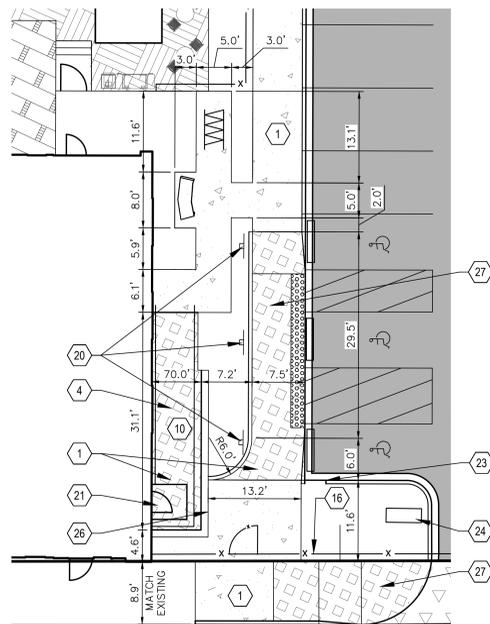


MICHIGAN CENTRAL RAILROAD

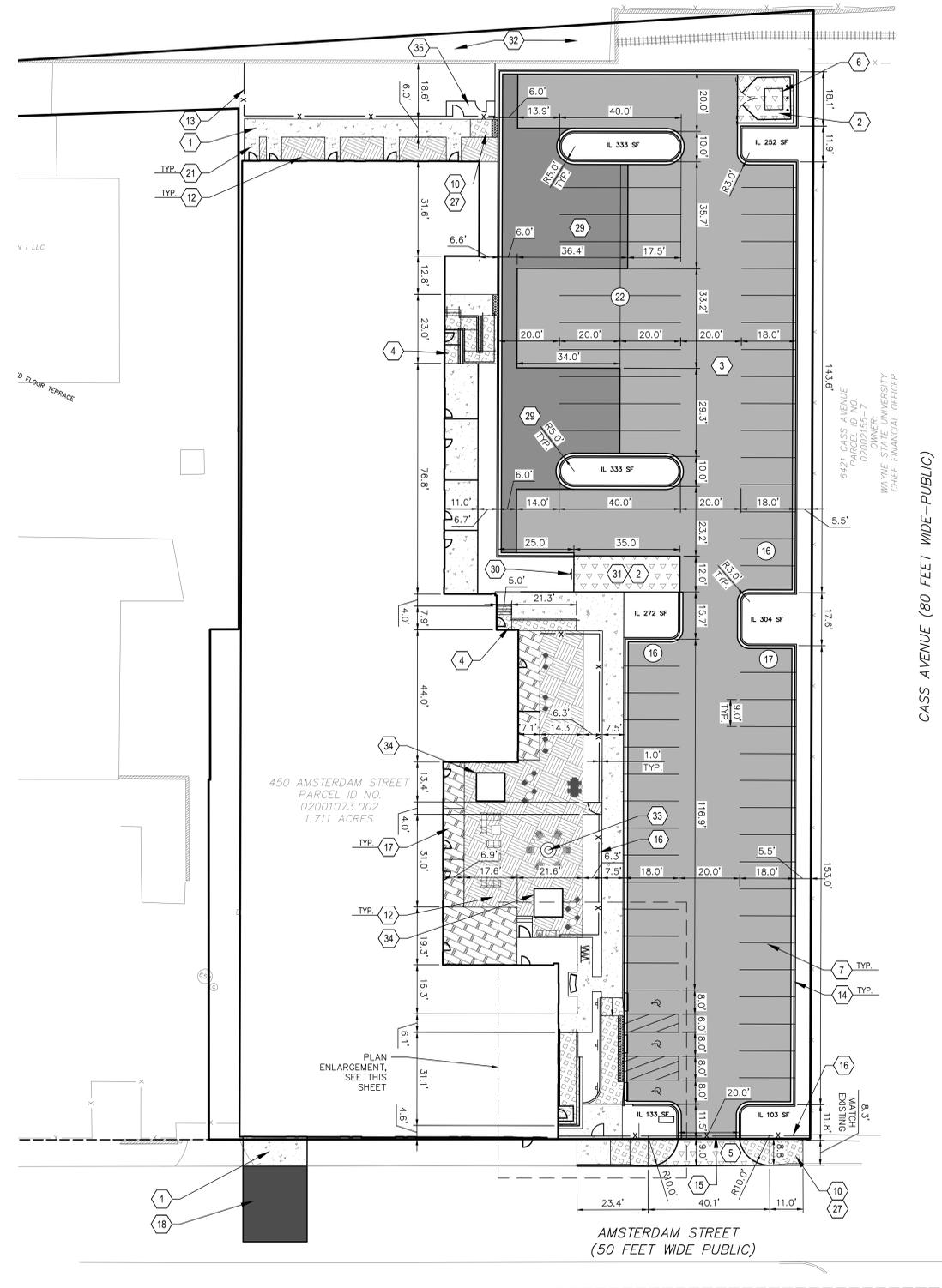
MICHIGAN CENTRAL RAILROAD



**DUMPSTER TRUCK MANEUVERING**



**ENLARGEMENT**  
SCALE: 1"=10'



**PAVING PLAN - LEGEND**

- 4" CONCRETE PAVEMENT
- 8" CONCRETE PAVEMENT
- SPECIALTY PAVEMENT: REFER TO LANDSCAPE PLAN FOR DETAILS
- EXISTING PAVEMENT 2-4" OVERLAY
- FULL DEPTH STANDARD ASPHALT PAVEMENT
- 6" CONCRETE PAVEMENT
- SPECIALTY PAVEMENT: REFER TO LANDSCAPE PLAN FOR DETAILS
- DECOMPOSED GRANITE

PAVING COUNT

**GEOMETRIC AND PAVING PLAN - KEY NOTES**

- 1 4" CONCRETE SIDEWALK PAVEMENT. SEE DETAIL ON SHEET C-810.
- 2 8" CONCRETE PAVEMENT. SEE DETAIL ON SHEET C-810.
- 3 OVERLAY MILLED PARKING LOT WITH STANDARD DUTY ASPHALT PAVEMENT (2-4"). SEE DETAIL ON SHEET C-810.
- 4 ADA RAMP. SEE DETAILS ON SHEET C-820
- 5 8" CONCRETE APPROACH PER CITY OF DETROIT STANDARDS. SEE DETAIL SHEET C-820
- 6 DUMPSTER ENCLOSURE. SEE DETAIL ON SHEET C-810
- 7 PAVEMENT STRIPING. SEE DETAIL SHEET C-810
- 8 NOT USED
- 9 NOT USED
- 10 6" CONCRETE RAMP PER CITY OF DETROIT DETAILS. SEE DETAIL SHEET C-820
- 11 STAMPED 8" CONCRETE. SEE LANDSCAPE ARCHITECTURE PLAN FOR DETAILS.
- 12 DECOMPOSED GRANITE. SEE ARCHITECTURE PLANS FOR DETAILS.
- 13 FENCING FOR DOG AREA. SEE LANDSCAPE PLANS FOR DETAILS.
- 14 6" CONCRETE CURB & GUTTER. SEE DETAIL SHEET C-810.
- 15 SLIDING GATE. SEE LANDSCAPE ARCHITECTURE PLAN FOR DETAILS.
- 16 6 HT FENCE. SEE LANDSCAPE ARCHITECTURE PLAN FOR DETAILS.
- 17 SPECIALTY PAVEMENT. REFER TO LANDSCAPE PLAN FOR DETAILS. REMOVE AND REPLACE IN-KIND EXISTING PAVEMENT IN COORDINATION WITH UTILITY INSTALLATION. SEE DETAIL ON SHEET C-820
- 19 NOT USED
- 20 PROPOSED DIRECT-BURY SIGNAGE FOR HANDICAP ACCESSIBLE PARKING. SEE DETAIL ON SHEET C-810
- 21 PROPOSED FROST SLAB. SEE STRUCTURAL PLANS FOR DETAILS
- 22 PROPOSED PARKING BLOCKS. SEE DETAIL ON SHEET C-810
- 23 3" WIDE CURB DROP FOR DRAINAGE TO EXISTING CATCH BASIN. PROVIDE AND INSTALL RFID GATE CONTROLLER. COORDINATE WITH OWNER
- 24
- 25 NOT USED
- 26 PROPOSED SEPARATION WALL BY STRUCTURAL ENGINEER AND ARCHITECTURE
- 27 MDOT ADA RAMP. SEE DETAILS ON SHEET C-820
- 28 NOT USED
- 29 PROVIDE AND INSTALL FULL DEPTH ASPHALT PAVEMENT. SEE DETAIL SHEET C-810
- 30 PROVIDE AND PLACE MOBILE CONCRETE BASE "LOADING ZONE" SIGN. SEE DETAIL SHEET C-810
- 31 PROVIDED 12X3' LOADING ZONE, PER SECTION 50-14-112 OF CITY OF DETROIT ZONING CODE
- 32 TRIM BACK EXISTING OVERGROWTH
- 33 FIRE PIT. SEE ARCHITECTURE PLANS FOR DETAILS.
- 34 PERGOLA WITH FOUNDATION. SEE ARCHITECTURE PLANS FOR DETAILS.
- 35 SALLY PORT FOR DOG AREA.

**INTERIOR LANDSCAPE REQUIREMENT**

REQUIRED = 225SF\*PARKING SPACES PROVIDED  
REQUIRED = 225SF\*69=15,118 SF  
PROVIDED = 1,761 SF > 15,118 SF, THEREFORE OK

**PARKING REQUIREMENTS**

ZONING - SD2

PER SECTION 50-14-34 MULTIPLE FAMILY DWELLING WHERE LOCATED WITHIN 0.50 MILES OF A HIGH FREQUENCY TRANSIT CORRIDOR

- MULTI-FAMILY = 0.75 PARKING SPACES/UNIT

92 UNITS = 69 SPACES REQUIRED

- 71 SPACES PROVIDED, THEREFORE OK

- ADA SPACES PROVIDED = 3 ADA SPACES, 1 VAN(8' LOADING ZONE) 2 STD(5' LOADING ZONE)

- ADA SPACES PROVIDED = 3 ADA SPACES, 1 VAN(8' LOADING ZONE) 2 STD(5' LOADING ZONE), THEREFORE OK

LOADING ZONE

PER SECTION 50-14-112

- BASEMENT = 22,000 SF

- 1ST FLOOR = 25,600 SF

- 2ND FLOOR = 22,000 SF

- 3RD FLOOR = 22,000 SF

TOTAL\_GSF = 91,600 SF < 100,000; 1 12' X 35' LOADING REQUIRED, THEREFORE OK

V:\2023\2023\_002\_450\_Amsterdam\_Design\Design\CAD\Work\Sheet\C-500\_Geometric & Paving Plan.dwg

DATE:	ISSUE:
2022-09-29	SD REVIEW
2022-10-06	SD REVIEW - UPDATED LANDSCAPE ARCHITECTURE
2023-03-03	REVISED SITE LAYOUT

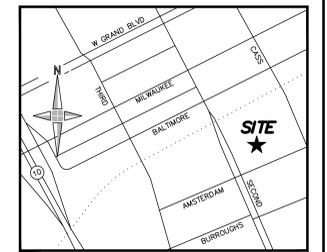
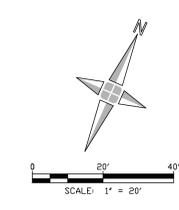
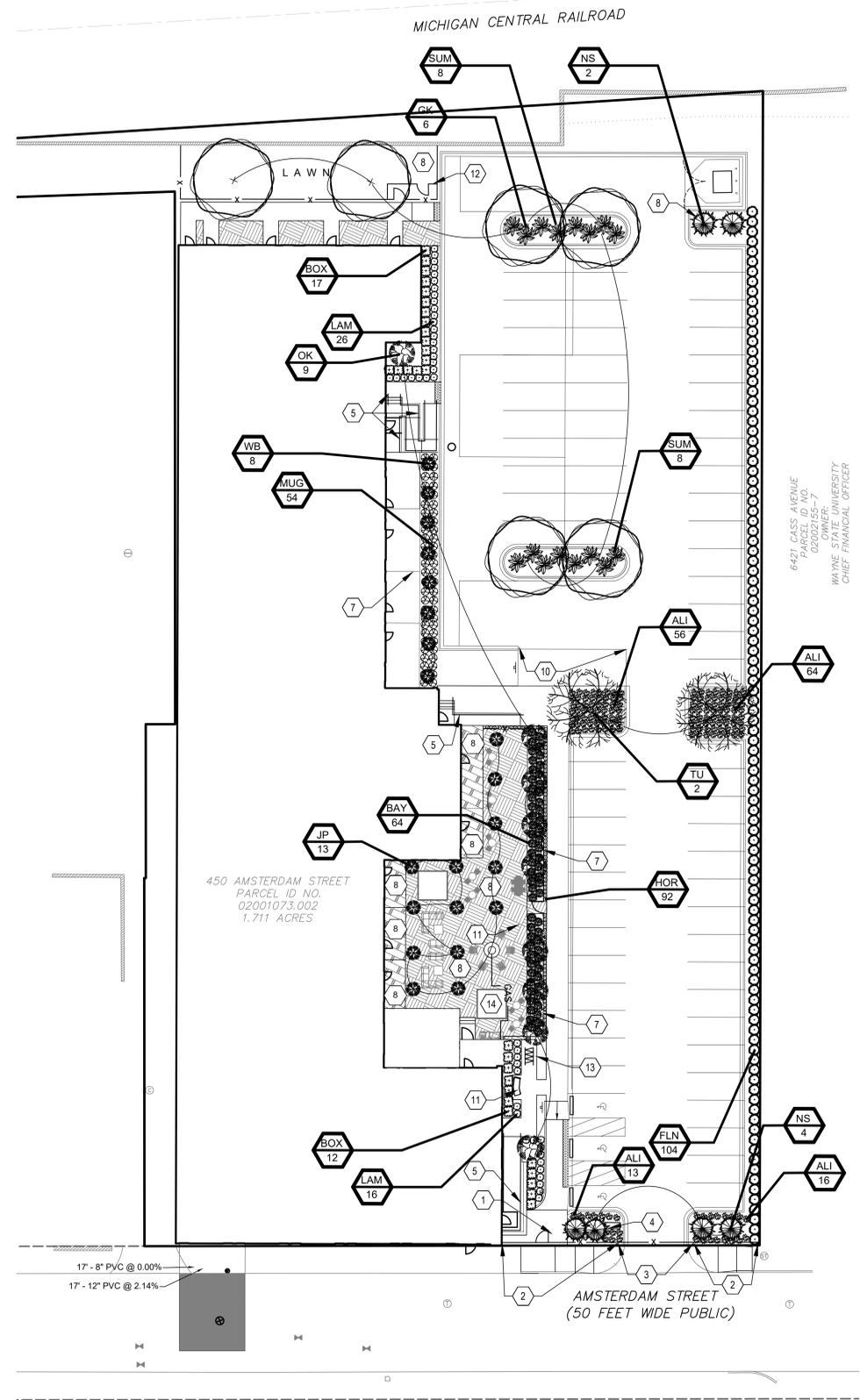
Developed For:  
**Greatwater Opportunity Capital, LLC**  
205 E. 42nd Street, 20th Floor, New York, NY 10017

**GEOMETRIC & PAVING PLAN**

450 AMSTERDAM STREET

CITY OF DETROIT  
WAYNE COUNTY  
MICHIGAN

Date: 09.21.2022  
Scale: 1" = 20'  
Sheet: C-500  
Project: 20320\_00D



**LOCATION MAP**  
( NOT TO SCALE )

**KEY NOTES**

- 1 PROVIDE AND INSTALL 6' TALL MONTAGE PEDESTRIAN GATE. SEE DETAIL L-500
- 2 PROVIDE AND INSTALL 6' TALL MONTAGE COMMERCIAL FENCING. SEE DETAIL L-500
- 3 PROVIDE AND INSTALL 6' TALL - 24' LONG SLIDING MONTAGE COMMERCIAL GATE. SEE DETAIL L-500
- 4 GATE CONTROLLER AND OPENER BY ELECTRICAL CONSULTANT
- 5 1/2" STAINLESS STEEL HANDRAIL ON POST MOUNT. EPOXY GROUT, TYP.
- 6 PROVIDE AND PLACE 18" SQUARE PLANTERS WITH PERENNIALS SEE DETAIL L-500
- 7 PROVIDE AND INSTALL 6" DECORATIVE STEEL OPAQUE FENCING. SEE DETAIL L-500
- 8 DECOMPOSED GRANITE
- 10 PROVIDE AND INSTALL STAMPED 8" CONCRETE. SEE DETAIL L-500 FOR PATTERN. SEE C-810 FOR DETAIL SECTION
- 11 PROVIDE AND INSTALL FIRE PIT. SEE DETAIL L-500
- 12 PROVIDE AND INSTALL PET WASTE STATION SEE DETAIL L-500
- 13 PROVIDE AND INSTALL BIKE RACK. SEE DETAIL L-500
- 14 PROVIDE AND INSTALL PAGODA, BY OTHERS

**PLANT LIST:** XXX  
X

**PERENNIALS:**

NO.	COMMON NAME	BOTANICAL NAME	SIZE	SYMBOL
92	HORSE TAIL GRASS	EQUISETUM HYEMALE	1 GAL. POT	HOR
149	MILLENNIUM ALLIUM	ALLIUM 'MILLENNIUM'	1 GAL. POT	ALI
42	ORCHID FROST LAMIAM	LAMIUM MACULATUM ORCHID FROST PP#F1122	1 GAL. POT	LAM

**SHRUBS:**

NO.	COMMON NAME	BOTANICAL NAME	SIZE	SYMBOL
104	FINE LINE	RHAMNUS FRANGULA	5-6' HT. B&B	FLN
29	LITTLE GEM NORWAY SPRUCE	PICEA ABIES 'LITTLE GEM'	30" DIA. B&B	BOX
64	NORTHERN BAYBERRY	MYRICA PENNSYLVANICA	3 GAL. POT	BAY
54	SLOWMOUND MUGO PINE	PINUS MUGO 'SLOWMOUND'	2 GAL. POT	MUG

**TREES:**

NO.	COMMON NAME	BOTANICAL NAME	SIZE	SYMBOL
6	CUPRESSINA NORWAY SPRUCE	PICEA ABIES CUPRESSINA	8' HT. B&B	NS
4	SLENDER SILHOUETTE SWEETGUM	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'	3" CAL. B&B	SW
9	CRIMSON SPIRE OAK	QUERCUS X CRIMSCHMIDT PP#9103	3" CAL. B&B	OK
6	AUTUMN GOLD GINKGO	GINKGO BILBOA AUTUMN	3" CAL. B&B	GK
8	PARKLAND PILLAR BIRCH	BETULA PLATYPHYLLA 'JEFPARK' PP25468	3" CAL. B&B	WB
2	ARNOLD TULIP TREE	LIRIODENDRON TULIPIFERA 'ARNOLD'	3" CAL. B&B	TU
13	FIREGLOW JAPANESE MAPLE	ACER PALMATUM FIREGLOW	3" CAL. B&B	JP

**giffels webster**  
Engineers  
Surveyors  
Planners  
Landscape Architects  
28 West Adams Road  
Suite 1200  
Detroit, MI 48226  
p (313) 962-4442  
f (313) 962-5068  
www.giffelswebster.com

Executive:	Partner
Manager:	DR
Designer:	FG
Quality Control:	Reviewer
Section:	Section
	T-XX-S R-XX-X

Professional Seal:



DATE:	ISSUE:
2022-09-29	SD REVIEW
2022-10-06	SD REVIEW - UPDATED LANDSCAPE ARCHITECTURE
2023-03-03	REVISED SITE LAYOUT

Developed For:  
**Greatwater Opportunity Capital, LLC**  
205 E. 42nd Street, 20th Floor, New York, NY 10017

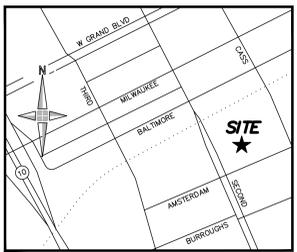
**LANDSCAPE PLAN**

450 AMSTERDAM STREET

CITY OF DETROIT  
WAYNE COUNTY  
MICHIGAN

Date:	09.21.2022
Scale:	L-100
Sheet:	L-100
Project:	20320.000

Copyright © 2022 Giffels Webster. No reproduction or use without the prior written consent of Giffels Webster.



Executive:	Partner
Manager:	DR
Designer:	FG
Quality Control:	Reviewer
Section:	Section
	T-XX-S-R-XX-X

Professional Seal:



DATE:	ISSUE:
2022-09-29	SD REVIEW
2022-10-06	SD REVIEW - UPDATED LANDSCAPE ARCHITECTURE
2023-03-03	REVISED SITE LAYOUT

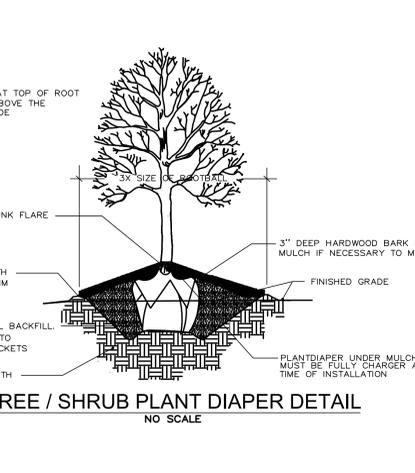
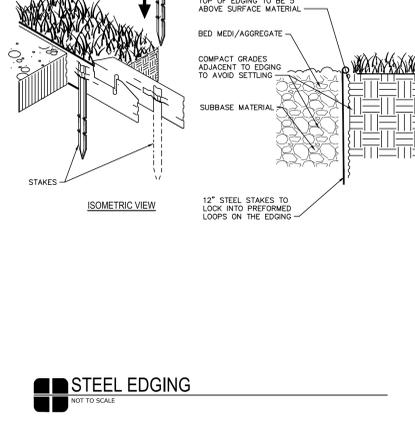
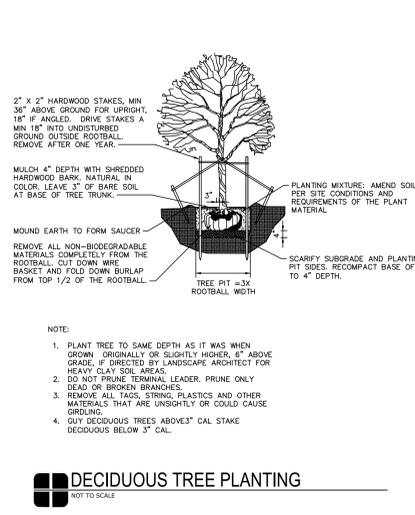
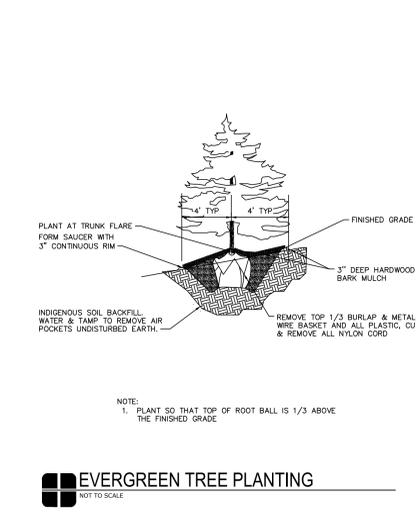
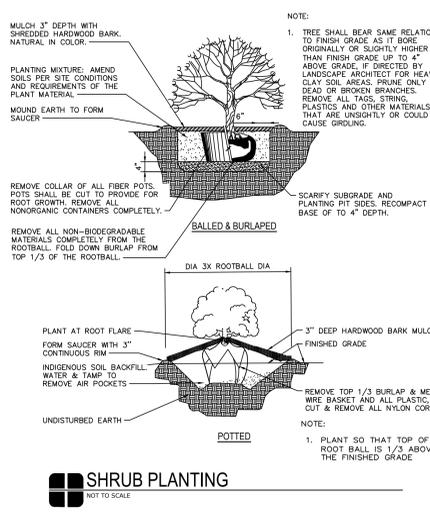
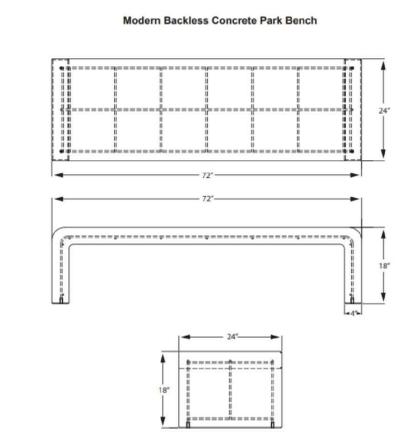
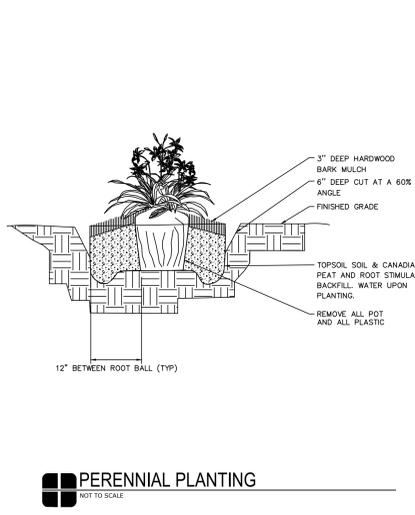
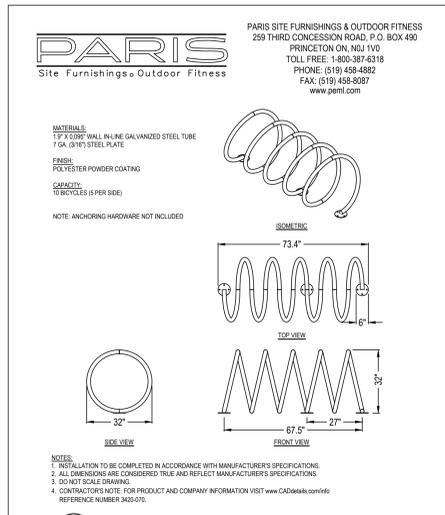
Developed For:  
**Greatwater Opportunity Capital, LLC**  
 205 E. 42nd Street, 20th Floor, New York, NY 10017

**LANDSCAPE DETAILS**

450 AMSTERDAM STREET

CITY OF DETROIT  
 WAYNE COUNTY  
 MICHIGAN

Date:	09.21.2022
Scale:	
Sheet:	L-500
Project:	20320.00D

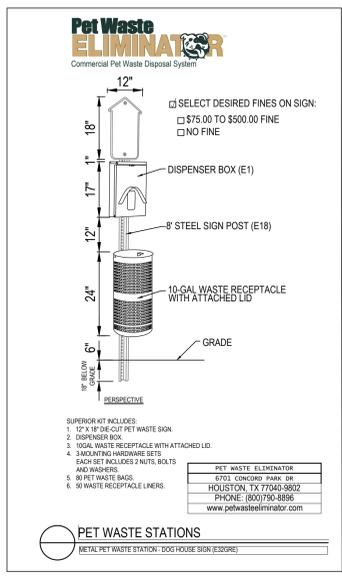


**PLANT NOTES:**

- PLANT MATERIALS SHALL BE SOUND, HEALTHY, VIGOROUS, FREE FROM PLANT DISEASES AND INSECTS OR THEIR EGGS, AND SHALL HAVE NORMAL, HEALTHY ROOT SYSTEMS. CALIPER MEASUREMENTS SHALL BE TAKEN 6" ABOVE THE GROUND LEVEL. ALL OTHER MEASUREMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z-60.1 + A3002004).
- PLANTING BED SOIL FOR ANNUALS SHALL BE SCREENED, TOPSOIL, TO DETER WEED GROWTH DURING THE ESTABLISHMENT OF ANNUAL & PERENNIAL BEDS. APPLY A PRE-EMERGENT (PREEM) OR EQUAL AFTER PLANTING ANNUALS, 2-3 TIMES PER GROWING SEASON, AT A RATE AS PER RECOMMENDATION OF PRODUCT MANUFACTURER.
- PLANTING POCKETS SHALL BE NO DEEPER THAN THE HEIGHT OF THE ROOT BALL, SAUCER SHALL BE MADE ON THE EDGES OF PLANTING POCKET.
- ALL TREE WRAP SHALL BE REMOVED UPON PLANTING.
- MULCH SHALL BE SHREDDED HARDWOOD BARK, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF PLANTING BEDS AND INDIVIDUAL TREE PLANTINGS.
- TREES SHALL BE MULCHED WITH MIN. 3" DEEP HARDWOOD BARK MULCH AROUND PLANTS.
- GRASS SEED SHALL BE CERTIFIED TURF GRASS SEED COMPLYING WITH A.S.P.A. SPECIFICATIONS, AND FREE OF WEED SEEDS AND UNSUITABLE NATIVE GRASSES. SEEDING AREAS SHALL NOT BE PERMITTED TO DRY OUT. ALL LAWN AREAS SHALL BE FERTILIZED AND WATERED AS REQUIRED DURING THE FIRST GROWING SEASON TO MAINTAIN A DENSE AND VIGOROUS GROWING LAWN.
- PLANTS SHALL BE GUARANTEED FOR TWO COMPLETE GROWING SEASON (24 MONTHS). DEAD MATERIALS SHALL BE REPLACED AS NEEDED PRIOR TO THE EXPIRATION OF THE GUARANTEE PERIOD, IN ACCORDANCE WITH THE LOCAL ORDINANCE REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE IN WRITING A LIST OF RECOMMENDED MAINTENANCE PROCEDURES FOR THE FIRST TWO GROWING SEASON.
- REMOVE TOP 1/3 OF BURLAP ON ROOT BALL OR ALL IF WRAPPED IN PLASTIC COVERING AND/OR ALL NYLON CORD.
- PLANT MATERIALS SHALL BE USED IN COMPLIANCE WITH THE PROVISIONS OF THE LOCAL ORDINANCE AND SHALL BE NURSERY GROWN, FREE OF PESTS AND DISEASES, HARDY IN THIS COUNTY, IN CONFORMANCE WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN, AND SHALL HAVE PASSED INSPECTIONS REQUIRED UNDER STATE REGULATIONS. IN ADDITION, PLANT MATERIALS SHALL CONFORM TO THE STANDARDS OF COUNTY COOPERATIVE EXTENSION SERVICE.

**GENERAL NOTES:**

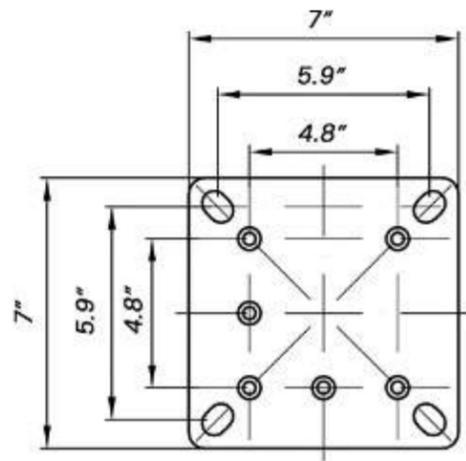
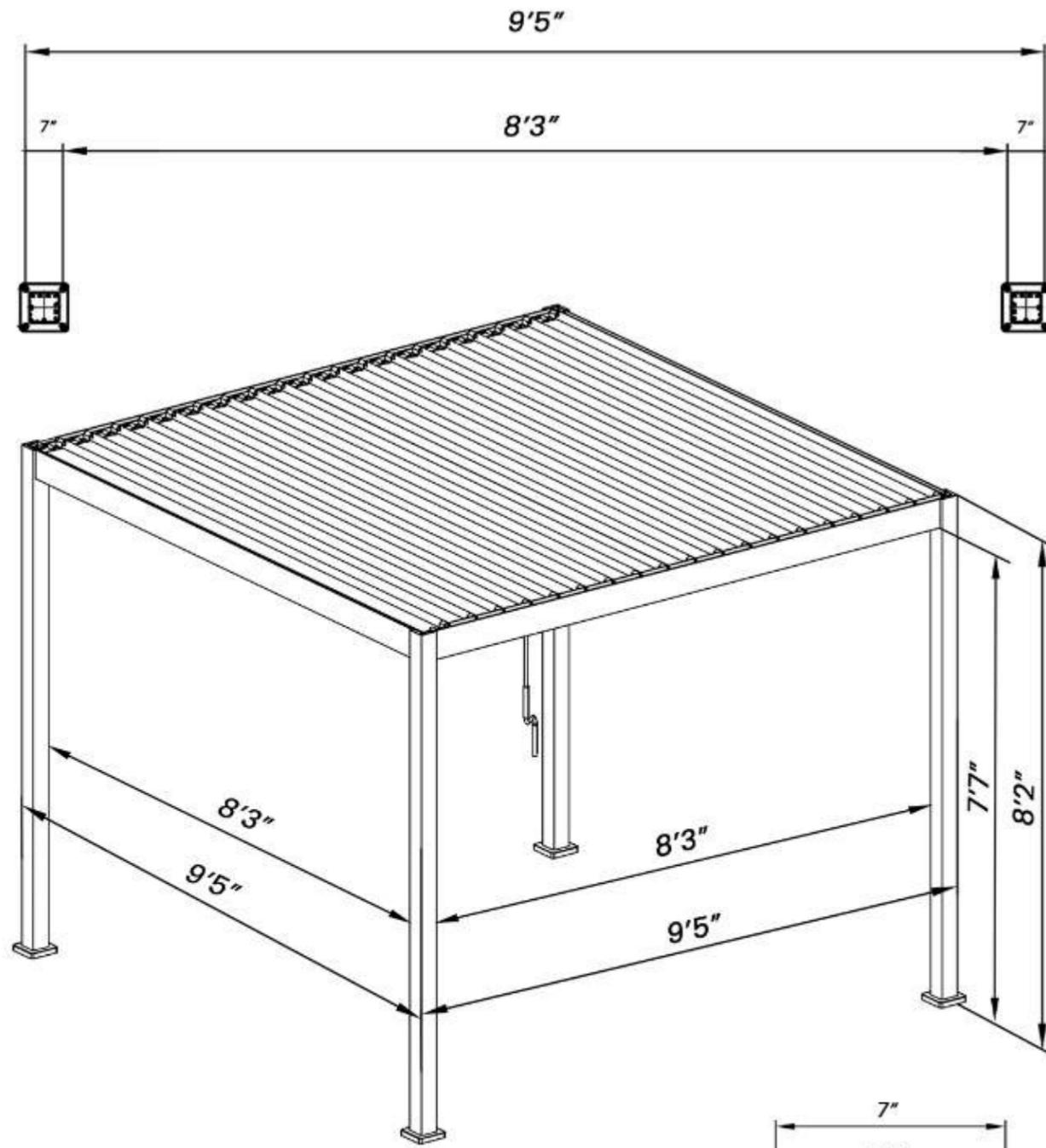
- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF LOCAL ORDINANCES.
- ALL AREAS NOT BUILT, LANDSCAPED, OR PAVED UPON SHALL BE SEED OR SODED. TERRA SEED SYSTEM OR APPROVED EQUIVALENT IS ENCOURAGED.
- TWO YEAR GUARANTEE PERIOD BEGINS AT FINAL INSPECTION OF LANDSCAPE MATERIAL BY THE TOWNSHIP'S REPRESENTATIVE A LANDSCAPE ARCHITECT OR NURSERYMAN.
- BUILDING DEPARTMENT WILL NOT RELEASE CONSTRUCTION BONDS UNTIL TOWNSHIP APPROVED LANDSCAPE ARCHITECT OR NURSERYMAN HAS INSPECTED THE SITE AND APPROVED THE INSTALLATION OF LANDSCAPE PLANS. FINAL BOND WILL NOT BE RELEASED UNTIL THE TWO YEAR GUARANTEE EXPIRES AND FINAL INSPECTION IS MADE.
- OWNER IS THEN RESPONSIBLE FOR CARE AND MAINTAINANCE OF ALL PLANTS UPON RETURN OF BONDS. ALL PLANT MATERIAL IS TO BE MAINTAINED FOR THE NATURAL LIFE OF THE PLANT. NO REMOVAL OF ANY PLANT MATERIAL IS PERMITTED WITHOUT REPLACEMENT.

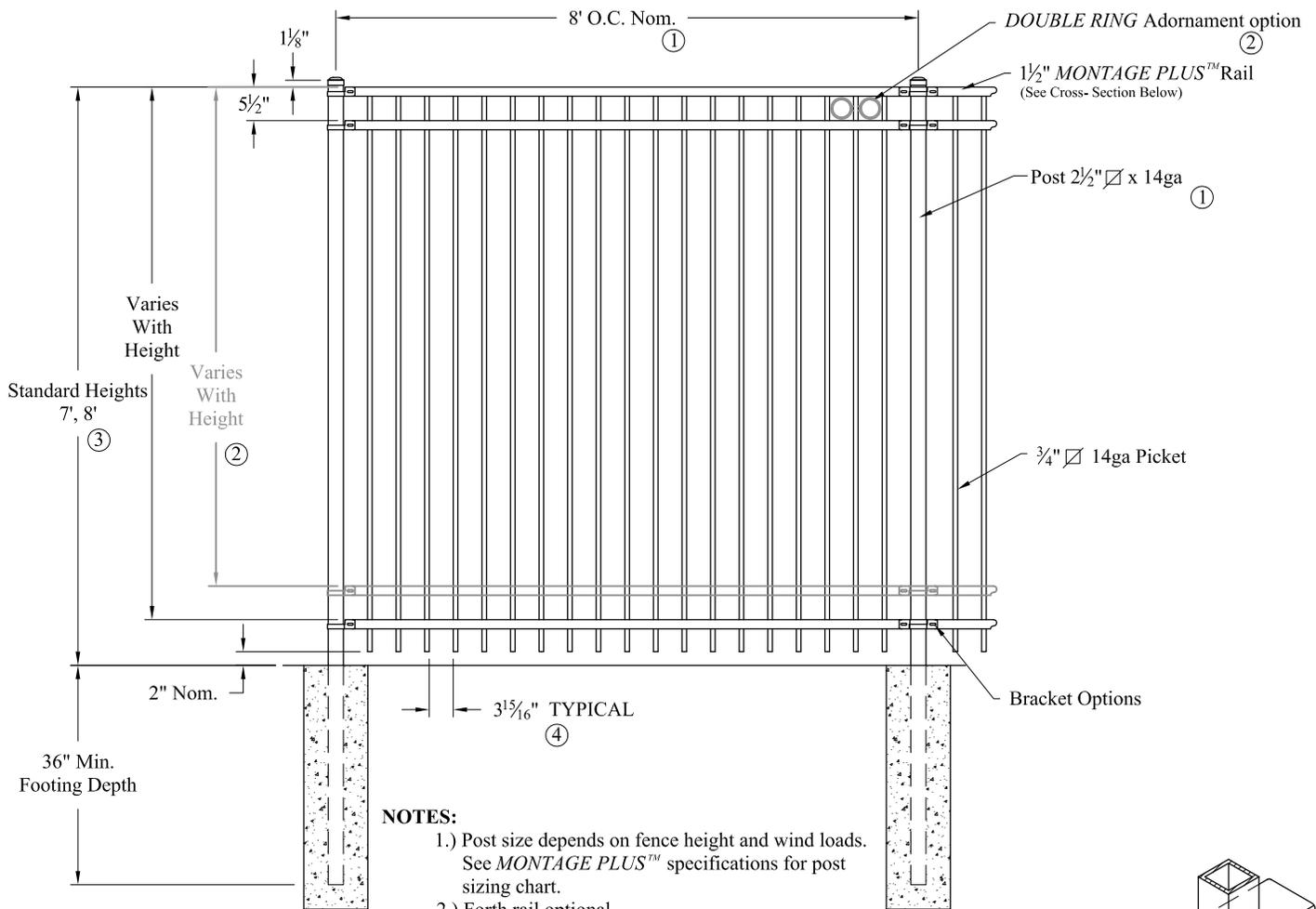


**LANDSCAPE CONTRACTOR'S "TWO-YEAR IRRIGATION REQUIREMENT PERIOD"**

IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO PROGRAM AND PERIODICALLY ADJUST THE IRRIGATION SYSTEM (PROVIDED BY OTHERS) AS REQUIRED TO INSURE DELIVERY OF PROPER AND ADEQUATE WATER SUPPLY TO ALL PLANT MATERIAL, AND SEEDED LAWN AREAS (SERVICED BY THE IRRIGATION SYSTEM) TO INSURE THE ESTABLISHMENT OF HEALTHY PLANT MATERIALS AND LAWNS FOR THEIR FIRST YEAR OF GROWTH. FOLLOWING THE LANDSCAPE CONTRACTOR'S "TWO-YEAR IRRIGATION REQUIREMENT PERIOD", THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH A SUGGESTED "IRRIGATION MAINTENANCE SCHEDULE" FOR THEIR USE.

Hansø  
designed in Sweden  
10' X 10'

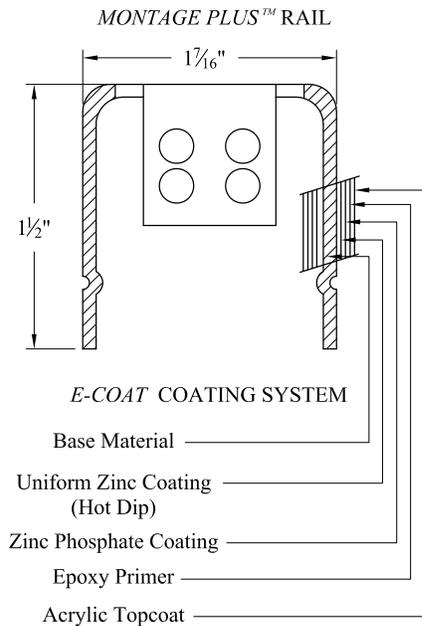




**NOTES:**

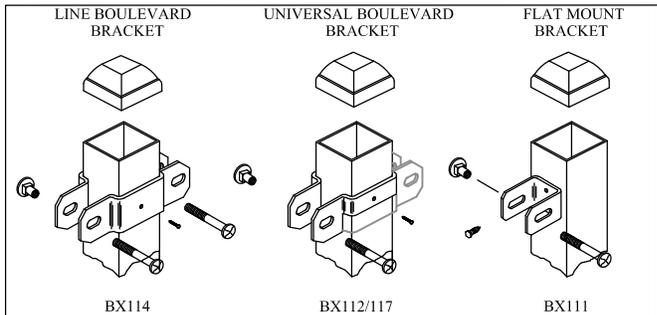
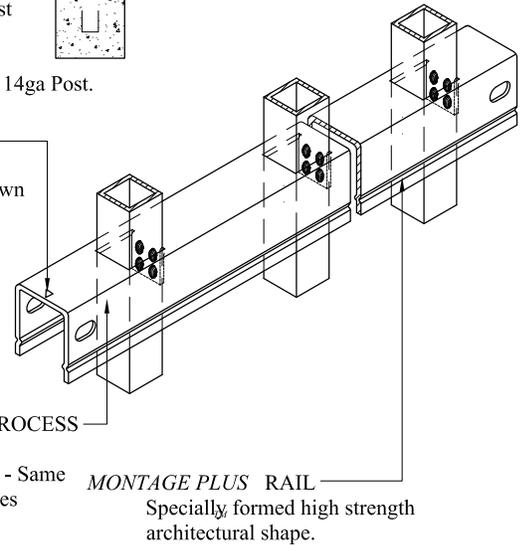
- 1.) Post size depends on fence height and wind loads. See *MONTAGE PLUS™* specifications for post sizing chart.
- 2.) Forth rail optional.
- 3.) 7' & 8' Heights will require a 14ga Picket and 14ga Post.

**RAKING DIRECTIONAL ARROW**  
 Welded panel can be raked 30" over 8' with arrow pointing down grade.



**PROFUSION™ WELDING PROCESS**

No exposed welds,  
 Good Neighbor profile - Same appearance on both sides



**COMMERCIAL STRENGTH WELDED STEEL PANEL**  
**PRE-ASSEMBLED**

Finish: Black Powder coated metal

Values shown are nominal and not to be used for installation purposes. See product specification for installation requirements.

1RMISO7-8

Title: **MONTAGE COMMERCIAL MAJESTIC 3/4-RAIL**

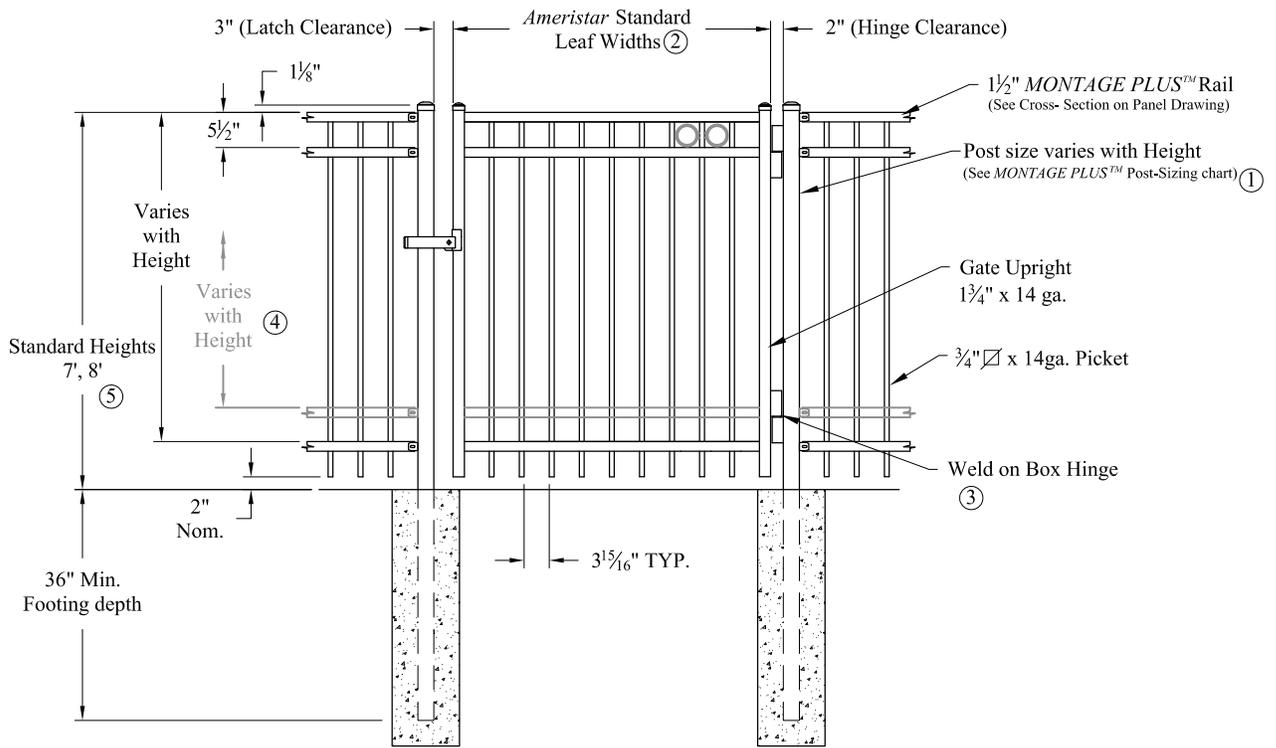
DR: NJB SH . 1 of 1 SCALE: DO NOT SCALE

CK: BS Date 09/21/11 REV: d



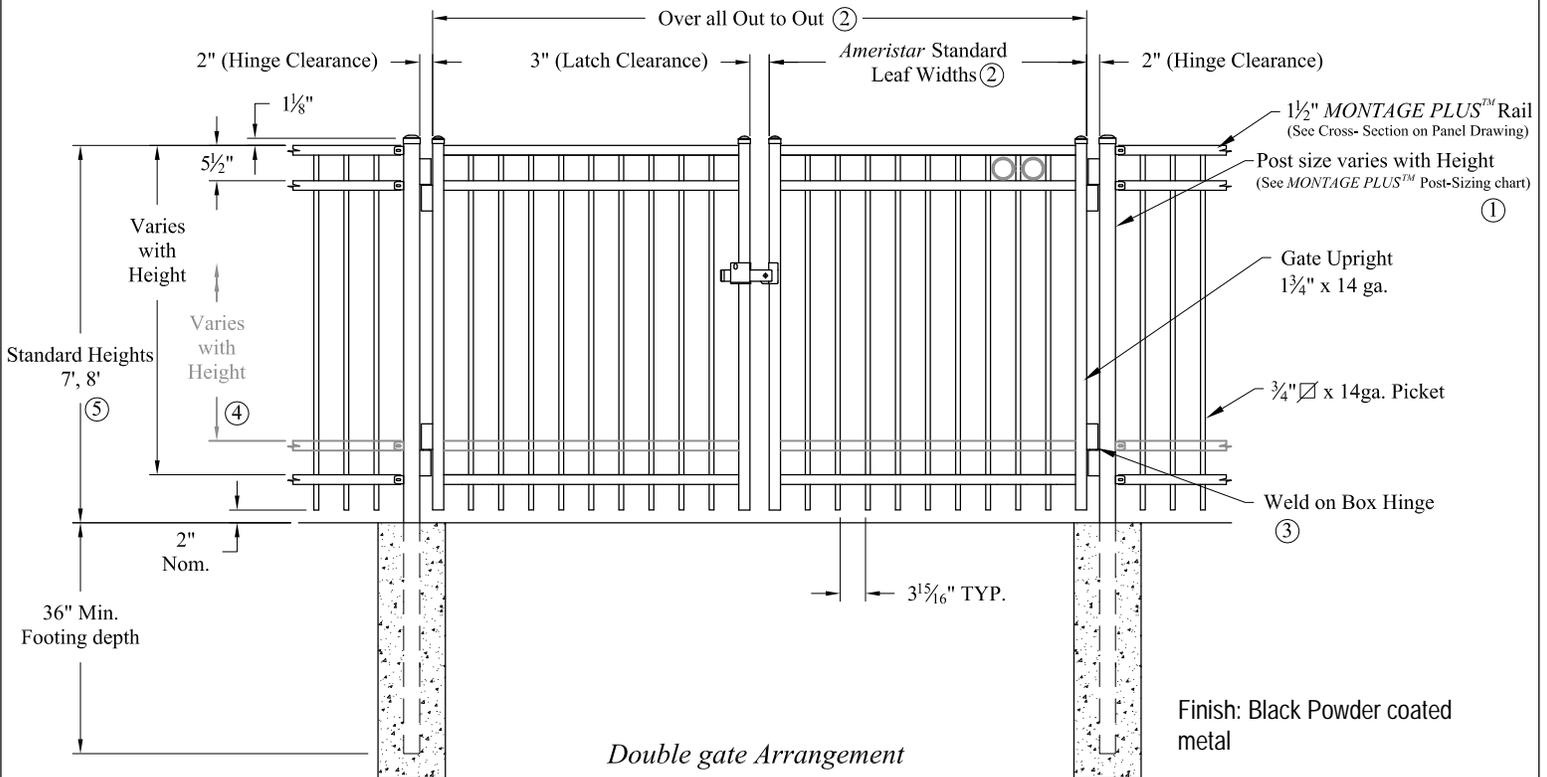
**AMERISTAR®**

1555 N. Mingo  
 Tulsa, OK 74116  
 1-888-333-3422  
 www.ameristarfence.com



**NOTES:** *Single gate Arrangement*

- 1.) Post size depends on fence height, weight and wind loads. See MONTAGE PLUS™ post sizing chart.
- 2.) See Ameristar gate table for standard out to outs. Custom gate openings available for special out to out/leaf widths.
- 3.) Additional styles of gate hardware are available on request. This could change the Latch & Hinge Clearance.
- 4.) Forth rail optional.



Values shown are nominal and not to be used for installation purposes. See product specification for installation requirements.

**COMMERCIAL STRENGTH WELDED STEEL GATES**

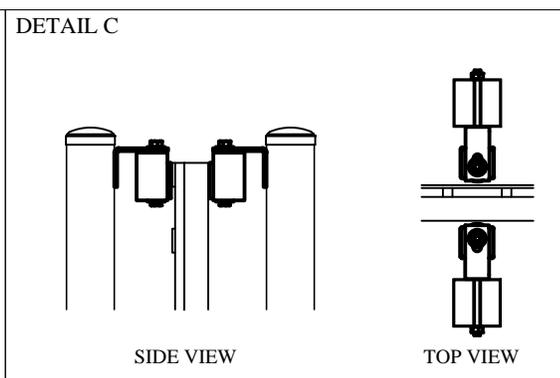
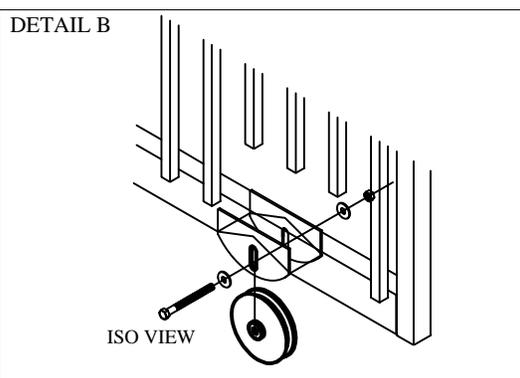
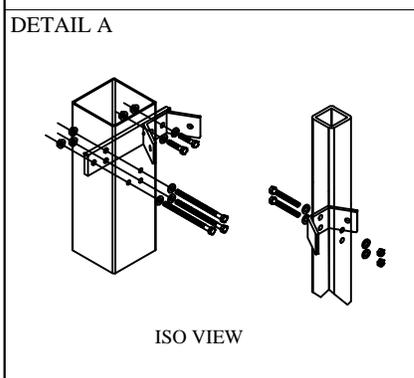
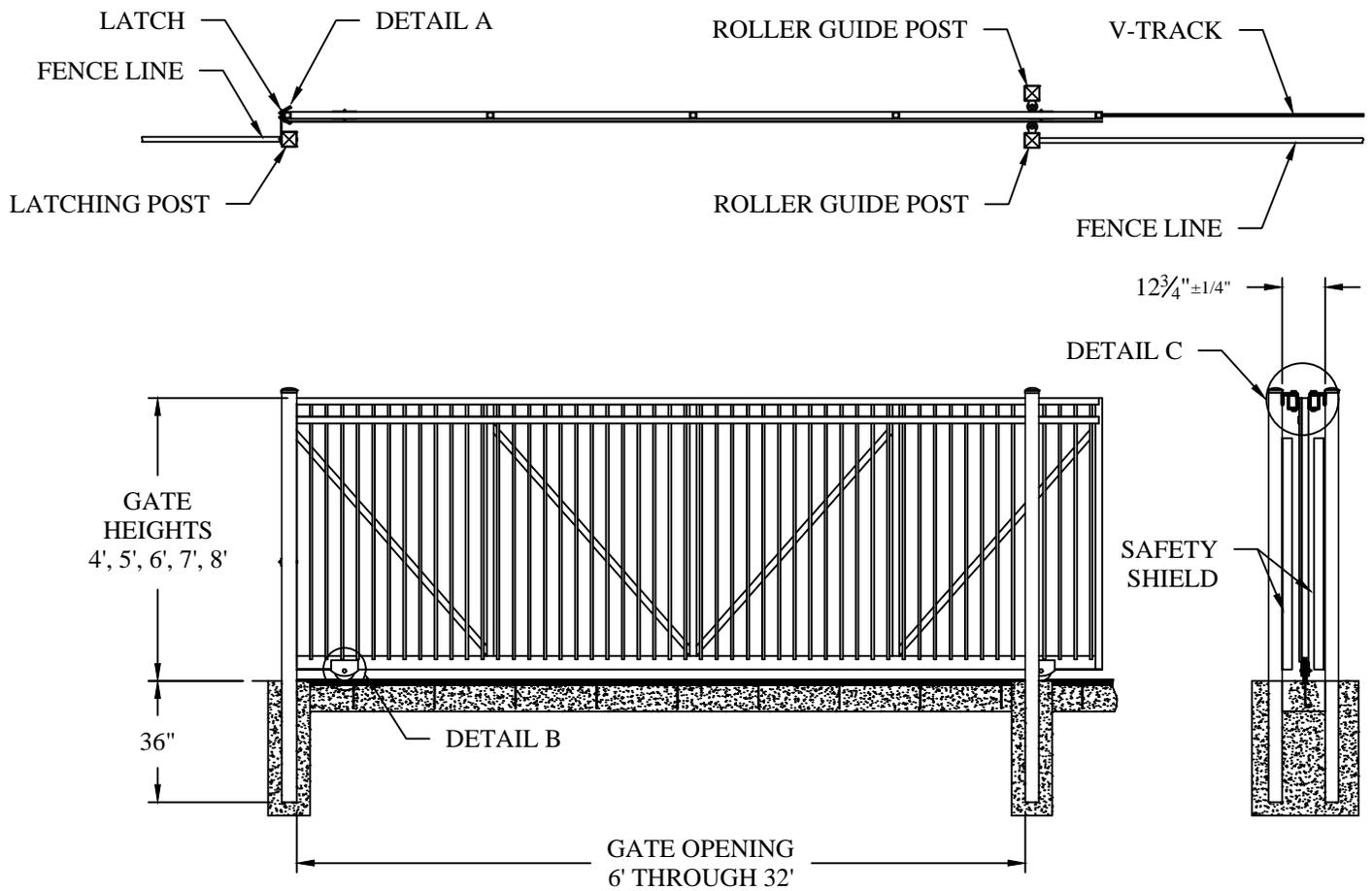
Title: MONTAGE COMMERCIAL MAJESTIC 3/4-RAIL SGL & DBL GATE

DR: RTM	SH . 1 of 1	SCALE: DO NOT SCALE
CK: ME	Date 6/25/10	REV: c



**AMERISTAR®**

1555 N. Mingo  
Tulsa, OK 74116  
1-888-333-3422  
www.ameristarfence.com



## PassPort<sup>®</sup> Commercial Ornamental Roll Gate

Ornamental Pickets:  $\frac{3}{4}$ " Square  
 Top Rail(s), Uprights and Diagonals Braces: 2" Square  
 Bottom Rail: 2" x 4" (Notched & Plated for V-track Wheels)  
 Roll Gate Hardware : Kit #PGKOD  
 Available in Profiles of 2-Rail, 3-Rail, & 3-Rail w/Rings

Finish: Black Powder coated metal

Values shown are nominal and not to be used for installation purposes. See product specification for installation requirements.

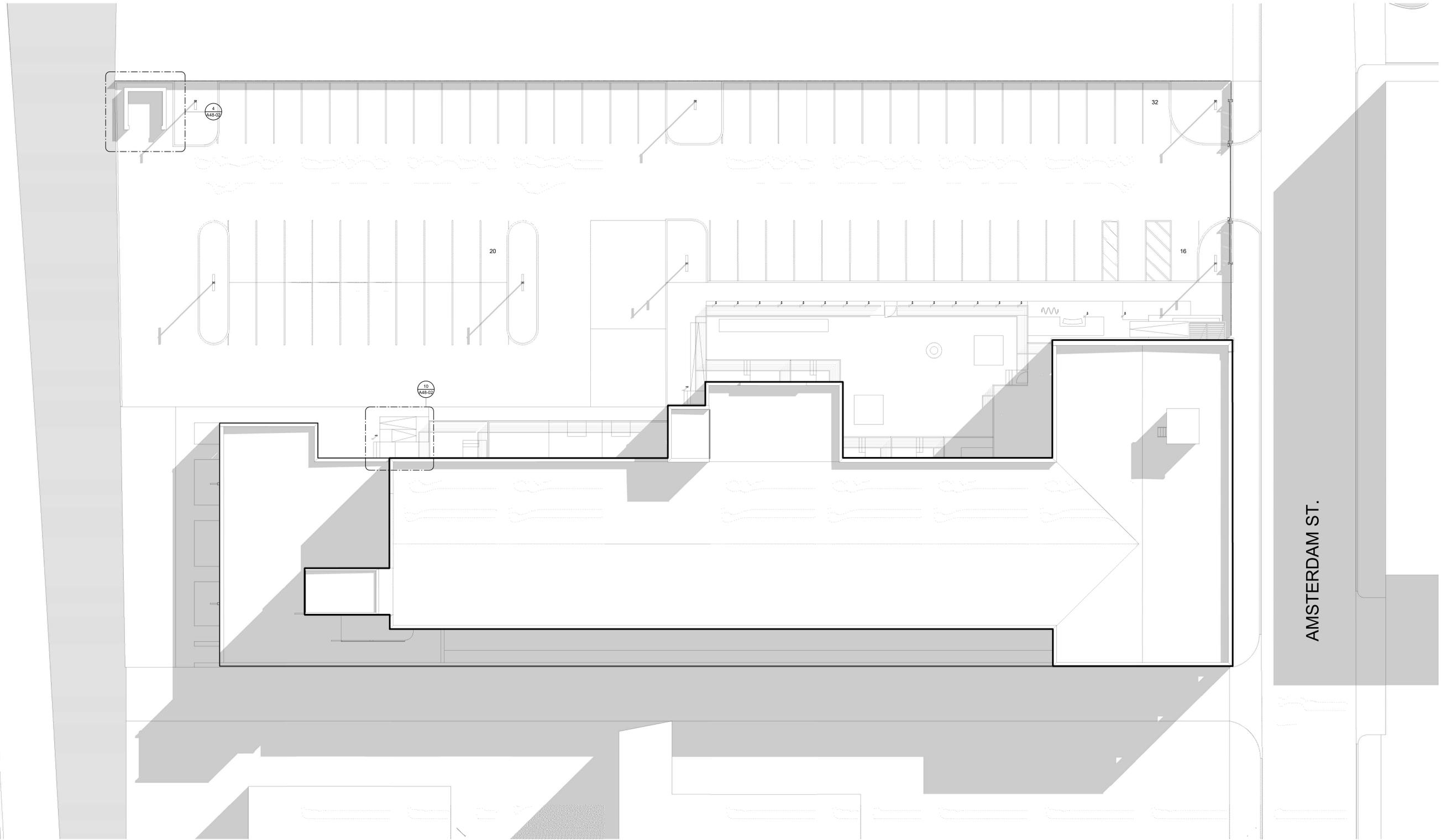
1MISOR

Title: <b>PASSPORT MAJESTIC COMMERCIAL ROLL GATE</b>		
DWN: LJM	SH. 1 of 1	SCALE: DO NOT SCALE
ECR: PA180108	Date: 10/12/18	REV: E



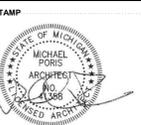
1555 N. Mingo  
 Tulsa, OK 74116  
 1-888-333-3422  
 www.ameristarfence.com

ISSUED FOR	DATE
1. SD 100%	8/23/22
2. HISTORIC PART II	10/30/22
3. DD 100%	11/7/22
5. HDC SUBMISSION	2/6/23
6. BID & PERMIT SET	3/3/23



PROJECT  
**450 AMSTERDAM**  
450 AMSTERDAM  
DETROIT, MI 48202

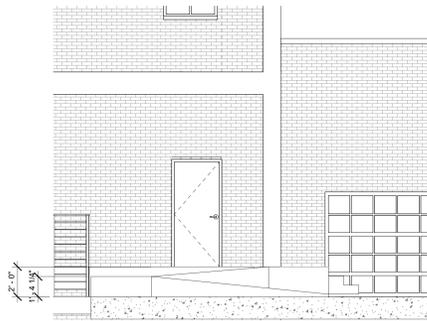
SHEET  
**ARCHITECTURAL  
SITE PLAN**



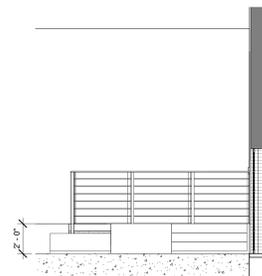
SCALE  
**3/32" = 1'-0"**

PROJECT NUMBER  
**2125**

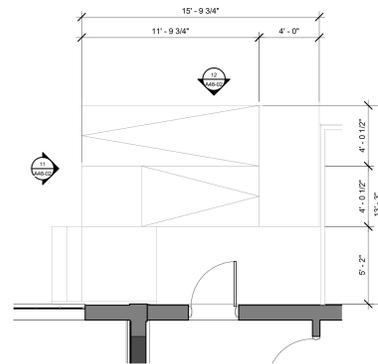
SHEET NUMBER  
**A05-01**



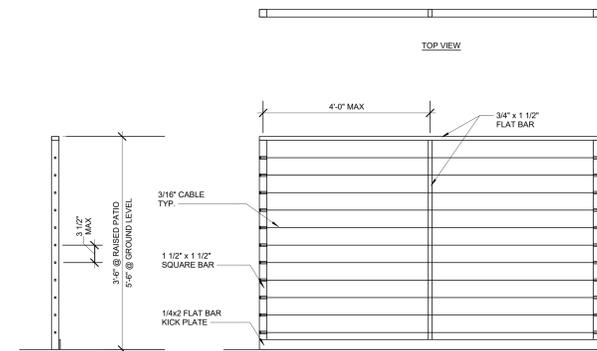
12 STAIR B ADA ACCESS RAMP - EAST ELEVATION  
 SCALE: 1/4" = 1'-0"



11 STAIR B ADA ACCESS RAMP - NORTH ELEVATION  
 SCALE: 1/4" = 1'-0"

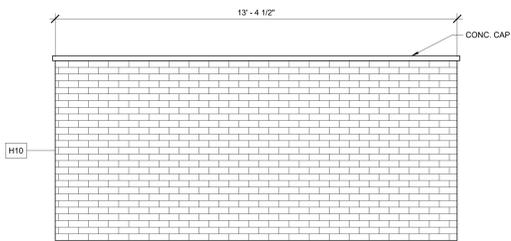


10 STAIR B ADA ACCESS RAMP - ENLARGED PLAN  
 SCALE: 1/4" = 1'-0"

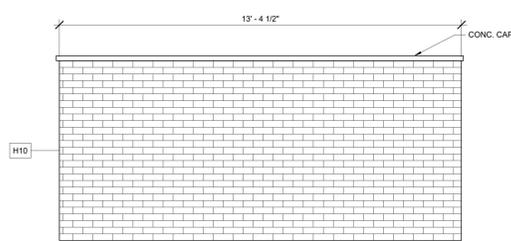


END VIEW ELEVATION

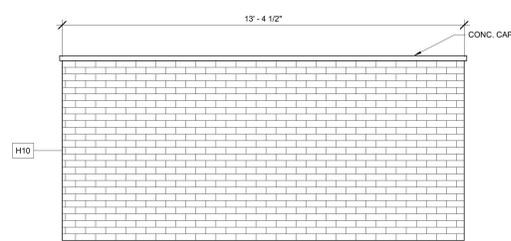
9 CABLE RAIL DETAIL  
 SCALE: 1" = 1'-0"



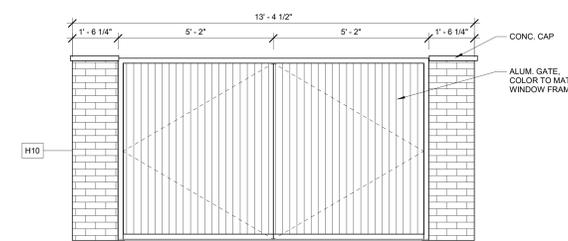
8 DUMPSTER ENCLOSURE - NORTH ELEVATION  
 SCALE: 1/2" = 1'-0"



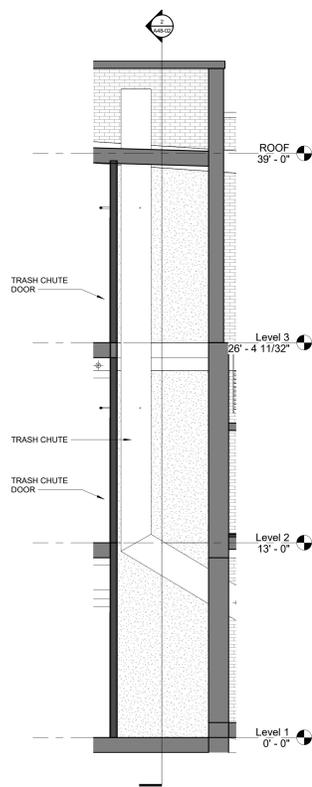
7 DUMPSTER ENCLOSURE - EAST ELEVATION  
 SCALE: 1/2" = 1'-0"



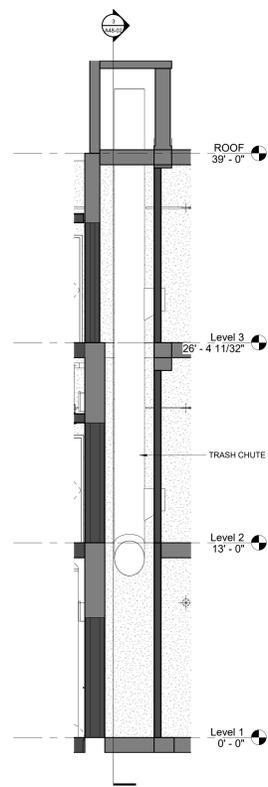
6 DUMPSTER ENCLOSURE - SOUTH ELEVATION  
 SCALE: 1/2" = 1'-0"



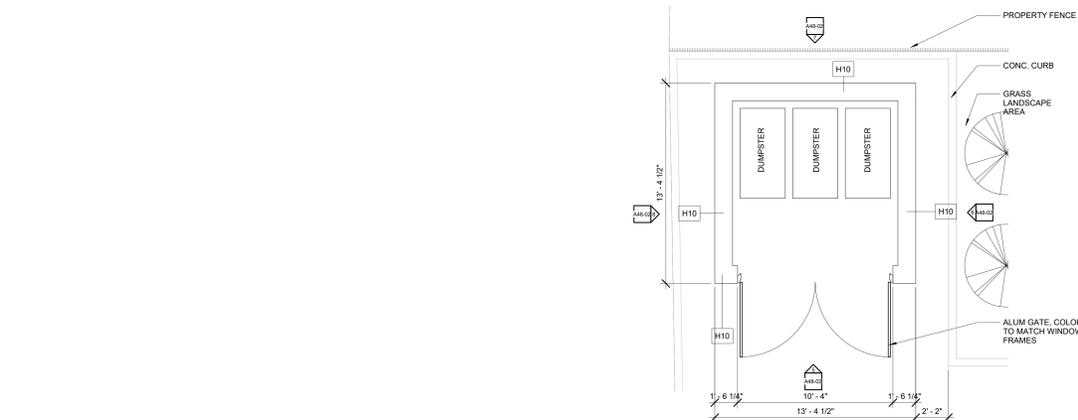
5 DUMPSTER ENCLOSURE - FRONT ELEVATION  
 SCALE: 1/2" = 1'-0"



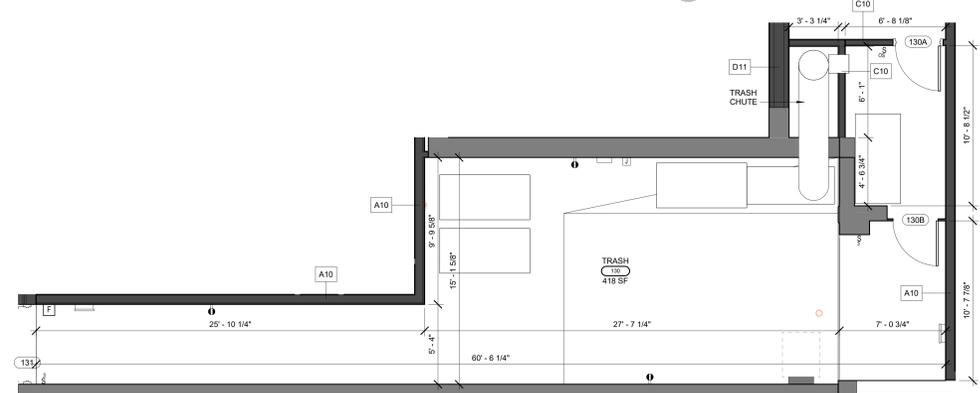
3 TRASH CHUTE ENLARGED SECTION 2  
 SCALE: 1/4" = 1'-0"



2 TRASH CHUTE ENLARGED SECTION 1  
 SCALE: 1/4" = 1'-0"



4 DUMPSTER ENCLOSURE - ENLARGED PLAN  
 SCALE: 1/4" = 1'-0"



1 TRASH ROOM - ENLARGED PLAN  
 SCALE: 1/4" = 1'-0"

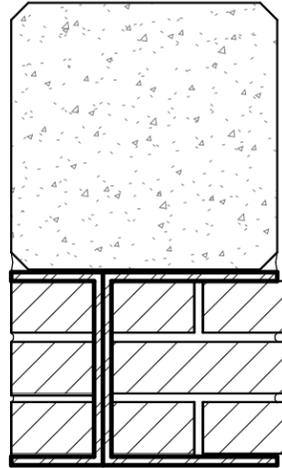








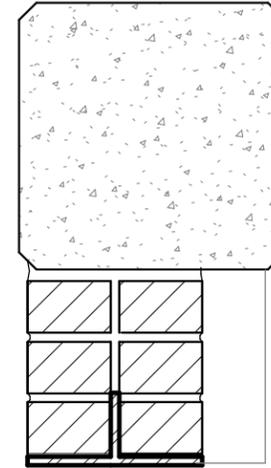




1

### EXISTING LINTEL DETAIL - SOUTH FACADE

SCALE: 1 1/2" = 1'-0"



2

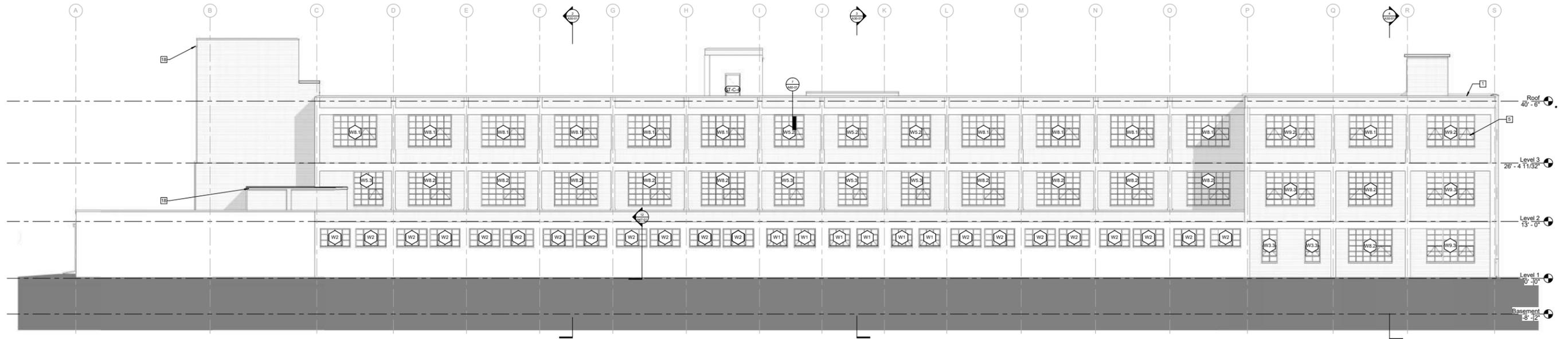
### EXISTING LINTEL DETAIL - NORTH, EAST, & WEST FACADE

SCALE: 1 1/2" = 1'-0"

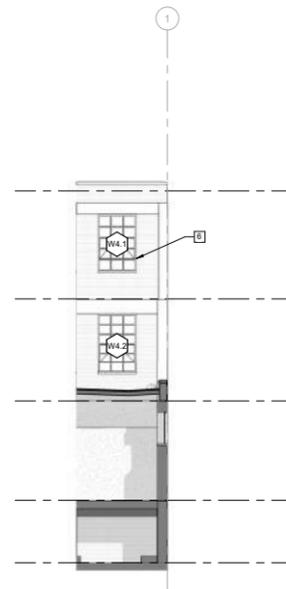
These details show the difference in the design of the lintels that was discovered along the south facade compared to the typical detail seen throughout the building. The typical detail uses a T profile cast iron lintel embedded between 2 wythes of brick. They extend 1 brick past the window opening and are easily removed with minimal disturbance to the brick that is to remain. Over time this T member absorbs water and causes the cast iron to expand through rust packing. This then causes the window to compress and eventually bow out or fail like we see consistently throughout the building.

The south facade lintel is comprised of two C profile steel members that surround 3 wythes of brick; 1 on the exterior and two on the interior. They are more substantial because they are spanning larger width openings on the south facade. They extend to 3 rows of brick past the window opening and require removing the entire top 3 rows of brick to remove the lintel. Also, because of the profile difference, they do not have the same issues with water absorption and are in good condition without risk of inevitable failure like the typical detail. These members are original and provide structural support to the facade which is different than the North, East, and West condition. Removing these members will require substantially more original brick to be removed from the facade and additional work to maintain the integrity of the brick that is to remain. These differences are why we feel it is important to maintain the window opening size and lintels as they are along the south facade compared to our approach for the rest of the windows for this building.

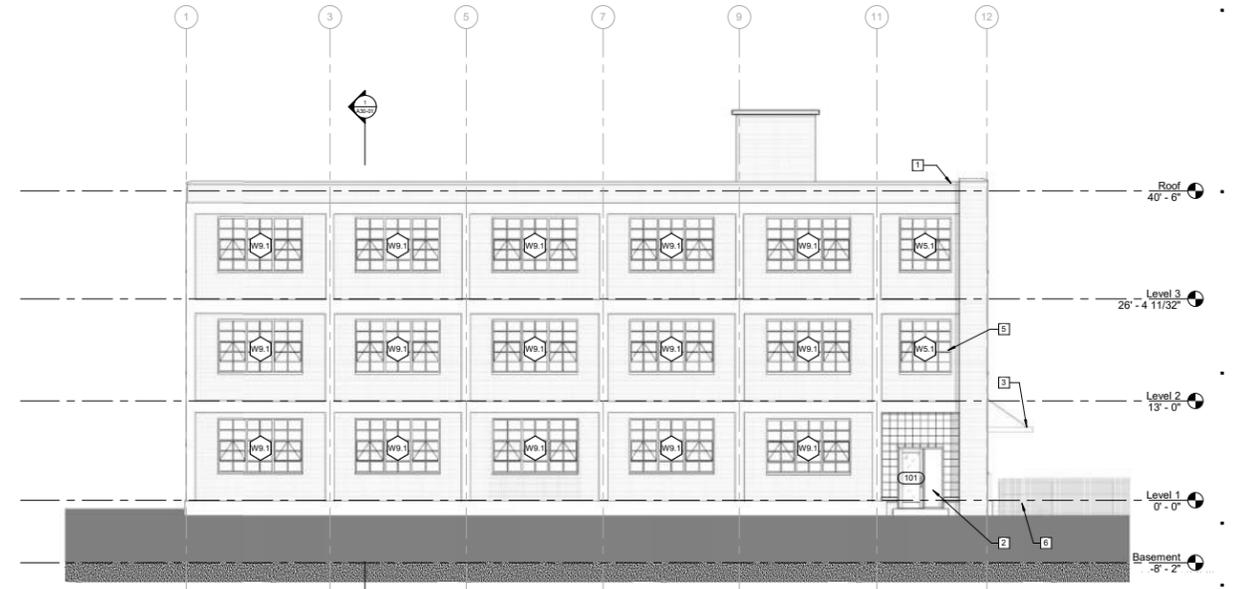




4 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



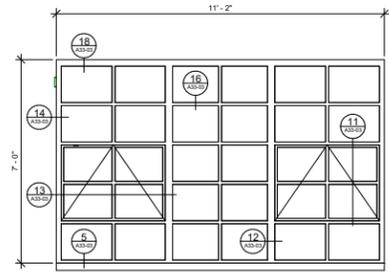
3 SOUTHWEST ELEVATION  
SCALE: 1/8" = 1'-0"



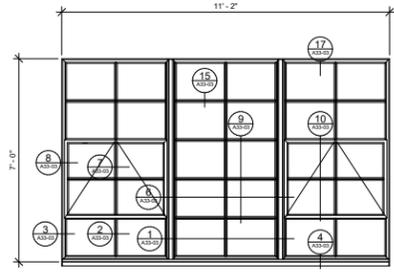
1 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

NEW WORK KEY NOTES	
NUMBER	DESCRIPTION
1	EXISTING MASONRY TO BE CLEANED AND REPOINTED, OR CLEANED AND REPAINTED
2	NEW ALUMINUM STOREFRONT SYSTEM
3	NEW STEEL CANOPY WITH RIGID TIE-BACKS (10' X 44')
4	NEW OVERHEAD DOOR
5	NEW HISTORICALLY REPLICATED ALUMINUM WINDOWS - GRAHAM SR8700 OR EQUAL - REF. WINDOW SCHEDULE
6	NEW 42" TALL ALUMINUM RAILING SYSTEM
7	NEW GAS POWERED GENERATOR - REF. ELECTRICAL DWGS.
8	NEW MEMBRANE ROOF SYSTEM
9	NEW REINFORCED BRICK WALL
10	NEW STEEL LINTEL
11	NEW 12" BRICK WALL
12	NEW PAINTED GYP. BOARD WALL
13	NEW ALUMINUM GARAGE DOOR WITH LITES
14	NEW GAS FIRE PIT
15	NEW BIKE RACKS
16	NEW PEDESTAL PAVER SYSTEM - BISON PEDESTALS AND UNLOCK PAVERS OR EQUAL
17	NEW 5' 0" PRIVACY FENCE
18	NEW ROOF
19	NEW CONCRETE INFILL WALL

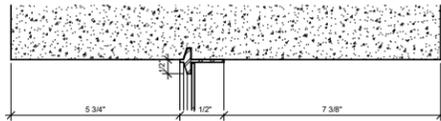




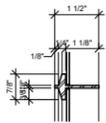
18 EX. W09  
SCALE: 1/2" = 1'-0"



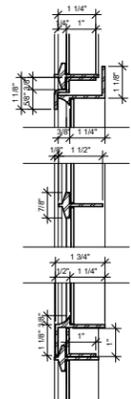
19 NEW, W09  
SCALE: 1/2" = 1'-0"



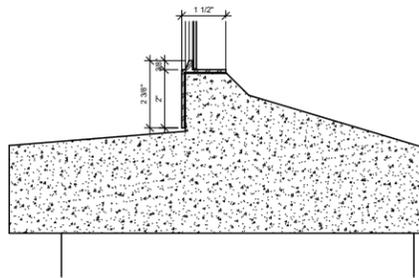
18 EX. WINDOW HEAD TYP.  
SCALE: 1" = 1'-0"



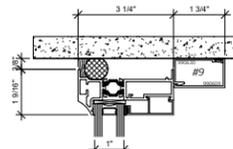
16 EX. WINDOW MULLION TYP.  
SCALE: 1" = 1'-0"



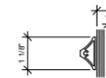
11 EX. WINDOW CASEMENT TYP.  
SCALE: 1" = 1'-0"



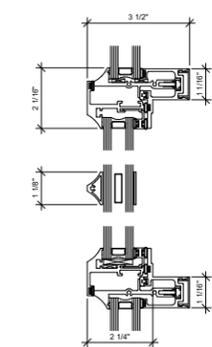
5 EX. WINDOW SILL TYP.  
SCALE: 1" = 1'-0"



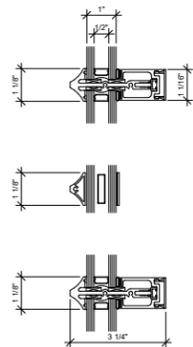
17 NEW WINDOW HEAD TYP.  
SCALE: 1" = 1'-0"



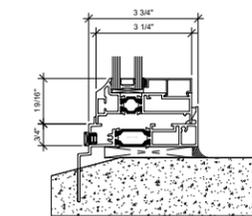
15 NEW WINDOW MULLION TYP.  
SCALE: 1" = 1'-0"



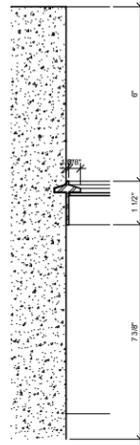
10 NEW OPERABLE WINDOW CASEMENT TYP.  
SCALE: 1" = 1'-0"



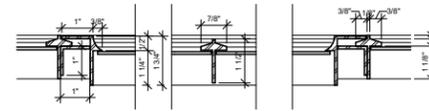
9 NEW FIXED WINDOW CASEMENT TYP.  
SCALE: 1" = 1'-0"



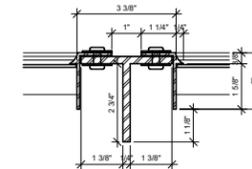
4 NEW WINDOW SILL TYP.  
SCALE: 1" = 1'-0"



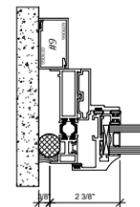
14 EX. WINDOW JAMB TYP.  
SCALE: 1" = 1'-0"



13 EX. WINDOW CASEMENT PLAN TYP.  
SCALE: 1" = 1'-0"



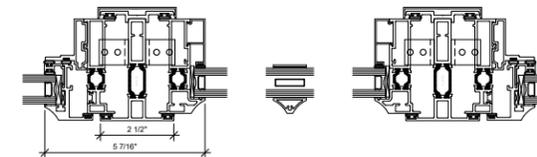
12 EX. WINDOW 3/8" MULLION TYP.  
SCALE: 1" = 1'-0"



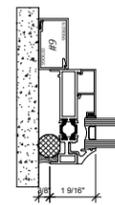
8 NEW OPERABLE WINDOW JAMB TYP.  
SCALE: 1" = 1'-0"



7 NEW OPERABLE WINDOW MULLION PLAN TYP.  
SCALE: 1" = 1'-0"



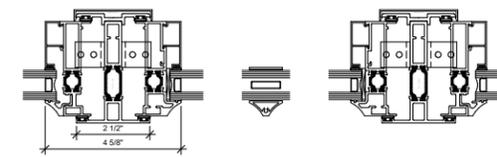
6 NEW OPERABLE WINDOW CASEMENT PLAN TYP.  
SCALE: 1" = 1'-0"



3 NEW FIXED WINDOW JAMB TYP.  
SCALE: 1" = 1'-0"



2 NEW FIXED WINDOW MULLION PLAN TYP.  
SCALE: 1" = 1'-0"



1 NEW FIXED WINDOW CASEMENT PLAN TYP.  
SCALE: 1" = 1'-0"

## SR6700 SERIES DATA SHEET

TYPE	AAMA RATING & TEST SIZE	VENT SIZE (inches)	AIR (cfm/ft²) at 50 mph	WATER (psf)	DESIGN PRESSURE (psf)	STRUCTURAL OVERLOAD (psf)	U-VALUE (BTU/hr/ft²/°F)
CASEMENT	CW-PG90 36 x 60	34-½ x 58-½	0.03	12.11	40.10	60.15	0.42 – 0.50
AWNING	CW-PG100 60 x 36	58-½ x 34-½	0.01	12.11	100.25	150.38	0.43 – 0.51
FIXED	AW-PG110 60 x 99	N/A	0.01	12.11	110.28	165.41	0.28 – 0.37
FIXED WITH FLOATING VENT	CW-PG40 93 x 98	61-¾ x 37-¼	0.03	12.11	40.10	60.15	0.37 – 0.44

NOTE: The air infiltration and water resistance performance values provided above were achieved in a controlled lab environment. Performance of our products in the field will vary depending on product configurations, installation methods, and ambient conditions. AAMA 502 "Voluntary Specification for Field Testing of Newly Installed Fenestration Products" should be adhered to for testing installed products. | U-values will vary depending upon glazing selected

### SR6700 SERIES QUICK VIEW:

The SR6700 steel replication window is designed to replicate the original steel windows used in many buildings. Available in fixed, projected, and casement configurations. The innovative SR6700 Series window features a "floating vent", large openings and minimal sight lines.

### STANDARD FEATURES

- 1" nominal TDL concave muntins & applied grids, replicates historic steel profiles
- Slim-line integral and fixed-stack mull for minimal sight-lines
- Floating vent design with 2" perimeter sight-line
- Stainless steel concealed hinges
- White bronze cam lock hardware
- Overlap of vent to frame for historic replication
- Concave exterior glazing leg
- Out-swing operation only
- Receptor and panning systems available for installation

### OPTIONAL FEATURES

- Triple grids - simulated TDL muntins in conjunction with true muntins
- Vent limit devices
- Interior screens with wicket doors
- Receptor frame



### Window series: SR6700 Steel Replica Projected/Fixed — General Specifications & Details

- Nominal Frame/Sill Wall Thickness: 0.125"
- Applications: Historic Replication
- Test Size (Fixed with Vent): Overall: 93" x 98"  
Vent: 61-¾" x 37-¼"
- Test Size (Fixed Only): 60" x 99"
- Test Size (Casement): 36" x 60"
- Glazing Options:  
Simulated true divided lite  
Insulating: 1" IG available
- Muntins: Between-the-glass muntins & true-divided lites available

- Finish Options:  
AAMA 2603 — Standard acrylic or polyester  
AAMA 2604 — 2 coat 50% fluoropolymer  
AAMA 2605 — 2 coat fluoropolymer 70% kynar  
Powder Coat  
Anodized
- Hardware (Operable Units):  
Hinges: 4-bar stainless steel  
Lock/Latch: White bronze standard
- Accessories: Contact factory for availability  
Frame Family: 3¾"  
Fixed Lite Option System: SR6700  
Mullions:  
Stacking: Integral & fixed-stack mull  
Side: 3-piece-mull  
Panning: Available  
Trims: Available  
Receptor Systems: Available
- Exceptions: Call Graham sales rep or see website for more information.

Our products are tested to the standards of and certified by the American Architectural Manufacturer's Association and the National Fenestration Rating Council.



Check website for most current information including detail drawings and hardware options:  
[www.grahamwindows.com](http://www.grahamwindows.com) - 1551 Mt. Rose Avenue, York, Pennsylvania 17403-2909 - (800) 755-6274 (717) 849-8100

Updated  
8-21

