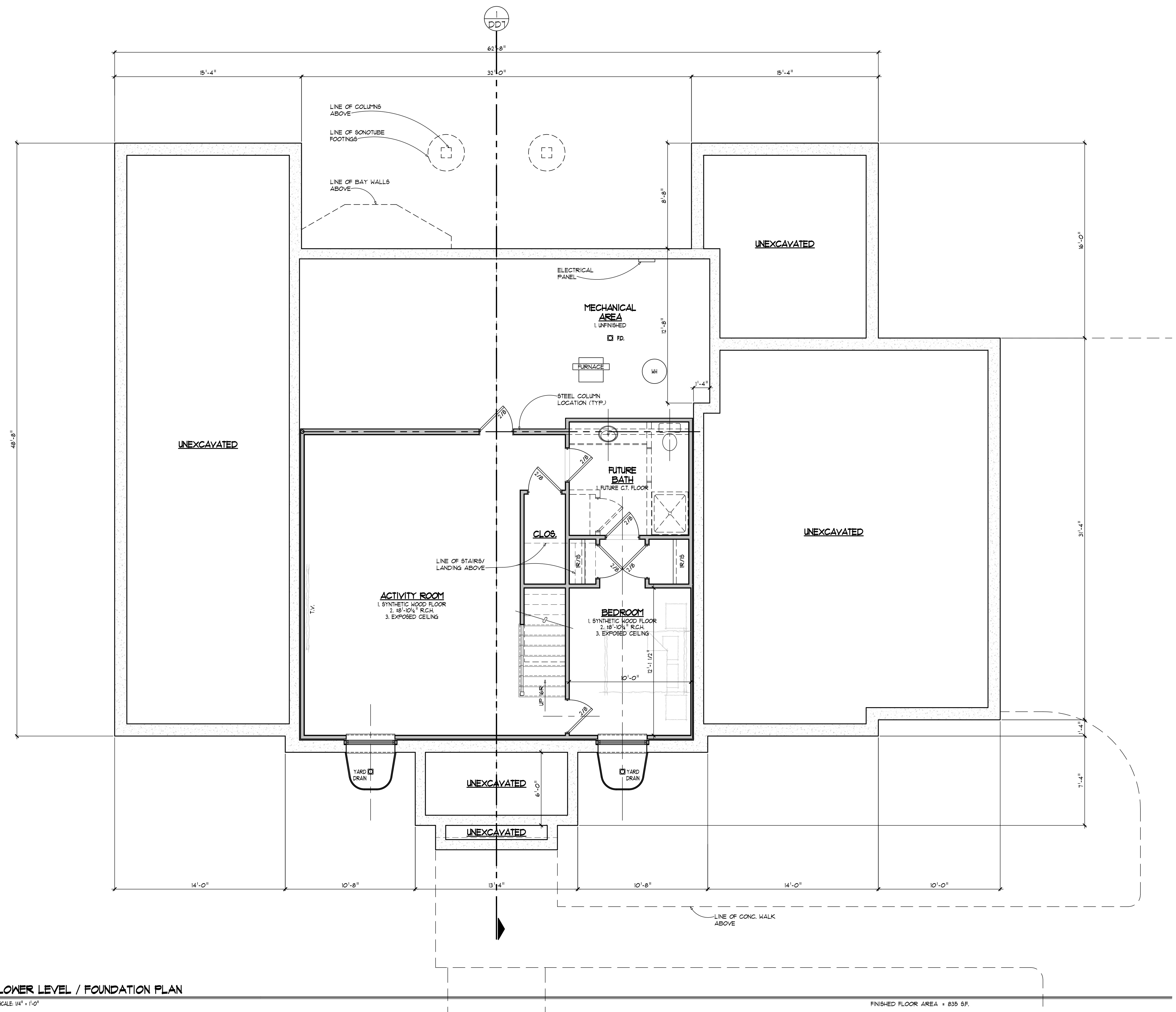


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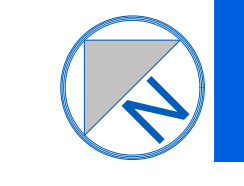
**LOWER LEVEL / FOUNDATION PLAN**  
 SCALE: 1/4" = 1'-0"

FINISHED FLOOR AREA = 835 SF.

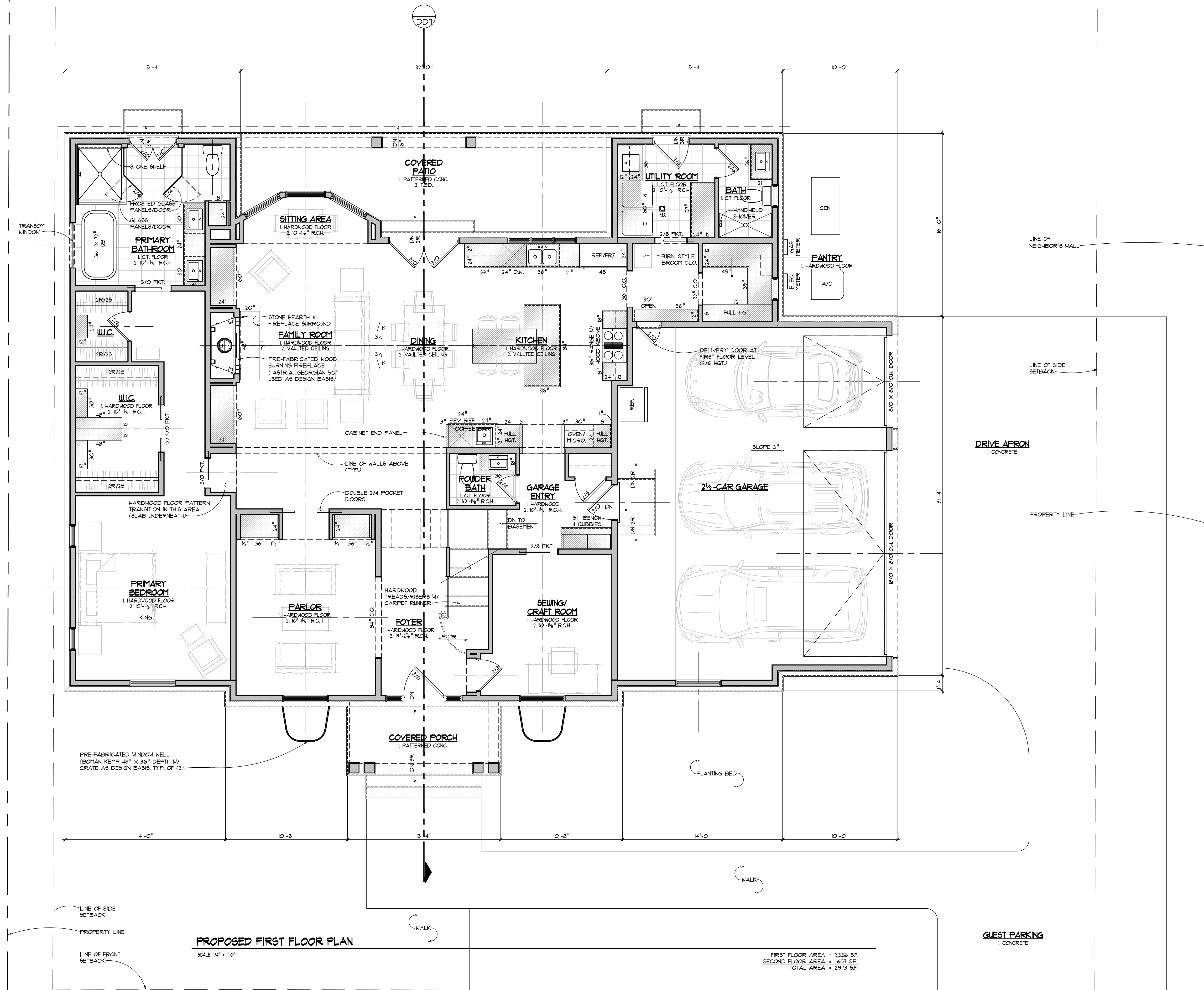
JOB NO.	<b>22028</b>
DRAWN BY	LMF
CHECKED BY	RGC
RELEASE DATE	
CLIENT REVIEW	12.14.2022
PRELIMINARY BUDGET	12.27.2022
HISTORIC DISTRICT PRELIM. REVIEW	12.30.2022
HDC SUBMISSION	04.11.2023
REVISION NO.	

ARCHITECTS SEAL

SHEET NO.  
**DD1**



C:\Users\lpatterson\CBI Design Professionals\Arch - Documents\Projects\22028\Murphy\1. PROJECT & DRAWING INFO\1.H. Design Development\22028DD - Floor Plans.dwg, 4/11/2023 9:39:17 AM, Upatterson



New Residence for  
the Murphys  
2998 Iroquois Ave., Detroit, MI 48214

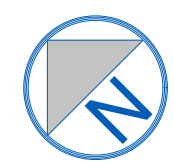
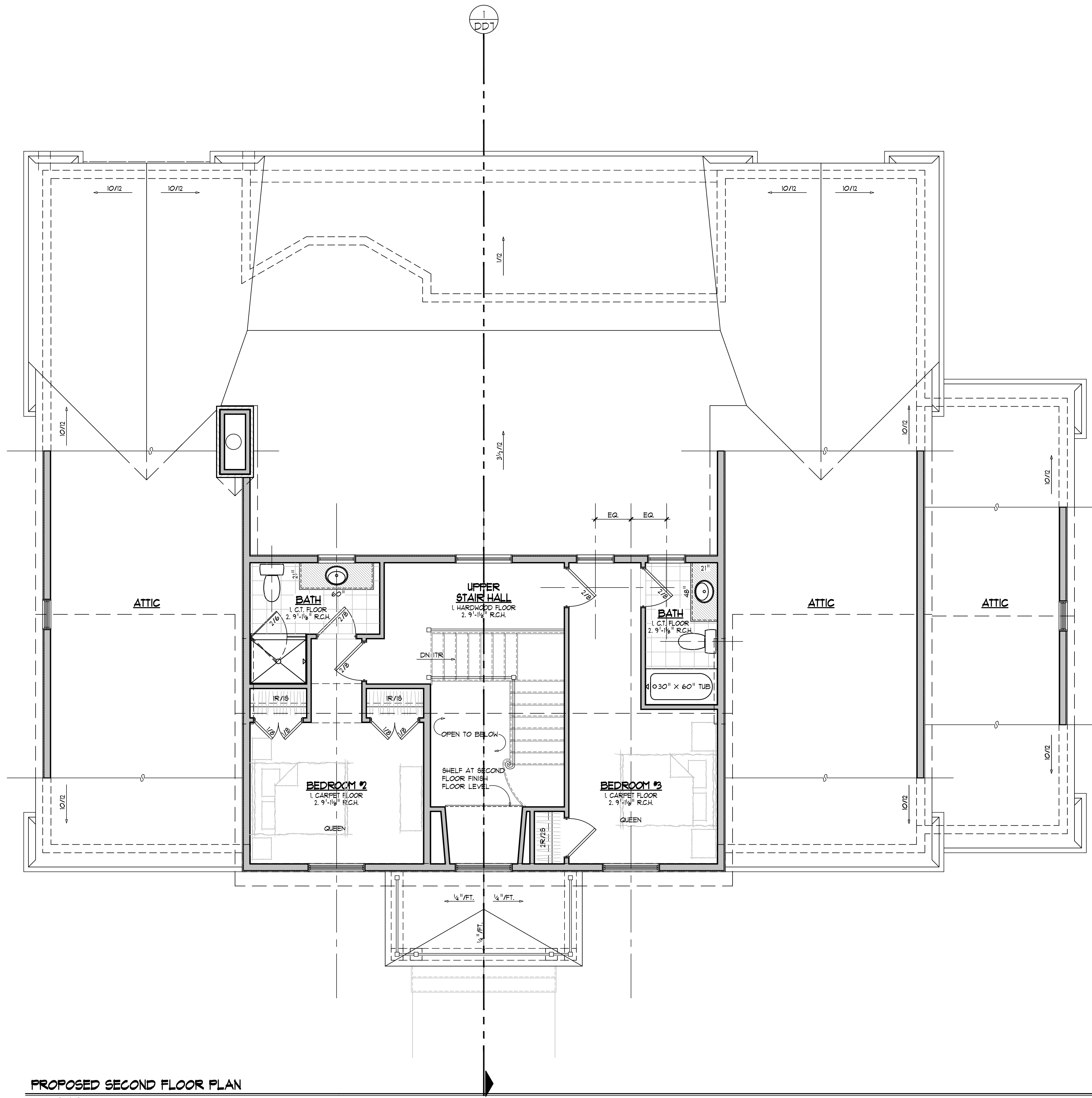
JOB NO.	22028
DRAWN BY	LMF
COO BY	RGC
RELEASE DATE	
REVISION NO.	

Client Review - 10.20.2022  
Client Review - 11.04.2022  
Client Review - 11.18.2022  
Preliminary Budget - 12.27.2022  
Historic District Petition Review - 12.30.2022  
HDC Submission - 04.11.2023

ARCHITECTS SEAL

SHEET NO.





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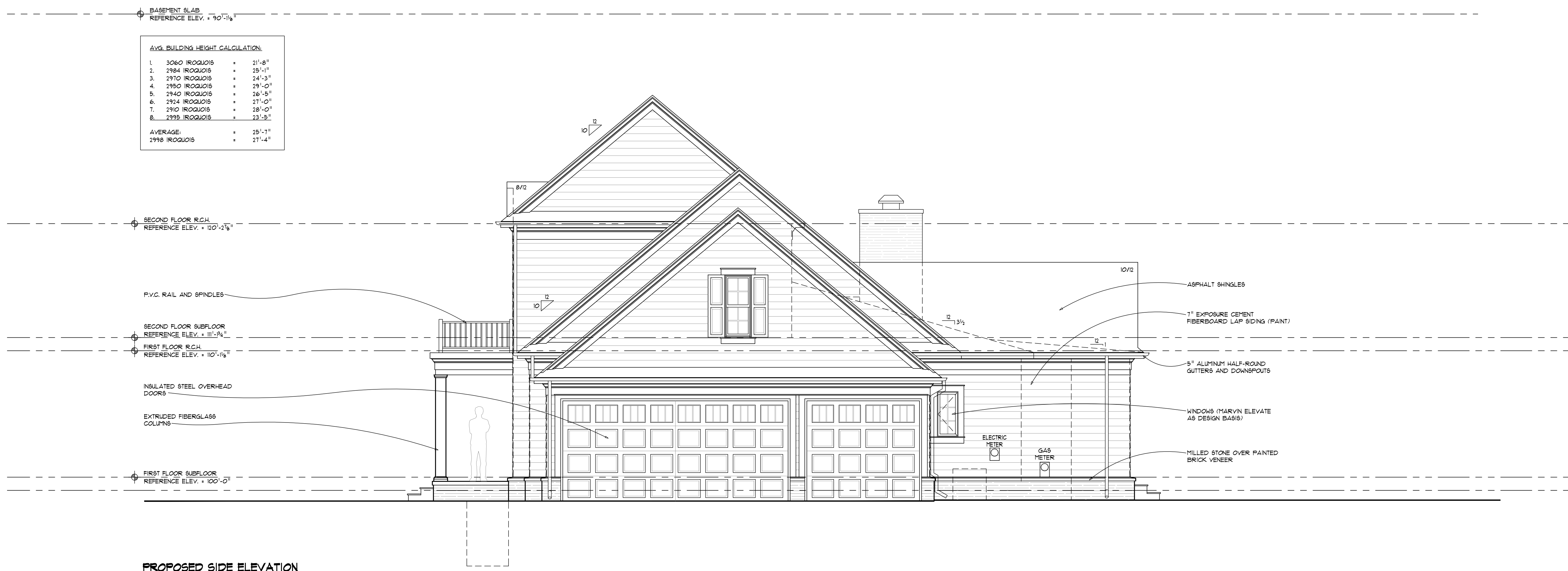
**PROPOSED FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

BASEMENT SLAB  
 REFERENCE ELEV. = 90'-1 1/8"

AVG. BUILDING HEIGHT CALCULATION:

1.	3060 IROQUOIS	=	21'-8"
2.	2984 IROQUOIS	=	25'-1"
3.	2970 IROQUOIS	=	24'-3"
4.	2950 IROQUOIS	=	29'-0"
5.	2940 IROQUOIS	=	26'-5"
6.	2914 IROQUOIS	=	27'-0"
7.	2910 IROQUOIS	=	28'-0"
8.	2995 IROQUOIS	=	23'-5"
AVERAGE:		=	25'-1"
2998 IROQUOIS		=	27'-4"



**PROPOSED SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

BASEMENT SLAB  
 REFERENCE ELEV. = 90'-1 1/8"

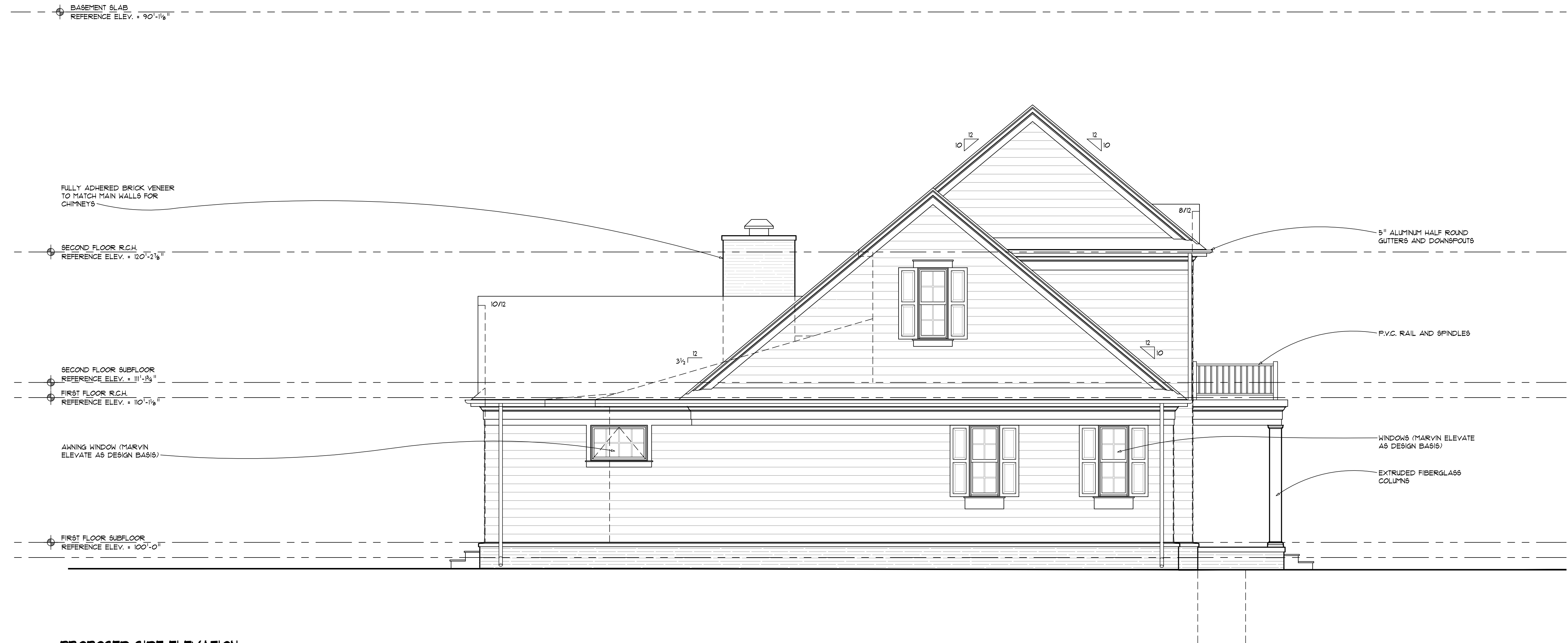
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**PROPOSED REAR ELEVATION**

SCALE: 1/4" = 1'-0"



**PROPOSED SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

JOB NO.  
**22028**

DRAWN BY  
**LIP**

COO BY  
**RGC**

RELEASE DATE

Client Review - 12.14.2022  
Preliminary Budget - 12.27.2022  
Historic District Prelim. Review - 12.30.2022  
HDC Submission - 01.11.2023

REVISION NO.

ARCHITECTS SEAL

SHEET NO.

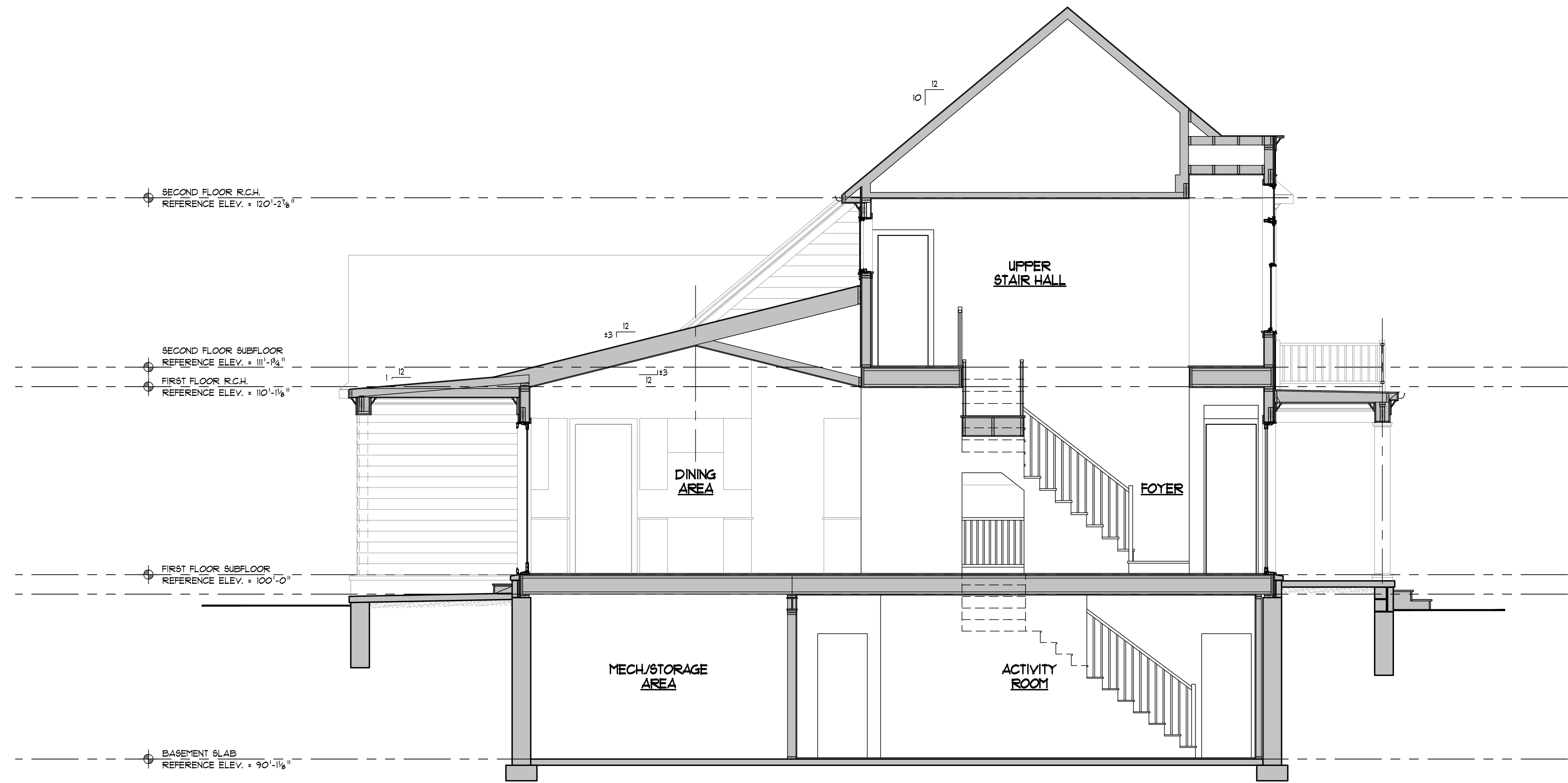
**DD6**

CBI Design Professionals  
838 W. Long Lake, Suite 110  
Bloomfield Hills, MI 48302

P: 248.645.2605  
F: 248.647.7307

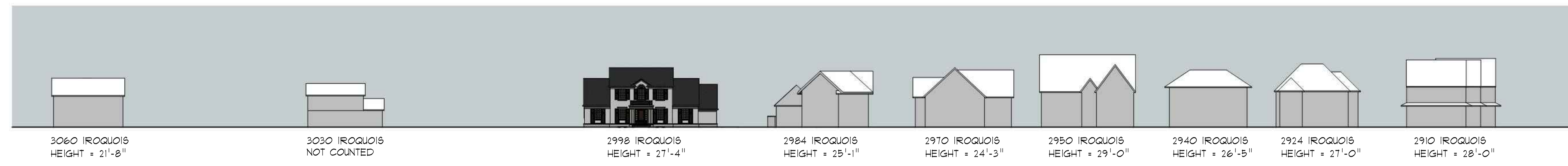
www.cbidesign.net

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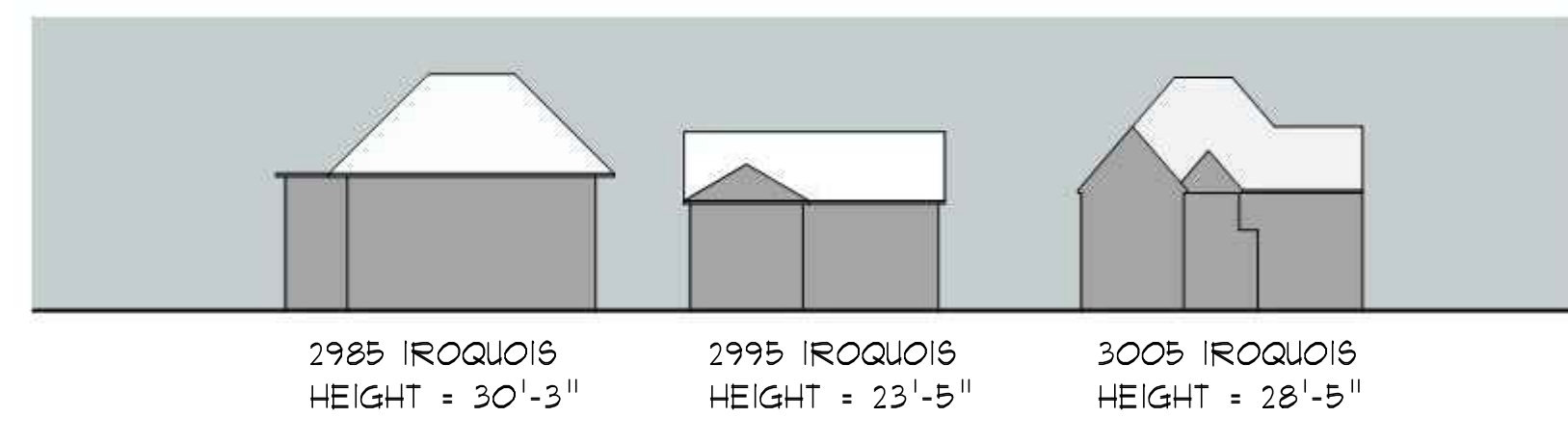
**1**  
DD7  
**CONCEPTUAL BUILDING SECTION**  
SCALE: 1/4" = 1'-0"





**STREETSCAPE VIEW - IROQUOIS AVE. (EAST SIDE)**

SCALE: 1" = 30'-0"



**STREETSCAPE VIEW - IROQUOIS AVE. (WEST SIDE - ACROSS THE STREET)**

SCALE: 1" = 30'-0"



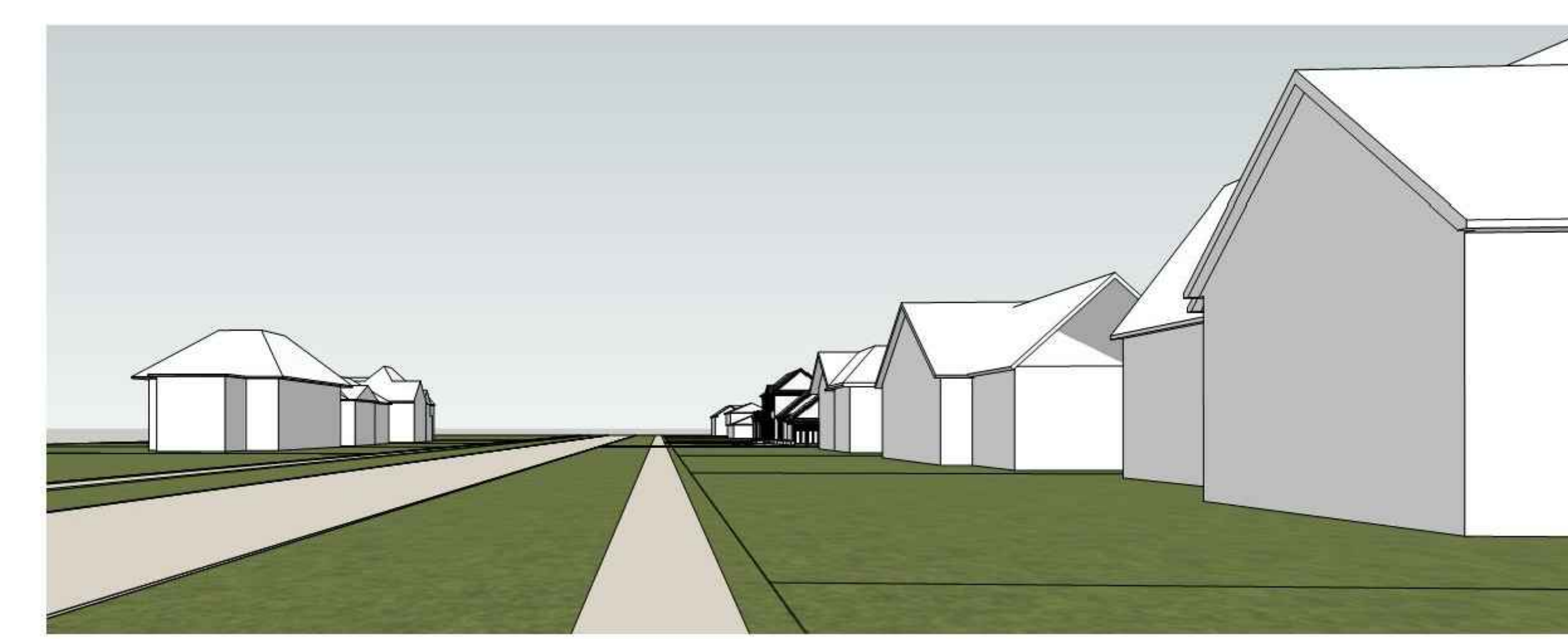
**PERSPECTIVE VIEW - IROQUOIS AVE. TOWARDS GOETHE ST.**

NO SCALE



**PERSPECTIVE VIEW - IROQUOIS AVE. TOWARDS CHARLEVOIX ST.**

NO SCALE



**PERSPECTIVE VIEW - IROQUOIS AVE. TOWARDS GOETHE ST.**

NO SCALE



**PERSPECTIVE VIEW - IROQUOIS AVE. TOWARDS CHARLEVOIX ST.**

NO SCALE





FRONT (EAST) VIEW

NO SCALE



REAR (WEST) VIEW

NO SCALE



ANGLED FRONT (SOUTHEAST) VIEW

NO SCALE



ANGLED REAR (NORTHWEST) VIEW

NO SCALE



ANGLED FRONT (NORTHEAST) VIEW

NO SCALE



ANGLED REAR (SOUTHWEST) VIEW

NO SCALE





ASPHALT DIMENSIONAL SHINGLES - CHARCOAL GRAY



GUTTERS - 'K' STYLE - WHITE



TRIM BOARDS - WOOD - WHITE



CEMENT FIBER LAP SIDING - WHITE



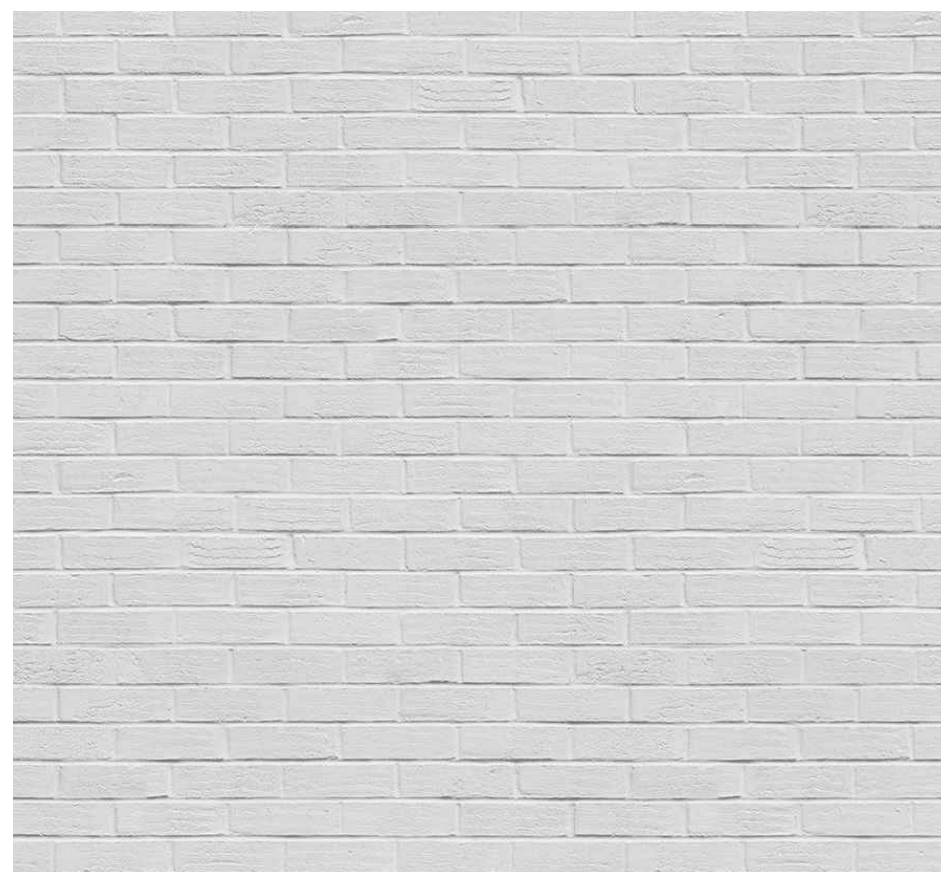
WINDOWS - MARVIN ELEVATE (SIMULATED DIVIDED LITES) - WHITE



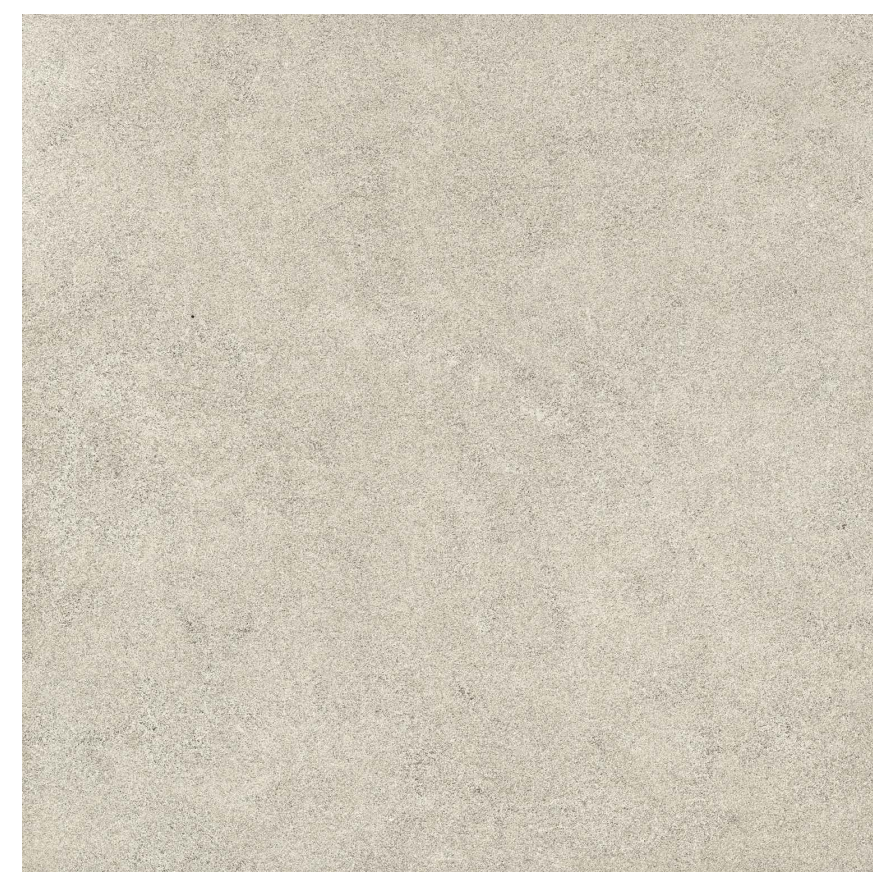
RAISED PANEL SHUTTERS - CHARCOAL GRAY



ENTRY DOOR - ESPRESSO STAINED WOOD



PAINTED BRICK



INDIANA BUFF LIMESTONE



RAILING/BALUSTRADE - P.V.C. - WHITE



COLUMNS - FIBERGLASS REINFORCED POLYMER - WHITE