

RENOVATION OF HISTORIC BLUE BIRD INN

DETROIT SOUND CONSERVANCY



4219 WOODWARD AVE
SUITE 301
DETROIT, MI 48201
v 313.462.2550

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DRAWING INDEX

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S401	STANDARD DETAILS		

PROJECT TEAM

QUINN EVANS
Architects

4219 WOODWARD AVE
SUITE 301
DETROIT, MI 48201
v 313.462.2550

METROPOLITAN STRUCTURAL ENGINEERS & ASSOCIATES INC.

STRUCTURAL
422 N ALTADENA
ROYAL OAK, MI 48067
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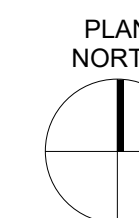
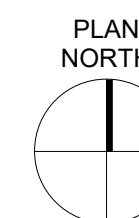
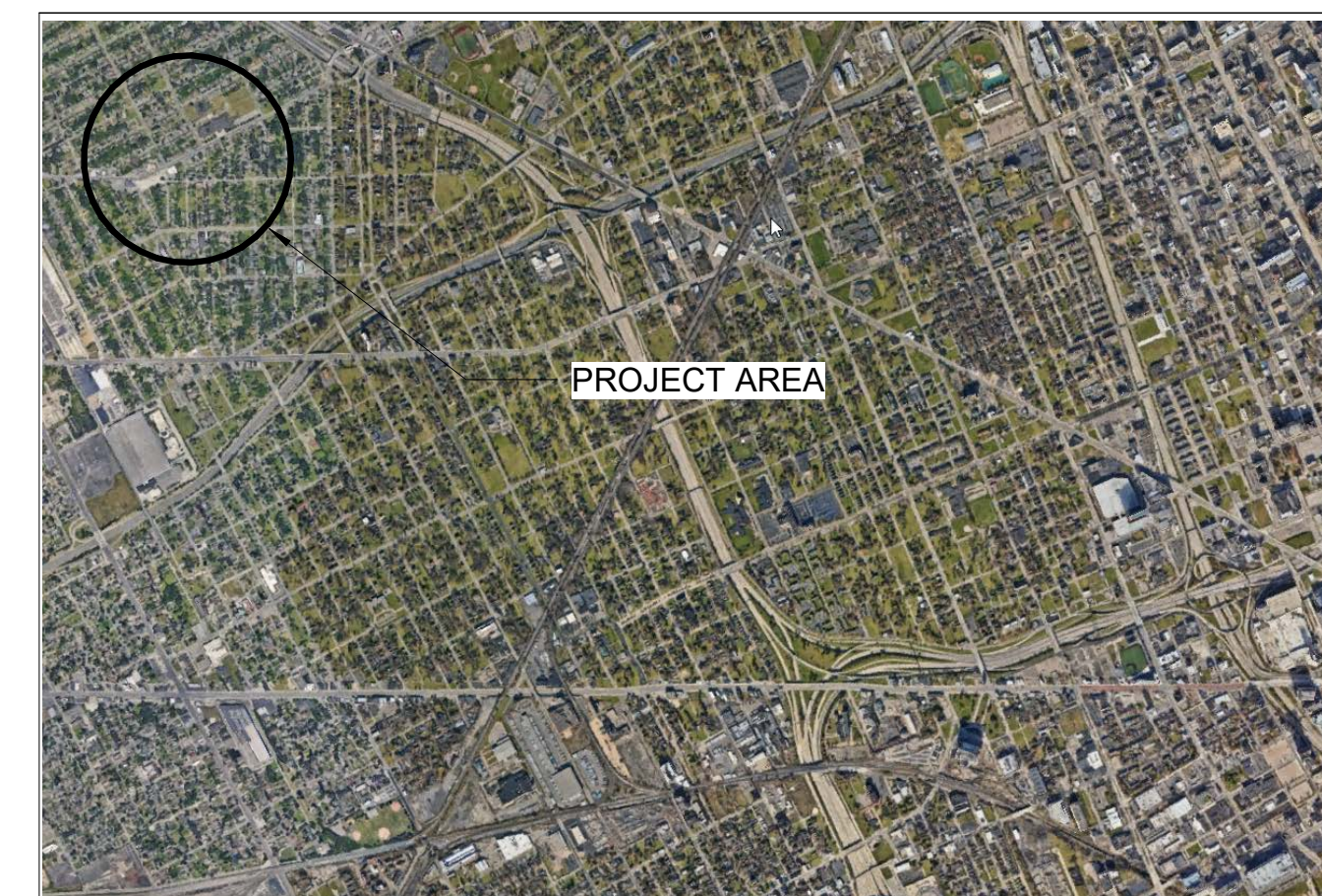
ETS ENGINEERING, INC.

ELECTRICAL
418 1/2 S, WASHINGTON AVE
ROYAL OAK, MI 48067
v 248.744.0360

SELLINGER ASSOCIATES, INC.

MECHANICAL & PLUMBING
19821 FARMINGTON RD
LIVONIA, MI 48152
v 248.482.0045

VICINITY MAPS



No.	Date	Description
PROJECT MANAGER:		DRAWN BY:
Checker		Author

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03/10/2023

COVER SHEET

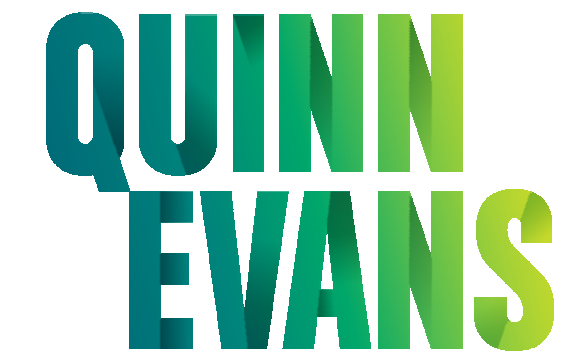
G01



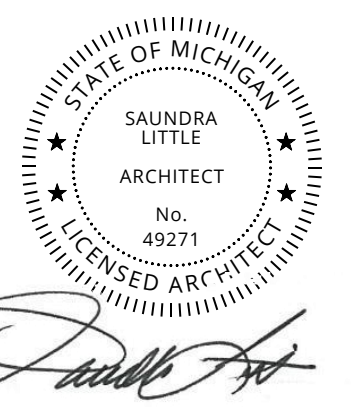
EXISTING CONDITION PHOTOS

GENERAL NOTES

1. THE BLUE BIRD INN IS A BUILDING OF HISTORICAL SIGNIFICANCE. TREAT THE BUILDING RESPECTFULLY. TREAT EXISTING MATERIALS AS IRREPLACEABLE. DO NOT REMOVE, ALTER, DISFIGURE, OR OTHERWISE DAMAGE EXISTING MATERIALS, ELEMENTS, OR FINISHES UNLESS SPECIFICALLY INDICATED HEREIN OR DIRECTED BY THE CONTRACTING OFFICER. PROTECT HISTORIC FINISHES SLATED TO REMAIN FROM DAMAGE.
2. PROTECT EXISTING CONDITIONS TO REMAIN, INCLUDING HISTORIC FINISHES SLATED TO REMAIN, FROM DAMAGE. PROVIDE TEMPORARY ENCLOSURES, PROTECTION AND BARRICADES AS NECESSARY TO PROTECT AND SECURE THE BUILDING.
3. FOR ALL EXISTING INTERIOR WALLS TO REMAIN, CONTRACTOR SHALL REMOVE FINISHES AS WELL AS ALL ATTACHMENTS AND ACCESSORIES IN PREPARATION FOR A NEW WALL FINISH, INCLUDING BUT NOT LIMITED TO ANCOHRS, CLIPS, BRACKETS, REMNANTS OF CEILING GRID, AND WALL CONDUITS
4. VERIFY EXISTING FIELD CONDITIONS AND NOTIFY THE CONTRACTING OFFICER ON INCONSISTENCIES BETWEEN THESE DRAWINGS AND ACTUAL CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION OR DEMOLITION.
5. PROTECT FROM WEATHER ANY OPENING TO THE INTERIOR, EITHER EXISTING OR CREATED DURING DEMOLITION.
6. INFORMATION OBTAINED FROM THIS DRAWING PERTAINING TO EXISTING CONDITIONS HAS BEEN OBTAINED FROM GENERAL FIELD OBSERVATIONS AND MAY NOT INDICATE ACTUAL EXISTING CONDITIONS IN DETAIL OR DIMENSION. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACTUAL EXISTING CONDITIONS PRIOR TO FABRICATION OR PERFORMANCE OF ANY WORK. SHOULD CONDITIONS BE DISCOVERED THAT PREVENT EXECUTION OF THE WORK AS INDICATED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING AND AWAIT DIRECTION BEFORE PROCEEDING WITH THE WORK.
7. ALL ROOMS TO HAVE EXISTING MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT REMOVED.
8. FORMER BAR ADDITION TO HAVE EXISTING FLOORING REMOVED
9. PERFORM SURVEY AND ANALYSIS OF EXISTING BUILDING PRIOR TO COMMENCING WITH DEMOLITION OPERATIONS. DO NOT REMOVE CONSTRUCTION IF APPROPRIATE. TEMPORARY SUPPORTS ARE IN PLACE. GENERAL CONTRACTOR IS FULLY RESPONSIBLE FOR DESIGN AND INSTALLATION OF ALL NECESSARY SHORING AND BRACING OF EXISTING STRUCTURE REQUIRED FOR IMPLEMENTATION OF DESIGN.
10. REMOVAL OF HAZARDOUS MATERIALS SHALL BE COMPLETED BY A SPECIALIST WITH HAZMAT REMEDIATION EXPERIENCE IN HISTORIC BUILDINGS AND STRUCTURES. GENERAL CONTRACTORS SHALL COORDINATE ALL DISCONNECTS AND SHUT OFFS THAT MAY BE REQUIRED FOR DEMOLITION.
11. REMOVE MECHANICAL/HVAC EQUIPMENT SLATED FOR DEMOLITION INCLUDING ALL ASSOCIATED PIPING, RADIATORS, AND DUCTWORK. REMOVE PIPING BACK TO SERVICE ENTRY POINT/METER. COORDINATE EXTENT WITH MECHANICAL/PLUMBING DEMOLITION DRAWINGS.
12. EXPOSED STRUCTURE TO BE INSPECTED AND REPAIRED AS REQUIRED.
13. DEMOLISH ALL UNUSED ROOF AND SOFFIT PENETRATING AND MOUNTED ITEMS SUCH AS, BUT NOT LIMITED TO, WIRING, CONDUIT, PIPES, ELECTRICAL BOXES, ETC.
14. INSPECT CONDITION OF EXISTING CEILING JOISTS. IF UNREPAIRABLE DETERIORATION OR DAMAGE IS OBSERVED, IMMEDIATELY INFORM THE PROJECT ENGINEER IN WRITING AND OBTAIN WRITTEN RESPONSE PRIOR TO PROCEEDING WITH DEMOLITION IN THE AFFECTED AREA, UNLESS IMMEDIATE STABILIZATION IS NEEDED.
15. REFER TO GENERAL NOTES S-001 FOR ADDITIONAL STRUCTURAL INFO.



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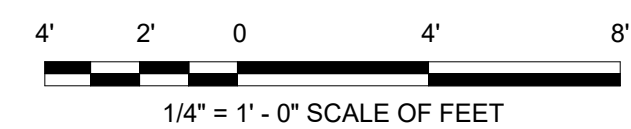
RENOVATION OF HISTORIC BLUE BIRD INN

DETROIT SOUND CONSERVANCY

KEYNOTES	
KEY VALUE	TEXT
02.10	REMOVE ALL FLOORING AND FLOOR BOXES
02.13	REMOVE EXISTING GLASS BLOCK WINDOW
02.14	REMOVE EXISTING DOOR
02.15	REMOVE EXISTING METERS AND ENCLOSURE
02.16	REMOVE EXISTING OVERHEAD BAR SOFFIT
02.17	STRIP DOWN INTERIOR WALLS TO EXISTING MASONRY
02.19	REMOVE EXISTING EXTERIOR CMU WALLS
02.20	REMOVE EXISTING STUD PARTITION
02.21	REMOVE EXISTING DOOR TRIM TO PREP FOR CMU INFILL
02.22	EXISTING GLASS BLOCK TO REMAIN
02.29	REMOVE EXISTING COLUMN. SEE STRUCTURAL SHEETS FOR ADDITIONAL SCOPE (TYP.)

DEMOLITION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING DOOR TO REMAIN
- ITEM / CONSTRUCTION TO BE REMOVED, SALVAGED OR REINSTALLED
- DOOR TO BE REMOVED, SALVAGED OR REINSTALLED
- EXTENT OF SLAB/FLOOR REMOVAL

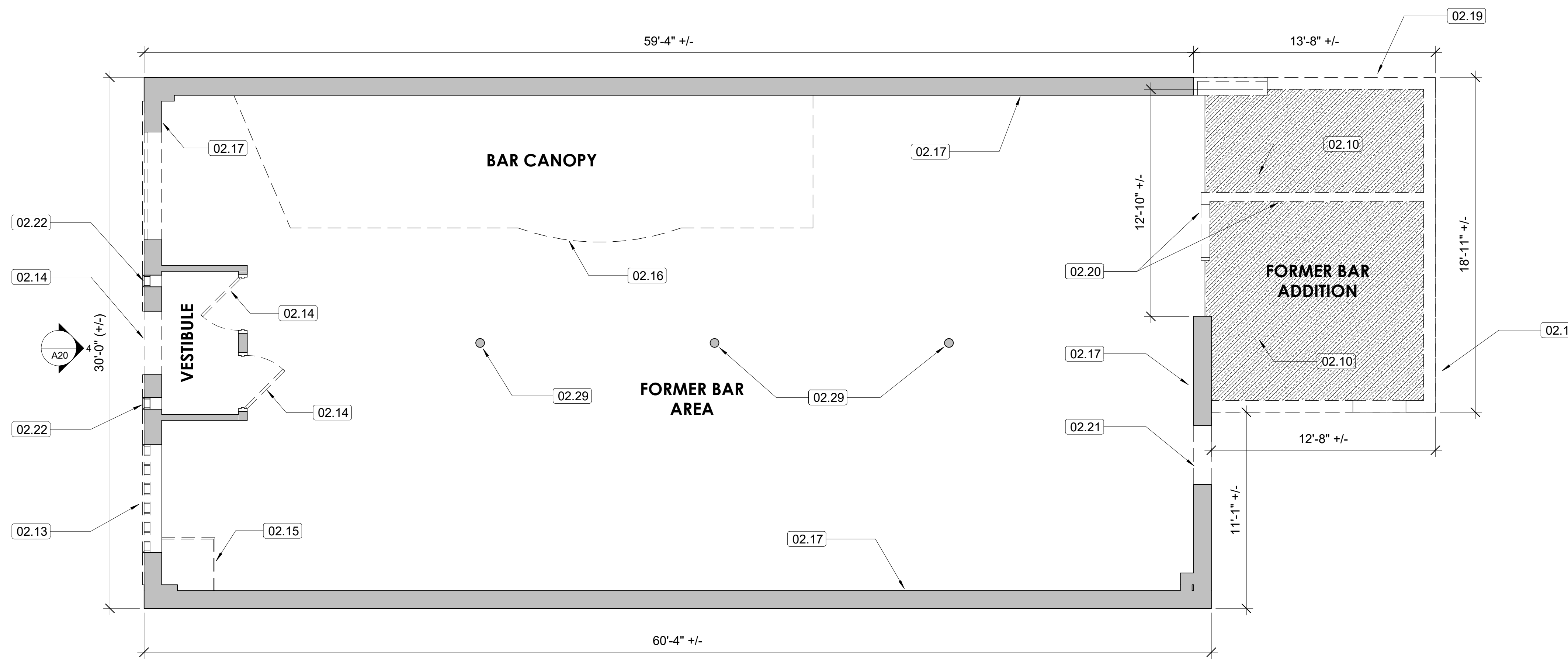


No.	Date	Description
DT		PROJECT MANAGER:
		DRAWN BY: KP/LH/SR

PERMIT / BID SET
03/10/2023

DEMOLITION PLAN

AD01



1 LEVEL 1 DEMOLITION PLAN

AD01 1/4" = 1'-0" REFERRED FROM: A14

PATH & FILENAME: AutodesK Docs/The Blue Bird Inn/410158510_TheBlueBirdInn_R22.rvt
 PLOTTING DATE & TIME: 3/10/2023 9:35:37 PM

THIS SHEET IS FOR BID ALTERNATE ONLY FOR DESIGN BUILD
 BIDDING CONTRACTORS SHALL USE THIS SHEET AS A BIDDING ALTERNATIVE TO SHEET A12. SHOULD THE OWNER SELECT THIS PLAN ALTERNATIVE, THE AWARDED CONTRACTOR AND SUBCONTRACTOR SHALL PROVIDE A FINAL DESIGN AND CONSTRUCTION DOCUMENT(S) FOR THIS BID ALTERNATIVE. COORDINATE WITH STRUCTURAL AND MEP SHEETS

- ### GENERAL NOTES
- WORK IS NEW UNLESS INDICATED OTHERWISE. DO NOT SCALE PRINTS. USE FIGURED DIMENSIONS ONLY. FIELD VERIFY ALL EXISTING BUILDING DIMENSIONS, PARTITIONS, WALL LOCATIONS, AND FLOOR ELEVATIONS.
 - PROTECT EXISTING CONSTRUCTION TO REMAIN. PREP SURFACES TO RECEIVE NEW FINISH; REFER TO ROOM FINISH SCHEDULE. DIMENSIONS ARE TO FINISH FACE UNLESS INDICATED OTHERWISE.
 - ALL DIMENSIONS PROCEEDED BY A +/- SHALL BE REVIEWED AND ALL NECESSARY ADJUSTMENTS MADE PRIOR TO FABRICATION AND/OR INSTALLATION OF AFFECTED WORK.
 - DOOR OPENING LOCATIONS TO BE 4" OFF FINISH OF ADJACENT WALL OR CENTERED ON WALL UNLESS OTHERWISE INDICATED.
 - INTERIOR PARTITIONS TO BE:
 - TYPE S1 UNLESS INDICATED OTHERWISE.
 - TYPE S2A FURRING, TYPICAL AT EXISTING MASONRY WALL.
 - TYPE S2B FURRING, TYPICAL AT NEW ADDITION MASONRY WALLS.
 - ALIGN WITH ADJACENT CONSTRUCTION WHERE SHOWN.
 - ALL NEW WALL PARTITIONS TO EXTEND TO UNDERSIDE OF FLOOR CONSTRUCTION ABOVE. IN LOCATIONS OF EXPOSED CEILINGS, MODIFY EXISTING PERIMETER PARTITIONS TO BE EXTENDED TO UNDERSIDE OF FLOOR CONSTRUCTION ABOVE. TAPE, SPACKLE, AND SAND JOINTS.
 - INFILL AND LEVEL EXISTING SLAB AS NEEDED FOR NEW FLOOR FINISH.
 - PATCH AND ACOUSTICALLY SEAL AROUND ANY OPENINGS FOR WALL PENETRATIONS CREATED BY MEP. COORDINATE WITH MECHANICAL, PLUMBING & ELECTRICAL DRAWINGS. PREP AND PRIME ALL INTERIOR WALLS FOR NEW FINISH. REFER TO INTERIOR ROOM FINISH.

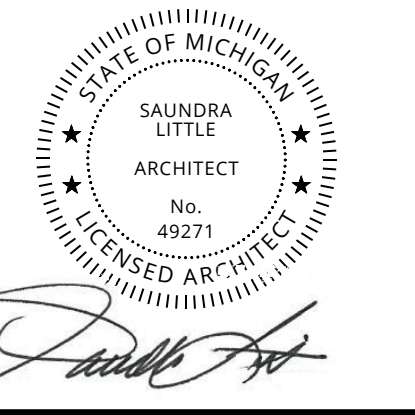


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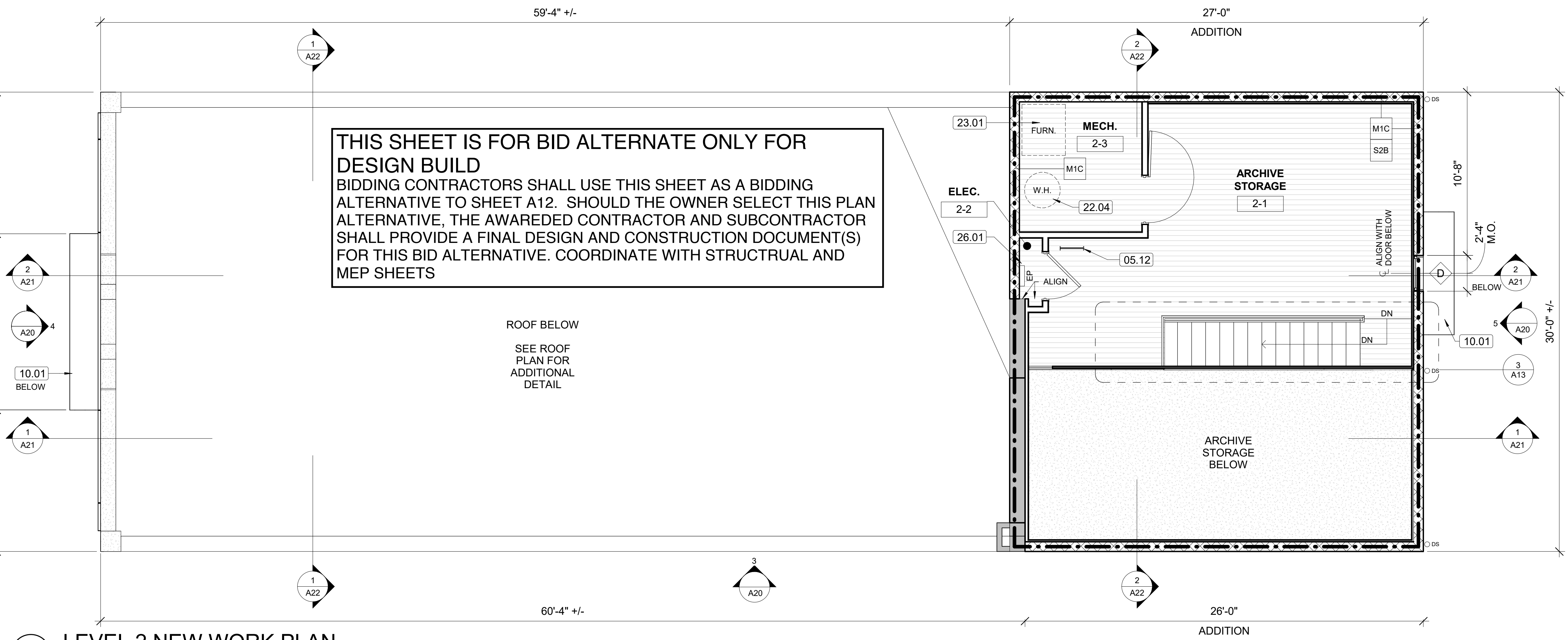
KEYNOTES

KEY VALUE	TEXT
03.06	CMU INFILL
05.12	NEW STEEL COLUMNS. SEE STRUCTURAL FOR ADDITIONAL SCOPE
10.01	ENTRANCE CANOPY, REFER TO STRUCTURAL DRAWINGS.
22.04	PROVIDE AND INSTALL WATER HEATER, REFER TO MEP DRAWINGS
23.01	FURNACE UNIT, COORDINATE WITH MECHANICAL DRAWINGS
26.01	PROVIDE AND INSTALL ELECTRICAL DRAWINGS

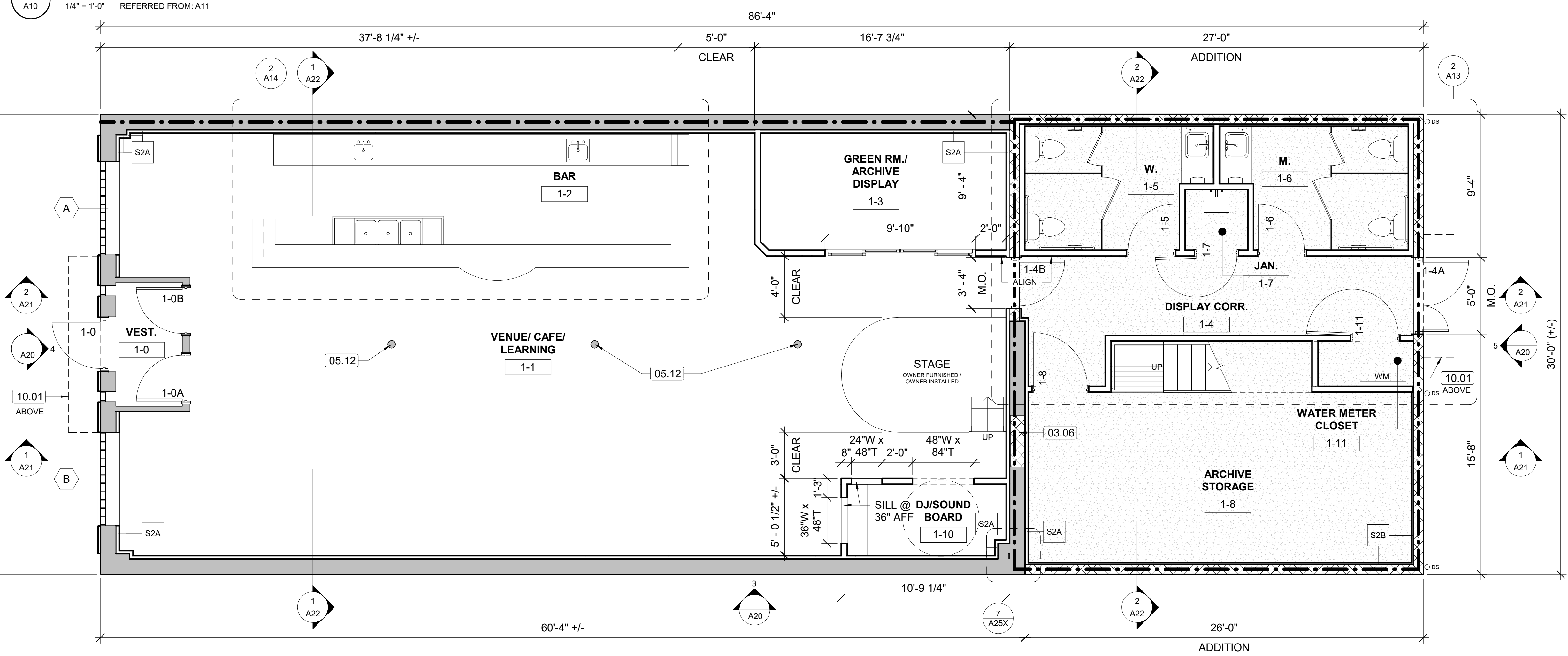


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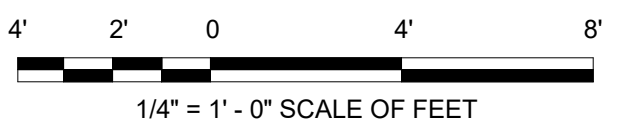
2 LEVEL 2 NEW WORK PLAN
 1/4" = 1'-0" REFERRED FROM: A11



1 LEVEL 1 NEW WORK PLAN
 1/4" = 1'-0" REFERRED FROM: A14

LEGEND

	EXISTING CONSTRUCTION TO REMAIN
	WALL / PARTITION
	ROOF PADS
	GUTTER
	DOWNSPOUT
	2 HR RATED WALL



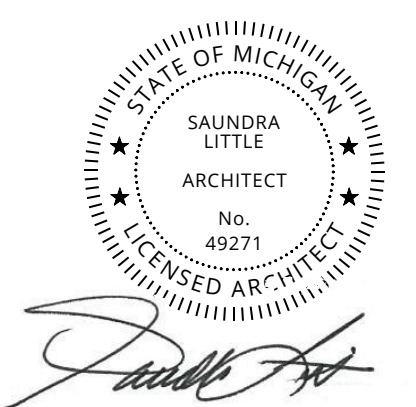
No.	Date	Description
DT		KP/LH/SR

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NEW WORK FLOOR PLANS

ALT A10

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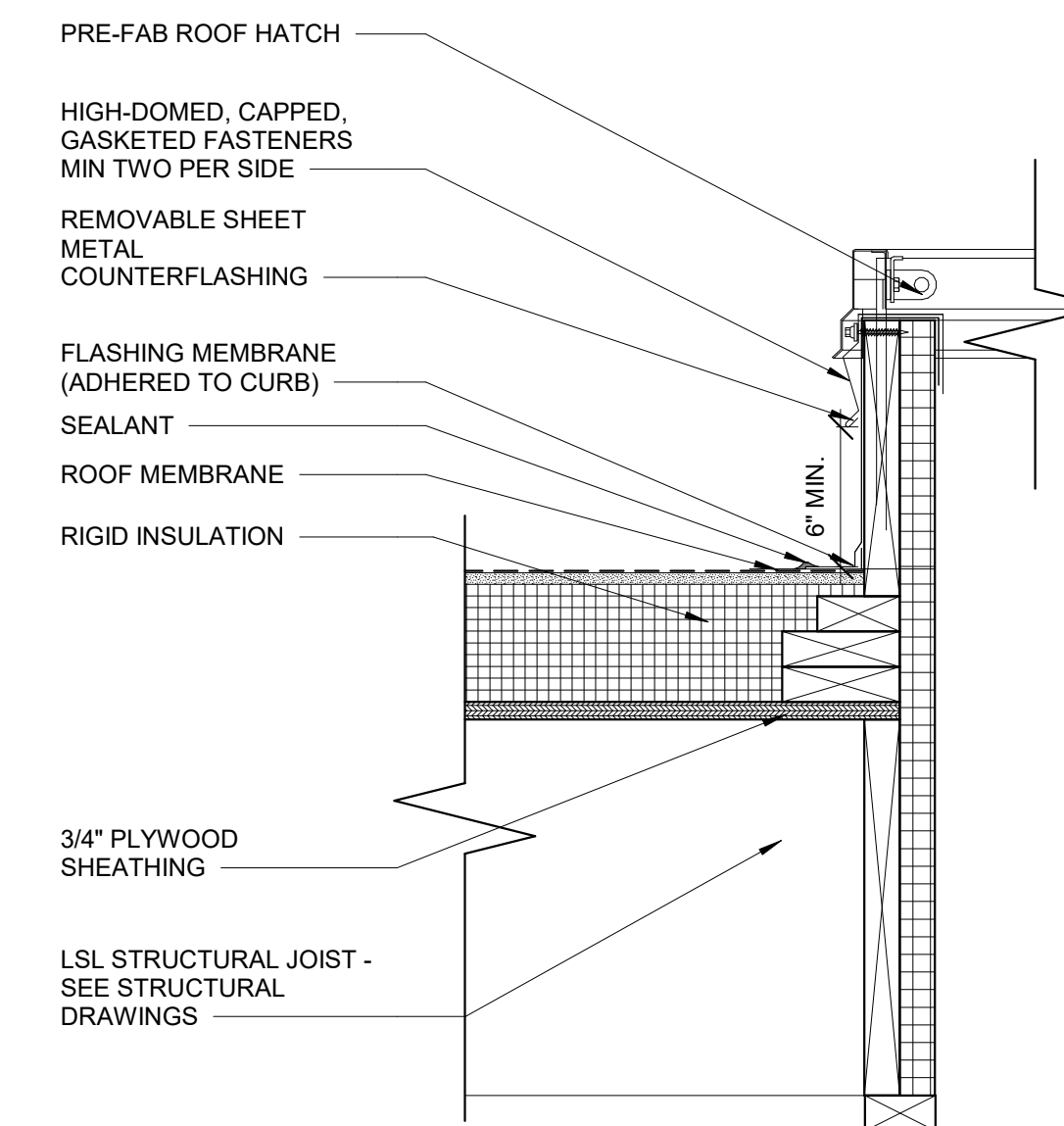


RENOVATION OF HISTORIC BLUE BIRD INN

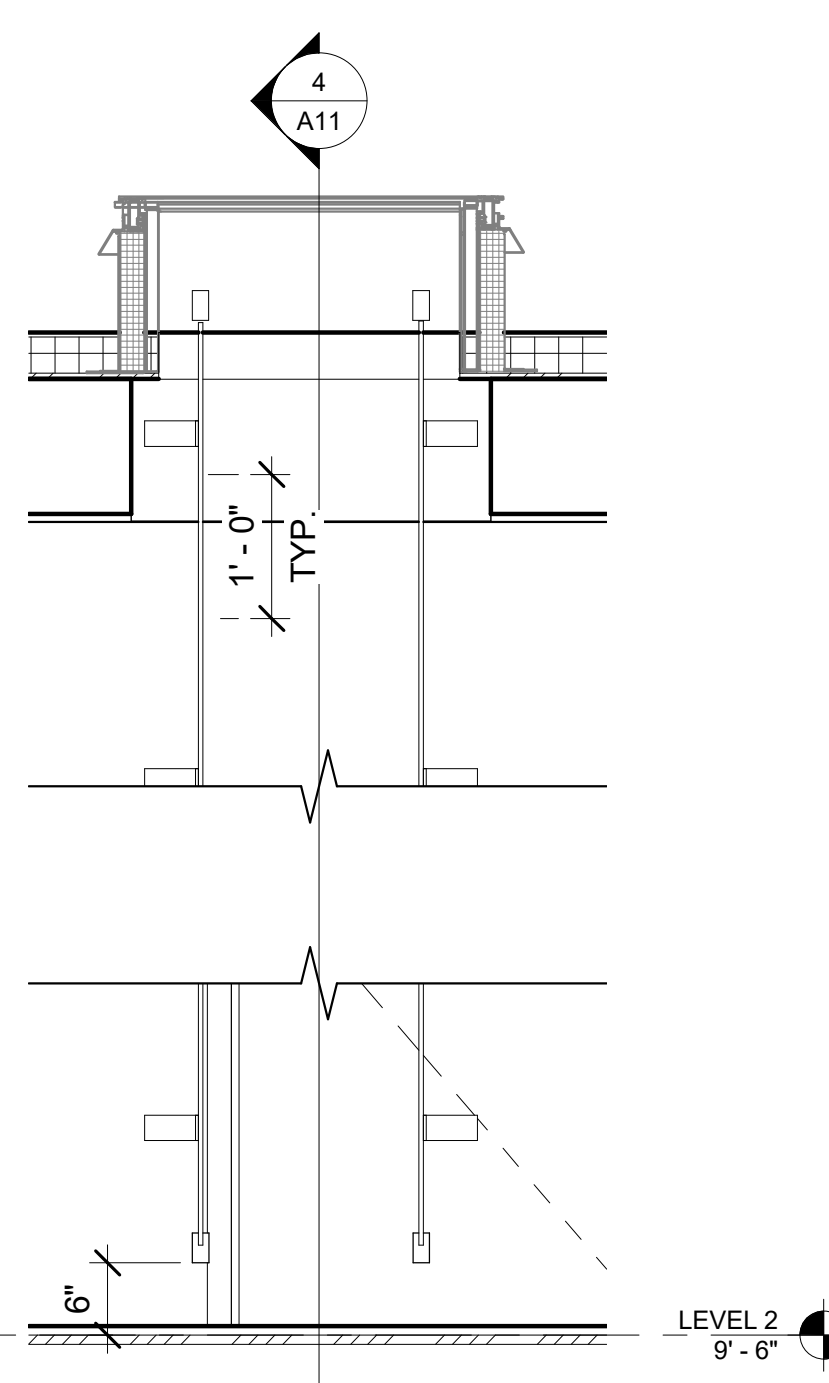
DETROIT SOUND CONSERVANCY

GENERAL NOTES

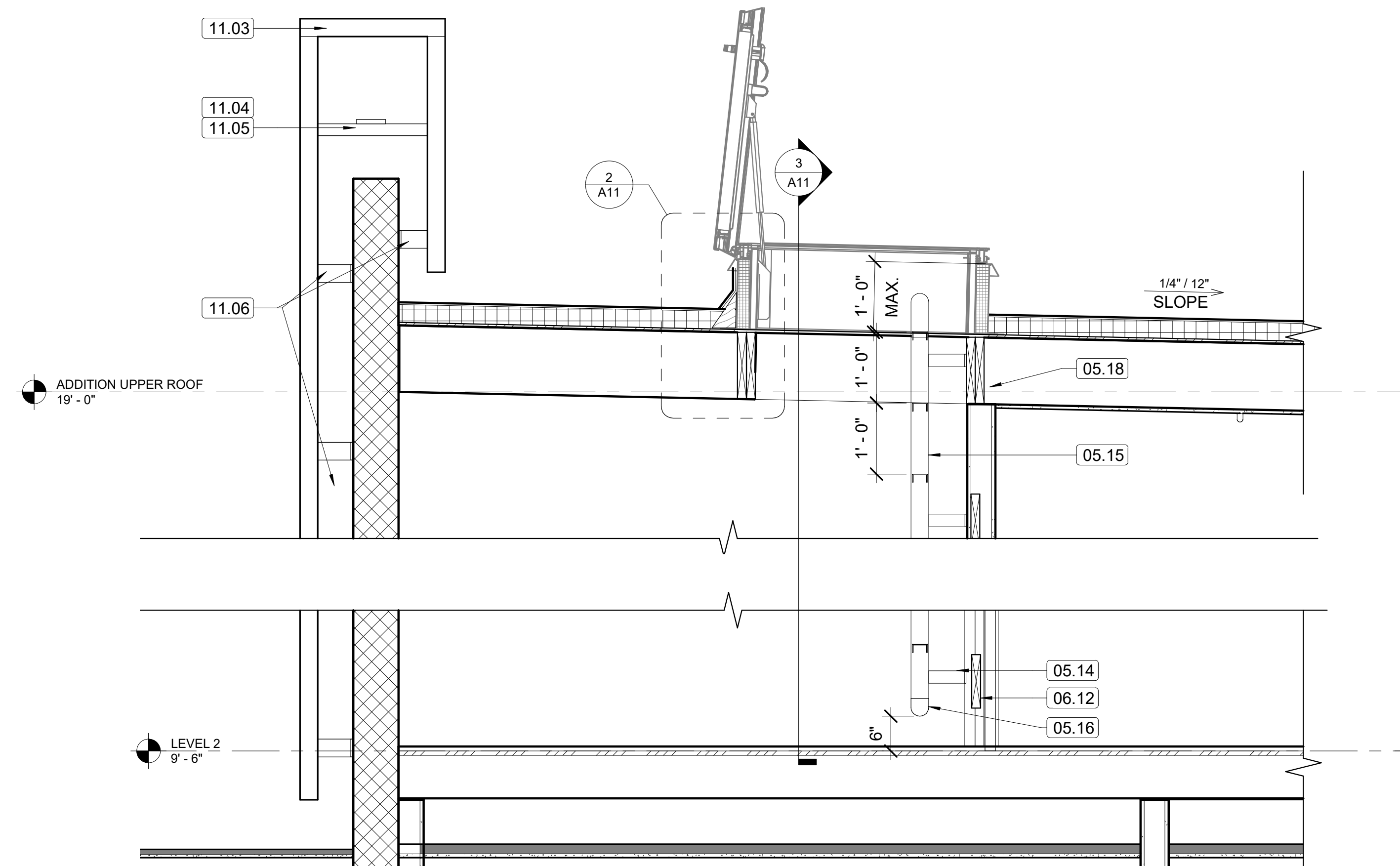
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2. DO NOT SCALE PRINTS. USE FIGURED DIMENSIONS ONLY. FIELD VERIFY ALL EXISTING BUILDING DIMENSIONS, PARTITIONS, WALL LOCATIONS, AND FLOOR ELEVATIONS. DIMENSION ARE TO FINISH FACE UNLESS INDICATED OTHERWISE.
3. ALL DIMENSIONS PROCEEDED BY A +/- SHALL BE REVIEWED AND ALL NECESSARY ADJUSTMENTS MADE PRIOR TO FABRICATION AND/OR INSTALLATION OF AFFECTED WORK. REFER TO 2/A20 FOR FACADE REPAIR SCOPE.



2 ROOF HATCH DETAIL
1 1/2" = 1'-0" REFERRED FROM: A11

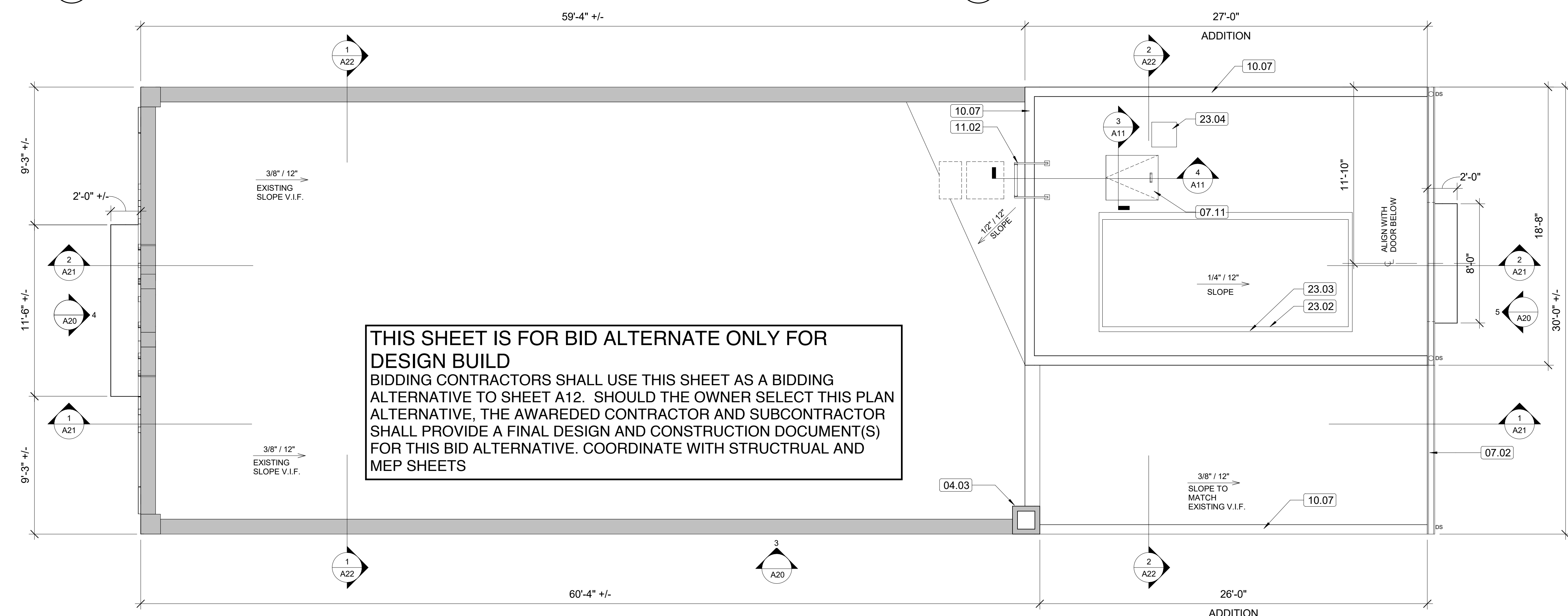


3 ROOF HATCH AND LADDER ACCESS SECTION 1
3/4" = 1'-0" REFERRED FROM: A11



4 ROOF HATCH AND LADDER ACCESS SECTION
3/4" = 1'-0" REFERRED FROM: A11

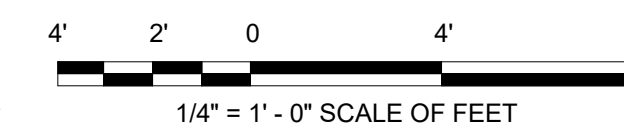
KEYNOTES	
KEY VALUE	TEXT
04.03	CHIMNEY
05.14	4 1/2" X 1/4" BENT ALUM. PLATE CLIP@ 4'-0" O.C.
05.15	2 1/2" ALUM CHANNEL SIDE RAILS
05.16	1/8" MOLDED POLYURETHANE SAFETY CAPS TOP & BOTTOM
05.18	STRUCTURAL BEAM. REFER TO STRUCTURAL DRAWINGS
06.12	PROVIDE BLOCKING IN WALL AT ALL LADDER CONNECTION POINTS. CLIP ANCHOR BLOCKING TO STUD EACH SIDE
07.02	6" ALUMINUM GUTTERS
07.11	2'-6" X 3'-0" BILCO TYPE "S" ACCESS HATCH OR APPROVED EQUAL
10.07	PROVIDE METAL COPING AT THE PARAPET OF BUILDING ADDITION TO MATCH EXISTING COPING
11.02	LOW ROOF FIXED ACCESS LADDER
11.03	LADDER RAIL PLAT 3/8" X 3"
11.04	3/4" BAR GRATING X 12" WIDE
11.05	L2" X2" X 1/4"
11.06	BENT PLATE 3/8" X 3" WITH 5/8" DIAMETER THREADED ROD EPOXY GROUTED WITH 4" EMBEDMENT INTO MASONRY
23.02	RTU-ERV-1, COORDINATE WITH MECHANICAL DRAWINGS
23.03	18" HIGH INSULATED ROOF CURB, COORDINATE WITH MECHANICAL DRAWINGS
23.04	EXHAUST FAN (PROVIDE MIN. 14" HIGH INSULATED ROOF CURB), COORDINATE WITH MECHANICAL DRAWINGS



1 ROOF PLAN
1/4" = 1'-0" REFERRED FROM: A11

LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- WALL / PARTITION
- ROOF PADS
- GUTTER
- DOWNSPOUT
- 2 HR RATED WALL



No.	Date	Description
DT		KP/LH/SR

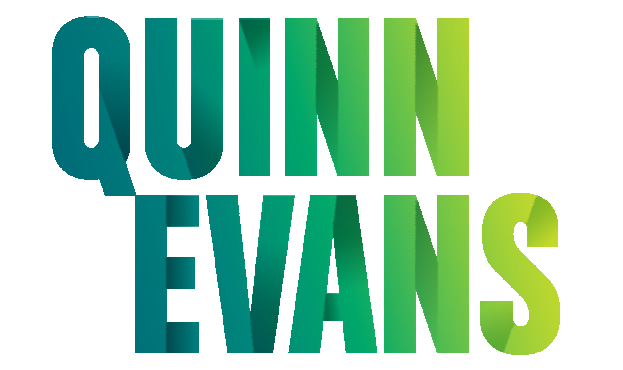
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ROOF PLAN

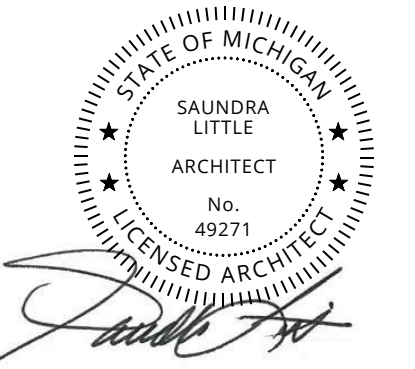
ALT A11

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3. PROTECT EXISTING CONSTRUCTION TO REMAIN. REFER TO ROOM FINISH SCHEDULE. PREP SURFACES TO RECEIVE NEW FINISH; INDICATED OTHERWISE.
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5. DOOR OPENING LOCATIONS TO BE 4" OFF FINISH OF ADJACENT WALL OR CENTERED ON WALL UNLESS OTHERWISE INDICATED.
6. INTERIOR PARTITIONS TO BE:
 - A. TYPE S1 UNLESS INDICATED OTHERWISE.
 - B. TYPE S2A FURRING, TYPICAL AT EXISTING MASONRY WALL.
 - C. TYPE S2B FURRING, TYPICAL AT NEW ADDITION MASONRY WALLS.
 - D. ALIGNED WITH ADJACENT CONSTRUCTION WHERE SHOWN.
7. ALL NEW WALL PARTITIONS TO EXTEND TO UNDERSIDE OF FLOOR CONSTRUCTION ABOVE. IN LOCATIONS OF EXPOSED CEILINGS, MODIFY EXISTING PERIMETER PARTITIONS TO BE EXTENDED TO UNDERSIDE OF FLOOR CONSTRUCTION ABOVE. TAPE, SPACKLE, AND SAND JOINTS.
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RENOVATION OF HISTORIC BLUE BIRD INN

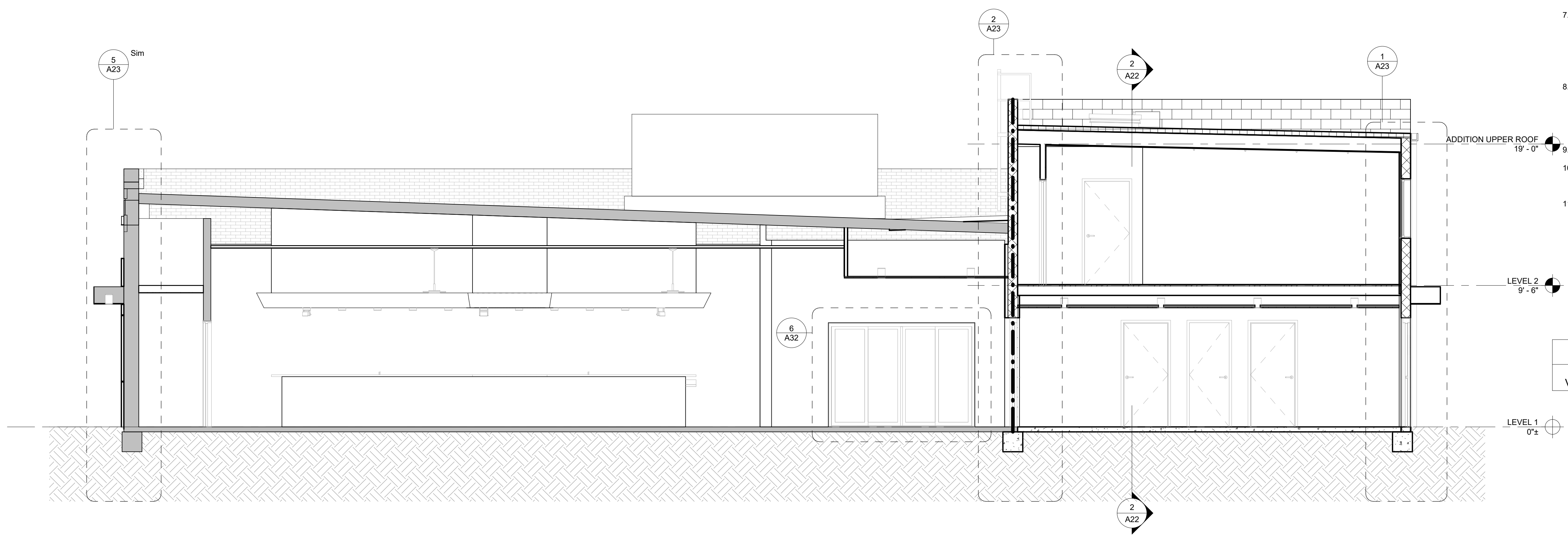
DETROIT SOUND CONSERVANCY

No.	Date	Description
PROJECT MANAGER:		DRAWN BY:
DT		KP/LH/SR

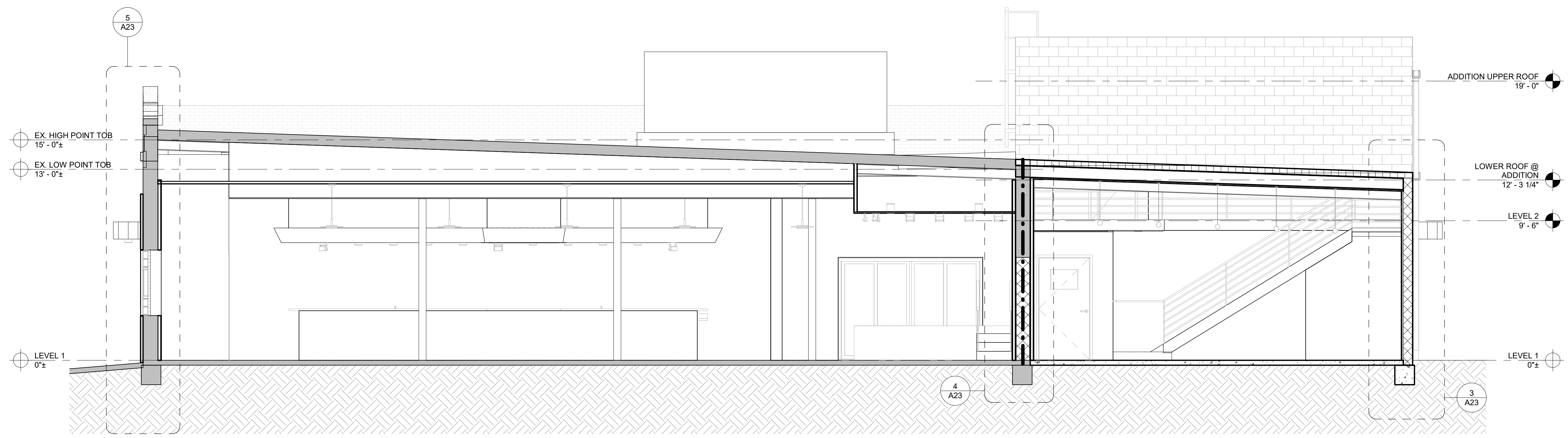
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BUILDING SECTIONS

A21



2 NORTH/SOUTH BUILDING SECTION @ TWO STORY ADDITION
1/4" = 1'-0" REFERRED FROM: A10



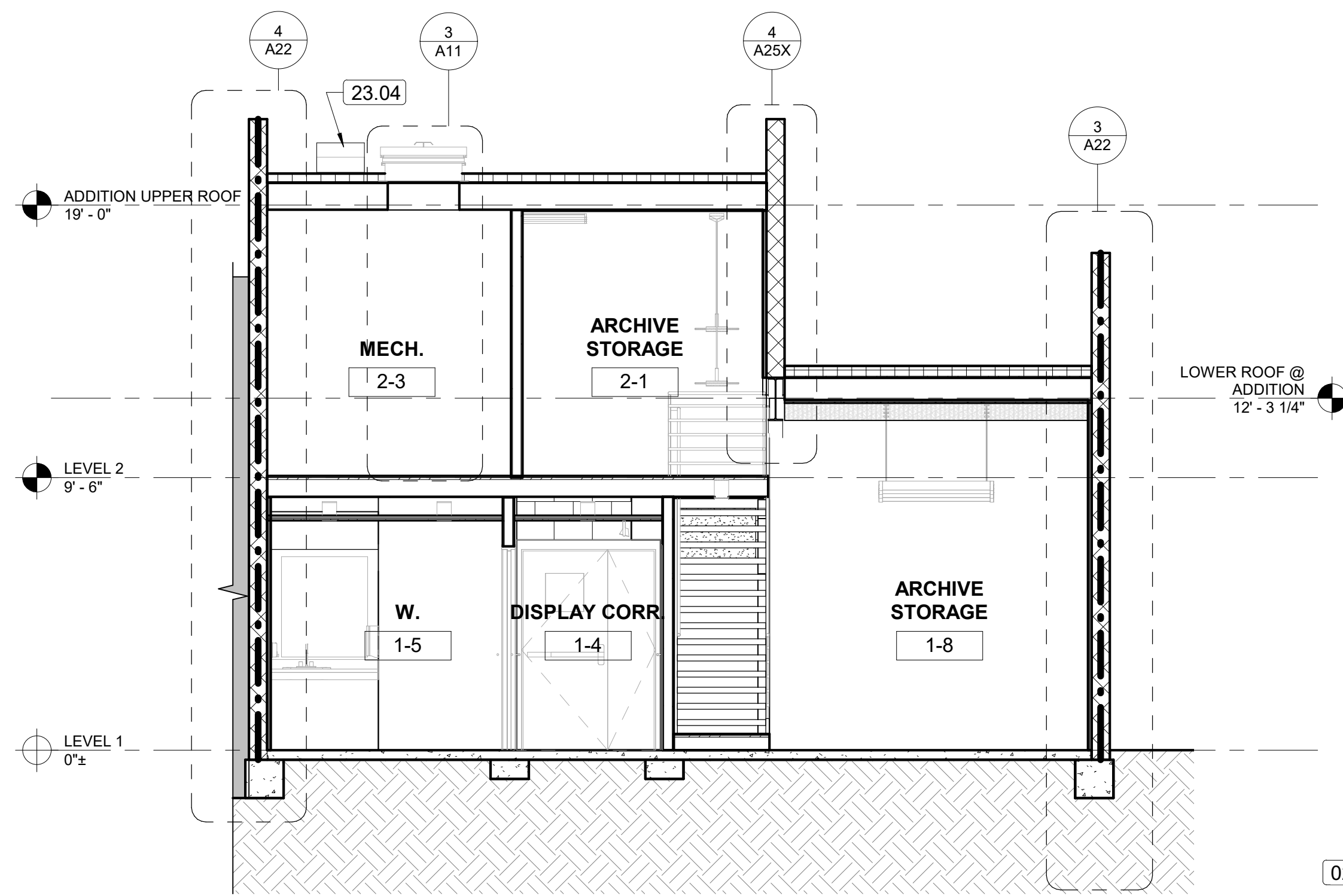
1 NORTH/SOUTH BUILDING SECTION @ SINGLE STORY ADDITION
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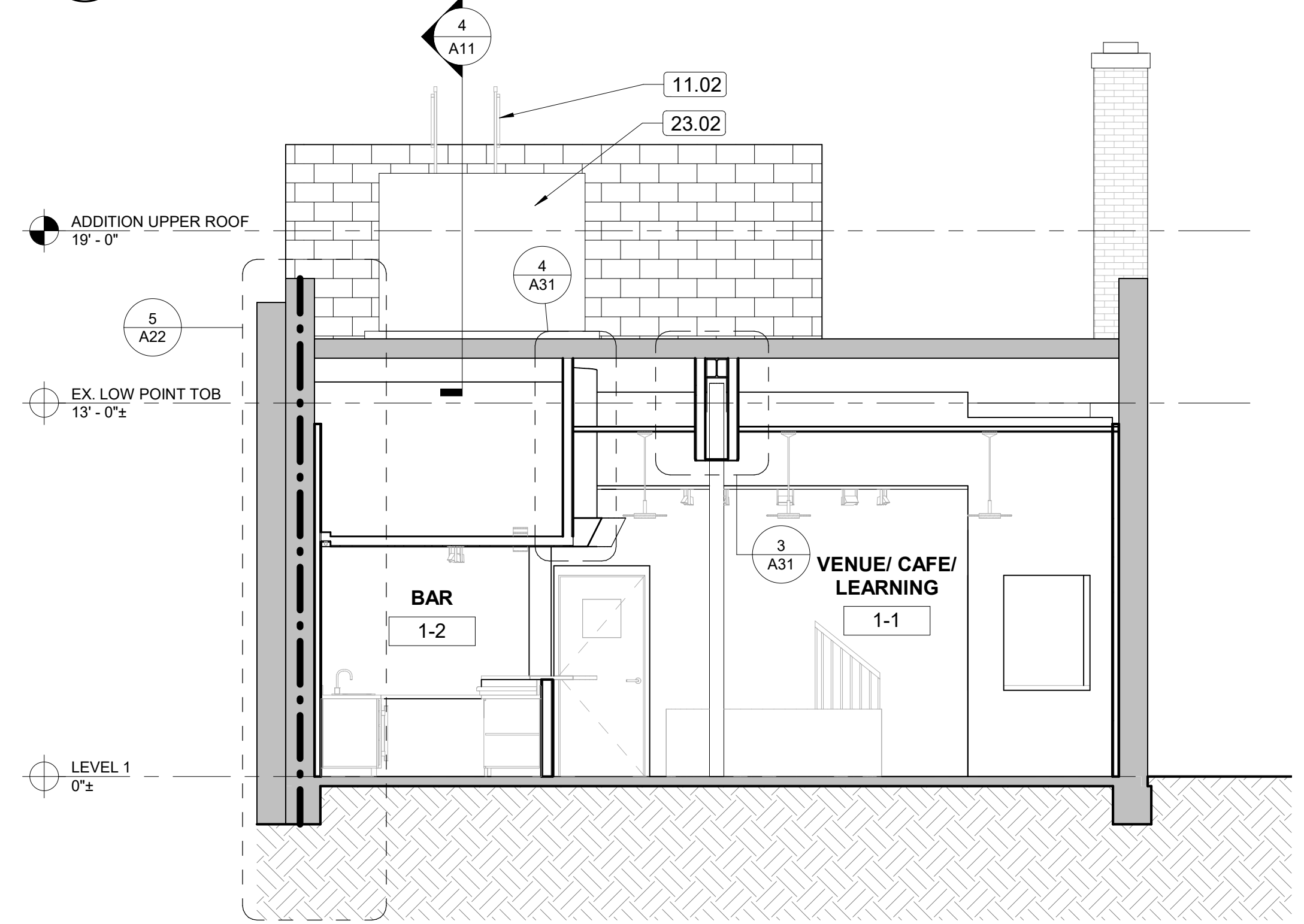
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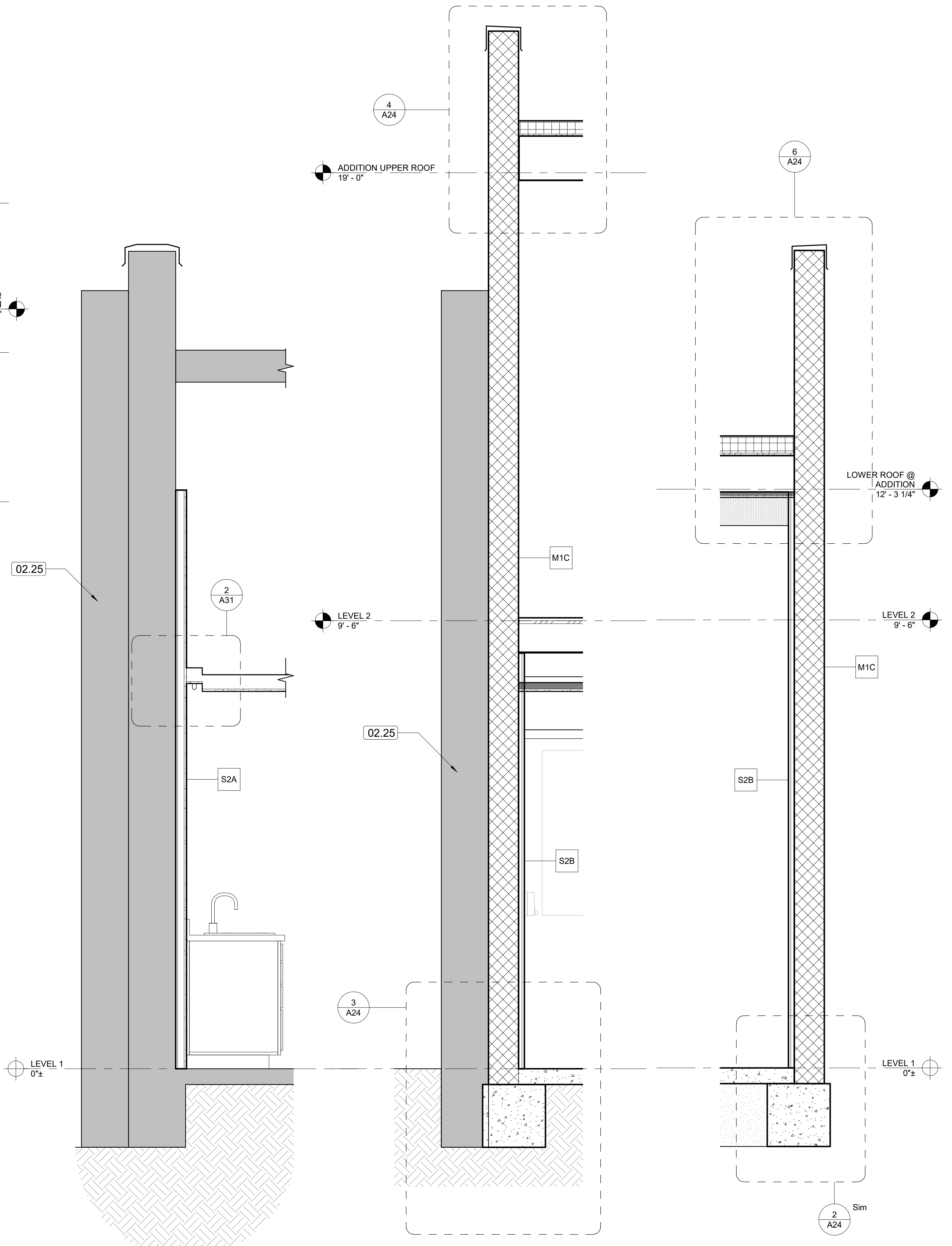
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3/10/2023 9:35:29 PM
PLOT DATE & TIME:



1 EAST/WEST BUILDING SECTION @ ADDITION
1/4" = 1'-0" REFERRED FROM: A10



2 EAST/WEST BUILDING SECTION @ ADDITION
1/4" = 1'-0" REFERRED FROM: A10



3 WALL SECTION
3/4" = 1'-0" REFERRED FROM: A22

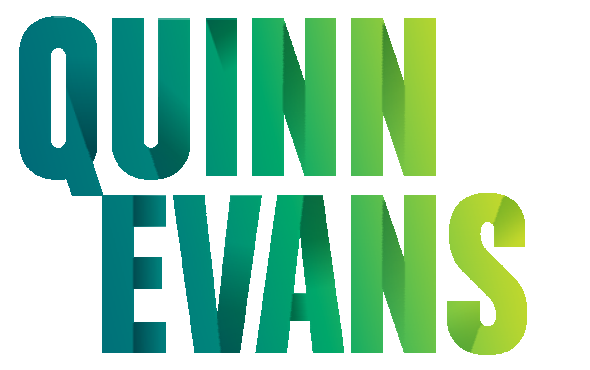
4 WALL SECTION
3/4" = 1'-0" REFERRED FROM: A22

5 WALL SECTION
3/4" = 1'-0" REFERRED FROM: A22

GENERAL NOTES

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 - TYPE S2B FURRING, TYPICAL AT NEW ADDITION MASONRY WALLS.
 - ALIGNED WITH ADJACENT CONSTRUCTION WHERE SHOWN.
- ALL NEW WALL PARTITIONS TO EXTEND TO UNDERSIDE OF FLOOR CONSTRUCTION ABOVE. IN LOCATIONS OF EXPOSED CEILINGS, MODIFY EXISTING PERIMETER PARTITIONS TO BE EXTENDED TO UNDERSIDE OF FLOOR CONSTRUCTION ABOVE. TAPE, SPACKLE, AND SAND JOINTS.
- INFILL AND LEVEL EXISTING SLAB AS NEEDED FOR NEW FLOOR FINISH.
- PATCH AND ACOUSTICALLY SEAL AROUND ANY OPENINGS FOR WALL PENETRATIONS CREATED BY MEP. COORDINATE WITH MECHANICAL, PLUMBING & ELECTRICAL DRAWINGS. PREP AND PRIME ALL INTERIOR WALLS FOR NEW FINISH. REFER TO INTERIOR ROOM FINISH.

KEYNOTES	
KEY VALUE	TEXT
02.25	EXISTING NEIGHBORING STRUCTURE
11.02	LOW ROOF FIXED ACCESS LADDER
23.02	RTU-ERV-1, COORDINATE WITH MECHANICAL DRAWINGS
23.04	EXHAUST FAN (PROVIDE MIN. 14" HIGH INSULATED ROOF CURB), COORDINATE WITH MECHANICAL DRAWINGS



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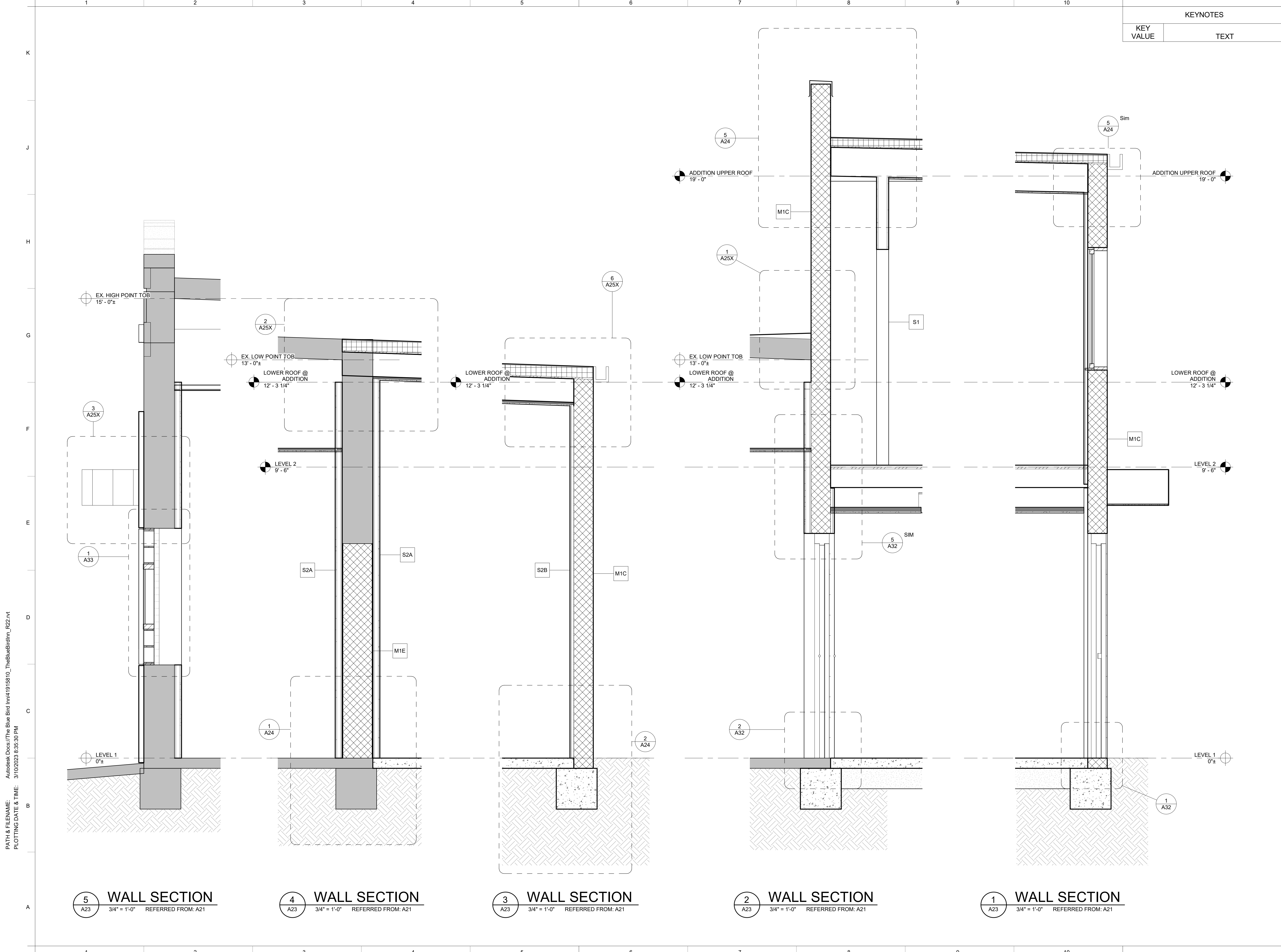
RENOVATION OF HISTORIC BLUE BIRD INN
DETROIT SOUND CONSERVANCY

No.	Date	Description
PROJECT MANAGER:		DRAWN BY:
DT		KP/LH/SR

PERMIT / BID SET
03/10/2023

BUILDING & WALL SECTIONS

A22



KEYNOTES	
KEY VALUE	TEXT

5 WALL SECTION
A23 3/4" = 1'-0" REFERRED FROM: A21

4 WALL SECTION
A23 3/4" = 1'-0" REFERRED FROM: A21

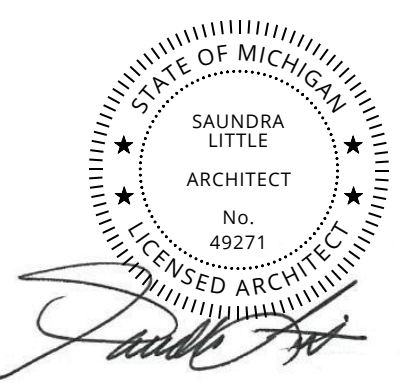
3 WALL SECTION
A23 3/4" = 1'-0" REFERRED FROM: A21

2 WALL SECTION
A23 3/4" = 1'-0" REFERRED FROM: A21

1 WALL SECTION
A23 3/4" = 1'-0" REFERRED FROM: A21



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RENOVATION OF HISTORIC BLUE BIRD INN

DETROIT SOUND CONSERVANCY

No.	Date	Description
PROJECT MANAGER:		DRAWN BY:
DT		KP/LH/SR

PERMIT / BID SET
03/10/2023

WALL SECTIONS

A23

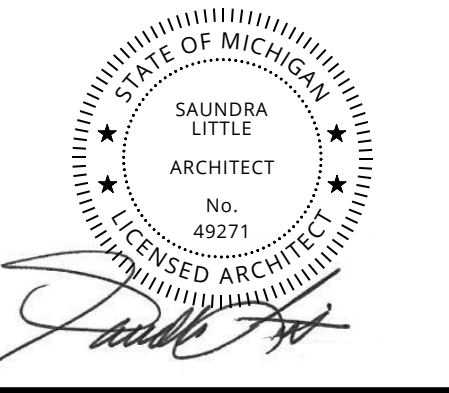
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KEYNOTES	
KEY VALUE	TEXT
02.25	EXISTING NEIGHBORING STRUCTURE
02.27	EXISTING FOUNDATION. V.I.F.
02.28	EXISTING SLAB ON GRADE. REFER TO STRUCTURAL DWGS.
03.02	8" HOLLOW CMU
03.03	SLAB ON GRADE. REFER TO STRUCTURAL PLAN
03.04	CONC. FOOTING REINFORCEMENT. REFER TO STRUCTURAL PLAN
03.05	8" GROUT COURSE CMU
04.04	DOWEL MASONRY INTO FOOTING. REFER TO STRUCTURAL DWGS.
05.07	1 1/2" METAL FRAMING STUD
05.08	1/2" EXP. ANCHORS. REFER TO STRUCTURAL DWGS.
05.09	SIMPSON DTC CLIP. REFER TO STRUCTURAL DWGS.
05.10	SLOPING METAL COPING CAP
05.20	3 1/2" METAL FRAMING STUD
06.04	ONE LAYER OF 3/8" PLYWOOD SHEATHING. REFER TO STRUCTURAL DWGS
06.05	WOOD ROOF JOISTS. REFER TO STRUCTURAL DWGS
06.07	LADDER FRAMING. REFER TO STRUCTURAL DWGS
06.08	PRESSURE TREATED RIM JOIST. REFER TO STRUCTURAL DWGS
06.09	WOOD NAILER WITH ANCHOR BOLTS
06.10	WOOD KANT
07.01	EPDM ROOFING
07.05	4" THICK RIGID INSULATION, ADHERE TO PLYWOOD SHEATHING
07.06	6 MILS VAPOR BARRIER
07.07	1" THICK RIGID INSULATION
07.08	R10 RIGID INSULATION
07.09	EXTENDED ROOFING MEMBRANE TO EXTERIOR, UNDERSIDE OF THE SHEET METAL COPING
07.10	2" THICK RIGID INSULATION
09.05	5/8" GYPSUM WALL BOARD. REFER TO FINISH SCHEDULE FOR FINISH APPLICATION
10.03	SIMPSON HANGER TYP. REFER TO STRUCTURAL DWGS.
10.04	1/2" EXPANSION JOINT



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RENOVATION OF HISTORIC BLUE BIRD INN

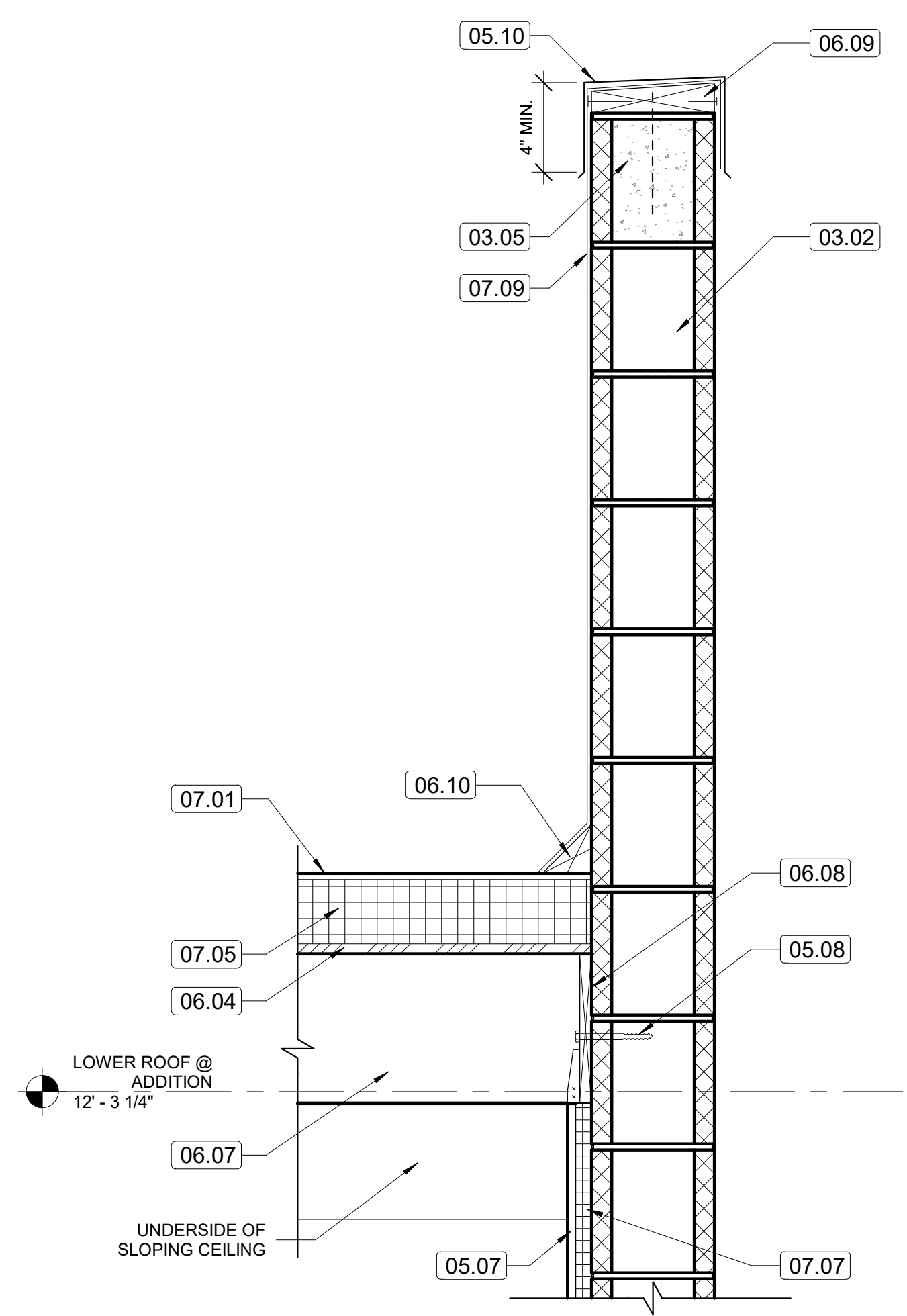
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No.	Date	Description
PROJECT MANAGER:		DRAWN BY:
DT		KP/LH/SR

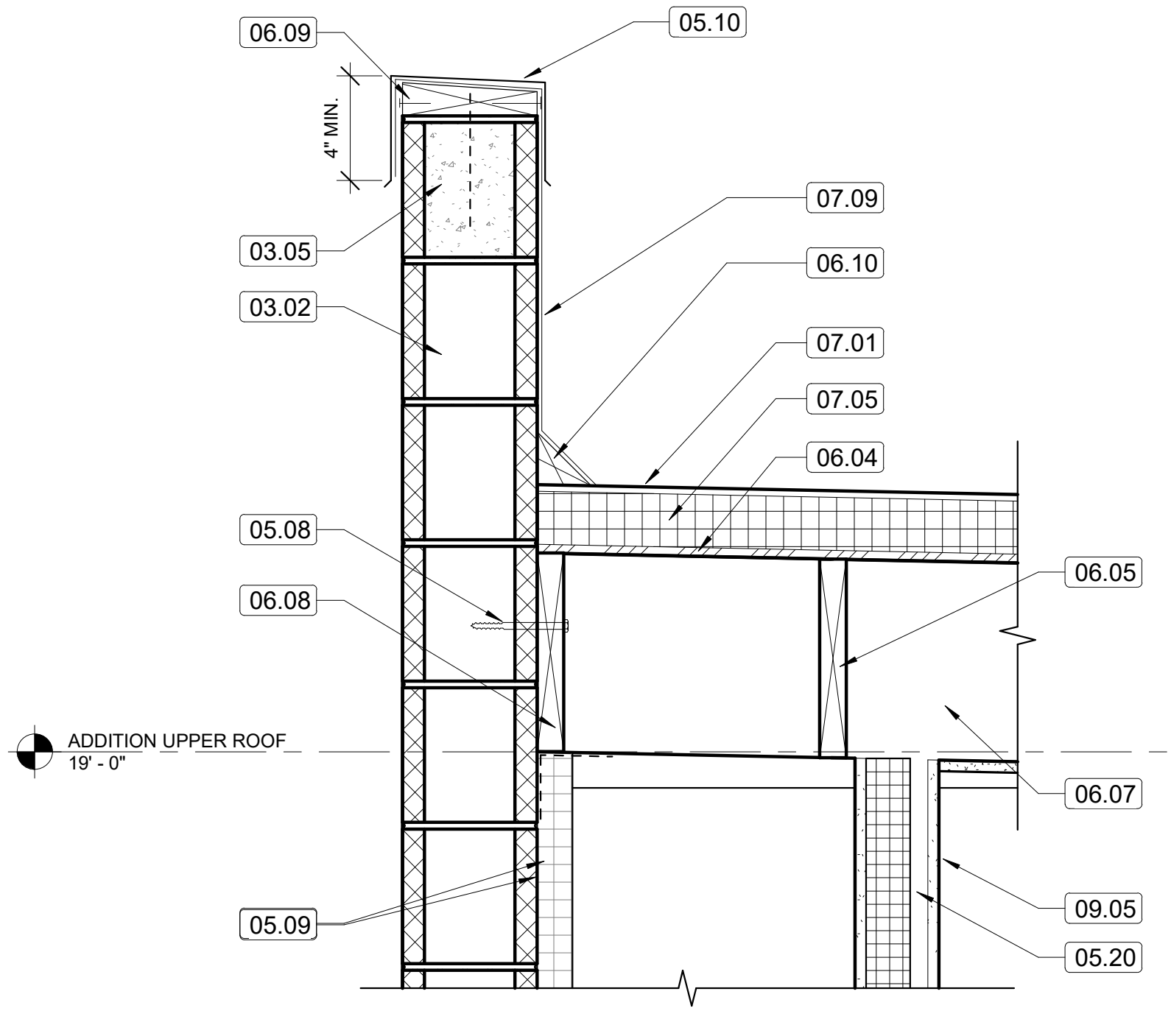
PERMIT / BID SET
03/10/2023

EXTERIOR DETAILS

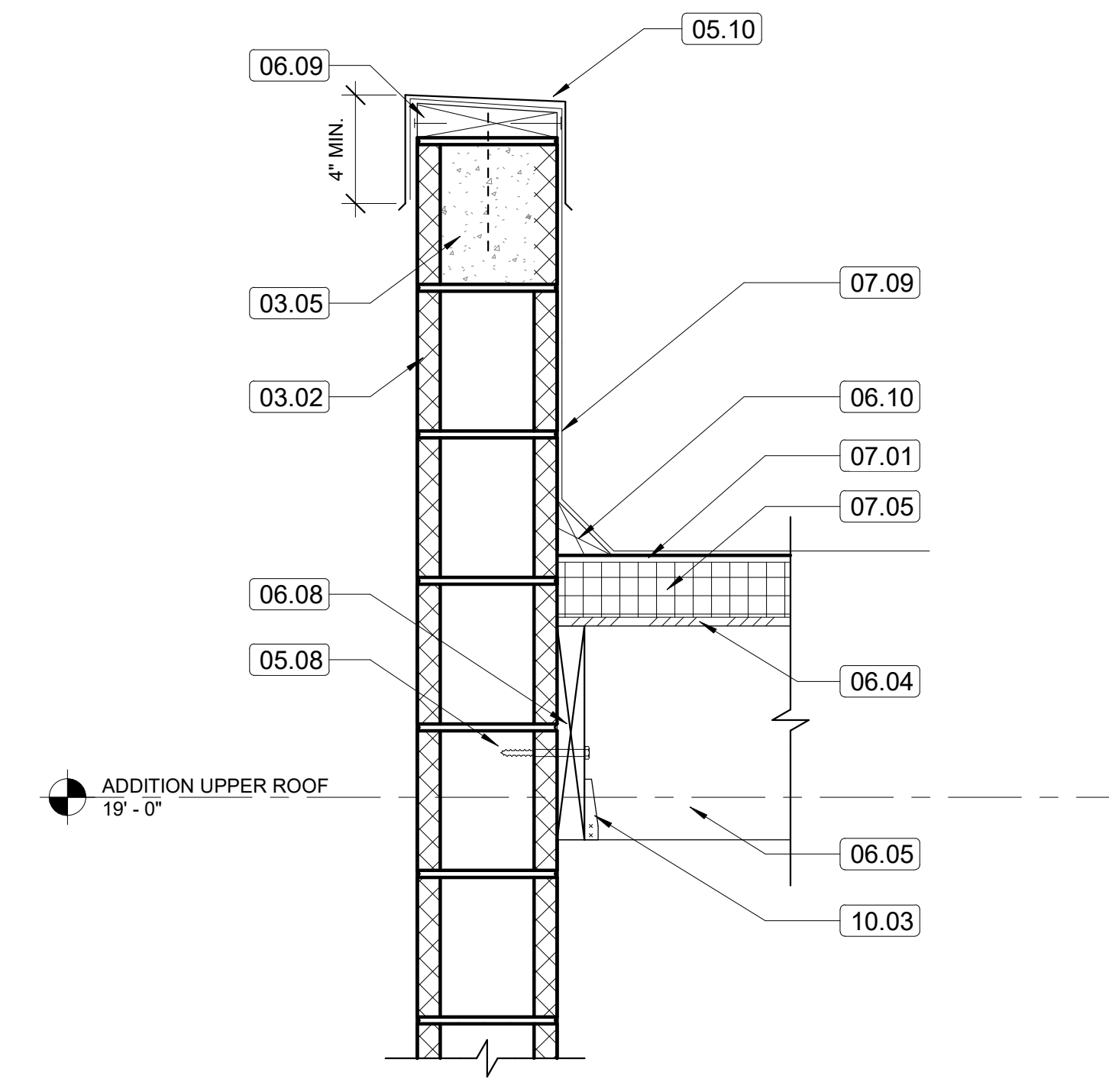
A24



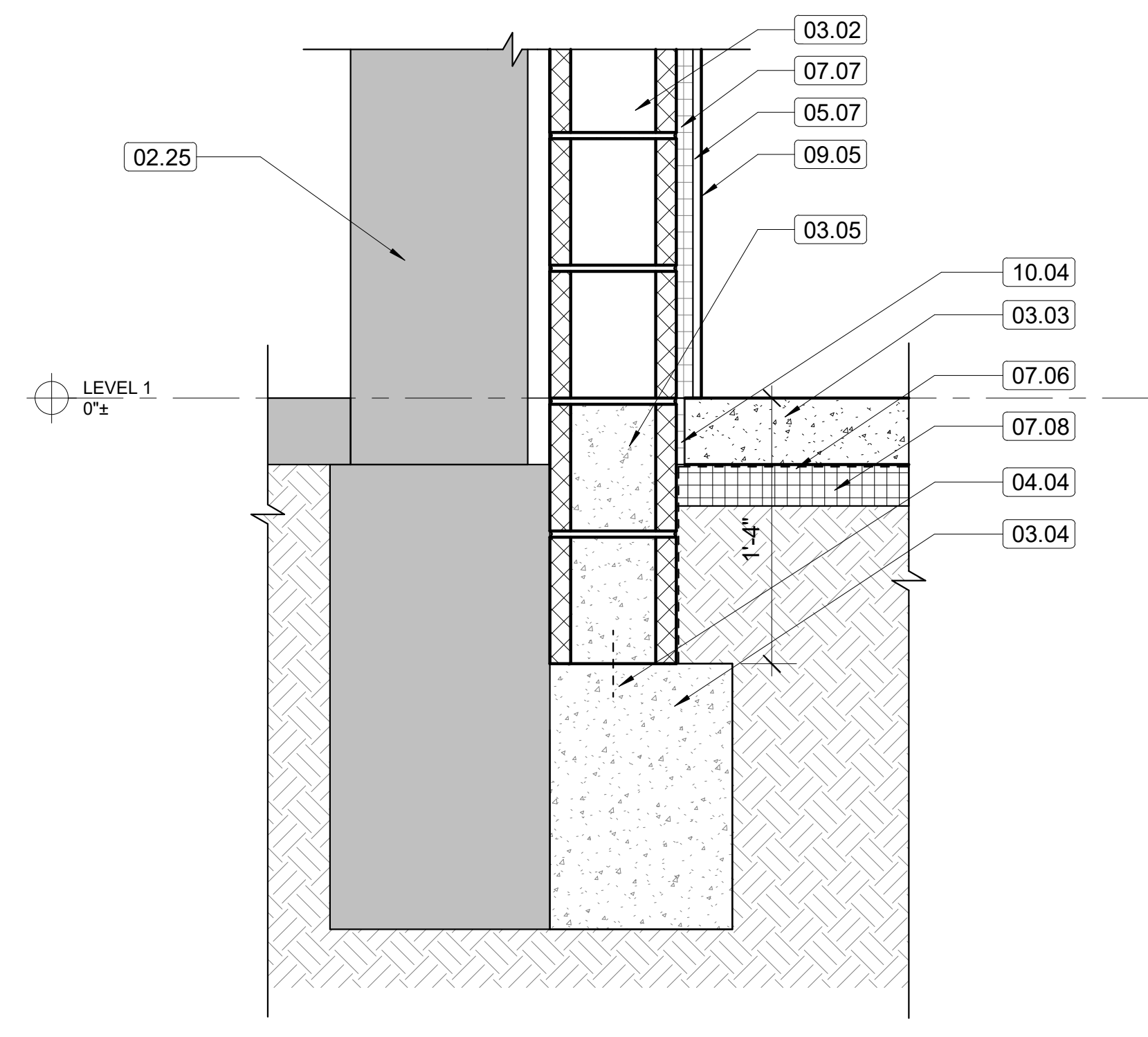
6 ROOF DETAIL
A24 1 1/2" = 1'-0" REFERRED FROM: A22



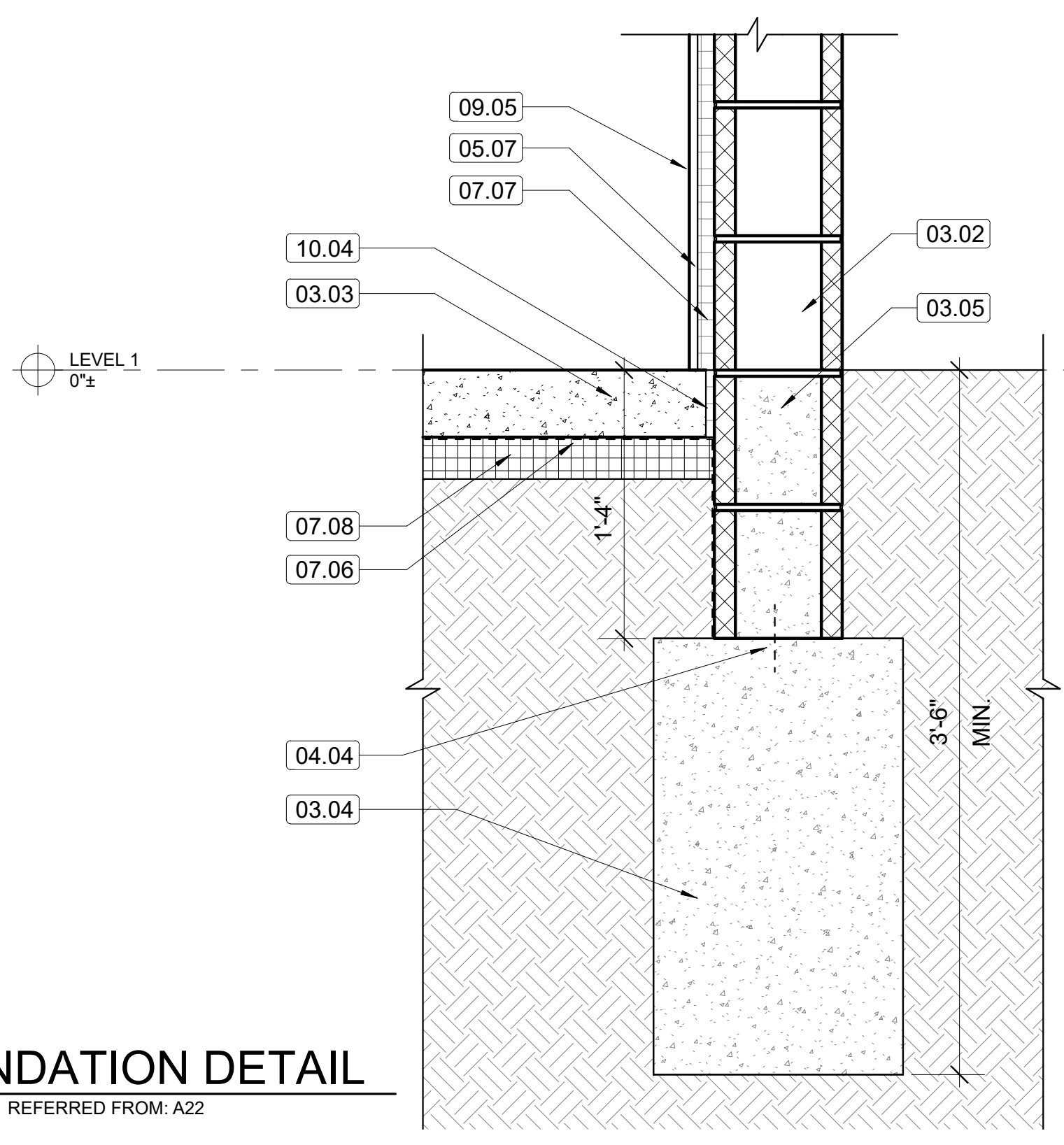
5 ROOF DETAIL
A24 1 1/2" = 1'-0" REFERRED FROM: A23



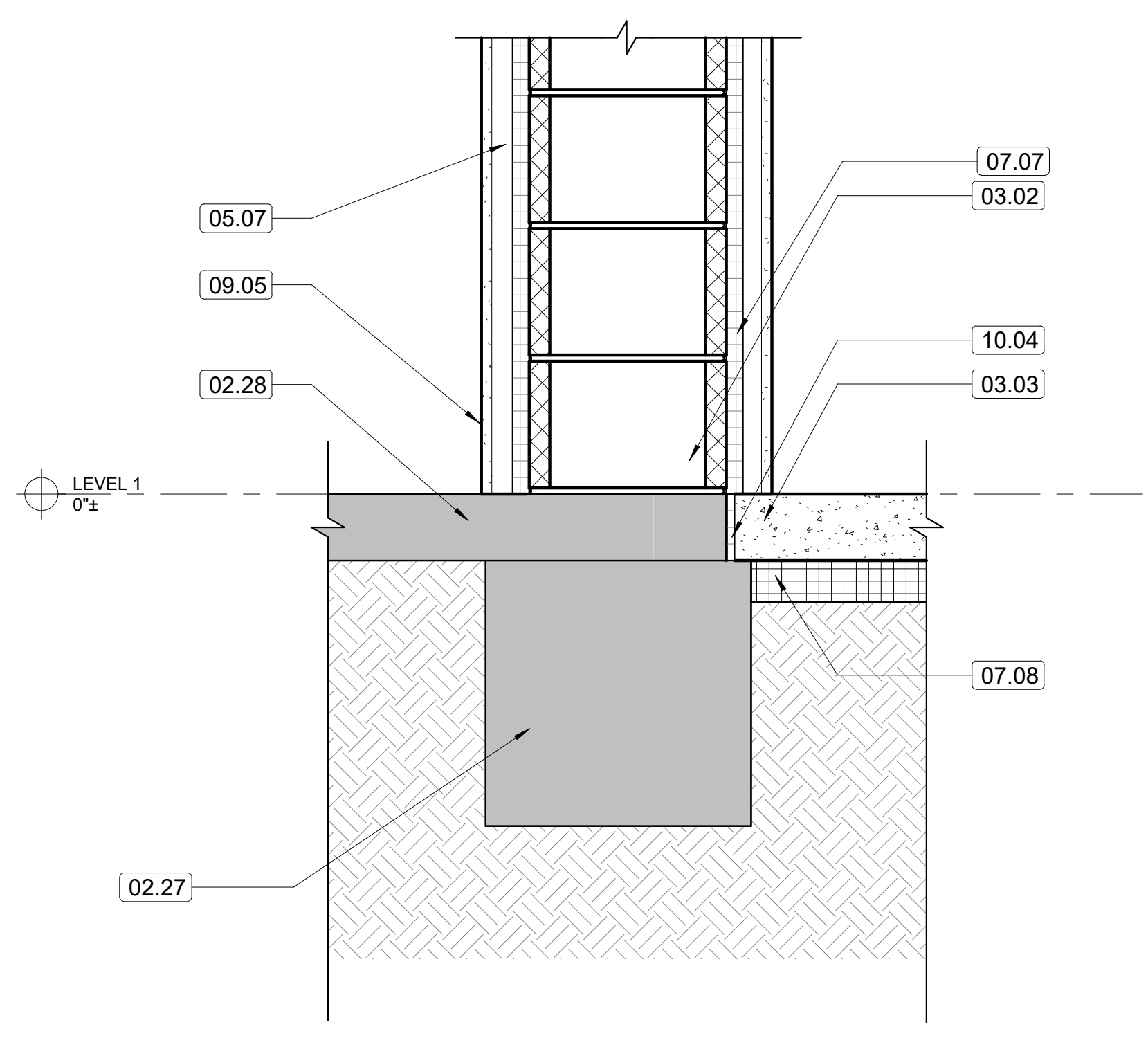
4 ROOF DETAIL
A24 1 1/2" = 1'-0" REFERRED FROM: A22



3 FOUNDATION DETAIL
A24 1 1/2" = 1'-0" REFERRED FROM: A22



2 FOUNDATION DETAIL
A24 1 1/2" = 1'-0" REFERRED FROM: A22



1 FOUNDATION DETAIL
A24 1 1/2" = 1'-0" REFERRED FROM: A23



RENOVATION OF HISTORIC BLUE BIRD INN

DETROIT SOUND CONSERVANCY

1 03.03.2023 BIDS & PERMITS

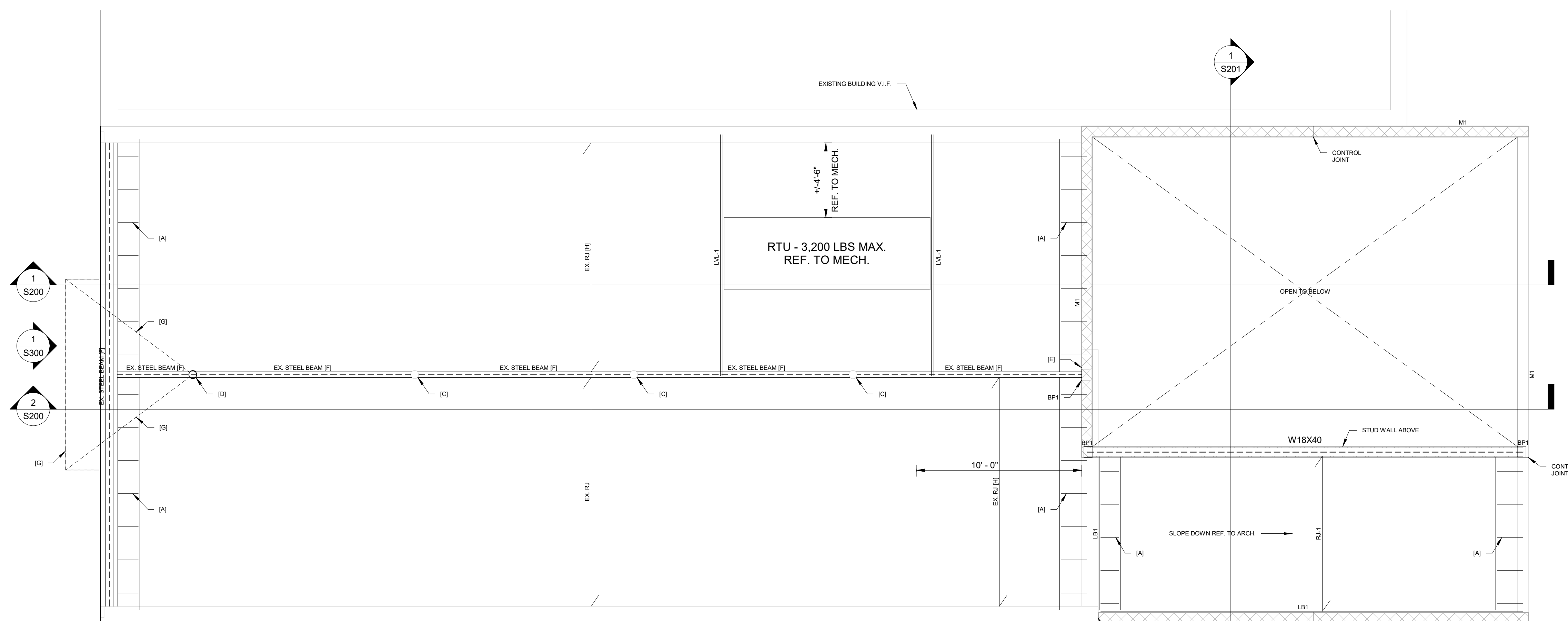
No.	Date	Description
AL		EL

PROJECT MANAGER: AL
DRAWN BY: EL

CONSTRUCTION DOCUMENTS
03/03/2023

LOW ROOF FRAMING PLAN

S102



1 LOW ROOF FRAMING PLAN
1/4" = 1'-0"

LOW ROOF FRAMING PLAN NOTES:

- VERIFY IN FIELD ALL CONDITIONS PRIOR TO PROCEEDING WITH NEW WORK. NOTIFY A/E TEAM IMMEDIATELY IF ANY DISCREPANCIES ARE DISCOVERED.
- COORDINATE THE STRUCTURAL DRAWINGS WITH THE ARCHITECTURAL DRAWINGS TO ENSURE THE DESIGN INTENT IS SATISFACTORILY IMPLEMENTED.
- PROVIDE TEMPORARY SUPPORT, SHORING, AND FORMING AS REQUIRED DURING CONSTRUCTION.
- REFER TO STANDARD DETAILS, GENERAL NOTES, SPECIAL INSPECTIONS, AND DESIGN CRITERIA FOR ADDITIONAL INFORMATION/REQUIREMENTS.
- DESIGNATIONS:

RJ-1: WOOD ROOF JOISTS - 2x10 @ 24" O.C. MAX. + 5/8" SHEATHING, BRIDGE AT MID-SPAN

LB1: WOOD LEDGER BOARD - 2x10 PRESSURE TREATED

M1: MASONRY WALL - 8" CMU REINFORCED W/ #5 BARS @ 32" O.C. MAX. VERT. + W1.7 LADDER TYPE HORIZONTAL JOINT REINFORCEMENT @ 16" O.C. MAX. + (2) #5 CONT. BOND BEAM AT TOP AND MID-HEIGHT OF WALL

BP1: STEEL BEARING PLATE - 8x6x3/8"

LVL-1: WOOD HEADER - (3) 1.75"x9.25" LVL1.8E Fb=2200PSI MIN., BRIDGE AT SPAN/3 LOCATIONS

[A]: LADDER FRAMING @ 24" O.C. MAX.

[B]: REFER TO DETAIL

[C]: EXISTING CORRODED STEEL COLUMN TO BE REMOVED AND REPLACED W/ NEW HSS6x1/4

[D]: EXISTING COLUMN TO BE STRUCTURALLY INSPECTED AFTER BUILDING FINISHES THAT ARE CONCEALING IT ARE REMOVED

[E]: BEARING POCKET TO BE RESTORED

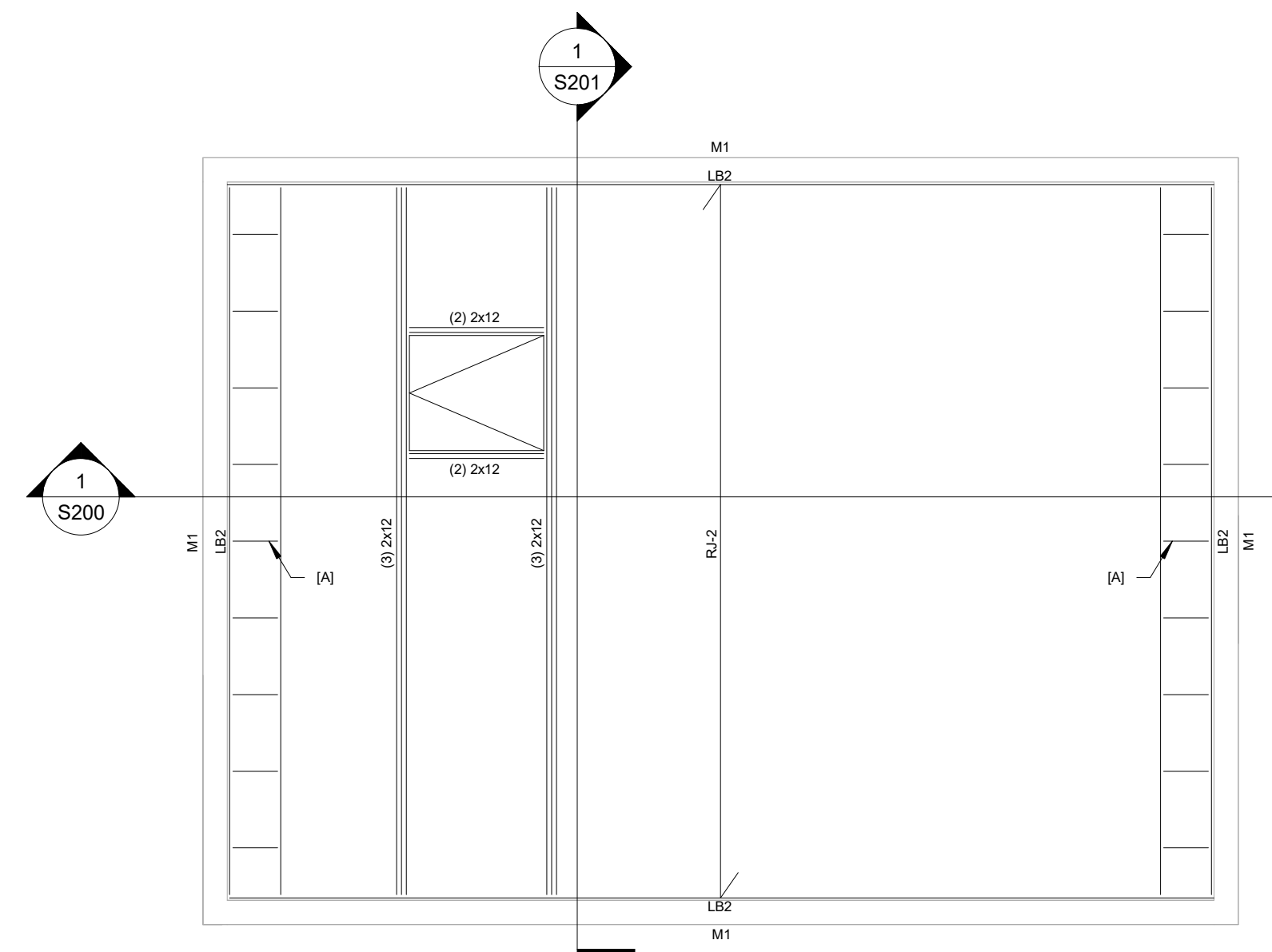
[F]: EXISTING STEEL BEAM TO BE UNCOVERED FOR STRUCTURAL INSPECTION, RESTORATION/REPLACEMENT MAY BE REQUIRED

[G]: EXISTING STEEL CANOPY FRAMING TO BE UNCOVERED FOR STRUCTURAL INSPECTION, RESTORATION/REPLACEMENT MAY BE REQUIRED

[H]: REINFORCE EXISTING ROOF JOISTS WITH NEW 2x10 SISTERED TO EACH EXISTING JOIST

[I]: PROVIDE (2) 1.75"x9.25" LVL BLOCKING AROUND UNIT EDGES

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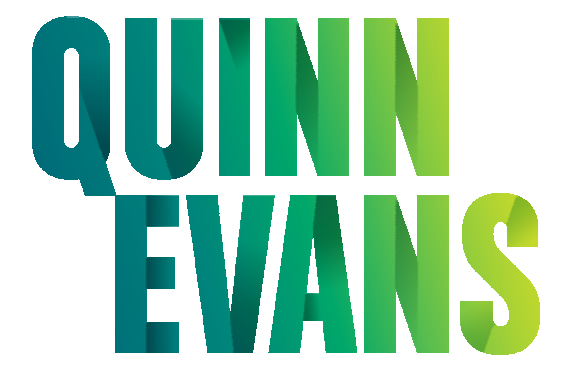
① UPPER ROOF FRAMING PLAN
 1/4" = 1'-0"

UPPER ROOF FRAMING PLAN NOTES:

1. VERIFY IN FIELD ALL CONDITIONS PRIOR TO PROCEEDING WITH NEW WORK. NOTIFY A/E TEAM IMMEDIATELY IF ANY DISCREPANCIES ARE DISCOVERED.
2. COORDINATE THE STRUCTURAL DRAWINGS WITH THE ARCHITECTURAL DRAWINGS TO ENSURE THE DESIGN INTENT IS SATISFACTORILY IMPLEMENTED.
3. PROVIDE TEMPORARY SUPPORT, SHORING, AND FORMING AS REQUIRED DURING CONSTRUCTION.
4. REFER TO STANDARD DETAILS, GENERAL NOTES, SPECIAL INSPECTIONS, AND DESIGN CRITERIA FOR ADDITIONAL INFORMATION/REQUIREMENTS.

5. **DESIGNATIONS:**

- RJ-2: WOOD ROOF JOISTS - 2x12 @ 16" O.C. MAX. + 5/8" SHEATHING, BRIDGE AT SPAN/3 LOCATIONS
- LB2: WOOD LEDGER BOARD - 2x12 PRESSURE TREATED
- M1: MASONRY WALL - 8" CMU REINFORCED W/ #5 BARS @ 32" O.C. MAX. VERT. + W1.7 LADDER TYPE HORIZONTAL JOINT REINFORCEMENT @ 16" O.C. MAX. + (2) #5 CONT. BOND BEAM AT TOP AND MID-HEIGHT OF WALL
- [A]: LADDER FRAMING @ 24" O.C. MAX.



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**RENOVATION OF
 HISTORIC BLUE BIRD INN**

DETROIT SOUND
 CONSERVANCY

1 03.03.2023 BIDS & PERMITS

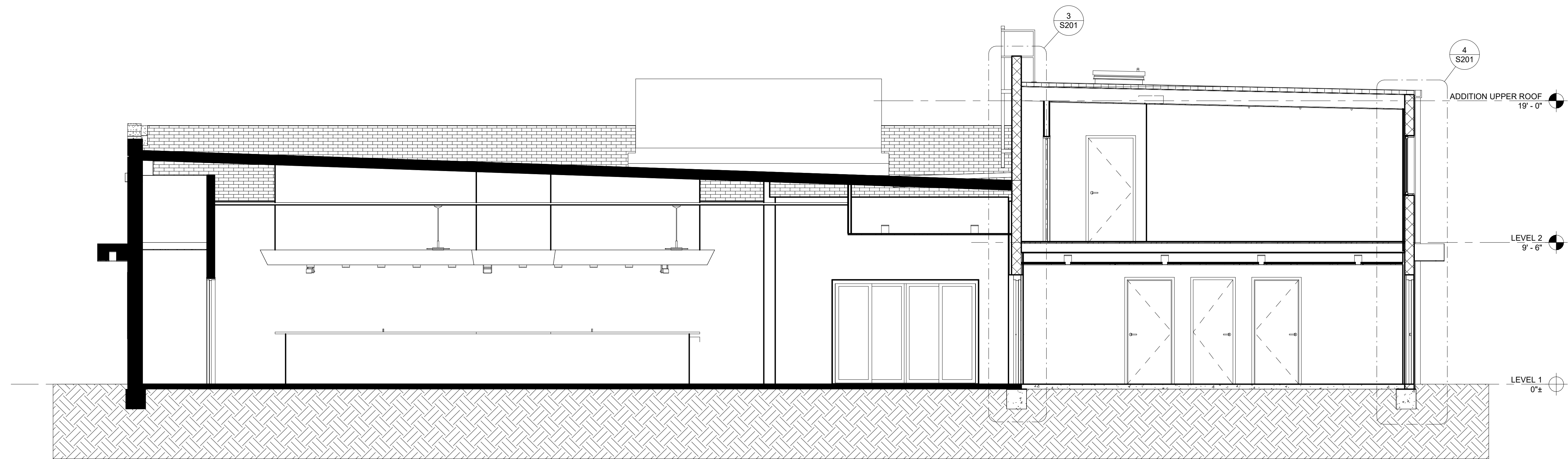
No.	Date	Description
AL		EL

PROJECT MANAGER: AL
 DRAWN BY: EL

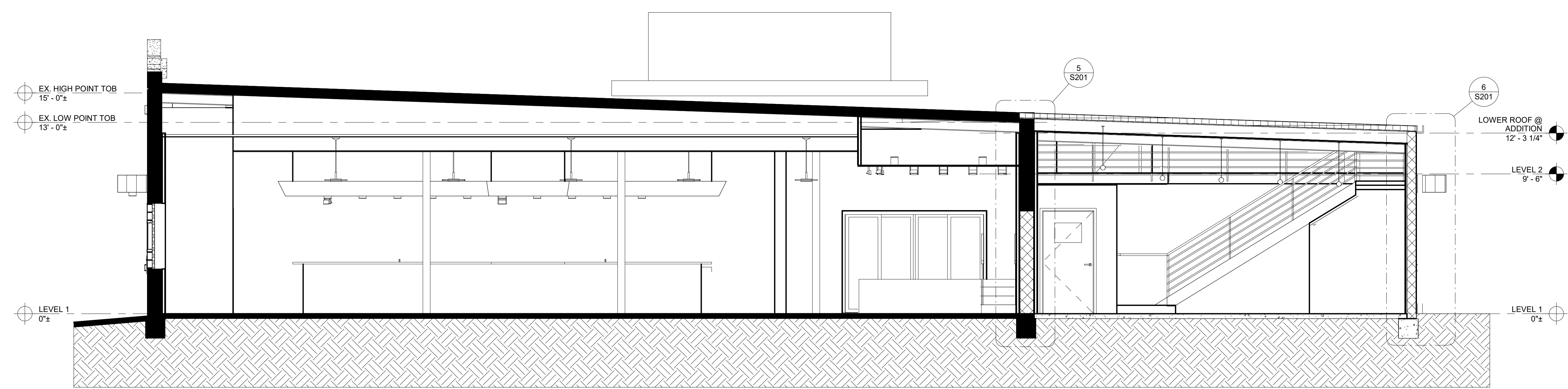
CONSTRUCTION DOCUMENTS
 03/03/2023

UPPER ROOF
 FRAMING

S103

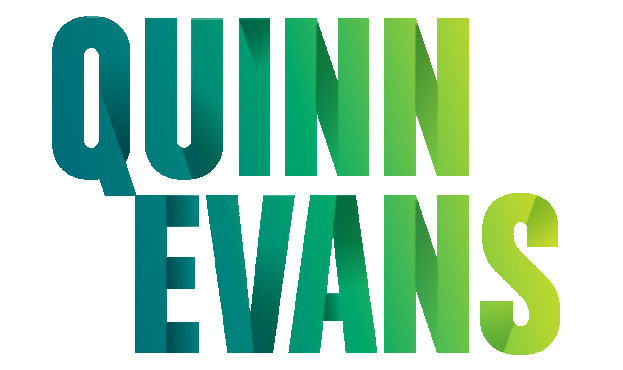


① BUILDING SECTION 1
1/4" = 1'-0"



② BUILDING SECTION 2
1/4" = 1'-0"

PATH & FILENAME: F:\1 MSEA Inc\22-100022-1045 - BlueBird Inn\Structural\22-11XX - BLUE BIRD INN - R22 - STRUCTURAL.rvt
 PLOTTING DATE & TIME: 3/10/2023 4:19:37 PM



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**RENOVATION OF
HISTORIC BLUE BIRD INN**

DETROIT SOUND
CONSERVANCY

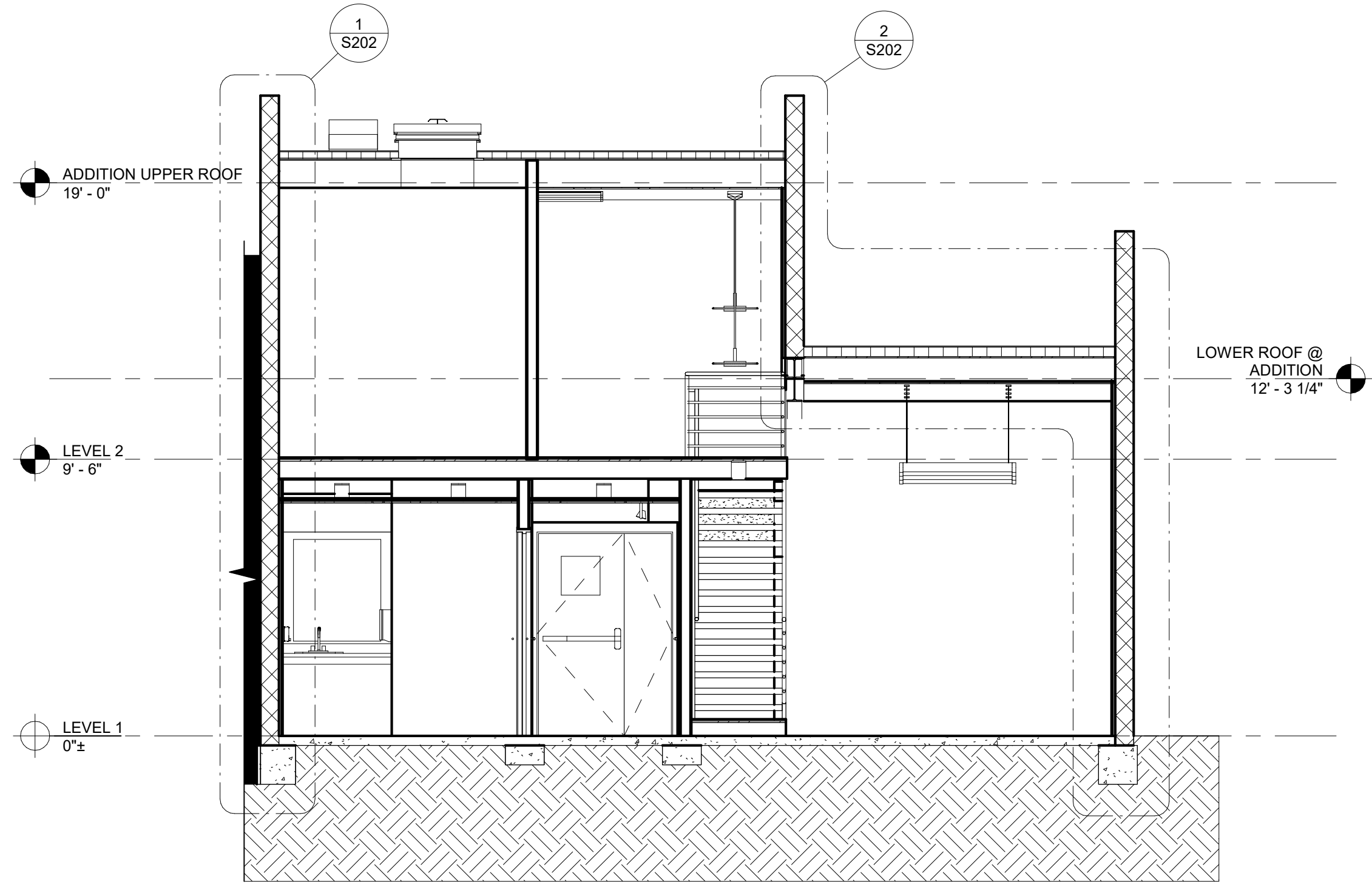
No.	Date	Description
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PROJECT MANAGER:		DRAWN BY:
AL		EL

CONSTRUCTION DOCUMENTS
03/03/2023

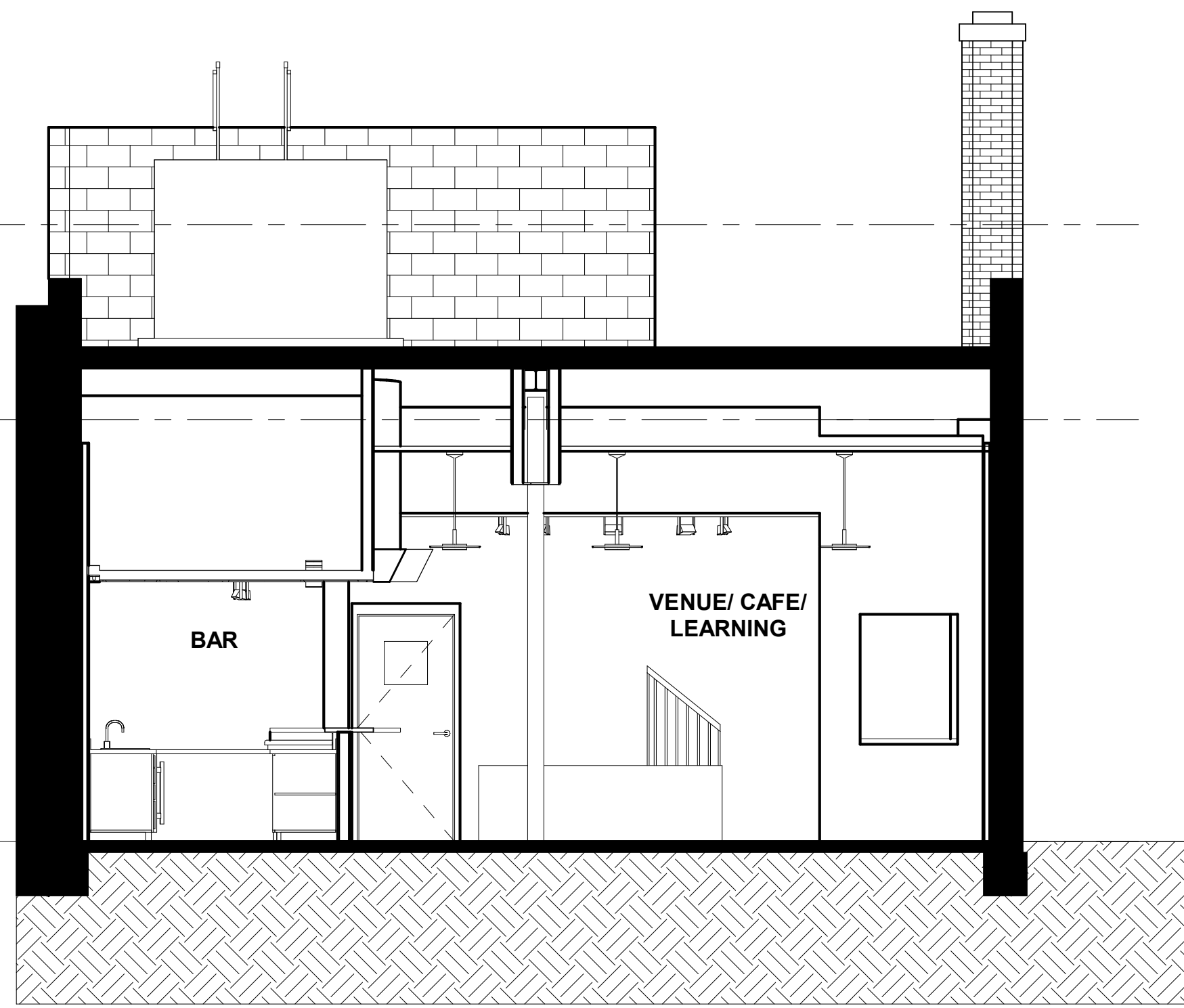
BUILDING SECTIONS

S200

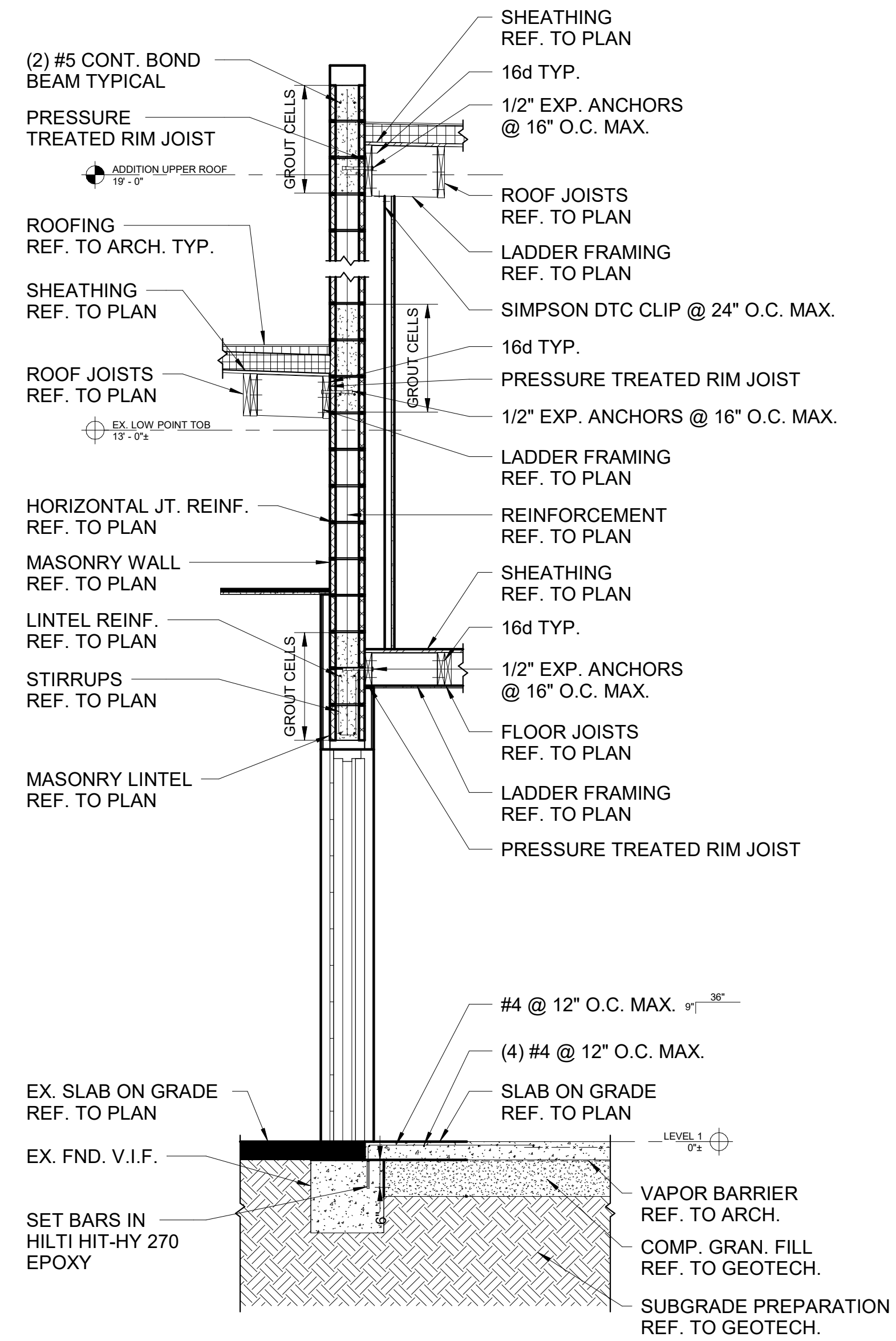
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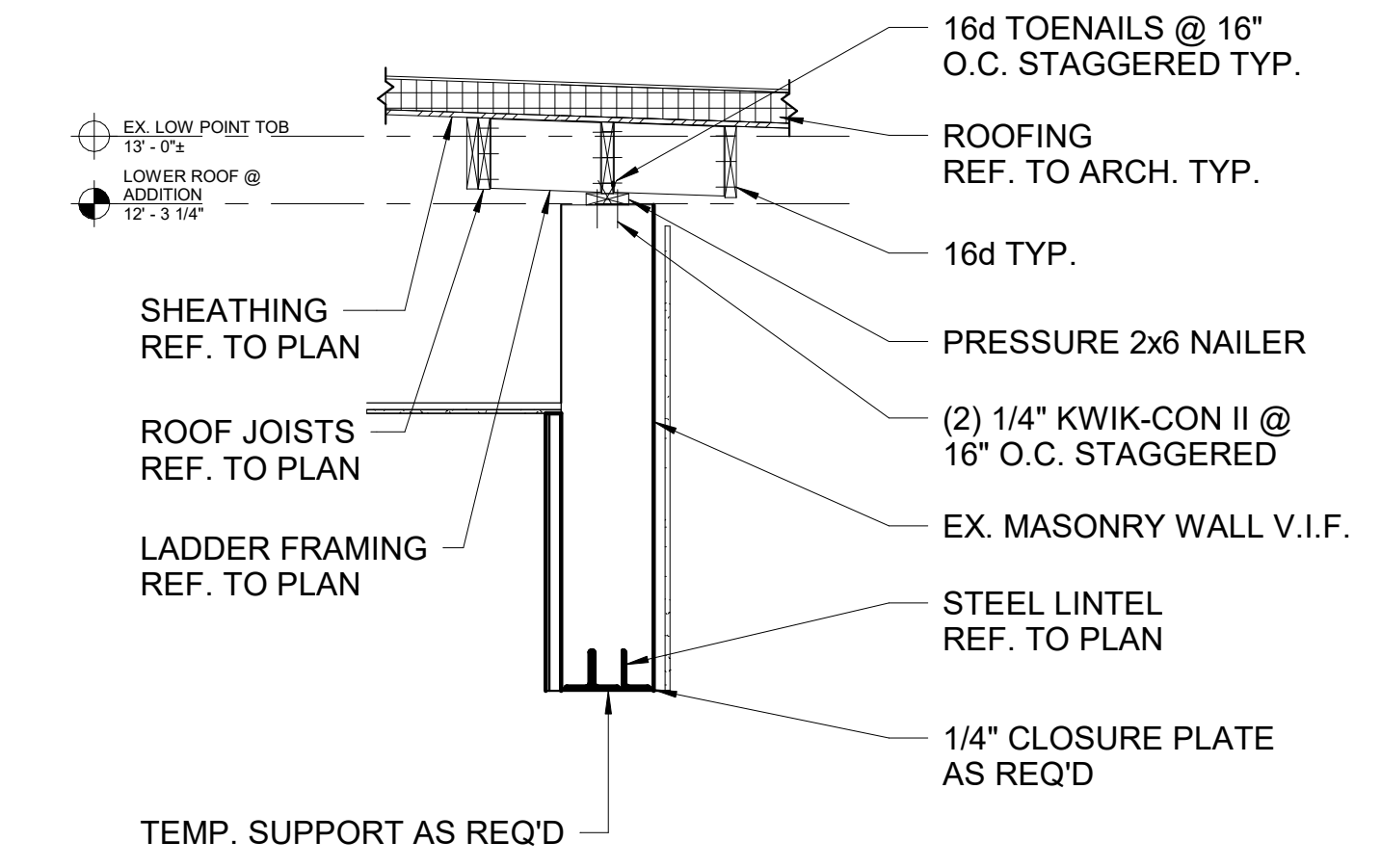
1 BUILDING SECTION 3
1/4" = 1'-0"



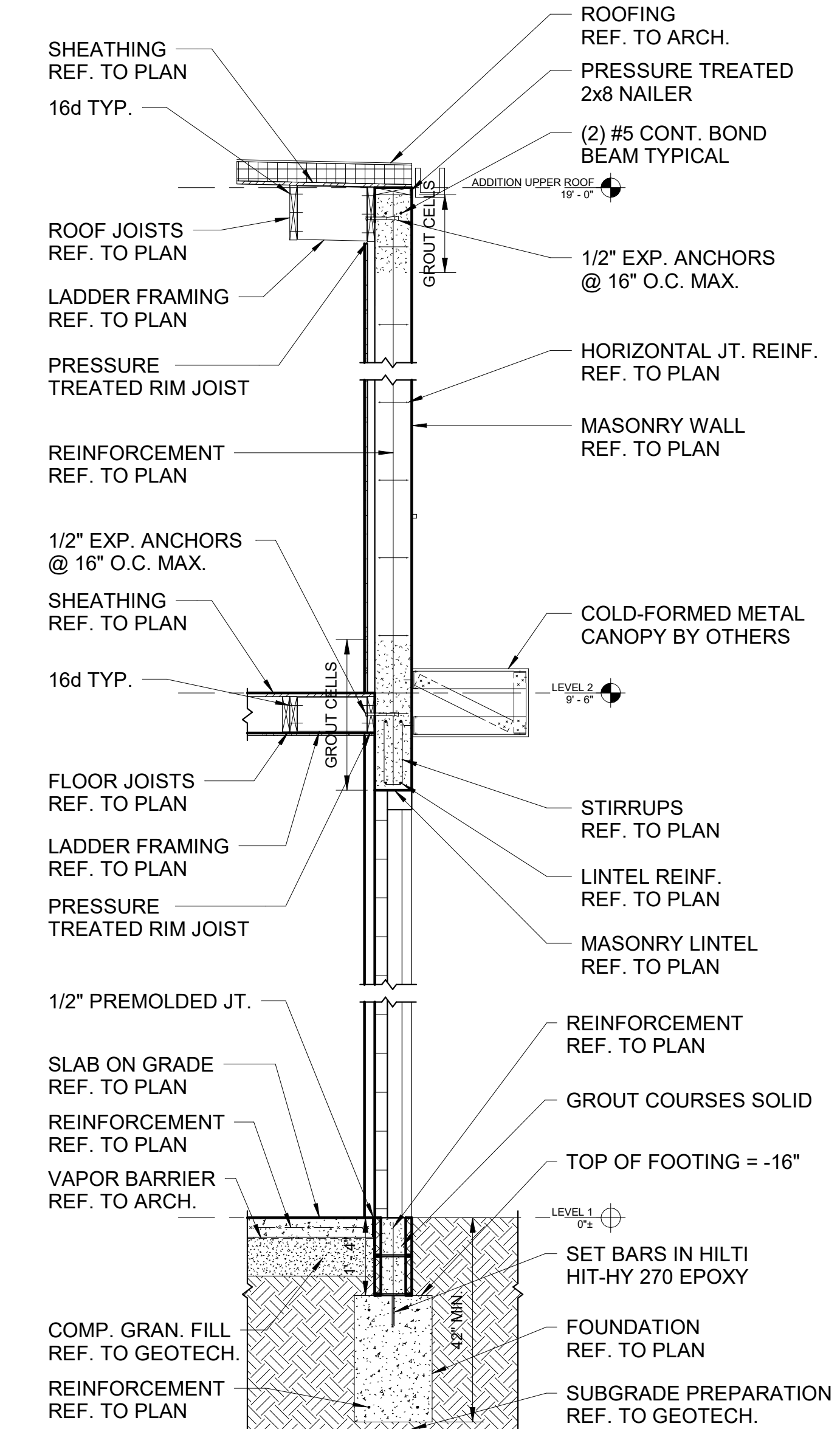
2 BUILDING SECTION 4
1/4" = 1'-0"



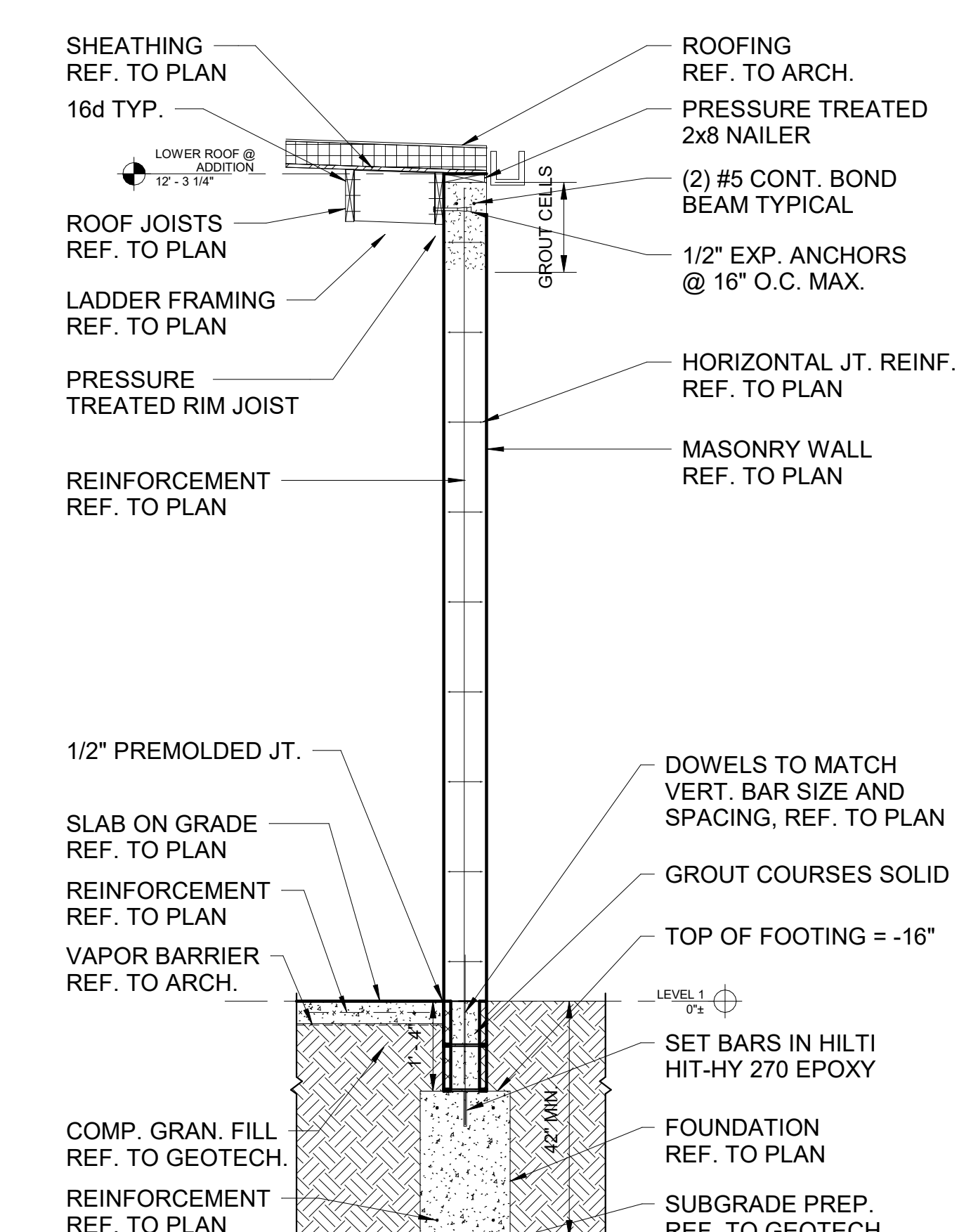
3 WALL SECTION 1
1/2" = 1'-0"



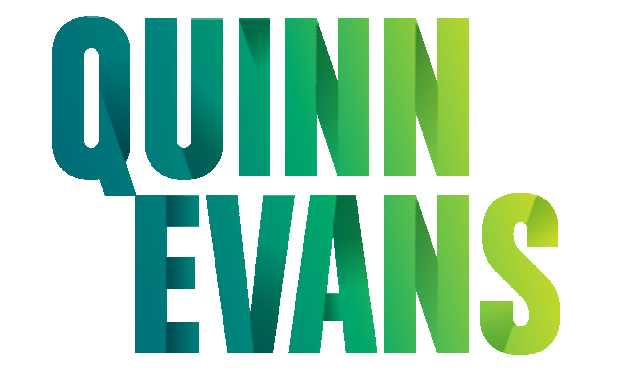
5 WALL SECTION 3
1/2" = 1'-0"



4 WALL SECTION 2
1/2" = 1'-0"



6 WALL SECTION 4
1/2" = 1'-0"



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RENOVATION OF
HISTORIC BLUE BIRD INN

DETROIT SOUND
CONSERVANCY

No.	Date	Description
1	03.03.2023	BIDS & PERMITS
PROJECT MANAGER:		DRAWN BY:
AL		EL

CONSTRUCTION DOCUMENTS
03/03/2023

BUILDING & WALL
SECTIONS

S201

1 2 3 4 5 6 7 8 9 10

K

J

H

G

F

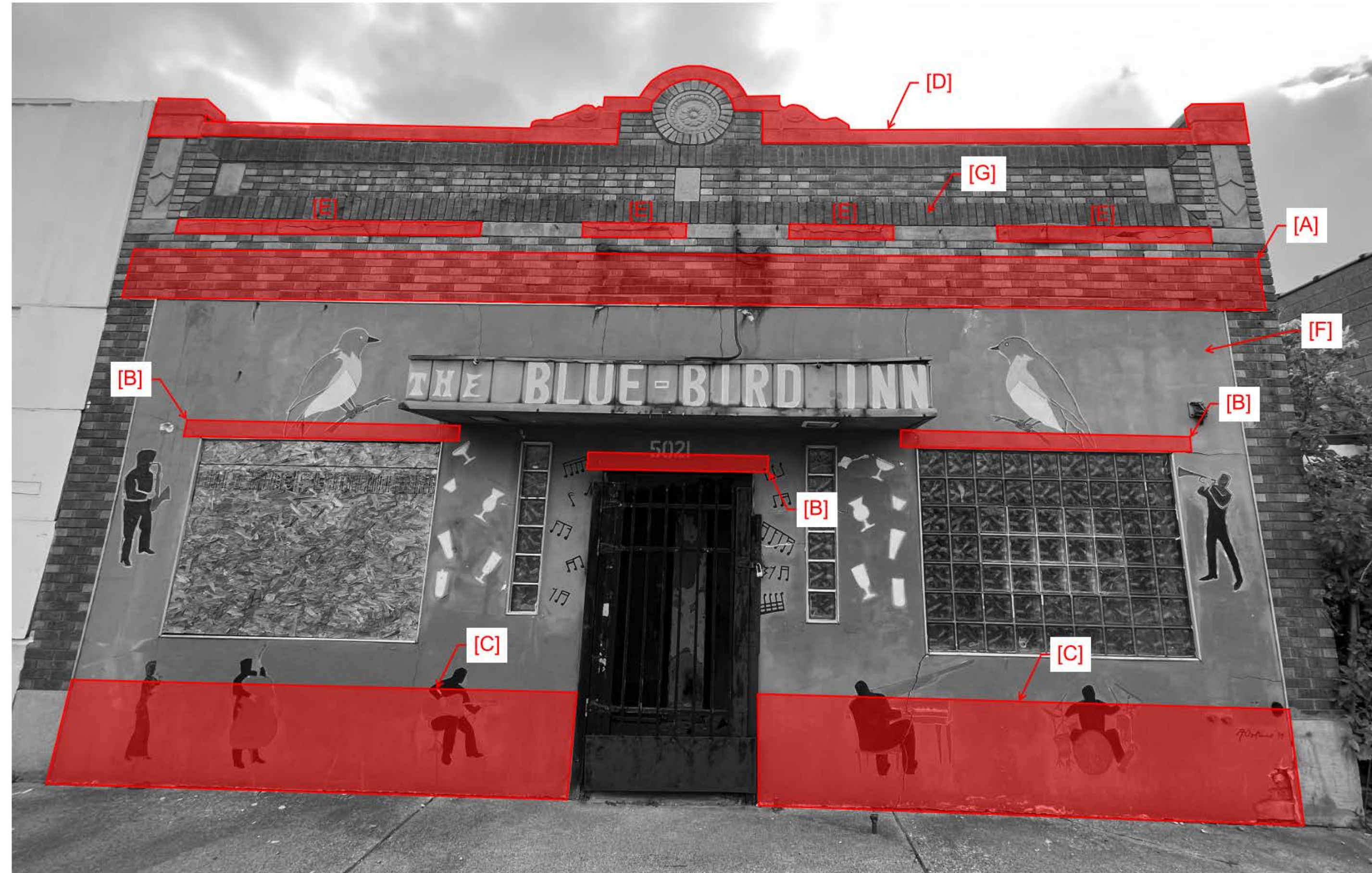
E

D

C

B

A



FRONT FACADE ELEVATION NOTES:

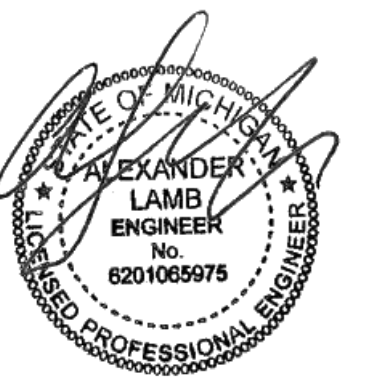
1. PROVIDE TEMPORARY SUPPORT AS REQUIRED DURING CONSTRUCTION AND DEMOLITION ACTIVITIES
2. VERIFY IN FIELD ALL CONDITIONS PRIOR TO PROCEEDING WITH NEW WORK
3. TUCK POINT ALL MORTAR JOINTS, DO NOT USE PORTLAND CEMENT BASED MORTAR MATERIALS

DESIGNATIONS:

- [A]: EXISTING STEEL BEAM DETERIORATION - REMOVE EXISTING BRICKS AS REQUIRED TO EXPOSE EXISTING STEEL BEAM FOR STRUCTURAL INSPECTION. RETROFIT OF STEEL BEAM MAY BE REQUIRED.
- [B]: EXISTING STEEL LOOSE LINTEL - REMOVE EXISTING PARGING FOR STRUCTURAL INSPECTION OF LOOSE LINTEL. RETROFIT OF LINTEL MAY BE REQUIRED. RECOMMEND TO PAINT LINTEL WITH ZINC RICH PRIMER AS A MINIMUM TREATMENT
- [C]: EXISTING MASONRY SILL - REMOVE EXISTING PARGING FOR STRUCTURAL INSPECTION OF MASONRY SILL. RETROFIT OF SILL UNITS AND BED/PERPEND JOINTS MAY BE REQUIRED
- [D]: EXISTING MASONRY CORNICE COPING - RESTORE EXISTING PRE-CAST COPING STONES WITH CONCPROCO PRODUCTS TBD
- [E]: EXISTING MASONRY DETAIL - REMOVE AND REPLACE EXISTING PRE-CAST DETAIL STONES
- [F]: EXISTING PARGING & MURAL - REMOVE EXISTING MASONRY PARGING FOR STRUCTURAL INSPECTION OF EXISTING MASONRY WALL. FULLY DOCUMENT THE MURAL AS REQUIRED PRIOR TO REMOVAL SO THAT IT MAY BE REPLICATED AT THE OWNERS' WILL
- [G]: EXISTING MASONRY SOLDIER COURSE - REMOVE ALL EMBEDDED STEEL ELEMENTS FROM EXISTING MASONRY SOLDIER COURSE. PATCH HOLES AS REQUIRED

① FRONT FACADE ELEVATION
1 1/2" = 1'-0"

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**RENOVATION OF
HISTORIC BLUE BIRD INN**

DETROIT SOUND
CONSERVANCY

No.	Date	Description
1	03.03.2023	BIDS & PERMITS

PROJECT MANAGER: AL
DRAWN BY: EL

CONSTRUCTION DOCUMENTS
03/03/2023

FRONT ELEVATION

S300

1 2 3 4 5 6 7 8 9 10

1 2 3 4 5 6 7 8 9 10

K

J

H

G

F

E

D

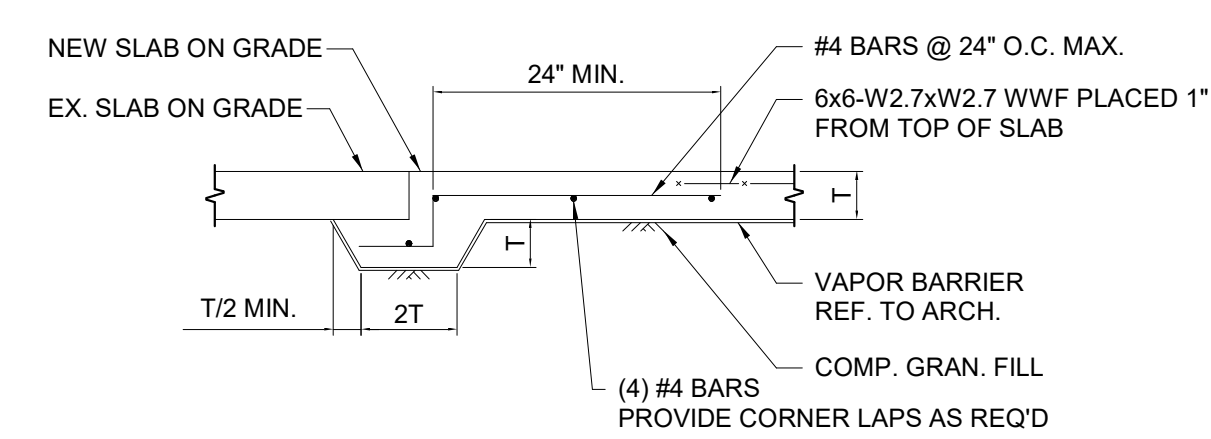
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B

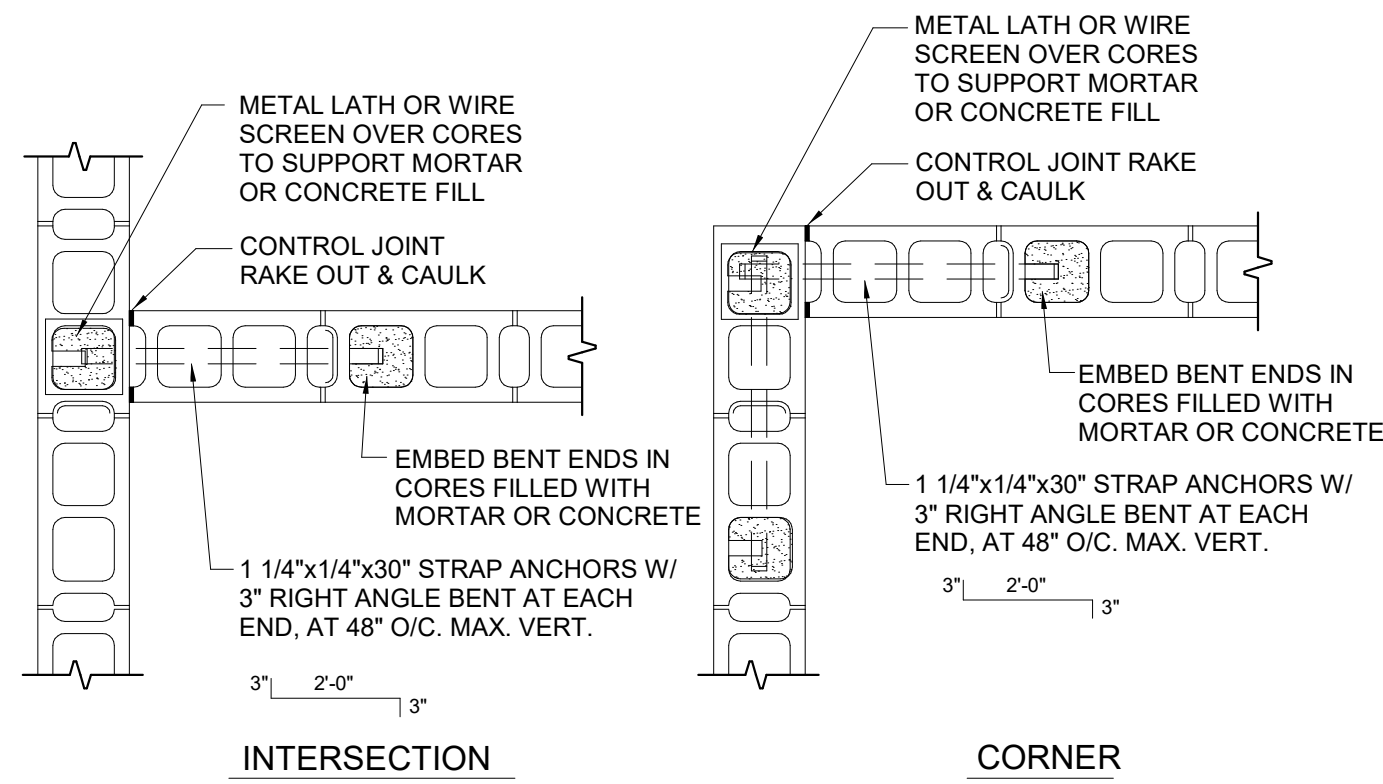
A

1 2 3 4 5 6 7 8 9 10

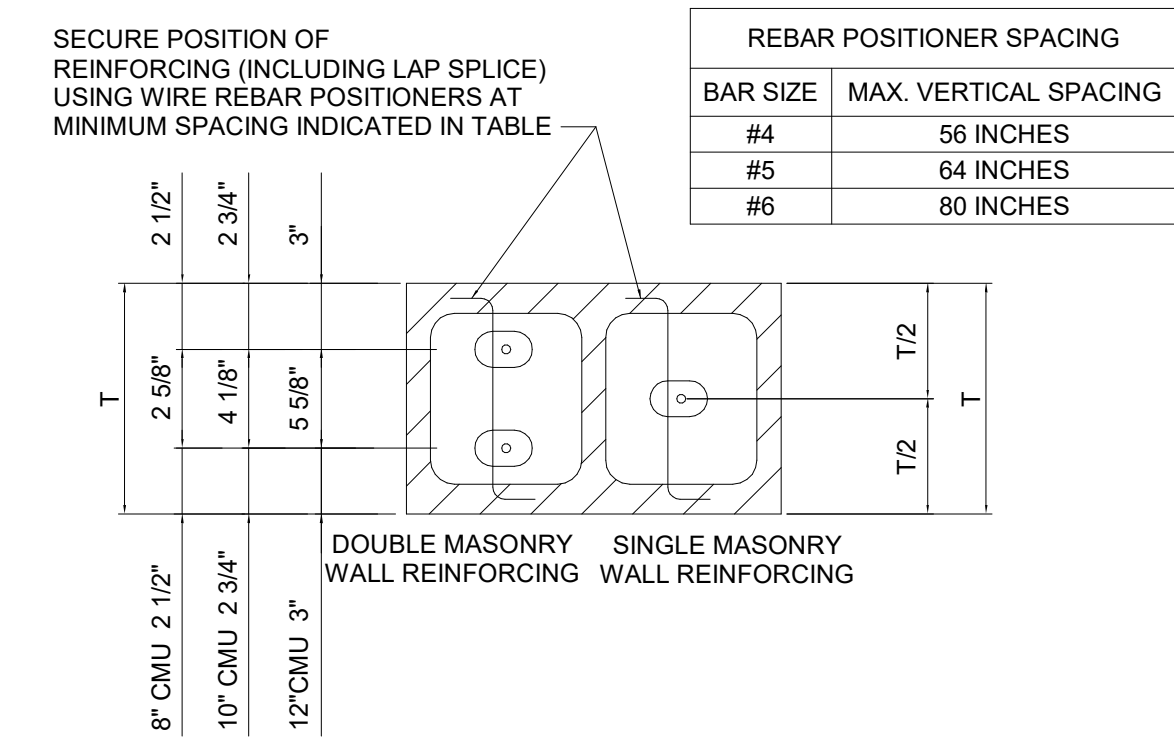
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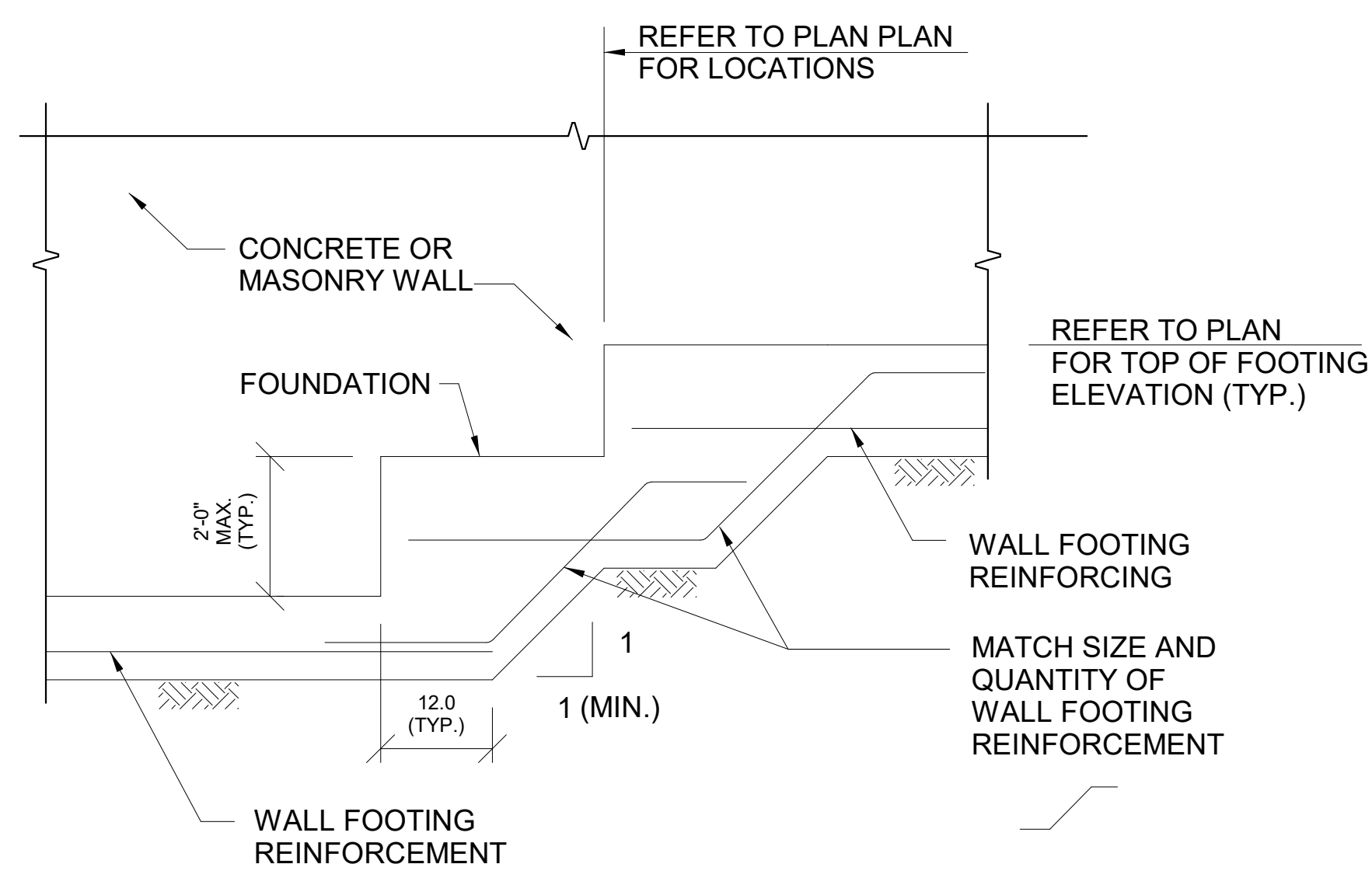
1 SLAB INTERFACE DETAIL
3/4" = 1'-0"



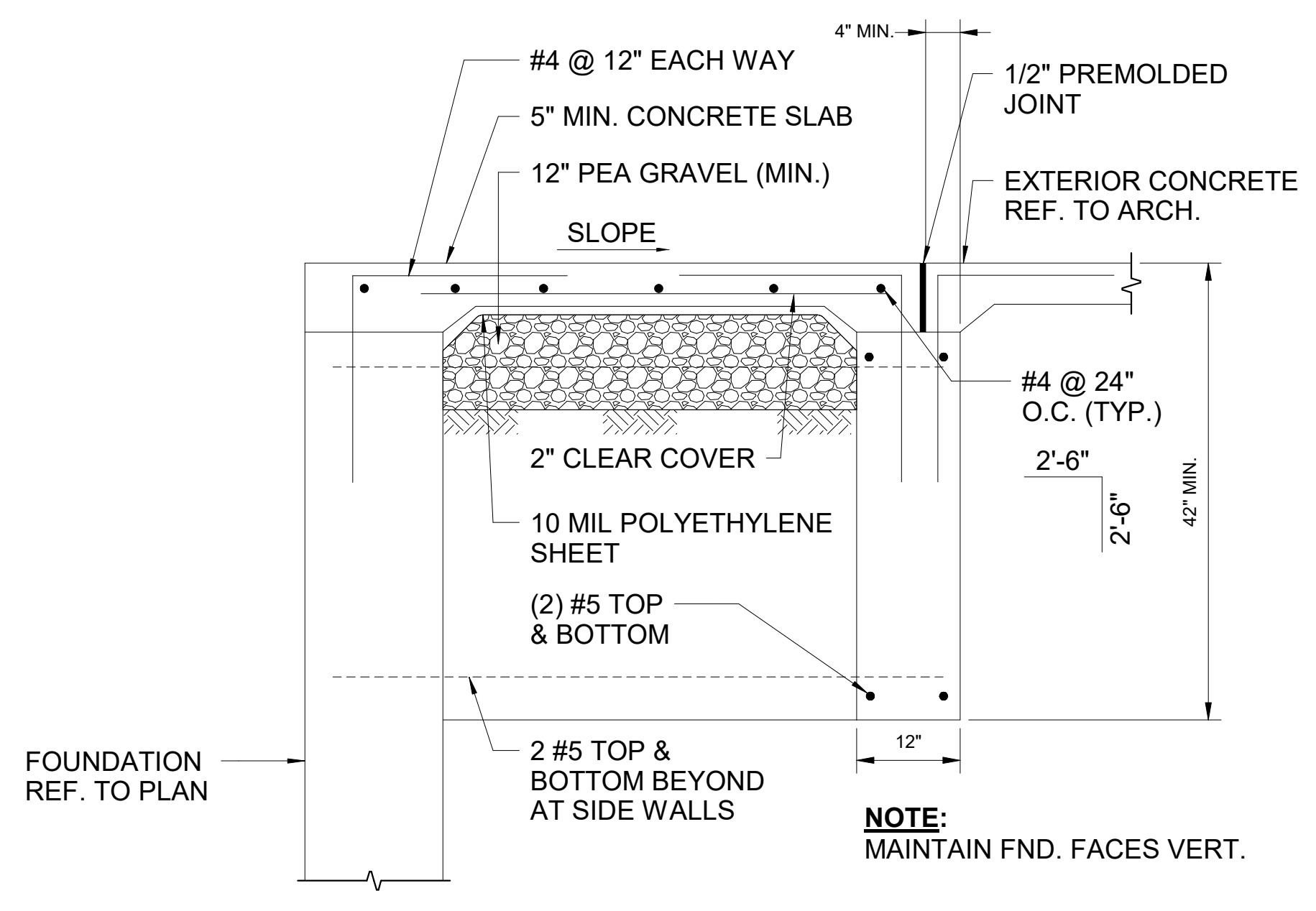
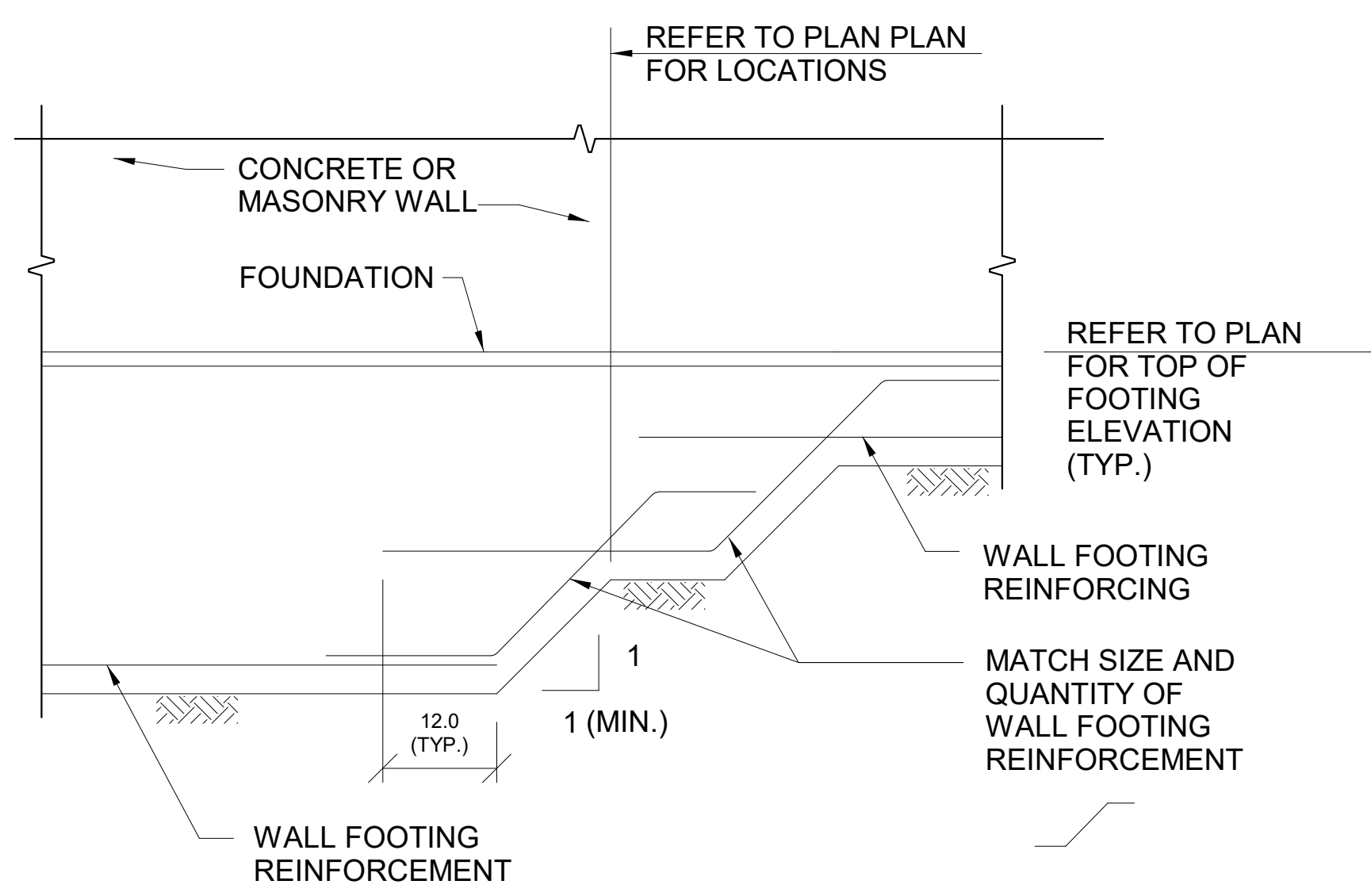
2 MASONRY WALL PLAN DETAILS
3/4" = 1'-0"



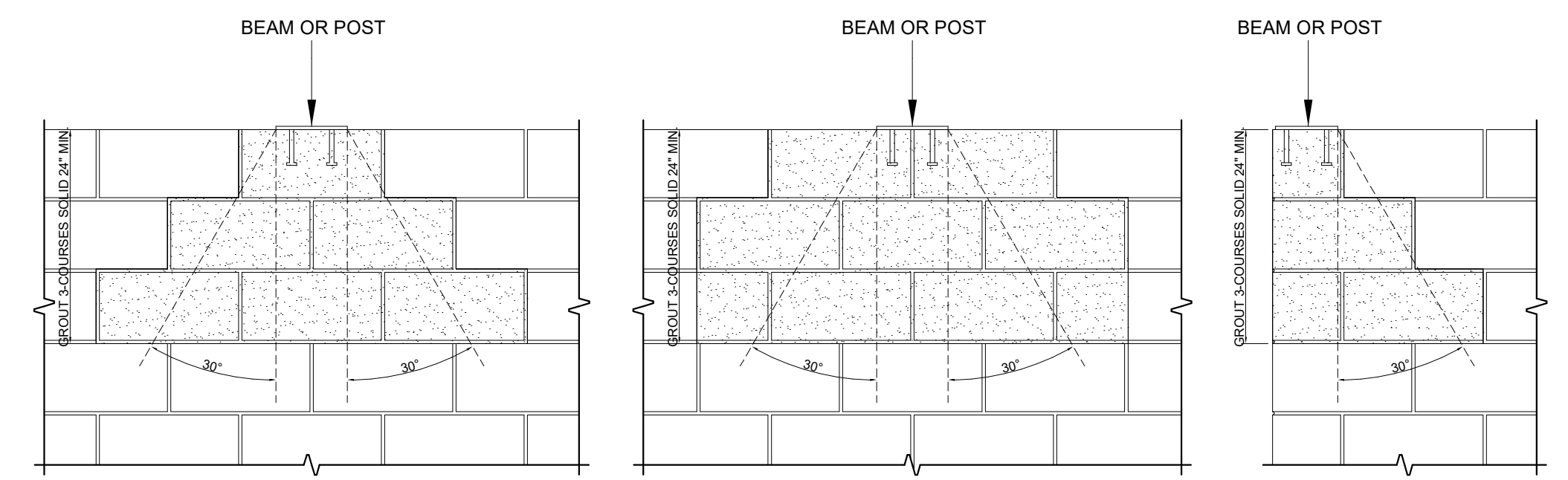
3 MASONRY WALL REINF. DETAIL
3/4" = 1'-0"



4 STEPPED FOUNDATION DETAIL
3/4" = 1'-0"



5 ENTRY SLAB DETAIL
3/4" = 1'-0"



6 MAS. WALL BEARING PLATE DETAIL
3/4" = 1'-0"



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RENOVATION OF HISTORIC BLUE BIRD INN

DETROIT SOUND CONSERVANCY

1	03.03.2023	BIDS & PERMITS
No.	Date	Description
PROJECT MANAGER:		DRAWN BY:
AL		EL

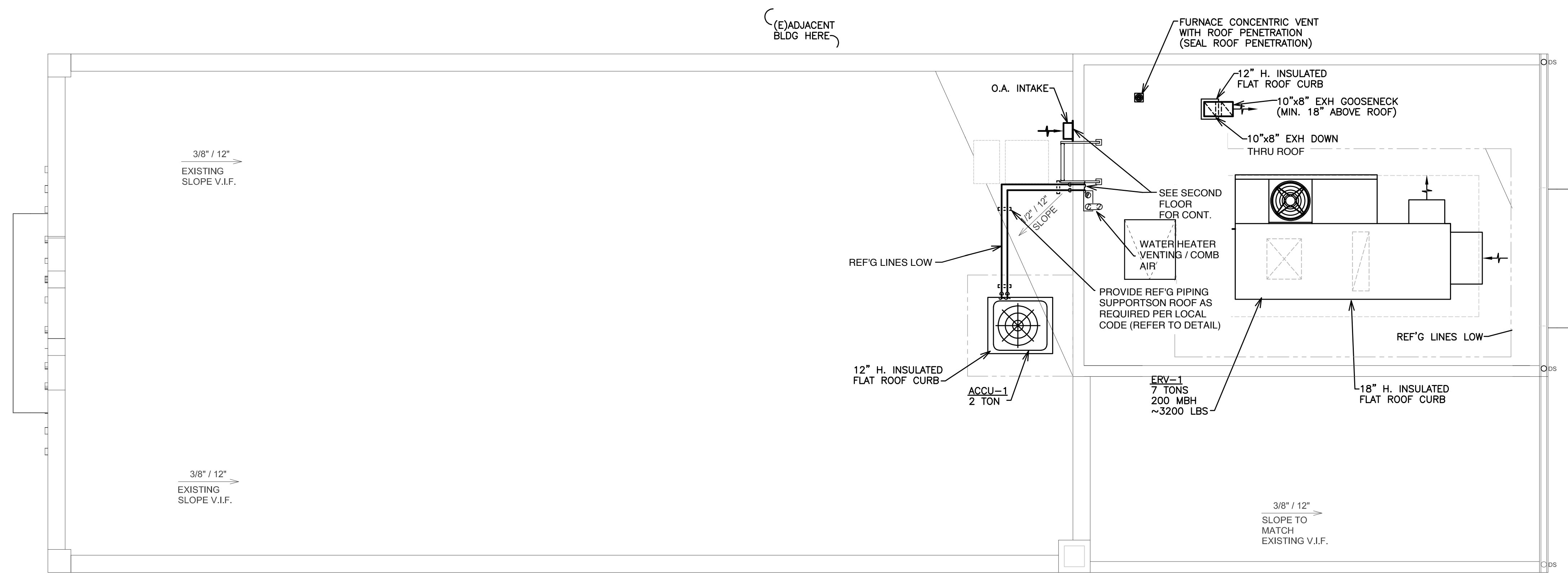
CONSTRUCTION DOCUMENTS
03/03/2023

STANDARD DETAILS

S401

NOTE: SEE M00 FOR MECHANICAL GENERAL NOTES

ALL EXISTING ITEMS INDICATED IN THE CONTRACT DRAWINGS HAVE BEEN TAKEN FROM THE OWNER'S LIMITED RECORD AND LIMITED FIELD OBSERVATIONS AND VERIFICATION. THIS CONTRACTOR AND ALL RELATED SUB-CONTRACTORS SHALL VISIT THE SITE AND COMPLETELY UNDERSTAND THE CONDITIONS UNDER WHICH THE WORK MUST BE PERFORMED IF A DEPARTURE FROM THE DESIGN INTENT OF THE DOCUMENTS IS REQUIRED DUE TO THE ACTUAL FIELD CONDITIONS OBSERVED BY THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING FOR RESOLUTION PRIOR TO SUBMITTING FINAL BID OR ENTERING INTO A CONTRACT FOR CONSTRUCTION. NO GUARANTEE OF EXISTING MECHANICAL AND PLUMBING SYSTEMS - CONTRACTOR SHALL VERIFY PRIOR TO ANY WORK.



MECHANICAL NEW WORK PLAN - ROOF
 SCALE: 1/4" = 1'-0"
 NORTH

THIS SHEET IS FOR BID ALTERNATE ONLY FOR DESIGN BUILD
 BIDDING CONTRACTORS SHALL USE THIS SHEET AS A BIDDING ALTERNATE TO SHEET A11. SHOULD THE OWNER SELECT THIS PLAN ALTERNATIVE, THE AWARDED CONTRACTOR AND SUBCONTRACTOR SHALL PROVIDE A FINAL DESIGN AND CONSTRUCTION DOCUMENTS(S) FOR THIS BID ALTERNATE. COORDINATE WITH STRUCTURAL, ARCHITECTURAL, AND OTHER MEP SHEETS



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RENOVATION OF HISTORIC BLUE BIRD INN

DETROIT SOUND CONSERVANCY

No.	Date	Description
PROJECT MANAGER:		DRAWN BY:
MOS		SJB

PERMIT / BID SET
 03/10/2023

MECHANICAL NEW WORK ROOF PLAN

ALT M11

PATH & FILENAME: AutodesK Docs/The Blue Bird Inn/41915610_TheBlueBirdInn_R22.rvt
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