

1451 BAGLEY REDEVELOPMENT

BALLPOINT BAGLEY LLC

1451 BAGLEY ST.
DETROIT, MI 48216



PROJECT INFORMATION

Owner: BALLPOINT REALTY
BALLPOINT BAGLEY, LLC

Location: 1451 BAGLEY ST.
DETROIT, MI 48216

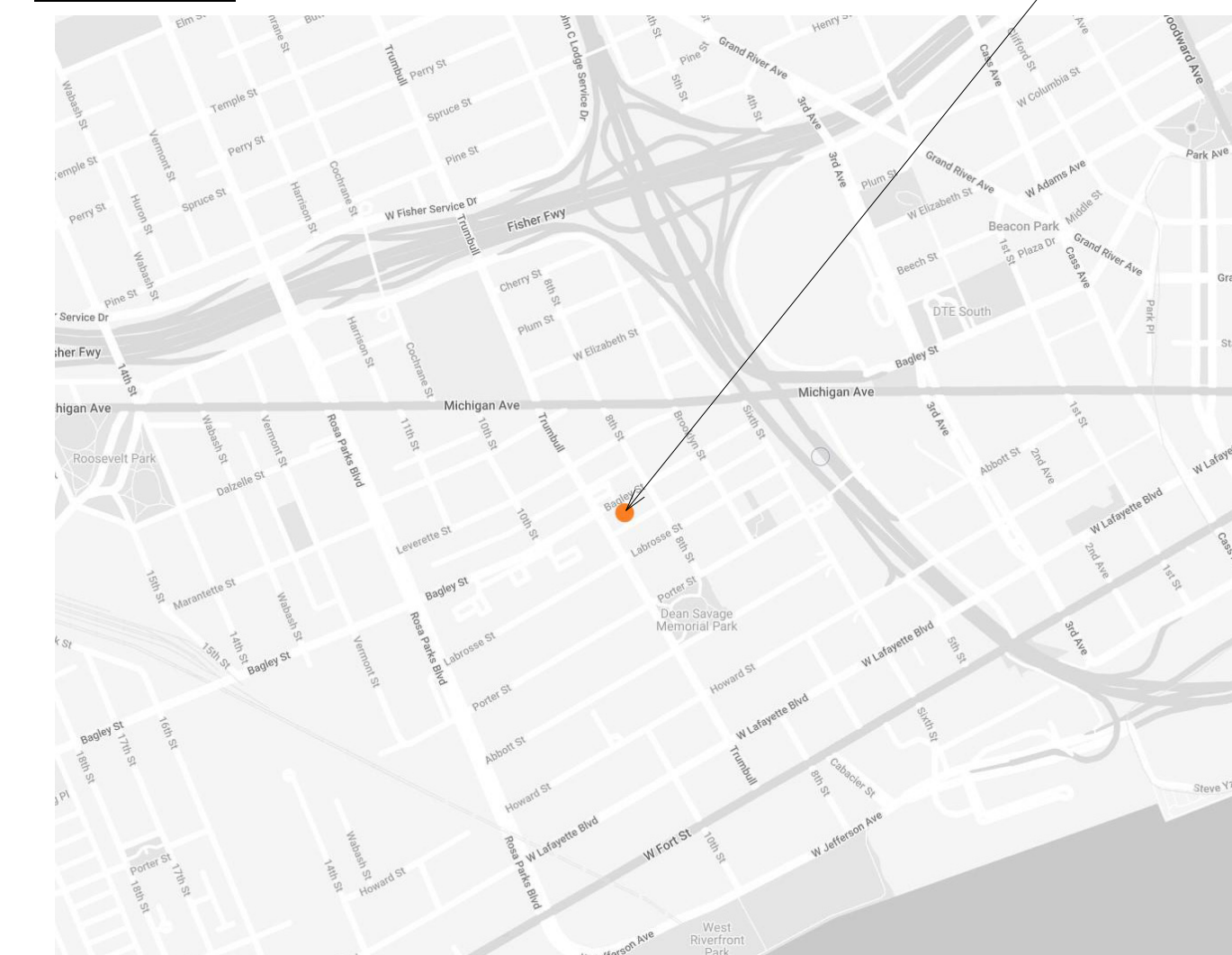
PROJECT DESCRIPTION:
THE PROPERTY IS AN EXISTING NON-CONFORMING BUILDING, AS THE LAND IS ZONED R3, BUT THE BUILDING HAS BEEN USED BY COMMERCIAL TENANTS SINCE ITS CONSTRUCTION. THE BUILDING IS A ROUGHLY 2,900 SQUARE FOOT, TWO-STORY MIXED USE BUILDING LOCATED IN CORKTOWN. THE BUILDING FRONTS ON BAGLEY AVENUE, WITH 2 RETAIL SPACES FRONT TRUMBULL AVENUE. A VACANT LOT SITS TO THE EAST OF THE BUILDING. THE BUILDING IS A LOAD BEARING MASONRY STRUCTURE WITH INTERIOR WOOD-FRAMING. TWO SMALL BASEMENTS CONTAINS MECHANICAL UNITS SERVING THE FIRST FLOOR RETAIL LEASE SPACES. THE BUILDING'S CONSTRUCTION LIKELY DATES TO THE 1880S OR 1890S. IT IS CURRENTLY AN OFFICE SPACE ON THE GROUND FLOOR.

THE CLIENT IS SEEKING TO COMPLETELY RENOVATE THE EXISTING BUILDING AND ADD A TWO-STORY, 2,376 SQUARE FOOT ADDITION TO THE EAST. THE GOAL IS TO REDEVELOP THE GROUND FLOOR SPACES, AND CONSTRUCT NEW LEASABLE CO-WORKING SPACES AND ASSOCIATED CONFERENCE ROOMS ON THE SECOND FLOOR. NEW ADA-COMPLIANT TOILET ROOMS WOULD BE PROVIDED PER CODE ON EACH FLOOR.

SHEET LIST

SHEET NUMBER	SHEET NAME
1CS	COVER SHEET
2CS	CODE SHEET
3CSP	ARCHITECTURAL SITE PLAN
A-1.0	EXISTING PLANS
A-1.1	DEMOLITION ELEVATIONS
A-2.0	PROPOSED FLOOR PLANS
A-3.0	PROPOSED EXTERIOR ELEVATIONS
A-3.1	MATERIALITY & EXTERIOR LIGHTING PLAN

VICINITY MAP



GENERAL SYMBOLS

- SECTION WITH SECTION NUMBER & NAME
- DETAIL WITH DETAIL NUMBER & NAME
- WINDOW TYPE
- DOOR TYPE
- LEVEL WITH NAME & HEIGHT
- REVISION
- NORTH DESIGNATION

ABBREVIATIONS

- @ AT
- ACOUST. ACOUSTICAL
- A.C.T. ACOUSTICAL CEILING TILE
- ADJ. ADJACENT
- A.F.F. ABOVE FINISHED FLOOR
- ALUM. ALUMINUM
- ANOD. ANODIZED
- BD. BOARD
- B.D.G. BUILDING
- BLK. BLOCK
- BLKG. BLOCKING
- B.O. BOTTOM OF
- B.O.F. BOTTOM OF FOOTING
- CEM. CEMENT
- CFM. CUBIC FEET PER MINUTE
- CL. CENTERLINE
- C.O. CLEANOUT
- COL. COLUMN
- COL.G. CORNER GUARD
- CONST. CONSTRUCTION
- CONT. CONTINUOUS
- CORR. CORRUGATED
- CPT. CARPET
- C.T. CERAMIC TILE
- DET. DETAIL
- DIA. DIAMETER
- DIM. DIMENSION
- DN. DOWN
- D.O. DOOR OPENING
- DR. DOOR
- DWG. DRAWING
- EA. EACH
- ELEV. ELEVATION
- E.W. EACH WAY
- EX. EXISTING
- EXIST. EXISTING
- EXP. EXPANSION/EXPOSED
- EXT. EXTERIOR
- F.D. FLOOR DRAIN
- FDN. FOUNDATION
- FRP. FIBER REINFORCED PANELS
- FIN. FINISH
- FLR. FLOOR
- F.O. FACE OF
- F.O.S. FACE OF STUD
- FR. FRAME
- FTG. FOOTING
- GA. GAUGE
- GALV. GALVANIZED
- GYP. GYPSUM
- HDW. HARDWARE
- H.M. HOLLOW METAL
- HORIZ. HORIZONTAL
- HT. HEIGHT
- I.D. INSIDE DIAMETER
- INSUL. INSULATION
- INT. INTERIOR
- JT. JOINT
- LAV. LAVATORY
- LG. LONG
- LLO. LONG LEG OUTSTANDING
- LLV. LONG LEG VERTICAL
- MAX. MAXIMUM
- MECH. MECHANICAL
- MET. METAL
- MEZZ. MEZZANINE
- M.I. MISCELLANEOUS IRON
- MIN. MINIMUM
- MISC. MISCELLANEOUS
- M.O. MASONRY OPENING
- N.I.C. NOT IN CONTRACT
- N.S. NO SCALE
- N.T.S. NOT TO SCALE
- O.C. ON CENTER
- O.D. OUTSIDE DIAMETER
- OPNG. OPENING
- OPP. OPPOSITE
- PL.G. PLATE GLASS
- PL.S. PLATE STEEL
- PL. PLATE
- P.LAM. PLASTIC LAMINATE
- PLAS. PLASTER
- PREFAB. PREFABRICATED
- PROJ. PROJECT
- P.F. POUNDS PER SQUARE FOOT
- PT. PAINT/POINT
- R. RISE
- R.A. RETURN AIR
- R.B. RUBBER BASE
- R.C. ROOF CONDUCTOR
- R.F. RUBBER FLOORING
- REINF. REINFORCED/REINFORCING
- REQD. REQUIRED
- RFG. ROOFING
- RM. ROOM
- R.S. ROOF SUMP
- R.T. RUBBER TILE
- SAN. SANITARY
- SCHED. SCHEDULE
- SHT. SHEET
- SIM. SIMILAR
- SPEC. SPECIFICATION
- S.S. SERVICE SINK/STAINLESS STEEL
- STL. STEEL
- STD. STANDARD
- STOR. STORAGE
- STRUCT. STRUCTURAL
- SUSP. SUSPENDED
- SW. SWITCH
- SYM. SYMMETRICAL
- T. TREAD
- T&B TOP AND BOTTOM
- TEL. TELEPHONE
- TERR. TERRAZZO
- T&G TONGUE AND GROOVE
- THK. THICK/THICKNESS
- THRES. THRESHOLD
- T.O. TOP OF
- T.O.F. TOP OF FOOTING
- T.O.S. TOP OF STEEL
- TYP. TYPICAL
- U/C UNDERCUT
- U.N.O. UNLESS NOTED OTHERWISE
- US. UNDERSIDE
- V.B. VINYL BASE
- V.C.B. VINYL COBE BASE
- V.C.T. VINYL COMPOSITE TILE
- V.I.F. VERIFY IN FIELD
- V.S.B. VINYL STRAIGHT BASE
- VERT. VERTICAL
- WD. WIDE
- WAINS. WAINSCOT
- W.A. WATER CLOSET
- WD. WIN. WOOD WINDOW
- WD. WOOD
- WT. WEIGHT
- W.W.F. WELDED WIRE FABRIC
- W.W.M. WOVEN WIRE MESH



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NO.	DESCRIPTION	DATE
1	Historic Review	11/21/2022
2	Historic Review REV 1	12/06/2022

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1451 BAGLEY REDEVELOPMENT
1451 BAGLEY ST.
DETROIT, MI 48216
BALLPOINT BAGLEY LLC
COVER SHEET
SHEET NUMBER
1CS

DISCLAIMER: ALL CONDITIONS DEPICTED ARE BASED ON KNOWLEDGE DISCOVERED UPON FIELD MEASURE (OR CONVEYED BY OWNER). IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT AND OWNER OF ANY DISCOVERIES EXPOSED UPON DEMOLITION / NEW CONSTRUCTION THAT DIFFER FROM CONDITIONS DEPICTED HEREIN.

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Revision Schedule		
#	Description	Date
1	Historic Review	11/21/2022
2	Historic Review REV 1	12/06/2022

NOT FOR CONSTRUCTION

DATE SEALED

1451 BAGLEY REDEVELOPMENT
PROJECT NUMBER: 222048-1H
1451 BAGLEY ST.
DETROIT, MI 48216
BALLPOINT BAGLEY LLC
SHEET TITLE: CODE SHEET

SHEET NUMBER
2CS
12/9/2022 4:11:56 PM

BUILDING CODE REVIEW - MIXED USE BLDG

GOVERNING CODES:
2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS (MRCEB)
2015 MICHIGAN MECHANICAL CODE (MMC)
2015 MICHIGAN PLUMBING CODE (MPC)
2017 NATIONAL ELECTRICAL CODE (NEC)
2015 MICHIGAN UNIFORM ENERGY CODE (MUEC)
2015 INTERNATIONAL FIRE CODE NFPA 1, UNIFORM FIRE CODE

OVERALL GROSS BUILDING AREAS:

EXISTING BASEMENT FLOOR:	713 GSF
EXISTING FIRST FLOOR:	1,250 GSF
EXISTING SECOND FLOOR:	1,366 GSF
TOTAL EXISTING BUILDING:	3,329 GSF
NEW ADDITION FIRST FLOOR:	1,167 GSF
NEW ADDITION SECOND FLOOR:	1,140 GSF
TOTAL ADDITION:	2,307 GSF

TOTAL PROPOSED BUILDING: 5,636 GSF

YEAR BUILDING CONSTRUCTED: CIRCA 1890
COMPLIANCE METHOD: WORK AREA COMPLIANCE METHOD (MRCEB 301.1)
APPLICABLE CHAPTERS: LEVEL 3 (MRCEB CHAPTER 9)
CHANGE OF USE (MRCEB CHAPTER 10)
ADDITIONS (MRCEB CHAPTER 11)

USE AND OCCUPANCY:
EXISTING USES:
FIRST FLOOR: MERCANTILE GROUP M (RETAIL SALES)
SECOND FLOOR: RESIDENTIAL GROUP R-2 (APARTMENT UNIT)
BASEMENT: STORAGE GROUP S-2 (ANCILLARY STORAGE & MECHANICAL)
PROPOSED USES:
FIRST FLOOR: MERCANTILE GROUP M (RETAIL SALES)
SECOND FLOOR: ASSEMBLY GROUP A-2 (RESTAURANT)
BASEMENT: BUSINESS GROUP B (OFFICE SPACE)
STORAGE GROUP S-2 (ANCILLARY STORAGE & MECHANICAL)

FIRE RESISTANCE RATINGS: (MBC TABLES 601 & 602)

CONSTRUCTION TYPE:	TYPE VB
PRIMARY STRUCTURAL FRAME:	0 HOURS
EXTERIOR BEARING WALLS:	0 HOURS
INTERIOR BEARING WALLS:	0 HOURS
INTERIOR NON-BEARING WALLS:	0 HOURS
FLOOR CONSTRUCTION:	0 HOURS
ROOF CONSTRUCTION:	0 HOURS

INTERIOR FINISHES: (MBC TABLE 803.11)
M / MERCANTILE (NON-SPRINKLERED)
INTERIOR EXIT STAIRWAYS/PASSAGEWAYS
CORRIDORS, EXIT ACCESS ENCLOSURES
ROOMS AND ENCLOSED SPACES CLASS A
CLASS B
CLASS C

A-2 / ASSEMBLY (NON-SPRINKLERED)
INTERIOR EXIT STAIRWAYS/PASSAGEWAYS
CORRIDORS, EXIT ACCESS ENCLOSURES
ROOMS AND ENCLOSED SPACES CLASS A
CLASS B
CLASS C

B / BUSINESS (NON-SPRINKLERED)
INTERIOR EXIT STAIRWAYS/PASSAGEWAYS
CORRIDORS, EXIT ACCESS ENCLOSURES
ROOMS AND ENCLOSED SPACES CLASS A
CLASS B
CLASS C

FIRE PROTECTION SYSTEMS:

AUTOMATIC FIRE SUPPRESSION SYSTEM: (MBC SECT. 903.2.4)
SPRINKLER SYSTEM NOT REQUIRED:
GROUP A-2 FIRE AREA AT LEVEL OF EXIT DISCHARGE WITH OCCUPANT LOAD LESS THAN 100 PEOPLE (MBC SECT. 903.2.1.2)
GROUP B FIRE AREA (MBC SECT. 903.2)
GROUP M FIRE AREA LESS THAN 12,000 SF, LESS THAN 3 STORIES ABOVE GRADE PLANE, AND LESS THAN 24,000 SF OF GROUP M OCCUPANCIES ON ALL LEVELS COMBINED (MBC SECT. 903.2)

AUTOMATIC SPRINKLER SYSTEM NOT PROVIDED.

PORTABLE FIRE EXTINGUISHERS: (MBC SECT. 906 / TABLE 906.3(1))
• MAXIMUM TRAVEL DISTANCE = 75 FT.
• WITHIN 30 FEET OF COMMERCIAL COOKING EQUIPMENT

FIRE ALARM AND DETECTION SYSTEM: (MBC SECT. 907.2.1)
• FIRE ALARM AND DETECTION SYSTEM: NOT REQUIRED / GROUP A OCCUPANT LOAD <300

MEANS OF EGRESS:

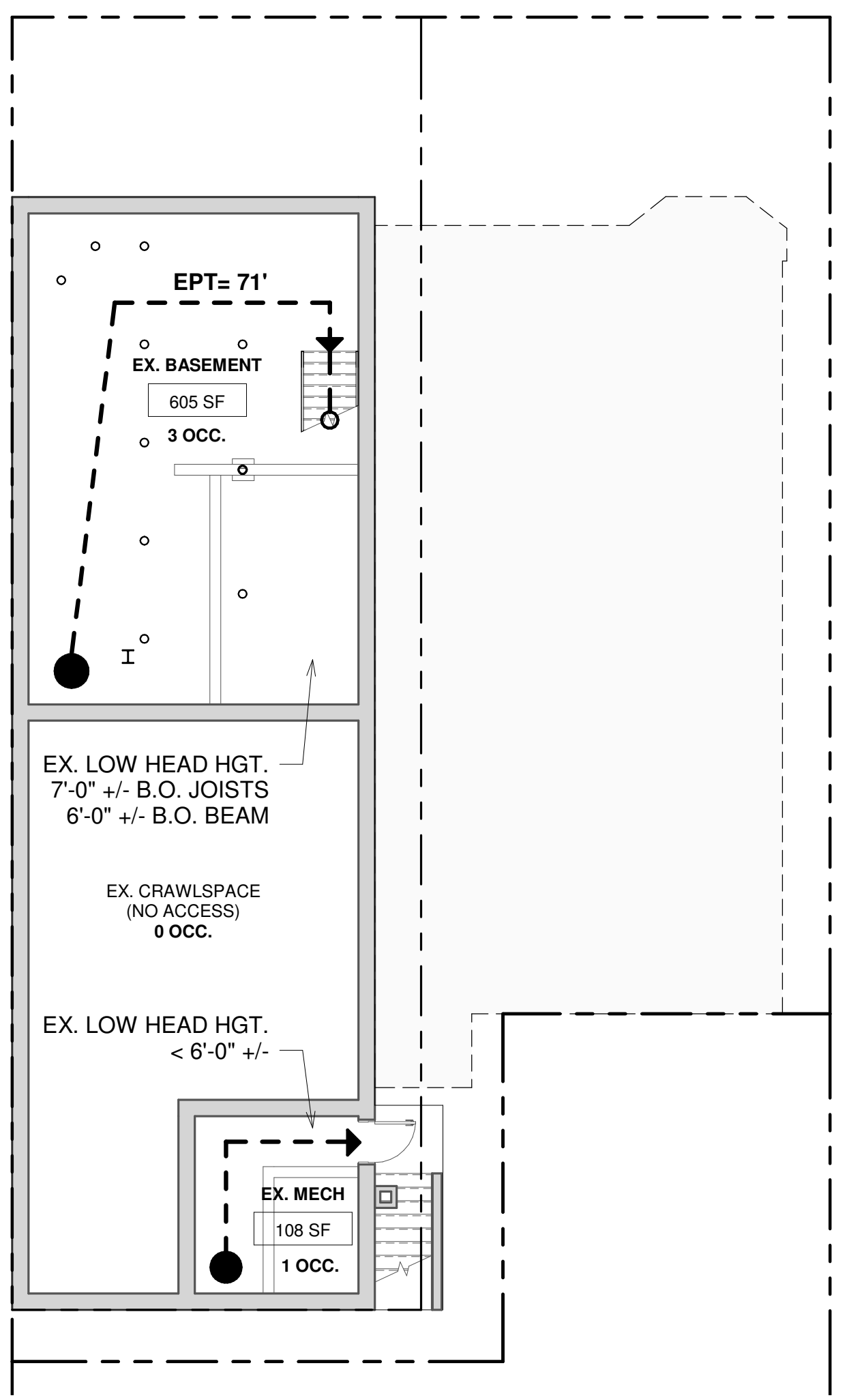
OCCUPANT LOAD: (MBC TABLE 1004.1.2)

SPACE	FUNCTION OF SPACE	AREA/OCCUPANT	USABLE AREA	OCCUPANTS
FIRST FLOOR				
RETAIL 1	MERCANTILE	60 SF/P GROSS	360 SFG	6
RETAIL 2	MERCANTILE	60 SF/P GROSS	324 SFG	6
RETAIL 3	ASSEMBLY	15 SF/P NET	336 SFN	23
KITCHEN:	COMMERCIAL KITCHEN	200 SF/P GROSS	181 SFG	1
RETAIL 4	MERCANTILE	60 SF/P GROSS	728 SFG	12
OCCUPANT LOAD: 48				
SECOND FLOOR				
OFFICE	BUSINESS	100 SF/P GROSS	2,506 SFG	26
OCCUPANT LOAD: 26				
BASEMENT				
BASEMENT	STORAGE/MECHANICAL	300 SF/P GROSS	605 SFG	2
UTILITY ROOM	MECHANICAL	300 SF/P GROSS	108 SFG	1
OCCUPANT LOAD: 3				
TOTAL OCCUPANT LOAD: 78				

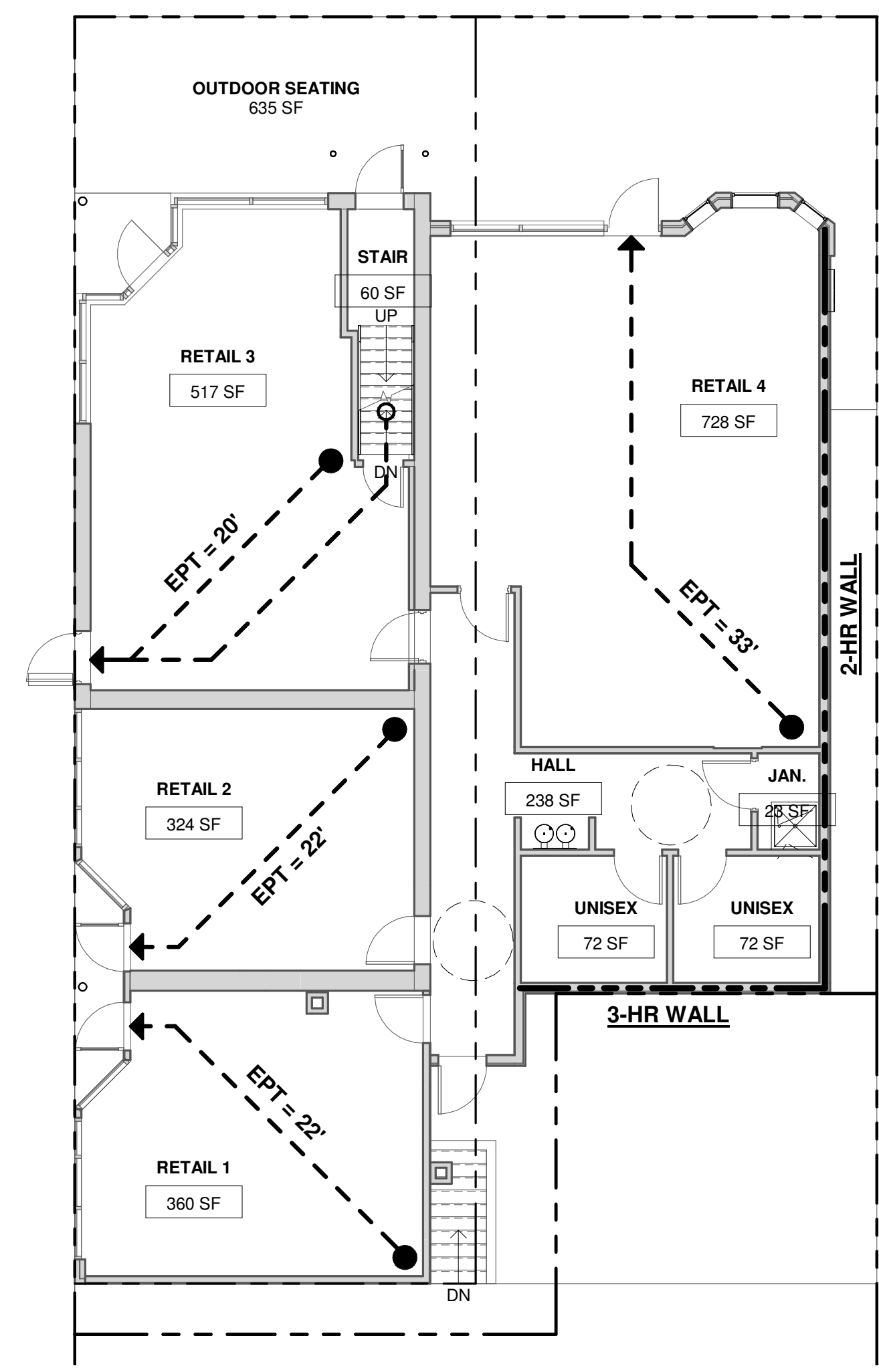
REQUIRED NUMBER OF EXITS: (MBC SECT. 1006 / TABLE 1006.2.1)
• COMMON PATH OF TRAVEL: 75 FT. MAX
• 1 EXITS REQUIRED / OCCUPANT LOAD <49 & COMMON PATH OF TRAVEL >75 FT.

EXIT ACCESS TRAVEL DISTANCE AND OCCUPANT LOAD: (MBC SECT. 1017 / TABLE 1017.2)
• MAXIMUM ALLOWABLE TRAVEL DISTANCE: 200 FEET

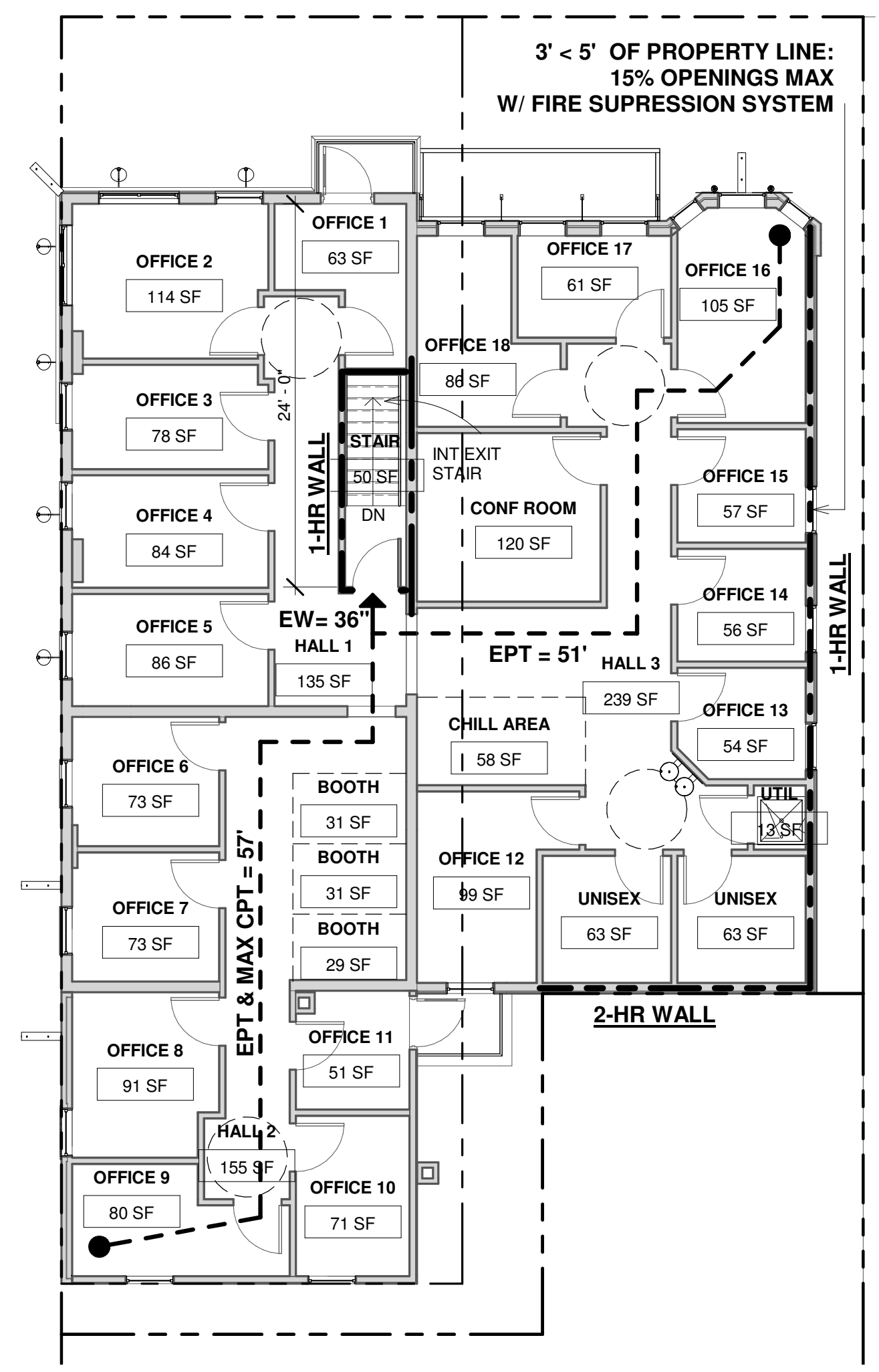
ACCESSIBILITY: (MRCEB SECT. 705, 806, 906, 1012, & MBC SECT. 1104.4)
• ACCESSIBILITY REQUIRED TO PRIMARY FUNCTIONS AT GRADE LEVEL
• ACCESSIBLE ROUTE NOT REQUIRED TO SECOND FLOOR DUE TO ITS SIZE (<3,000 SF)
MBC 1104.4, EXCEPTION 1



3 FOUNDATION PLAN - LIFE SAFETY PLAN
A-4.0 1/8" = 1'-0"



1 FIRST FLOOR - LIFE SAFETY PLAN
A-3.0 1/8" = 1'-0"



2 SECOND FLOOR - LIFE SAFETY PLAN
A-3.0 1/8" = 1'-0"

PLUMBING FIXTURE REQUIREMENTS

USE GROUP: ASSEMBLY (RESTAURANT) / A-2
MERCANTILE / M
BUSINESS / B

OCCUPANT LOAD:
A-2 = 78 OCCUPANTS / 2 = 39 FEMALE AND 39 MALE
M = 48 OCCUPANTS / 2 = 24 FEMALE AND 24 MALE
B = 26 OCCUPANTS / 2 = 13 FEMALE AND 13 MALE

REQUIRED FIXTURES:

USE GROUP:	ASSEMBLY / A-2: RESTAURANT
WATER CLOSETS/URINALS REQUIRED:	1 PER 75 OCCUPANTS
LAVATORIES REQUIRED:	1 PER 200 OCCUPANTS
DRINKING FOUNTAINS REQUIRED:	NONE REQUIRED (MPC 410.4)
SERVICE SINKS REQUIRED:	1 REQUIRED

USE GROUP:	MERCANTILE / M: RETAIL SALES
WATER CLOSETS/URINALS REQUIRED:	1 PER 75 OCCUPANTS
LAVATORIES REQUIRED:	1 PER 200 OCCUPANTS
DRINKING FOUNTAINS REQUIRED:	NONE REQUIRED (MPC 410.4)
SERVICE SINKS REQUIRED:	1 REQUIRED

USE GROUP:	BUSINESS / B: OFFICE
WATER CLOSETS/URINALS REQUIRED:	1 PER 25 FOR THE FIRST 25 & 1 PER 50 FOR THE REMAINDER EXCEEDING 50
LAVATORIES REQUIRED:	1 PER 40 FOR THE FIRST 80 & 1 PER 80 FOR THE REMAINDER EXCEEDING 80
DRINKING FOUNTAINS REQUIRED:	1 PER 100 OCCUPANTS
SERVICE SINKS REQUIRED:	1 REQUIRED

FIXTURES PROVIDED:

GROUND FLOOR	SECOND FLOOR
FEMALE RESTROOM:	FEMALE RESTROOM:
24 OCCUPANTS	12 OCCUPANTS
12 ASSEMBLY OCCUPANTS	
13 MERCANTILE OCCUPANTS	
WATER CLOSETS:	WATER CLOSETS:
24 OCCUPANTS/75 = 0.33	12 OCCUPANTS/25 = 1
12 OCCUPANTS/500 = 0.01	1 WATER CLOSET REQUIRED / 1 PROVIDED
TOTAL = 1.01	
2 WATER CLOSETS REQUIRED / 2 PROVIDED	
LAVATORIES:	LAVATORIES:
24 OCCUPANTS/200 = 0.125	12 OCCUPANTS/40 = 1
12 OCCUPANTS/750 = 0.01	1 LAVATORY REQUIRED / 1 PROVIDED
TOTAL = 0.40	
1 LAVATORIES REQUIRED / 2 PROVIDED	
MALE RESTROOM:	MALE RESTROOM:
24 OCCUPANTS	12 OCCUPANTS
12 ASSEMBLY OCCUPANTS	
13 MERCANTILE OCCUPANTS	
WATER CLOSETS:	WATER CLOSETS:
24 OCCUPANTS/75 = 1.00	12 OCCUPANTS/25 = 1
24 OCCUPANTS/500 = 0.01	1 WATER CLOSET REQUIRED / 1 PROVIDED
TOTAL = 1.01	
2 WATER CLOSETS REQUIRED / 2 PROVIDED	
LAVATORIES:	LAVATORIES:
24 OCCUPANTS/200 = 0.39	12 OCCUPANTS/40 = 1
24 OCCUPANTS/750 = 0.01	1 LAVATORY REQUIRED / 1 PROVIDED
TOTAL = 0.40	
1 LAVATORIES REQUIRED / 2 PROVIDED	
SERVICE SINK:	SERVICE SINK:
1 REQUIRED / 1 PROVIDED (FOR RESTAURANT)	1 REQUIRED / 1 PROVIDED
SERVICE SINKS NOT REQUIRED FOR RETAIL OR BUSINESS OCCUPANCIES W/ AND OCCUPANT LOAD <15 PEOPLE (MPC TABLE 403.1, NOTE G)	
DRINKING FOUNTAIN:	DRINKING FOUNTAIN:
NOT REQUIRED IN FOOD SERVICE OCCUPANCIES THAT PROVIDE WATER FREE OF CHARGE (MPC SECT. 410.4)	24 OCCUPANTS/100 = 1
DRINKING FOUNTAIN NOT REQUIRED FOR SPACES W/ AND OCCUPANT LOAD <15 PEOPLE (MPC TABLE 403.1, NOTE F)	1 DRINKING FOUNTAIN REQUIRED / 1 PROVIDED

FIXTURES PROVIDED:

SECOND FLOOR	BASEMENT
FEMALE RESTROOM:	FEMALE RESTROOM:
12 OCCUPANTS	
WATER CLOSETS:	WATER CLOSETS:
12 OCCUPANTS/25 = 1	
1 WATER CLOSET REQUIRED / 1 PROVIDED	
LAVATORIES:	LAVATORIES:
12 OCCUPANTS/40 = 1	
1 LAVATORY REQUIRED / 1 PROVIDED	
MALE RESTROOM:	MALE RESTROOM:
12 OCCUPANTS	
WATER CLOSETS:	WATER CLOSETS:
12 OCCUPANTS/25 = 1	
1 WATER CLOSET REQUIRED / 1 PROVIDED	
LAVATORIES:	LAVATORIES:
12 OCCUPANTS/40 = 1	
1 LAVATORY REQUIRED / 1 PROVIDED	
SERVICE SINK:	SERVICE SINK:
1 REQUIRED / 1 PROVIDED	
DRINKING FOUNTAIN:	DRINKING FOUNTAIN:
24 OCCUPANTS/100 = 1	
1 DRINKING FOUNTAIN REQUIRED / 1 PROVIDED	

MEANS OF EGRESS:

OCCUPANT LOAD: (MBC TABLE 1004.1.2)

SPACE	FUNCTION OF SPACE	AREA/OCCUPANT	USABLE AREA	OCCUPANTS
FIRST FLOOR				
RETAIL 1	MERCANTILE	60 SF/P GROSS	360 SFG	6
RETAIL 2	MERCANTILE	60 SF/P GROSS	324 SFG	6
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RETAIL 4	MERCANTILE	60 SF/P GROSS	728 SFG	12
OCCUPANT LOAD: 48				
SECOND FLOOR				
OFFICE	BUSINESS	100 SF/P GROSS	2,506 SFG	26
OCCUPANT LOAD: 26				
BASEMENT				
BASEMENT	STORAGE/MECHANICAL	300 SF/P GROSS	605 SFG	2
UTILITY ROOM	MECHANICAL	300 SF/P GROSS	108 SFG	1
OCCUPANT LOAD: 3				
TOTAL OCCUPANT LOAD: 78				

REQUIRED NUMBER OF EXITS: (MBC SECT. 1006 / TABLE 1006.2.1)
• COMMON PATH OF TRAVEL: 75 FT. MAX
• 1 EXITS REQUIRED / OCCUPANT LOAD <49 & COMMON PATH OF TRAVEL >75 FT.

EXIT ACCESS TRAVEL DISTANCE AND OCCUPANT LOAD: (MBC SECT. 1017 / TABLE 1017.2)
• MAXIMUM ALLOWABLE TRAVEL DISTANCE: 200 FEET

ACCESSIBILITY: (MRCEB SECT. 705, 806, 906, 1012, & MBC SECT. 1104.4)
• ACCESSIBILITY REQUIRED TO PRIMARY FUNCTIONS AT GRADE LEVEL
• ACCESSIBLE ROUTE NOT REQUIRED TO SECOND FLOOR DUE TO ITS SIZE (<3,000 SF)
MBC 1104.4, EXCEPTION 1

ZONING REQUIREMENTS

LOCAL AUTHORITY:

CITY OF DETROIT

LOCAL ORDINANCE:

DETROIT ZONING ORDINANCE

ZONING CLASSIFICATION:

R-3: LOW DENSITY RESIDENTIAL DISTRICT

HISTORIC DISTRICT:

CORKTOWN LOCAL HISTORIC DISTRICT

EXISTING USE CLASSIFICATION:

FIRST FLOOR:
STORES, RETAIL / EXISTING NON-CONFORMING USE (SECS. 50-8-76; 50-8-82.)

SECOND FLOOR:
MULTIPLE RESIDENCES / BY RIGHT USE (SEC. 50-8-74.)

PROPOSED USE CLASSIFICATION:

MIXED USE

FIRST FLOOR:
STORES, RETAIL / EXISTING NON-CONFORMING USE (SECS. 50-8-76; 50-8-82.) THE SALE OF NEW MERCHANDISE WITHOUT DRIVE-UP OR DRIVE-THROUGH FACILITIES. / NON-CONFORMING USE (SEC. 50-15-30.) & EXPANSION OR INTENSIFICATION OF NONCONFORMING USES (SEC. 50-15-26.)

SECOND FLOOR:
OFFICE, BUSINESS OR PROFESSIONAL. / CHANGE OF CONFORMING USE TO NONCONFORMING USE

REQUIRED SETBACKS:

(SEC. 50-13-4.)

FRONT: 20 FEET
11'-0" EXISTING
11'-0" PROPOSED AT NEW ADDITION
9'-0" DEFICIENCY

SIDES: FORMULA B = LENGTH (FEET) + 2 (HEIGHT) / 6
47'-4" + 2 (21) / 6
14'-10 3/4" REQUIRED
2'-7" PROPOSED AT ADDITION
12'-2 1/4" DEFICIENCY

REAR: 30 FEET
3'-2" EXISTING
0'-0" AT NEW ADDITION
30'-0" DEFICIENCY

VARIANCES REQUIRED FOR SIDE & REAR SETBACKS

(SEC. 50-13-4.) 35 FEET MAXIMUM
+/- 21 FEET AT EXISTING BUILDING

BUILDING HEIGHT:

(SEC. 50-13-4.)

FLOOR AREA RATIO:

(SEC. 50-13-4.) 0.70 FAR
4,695 GSF PROPOSED BUILDING / 3,772 SF LOT = 1.24 FAR

0.54 FAR DEFICIENCY

VARIANCE REQUIRED FOR FAR

REQUIRED LOADING:

(SEC. 50-14-114)

LOADING REQUIRED: ALL OTHER RETAIL, SERVICE AND COMMERCIAL USES 1,600-10,000 SF - (1) SPACE AT 12'X35'

LOADING PROVIDED: 1 LOADING SPACE PROVIDED IN ALLEY TO THE SOUTH OF 1431 TRUMBULL BETWEEN BAGLEY AND LABROSSE IN ACCORDANCE W/ SEC. 50-14-111.

REQUIRED PARKING:

(SEC. 50-14-7.)

EXISTING NON-CONFORMING ROOM:
RETAIL: 1 PER 200 SQUARE FEET OF GROSS FLOOR AREA (SECT. 50-14-91.)
1,437 GSF/ 200 = 7 SPACES
RESIDENTIAL: 1.25 PER DWELLING UNIT (SECT. 50-14-34.)
1 UNIT = 1 SPACE
TOTAL SPACES REQ'D. FOR EX. USE = 8 SPACES; 0 PROVIDED

NEW REQUIREMENT: RETAIL: 1 PER 200 SQUARE FEET OF GROSS FLOOR AREA (SECT. 50-14-91.)
2,677 GSF/ 200 = 13 SPACES
OFFICE, BUSINESS OR PROFESSIONAL: 1 PER 400 SQUARE FEET
2700 GSF/ 400 = 6.75 = 7 SPACES
TOTAL REQUIREMENT: 20 SPACES - 8 SPACES = 12 SPACES

PARKING PROVIDED: NONE PROVIDED

ZONING VARIANCE REQUIRED FOR INCREASE IN USE INTENSITY

SEC. 50-14-7. - OFF-STREET PARKING EXEMPTIONS AND ALLOWANCES.

EXPANSIONS AND INCREASES IN INTENSITY, UNLESS OTHERWISE EXPRESSLY STATED, THE PARKING, LOADING, AND ACCESS STANDARDS OF THIS DIVISION SHALL APPLY WHERE AN EXISTING STRUCTURE OR USE IS EXPANDED OR ENLARGED, THROUGH THE ADDITION OF DWELLING UNITS, FLOOR AREA, SEATING CAPACITY, EMPLOYEES OR OTHER UNITS OF MEASUREMENT THAT ARE USED FOR ESTABLISHING OFF-STREET PARKING AND LOADING REQUIREMENTS. ADDITIONAL OFF-STREET PARKING AND LOADING SPACES SHALL BE REQUIRED ONLY TO SERVE THE ENLARGED OR EXPANDED AREA, AND NOT THE ENTIRE BUILDING OR USE; AND

CHANGE OF USE, EXCEPT AS PROVIDED FOR IN SUBDIVISION F OF THIS DIVISION, OFF-STREET PARKING AND LOADING FACILITIES SHALL BE PROVIDED FOR ANY CHANGE OF USE THAT, BASED ON THE OFF-STREET PARKING SCHEDULES OF SUBDIVISIONS B AND C OF THIS DIVISION OR THE OFF-STREET LOADING SCHEDULE OF SUBDIVISION D OF THIS DIVISION, WOULD RESULT IN A REQUIREMENT FOR MORE PARKING OR LOADING THAN THE FORMER USE. ADDITIONAL PARKING OR LOADING SHALL BE REQUIRED ONLY IN PROPORTION TO THE CHANGE, AND NOT FOR THE ENTIRE BUILDING OR USE.

SPACES THAN LOADING SPACES TO THE EXTENT OF THE BUILDING OR USE.

NOTE:
1. ARCHITECTURAL SITE PLAN FOR REFERENCE ONLY.
2. REFER TO SITE PLAN BY CIVIL ENGINEER FOR ALL CIVIL ENGINEERING INFORMATION.
3. ALL INFO PROVIDED BY OWNER AND PUBLICLY PROVIDED INFO.
4. ALL LANDSCAPE SELECTIONS BY OWNER/CONTRACTOR.



3 **SOUTHWEST PERSPECTIVE**



2 **AERIAL - SITE**

1 **SITE PLAN - PROPOSED**
A.3.0 1/8" = 1'-0"

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Revision Schedule

#	Description	Date
1	Historic Review	11/21/2022
2	Historic Review REV 1	12/06/2022

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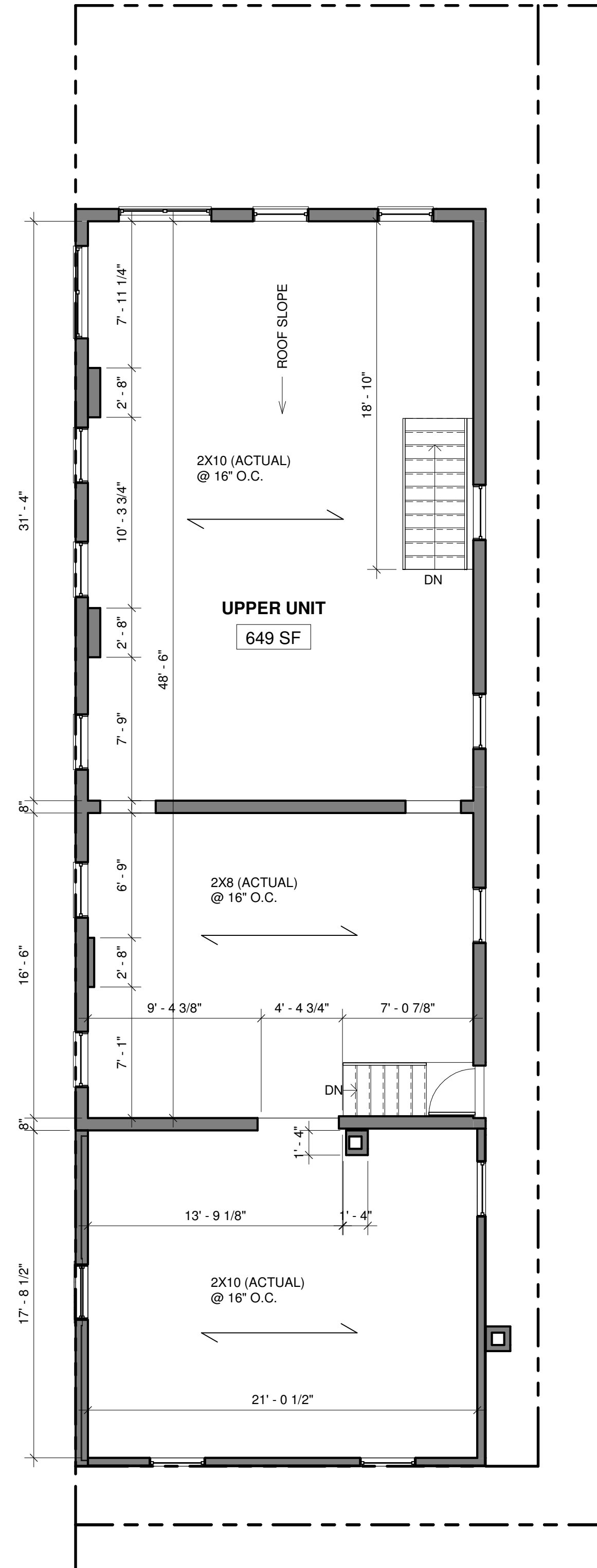
DATE SEALED

1451 BAGLEY REDEVELOPMENT
PROJECT NUMBER: 222948-1H
1451 BAGLEY ST.
DETROIT, MI 48216
BALLPOINT BAGLEY LLC
ARCHITECTURAL SITE PLAN

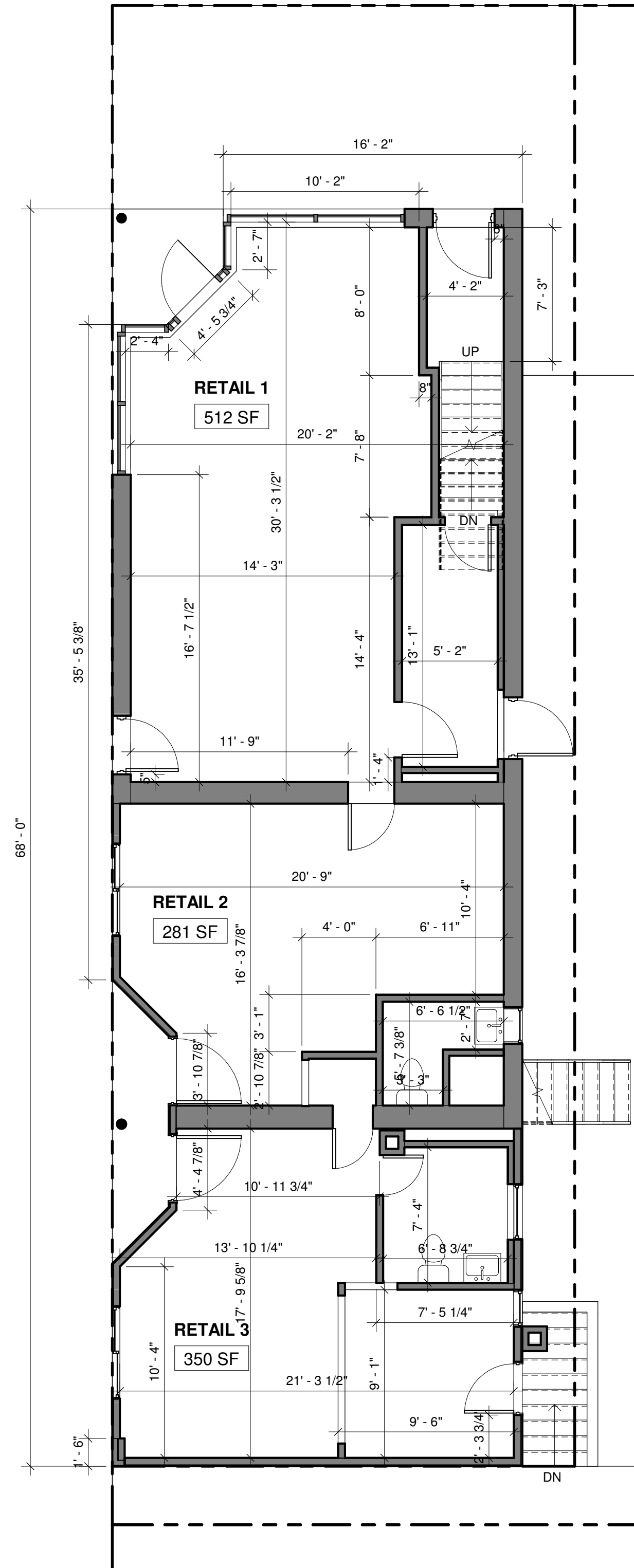
SHEET NUMBER
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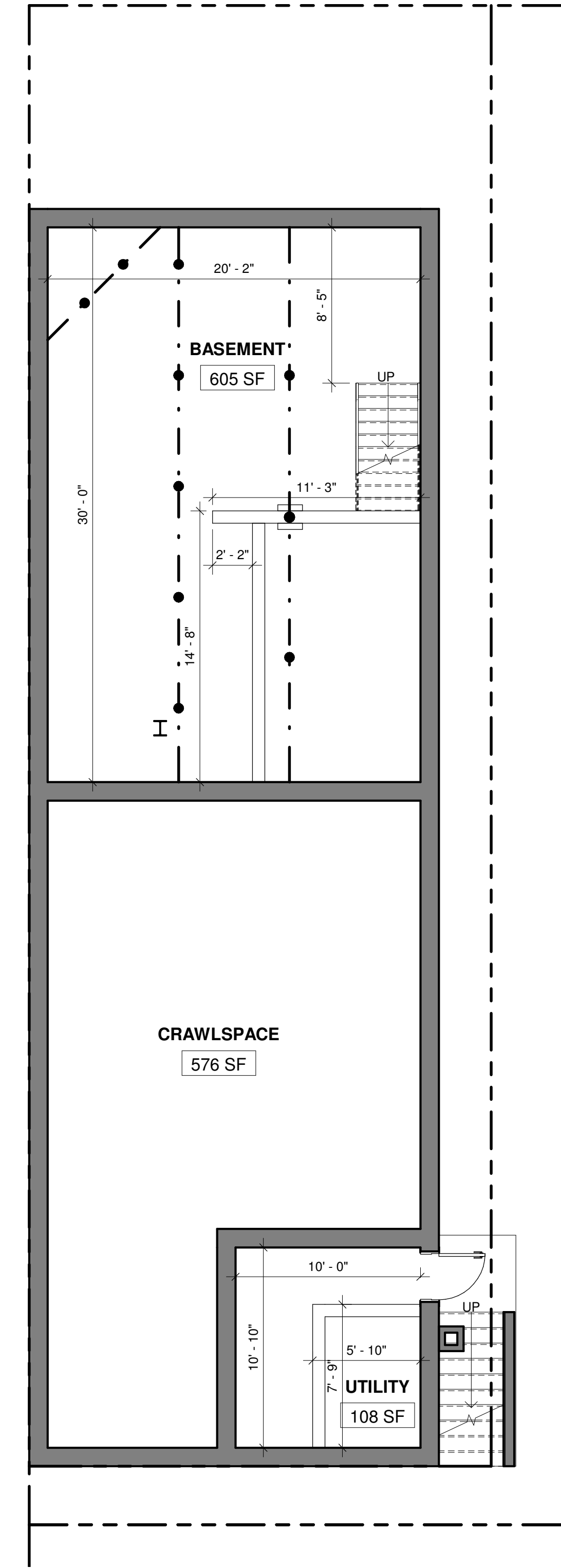
EXISTING CONDITIONS PHOTOS



3 SECOND FLOOR - EXISTING
A-3.0 3/16" = 1'-0"



2 FIRST FLOOR - EXISTING
A-3.0 3/16" = 1'-0"



1 FOUNDATION PLAN - EXISTING
A-4.0 3/16" = 1'-0"

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DATE SEALED

1451 BAGLEY REDEVELOPMENT
PROJECT NUMBER: Z22048-1H
1451 BAGLEY ST.
DETROIT, MI 48216
BALLPOINT BAGLEY LLC
SHEET TITLE
EXISTING PLANS

SHEET NUMBER

A-1.0

DEMOLITION NOTES:

REGULATORY REQUIREMENTS:

- A. COMPLY WITH GOVERNING EPA NOTIFICATION REGULATIONS BEFORE STARTING DEMOLITION. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION. OBTAIN AND PAY FOR ALL PERMITS REQUIRED. WHERE TOXIC SUBSTANCES ARE SUSPECTED TO BE PRESENT, PARTICULARLY LEAD PAINT AND ASBESTOS, A CERTIFIED REMOVAL ENTITY SHALL BE RETAINED AND FOLLOW GOVERNING AGENCY GUIDELINES FOR REMOVAL AND DISPOSAL.
- B. CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY PROTECTION REQUIRED BY FEDERAL, STATE, AND LOCAL LAW TO INSURE PUBLIC AND WORKER SAFETY. COMPLY WITH OSHA AND EPA REQUIREMENTS.

PREPARATION:

- A. AS PART OF THE PROJECT SCOPE, THE CONTRACTOR SHALL PREPARE ALL DRAWINGS, DOCUMENTS, AND APPLICATIONS AND SHALL OBTAIN ALL GOVERNMENT AGENCY APPROVALS AND PERMITS REQUIRED FOR DEMOLITION ACTIVITIES.
- B. CONDUCT DEMOLITION OPERATIONS AND REMOVE MATERIALS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED AND UTILIZED FACILITIES.
- C. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER ADJACENT OCCUPIED OR UTILIZED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY GOVERNING REGULATIONS.
- D. CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE AROUND DEMOLITION AREA.
- E. ERECT TEMPORARY PROTECTION, SUCH AS WALKS, FENCES, RAILINGS, CANOPIES, AND COVERED PASSAGEWAYS, WHERE REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- F. MAINTAIN TEMPORARY PROTECTION TO PEOPLE AT EXTERIOR AREAS OF THE EXISTING BUILDING WHERE DECORATIVE MEDALLION REMOVAL WORK IS BEING DONE.
- G. PROTECT EXISTING SITE IMPROVEMENTS, APPURTENANCES, AND LANDSCAPING THAT ARE DESIGNATED TO REMAIN IN PLACE.
- H. PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING, BRACING, OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF BUILDINGS TO BE DEMOLISHED AND ADJACENT BUILDINGS TO REMAIN.
- I. STRENGTHEN OR ADD NEW SUPPORTS WHEN REQUIRED DURING PROGRESS OF DEMOLITION.
- J. VERIFY THAT UTILITIES HAVE BEEN DISCONNECTED AND CAPPED.
- K. SURVEY EXISTING CONDITIONS AND CORRELATE WITH REQUIREMENTS INDICATED TO DETERMINE EXTENT OF DEMOLITION AND RECYCLING REQUIRED.
- L. SURVEY CONDITION OF THE BUILDING TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN A STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF THE STRUCTURE OR ADJACENT STRUCTURES DURING DEMOLITION.
- M. RETAIN A LICENSED AND QUALIFIED STRUCTURAL ENGINEER TO PROVIDE ANALYSIS, INCLUDING CALCULATIONS, NECESSARY TO ENSURE THE SAFE EXECUTION OF THE DEMOLITION WORK. BEARING WALLS, STRUCTURAL STEEL, CONCRETE FOUNDATIONS AND SUPPORTED SLABS WITH STRUCTURAL FRAMING SHALL NOT BE ALTERED WITHOUT A FIELD INVESTIGATION BY THE ARCHITECT OR A STRUCTURAL ENGINEER.

GENERAL:

- A. DEMOLITION DRAWINGS INDICATE GENERAL AREAS OF DEMOLITION ONLY. EXTENT OF REMOVAL OF EXISTING CONSTRUCTION MATERIALS TO BE DETERMINED BY FIELD INVESTIGATION AND COORDINATION WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DOCUMENTS AS REQUIRED TO ACCOMMODATE THE NEW CONSTRUCTION. EXISTING MECHANICAL, PLUMBING, AND ELECTRICAL TO BE RELOCATED PER DRAWINGS, COORDINATE WITH CONTRACTORS AS REQUIRED.
- B. COORDINATE REMOVAL OF EXISTING ITEMS WITH PROPOSED FRAMING DETAILS, INTERIOR ELEVATIONS, AND DETAILS. PROVIDE TEMPORARY STRUCTURAL SUPPORT AS REQUIRED PRIOR TO STRUCTURAL DEMOLITION.
- C. PATCH AND REPAIR EXISTING MATERIALS TO REMAIN AS REQUIRED WHERE REMOVAL OF EXISTING CONSTRUCTION OR WHERE REQUIREMENTS OF NEW CONSTRUCTION NECESSITATES CUTTING OR ALTERING EXISTING MATERIALS. EXISTING WALLS, FLOORS, AND CEILING TO REMAIN INTACT AS IS INDICATED ON DRAWINGS. COORDINATE WITH ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR THE PATCH AND REPAIR OF ALL DAMAGE ARISING FROM DEMOLITION OPERATIONS AS REQUIRED TO MATCH EXISTING.
- D. ALL DEMOLITION WORK SHALL ATTEMPT TO SALVAGE ADJACENT AREAS AND RE-USABLE MATERIALS TO THE EXTENTS POSSIBLE. VERIFY OWNER'S INTENT TO REUSE OR STORE ANY BUILDING COMPONENTS PRIOR TO DISPOSAL. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN PROPERTY OF OWNER, DEMOLISHED MATERIALS SHALL BECOME THE CONTRACTOR'S PROPERTY AND SHALL BE REMOVED, RECYCLED, OR DISPOSED FROM PROJECT SITE IN AN APPROPRIATE AND LEGAL MANNER.
- E. EVERY ATTEMPT SHALL BE MADE BY THE DEMOLITION CONTRACTOR TO SEPARATE BUILDING MATERIALS INTO RECYCLABLE CONTENT.
- F. LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE BUILDING AND REMOVE DEBRIS AND MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
- G. REMOVE STRUCTURAL FRAMING MEMBERS AND LOWER TO GROUND BY METHOD SUITABLE TO AVOID FREE FALL AND TO PREVENT GROUND IMPACT OR DUST GENERATION.
- H. PROVIDE TEMPORARY AND SECURE WATERPROOF ENCLOSURE DURING CONSTRUCTION.
- I. PREPARE ALL SURFACES AS REQUIRED TO RECEIVE NEW WORK AND NEW FINISHES AS INDICATED ON THE DRAWINGS AND SPECIFICATIONS.
- J. ALL SALVAGED ITEMS TO BE CLEANED, REPAIRS, OR PATCHED AS NECESSARY PRIOR TO NEW INSTALLATION.
- K. REMOVE ANY DAMAGED MASONRY AT REMAINING WALLS. PROVIDE NEW INFILL TO MATCH EXISTING.
- L. REMOVE EXISTING MECHANICAL AND PLUMBING SYSTEMS, VENTS, FIXTURES, DRAINS, AND DUCTWORK NOT INDICATED FOR REUSE. DO NOT ABANDON ITEMS IN PLACE UNLESS NOTED OTHERWISE. REFER TO MECHANICAL AND PLUMBING FOR ADDITIONAL INFORMATION.

DISPOSAL PRACTICES AND HAULING:

- A. LEGALLY TRANSPORT AND DISPOSE OF MATERIALS THAT CANNOT BE DELIVERED TO A SOURCE-SEPARATED OR MIXED RECYCLING FACILITY TO A TRANSFER STATION OR DISPOSAL FACILITY THAT CAN LEGALLY ACCEPT THE MATERIALS FOR THE PURPOSE OF DISPOSAL.
- B. USE A PERMITTED WASTE HAULER OR CONTRACTOR'S TRUCKING SERVICES AND PERSONNEL. TO CONFIRM VALID PERMITTED STATUS OF WASTE HAULERS, CONTACT THE APPROPRIATE WASTE MANAGEMENT AGENCY.
- C. BECOME FAMILIAR WITH THE CONDITIONS FOR ACCEPTANCE OF NEW CONSTRUCTION, EXCAVATION AND DEMOLITION MATERIALS AT RECYCLING FACILITIES, PRIOR TO DELIVERING MATERIALS.
- D. DELIVER TO FACILITIES THAT CAN LEGALLY ACCEPT NEW CONSTRUCTION, EXCAVATION AND DEMOLITION MATERIALS FOR PURPOSE OF RE-USE, RECYCLING, COMPOSTING, OR DISPOSAL.
- E. DO NOT BURN, BURY OR OTHERWISE DISPOSE OF RUBBISH AND WASTE MATERIALS ON PROJECT SITE.
- F. DEMOLISH CONCRETE AND MASONRY IN SIZES THAT WILL BE SUITABLE FOR ACCEPTANCE AT RECYCLING OR DISPOSAL FACILITIES.

ELECTRICAL DEMOLITION:

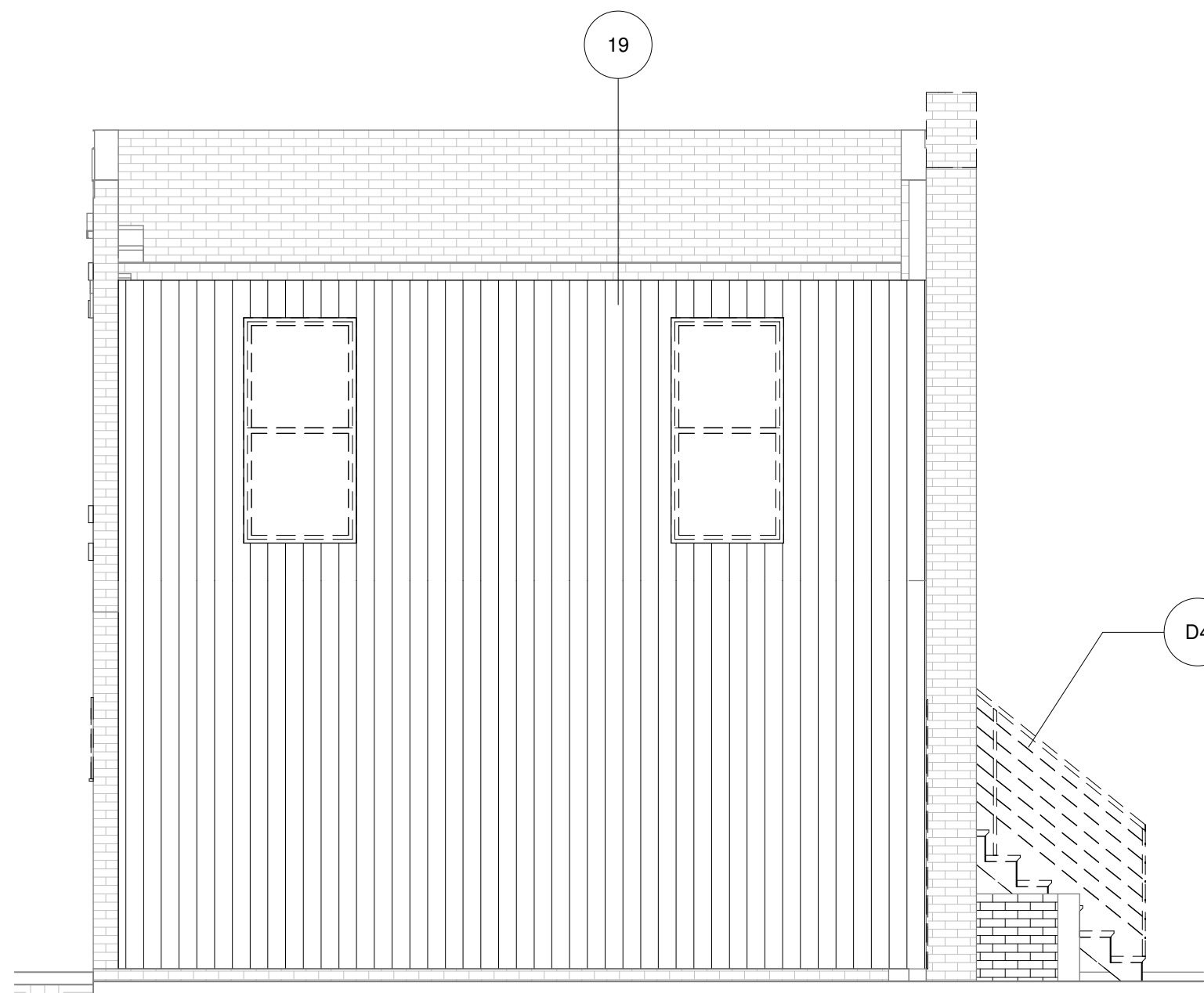
- A. SAFETY-RELATED WORK PRACTICES SHALL BE EMPLOYED TO PREVENT ELECTRIC SHOCK OR ELECTRICAL CONTACTS. WHEN WORK IS PERFORMED NEAR OR ON EQUIPMENT OR CIRCUITS WHICH ARE OR MAY BE ENERGIZED, LIVE PARTS SHALL BE DE-ENERGIZED BEFORE WORK COMMENCES ON THEM. ONLY QUALIFIED ELECTRICIAN MAY WORK ON ENERGIZED CIRCUITS OR EQUIPMENT.
- B. THE CIRCUITS AND EQUIPMENT TO BE WORKED ON SHALL BE DISCONNECTED FROM ALL ELECTRIC ENERGY SOURCES. ELECTRIC EQUIPMENT OR CIRCUITS WHICH HAVE BEEN DE-ENERGIZED SHALL BE LOCKED OUT OR TAGGED OUT OR BOTH.
- C. A QUALIFIED ELECTRICIAN SHALL USE TEST EQUIPMENT (VOLT-OHM METER, ETC.) AND SHALL VERIFY THAT THE CIRCUIT AND EQUIPMENT ARE DE-ENERGIZED. IF THE CIRCUIT IS OVER 600 VOLTS, THE TEST EQUIPMENT SHALL BE CHECKED FOR PROPER OPERATION IMMEDIATELY BEFORE AND IMMEDIATELY AFTER THIS TEST.
- D. STORED ELECTRIC ENERGY WHICH MIGHT ENDANGER PERSONNEL SHALL BE RELEASED. CAPACITORS SHALL BE DISCHARGED AND HIGH CAPACITANCE ELEMENTS SHALL BE SHORT-CIRCUITED AND GROUNDED, IF THE STORED ELECTRIC ENERGY MIGHT ENDANGER PERSONNEL.
- E. A QUALIFIED ELECTRICIAN SHALL CONDUCT TESTS AND VISUAL INSPECTIONS TO VERIFY THAT ALL TOOLS, ELECTRICAL JUMPERS, SHORTS, GROUNDS, AND OTHER SUCH DEVICES HAVE BEEN REMOVED, SO THAT THE CIRCUITS AND EQUIPMENT CAN BE SAFELY ENERGIZED.
- F. CAP. TERMINATE, OR REMOVE ALL MISCELLANEOUS POWER WIRES, OUTLETS, AND SWITCHES AS REQUIRED DURING CONSTRUCTION AND DEMOLITION.
- G. DISCONNECT AND REMOVE ALL EXISTING ELECTRICAL LIGHTING FIXTURES, LOW VOLTAGES TRANSFORMERS, WIRING DEVICES IN ENTIRETY. ALL CONDUIT, WIRING, CABLING, ETC. SHALL BE REMOVED BACK TO THE SOURCE.

GAS PIPING:

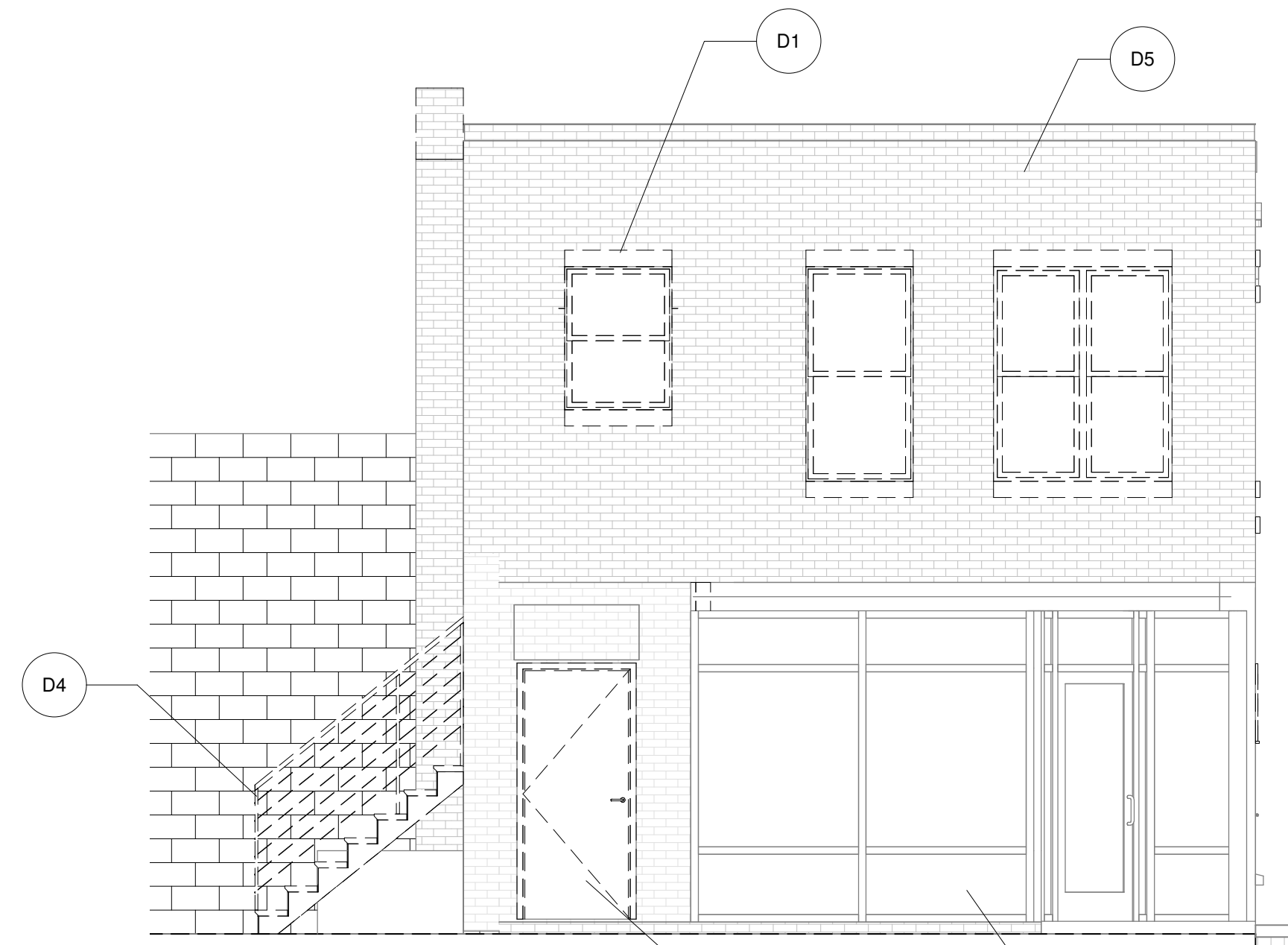
- A. ALL GAS TO BE SHUT OFF TO AREAS OF DEMOLITION BY A QUALIFIED CONTRACTOR. TEST FOR LEAKS PRIOR TO COMMENCING WORK.
- B. WHERE APPLICABLE, PROVIDE NEW SHUT OFF VALVES WHERE PIPING REACHES AREA OF DEMOLITION.



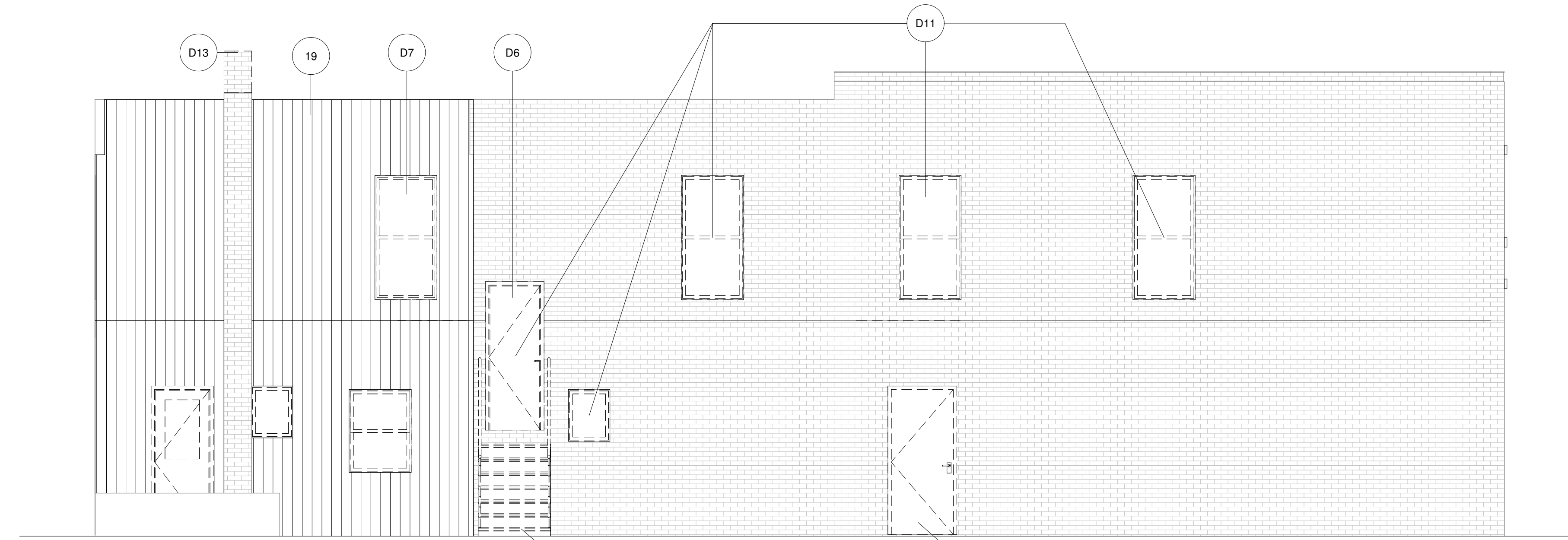
EXISTING CONDITIONS PHOTOS



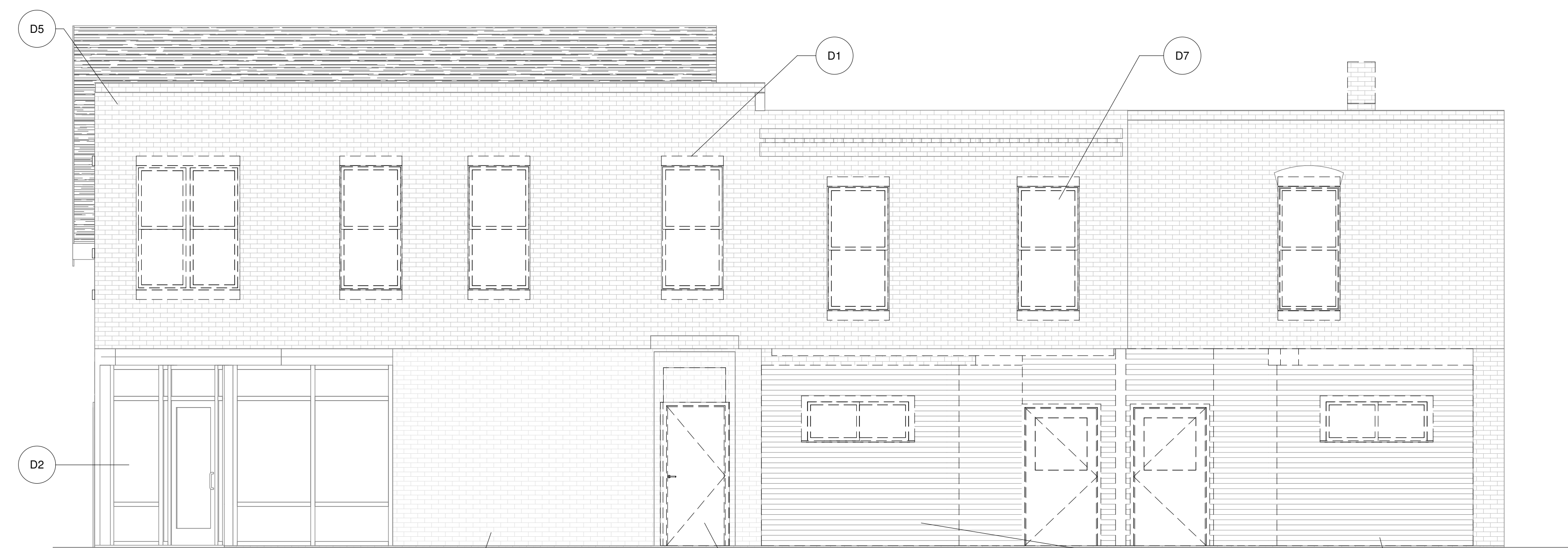
4 SOUTH ELEVATION - DEMO
1/4" = 1'-0"



3 NORTH ELEVATION - DEMO
1/4" = 1'-0"



2 EAST ELEVATION - DEMO
1/4" = 1'-0"



1 WEST ELEVATION - DEMO
1/4" = 1'-0"

DEMO KEYNOTE LEGEND

Key Value	Keynote Text
D1	ALL EXISTING SILLS & LINTELS TO BE STRIPPED BACK TO ORIGINAL LIMESTONE FINISH
D2	EXISTING STOREFRONT SYSTEM TO REMAIN.
D3	PREPARE FOR NEW FULL-LITE DOOR
D4	REMOVE STAIR
D5	PATCH / REPAIR / TUCKPOINT EXISTING MASONRY AS NEC.
D6	PREPARE FOR NEW OPENINGS
D7	ALL EXISTING DOUBLE HUNG WINDOWS TO BE REPLACED. REFER TO FINAL WINDOW SCHEDULE
D8	REMOVE ALL WOOD FRAMED STOREFRONT INFILL. PREPARE FOR ALL NEW BLACK ALUMINUM STOREFRONT SYSTEM.
D9	REMOVE AND PREPARE FOR NEW DUTCH DOOR
D11	REMOVE TO INFILL
D12	REPLACE PER FINAL DOOR SCHEDULE
D13	DEMO CHIMNEY DOWN TO PARAPET AND CAP OFF



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Revision Schedule

#	Description	Date
1	Historic Review	11/21/2022
2	Historic Review REV 1	12/06/2022

SEAL

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DATE SEALED

1451 BAGLEY REDEVELOPMENT
PROJECT NUMBER: 22049-1H
1451 BAGLEY ST.
DETROIT, MI 48216
SHEET TITLE: BALLPOINT BAGLEY LLC
DEMOLITION ELEVATIONS

SHEET NUMBER

A-1.1

NEW DOOR SCHEDULE											
Type Mark	Count	Width	Height	Description	Function	Fire Rating	W.S.	Panic HDWR	Closer	Hardware	Comments
39	1	3' - 0"	7' - 0"	EXISTING INTERIOR STAIR WELL DOOR	Exterior						
44	2	3' - 0"	6' - 8"	RETAIL 1 & 2 STOREFRONT EXTERIOR DOOR	Exterior						
46	2	3' - 0"	6' - 8"	BALCONY DOOR	Exterior						
104	1	3' - 0"	6' - 9"	DUTCH DOOR	Exterior						
6	29	3' - 0"	6' - 8"	OFFICE & BATHROOM DOOR	Interior						
94	3	3' - 0"	7' - 0"	RETAIL 3 & 4 INTERIOR ENTRIES	Interior						
96	1	5' - 0"	7' - 0"	CASE OPENING BETWEEN EXISTING & ADDITION	Interior						
105	1	3' - 2 1/4"	6' - 10 3/4"		Interior						

NEW WALL SCHEDULE				
Type Mark	Area	Description	Function	Comments
	7 SF	8" CONCRETE W/ #5 BARS VERT. @ 30" O.C. & #5 BARS HORIZ. @ 30" O.C.	Exterior	
EMI	419 SF	3 5/8" BRICK w/ 1" MIN. AIRSPACE ON 1" RIGID INSULATION ON VAPOR BARRIER ON 1/2" EXTERIOR SHEATHING ON 2x6 WOOD STUDS @ 16" O.C. w/ R-19 BATT INSULATION w/ 5/8" GYP. INT.	Exterior	
ESW6	1454 SF	1/2" COMPOSITE SIDING ON 1" RIGID INSULATION ON VAPOR BARRIER ON 1/2" EXTERIOR SHEATHING ON 2x6 WOOD STUDS @ 16" O.C. w/ R-19 BATT INSULATION w/ 5/8" GYP. INT.	Exterior	
SF	322 SF	STOREFRONT	Exterior	MATCH EXISTING
IW4	3200 SF	5/8" GYP. ON 2x4 WOOD STUDS @ 16" O.C. ON 5/8" GYP.	Interior	
IWX4	186 SF	5/8" TYPE X GYP. ON 2x4 WOOD STUDS @ 16" O.C. ON 5/8" TYPE X GYP. UL- U305 OR APPVD EQUIVALENT 1-HR RATED ASSEMBLY	Interior	
Grand total		5587 SF		

DOOR NOTES (U.N.O.):

- ALL DOORS AND HARDWARE SHALL COMPLY WITH APPLICABLE CODES, INCLUDING ADA-AG&MSBC BARRIER FREE SUBCODES AND SHALL BE CAPABLE OF OPERATION WITH THE USE OF (1) HAND. ALL HOLLOW METAL DOOR FRAMES ARE TO BE 16 GAUGE KNOCK DOWN TYPE. ALL FRAMES ARE TO RECEIVE THREE DOOR SILENCERS.
- CONTRACTOR SHALL SUBMIT SHOP DRWG'S & CATALOG CUTS (FOR REVIEW) FOR ALL DOORS, FRAMES AND HARDWARE.
- CONTRACTOR SHALL PROVIDE ALL MISC. HARDWARE REQ'D. FOR COMPLETE OPERATION OF EACH DOOR.
- ALL EXTERIOR DOORS TO HAVE SELF-CLOSING HARDWARE, THRESHOLDS AND WEATHER STRIPPING.
- DOOR THRESHOLDS SHALL NOT EXCEED ON-HALF INCH (1/2") IN HEIGHT. THRESHOLDS EXCEEDING ONE-QUARTER INCH (1/4") IN HEIGHT SHALL HAVE A 1/2 BEVEL.
- ALL LOCKS ARE TO BE KEYPED PER THE REQUIREMENTS OF THE OWNER.
- ALL HINGES BRUSHED ALUM. & BALL BRG.
- ALL DOORS TO BE SUPPLIED & INSTALLED WITH DOOR STOPS WITH SOLID BLOCKING FOR EACH LOCATION.
- ALL GLASS IN DOORS MUST BE TEMPERED AS PER CODE.
- STOREFRONT ENTRANCE DOORS TO BE KAWNEER OR EQUAL WITH FRAMING SYSTEM AS INDICATED ON SCHEDULE WITH CLOSERS, LOCK ASSEMBLIES, AND ALL OTHER HARDWARE REQUIRED FOR A COMPLETE INSTALLATION.
- ALL EXTERIOR METAL DOORS SHALL BE INSULATED.
- VER. ALL DOOR OPTIONS, INCLUDING HANDING, TYPE AND HARDWARE W/ OWNER SELECTIONS. PROVIDE BUMPERS/STOPS WHERE REQ'D.

HARDWARE NOTES:

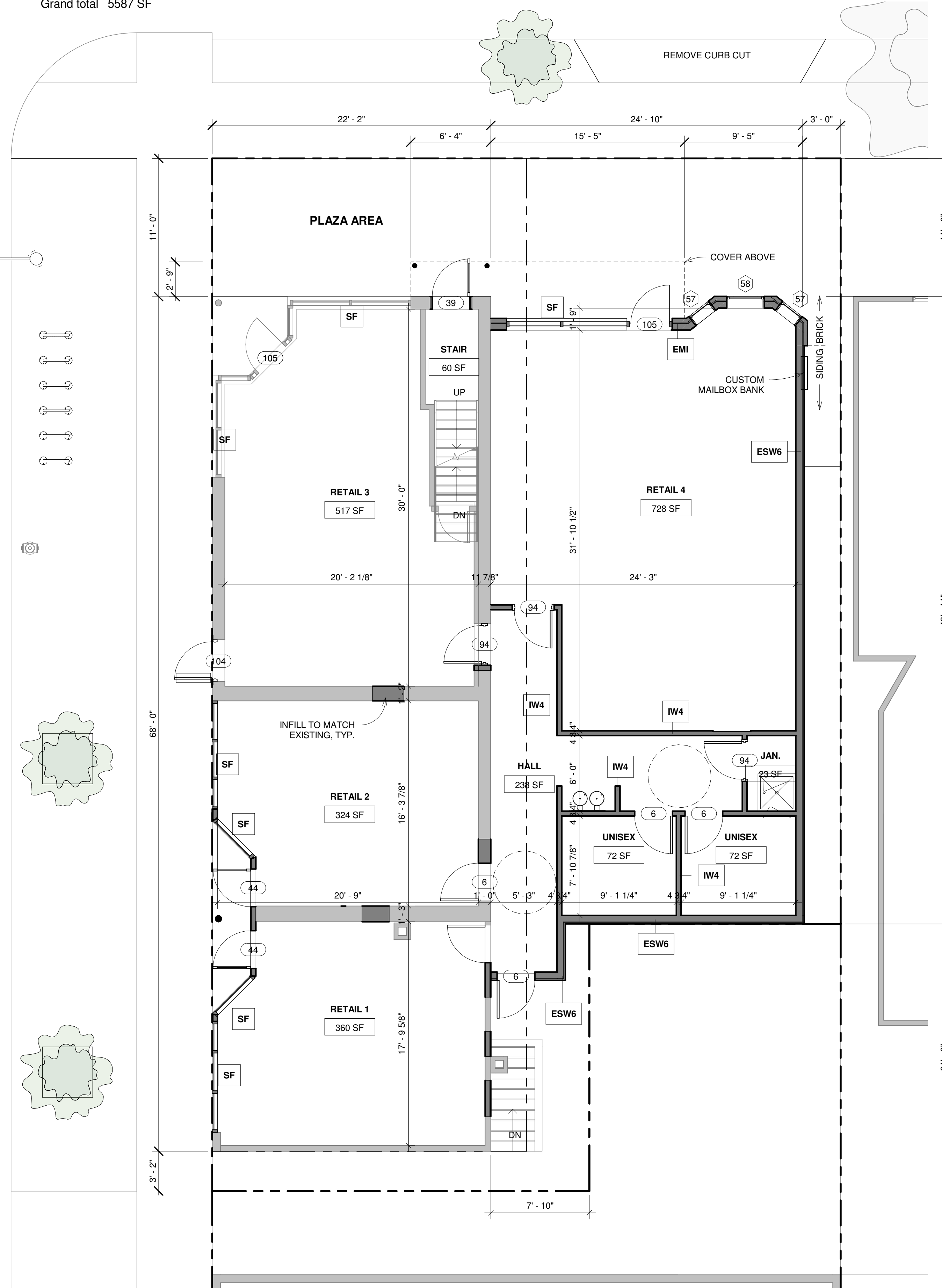
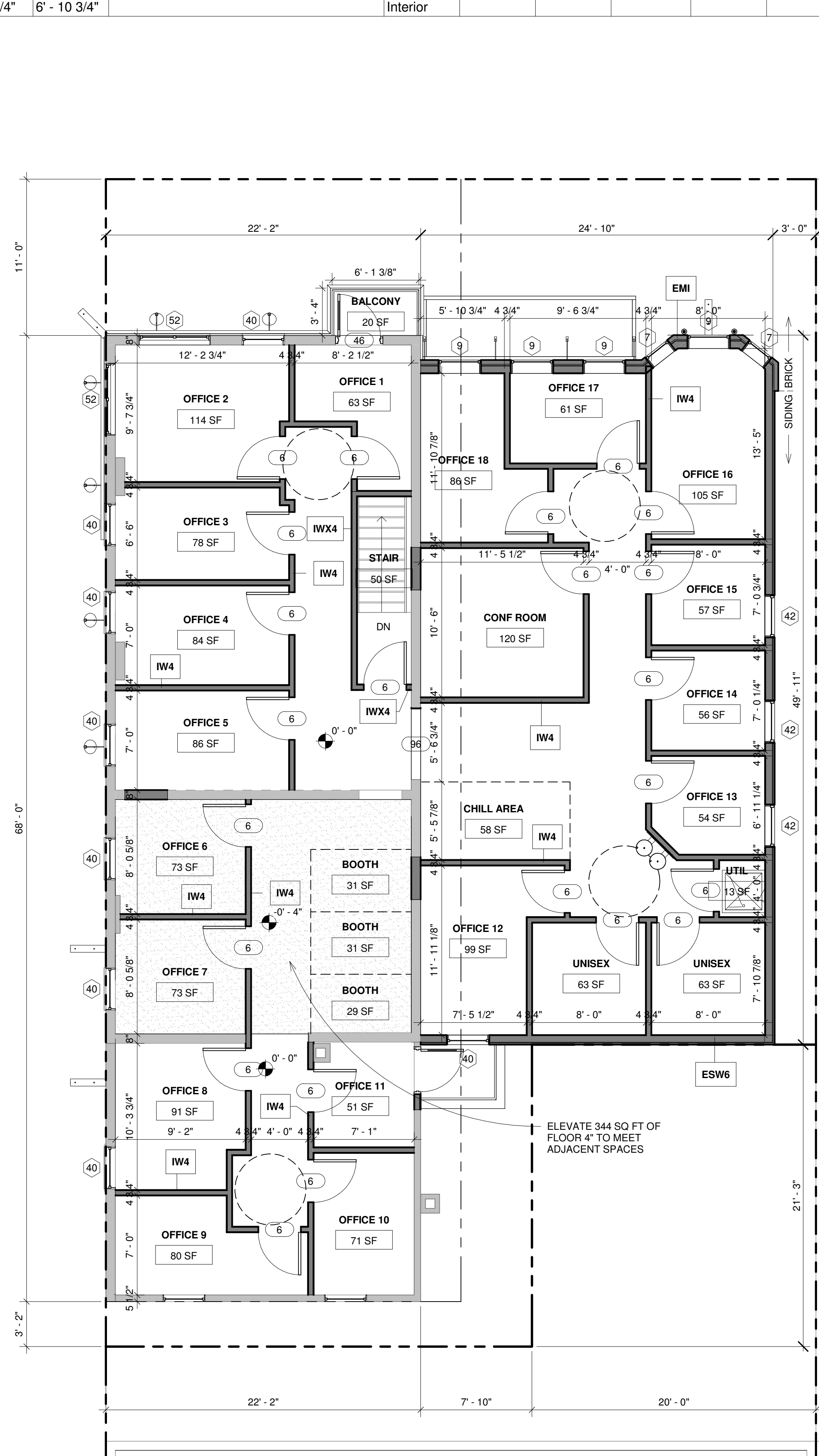
- LOCK AND LATCH SETS TO BE 'YALE' SERIES WITH LEVER HANDLE AND SATIN CHROME FINISH (U.N.O.).
- ALL DOORS TO RECEIVE 'IVES' OR APPROVED EQUAL DOMED FLOOR STOP OR CONVEX WALL STOP ANS I 56.16. ALL DOORS TO HAVE APPROPRIATE DOOR STOPS.
- PANIC HARDWARE SHALL CONSIST OF PANIC BAR (HORIZONTAL BAR) AND LATCHING DEVICE WITH PROPER LATCH BOLT LENGTH, STEEL BALL BEARING HINGES AND CLOSER.
- PROVIDE PANIC HARDWARE ON ALL EXTERIOR DOORS. IT IS 'YALE' MANUFACTURER OR APPROVED EQUAL.
- PANIC HARDWARE SHALL HAVE THE ACTIVATING MEMBER MOUNTED AT A HEIGHT OF NOT LESS THAN 30 INCHES & 44 INCHES A.F.F.
- DOOR CLOSERS SHALL MEET OPENING FORCE AND SWEEP PERIOD REQUIREMENTS.
- VERIFY ALL HARDWARE FINISHES AND LOCK REQUIREMENTS WITH OWNER - DOOR SUPPLIER TO PROVIDE SUBMITTAL FOR ARCHITECT APPROVAL.

ABBREVIATIONS:

- AL/GL - GLASS IN ALUM. FRAME
- SCWD - SOLID CORE WOOD
- ANOD - ANODIZED
- STL - STEEL
- STN - STAIN
- PTD - FACTORY FINISH PAINT
- H.M./R.F. - HOLLOW METAL / READY FRAME
- H.M. - HOLLOW METAL
- WD/GL - GLASS IN WOOD FRAME
- STVN - FACTORY FINISH STAINED VENEER
- BRZ. PT. - BRONZE PAINT

WINDOWS, GLAZING AND DOORS:

- WINDOW SIZES AND OPERABILITY ARE SHOWN FOR REFERENCE ONLY.
- WINDOW SUPPLIER SHALL CONFIRM ALL SIZES AND CONFIGURATIONS WITH OWNER PRIOR TO ORDER.
- GLAZING CONTRACTOR SHALL FIELD MEASURE ALL OPENINGS.



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1451 BAGLEY REDEVELOPMENT
PROJECT NUMBER: 222948-1H
1451 BAGLEY ST.
DETROIT, MI 48216
BALLPOINT BAGLEY LLC
SHEET TITLE: PROPOSED FLOOR PLANS

SHEET NUMBER

A-2.0

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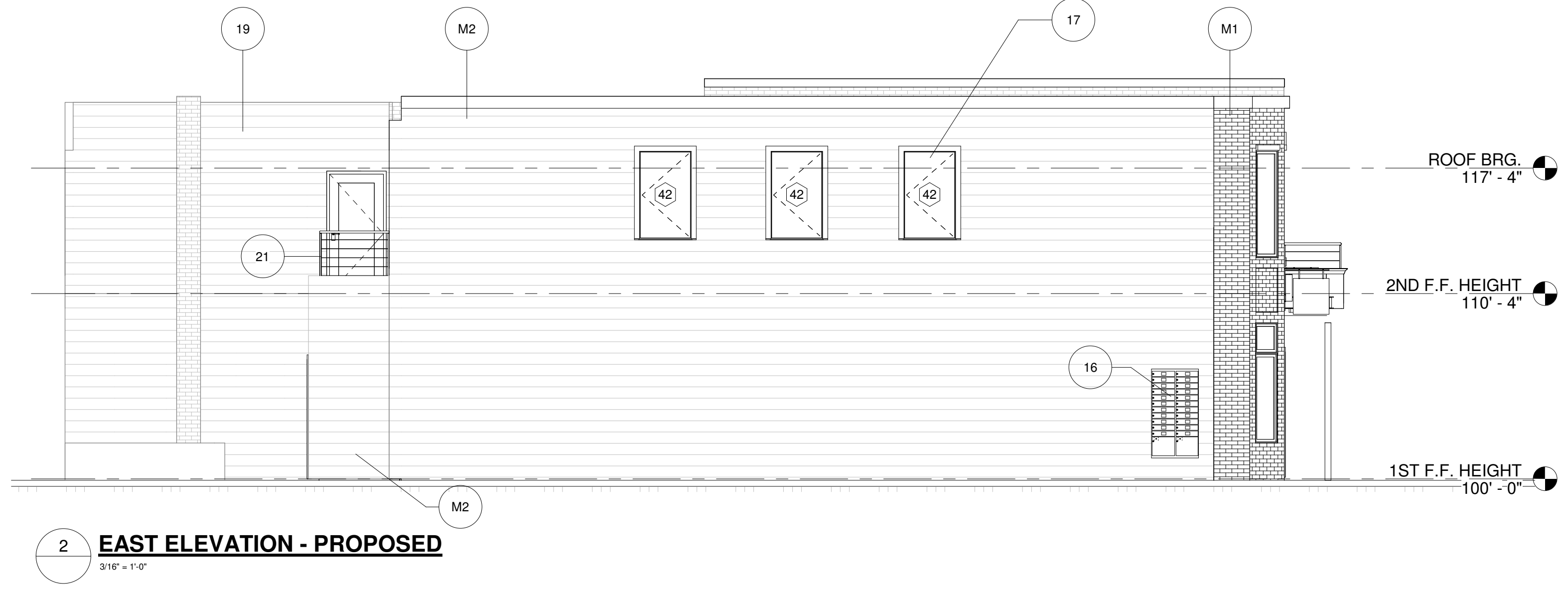
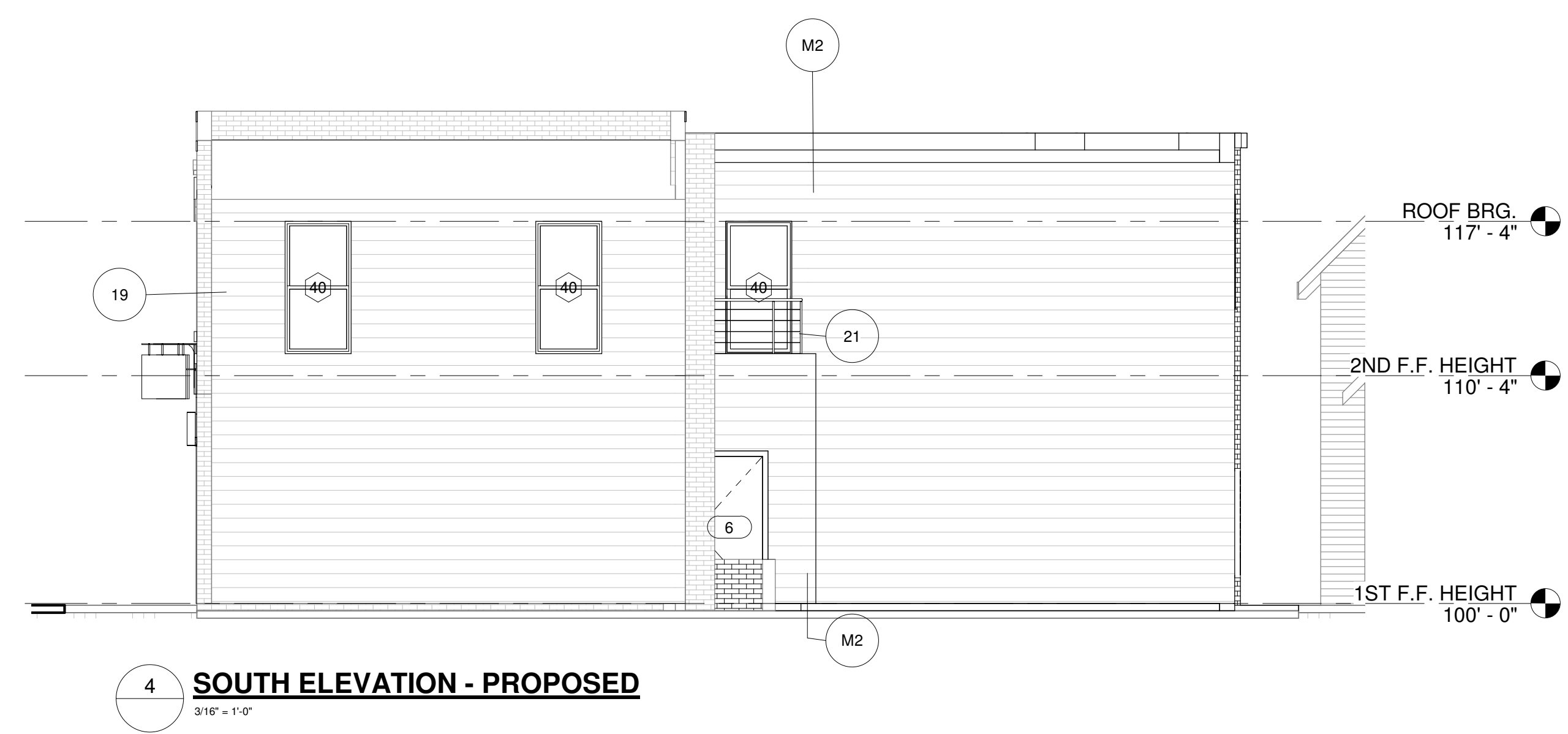
Revision Schedule		
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1451 BAGLEY REDEVELOPMENT
PROJECT NUMBER: 22049-1H
1451 BAGLEY ST.
DETROIT, MI 48216
BALLPOINT BAGLEY LLC
SHEET TITLE: PROPOSED EXTERIOR ELEVATIONS

SHEET NUMBER
A-3.0



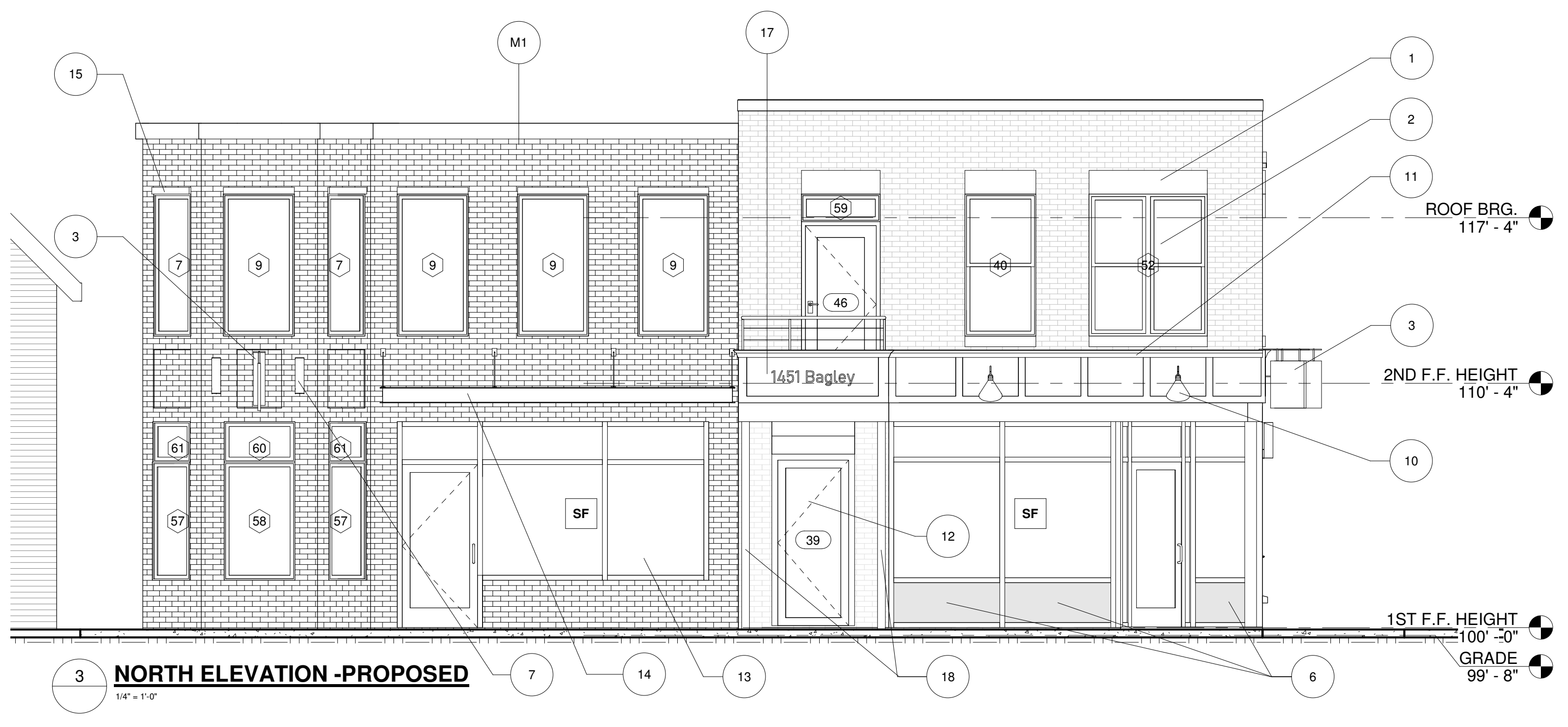
GENERAL EXTERIOR FINISH NOTES:
A. ALL CONSTRUCTION TO COMPLY WITH THE LOCAL BUILDING CODES AND ORDINANCES FOR MATERIAL REQUIREMENTS AND PERFORMANCE.
B. ALL MATERIALS WITHIN 8" OF GRADE SHALL BE OF NON-ROTTING COMPOSITION PER CODE.
C. VERIFY ALL SELECTIONS WITH OWNER PRIOR TO ORDER AND INSTALL PER MANUFACTURERS RECOMMENDATIONS.

MASONRY NOTES:
A. ALL MASONRY WORK IS TO BE COMPLETED IN ACCORDANCE WITH THE LATEST BUILDING CODE AND INSTALLED IN CONFORMANCE WITH RECOMMENDED PRACTICES IN THE INDUSTRY AND THE MASONRY INSTITUTE OF MICHIGAN.
B. ALL C.M.U. AT OR WITHIN 8" OF GRADE SHALL BE GROUTED SOLID.
C. WATERPROOF ALL BRICK, BLOCK AND POURED CONCRETE WALLS AT ANY BELOW GRADES CONDITION UNLESS NOTED OTHERWISE.
D. VERIFY ALL SELECTIONS, INCLUDING MORTAR COLORS, WITH OWNER PRIOR TO ORDER.
E. PROVIDE TEMPORARY JIGS OR STEEL LINTELS WHERE ARCHED ELEMENTS ARE PRESENT.

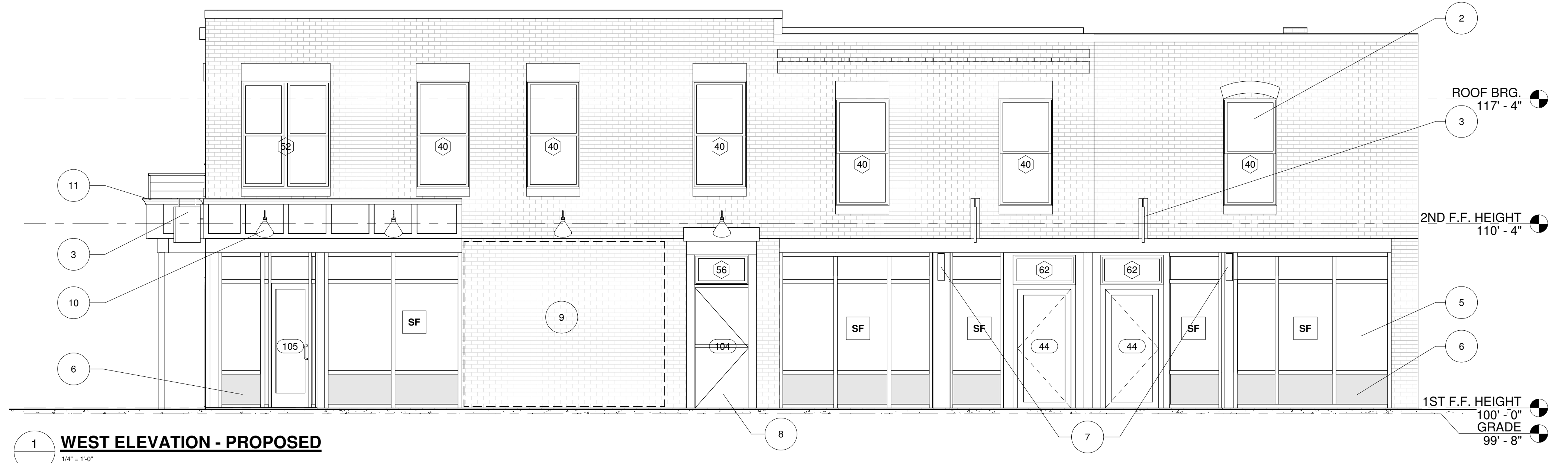
SIDING/TRIMS:
A. WHERE OWNER SELECTS PAINTED SIDING OR TRIMS, PROVIDE SAMPLE/MOCK-UP PRIOR TO PAINT ORDER. ALL EXTERIOR PAINTED ELEMENTS SHALL BE PREPARED, CAULKED, PRIMED AND PAINTED PER INDUSTRY STANDARDS WITH OIL BASE FINISHES OR APPROVED EQUAL.
B. ALUMINUM FLASHINGS, AS WELL AS GUTTERS AND DOWNSPOUTS, SHALL BE VERIFIED WITH OWNER AND COORDINATED WITH ROOFING AND WINDOW COLOR SELECTIONS. UNLESS DESIGN INTENT CONVEYS OTHERWISE, DOWNSPOUTS SHALL MATCH FAÇADE COLOR THEY ARE MOUNTED TO.
C. ALL EXTERIOR SEALANTS SHALL MATCH COLOR OF MATERIALS THEY ABUT AND SHALL HAVE U. V. INHIBITORS. USE 'SOLAR SEAL' OR APPROVED EQUAL.
D. WHERE COMPOSITE EMBELLISHMENT OR SUPPORT BRACKETS ARE PRESENT, PROVIDE SOLID BLOCKING IN FRAME WALLS FOR PROPER SUPPORT AND TRANSFERRED LOADS. WHERE ELEMENTS OCCUR IN MASONRY, PROVIDE BUILT-UP PRESSURE TREATED 2X BLOCKING AS NECESSARY TO ASSURE FLUSH MOUNTING OF ELEMENTS AND/OR BRACKET PLATES.

PROPOSED KEYNOTE LEGEND	
Key Value	Keynote Text
1	STRIP PAINT FROM EXISTING LIMESTONE SILLS AND LINTELS
2	ALL NEW BLACK DOUBLE-HUNG WINDOWS
3	BLADE SIGN W/ INTEGRATED LIGHTING
5	NEW STOREFRONT SYSTEM TO MATCH EXISTING SYSTEM @ CORNER UNIT
6	NEW 1" INSULATED SMOOTH ALUMINUM PANELS. COLOR TO MATCH STOREFRONT SYSTEM.
7	NEW UPLIGHTING
8	NEW DUTCH DOOR.
9	FUTURE MURAL ON FIBER CEMENT PANELS OVER EXISTING GLAZED BRICK
10	NEW GOOSENECK LIGHTING
11	NEW COMPOSITE PANEL DETAIL TO COVER UNSIGHTLY BRICK. COMPOSITE TRIM & PANELS PAINTED BLACK.
12	NEW FULL-LITE GLASS DOOR.
13	NEW ALUMINUM (BLACK) STOREFRONT AND GLAZING
14	CUSTOM ALUMINUM AWNING W/ DOWNLIGHTING TO DEFINE ENTRY
15	NEW PRE-CAST LINTELS
16	CUSTOM MAILBOX UNIT FOR EACH OFFICE PLUS ONE FOR EACH RETAILER
17	NEW BALCONY/AWNING WITH UNIT ADDRESS & BUSINESS SIGNAGE
18	NEW TUBE STEEL COLUMNS TO SUPPORT BALCONY ROOF ABOVE (PAINTED BLACK)
19	NEW COMPOSITE SIDING TO MATCH ADDITION
21	NEW BALCONY ABOVE FIRST FLOOR BACK DOOR

EXTERIOR MATERIAL LEGEND		
Keynote	Name	Comments
M1	RAVENSWOOD IRONSPOT VELOUR FACE BRICK IN MODULAR	HINTS OF ORANGE TIE INTO HISTORIC BRICK. SILVER, BLUE HUE DIFFERENTIATES AND CONVEYS MODERNITY.
M2	TRU-EXTERIOR V-RUSTIC SIDING	SMOOTH POLY-ASH (FIBER CEMENT) TONGUE AND GROOVE SIDING WITH V-GROOVE REVEAL LINE BETWEEN BOARDS. TO BE PAINTED SW2740



NEW WINDOW SCHEDULE					
Type Mark	Count	Width	Height	Description	Color/finish
7	2	2' - 0"	6' - 0"	CASEMENT	BLACK
9	4	3' - 0"	6' - 0"	CASEMENT	BLACK
40	15	3' - 0"	6' - 0"	ALUMINIUM CLAD WOOD DOUBLE HUNG WINDOW	BLACK
42	3	3' - 0"	5' - 0"	CASEMENT	BLACK
52	2	5' - 0"	6' - 0"	ALUMINIUM CLAD WOOD DOUBLE HUNG WINDOW	BLACK
56	1	3' - 0"	1' - 8"	FIXED TRANSOM	BLACK
57	2	2' - 0"	5' - 0"	FIXED CASEMENT	BLACK
58	1	3' - 0"	5' - 0"	FIXED CASEMENT	BLACK
59	1	3' - 4"	1' - 2"	FIXED TRANSOM	BLACK
60	1	3' - 0"	1' - 8 1/2"	FIXED TRANSOM	BLACK
61	2	2' - 0"	1' - 8 1/2"	FIXED TRANSOM	BLACK
62	2	3' - 6"	1' - 8"	FIXED TRANSOM	BLACK





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Revision Schedule		
#	Description	Date
1	Historic Review	11/21/2022
2	Historic Review REV 1	12/06/2022

SEAL

NOT FOR CONSTRUCTION

DATE SEALED

1451 BAGLEY REDEVELOPMENT
PROJECT NUMBER: 22048-1H
1451 BAGLEY ST.
DETROIT, MI 48216
BALLPOINT BAGLEY LLC
SHEET TITLE
MATERIALITY & EXTERIOR LIGHTING PLAN

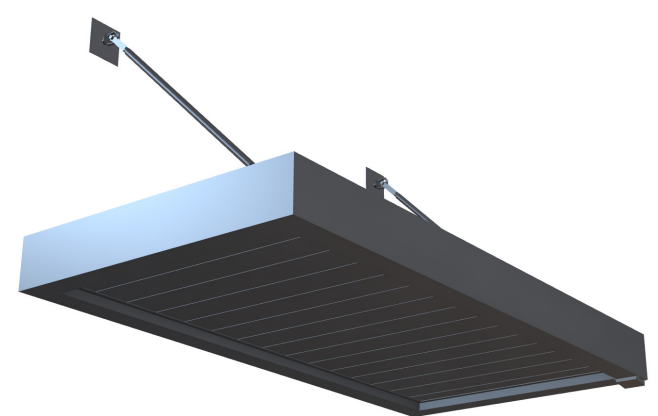
SHEET NUMBER

A-3.1

EXTERIOR MATERIALITY & EXTERIOR LIGHTING

PROPOSED AWNING:

MAPES SUPER LUMIDECK FLAT SOFFIT
PREFINISHED IN BLACK



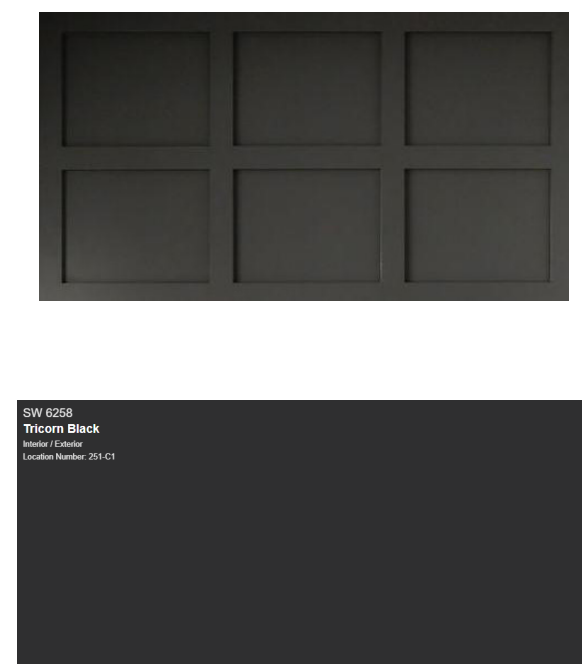
PROPOSED SIDING:

TRU-EXTERIOR V-RUSTIC SIDING
SMOOTH POLY-ASH (FIBER CEMENT) TONGUE AND GROOVE SIDING WITH V-GROOVE REVEAL LINE BETWEEN BOARDS. TO BE PAINTED SW 2740



PROPOSED PANELLING:

TRU-EXTERIOR PANEL SIDING W/ TRIM
SMOOTH POLY-ASH (FIBER CEMENT) PANEL SIDING WITH TRIM BOARDS. TO BE PAINTED SW 6258



PROPOSED BRICK:

RAVENSWOOD IRONSPOT VELOUR FACE BRICK IN MODULAR
HINTS OF ORANGE TIE INTO HISTORIC BRICK. SILVER, BLUE HUE DIFFERENTIATES AND CONVEYS MODERNITY.



PROPOSED BLADE SIGNAGE:

INSPIRATION FOR BLADE SIGN W/ INTEGRATED LIGHTING



PROPOSED DOORS & WINDOWS:

ANDERSEN E-SERIES ALUMINUM CLAD
PREFINISHED IN BLACK



PROPOSED GOOSENECK LIGHTING:

STEEL LIGHTING CO.
THE VENICE - WALL MOUNT
MATTE BLACK FINISH



PROPOSED UP/DN SCONE LIGHTING:

KICHLER LIGHTING
CYLINDER 12" WALL LIGHT
TEXTURED BLACK FINISH



LIGHTING FIXTURE SCHEDULE				
Type Mark	Count	Description	Comments	
GL	6	GOOSENECK EXTERIOR LIGHTING		
SC	2	EXTERIOR UP/DOWN SCONCE		
SC2	2	EXTERIOR UPLIGHT SCONCE		
Grand total		10		

