

## Historic District Commission Submittal

Date: November 4, 2022  
Subject: Palms Apartments Building Interior & Exterior Alterations  
HDC Submittal  
Project No: 21023.00  
Prepared By: Thomas Roberts, AIA

### PROJECT TEAM

**Owner – 81001 Jefferson LLC**  
**c/o – Great Water Opportunity Capital**  
**Architect – Thomas Roberts Architect**  
**Construction Manager – The Monahan Company**

### DESCRIPTION OF EXISTING CONDITIONS

The existing historic building was designed by George Mason and Albert Kahn in 1901 and is one of the first buildings in the country to have a poured in place concrete structure. The 60-unit, 45,000gsf apartment building is located in the East Jefferson Residential Historic District at the Local, State, and National levels.

The six-story load bearing brick with concrete frame interior structure is generally in good condition. The TPO roof was installed approximately 10 years ago and is in good condition. Copper flashings and trim are original and are in good condition. The exterior fire escape is in good condition. The exterior masonry and stone are in good condition. The stone window sills and door thresholds are in good condition. The original exterior wood windows and doors are in poor condition and require replacement. The existing wood cornice and freeze are in fair to good condition and require minimal repair. The existing wood bays on the west and north façade are in poor to fair condition and require restoration. The existing wood bay windows in the courtyard are in fair condition and require restoration. The existing stained glass window inserts in the courtyard bay windows are in fair condition and will be stabilized.

### DESCRIPTION OF PROJECT

The exterior scope of the project includes replacement of the original wood windows and doors and frames; the (3) large multi-story wood bays on the west and north façades will be structurally stabilized and restored including missing and severely deteriorated elements will be replaced in-kind with details and profiles to match existing; new masonry openings in the courtyard for new egress doors; minimal masonry and stone restoration; and the existing fire escape and main entry gates will remain and will be primed and painted. New HVAC fresh air intake grilles and bathroom exhaust hoods will be added on the north elevation and within the courtyard. New grilles and hoods will be painted to match the stone and brick. No new mechanical equipment will be added to the roof. New light fixtures will be added at each floor landing of the fire escape. There will be no new exposed conduit on the exterior.

### DETAILED SCOPE OF WORK

The following scope of work has been identified:

#### Site

1. There is no site work during this phase of the project.

#### Roofing

1. The existing TPO roofing membrane is in good condition and will not be replaced.
2. See roof plan sheet A107 for the limited scope of work. The limited scope of work will not be visible from the public right-of-way.

#### Metal Fascia, Gutters & Downspouts

1. Existing gutters and downspouts will remain. No work is anticipated.
2. Existing metal fascia will be scraped, primed, and painted.

#### Masonry

1. Patching and tuckpointing will be provided in areas of new masonry openings for new egress doors on the east and west elevations in the courtyard.

2. N Type mortar will be used and will match in color, texture, and tooling.
3. (2) 24x24 mockup areas will be provided to review joint preparation grinding methods, confirm mortar match, and confirm cleaning procedures.
4. Replacement brick will match, color, size, and texture. If possible, existing brick removed for new openings will be reused.
5. Stone window sill and door threshold replacement identified will be in-kind and match in size, color, texture, and profile. If possible, existing stone removed for new openings will be reused.
6. Masonry cleaning in areas of new work requires the gentlest means possible. Chemical, acid, abrasive, and blasting methods will not be allowed. Low pressure power wash with water and bristle brushes will be acceptable means of cleaning.

### **Windows & Doors**

1. Existing wood windows and frames will be removed and replaced with historic aluminum windows. It is intended that the new windows match the existing in configuration, function, profile and color. Glazing will be 1" insulated with clear low-e finish. There will be no exterior screens.
2. Existing steel windows and frames will be removed and replaced with historic aluminum windows. It is intended that the new windows match the existing in configuration, function, profile and color. Glazing will be 1" insulated with clear low-e finish. There will be no exterior screens.
3. Existing wood doors and frames will be removed and replaced with insulated hollow metal doors and frames. It is intended that the new doors and frames are similar to the existing in configuration, function, profile and color. All new hollow metal doors and frames are located in the courtyard and are on non- primary elevations. Glazing will be 1" insulated with clear low-e finish. There will be no exterior screen doors.
4. Existing glass block windows will be removed and replaced with historic aluminum windows. It is intended that the new windows match existing in configuration, function, profile and color. Glazing will be 1" insulated with clear low-e finish. Note: not all the glass block windows will be removed and replaced. See exterior elevations for locations. There will be no exterior screens.
5. Existing stained glass window inserts in the courtyard bay windows located on the north elevation at the stair landings will remain and be stabilized. Complete restoration of the stained glass is not included in the scope of work.
6. Existing wood windows and frames will remain in the basement commercial space at locations identified on the east elevations.
7. Existing storm window system will be removed at locations identified on the east elevation.

### **Carpentry**

1. The (3) large multi-story bays on the west and north elevations will be structurally stabilized and restored. All missing and severely deteriorated wood elements will be repaired or replaced in-kind with details and profiles to match existing.
2. The small wood bay windows at the main stair landings on the north elevation in the courtyard will be restored. All missing and severely deteriorated wood elements will be repaired or replaced in-kind with details and profiles to match existing.
3. All exterior wood will be primed and painted.

### **Painting**

1. There is NO painting of masonry and stone on this project.
2. Existing wood window frames and sash scheduled to remain will be primed and painted. Paint color to match existing (SW2009 Sandstone).
3. The three (3) large multi-story wood bays on the west and north elevations will be primed and painted. Paint color to match existing (SW2009 Sandstone).
4. The small wood bay windows at the main stair landings on the north elevation in the courtyard will be primed and painted. Paint color to match existing (SW2009 Sandstone).
5. Existing steel fire escape and alcove support brackets will be primed and painted. Paint color to match existing (black).
6. Existing decorative security gates at the main entrance to be primed and painted. Paint color to match existing (black).
7. Existing metal fascia, gutters, and downspouts will be primed and painted. Paint color to match existing ( SW2009 Sandstone).

8. Existing storm windows scheduled to remain will be primed and painted. Paint color to match windows (SW2009 Sandstone).
9. Existing wood main entry doors will be restored and refinished. Finish to match existing (stain).
10. Existing grilles and louvers scheduled to remain will be primed and painted. Paint color to match windows (SW2009 Sandstone).

#### **Lighting**

1. Existing wall sconces and pendant light at the main entrance will remain.
2. Existing pendant light at tenant side entrance will remain.
3. New wall sconces will be added at each floor level at the exterior doors at the fire escape. See exterior elevations for locations.

#### **HVAC**

1. New bathroom exhaust vents and fresh air intake louvers will be added to the non-primary east and west elevations in the courtyard and the buildings north elevation.
2. New exhaust vents and intake louvers will be painted to match the brick or stone.
3. No new mechanical equipment will be added to the roof.
4. Existing grilles and louvers to remain will be primed and painted.

#### **Miscellaneous**

1. Existing canvas entry canopies at the main entrance on the south elevation and the side entrance on the east elevation will be removed including the removal of all anchors and support members. Great care will be taken to not damage original material. Anchor holes will be filled with patching mortar and will match color and texture. No new canopies will be installed.
2. All existing exposed conduit will remain unless it is determined to be abandoned or obsolete. There will be no new conduit installed on the exterior of the building.
3. Existing signage to remain. No new signage will be installed.

#### **The following documents have been included with this submission:**

1. HDC Review Application
2. Detailed scope of work summary
3. Existing exterior building condition photo survey
4. Existing exterior window & door photo survey
5. Renovation building plans and exterior elevations
6. Existing window and door details
7. Proposed Quaker window detail drawings and specifications
8. Proposed exterior products and finishes including windows, light fixture, vents, and grills.



1. South Elevation



2. West Elevation

EXISTING CONDITIONS





3. North Elevation.



4. East Elevation

EXISTING CONDITIONS





5. Partial South Elevation looking at main entry and terrace.

EXISTING CONDITIONS



6. Main entry looking north.

EXISTING CONDITIONS





7. Main entry looking north at steel entry gate.





8. East elevation tenant entrance looking West.



9. Northeast corner looking south at commercial space rear entrance.

EXISTING CONDITIONS





10. West Elevation in courtyard looking northeast.



11. East Elevation in courtyard looking northwest.

EXISTING CONDITIONS





12. North Elevation in courtyard looking south at stair landing bay windows.





13. Northeast corner in courtyard looking northeast at fire escape.





14. Northwest corner of courtyard looking southwest at fire escape.

EXISTING CONDITIONS



15. West Elevation looking east at bay windows (upper).



16. West Elevation looking east at bay windows (middle).

EXISTING CONDITIONS





17. West Elevation looking east at bay windows (lower).



18. South bay window on West Elevation looking east at bay windows (lower).

EXISTING CONDITIONS



19. North bay window on West Elevation looking east at bay windows (lower).





20. North Elevation looking south at bay window (upper).

EXISTING CONDITIONS



21. North Elevation looking south at bay window (middle).

EXISTING CONDITIONS





22. North Elevation looking south at bay window (lower).

EXISTING CONDITIONS



1. Typical deteriorated meeting rail at double hung wood window at stone.





2. Typical double hung wood window at stone.



3. Typical double hung window at stone.

EXISTING WINDOWS & DOORS





4. Typical deteriorated window sill at stone.



5. East elevation basement level commercial space windows to remain.

EXISTING WINDOWS & DOORS





6. East elevation, steel sash window to be removed and replaced.



7. Typical glass block infill to be removed and replaced (see exterior elevations for locations).





8. Courtyard north elevation, bay window at stair landing with stained glass to be restored (upper).



9. Courtyard north elevation, bay window at stair landing with stained and clear glass to be restored (lower).





10. Courtyard north elevation, bay window at stair landing with clear glass to be restored (detail).



11. Typical courtyard double hung window with center mull.



12. Typical wood double hung window in courtyard.





13. Typical wood double hung window in courtyard.



14. Typical wood awning window in courtyard looking west.

EXISTING WINDOWS & DOORS





15. Typical interior meeting rail condition.



16. Typical interior meeting rail condition.





17. Typical interior sill condition.



18. East elevation tenant entrance.





19. Existing door in southeast corner in courtyard.



20. Existing door in southwest corner in courtyard.



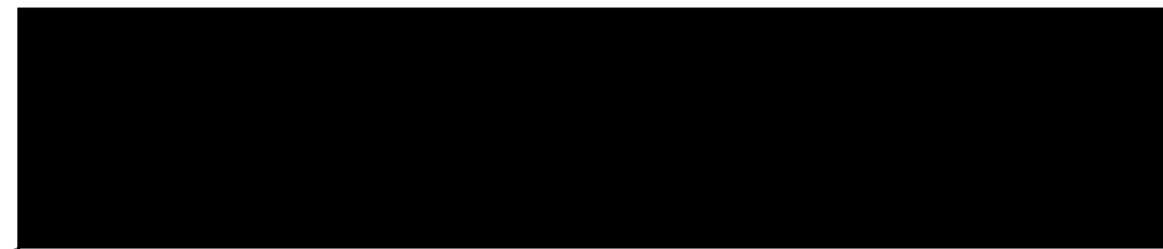


21. Typical existing fire escape door and screen in courtyard.

# PALMS APARTMENT BUILDING

Interior & Exterior Alterations

1001 E. Jefferson Avenue, Detroit, MI 48207



## Owner

81001 Jefferson LLC  
c/o Great Water Opportunity Capital  
6001 Cass Avenue  
Detroit, Michigan 48202

## Architect

THOMAS ROBERTS ARCHITECT, LLC  
2927 4th Street  
Wyandotte, Michigan 48192  
734.250.4032 (t)

## Electrical Engineer

ETS ENGINEERING  
418-1/2 South Washington Blvd.  
Royal Oak, Michigan 48067  
248.744.0360 (t)

## Mechanical Engineer

POTAPA - VAN HOOSEAR ENGINEERING, INC.  
48653 Van Dyke Avenue  
Shelby Twp., Michigan 48317  
586.997.0922 (t)

## Construction Manager

The Monahan Company  
21321 Kelly Road  
Eastpointe, MI 48021  
586.774.3800 (t)

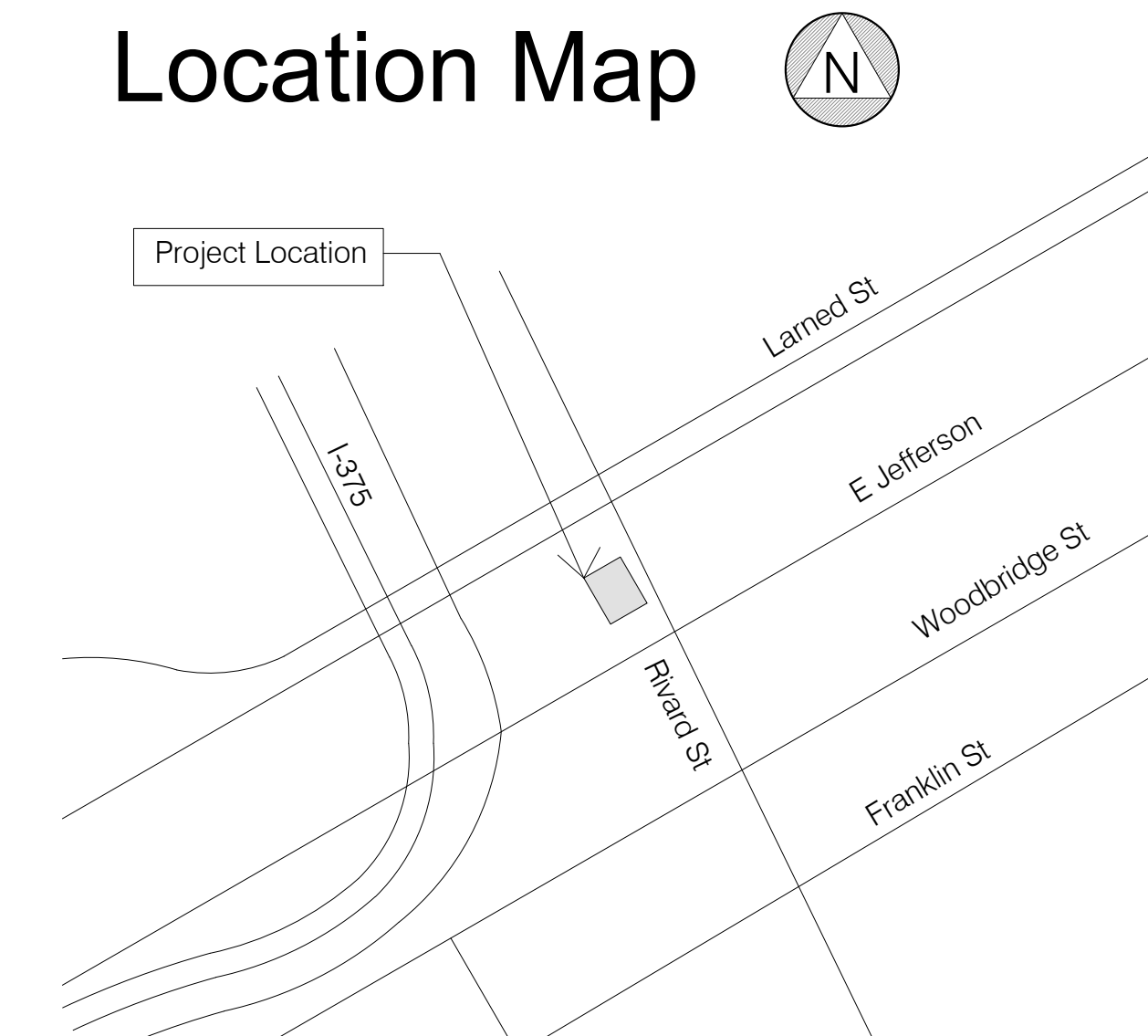
## Drawing Index

----	Cover Sheet
A002	Site Plan
A100	Proposed Basement Plan
A101	Proposed First Floor Plan
A102	Proposed Second Floor Plan
A103	Proposed Third Floor Plan
A104	Proposed Fourth Floor Plan
A105	Proposed Fifth Floor Plan
A106	Proposed Sixth Floor Plan
A107	Roof Plan
A301	North/South Elevations & Section
A302	East Elevation & Section
A303	West Elevation & Section
A603	Window Schedules
A609	Window Details
A610	Window Details
A611	Window Details
A612	Window Details
A613	Window Details
A614	Door Details
A615	Door Details
A616	Door Details
A3	Typical New Window Elevations
C1	New Window Details
C2	New Window Details
C3	New Window Details

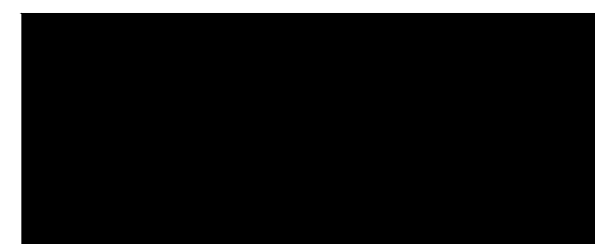
## Scope of Work

- MASONRY
- TUCKPOINTING @ NEW DOORS & WINDOW MODIFICATIONS
- NEW HOLES FOR NEW VENTS
- CARPENTRY (BAY WINDOW RESTORATION)
- WINDOW REPLACEMENT
- PAINTING
- EXTERIOR FIRE ESCAPE RESTORATION

## Location Map

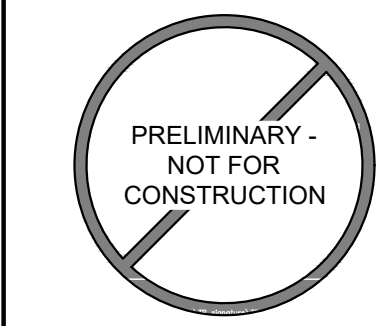


November 04, 2022



21023 HDC Review



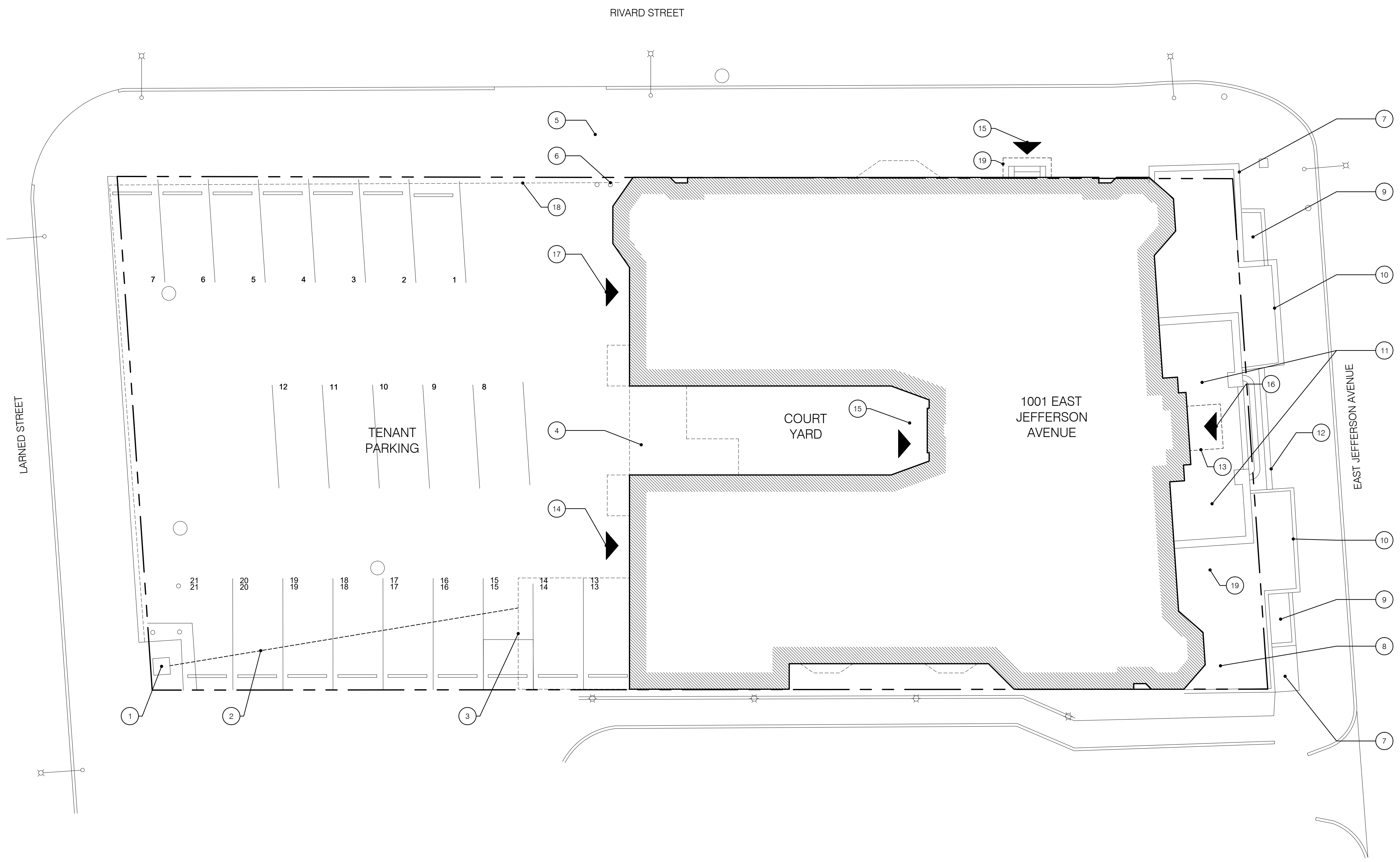


ISSUANCES	
HDC REVIEW	
REVISIONS	
11-04-2022	

**Palms Apartment Building  
 Interior & Exterior Alterations**  
 1001 E. Jefferson Ave.  
 Detroit, MI, 48207

TR  
 principal in charge  
 TR  
 project manager  
 TR  
 project architect  
 SM  
 drawn  
 11.04.2022  
 print date

- SITE NOTES**
- 1 EXISTING TRANSFORMER
  - 2 NEW UNDERGROUND ELECTRIC SERVICE
  - 3 EXISTING BASEMENT EXTENDED UNDER PARKING LOT
  - 4 EXISTING COVERED FIRE ESCAPE
  - 5 EXISTING DRIVE APPROACH
  - 6 EXISTING GATE
  - 7 EXISTING BRICK PAVERS TO REMAIN
  - 8 EXIST. PLANTS TO REMAIN UNLESS NOTED OTHERWISE
  - 9 EXISTING PLANTER WITH TREE
  - 10 EXIST. BRICK PAVER RETAINING WALL
  - 11 EXIST. UPPER TERRACE
  - 12 EXIST. LIMESTONE STEPS
  - 13 EXIST. LAWNS TO REMAIN
  - 14 SERVICE ENTRY
  - 15 TENANT ENTRANCE
  - 16 MAIN ENTRANCE
  - 17 COMMERCIAL SPACE EGRESS
  - 18 EXIST. FENCE & GATE TO REMAIN
  - 19 EXIST. CANVAS CANOPIES TO BE REMOVED

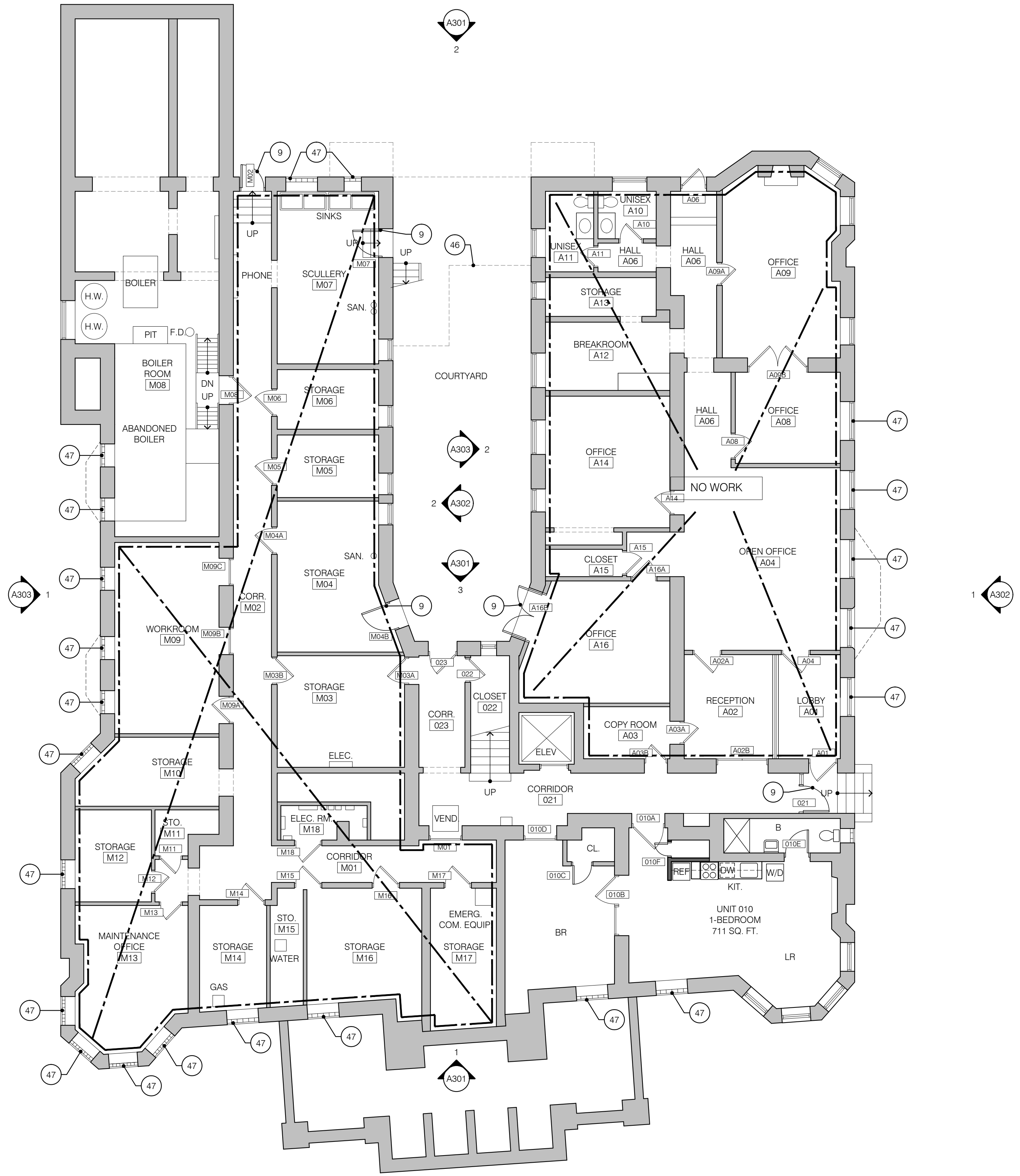


1 Existing Site Plan  
 A002 Scale: 3/32" = 1'-0"



- ### GENERAL NOTES
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES ON DRAWINGS.
  - ALL DIMENSIONS TO NEW CONSTRUCTION ARE TO FACE OF FINISH AND FACE OF MASONRY U.N.O.
  - ALL DIMENSIONS TO EXISTING CONSTRUCTION ARE TO FACE OF FINISH U.N.O.
  - ALL INTERIOR PARTITIONS NOT TAGGED ARE EXISTING TO REMAIN.
  - ALL DOORS AND FRAMES NOT TAGGED ARE EXISTING TO REMAIN. PROVIDE NEW FINISH AND MAKE SURE HARDWARE IS IN WORKING ORDER. SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
  - FLOORS TO BE PATCHED AT DEMOLISHED WALLS AND/OR OPENINGS IN EXISTING WALLS.
  - PLUMBING FIXTURES TO REMAIN REQUIRE REMOVAL, REGLAZE, AND REINSTALL U.N.O.
  - COORDINATE ALL WORK WITH MECHANICAL & ELECTRICAL CONTRACTOR. NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.
  - SEE ENLARGED PLAN SHEETS A111-A115 FOR SCOPE OR WORK IN LEVEL 2 ALTERATION AREAS.

- ### FLOOR PLAN KEYNOTES
- NEW STACKED VENTLESS WASHER & DRYER
  - NEW KITCHEN CABINET(S)/MILLWORK (BY OTHERS)
  - NEW RANGE
  - NEW KITCHEN SINK
  - NEW REFRIGERATOR
  - NEW TOILET
  - NEW VANITY AND SINK(S)
  - NEW BATHTUB/SHOWER
  - NEW DOOR & FRAME AT EXIST. OPENG. SEE DOOR SCHEDULE.
  - NEW DOOR & FRAME IN NEW OPENG. SEE DOOR SCHEDULE.
  - NEW OPENG IN EXIST. WALL. PROVIDE CASING & TRIM TO MATCH EXIST. & PATCH FLOOR AT WALL REMOVAL.
  - NEW WALL TO INFILL EXIST. OPENING
  - NEW ELECTRIC PANEL - SEE ELECTRICAL DRAWINGS.
  - EXISTING RADIATOR. PROVIDE MISC. REPAIRS & PAINT; TYP. U.N.O.
  - EXIST. WINDOW SEAT. PROVIDE MISC. REPAIRS & PAINT.
  - EXIST. MILLWORK TO BE RESTORED INCLUDING NEW HARDWARE & PAINT.
  - NEW UNIT ENTRY DOOR & FRAME IN NEW OPENING - SEE DOOR SCHEDULE FOR ADDITIONAL INFO.
  - EXIST. SLIDING DOOR TO REMAIN.
  - EXIST. IN-ACTIVE FIREPLACE TO REMAIN.
  - POTENTIAL PLUMBING CHASE - CONTRACTOR TO CONFIRM.
  - NEW WIRE SHELVING SYSTEM.
  - NEW WINDOW IN EXIST. DOOR OPENING. INFILL SILL W/ MASONRY & WOOD TRIM TO MATCH EXIST.
  - NEW MARBLE THRESHOLD TO MATCH EXIST.
  - NEW/EXIST. WALL AT CABINET HEIGHT.
  - NEW WINDOW IN EXIST. OPENING - SEE EXTERIOR ELEVATIONS FOR WINDOW TYPE.
  - RELOCATE, REPAIR, & PAINT EXIST. RADIATOR.
  - DOOR FRAME, CASING, & TRIM TO REMAIN. PAINT.
  - EXIST. CLERESTORY WINDOWS TO REMAIN. PAINT.
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  - EXIST. WD WAINSCOT TO BE REFINISHED
  - EXIST. RECESSED MEDICINE CAB. TO BE REFRESHED W/ HARDWARE & PAINT
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  - EXIST. DOOR & FRAME TO REMAIN; REMOVE HARDWARE & SECURE SHUT
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  - EXIST. FIRE ALARM PANEL TO REMAIN
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  - EXIST. ELECTRICAL PANEL
  - EXIST. MARBLE THRESHOLD TO REMAIN; TYP. U.N.O.
  - FIRE ESCAPE ABOVE
  - EXIST. WINDOWS TO REMAIN



### LEGEND

- 020103 DOOR TAG
- 01 WALL TYPE TAG
- 1 KEY NOTE TAG
- NEW DOOR
- EXISTING DOOR
- NEW WALL
- EXISTING WALL
- WORK AREA - LEVEL 2 ALTERATIONS
- EXISTING PLUMBING FIXTURE TO REMAIN

### KITCHEN TYPES

- A NEW KITCHEN IN NEW LOCATION
- B NEW KITCHEN IN EXISTING LOCATION
- C REFRESH EXISTING KITCHEN

### BATHROOM TYPES

- A NEW BATHROOM IN NEW LOCATION
- B NEW BATHROOM IN EXISTING LOCATION
- C REFRESH EXISTING BATHROOM

**1** Proposed Basement Floor Plan  
 Scale: 1/8" = 1'-0"

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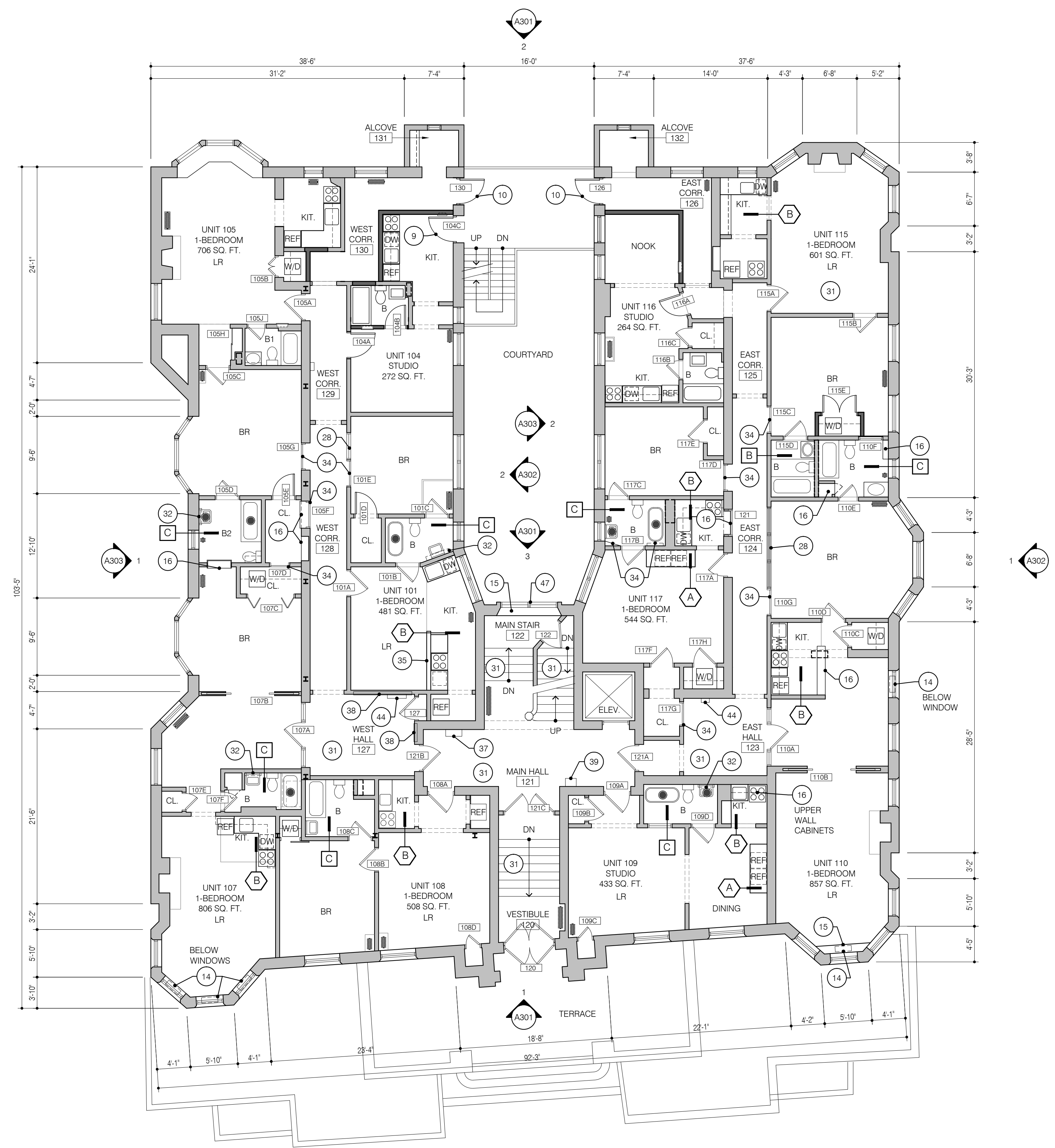


**GENERAL NOTES**

- A. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES ON DRAWINGS.
- B. ALL DIMENSIONS TO NEW CONSTRUCTION ARE TO FACE OF FINISH AND FACE OF MASONRY U.N.O.
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**FLOOR PLAN KEYNOTES**

- 1 NEW STACKED VENTLESS WASHER & DRYER
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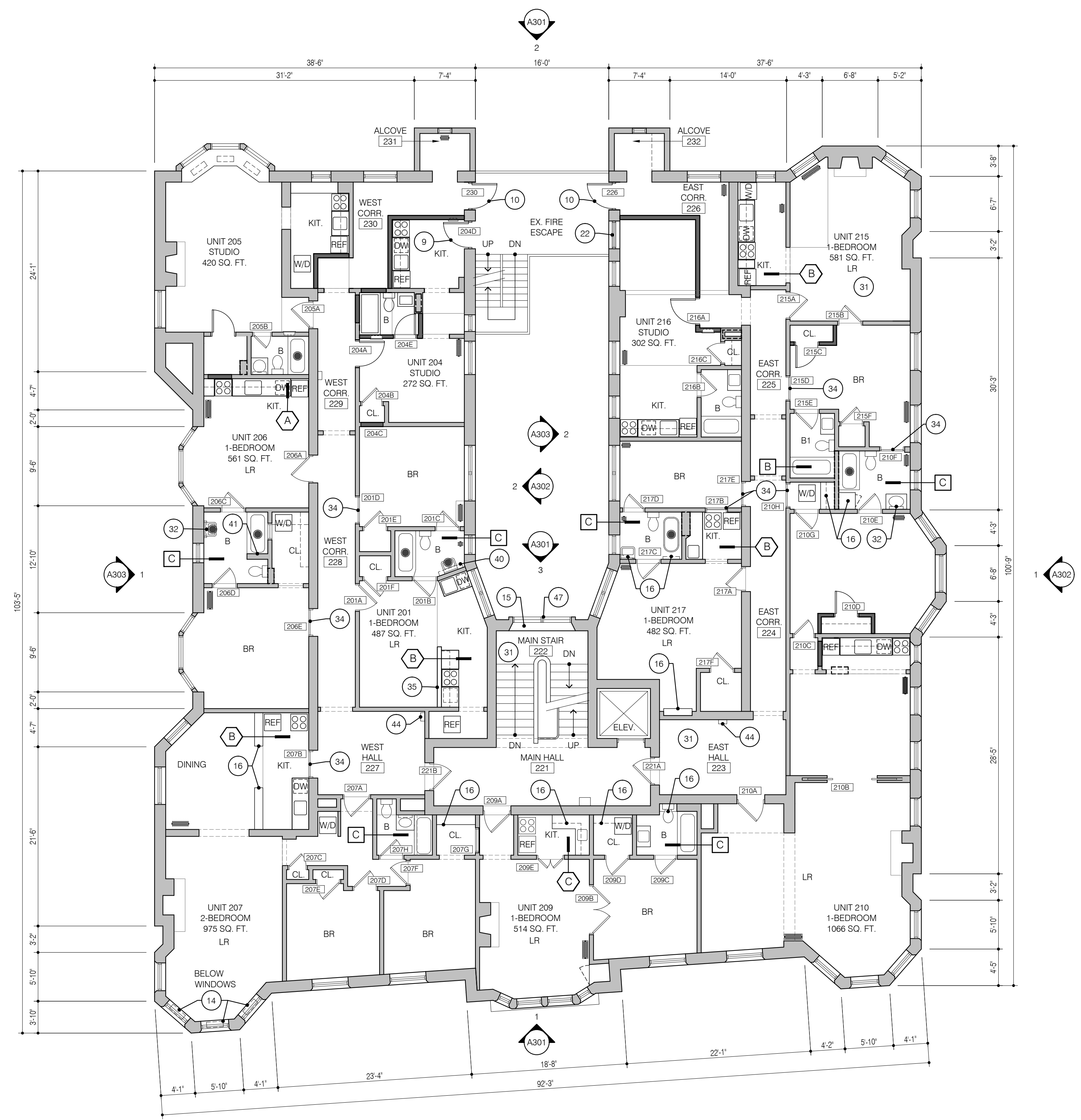


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**FLOOR PLAN KEYNOTES**

- 1 NEW STACKED VENTLESS WASHER & DRYER
- 2 NEW KITCHEN CABINET(S)/MILLWORK (BY OTHERS)
- 3 NEW RANGE
- 4 NEW KITCHEN SINK
- 5 NEW REFRIGERATOR
- 6 NEW TOILET
- 7 NEW VANITY AND SINK(S)
- 8 NEW BATHTUB/SHOWER
- 9 NEW DOOR & FRAME AT EXIST. OPENG. SEE DOOR SCHEDULE.
- 10 NEW DOOR & FRAME IN NEW OPENG. SEE DOOR SCHEDULE.
- 11 NEW OPENG IN EXIST. WALL. PROVIDE CASING & TRIM TO MATCH EXIST. & PATCH FLOOR AT WALL REMOVAL.
- 12 NEW WALL TO INFILL EXIST. OPENING
- 13 NEW ELECTRIC PANEL - SEE ELECTRICAL DRAWINGS.
- 14 EXISTING RADIATOR. PROVIDE MISC. REPAIRS & PAINT; TYP. U.N.O.
- 15 EXIST. WINDOW SEAT. PROVIDE MISC. REPAIRS & PAINT.
- 16 EXIST. MILLWORK TO BE RESTORED INCLUDING NEW HARDWARE & PAINT.
- 17 NEW UNIT ENTRY DOOR & FRAME IN NEW OPENING - SEE DOOR SCHEDULE FOR ADDITIONAL INFO.
- 18 EXIST. SLIDING DOOR TO REMAIN.
- 19 EXIST. IN-ACTIVE FIREPLACE TO REMAIN.
- 20 POTENTIAL PLUMBING CHASE - CONTRACTOR TO CONFIRM.
- 21 NEW WIRE SHELVING SYSTEM.
- 22 NEW WINDOW IN EXIST. DOOR OPENING. INFILL SILL W/ MASONRY & WOOD TRIM TO MATCH EXIST.
- 23 NEW MARBLE THRESHOLD TO MATCH EXIST.
- 24 NEW/EXIST. WALL AT CABINET HEIGHT.
- 25 NEW WINDOW IN EXIST. OPENING - SEE EXTERIOR ELEVATIONS FOR WINDOW TYPE.
- 26 RELOCATE, REPAIR, & PAINT EXIST. RADIATOR.
- 27 DOOR FRAME, CASING, & TRIM TO REMAIN; PAINT.
- 28 EXIST. CLERESTORY WINDOWS TO REMAIN; PAINT.
- 29 NEW ENLARGED WALL OPENG. INSTALL SALVAGED/NEW CASING & TRIM TO MATCH EXIST.
- 30 MODIFY EXIST. WOOD CASING & TRIM AS REQ'D FOLLOWING REMOVAL OF DOOR & PAINT.
- 31 EXIST. WD WAINSCOT TO BE REFINISHED
- 32 EXIST. RECESSED MEDICINE CAB. TO BE REFRESHED W/ HARDWARE & PAINT
- 33 NEW WALL CONSTRUCTION
- 34 EXIST. DOOR & FRAME TO REMAIN; REMOVE HARDWARE & SECURE SHUT
- 35 EXIST. WALL: CUT DOWN TO BAR TOP HEIGHT W/ NEW CAP
- 36 NEW STL. OR MASONRY LINTEL AT NEW OPENING
- 37 EXIST. FIRE ALARM PANEL TO REMAIN
- 38 EXIST. MAILBOXES TO REMAIN
- 39 EXIST. MAIL SLOT
- 40 NEW MEDICINE CABINET
- 41 WATER WALL NEEDS WORK W/ NEW TILE
- 42 REPAIR OR REPLACE MISSING RADIATOR PANELS & PAINT
- 43 NEW RECESSED ELEC. HEATER
- 44 EXIST. ELECTRICAL PANEL
- 45 EXIST. MARBLE THRESHOLD TO REMAIN; TYP. U.N.O.
- 46 FIRE ESCAPE ABOVE
- 47 EXIST. WINDOWS TO REMAIN



**LEGEND**

- [020103] DOOR TAG
- 01 WALL TYPE TAG
- 1 KEY NOTE TAG
- NEW DOOR
- EXISTING DOOR
- NEW WALL
- EXISTING WALL
- WORK AREA - LEVEL 2 ALTERATIONS
- EXISTING PLUMBING FIXTURE TO REMAIN

**KITCHEN TYPES**

- A NEW KITCHEN IN NEW LOCATION
- B NEW KITCHEN IN EXISTING LOCATION
- C REFRESH EXISTING KITCHEN

**BATHROOM TYPES**

- A NEW BATHROOM IN NEW LOCATION
- B NEW BATHROOM IN EXISTING LOCATION
- C REFRESH EXISTING BATHROOM

1 Proposed Second Floor Plan  
 Scale: 1/8" = 1'-0"

ISSUANCES  
 HDC REVIEW  
 11-04-2022  
 REVISIONS

Palm Apartments Building  
 Interior & Exterior Alterations  
 1001 E. Jefferson Ave.  
 Detroit, MI, 48207

TR  
 principal in charge  
 TR  
 project manager  
 TR  
 project architect  
 SM  
 drawn  
 11.04.2022  
 print date



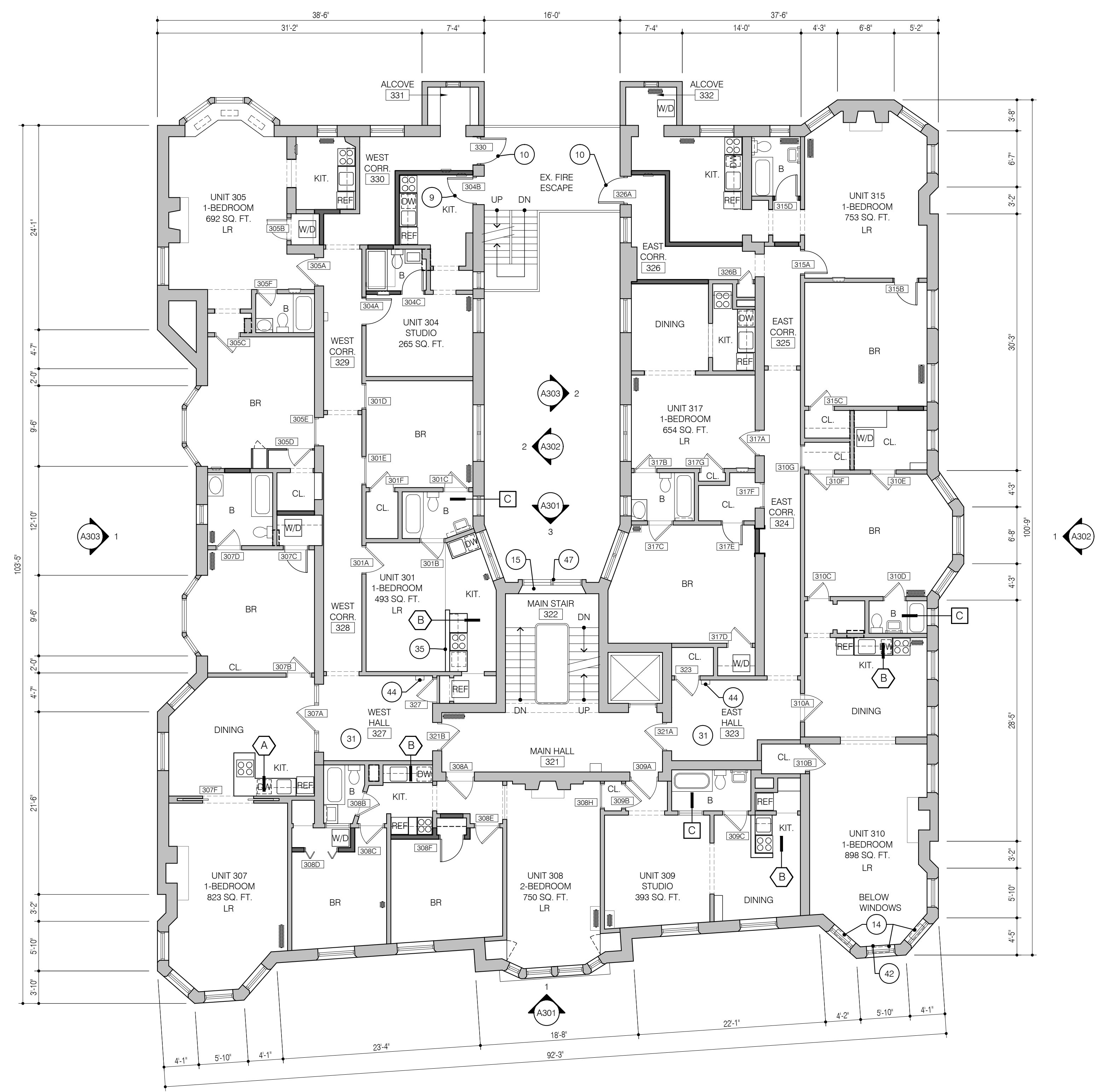


**GENERAL NOTES**

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- B. ALL DIMENSIONS TO NEW CONSTRUCTION ARE TO FACE OF FINISH AND FACE OF MASONRY U.N.O.
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- D. ALL INTERIOR PARTITIONS NOT TAGGED ARE EXISTING TO REMAIN.
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**LEGEND**

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**BATHROOM TYPES**

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1 Proposed Third Floor Plan  
 A103 Scale: 1/8" = 1'-0"

ISSUANCES  
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TR principal in charge  
 TR project manager  
 TR project architect  
 SM drawn  
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**FLOOR PLAN KEYNOTES**

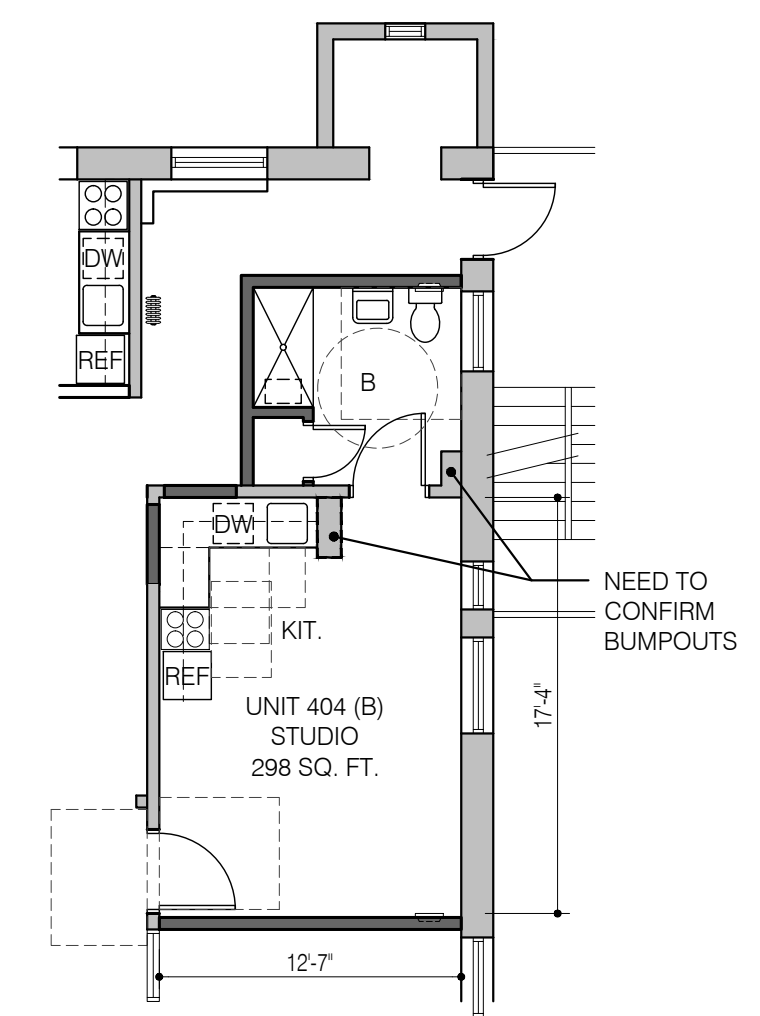
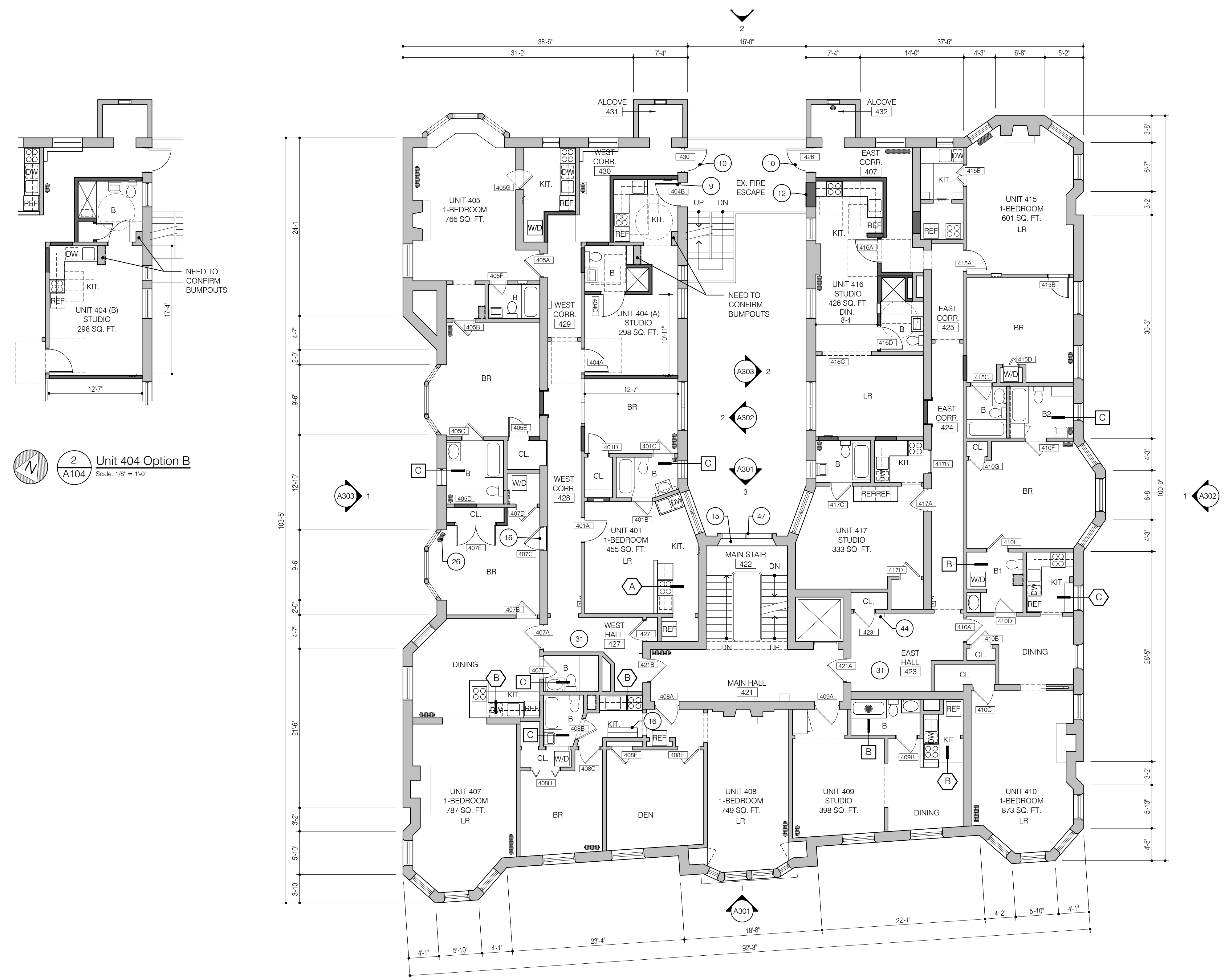
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TR  
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TR  
project architect  
SM  
drawn  
11.04.2022  
print date

21023.00  
job number  
**A104**  
sheet number



2 Unit 404 Option B  
 A104 Scale: 1/8" = 1'-0"

1 Proposed Fourth Floor Plan  
 A104 Scale: 1/8" = 1'-0"

**LEGEND**

- 020103 DOOR TAG
- 01 WALL TYPE TAG
- 1 KEY NOTE TAG
- NEW DOOR
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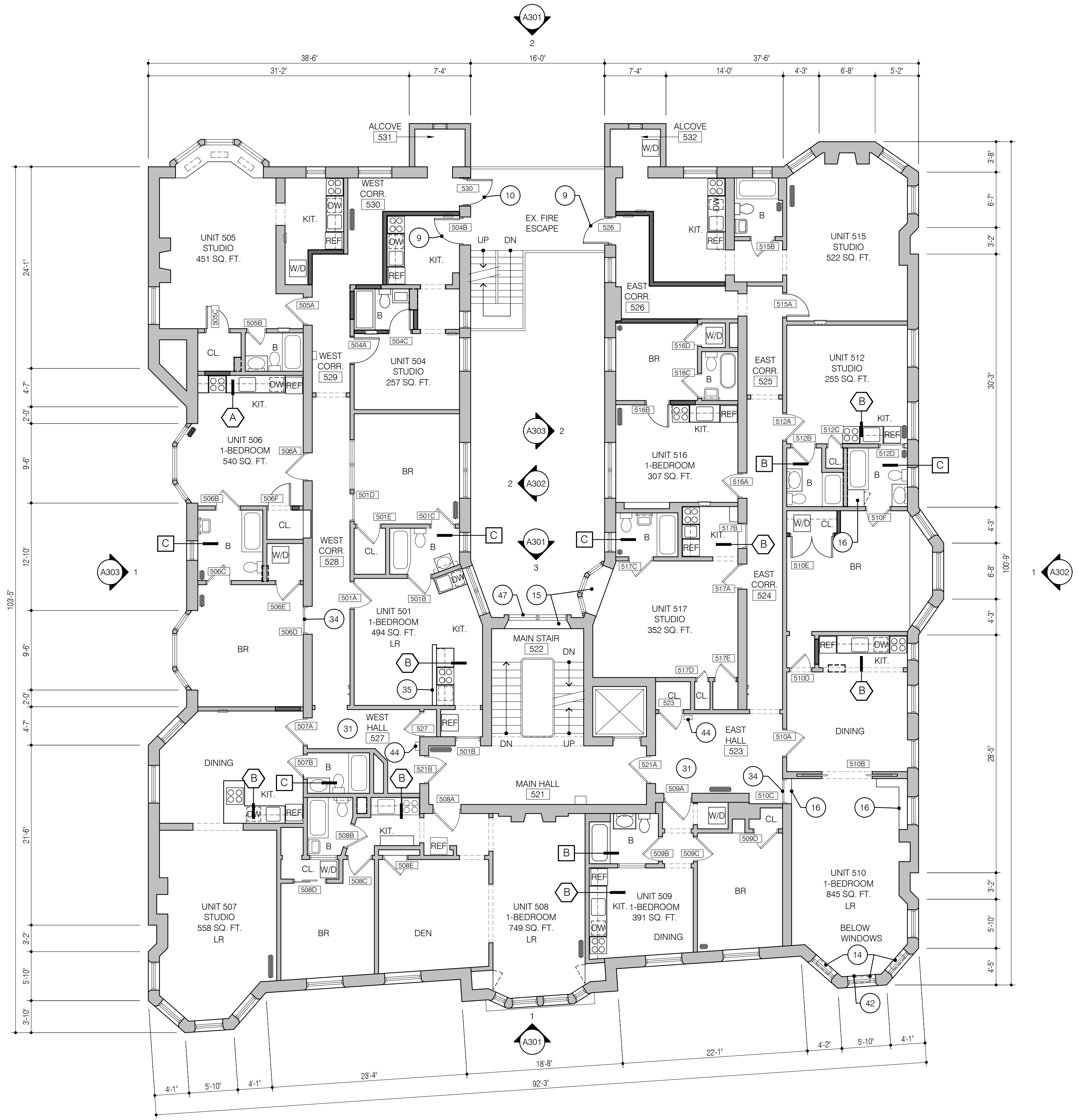
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**BATHROOM TYPES**

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1 Proposed Fifth Floor Plan  
 Scale: 1/8" = 1'-0"

**GENERAL NOTES**

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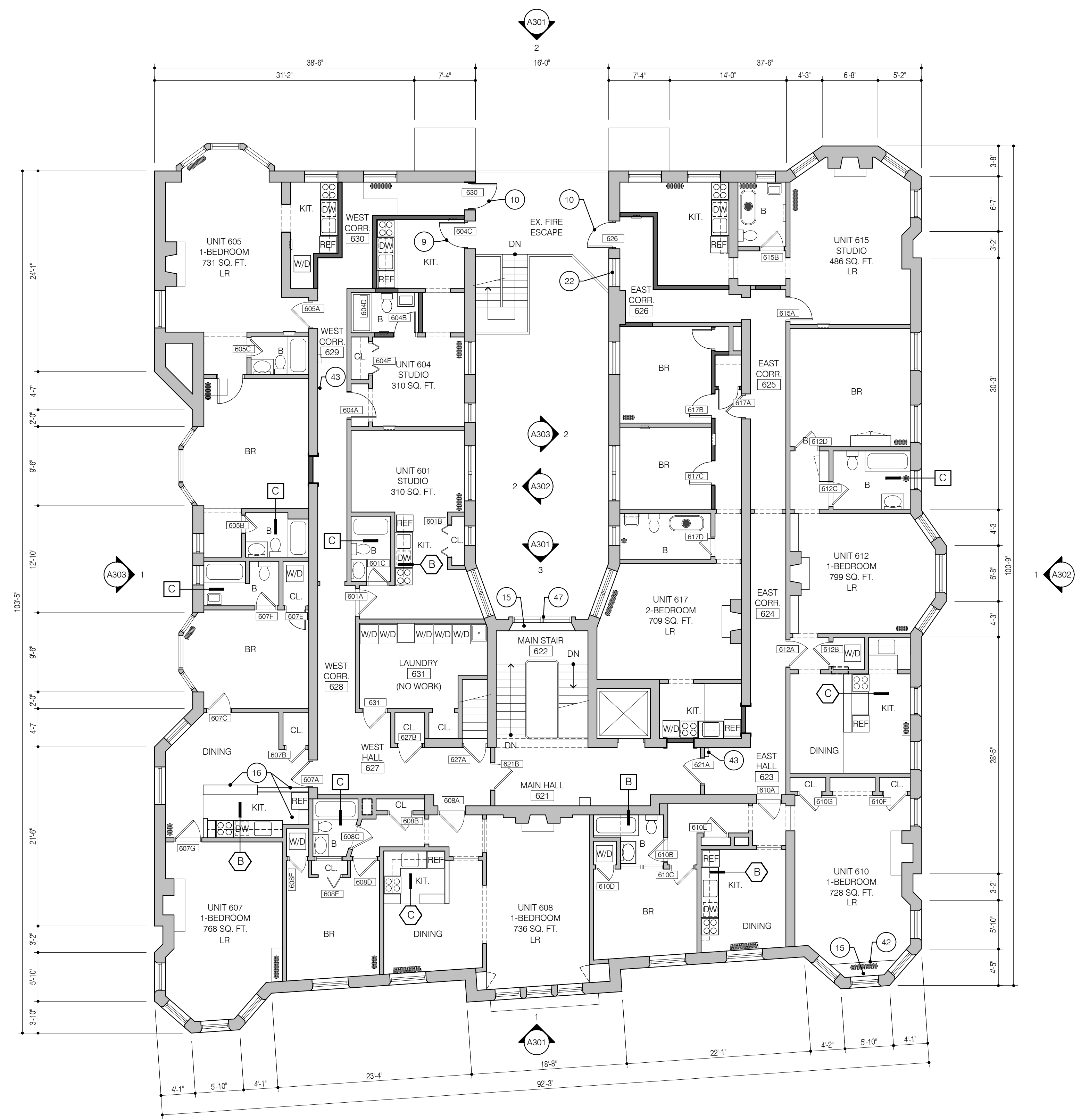


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 TR project architect  
 SM drawn  
 11.04.2022  
 print date





ISSUANCES	REVISIONS
HDC REVIEW	11-04-2022

**Palms Apartment Building  
 Interior & Exterior Alterations**  
 1001 E. Jefferson Ave.  
 Detroit, MI, 48207

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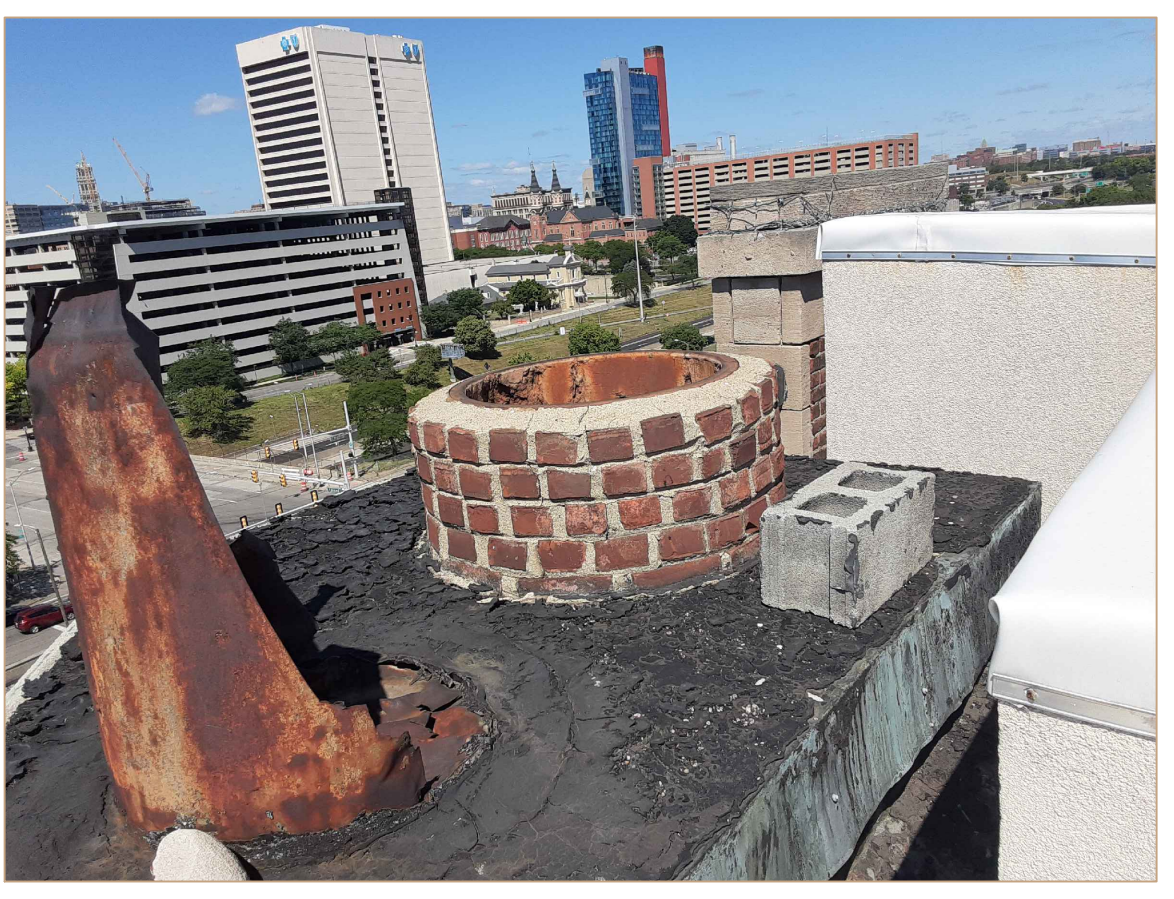
- ### ROOF KEYNOTES
- 1 EXIST. FIRE ESCAPE ROOF BELOW (NO WORK).
  - 2 EXIST. CHIMNEY TO REMAIN (NO WORK).
  - 3 EXIST. GUTTERS & DOWNSPOUTS TO REMAIN (NO WORK).
  - 4 EXIST. MEMBRANE ROOF TO REMAIN.
  - 5 EXIST. HVAC PENTHOUSE TO REMAIN.
  - 6 CONFIRM EXIST CHIMNEY/INCINERATOR HAS BEEN ABANDONED; REMOVE TAR COATING AND MTL. CAP; INSTALL NEW MTL. CAP.
  - 7 EXIST. ELEVATOR PENTHOUSE TO REMAIN (NO WORK).
  - 8 EXIST. ROOF ACCESS STAIR PENTHOUSE TO REMAIN (NO WORK).
  - 9 EXIST. PARAPET AND STONE COPING TO REMAIN (NO WORK).
  - 10 EXIST. MEMBRANE ROOF ASSEMBLY TO REMAIN. ROOFING CONTRACTOR TO INSPECT ROOF AND PROVIDE RECOMMENDATIONS FOR REPAIR.
  - 11 EXIST. WOOD CORNICE W/ COPPER CAP BELOW TO REMAIN.
  - 12 EXIST. BAY WINDOW W/ COPPER ROOF BELOW. SEE EXTERIOR ELEVATIONS FOR SCOPE OF WORK.
  - 13 EXIST. ALCOVE ROOF BELOW. ROOFING CONTRACTOR TO INSPECT ROOF AND PROVIDE RECOMMENDATIONS FOR REPAIR.
  - 14 INSTALL NEW MEMBRANE ROOF & FLASHING.
  - 15 NEW GUTTER & DOWNSPOUT.



**3 Shaft Roof & Chimney**  
 Scale: N.T.S.



**4 HVAC Penthouse**  
 Scale: N.T.S.



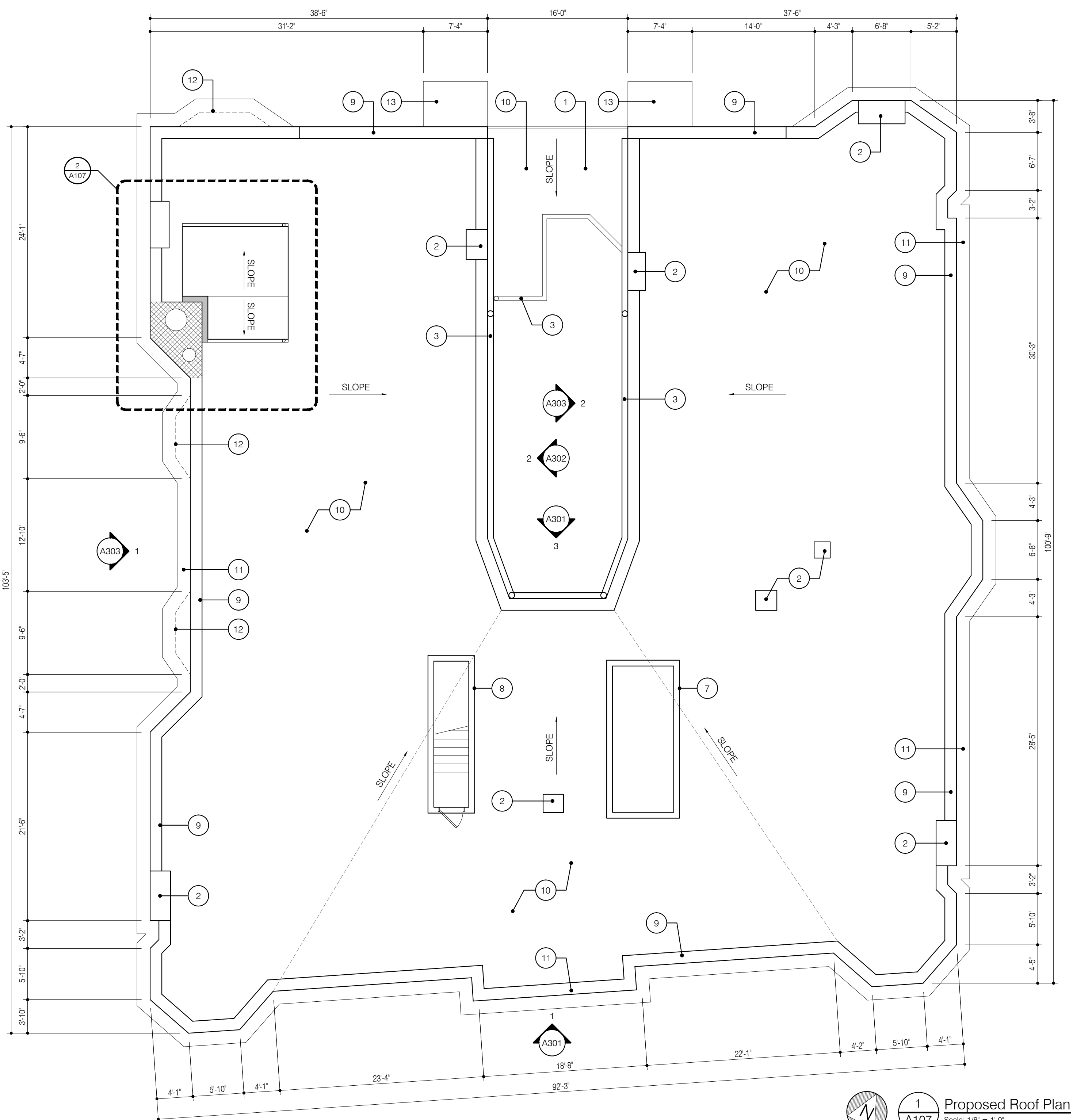
**5 Shaft Roof**  
 Scale: N.T.S.



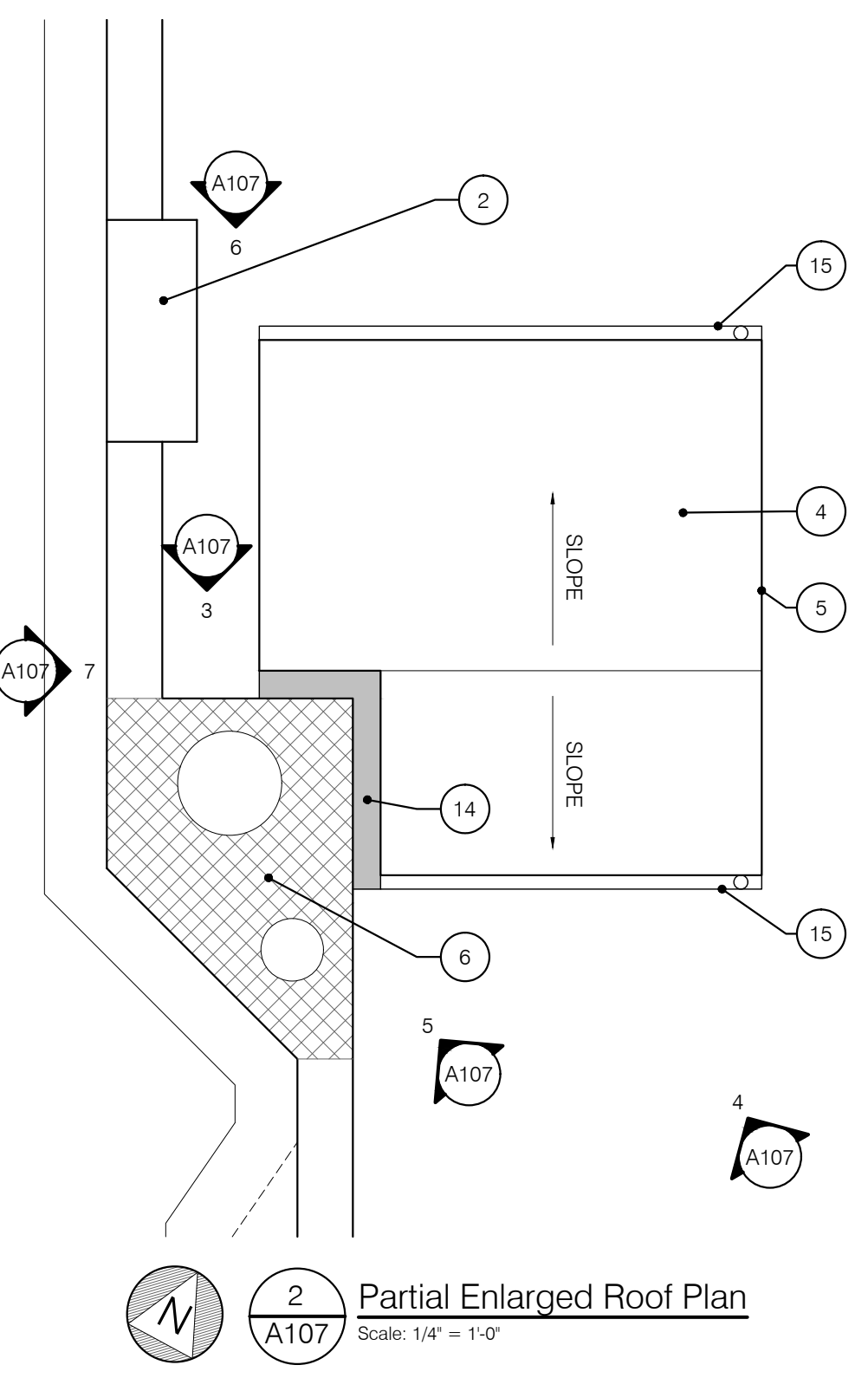
**6 HVAC Penthouse**  
 Scale: N.T.S.



**7 Shaft/Penthouse Juncture**  
 Scale: N.T.S.

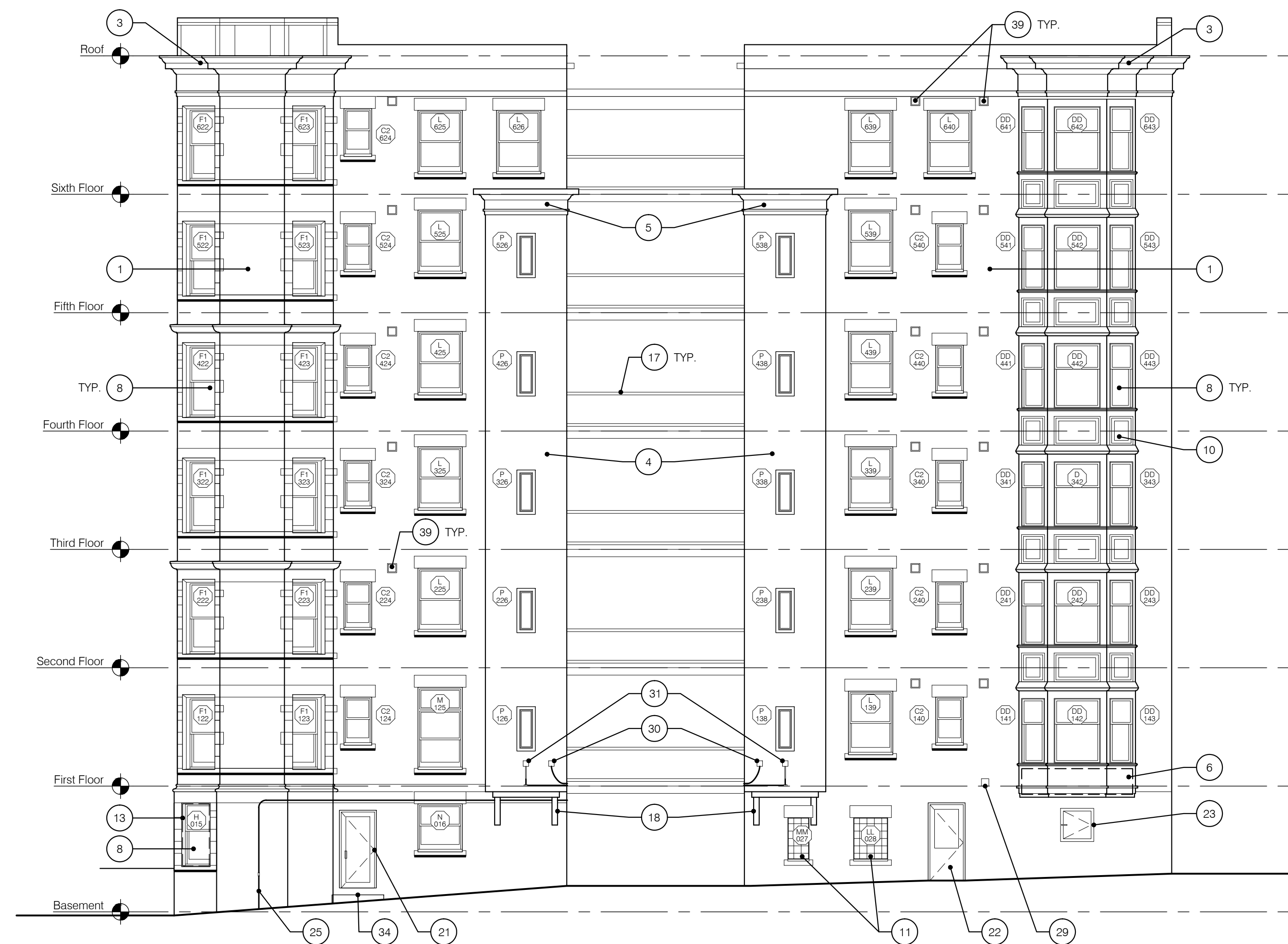


**1 Proposed Roof Plan**  
 Scale: 1/8" = 1'-0"

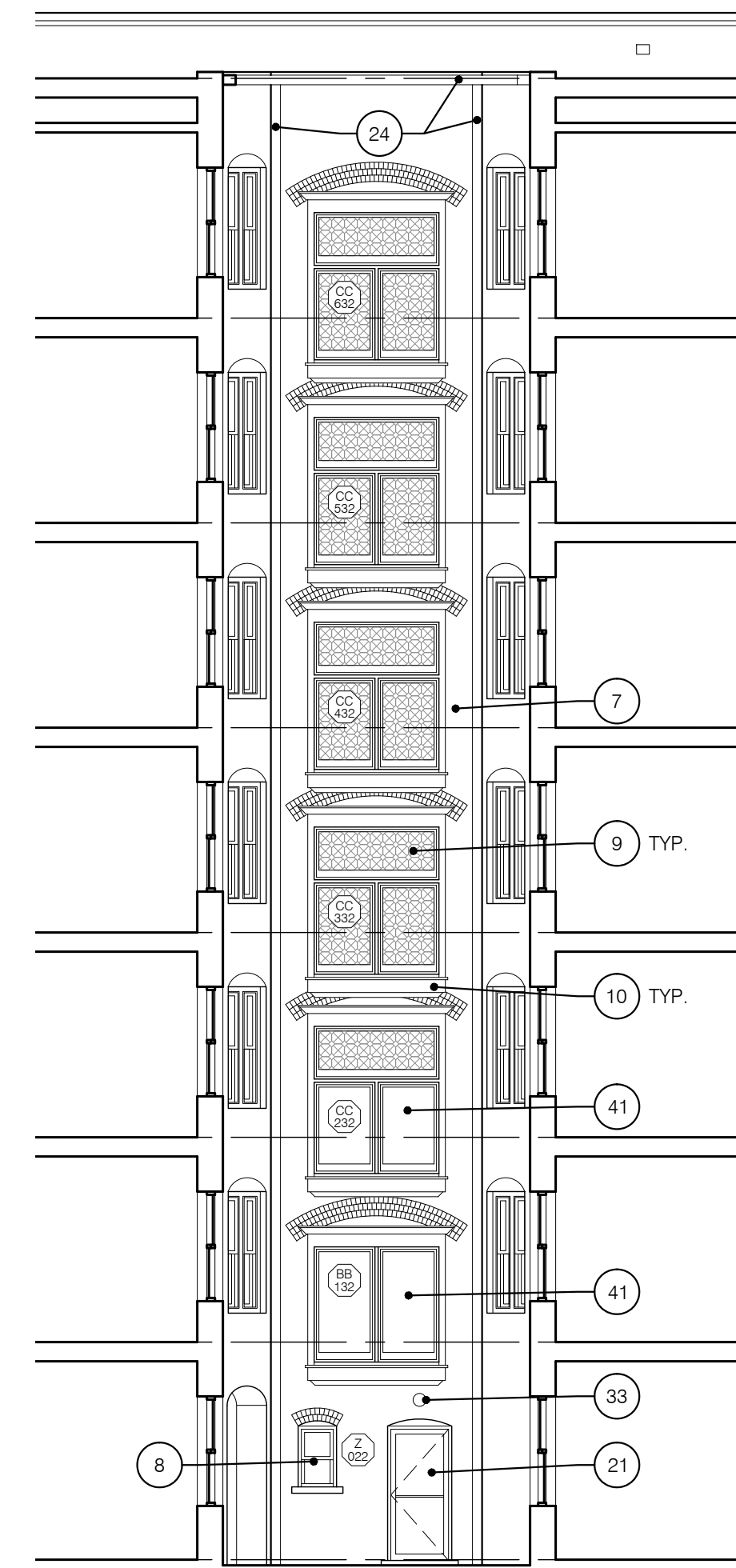


**2 Partial Enlarged Roof Plan**  
 Scale: 1/4" = 1'-0"





2 North Elevation  
 A301 Scale: 1/8" = 1'-0"



3 North Section  
 A301 Scale: 1/8" = 1'-0"

**ELEV./SECTION KEYNOTES**

- 1 EXIST. LIMESTONE FACADE (NO WORK)
- 2 EXIST. LIMESTONE WALLS W/ SCUPPERS (NO WORK)
- 3 EXIST. WOOD CORNICE; SCRAPE, PRIME, & PAINT
- 4 EXIST. ASPHALT SHINGLE SIDING TO REMAIN. PATCH AS REQUIRED AT NEW WINDOW INSTALLATION
- 5 SCRAPE, PRIME, & PAINT EXIST. MTL. CORNICE
- 6 REMOVE MTL. SIDING & INSTALL WD. PANELS & TRIM TO MATCH ABOVE & PAINT
- 7 EXISTING BRICK; CLEAN & PATCH AT AREAS OF NEW WORK
- 8 REMOVE & REPLACE EXIST. WD. WINDOW (TYP.) UNLESS NOTED OTHERWISE
- 9 STAINED GLASS WINDOWS TO REMAIN
- 10 REHABILITATE EXIST. WD. BAY WINDOW & PAINT
- 11 EXIST. GLASS BLOCK TO REMAIN
- 12 REMOVE EXIST. GLASS BLOCK & PROVIDE NEW D.H. WINDOW TO MATCH EXISTING
- 13 REMOVE STORM WINDOW & FRAME
- 14 STL. SASH WINDOW TO BE REMOVED & REPLACED TO MATCH EXISTING
- 15 REPLACE EXIST. WD FRAME AND LOUVER W/ NEW MTL/ FRAME & LOUVER
- 16 REPLACE EXIST. VENT WITH NEW VENT
- 17 EXISTING STEEL FIRE ESCAPE TO REMAIN; CLEAN, REPAIR, & PAINT
- 18 PAINT EXIST. STL. SUPPORTS
- 19 NEW MASONRY OPENING W/ NEW DOOR & FRAME W/ MASONRY ARCH LINTEL TO MATCH EXISTING
- 20 NEW ALUM. DOOR & FRAME IN EXISTING OPENING
- 21 EXIST. ALUM. DOOR TO REMAIN
- 22 EXIST. WD DOOR & FRAME TO BE REMOVED AND REPLACED W/ NEW H.M. DOOR & FRAME
- 23 EXIST. ACCESS HATCH TO BE PAINTED
- 24 EXIST. GUTTER & DOWNSPOUTS TO REMAIN
- 25 EXIST. SURFACE MNTD. CONDUIT TO REMAIN
- 26 EXIST. SIGNAGE TO REMAIN
- 27 EXIST. ADDRESS TO REMAIN
- 28 REMOVE EXIST. FABRIC CANOPY COMPLETE INCLUDING ANCHORS, SUPPORTS, ETC.
- 29 EXIST. VENT TO BE REMOVED
- 30 EXIST. CAMERA TO REMAIN
- 31 EXIST. LIGHT TO REMAIN
- 32 EXIST. WALL SCONCE TO REMAIN
- 33 NEW LIGHT IN EXIST. LOCATION
- 34 EXIST. CEMENT STEP TO REMAIN
- 35 EXIST. LIMESTONE STEPS (NO WORK)
- 36 NEW WINDOW IN EXISTING DOOR OPENING. REMOVE STONE THRESHOLD AND INFILL WITH BRICK & STONE WINDOW SILL TO MATCH EXISTING
- 37 NEW LIGHT FIXTURE
- 38 NEW MASONRY INFILL BENEATH WINDOW TO MATCH ADJACENT MASONRY
- 39 NEW EXHAUST VENT
- 40 RESTORE EXIST. DECORATIVE IRON SECURITY GATES & WOOD DOORS
- 41 EXIST. WINDOW TO REMAIN AND BE RESTORED



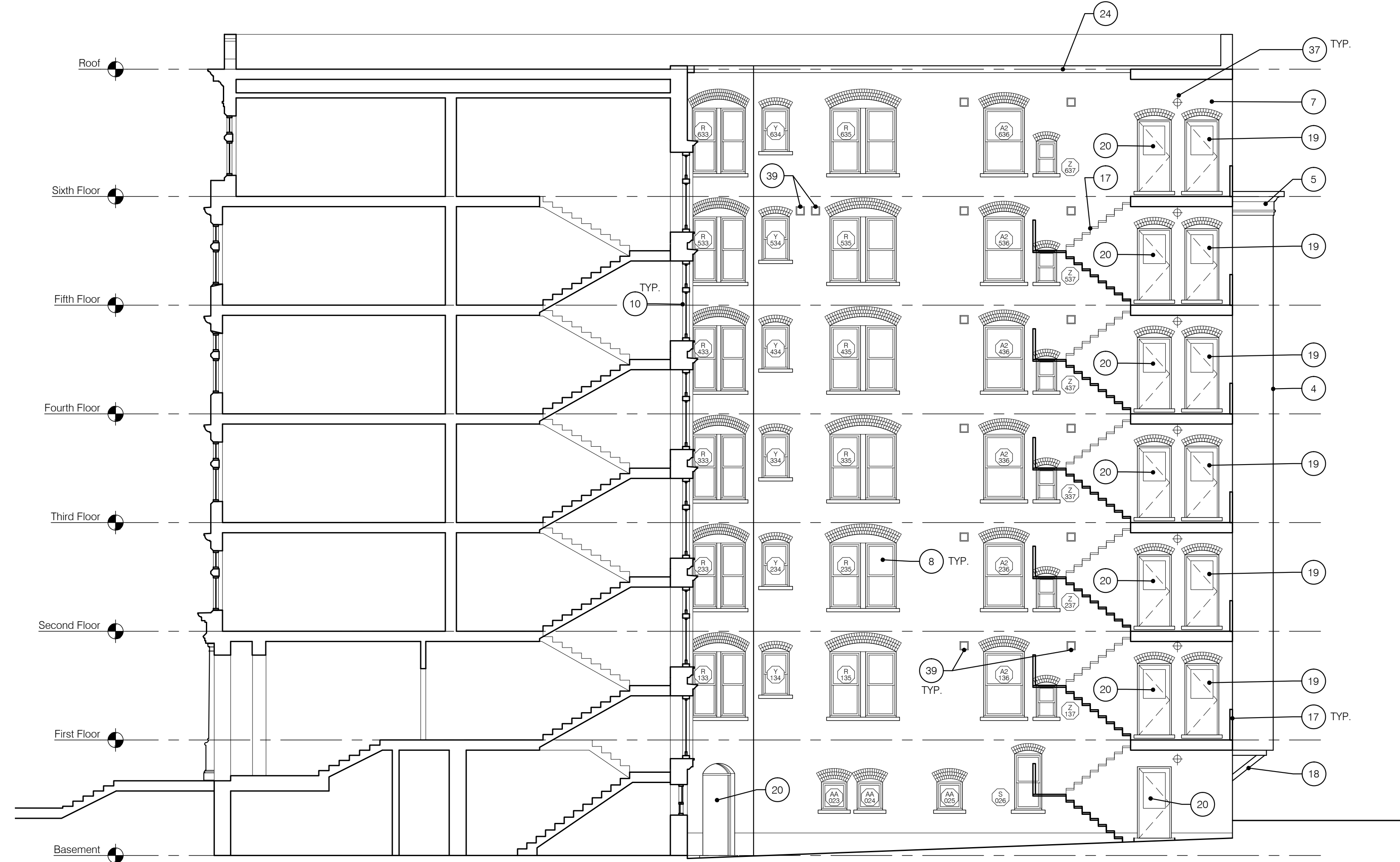
1 South Elevation  
 A301 Scale: 1/8" = 1'-0"

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**2 East Section**  
 A302 Scale: 1/8" = 1'-0"



**1 East Elevation**  
 A302 Scale: 1/8" = 1'-0"

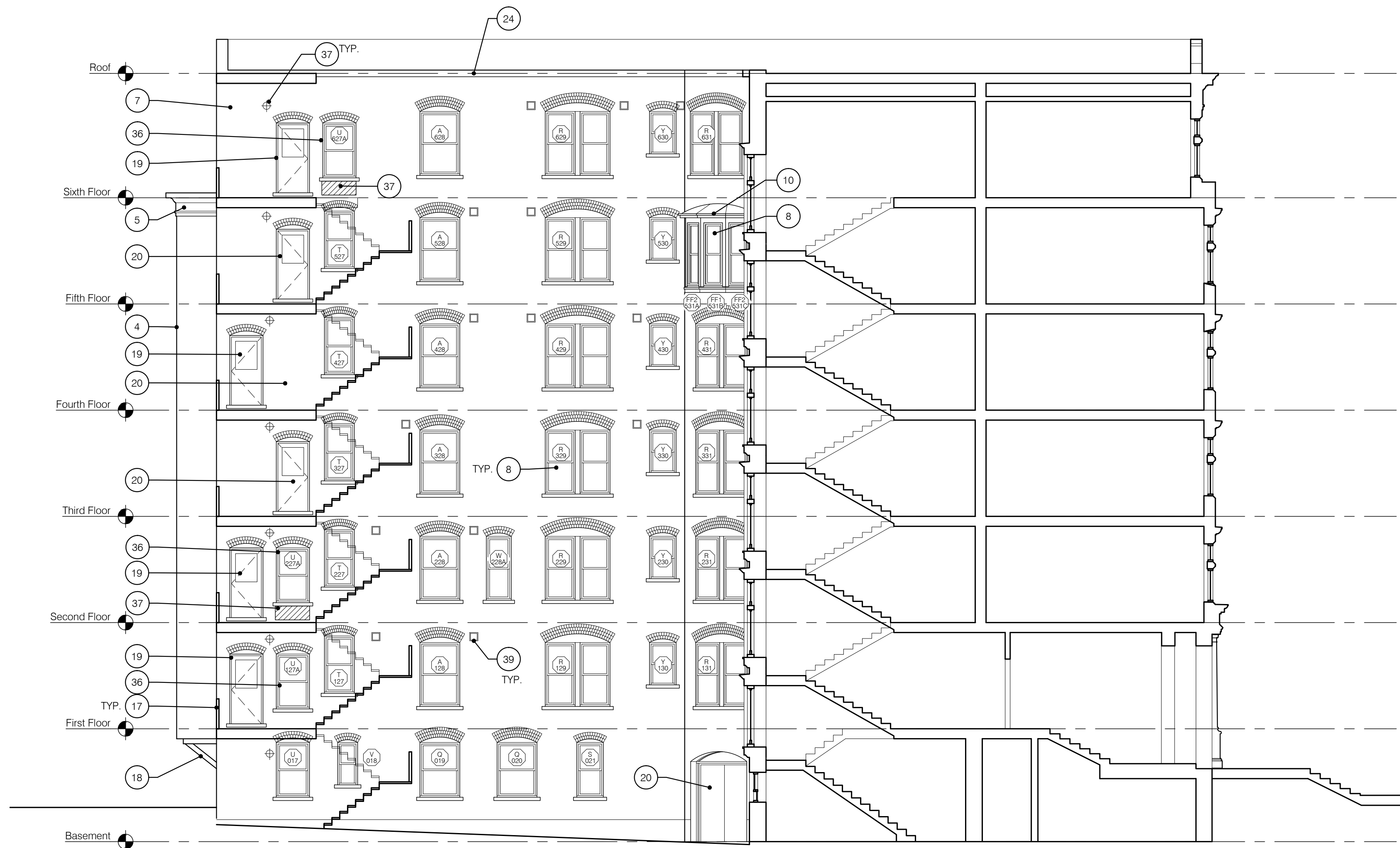
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2 West Section  
 A303 Scale: 1/8" = 1'-0"



1 West Elevation  
 A303 Scale: 1/8" = 1'-0"

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21023.00  
 job number  
**A303**  
 sheet number



# WINDOW SCHEDULE

TYPE	QTY.	LOCATION	WINDOW SIZE		MATERIAL	TYPE	DETAIL SHEET	NOTES
			W	H				
A1	36	E, S: 1-6	48	77	EX WD/ N ALUM.	EX DH/ N SH	A609	
A2	12	EC, WC: 1-6	48	77	EX WD/ N ALUM.	EX DH/ N SH	A610	
A3	6	W: 1-6	48	77	EX WD/ N ALUM.	EX DH/ N SH	A609	
B	18	E: 1-6	38	77	EX WD/ N ALUM.	EX DH/ N SH	A609	
C1	6	E: 1-6	30	51	EX WD/ N ALUM.	EX DH/ N SH	A609	
C2	18	N, W: 1-6	30	51	EX WD/ N ALUM.	EX DH/ N SH	A609	
D	3	E: 2, 3, 5	14	42	EX STL/ N STL	CASEMENT	A613	
E1	6	E: 1-6	48	77	EX WD/ N ALUM.	EX DH/ N SH	A609	
E2	12	E: 1-6	32	77	EX WD/ N ALUM.	EX DH/ N SH	A609	
F1	66	N, E, S, W: 1-6	42	77	EX WD/ N ALUM.	EX DH/ N SH	A609	
F2	12	W: 1-6	42	77	EX WD/ N ALUM.	EX DH/ N SH	A609	
G	5	E: B	50	75	WD	CASEMENT		EXISTING TO REMAIN
H	2	N, E: B	42	68	EX WD/ N ALUM.	EX DH/ N SH	A609	
J	1	E: B	32	49	EX WD/ N ALUM.	EX DH/ N SH	A609	
K1	8	S: 2-5	32	77	EX WD/ N ALUM.	EX DH/ N SH	A611	
K2	8	S: 2-5	18	77	EX WD/ N ALUM.	EX DH/ N SH	A611	
K3	3	S: 6	32	72	EX WD/ N ALUM.	EX DH/ N SH	A611	
L	13	N: 1-6	48	68	EX WD/ N ALUM.	EX DH/ N SH	A609	
M	1	N: 1	48	88	EX WD/ N ALUM.	EX DH/ N SH	A609	
N	1	N: B	48	51	EX WD/ N ALUM.	EX DH/ N SH	A609	
P	10	N: 1-5	20	48	EX WD/ N ALUM.	EX CASEMENT/ N FIXED		
Q	2	WC: B	48	66	EX WD/ N ALUM.	EX DH/ N SH	A610	
R	23	EC, WC: 1-6	78	77	EX WD/ N ALUM.	EX DH/ N SH	A610	
S	2	EC, WC: B	32	66	EX WD/ N ALUM.	EX DH/ N SH	A610	
T	5	WC: 1-5	36	69	EX WD/ N ALUM.	EX DH/ N SH	A610	
U	4	WC: B-3, 6	40	66	EX WD/ N ALUM.	EX DH/ N SH	A610	
V	1	WC: B	24	51	EX WD/ N ALUM.	EX DH/ N SH	A610	
W	1	WC: 2	30	77	EX WD/ N ALUM.	EX DH/ N SH	A610	
Y	12	EC, WC: 1-6	32	51	EX WD/ N ALUM.	EX DH/ N SH	A610	
Z	7	NC, EC: B-6	24	41	EX WD/ N ALUM.	EX DH/ N SH	A610	
AA	3	EC: B	30	33	EX WD/ N ALUM.	AWNING	A610	
BB	1	NC: 1	78	72	WD	CASEMENT		EXISTING TO REMAIN
CC	5	NC: 2-6	78	92	WD	CASE/HOPPER		EXISTING TO REMAIN
DD	18	N: 1-6	42	60	EX WD/ N ALUM.	EX DH/ N SH	A612	
EE1	12	W: 1-6	42	60	EX WD/ N ALUM.	EX DH/ N SH	A612	
EE2	24	W: 1-6	30	60	EX WD/ N ALUM.	EX DH/ N SH	A612	
FF1	1	WC: 5	26	77	EX WD/ N ALUM.	EX DH/ N SH	A612	
FF2	2	WC: 5	16	77	EX WD/ N ALUM.	EX DH/ N SH	A612	
GG	4	S, W: B	43	55	GB	FIXED		EXISTING TO REMAIN
HH	1	E: B	21	43	EX CB/ N ALUM.	EX FIXED/ N SH	A609	
JJ	3	S: B	45	41	GB	FIXED		EXISTING TO REMAIN
KK	1	S: B	45	65	GB	FIXED		EXISTING TO REMAIN
LL	1	N: B	37	45	GB	FIXED		EXISTING TO REMAIN
MM	1	N: B	23	45	GB	FIXED		EXISTING TO REMAIN
NN	5	W: B	37	33	GB	FIXED		EXISTING TO REMAIN
PP	2	W: B	37	27	GB	FIXED		EXISTING TO REMAIN
QQ	4	E, S: B	43	55	EX GB/ N ALUM.	EX FIXED/ N SH	A609	

ELEVATIONS	LOCATION INFORMATION	FLOORS
N NORTH	E, S, W, EC, WC: 1-6	B BASEMENT
E EAST		1-6 FLOORS 1-6
S SOUTH		2,3,5 FLOORS 2, 3, & 5
W WEST		
NC NORTH COURTYARD		
EC EAST COURTYARD		
WC WEST COURTYARD		

WINDOW SCHEDULE ABBREVIATIONS	
ALUM	ALUMINUM
CASE	CASEMENT
DH	DOUBLE-HUNG
GB	GLASS BLOCK
N	NEW
SH	SINGLE HUNG
WD	WOOD

## WINDOW ELEVATIONS

The window elevation diagrams are arranged in a grid. Each diagram shows the window's profile with dimensions for width and height. Below each diagram is a label and a note. For example, A1, A3, and A2 are labeled 'A1, A3', 'A2', and 'A2' respectively. Many windows are noted as 'EXISTING TO REMAIN'. The diagrams include various window types such as double-hung, casement, and fixed glass blocks.



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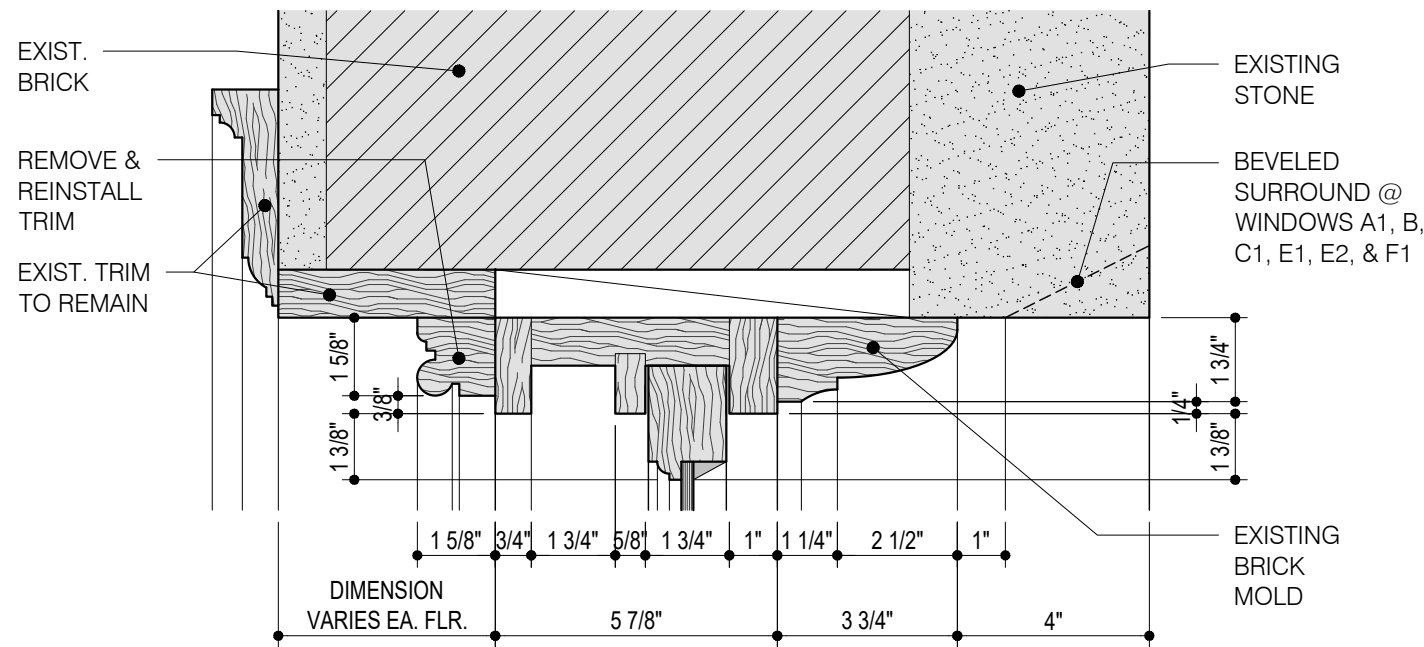
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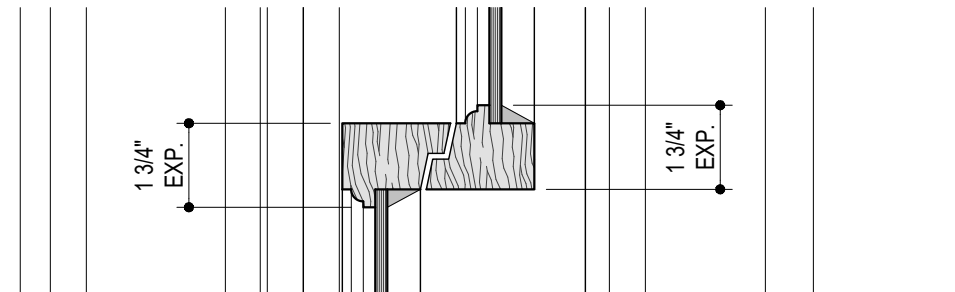
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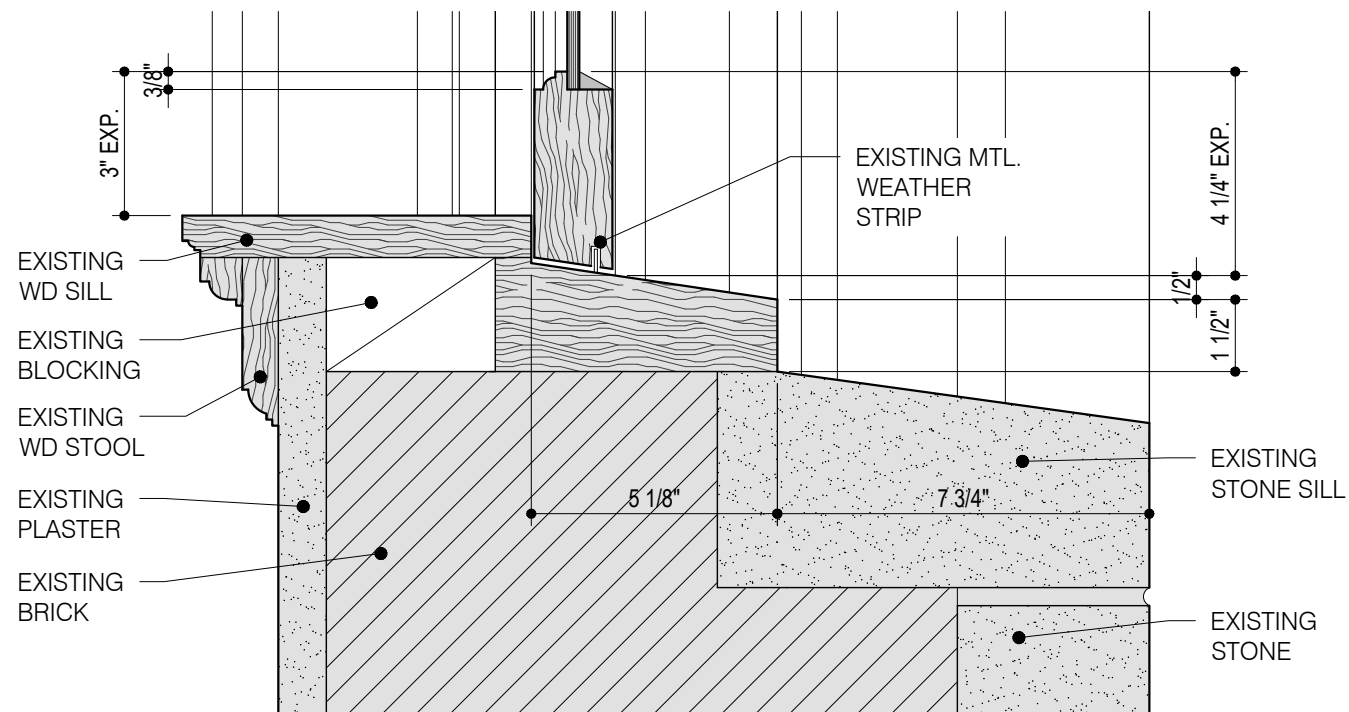
**A609**  
 sheet number



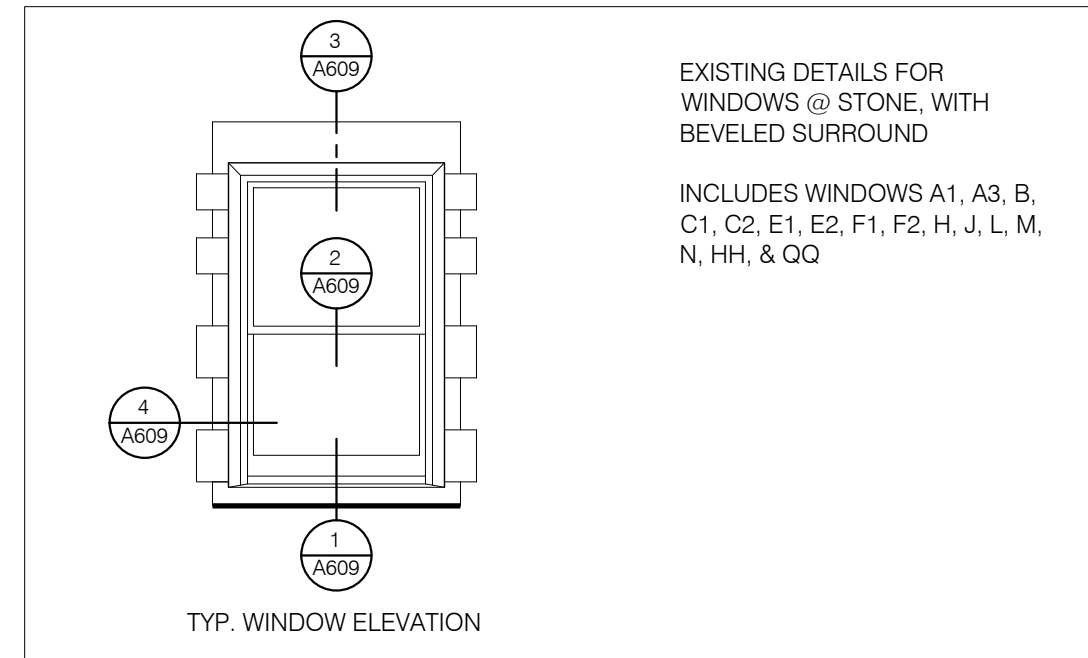
**3 HEAD DETAIL**  
 A609 Scale: 3" = 1'-0"



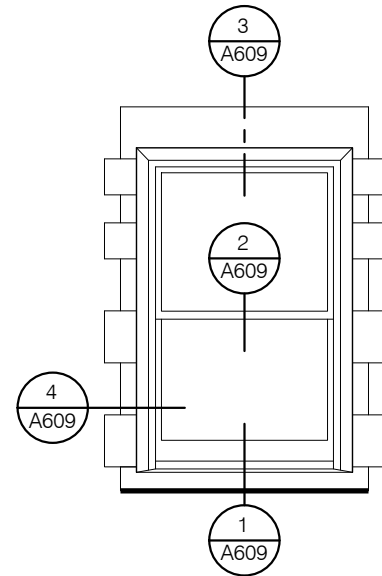
**2 MEETING RAIL DETAIL**  
 A609 Scale: 3" = 1'-0"



**1 SILL DETAIL**  
 A609 Scale: 3" = 1'-0"



**4 JAMB DETAIL**  
 A609 Scale: 3" = 1'-0"



TYP. WINDOW ELEVATION

EXISTING DETAILS FOR  
 WINDOWS @ STONE, WITH  
 BEVELED SURROUND

INCLUDES WINDOWS A1, A3, B,  
 C1, C2, E1, E2, F1, F2, H, J, L, M,  
 N, HH, & QQ



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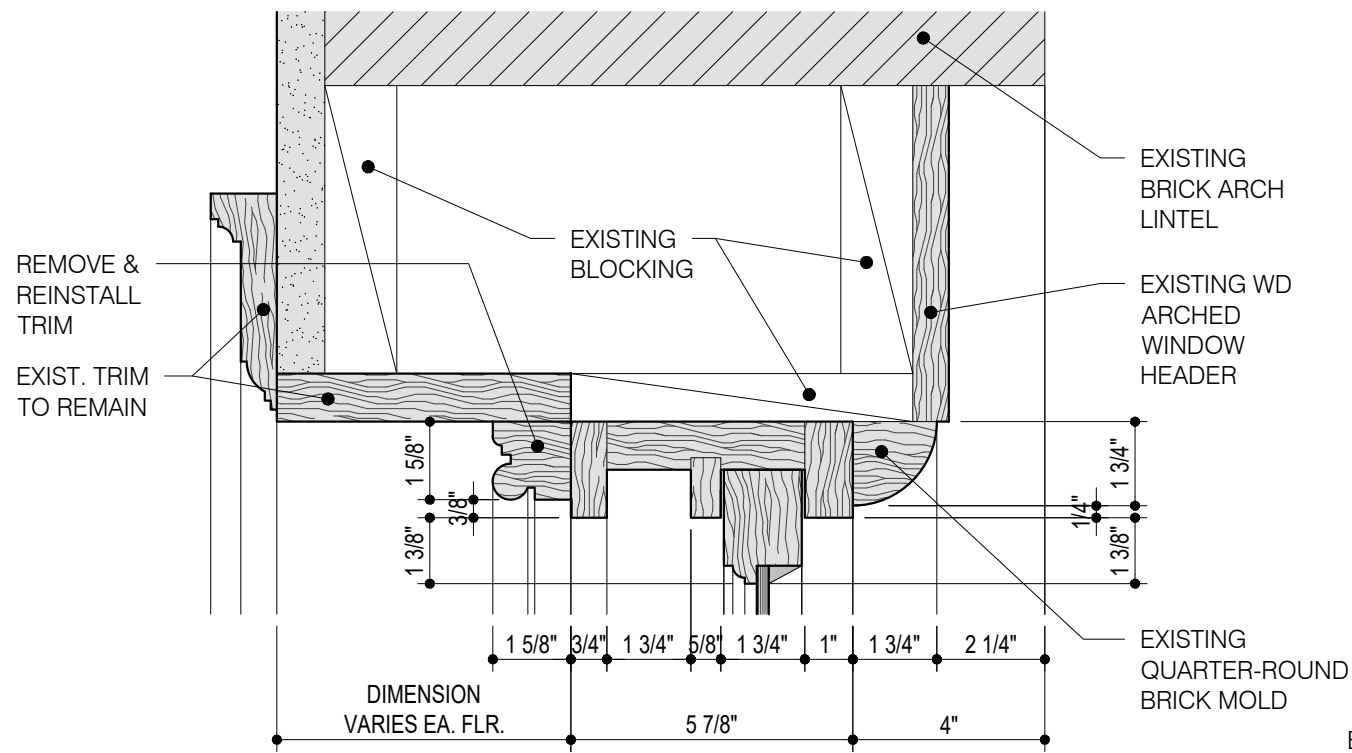
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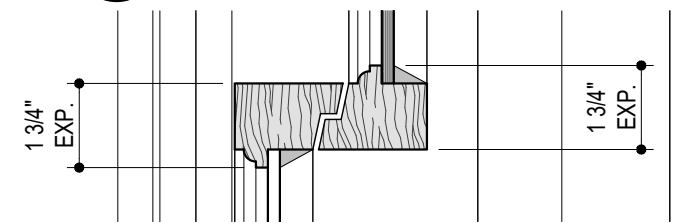
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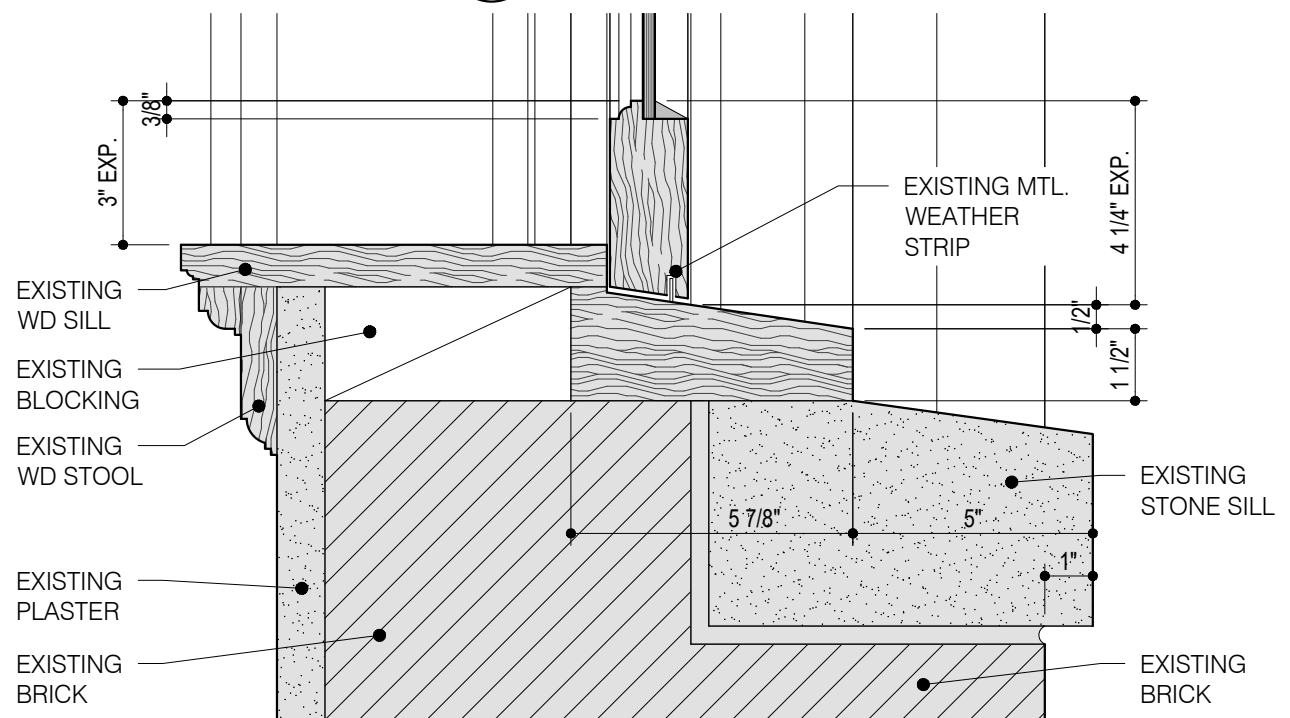
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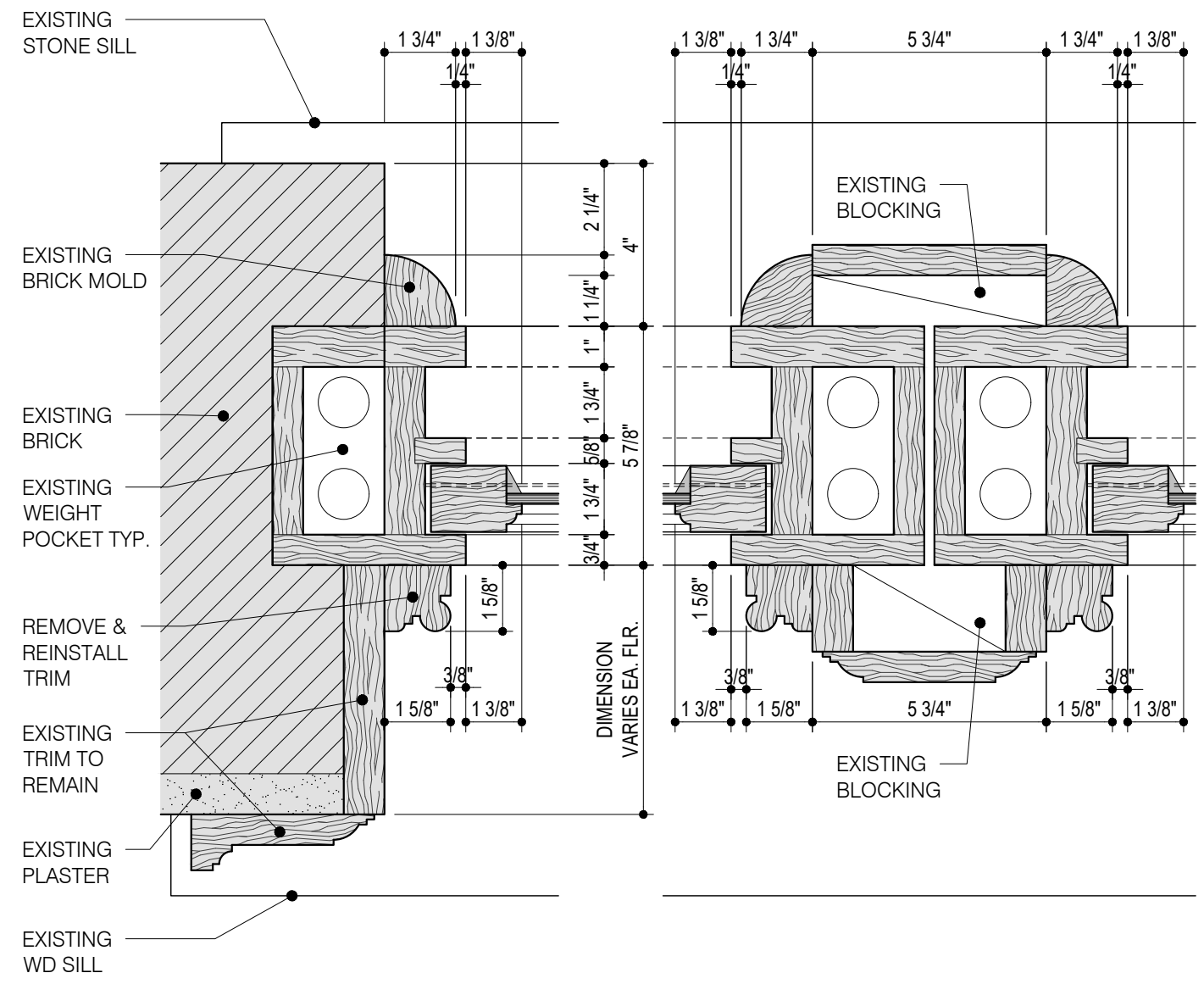
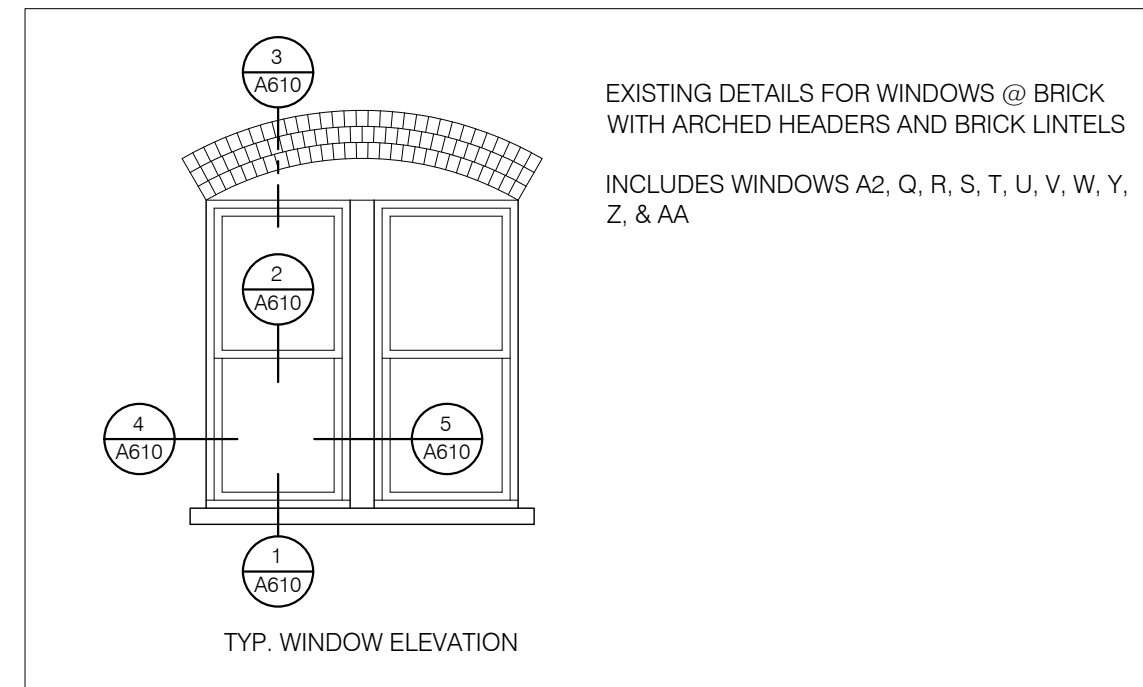
**3 HEAD DETAIL**  
 A610 Scale: 3" = 1'-0"



**2 MEETING RAIL DETAIL**  
 A610 Scale: 3" = 1'-0"



**1 SILL DETAIL**  
 A610 Scale: 3" = 1'-0"



**4 JAMB DETAIL**  
 A610 Scale: 3" = 1'-0"

**5 MULL DETAIL**  
 A610 Scale: 3" = 1'-0"

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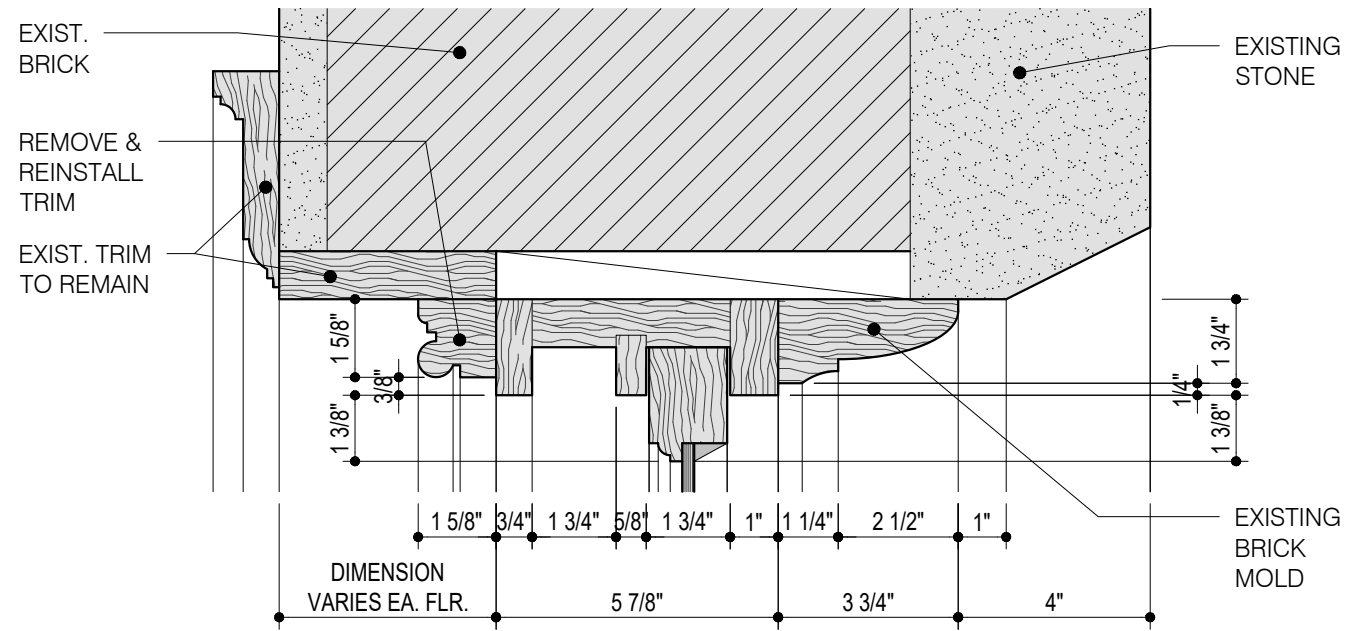
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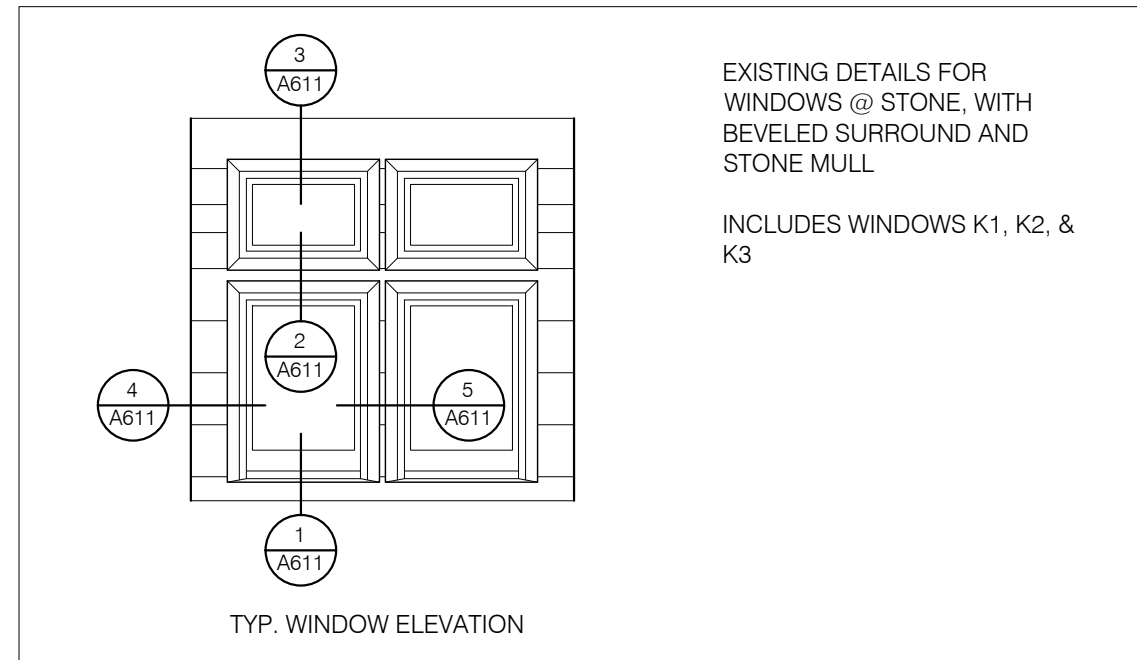
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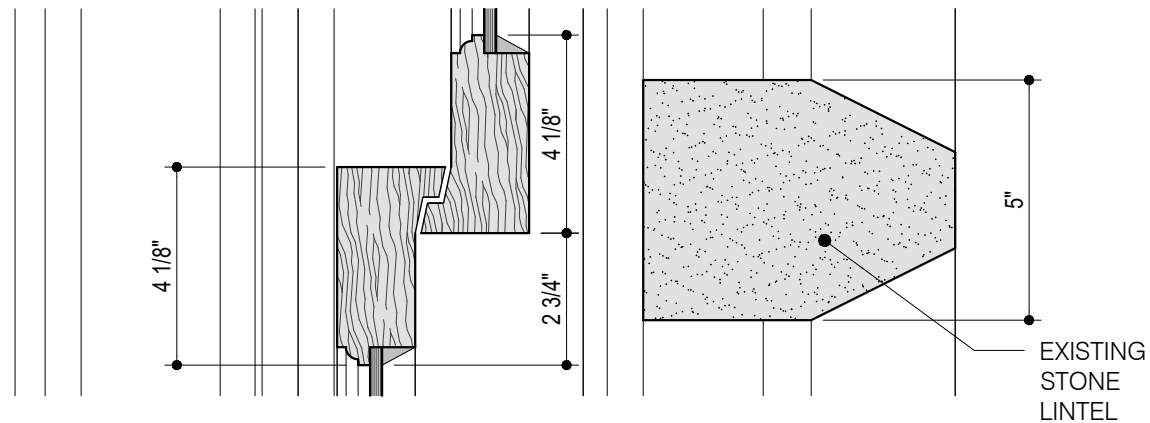
A611  
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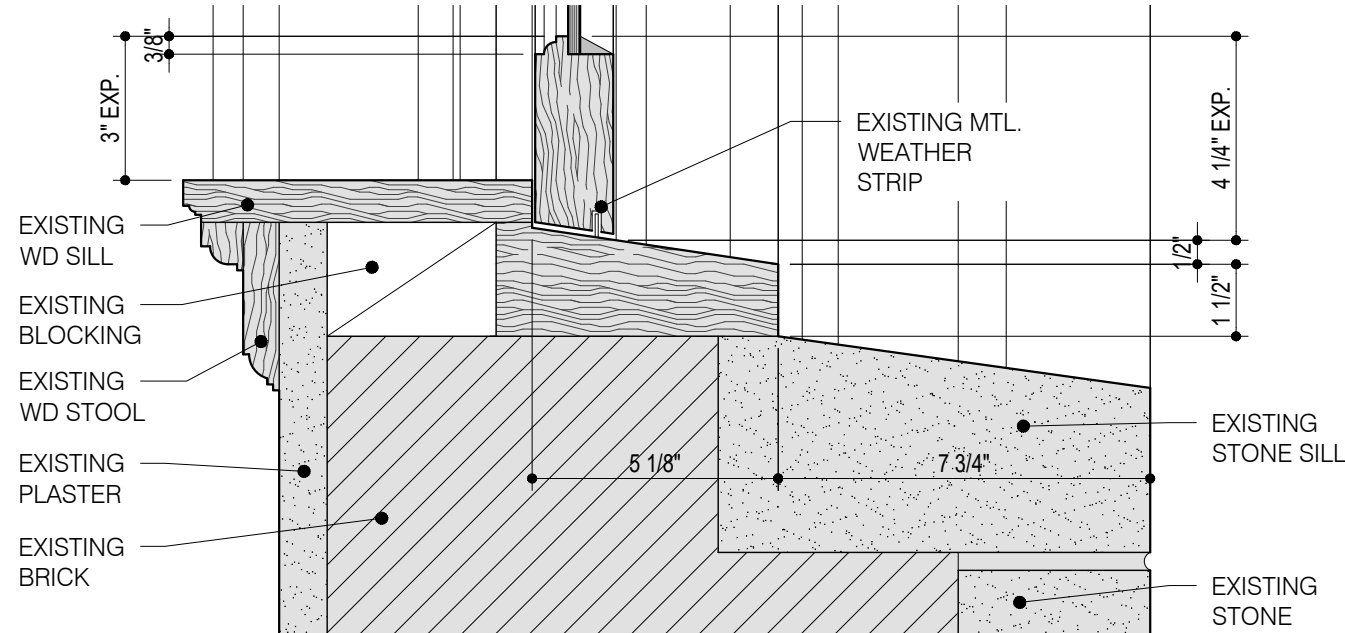
**3 HEAD DETAIL**  
 A611 Scale: 3" = 1'-0"



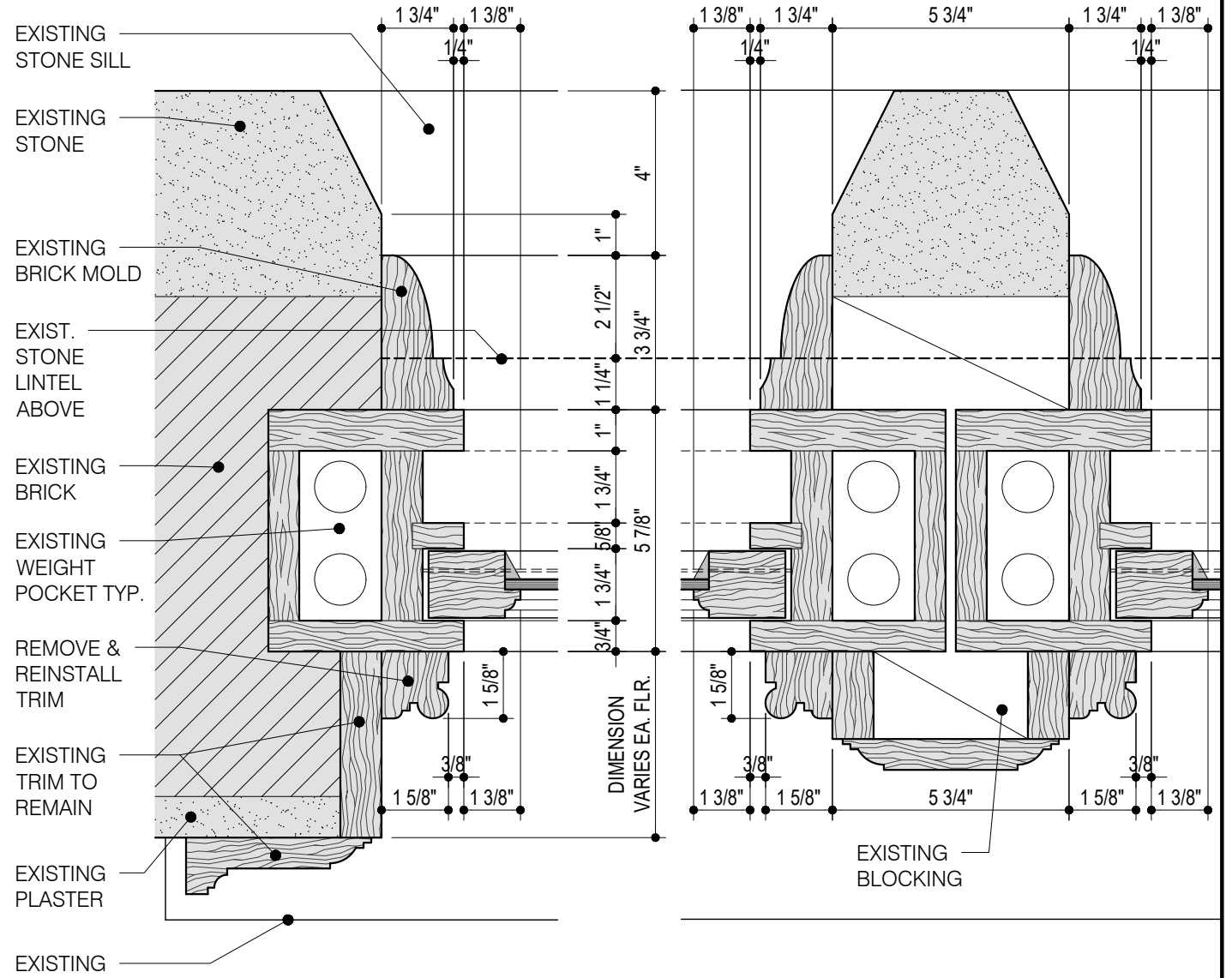
TYP. WINDOW ELEVATION



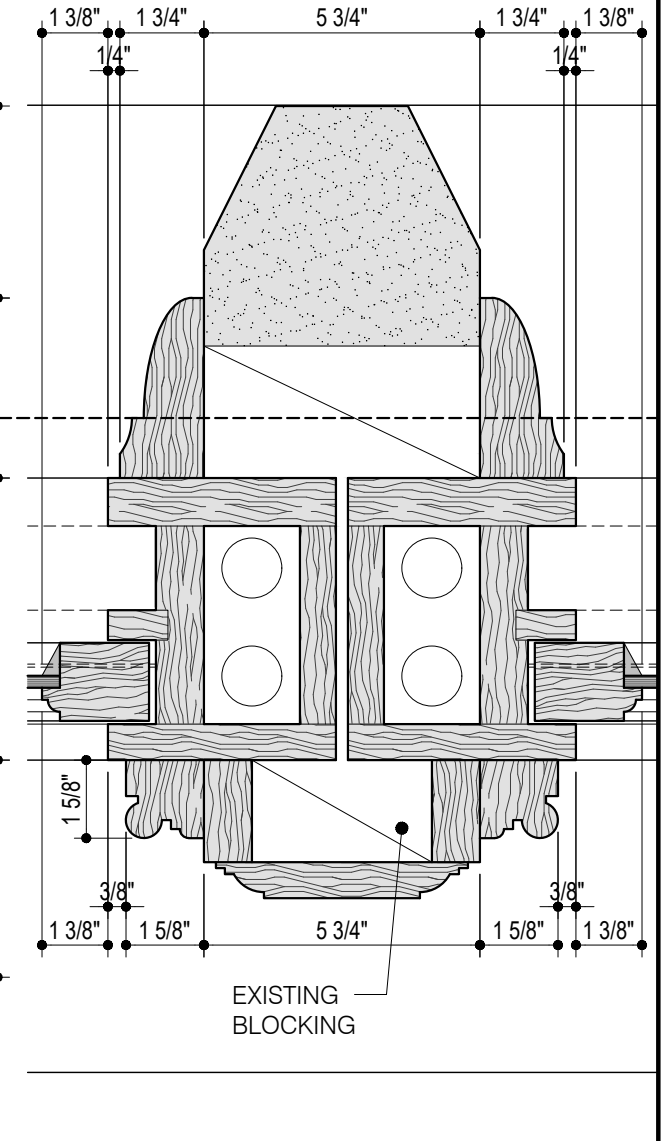
**2 MEETING RAIL DETAIL**  
 A611 Scale: 3" = 1'-0"



**1 SILL DETAIL**  
 A611 Scale: 3" = 1'-0"



**4 JAMB DETAIL**  
 A611 Scale: 3" = 1'-0"



**5 MULL DETAIL**  
 A611 Scale: 3" = 1'-0"



**Palms Apt. Alterations**

1001 E. Jefferson Ave.  
 Detroit, Mi  
 48207

11-04-2022

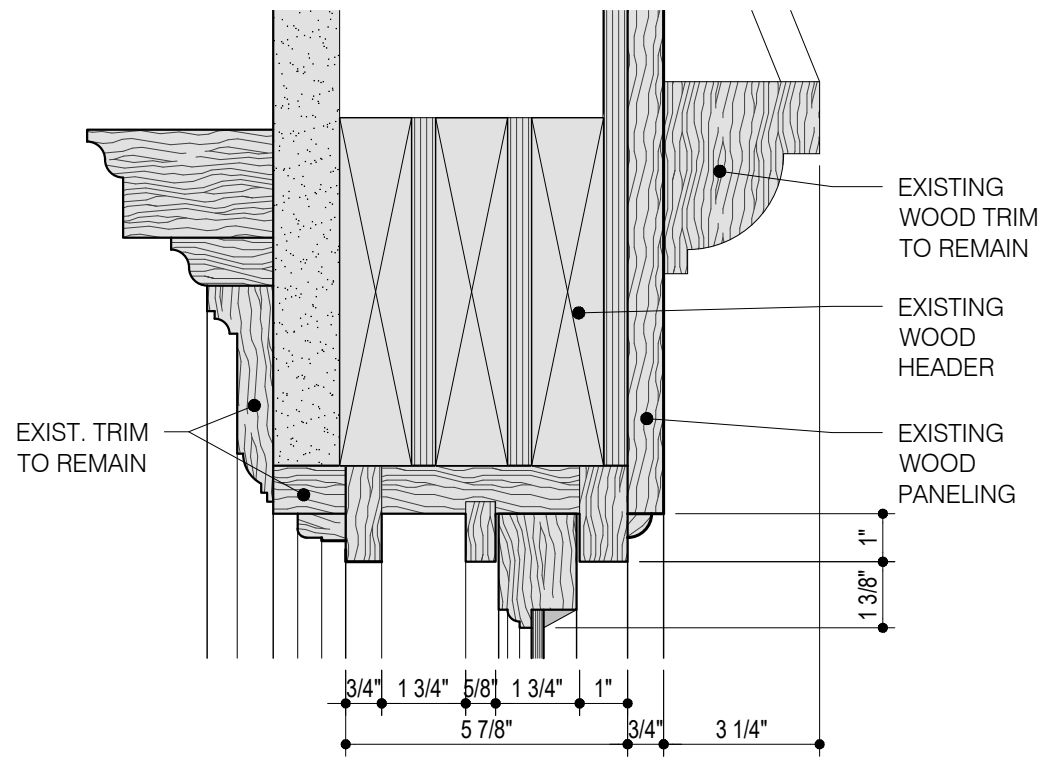
ISSUANCES / REVISIONS  
 HDC REVIEW

TR  
 principal in charge  
 TR  
 project manager  
 TR  
 project architect  
 SM  
 drawn

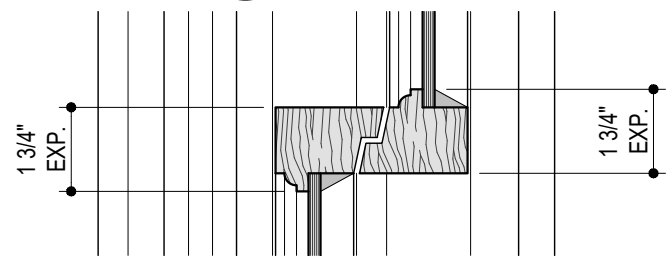
11.04.2022  
 print date

21023  
 job number

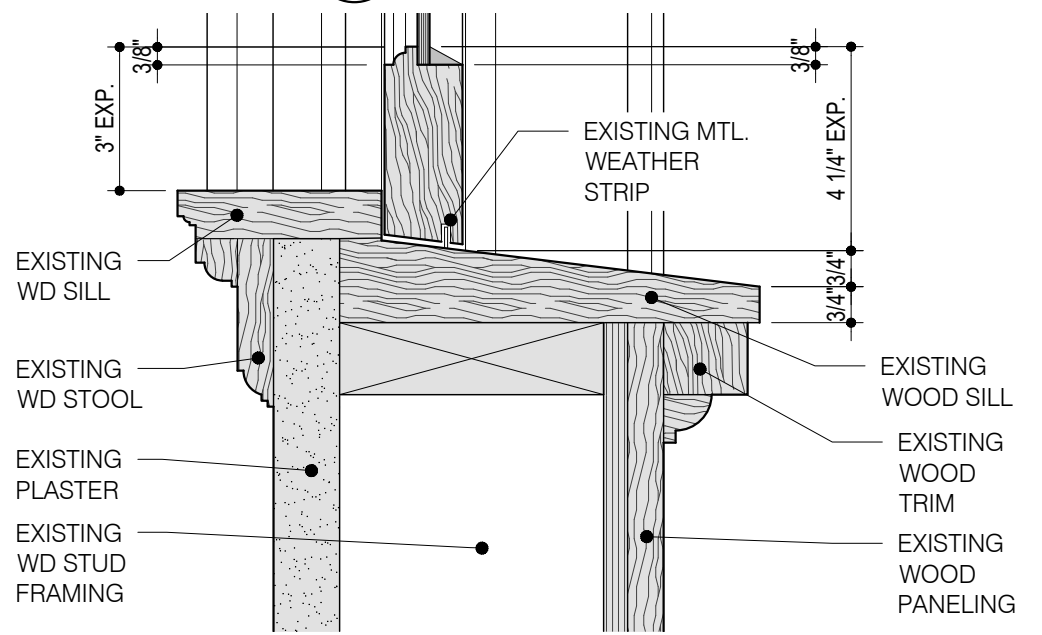
**A612**  
 sheet number



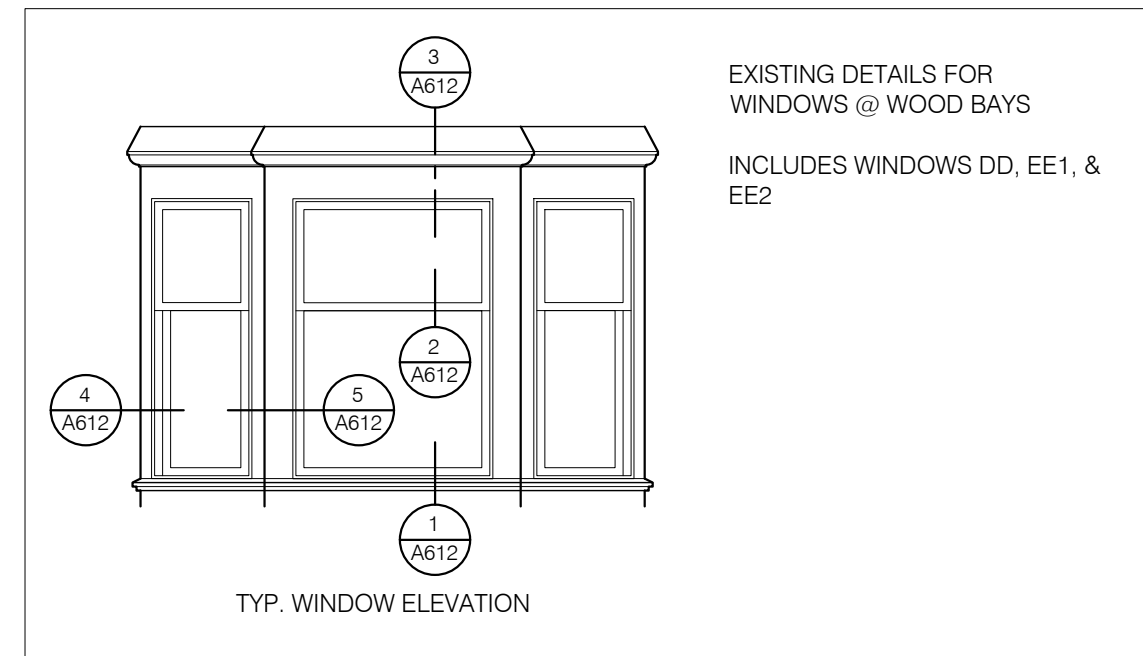
**3 HEAD DETAIL**  
 A612 Scale: 3" = 1'-0"



**2 MEETING RAIL DETAIL**  
 A612 Scale: 3" = 1'-0"

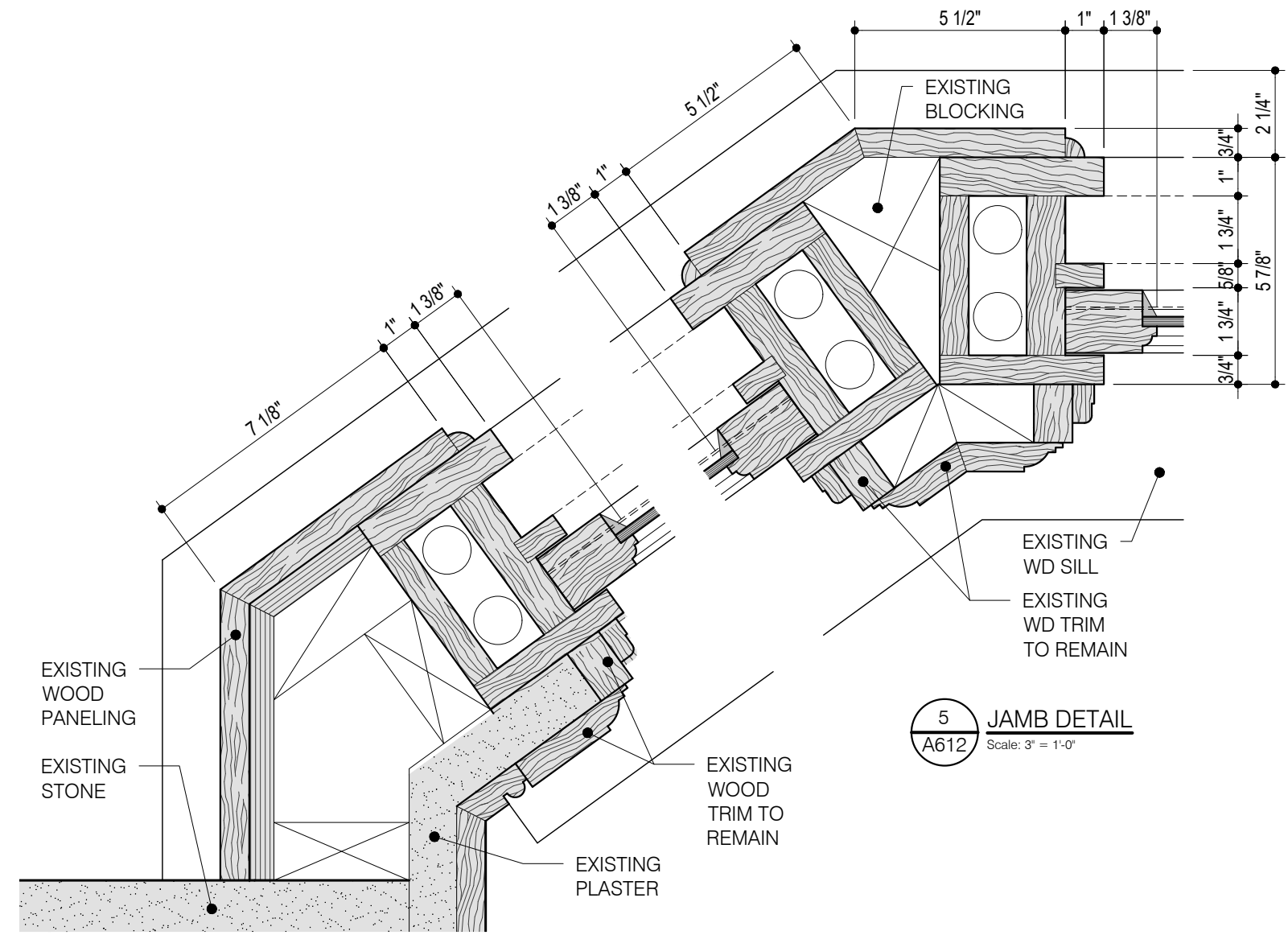


**1 SILL DETAIL**  
 A612 Scale: 3" = 1'-0"



EXISTING DETAILS FOR  
 WINDOWS @ WOOD BAYS  
 INCLUDES WINDOWS DD, EE1, &  
 EE2

TYP. WINDOW ELEVATION



**4 JAMB DETAIL**  
 A612 Scale: 3" = 1'-0"

**5 JAMB DETAIL**  
 A612 Scale: 3" = 1'-0"

**Palms Apt.  
 Alterations**

1001 E. Jefferson Ave.  
 Detroit, Mi  
 48207

11-04-2022

HDC REVIEW

ISSUANCES / REVISIONS

TR  
 principal in charge  
 TR  
 project manager  
 TR  
 project architect  
 SM  
 drawn

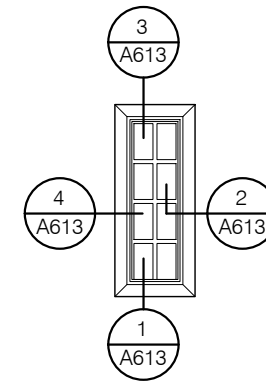
11.04.2022  
 print date

21023  
 job number

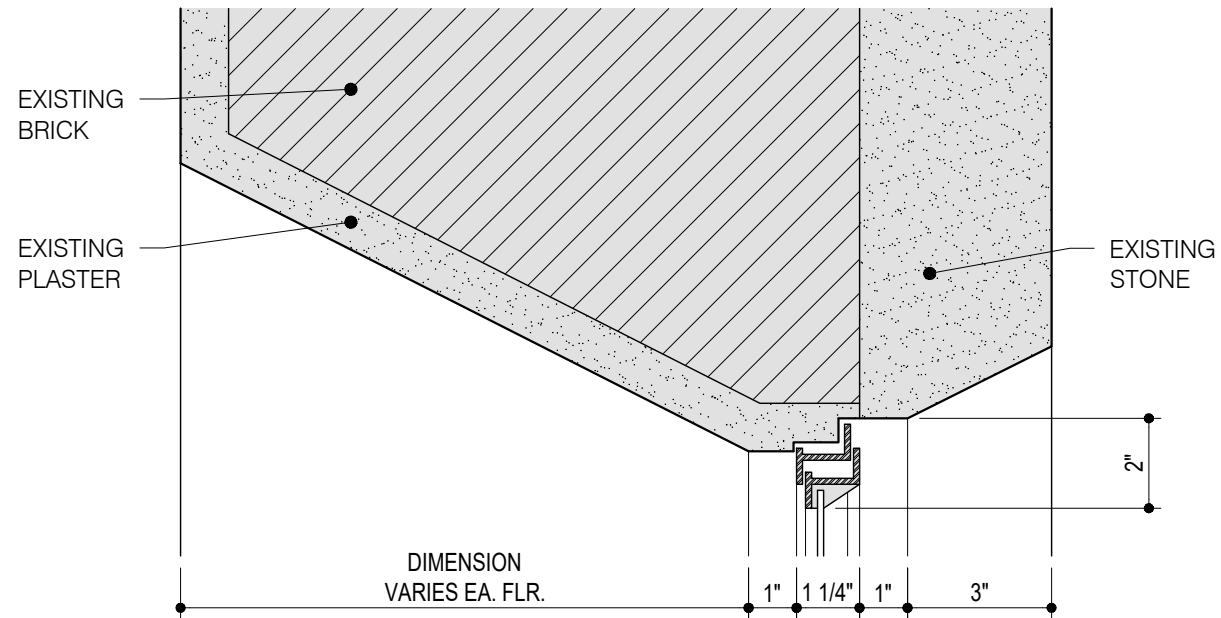
**A613**  
 sheet number

EXISTING DETAILS FOR STEEL  
 WINDOWS

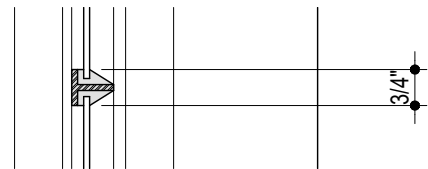
INCLUDES WINDOW D



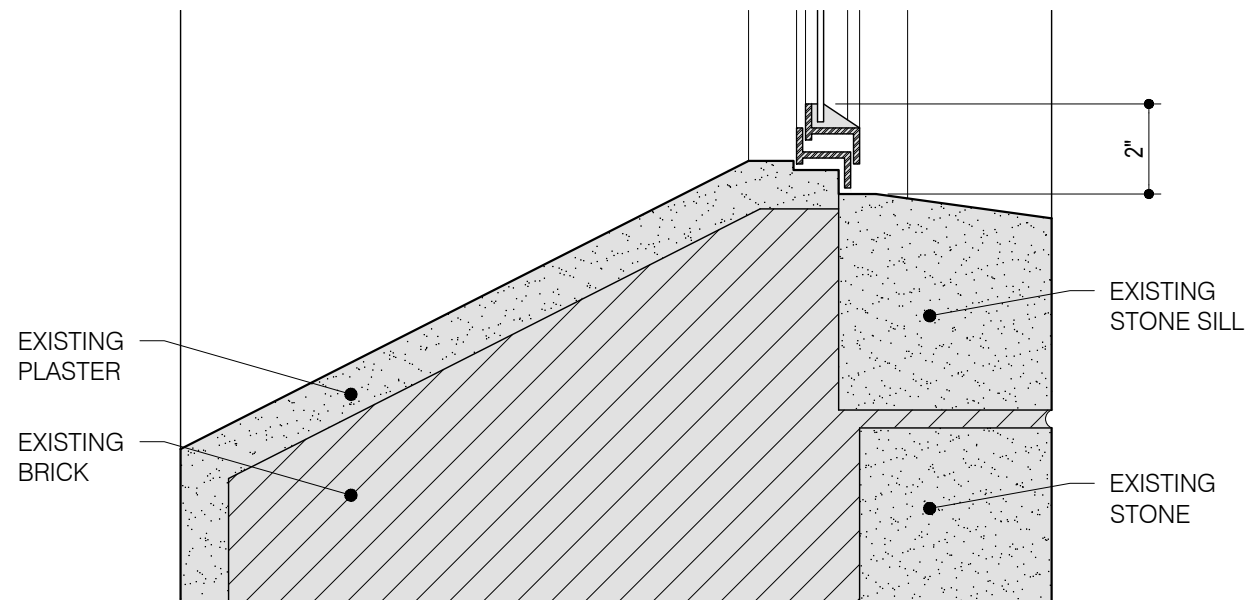
TYP. WINDOW ELEVATION



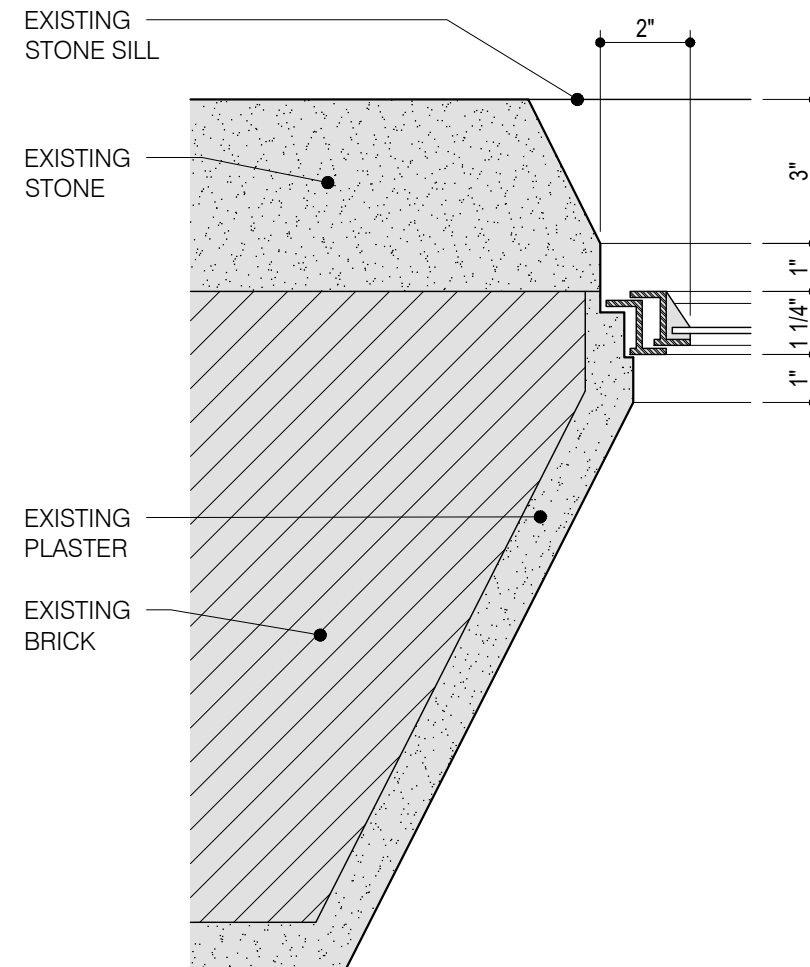
**3**  
**A613**  
**HEAD DETAIL**  
 Scale: 3" = 1'-0"



**2**  
**A613**  
**MUNTIN DETAIL**  
 Scale: 3" = 1'-0"



**1**  
**A613**  
**SILL DETAIL**  
 Scale: 3" = 1'-0"



**4**  
**A613**  
**JAMB DETAIL**  
 Scale: 3" = 1'-0"



**Palms Apt.  
 Alterations**

1001 E. Jefferson Ave.  
 Detroit, MI  
 48207

11-04-2022

ISSUANCES / REVISIONS  
 HDC REVIEW

TR  
 principal in charge  
 TR  
 project manager  
 TR  
 project architect  
 SM  
 drawn

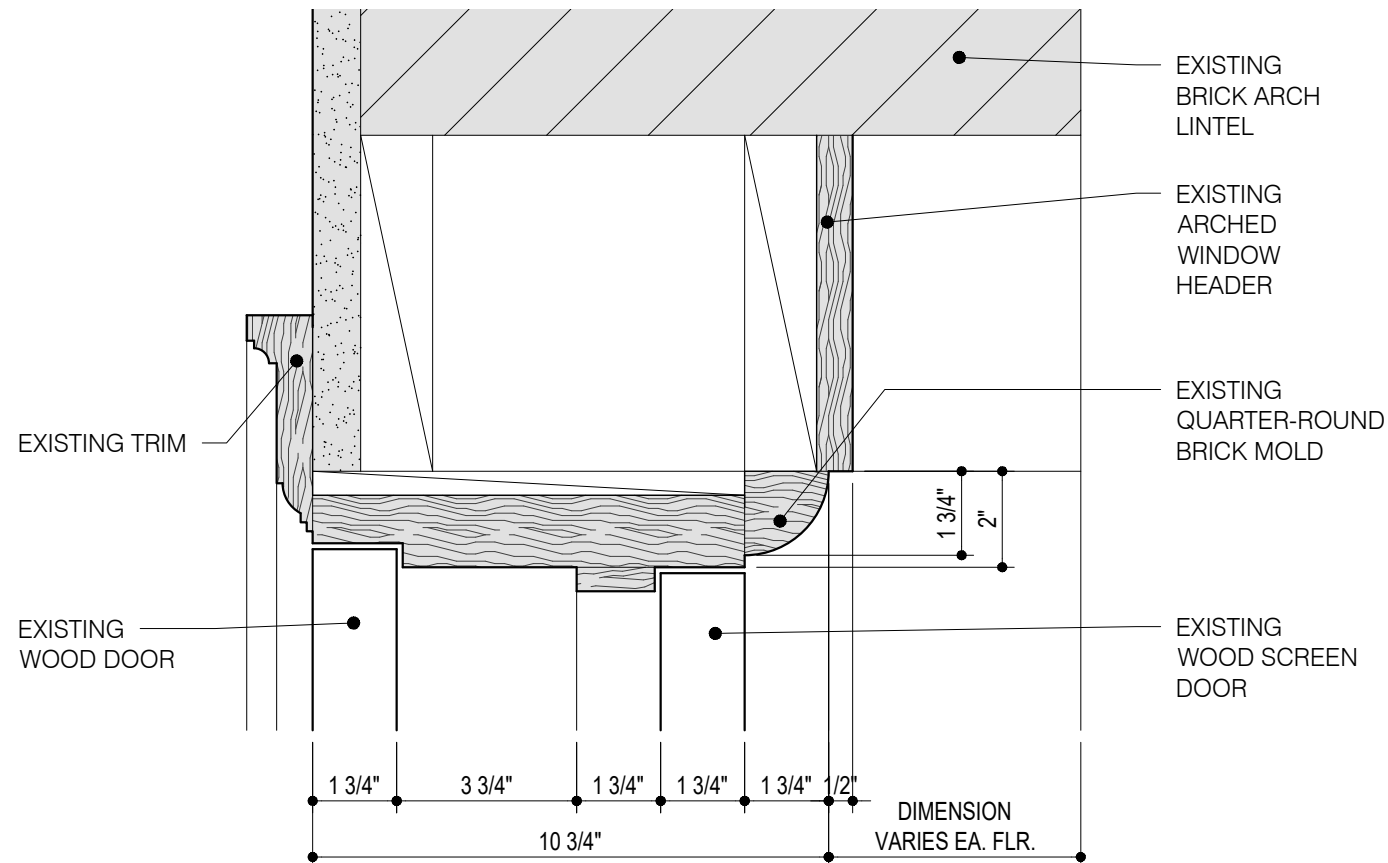
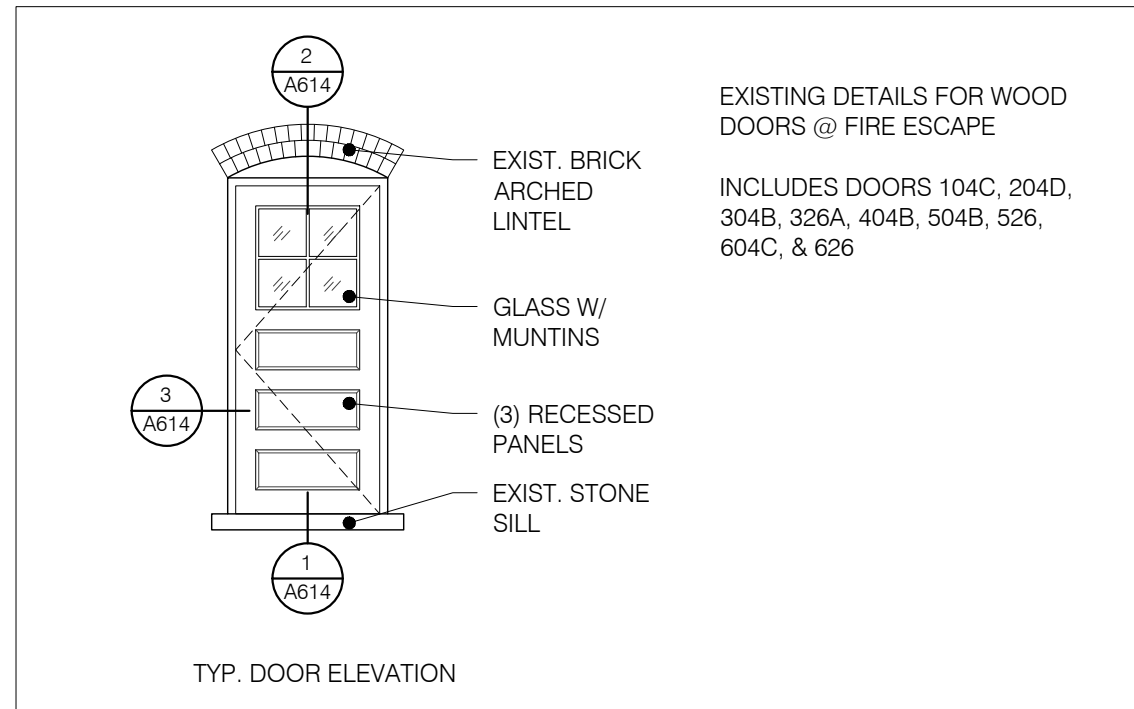
11.04.2022  
 print date

21023  
 job number

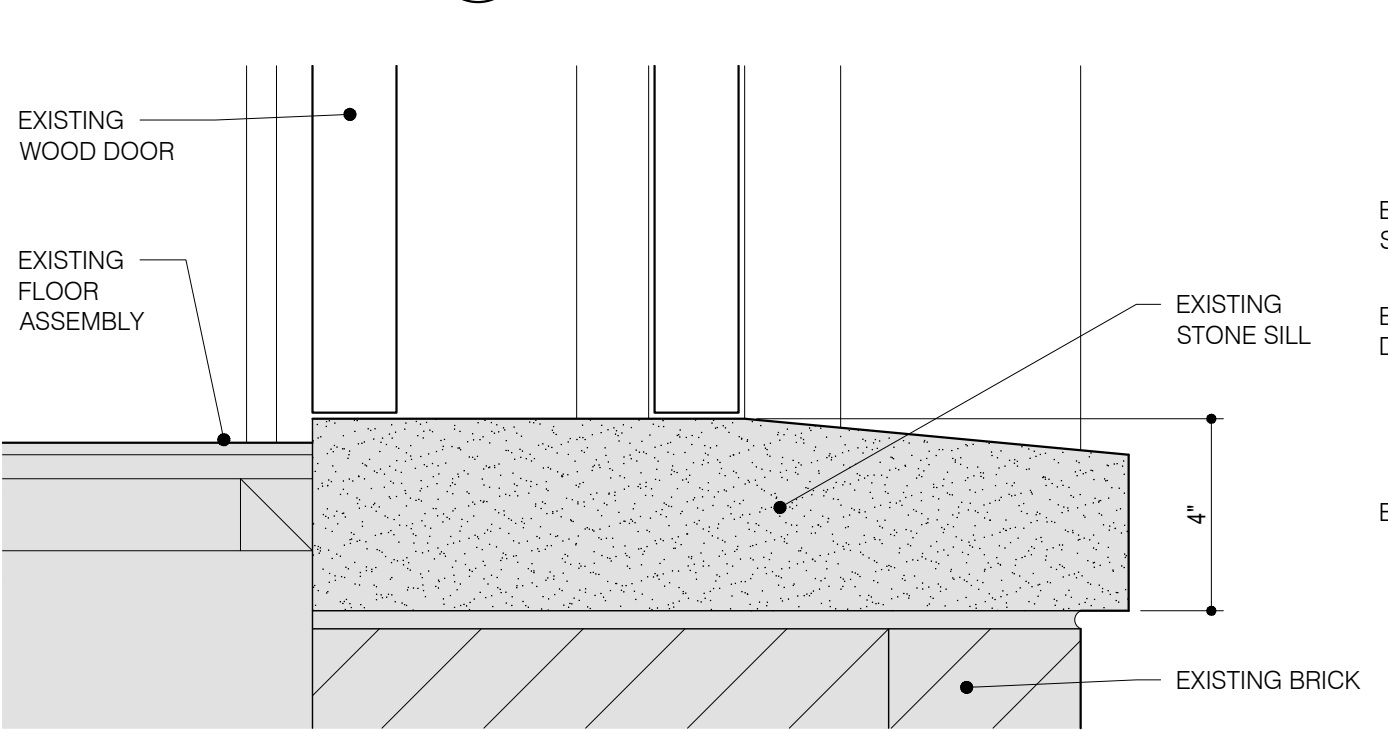
**A614**  
 sheet number

**EXISTING DETAILS FOR WOOD  
 DOORS @ FIRE ESCAPE**

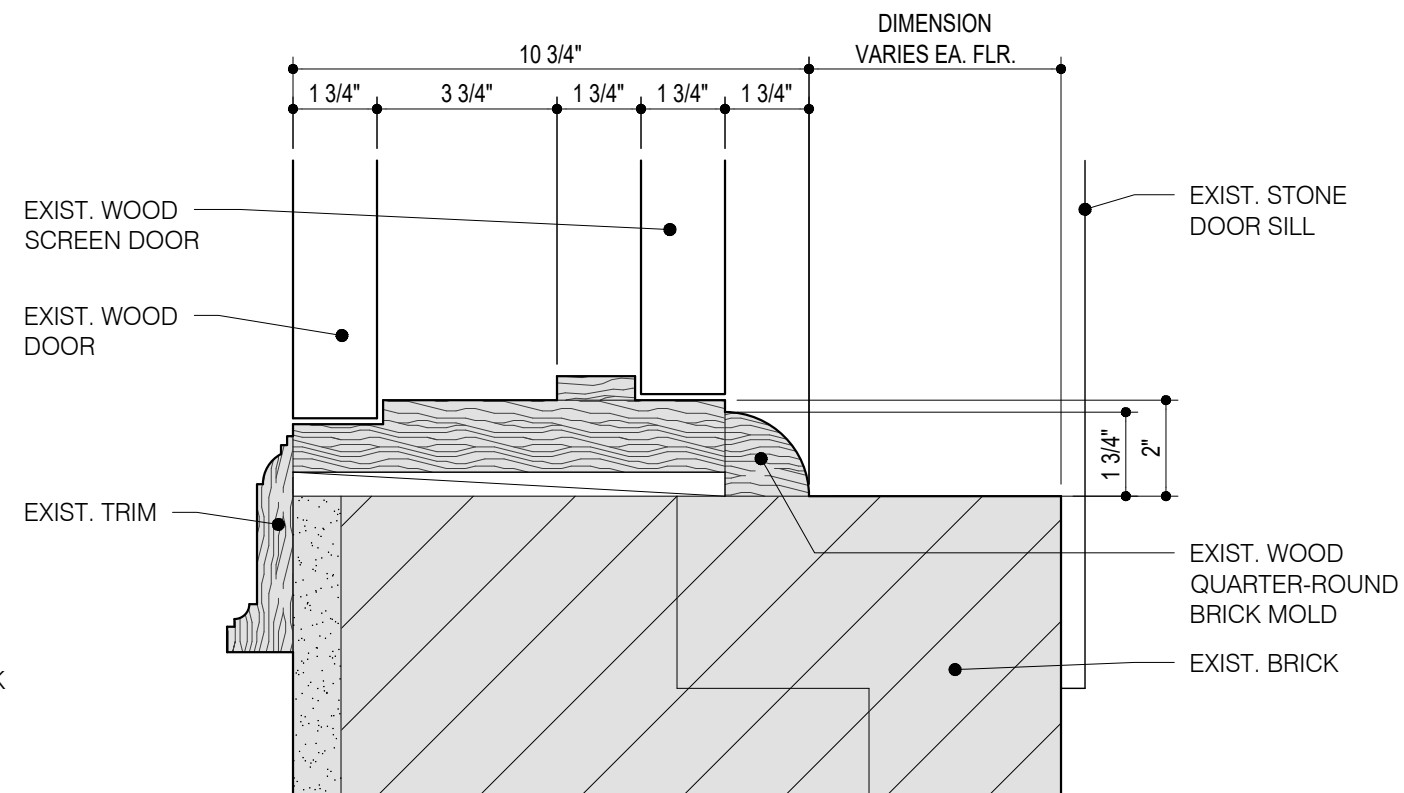
INCLUDES DOORS 104C, 204D,  
 304B, 326A, 404B, 504B, 526,  
 604C, & 626



**2 HEAD DETAIL**  
 A614 Scale: 3" = 1'-0"



**1 SILL DETAIL**  
 A614 Scale: 3" = 1'-0"



**3 JAMB DETAIL**  
 A614 Scale: 3" = 1'-0"

**Palms Apt. Alterations**

1001 E. Jefferson Ave.  
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11-04-2022

HDC REVIEW

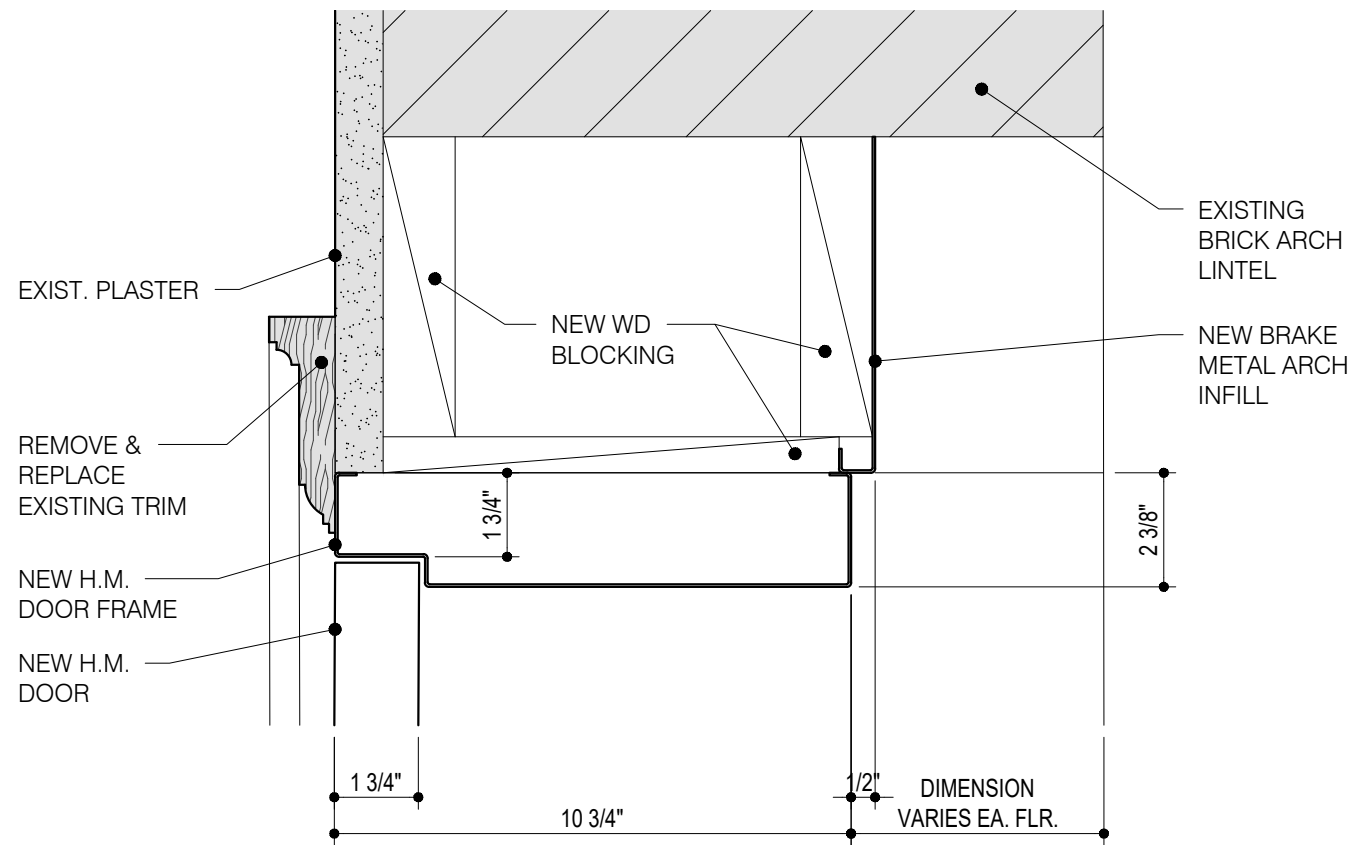
ISSUANCES / REVISIONS

TR  
 principal in charge  
 TR  
 project manager  
 TR  
 project architect  
 SM  
 drawn

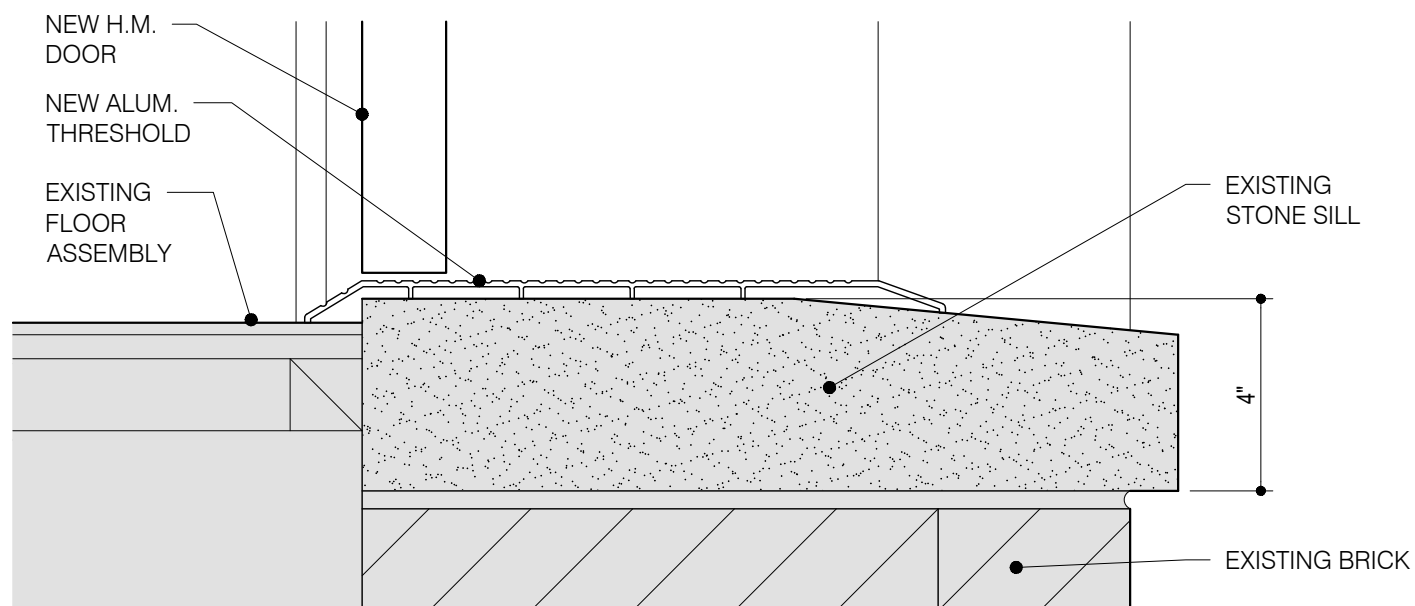
11.04.2022  
 print date

21023  
 job number

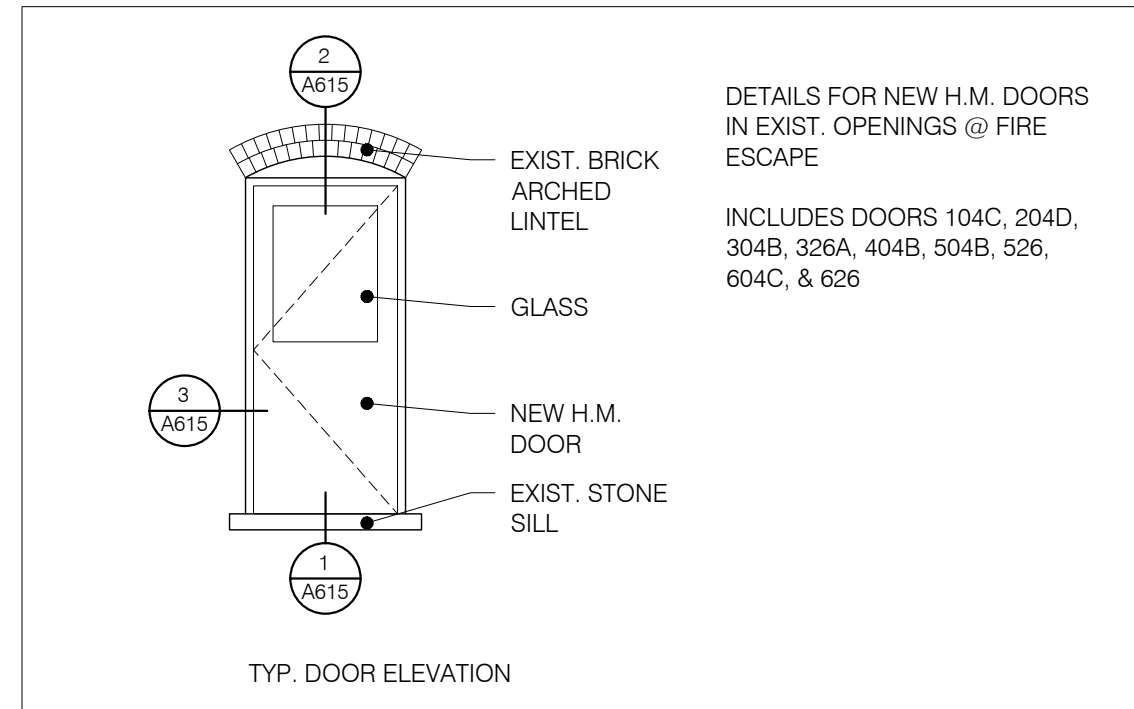
**A615**  
 sheet number



**2**  
 A615 HEAD DETAIL  
 Scale: 3" = 1'-0"



**1**  
 A615 SILL DETAIL  
 Scale: 3" = 1'-0"

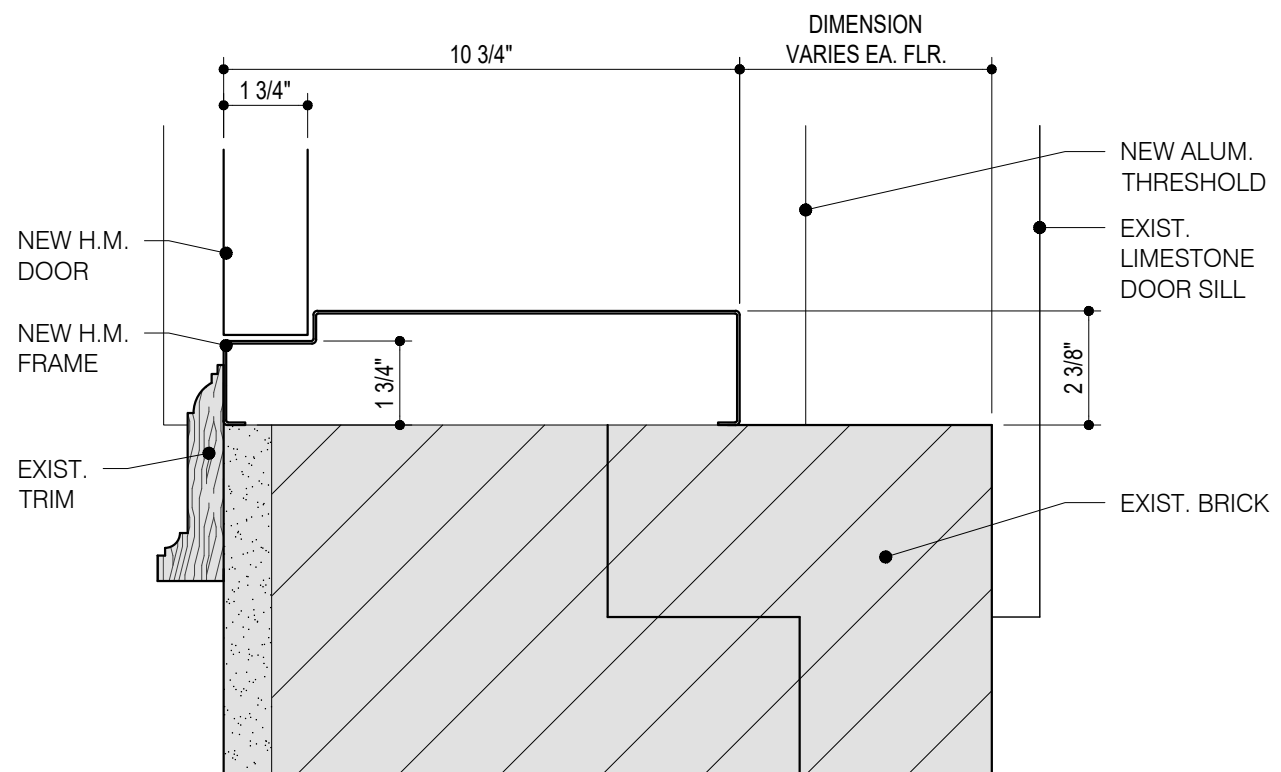


**3**  
 A615 JAMB DETAIL  
 Scale: 3" = 1'-0"

DETAILS FOR NEW H.M. DOORS  
 IN EXIST. OPENINGS @ FIRE  
 ESCAPE

INCLUDES DOORS 104C, 204D,  
 304B, 326A, 404B, 504B, 526,  
 604C, & 626

TYP. DOOR ELEVATION





**Palms Apt. Alterations**

1001 E. Jefferson Ave.  
 Detroit, Mi  
 48207

11-04-2022

HDC REVIEW

ISSUANCES / REVISIONS

TR  
 principal in charge  
 TR  
 project manager  
 TR  
 project architect  
 SM  
 drawn

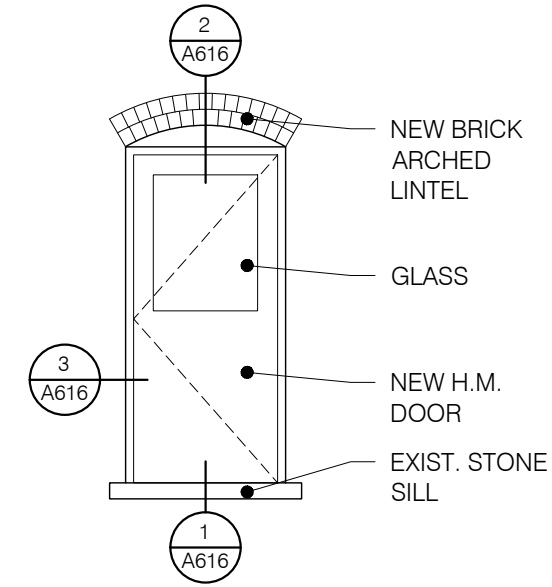
11.04.2022  
 print date

21023  
 job number

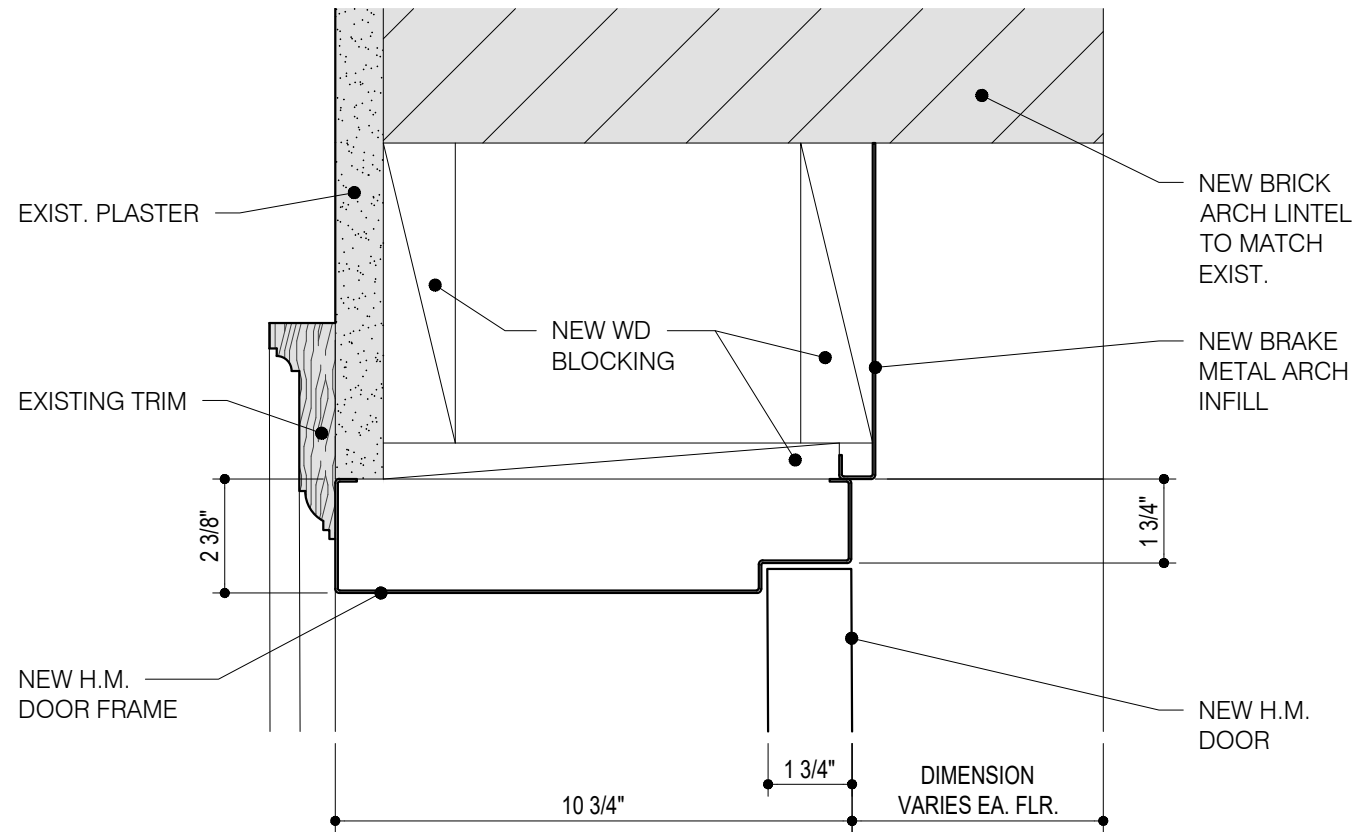
**A616**  
 sheet number

DETAILS FOR NEW H.M. DOORS  
 IN NEW OPENINGS @ FIRE  
 ESCAPE

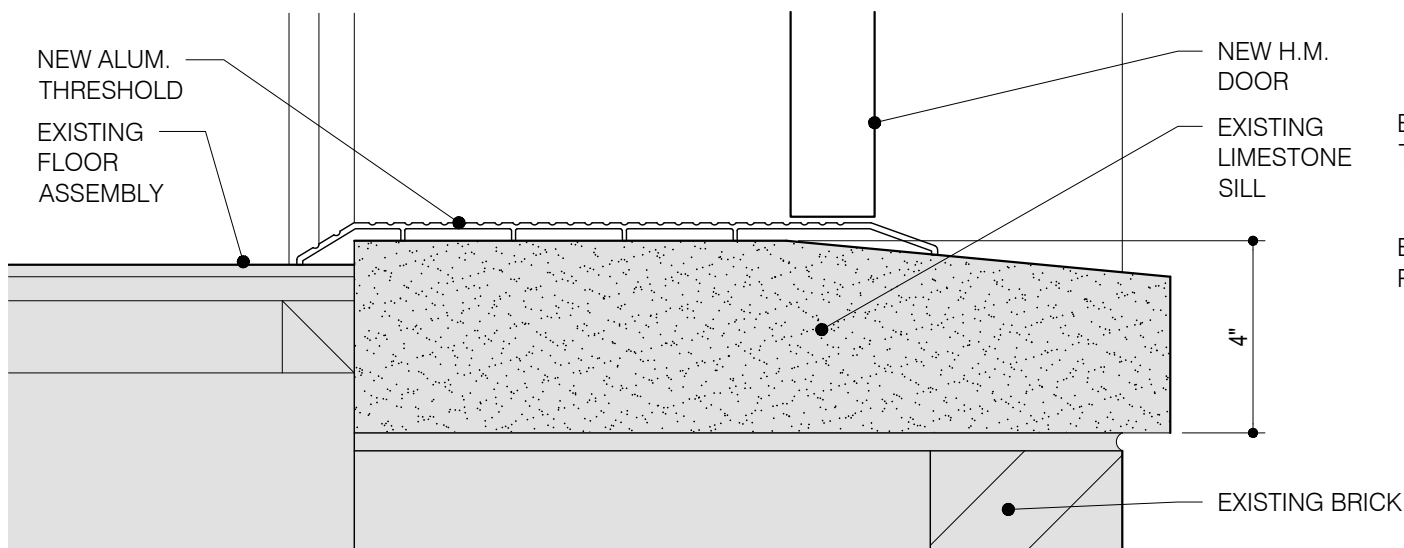
INCLUDES DOORS 126, 130, 226,  
 230, 330, 426, 430, 530, & 630



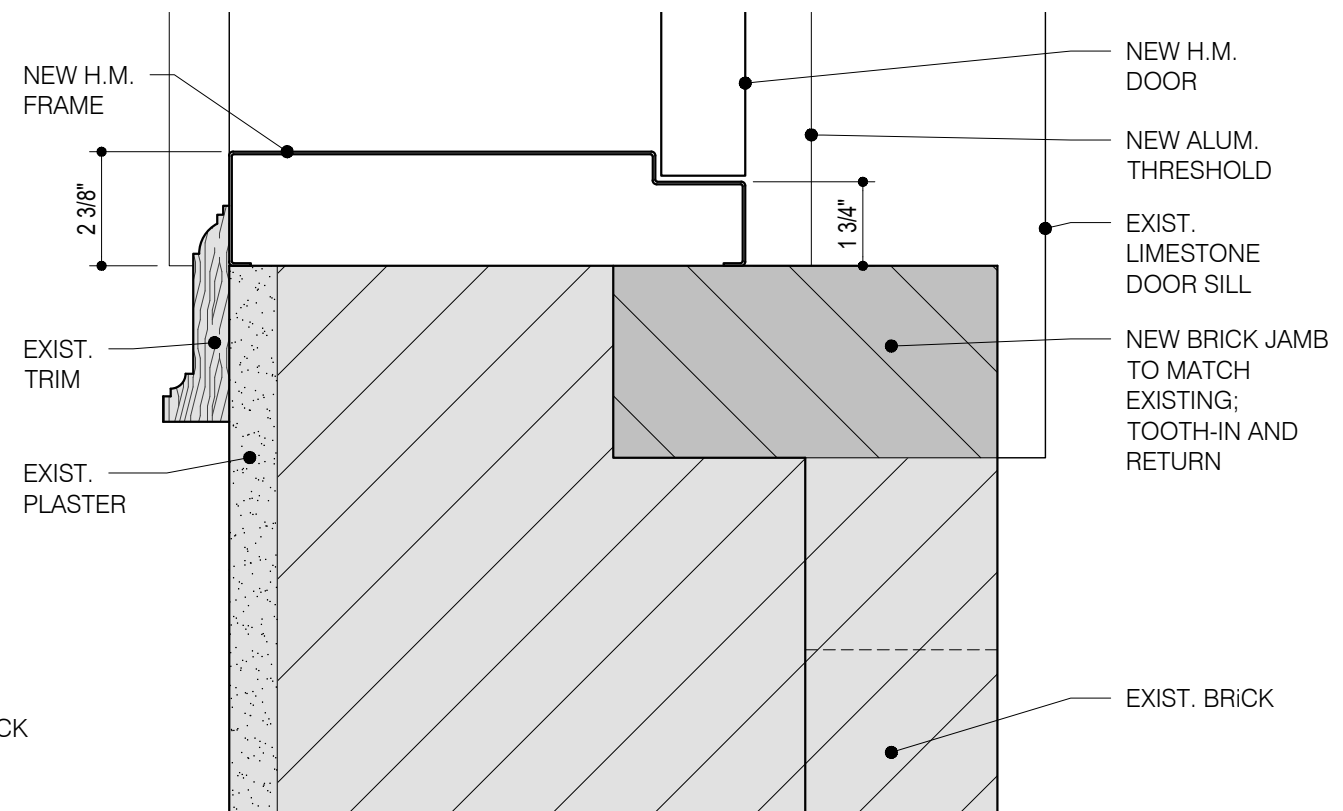
TYP. DOOR ELEVATION



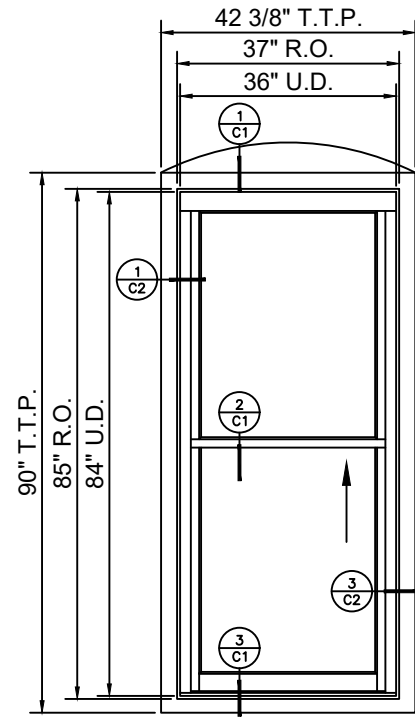
2 HEAD DETAIL  
 A616 Scale: 3" = 1'-0"



1 SILL DETAIL  
 A616 Scale: 3" = 1'-0"

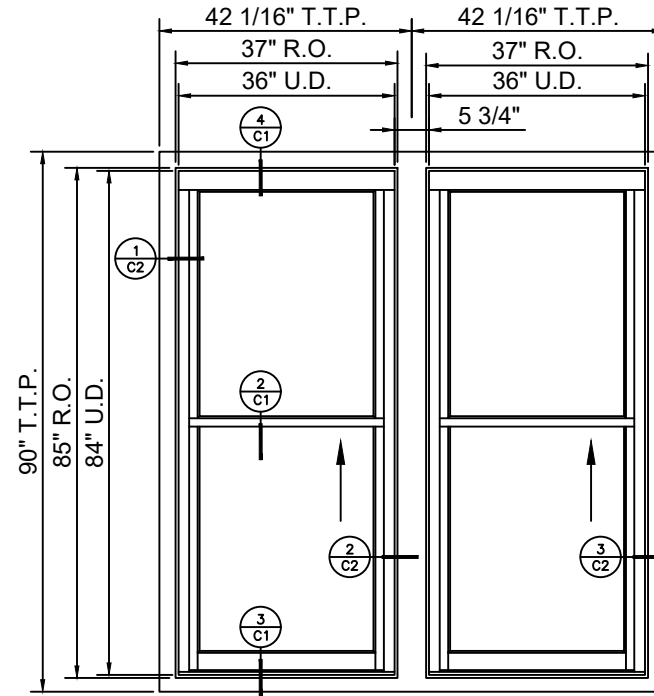


3 JAMB DETAIL  
 A616 Scale: 3" = 1'-0"



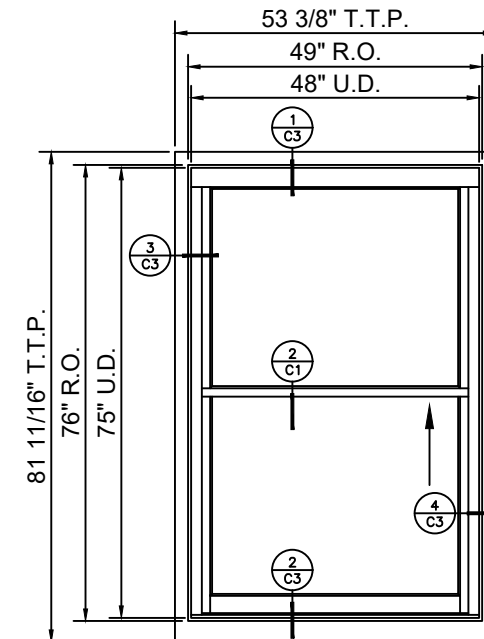
**TYPE A1**  
H650 SH

TYPICAL NEW WINDOWS @ BRICK



**TYPE A2**  
H650 SH x2

TYPICAL NEW WINDOWS @ BRICK  
WITH MULL



**TYPE B1**  
H650 SH

TYPICAL NEW WINDOWS @ STONE

**ELEVATIONS**

Project Name:

**THE PALMS BUILDING**

-----  
**DETROIT, MI**

Description:

QUAKER WINDOW PRODUCTS  
WILL NOT BE RESPONSIBLE  
FOR FIELD MEASUREMENT,  
QUANTITIES, & INSTALLATION  
DESIGN. CONTRACTOR MUST  
VERIFY ALL DIMENSIONS.

PHONE (573)-744-5211  
FAX (573)-744-5586



COMMERCIAL  
aneuter@quakerwindows.com

504 Highway 63 South  
Freeburg, MO 65035

Scale: 3/8" = 1'  
Sheet #: A3

Drawn By: NRL

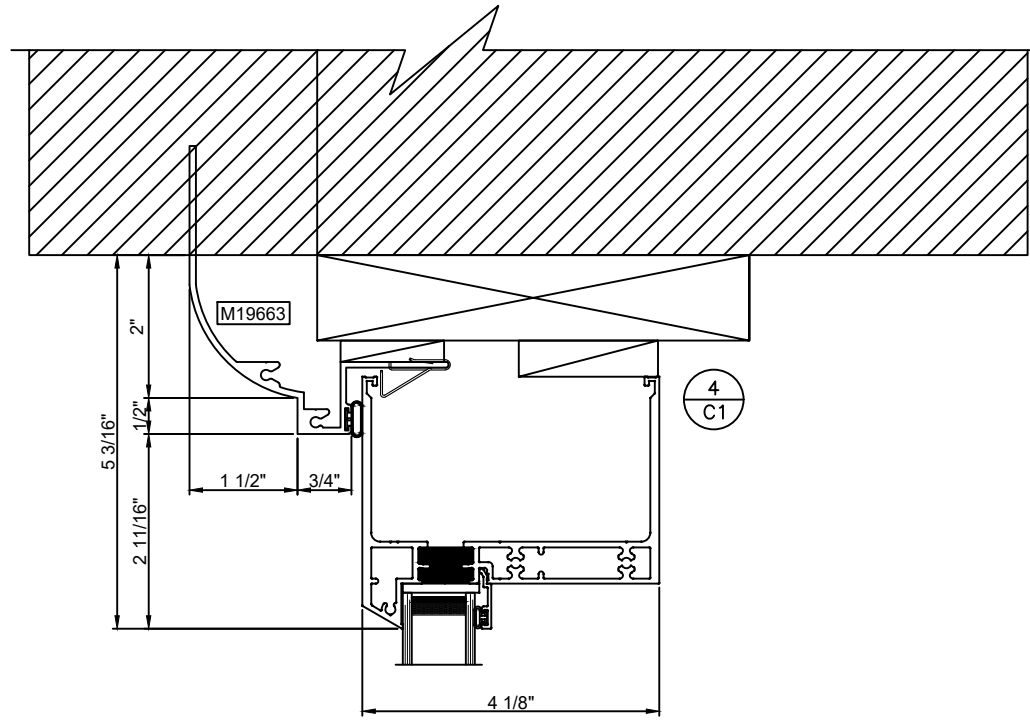
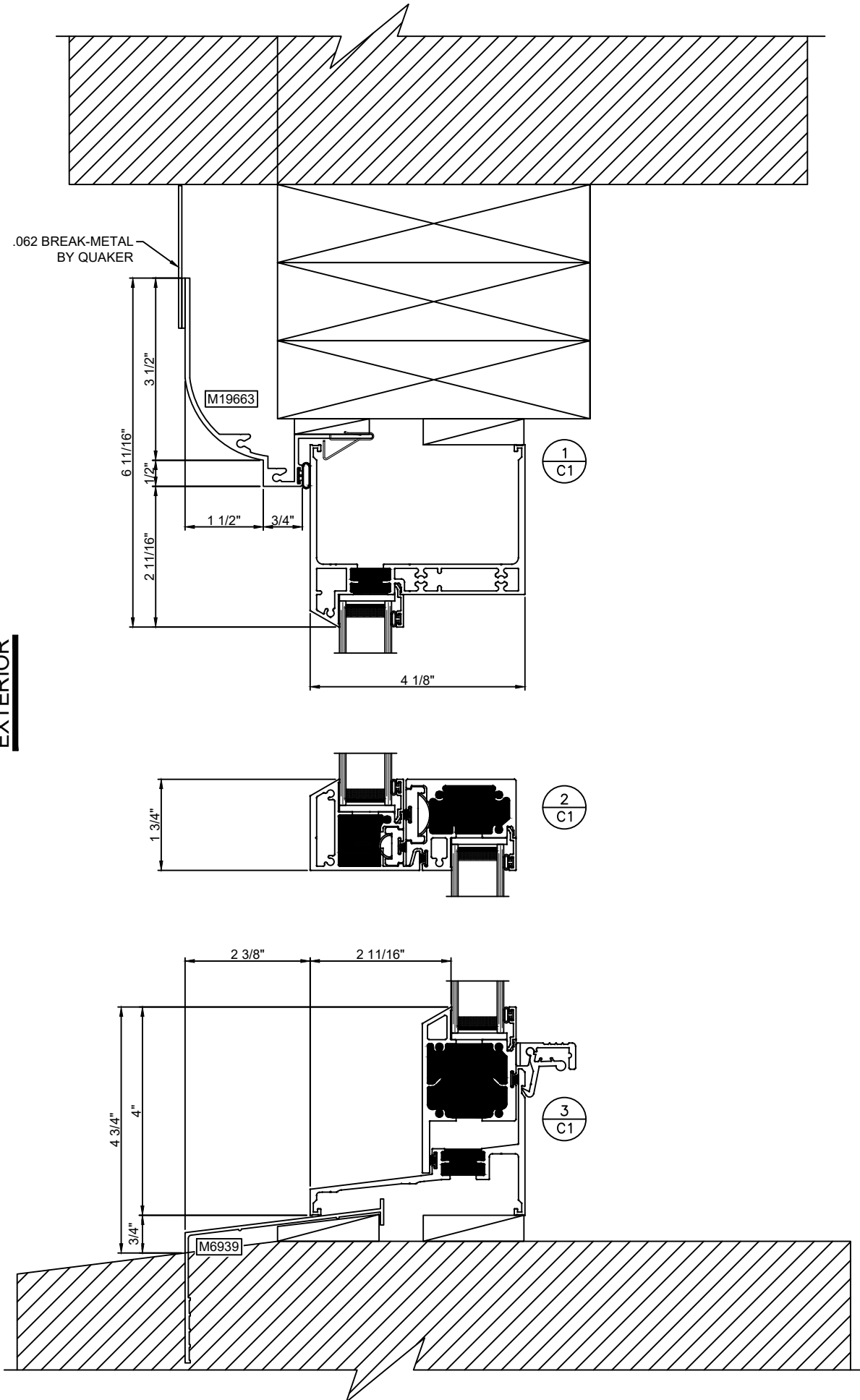
Checked By: JS



Drawing Created  
10/14/22



**EXTERIOR**



NAILING FLANGES AND DRIP CAPS (INTEGRAL OR APPLIED) DO NOT TAKE THE PLACE OF WINDOW FLASHING. ALL WINDOWS AND DOORS MUST BE PROPERLY FLASHED AND SEALED WITH MATERIAL COMPATIBLE SEALANT FOR PROTECTION AGAINST WATER AND INFILTRATION AROUND THE ENTIRE PERIMETER. FAILURE TO DO SO COULD RESULT IN PRODUCT OR PROPERTY DAMAGE.

**NOTICE:**  
QUAKER DOES NOT SUPPLY ANY FASTENERS, SHIMS, BACKER ROD, OR SEALANTS, UNLESS OTHERWISE NOTED.

VERIFY INSTALLATION  
VERIFY WALL DETAILS

SEALANT MUST MEET OR EXCEED  
ASTM C920-11 SPECIFICATION

PROVIDE ADEQUATE BLOCKING TO  
SUPPORT THE SILL OF THE WINDOW

**CUT DETAILS**

Project Name:

**THE PALMS BUILDING**  
-----  
**DETROIT, MI**

Description:

QUAKER WINDOW PRODUCTS WILL NOT BE RESPONSIBLE FOR FIELD MEASUREMENT, QUANTITIES, & INSTALLATION DESIGN. CONTRACTOR MUST VERIFY ALL DIMENSIONS.

PHONE (573)-744-5211  
FAX (573)-744-5586

COMMERCIAL  
anentner@quakerwindows.com

FAX (573)-744-5822

Scale: 3/8"=1"

Sheet #: C1



Drawn By: NRL

Checked By: JS

504 Highway 63 South

Freeburg, MO 65035

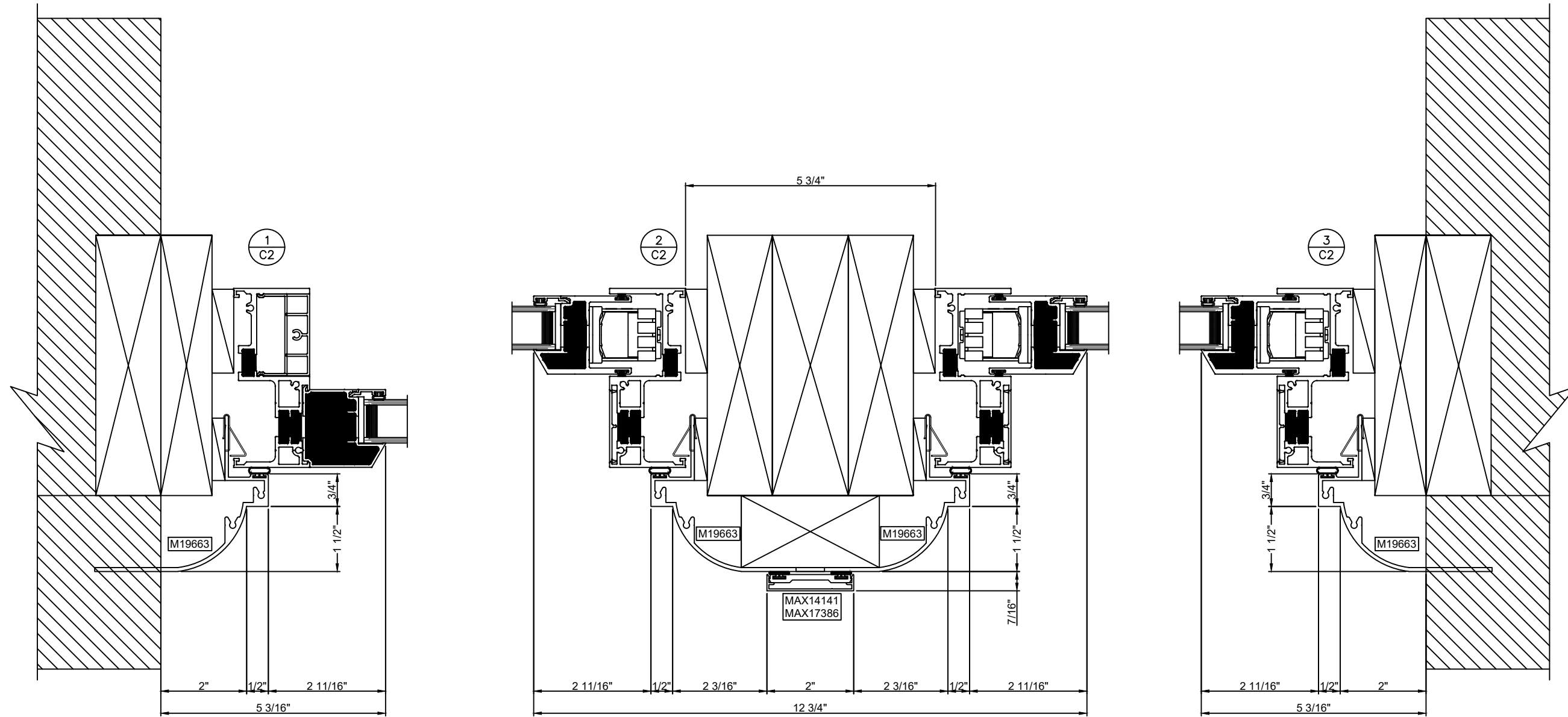
**NAILING FLANGES AND DRIP CAPS (INTEGRAL OR APPLIED)**  
 DO NOT TAKE THE PLACE OF WINDOW FLASHING. ALL  
 WINDOWS AND DOORS MUST BE PROPERLY FLASHED AND  
 SEALED WITH MATERIAL COMPATIBLE SEALANT FOR  
 PROTECTION AGAINST WATER AND INFILTRATION AROUND  
 THE ENTIRE PERIMETER. FAILURE TO DO SO COULD  
 RESULT IN PRODUCT OR PROPERTY DAMAGE.

**NOTICE:**  
 QUAKER DOES NOT SUPPLY ANY  
 FASTENERS, SHIMS, BACKER ROD, OR  
 SEALANTS. UNLESS OTHERWISE NOTED.

VERIFY INSTALLATION  
 VERIFY WALL DETAILS

SEALANT MUST MEET OR EXCEED  
 ASTM C920-11 SPECIFICATION

PROVIDE ADEQUATE BLOCKING TO  
 SUPPORT THE SILL OF THE WINDOW



**EXTERIOR**

**CUT DETAILS**

Description:  
 QUAKER WINDOW PRODUCTS  
 WILL NOT BE RESPONSIBLE  
 FOR FIELD MEASUREMENT,  
 QUANTITIES, & INSTALLATION  
 DESIGN. CONTRACTOR MUST  
 VERIFY ALL DIMENSIONS.

PHONE (573)-744-5211  
 FAX (573)-744-5586  
 COMMERCIAL  
 aneuter@quakerwindows.com  
 Scale: 3/8"=1"  
 Sheet #: C2

**QUAKER**  
 COMMERCIAL  
 504 Highway 63 South  
 Freeburg, MO 65035  
 Drawn By: NRL  
 Checked By: JS

Drawing Created  
 10/14/22

Project Name:  
**THE PALMS BUILDING**  
 -----  
**DETROIT, MI**



NAILING FLANGES AND DRIP CAPS (INTEGRAL OR APPLIED) DO NOT TAKE THE PLACE OF WINDOW FLASHING. ALL WINDOWS AND DOORS MUST BE PROPERLY FLASHED AND SEALED WITH MATERIAL COMPATIBLE SEALANT FOR PROTECTION AGAINST WATER AND INFILTRATION AROUND THE ENTIRE PERIMETER. FAILURE TO DO SO COULD RESULT IN PRODUCT OR PROPERTY DAMAGE.

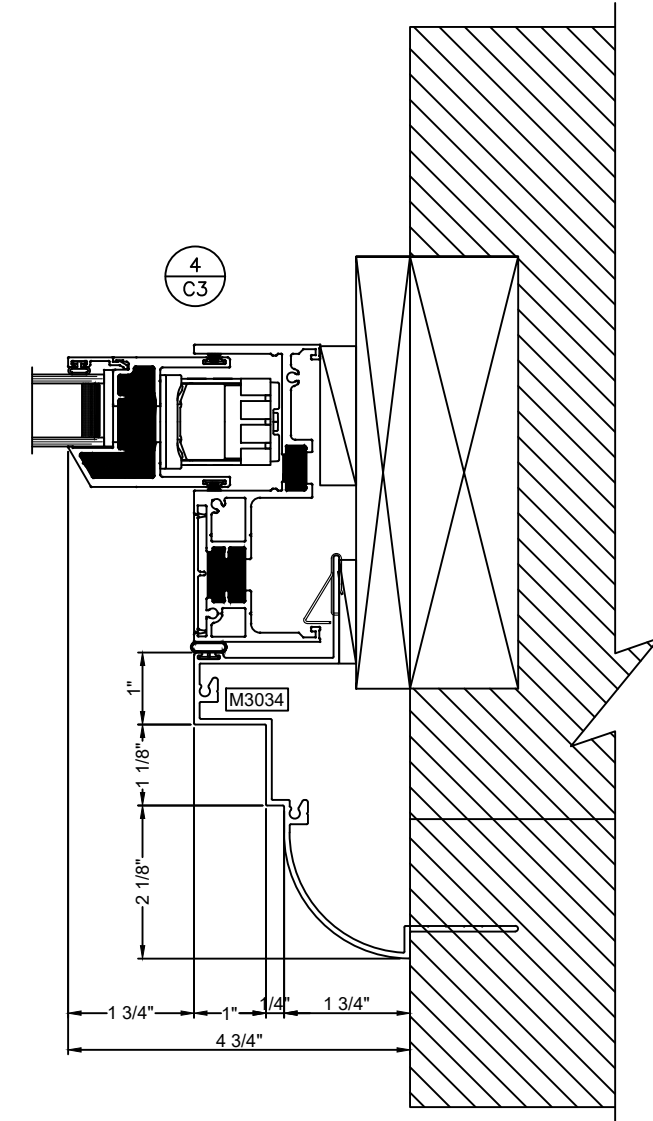
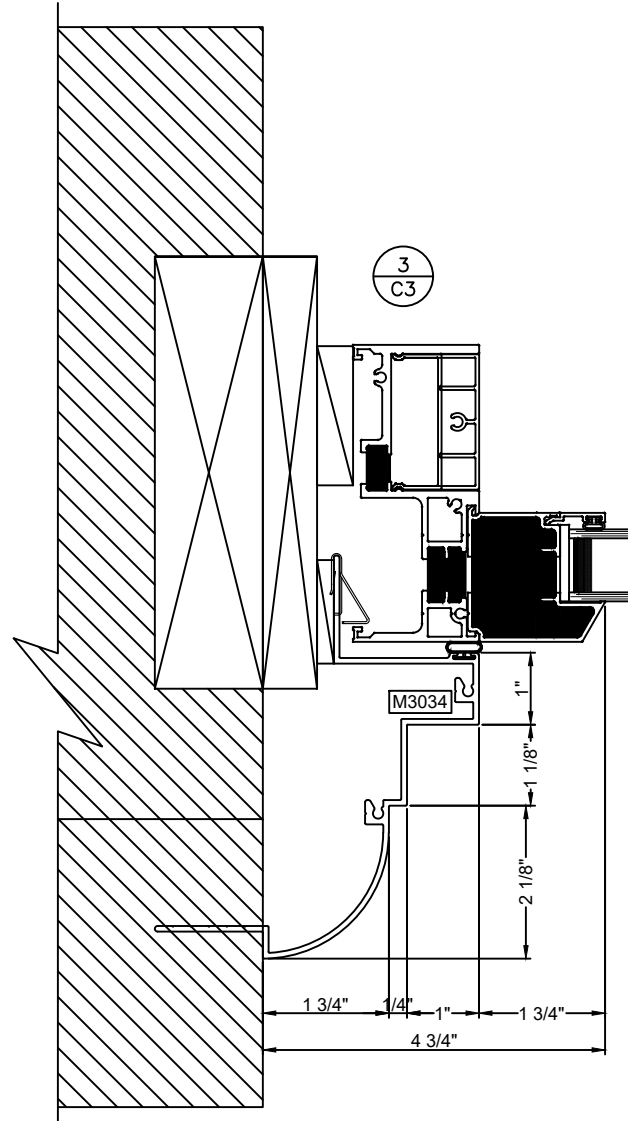
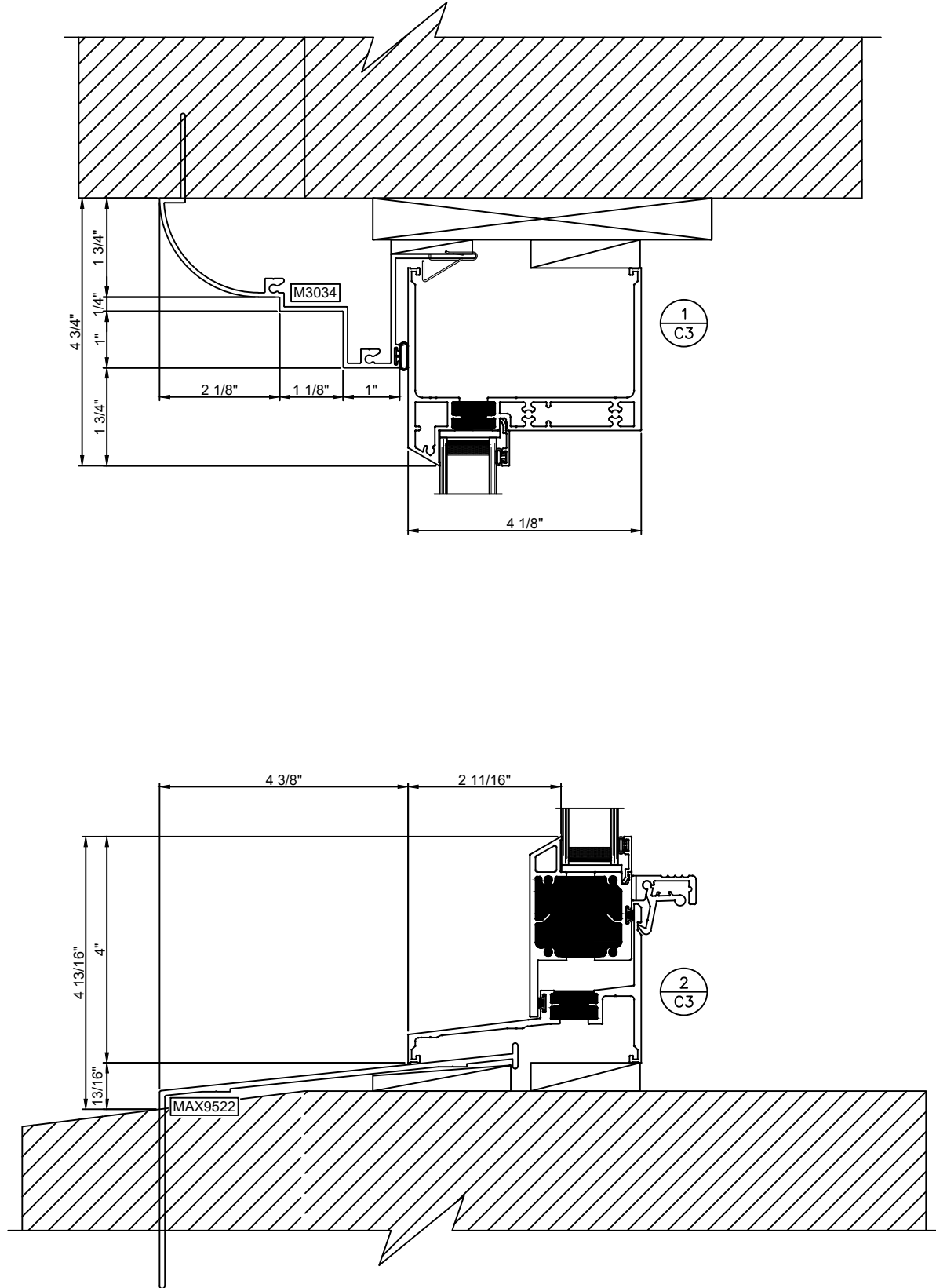
**NOTICE:**  
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VERIFY INSTALLATION  
VERIFY WALL DETAILS

SEALANT MUST MEET OR EXCEED  
ASTM C920-11 SPECIFICATION

PROVIDE ADEQUATE BLOCKING TO  
SUPPORT THE SILL OF THE WINDOW

**EXTERIOR**



**EXTERIOR**

**CUT DETAILS**

Project Name:

**THE PALMS BUILDING**  
-----  
**DETROIT, MI**

Description:

QUAKER WINDOW PRODUCTS WILL NOT BE RESPONSIBLE FOR FIELD MEASUREMENT, QUANTITIES, & INSTALLATION DESIGN. CONTRACTOR MUST VERIFY ALL DIMENSIONS.

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Scale: 3/8"=1"

Sheet #: C3

504 Highway 63 South  
Freeburg, MO 65035

Drawn By: NRL

Checked By: JS



Drawing Created  
10/14/22