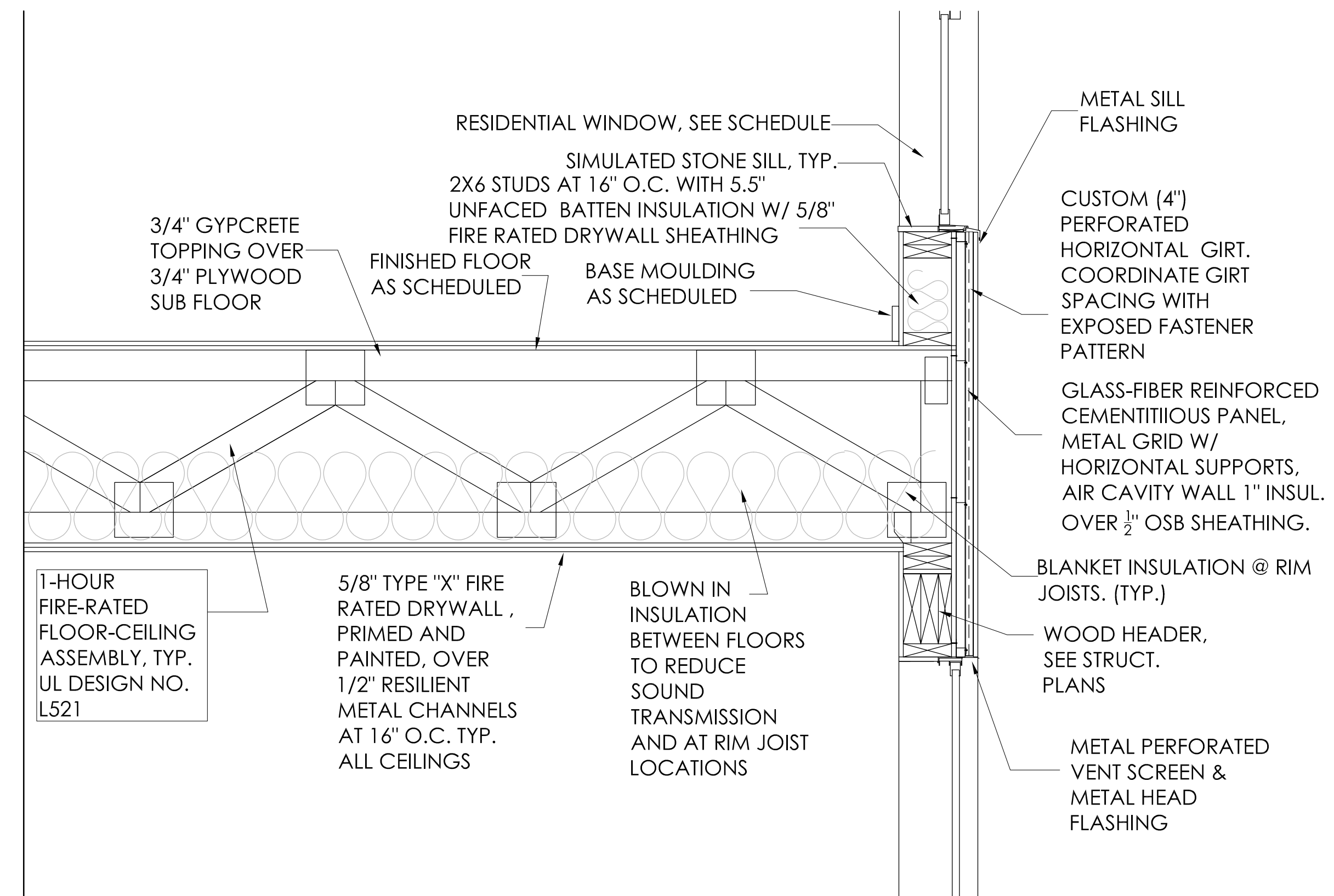
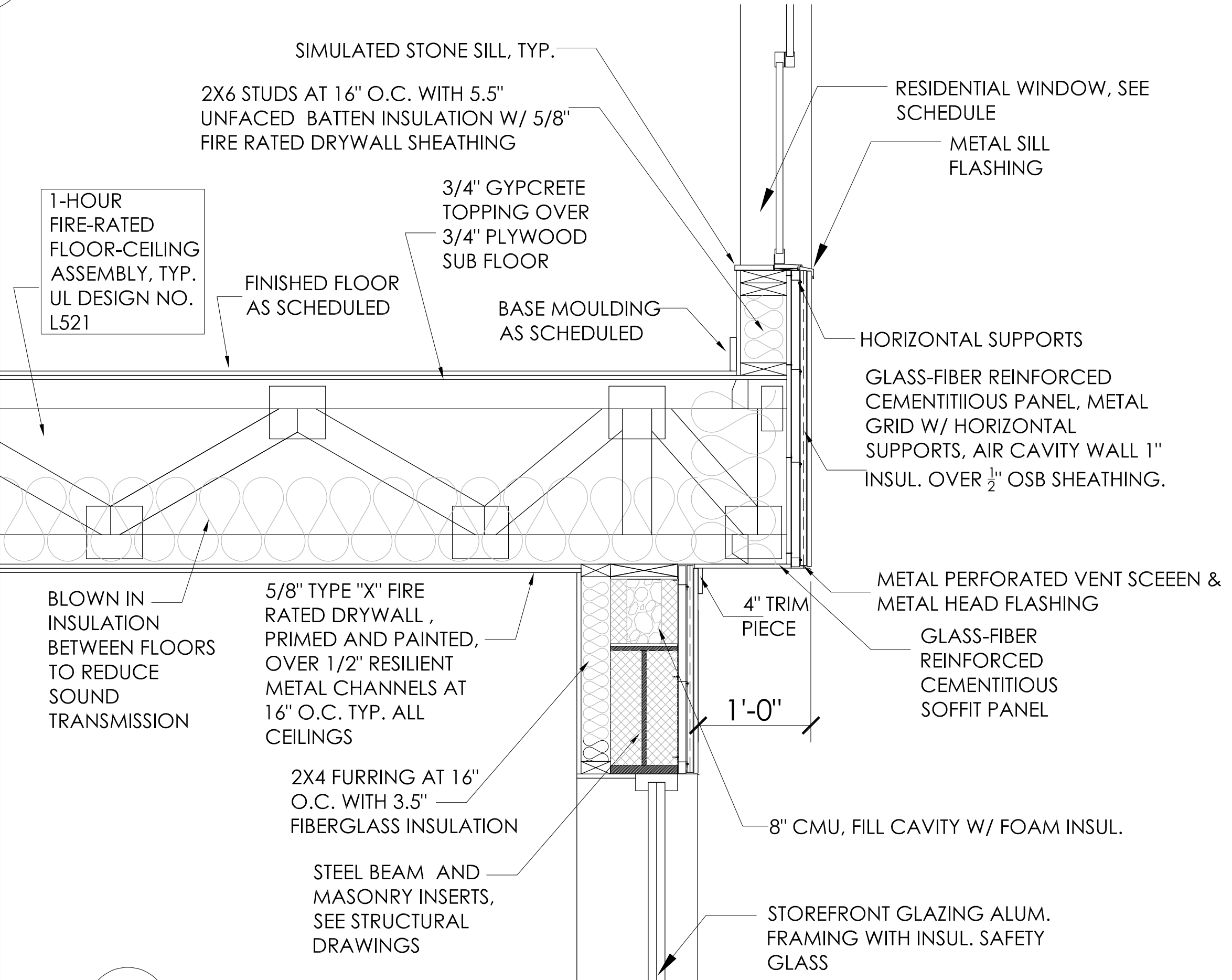


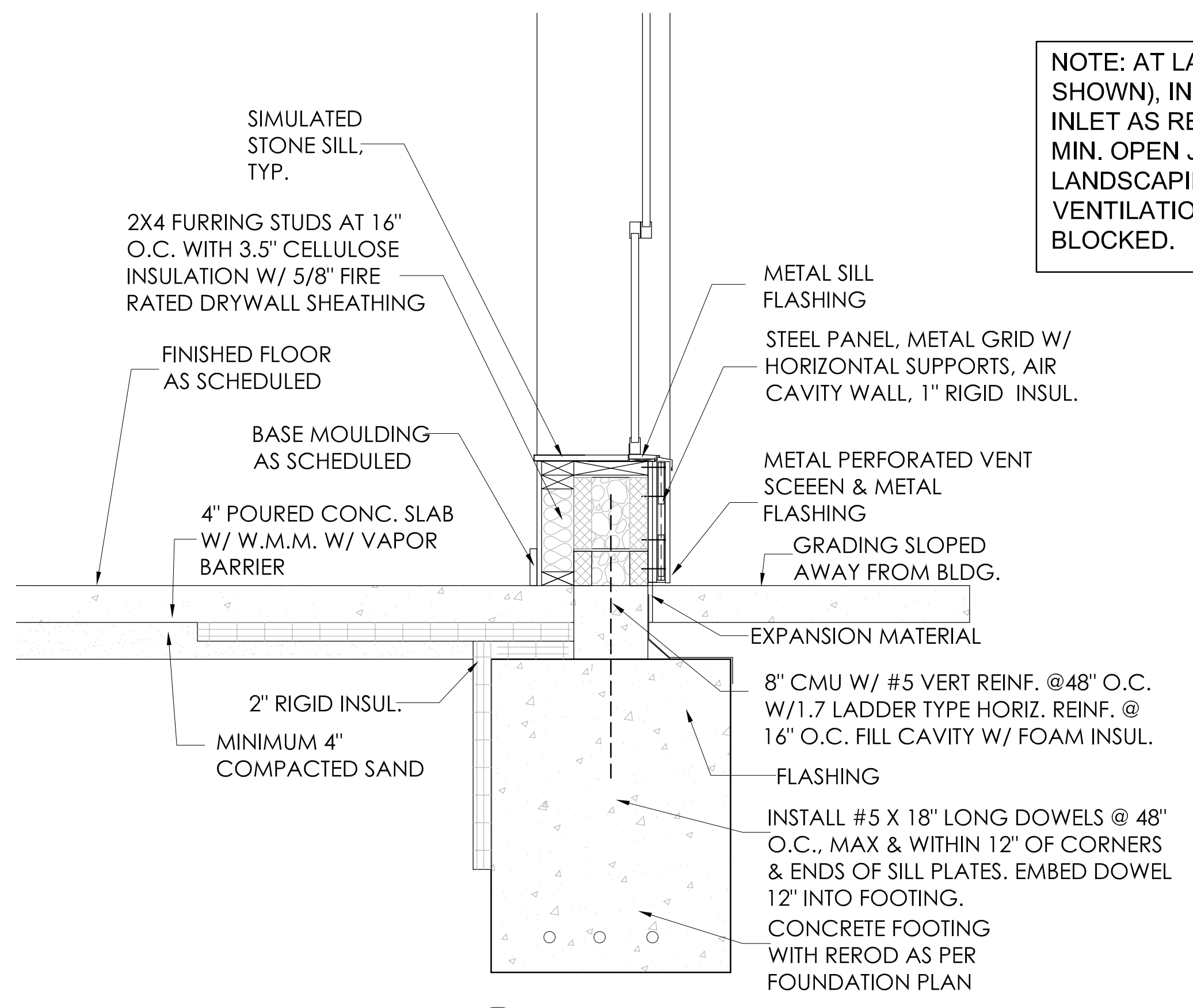
1 PARAPET DETAIL
SCALE: 1"=1'-0"



2 PANELING WALL DETAIL
SCALE: 1"=1'-0"



3 OVERHANG DETAIL
SCALE: 1"=1'-0"

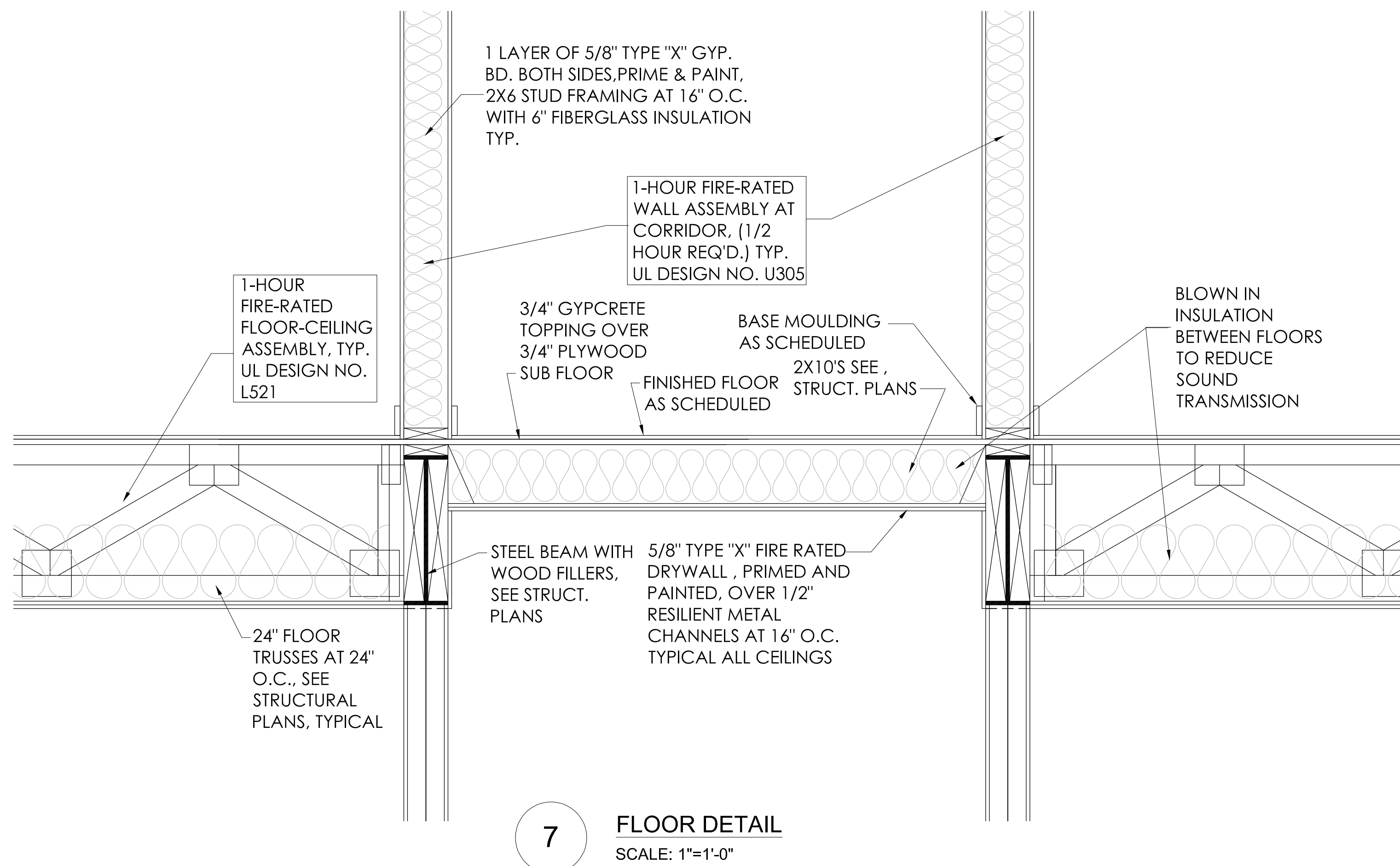
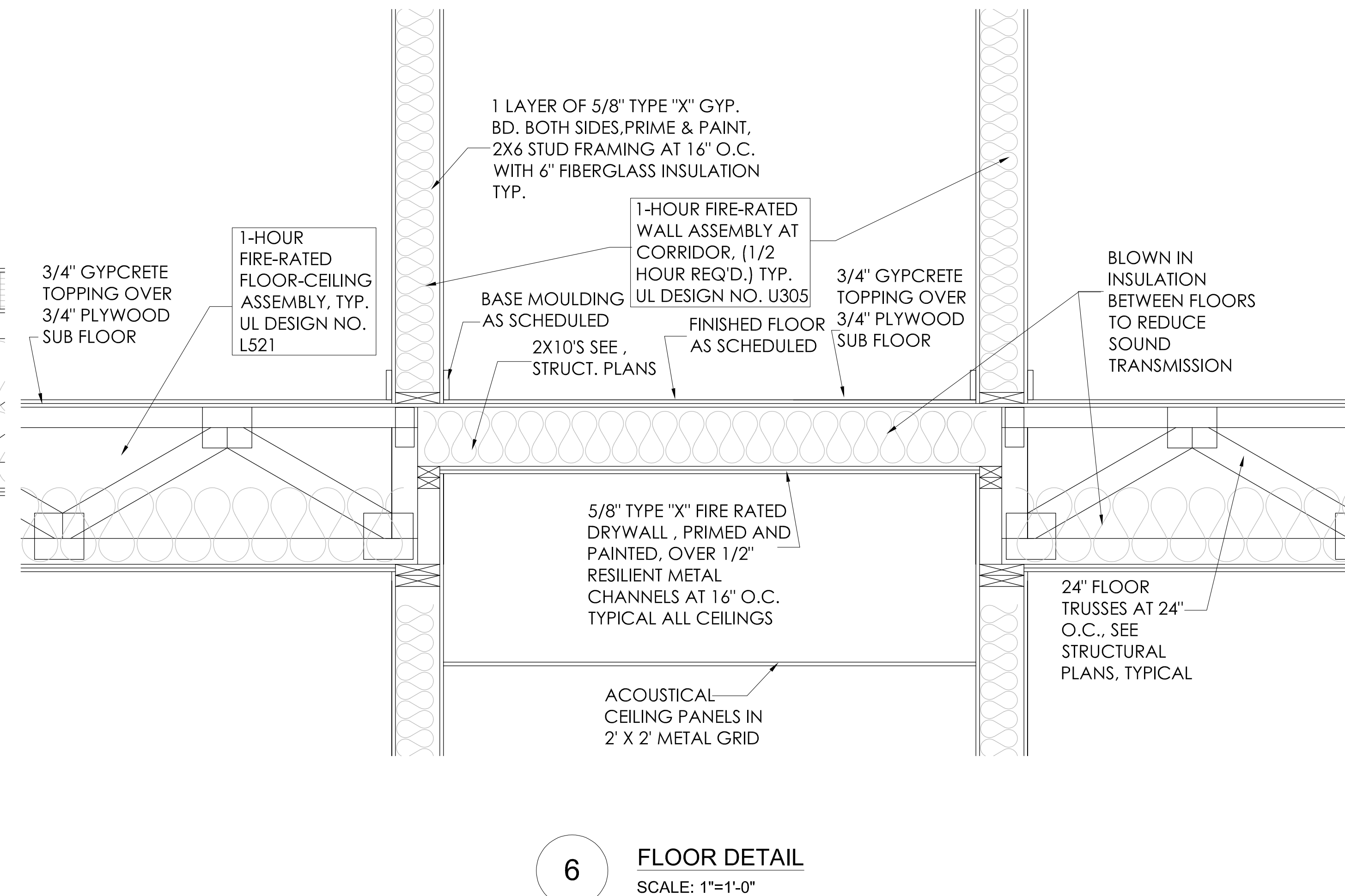
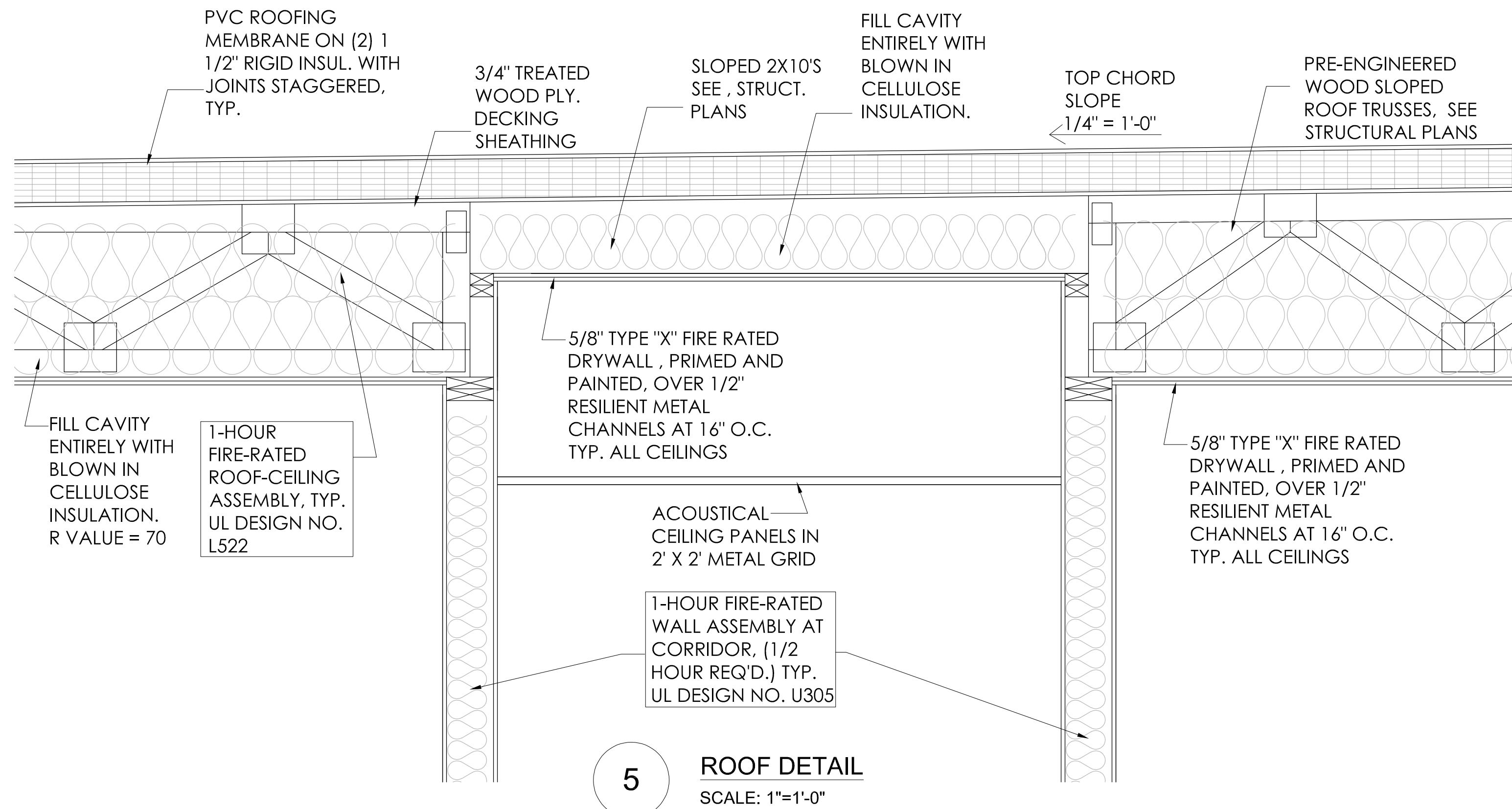


4 FOUNDATION DETAIL
SCALE: 1"=1'-0"

NOTE: AT LANDSCAPING (NOT SHOWN), INCREASE VENTILATION INLET AS REQUIRED TO MAINTAIN 1" MIN. OPEN JOINT ABOVE FINISHED LANDSCAPING SURFACE OR MULCH. VENTILATION INLET MUST NEVER BE BLOCKED.



CLIENT:	MHT HOUSING, INC.
PROJECT:	BRUSH PARK APARTMENTS
DATE:	2/16/22
REVISION:	#1
BY:	M.L.
DESCRIPTION:	CITY PERMIT DRAWINGS
PROJECT ADDRESS:	269 WINDER STREET, DETROIT MI
SITE AREA:	39,501± SF OR 0.91± ACRES
PROFESSIONAL ARCHITECTS	KEM-TEC & ASSOCIATES
PROFESSIONAL ENGINEERS	
22556 GRATIOT AVENUE	
(586) 772-2222 PHONE	
(586) 772-4048 FAX	
72 HOURS (3 WORKING DAYS)	
BEFORE YOU DIG CALL MISS DIG	
800-482-7171 (TOLL FREE)	
DRAWN BY:	JFG
SCALE:	1"=1'-0"
DATE:	12/09/2021
PROJECT NO.:	19-03104
SHEET NO.:	A.6.4



JEFFREY F. GRAHAM ARCHITECT No. 35132
STATE OF MICHIGAN LICENSED ARCHITECT

CLIENT:	MHT HOUSING, INC.
PROJECT:	BRUSH PARK APARTMENTS
LOCATION:	269 WINDER STREET, DETROIT MI
SITE AREA:	39,501± SF OR 0.91± ACRES
DATE:	2/16/22
REVISION:	#1
BY:	M.L.
DESCRIPTION:	CITY PERMIT DRAWINGS

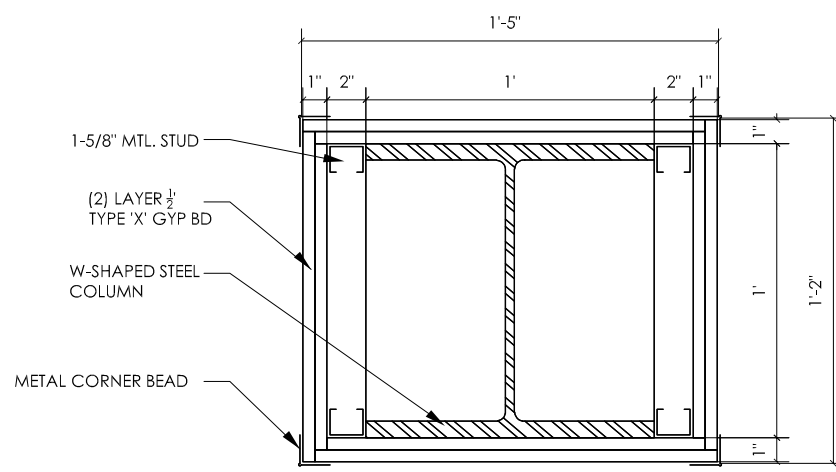
PROFESSIONAL ARCHITECTS
PROFESSIONAL ENGINEERS
PROFESSIONAL SURVEYORS
22556 GRATIOT AVENUE
PO BOX 110
DETROIT MI 48211
(586) 772-2222 PHONE
(586) 772-4048 FAX

KEM-TEC & ASSOCIATES

72 HOURS (3 WORKING DAYS)
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800-482-7171 (TOLL FREE)

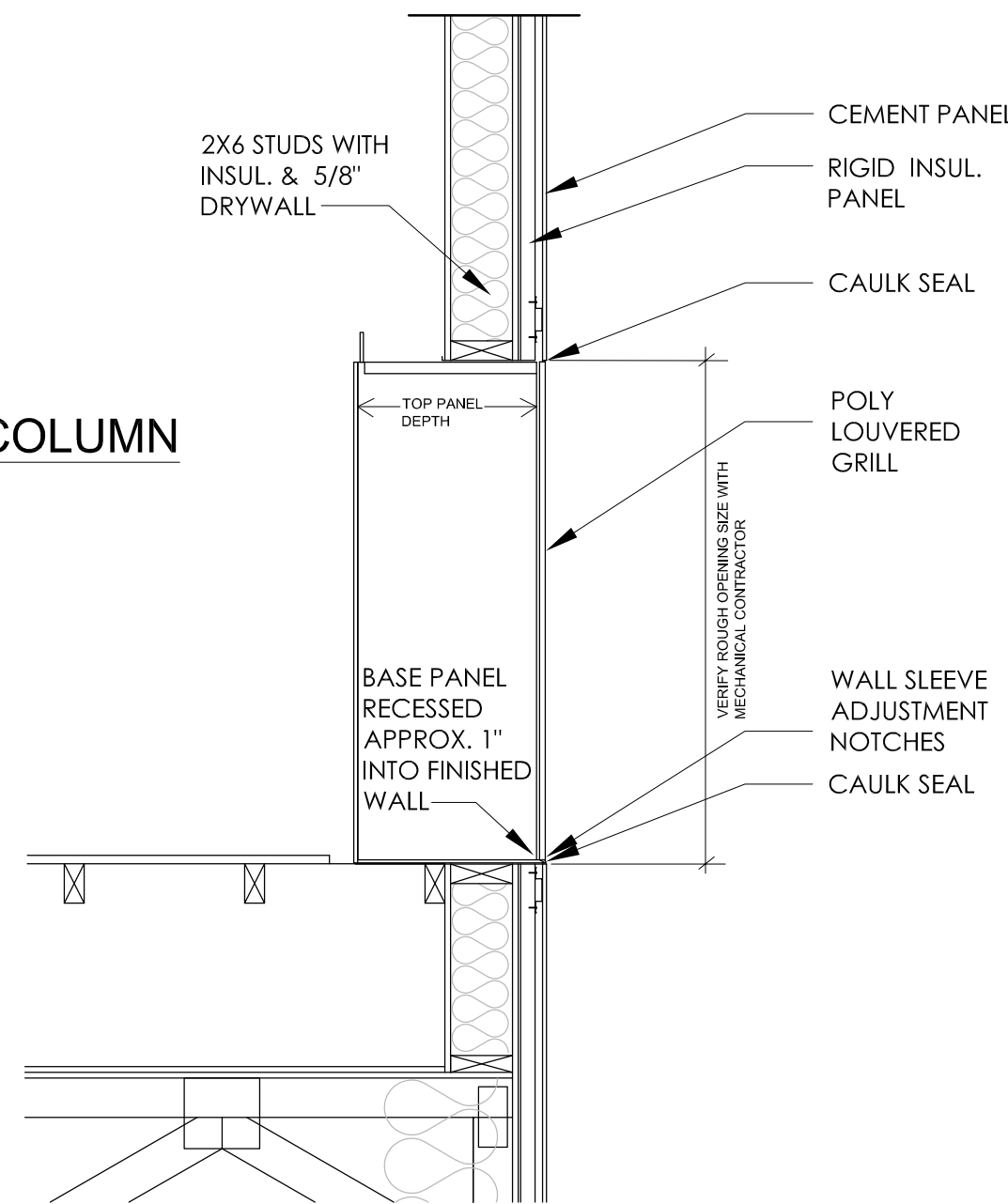
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SCALE: 1"=1'-0"
DATE: 12/09/2021
PROJECT NO: 19-0304

SHEET NO: **A.6.5**



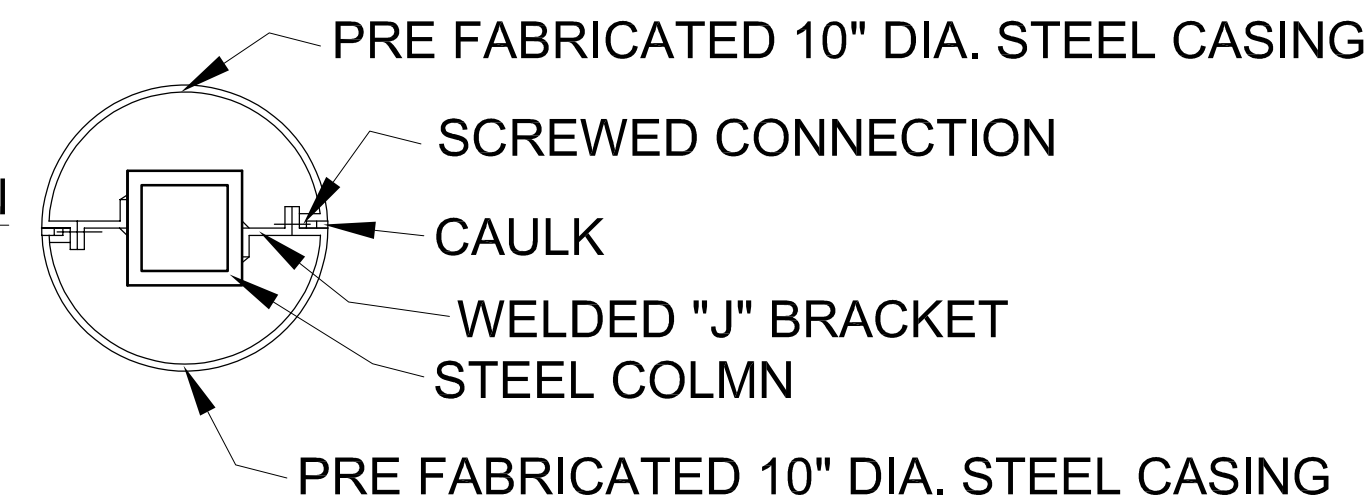
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1-HR. FIRE RATED COLUMN
UL No. X528
 SCALE: 1 1/2"=1'-0"



9

GRILL DETAIL SECTION THRU CEMENT SIDING
 SCALE: 3/4"=1'-0"



10

CANOPY COLUMN CROSS SECTION
 NOT TO SCALE

FLOOR / CEILING ASSEMBLY
 GA ASSEMBLY NO. FC 5518
 UNIT FLOOR / CEILING
 1-HOUR RATED F-5TC (FIELD 5TC) RATING: 51 MAXIMUM TECHNOLOGIES INC. / TWIN CITY TESTING INC. 07-24-1998

GA FILE NO. FC 5518	PROPRIETARY*	1 HOUR FIRE
WOOD TRUSSES, WOOD STRUCTURAL PANELS, GYPSUM FLOOR TOPPING, RESILIENT CHANNELS, GLASS OR MINERAL FIBER BATT OR BLANKET INSULATION OR LOOSE FILL, CELLULOSE INSULATION, CEILING DAMPER, GYPSUM WALLBOARD		
One layer 5/8" proprietary type X gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 16" o.c. (12" o.c. when insulation is applied to the back of the ceiling membrane) with 1" Type S drywall screws 8" o.c. Gypsum board end joints located midway between continuous channels and attached to additional pieces of channel 60" long with screws 8" o.c. Resilient furring channels applied at right angles to minimum 12" deep parallel chord wood trusses 24" o.c. with 1 1/4" Type S drywall screws. Glass fiber or mineral fiber batt or blanket insulation draped over the resilient channels, or loose-fill cellulose insulation spray applied to the back of the ceiling membrane. Wood trusses supporting 2 1/2" nominal wood structural panel subfloor applied at right angles to trusses with construction adhesive and 6d ring shank nails 12" o.c. 3/4" proprietary gypsum floor topping applied over subfloor. Optional ceiling damper (refer to manufacturer for information on the type of damper).		
PROPRIETARY GYPSUM COMPONENTS United States Gypsum Company - 5/8" SHEETROCK® Brand FIRECODE® C Core Gypsum Panels - LEVELROCK® Brand Floor Underlayment		
PROVIDE 1/8" THICK GYPCRETE TOPPING		

FLOOR-CEILING SYSTEMS, WOOD FRAMED

GA FILE NO. FC 5109	PROPRIETARY*	1 HOUR FIRE	55 to 59 STC SOUND
WOOD TRUSSES, WOOD STRUCTURAL PANELS, GYPSUM FLOOR TOPPING, RESILIENT CHANNELS, GLASS OR MINERAL FIBER BATT OR LOOSE FILL INSULATION, GYPSUM WALLBOARD			
One layer 5/8" proprietary type X gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 24" o.c. (16" o.c. when batt insulation is used; 12" o.c. when loose fill insulation is used) with 1" Type S drywall screws 12" o.c. Gypsum board end joints located midway between continuous channels and attached with screws 8" to additional pieces of channel 60" long located 3" back on either side of end joint. Resilient channels applied at right angles to nominal 2 x 10 wood joists spaced a maximum of 24" o.c. with 1 1/4" Type S drywall screws. Glass or mineral fiber batt insulation stapled to subfloor or loose fill insulation applied directly over gypsum board. Wood joists supporting 1 1/2" wood structural panel subfloor applied at right angles to joists with construction adhesive and 6d ring shank nails 12" o.c. Minimum 1/2" proprietary gypsum floor topping applied over subfloor.			
STC and IIC rated with both joists and resilient channels spaced 16" o.c., 3 1/2" glass fiber insulation in joint spaces, 3/4" proprietary gypsum floor topping poured over 1/4" proprietary sound reduction mat, and with finish flooring of C&P, sheet vinyl, and engineered wood laminate.			
PROPRIETARY GYPSUM COMPONENTS United States Gypsum Company - 5/8" SHEETROCK® Brand FIRECODE® C Core Gypsum Panels - LEVELROCK® Brand Floor Underlayment			

ROOF-CEILING SYSTEMS

GA FILE NO. RC 2601	GENERIC	1 HOUR FIRE
GYPSUM WALLBOARD, WOOD JOISTS, ROOF COVERING		
Base layer 5/8" type X gypsum wallboard applied at right angles to 2 X 10 wood joists 24" o.c. with 1 1/4" Type W or S drywall screws 24" o.c. Face layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to joists with 1 7/8" Type W or S drywall screws 12" o.c. at joints and intermediate joists and 1 1/2" Type G drywall screws 12" o.c. placed 2" back on either side of end joints. Joints offset 24" from base layer joints. Wood joists supporting 1/2" plywood with exterior glue applied at right angles to joists with 8d nails. Appropriate roof covering. Ceiling provides one hour fire resistance protection for wood framing, including trusses.		
Approx. Ceiling Weight: 5 psf Fire Test: FM FC 172, 2-25-72; ITS, 8-6-98		

WALLS AND INTERIOR PARTITIONS, WOOD-FRAMED

GA FILE NO. WP 4230	GENERIC	2 HOUR FIRE
GYPSUM WALLBOARD, WOOD STUDS, MINERAL FIBER INSULATION		
Base layer 5/8" type X gypsum wallboard applied at right angles to each side of 2 x 6 wood studs 24" o.c. with 2 1/4" Type S or W drywall screws 24" o.c. Face layer 5/8" type X gypsum wallboard applied at right angles to each side with 2 1/4" Type S drywall screws 8" o.c. 5 1/2" mineral fiber insulation, nominal 3 pcf, friction fit in stud space.		
Joints staggered 24" each layer and side. Tested at 5,506 lbs per stud or 100 percent of design load. (LOAD-BEARING)		
Thickness: 8" Approx. Weight: 13 psf Fire Test: ITS J20-06170.3, 12-00		

WALLS AND INTERIOR PARTITIONS, WOOD-FRAMED

GA FILE NO. WP 3110	GENERIC	1 HOUR FIRE	55 to 59 STC SOUND
GYPSUM WALLBOARD, RESILIENT CHANNELS, GLASS FIBER INSULATION, WOOD STUDS			
Resilient channels 24" o.c. attached at right angles to ONE SIDE of 2 x 4 wood studs 16" o.c. with 1" Type S drywall screws. Base layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to channels with 1" Type S drywall screws 12" o.c. Face layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to channels with 3/4" daubs of adhesive 12" o.c. vertically and horizontally.			
OPPOSITE SIDE: Base layer 5/8" type X gypsum wallboard or gypsum veneer base applied parallel to studs with 5d coated nails, 1 5/8" long, 0.086" shank, 15/64" heads, 32" o.c. Second layer 1/2" type X gypsum wallboard or gypsum veneer base applied parallel to studs with 8d coated nails, 2 3/8" long, 0.113" shank, 9/32" heads, 12" o.c. Face layer 1/4" regular gypsum wallboard applied parallel to studs with 3/4" daubs of adhesive 12" o.c. vertically and horizontally. 2" glass fiber insulation, 0.90 pcf, stapled to three layer side in stud space			
Joints staggered 16" each layer and side. (LOAD-BEARING)			
Thickness: 6 3/4" Approx. Weight: 12 psf Fire Test: UL R3660-2, 12-3-68, UL Design U313 Sound Test: RAL TL69-286, 6-20-68 (Rev. 9-4-68)			

UL FIRE RATED
Design No. U905

Bearing Wall Rating - 2 HR.
 Nonbearing Wall Rating - 2 HR.

Horizontal Section

- Concrete Blocks* Various designs. Classification D 2 (2 hr).
- Mortar Blocks laid in full bed of mortar, nom 3/8 in. thick, of not less than 2 1/4 and not more than 3 1/2 parts of clean sharp sand to 1 part Portland cement (proportioned by volume) and not more than 50 percent hydrated lime (by cement volume). Vertical joints staggered.
- Portland Cement Stucco or Gypsum Plaster If used, add 1/2 hr. to Classification. Where combustible members are framed in wall plaster or stucco must be applied on the face opposite framing to achieve a max. Classification of 1 1/2 hr. Attached to concrete blocks (item 1).
- Loose Masonry Fill If all core spaces are filled with loose dry expanded slag, expanded clay or shale (rotary kiln process), water repellent vermiculite masonry fill insulation, or silicone treated perlite loose fill insulation add 2 hr. to Classification.
- Foamed Plastic* (Optional - not shown) 1 1/2 in thick max, 4 ft wide sheathing attached to concrete blocks (item 1).

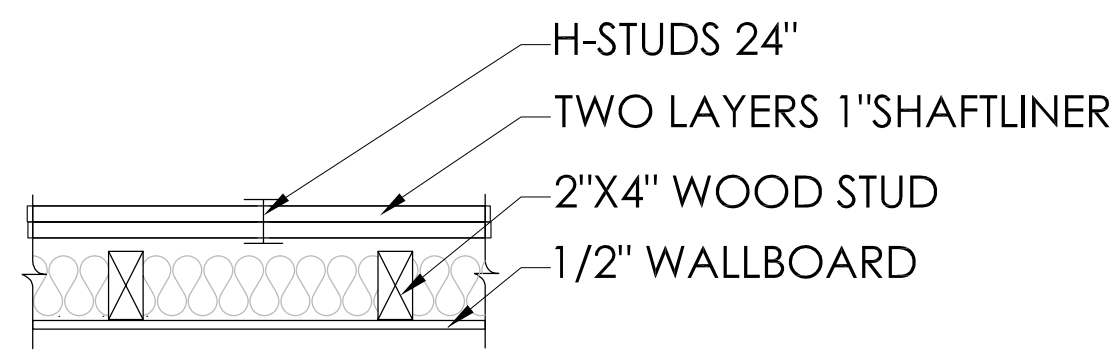
Celotex Corp. Type Thermax

*Bearing the UL Classification Marking

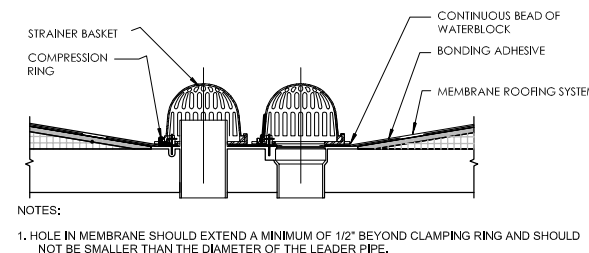
ROOF-CEILING SYSTEMS

GA FILE NO. RC 2604	PROPRIETARY*	1 HOUR FIRE
WOOD ROOF TRUSSES, RESILIENT CHANNELS, GLASS FIBER INSULATION, CEILING DAMPER, GYPSUM WALLBOARD		
One layer 5/8" proprietary type X gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 16" o.c. (12" o.c. when insulation is draped over channels) with 1" Type S drywall screws 12" o.c. Gypsum board end joints attached with screws 8" o.c. to additional pieces of channel 60" long located 3" back on either side of end joint. Resilient channels applied at right angles to bottom chord of pitched wood trusses 24" o.c. with 1 1/4" Type S or W screws. Glass fiber insulation secured to wood structural panels or draped over channels. Trusses supporting 1/2" wood structural panels applied at right angles to trusses with construction adhesive and 6d ring shank nails 12" o.c. Optional ceiling damper (refer to manufacturer for information on the type of damper).		
PROPRIETARY GYPSUM BOARD United States Gypsum Company - 5/8" SHEETROCK® Brand FIRECODE® C Core Gypsum Panels		
Approx. Ceiling Weight: 3 psf Fire Test: UL R15858, 02NK24136, 3-20-03, UL Design P544, UL R15858, 02NK41925, 9-30-02, UL Design P531, UL R13119, 98NK41378, 11-20-88, UL Design P522		

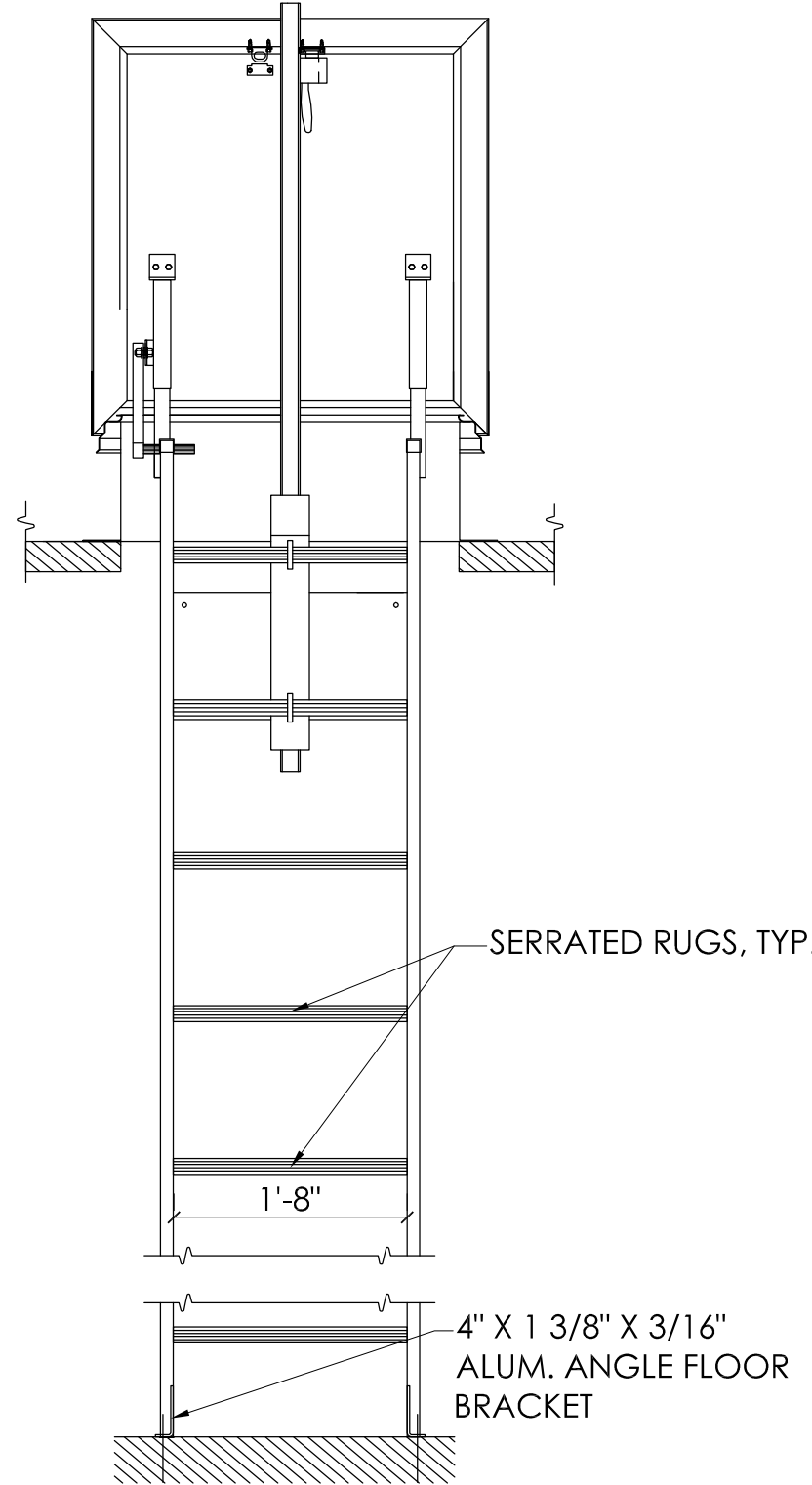




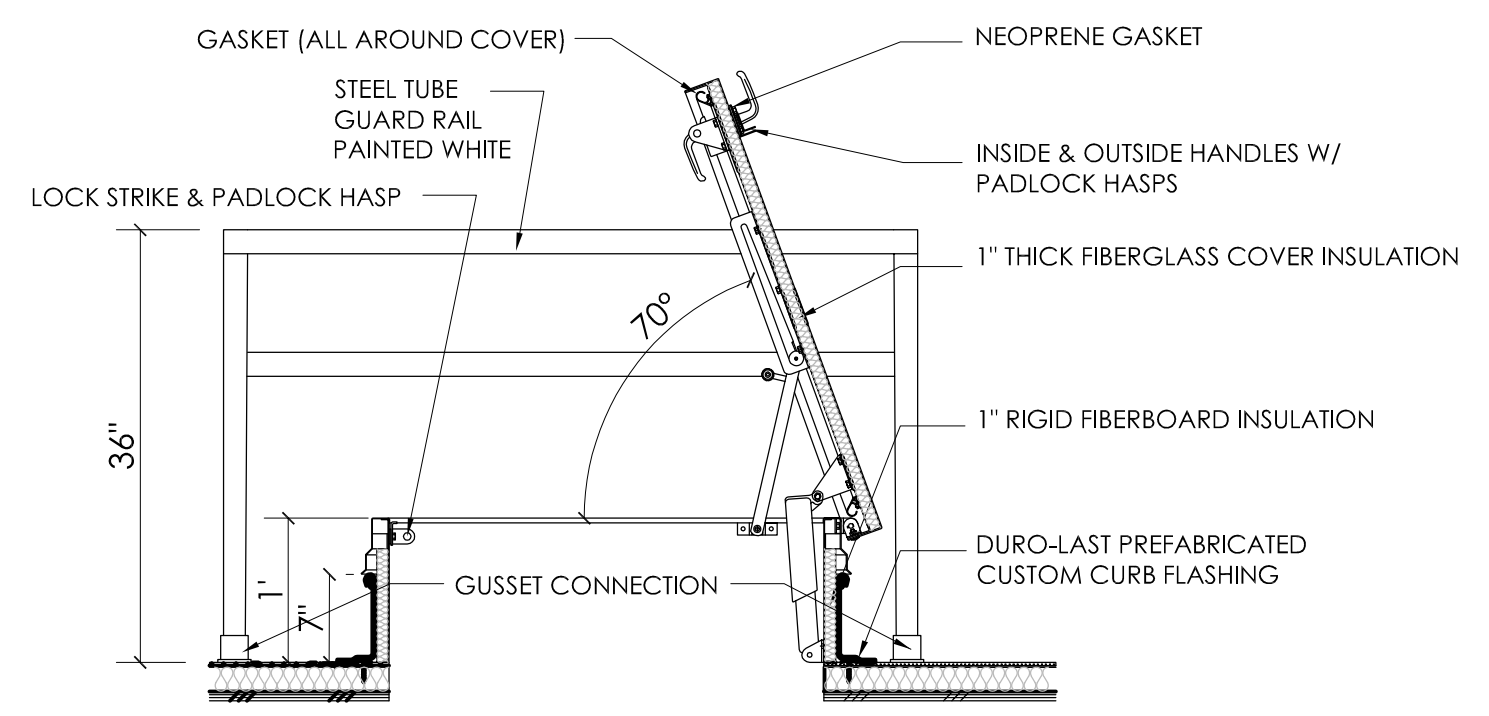
A SHAFTLINER
UL DESIGN U373
SCALE: 1"=1'-0"



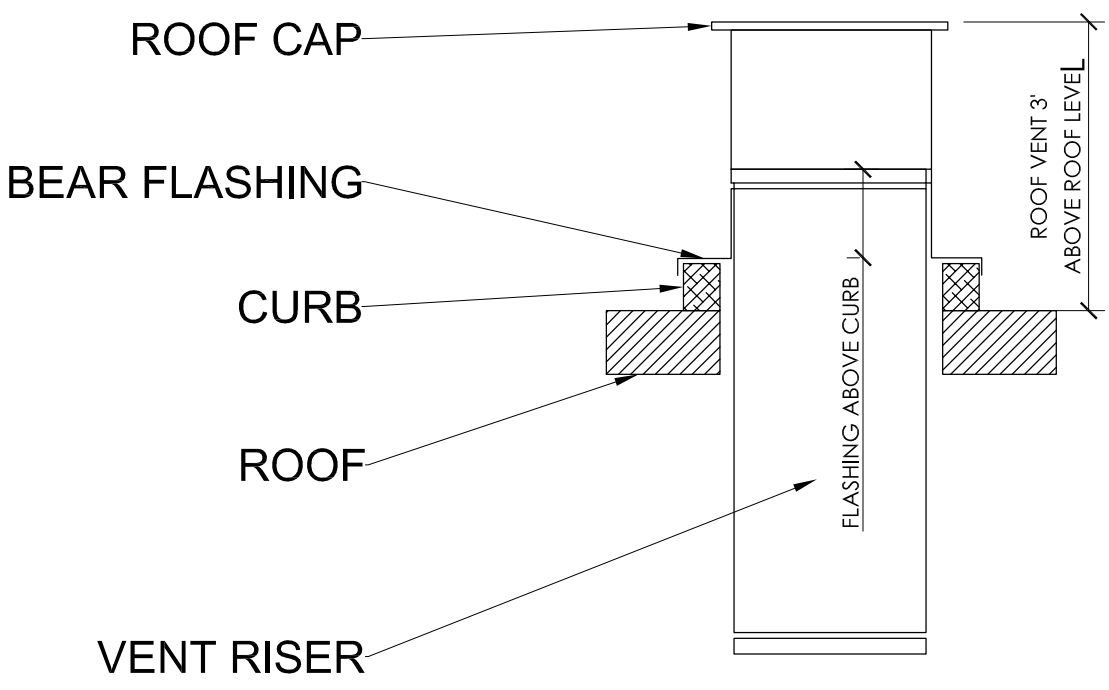
B ROOF DRAIN WATER OVERFLOW
SCALE: 1"=1'-0"



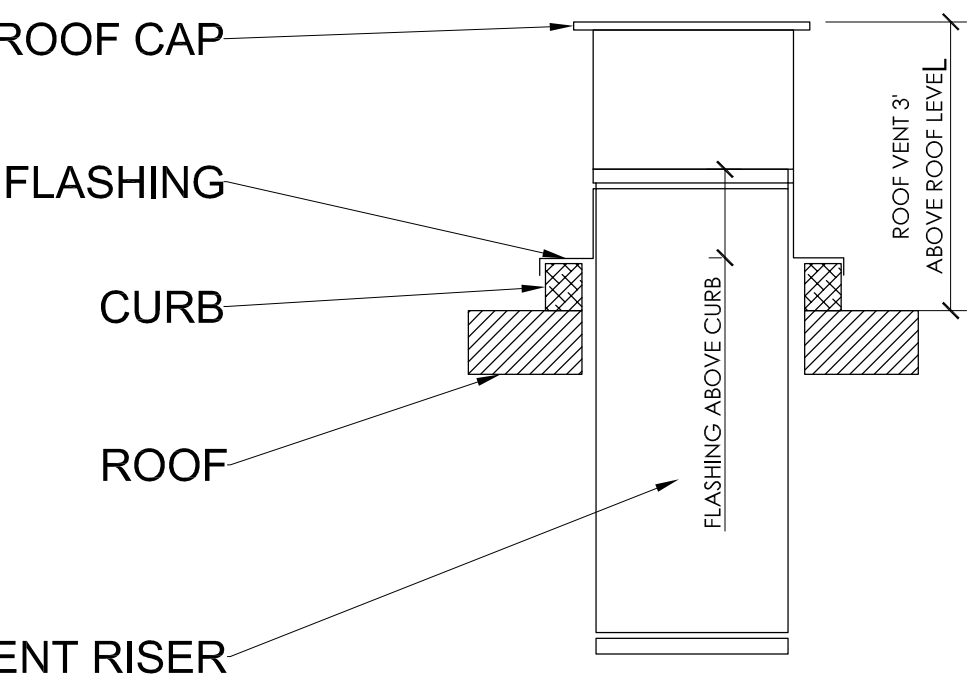
C ROOF ACCESS LADDER - ELEVATION
SCALE: 3/4"=1'-0"



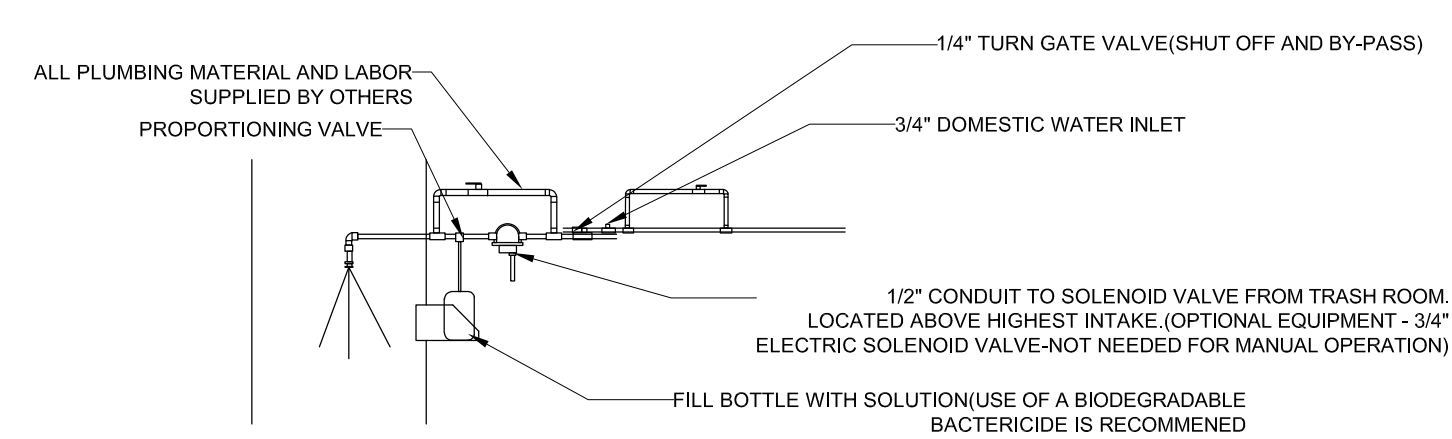
D ROOF ACCESS LADDER - SECTION
SCALE: 3/4"=1'-0"



E ROOF ACCESS LADDER - FLOOR PLAN
SCALE: 3/4"=1'-0"

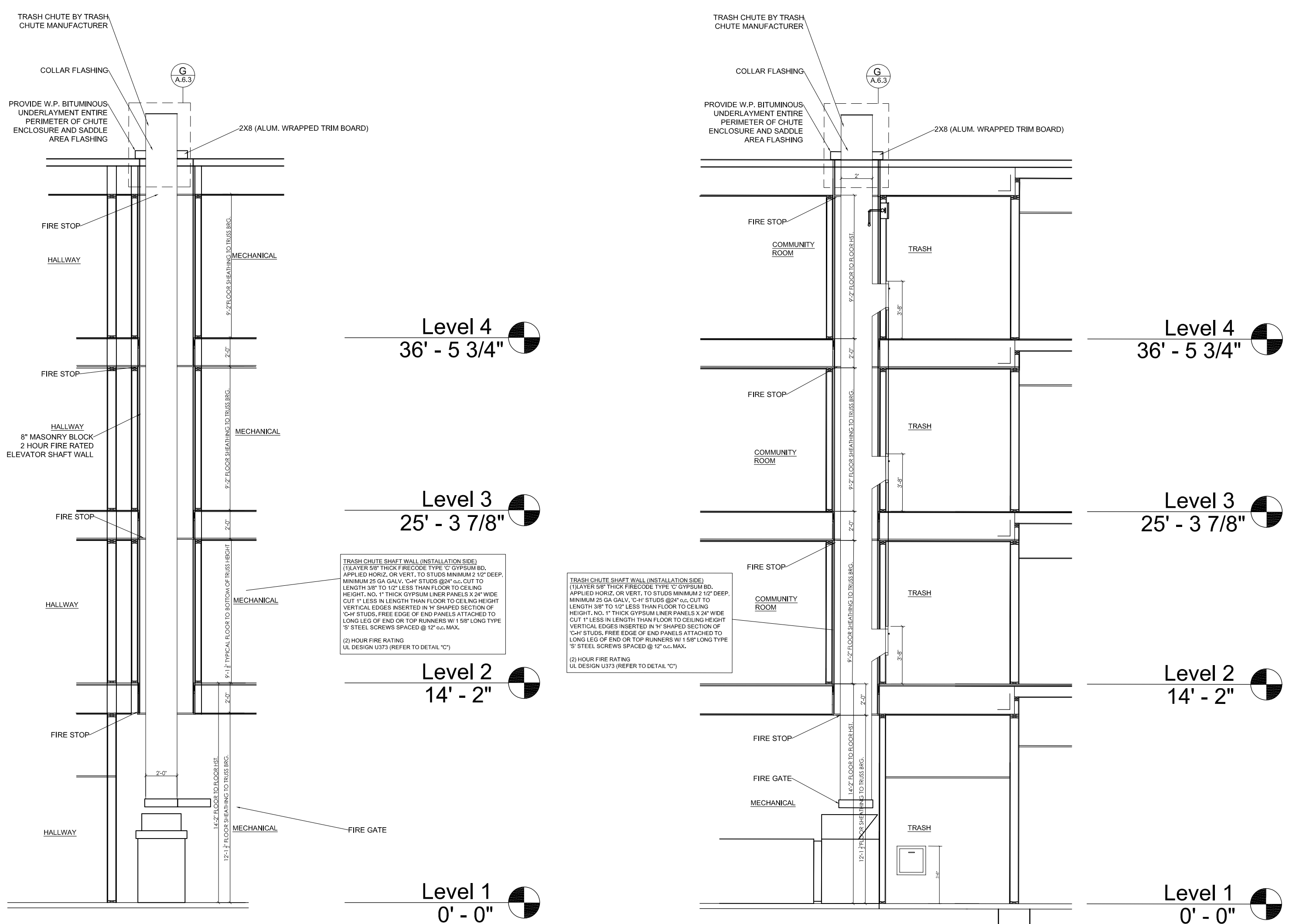


F TRASH CHUTE VENT DETAIL
SCALE: 1/2"=1'-0"



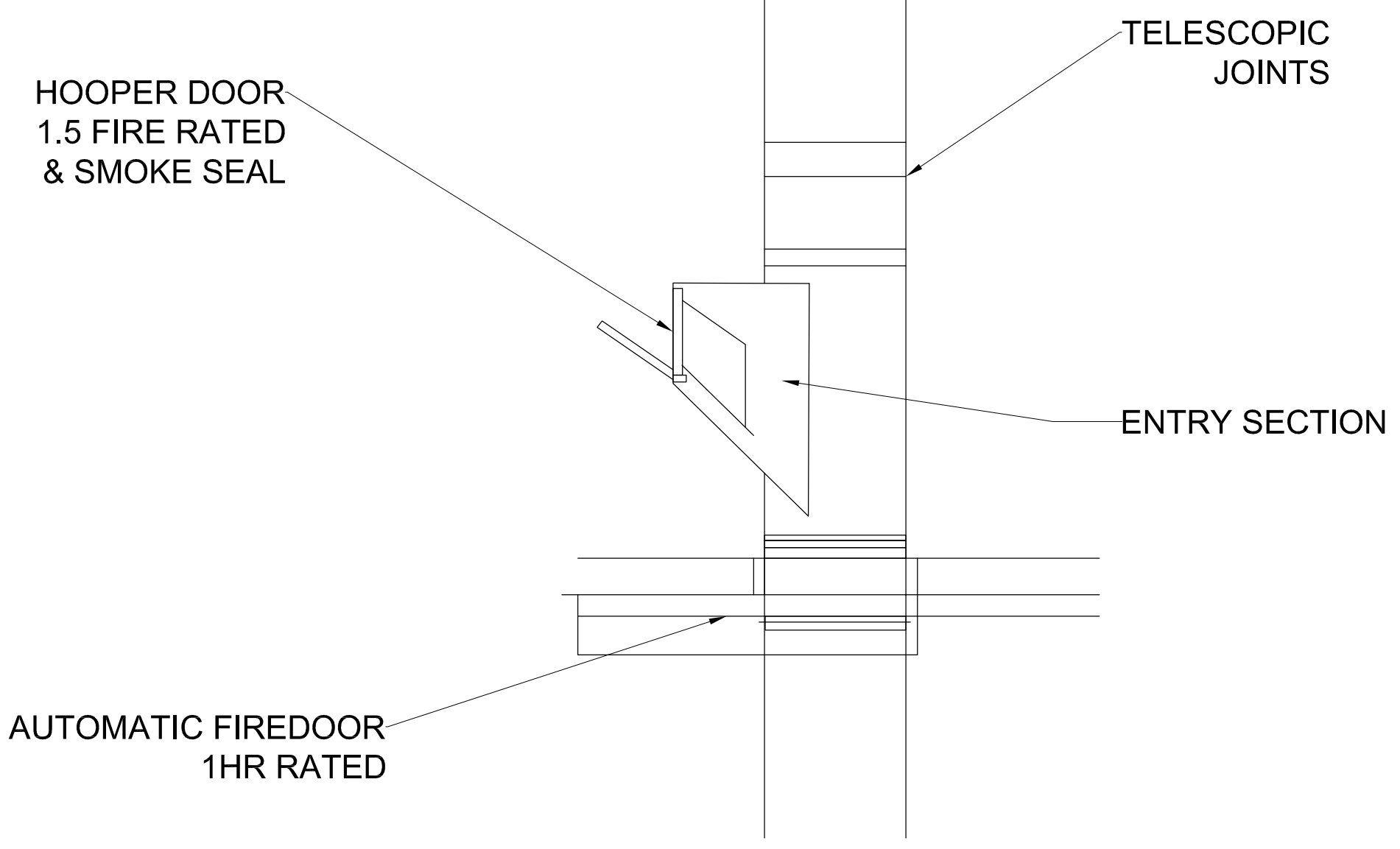
G TRASH CHUTE DISINFECTING & SANITIZING UNIT DETAIL
NOT TO SCALE

VENDER HAS ALT. SYSTEM THAT IS EQUAL TO THEN CONFIRM WITH ARCHITECT PRIOR TO INSTALLATION.



1 TRASH CHUTE SECTION
SCALE: 3/16"=1'-0"

2 TRASH CHUTE SECTION
SCALE: 1/4"=1'-0"



I TRASH CHUTE DOOR DETAIL
SCALE: 1/2"=1'-0"

CLIENT: MHT HOUSING, INC.
BRUSH PARK APARTMENTS
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22550 GRATIOT AVENUE
DETROIT, MI 48222
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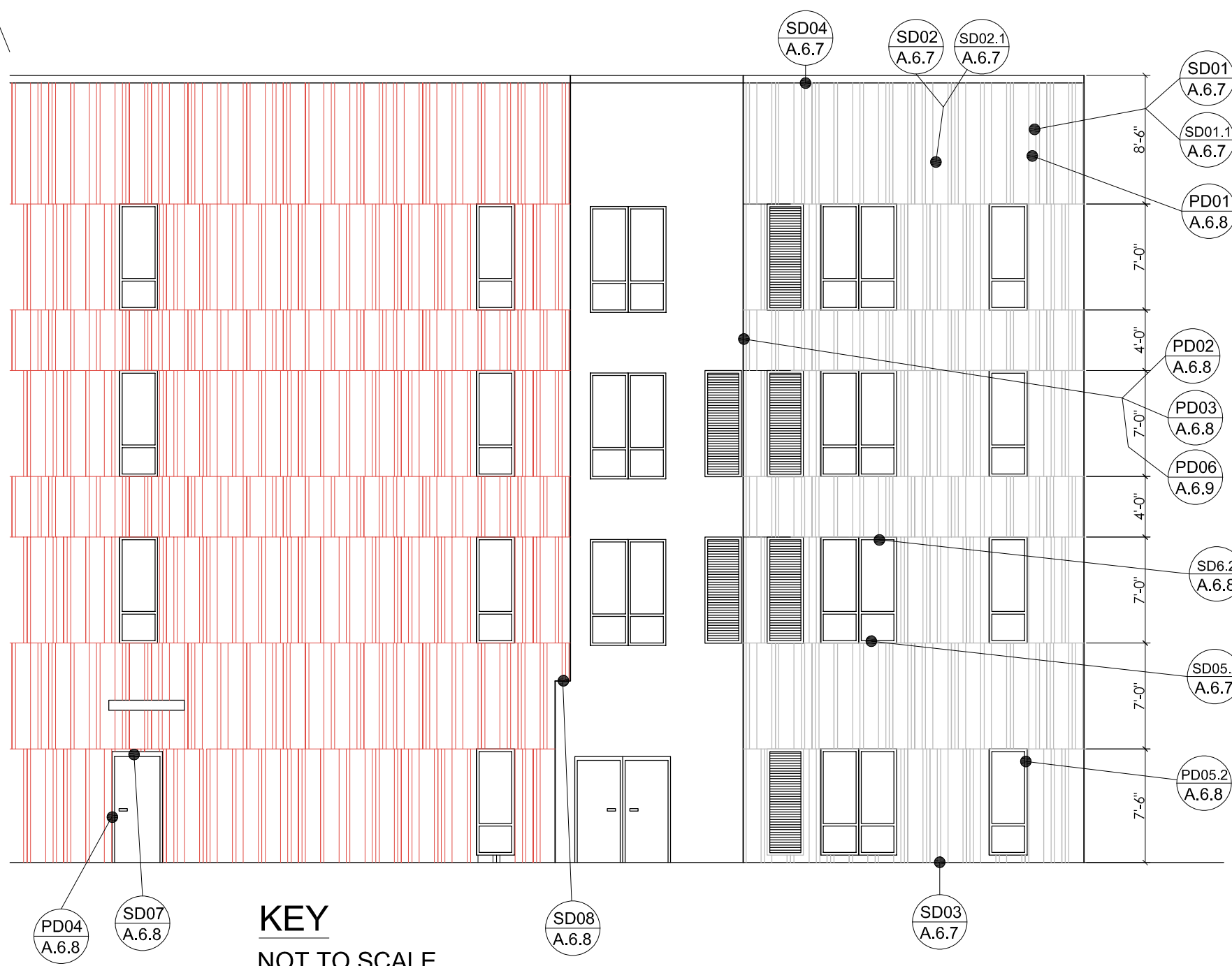
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CALL MISS DIG
800-482-7171
(TOLL FREE)

STATE OF MICHIGAN
JEFFREY F. GRAHAM
ARCHITECT
No. 36132
LICENSED ARCHITECT

DRAWN BY: JFG
SCALE: SEE DRAWING
DATE: 12/09/2021
PROJECT NO: 19-03104

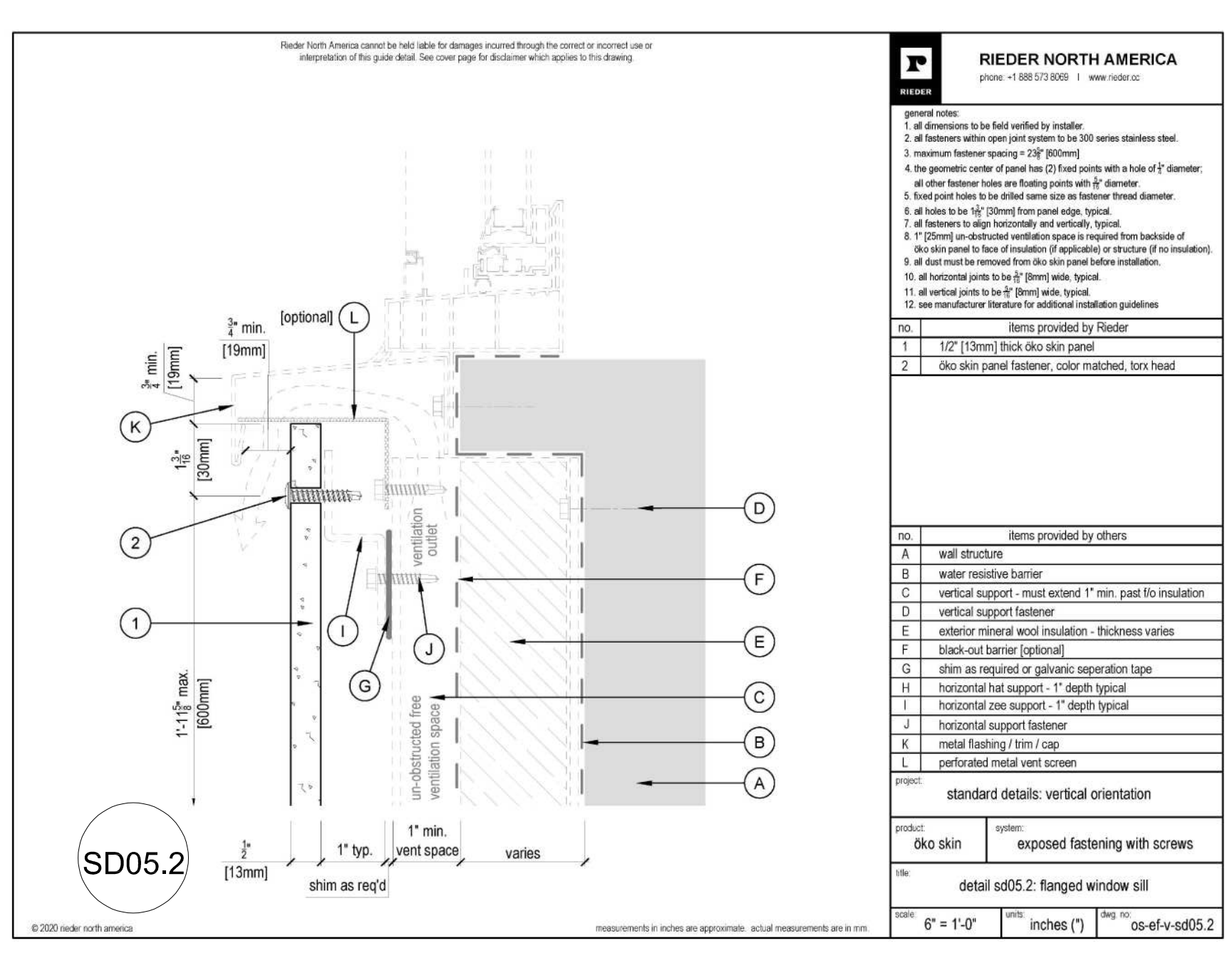
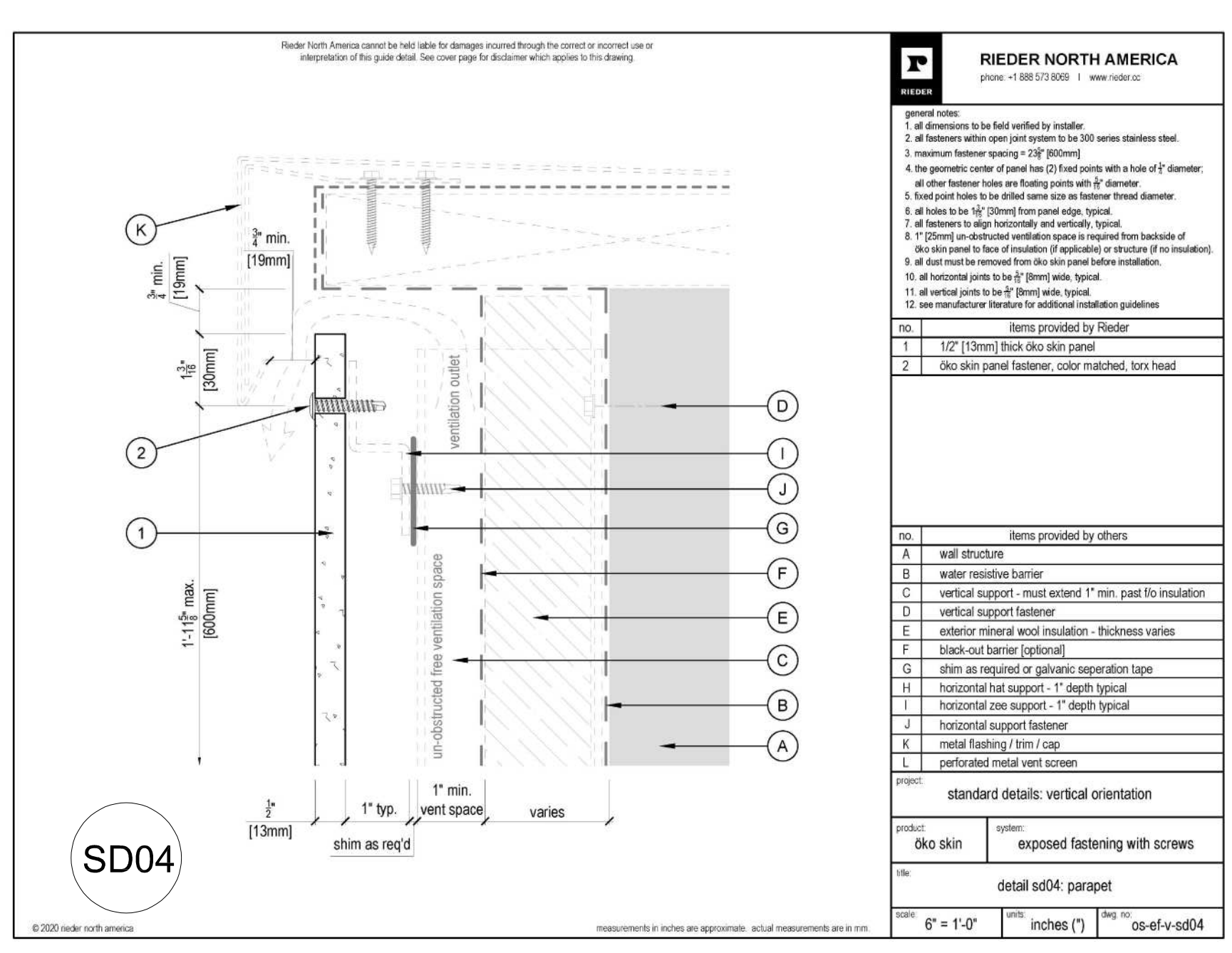
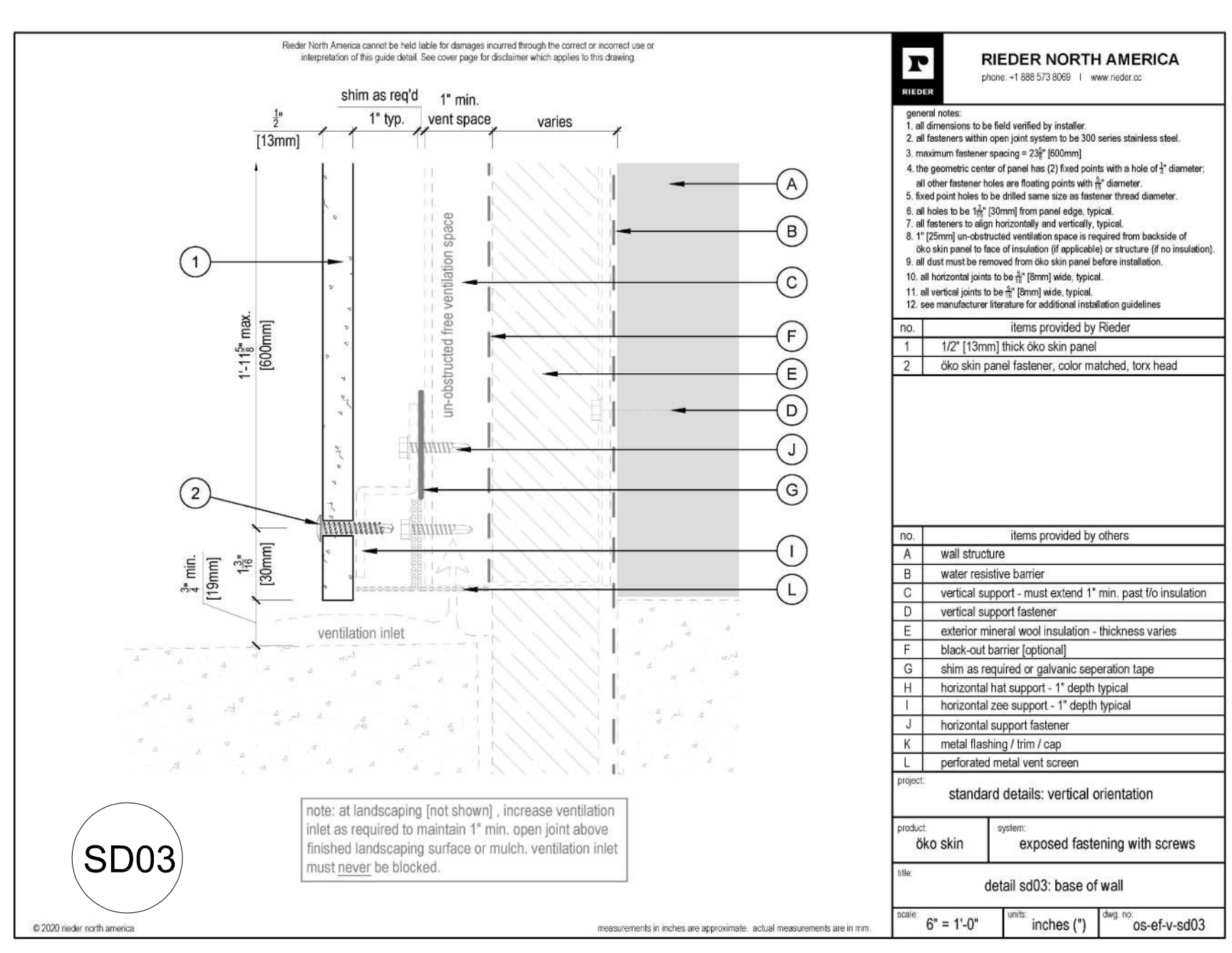
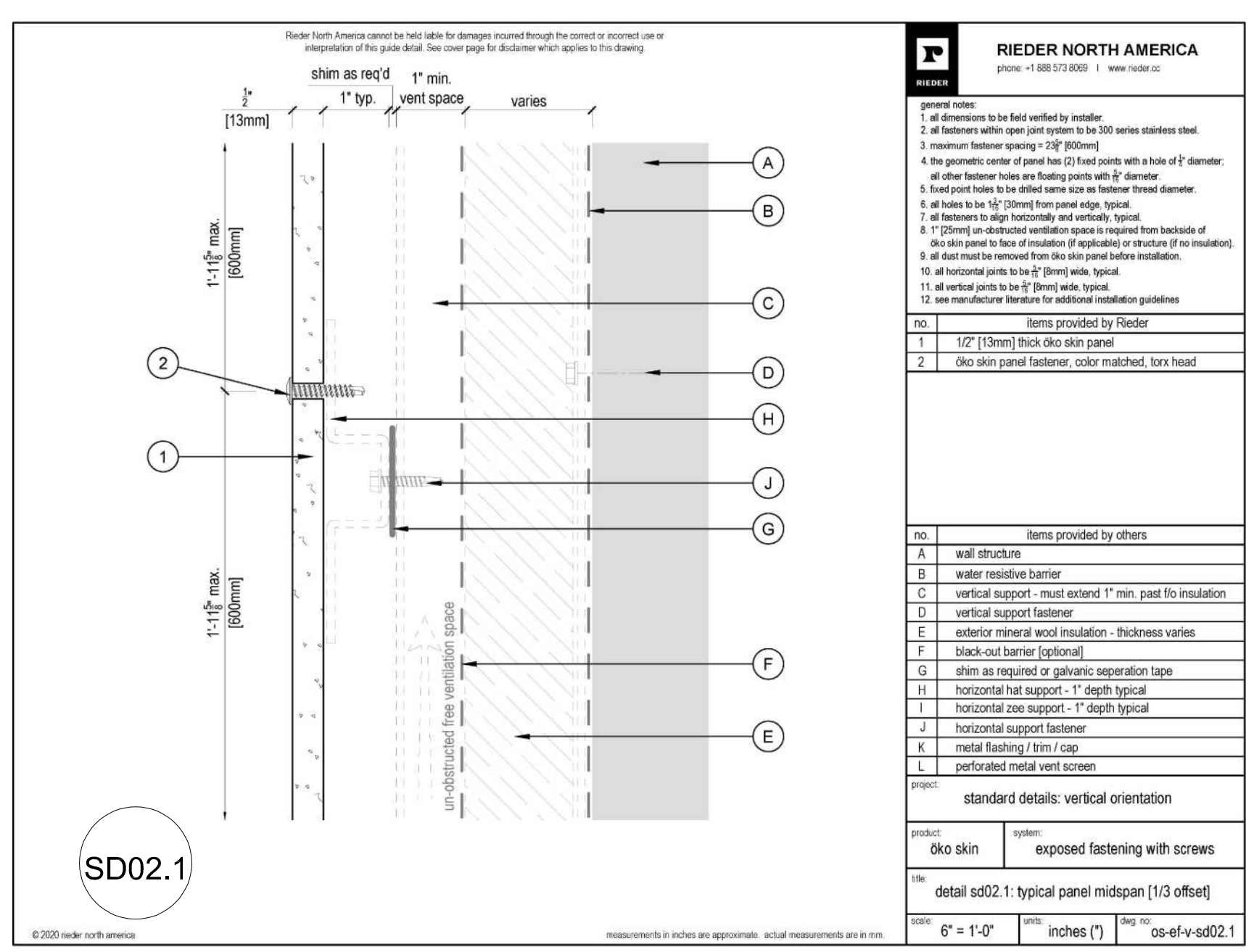
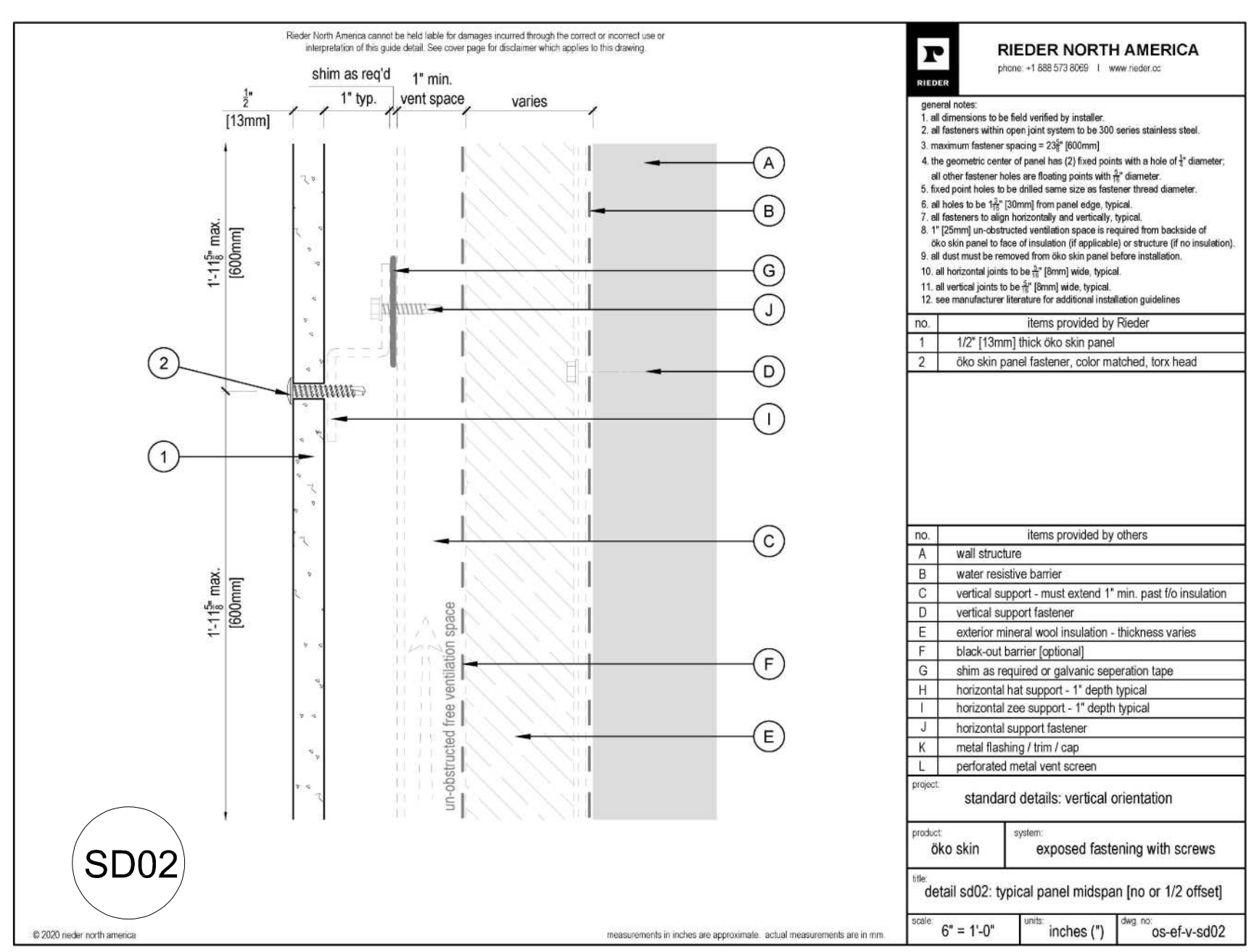
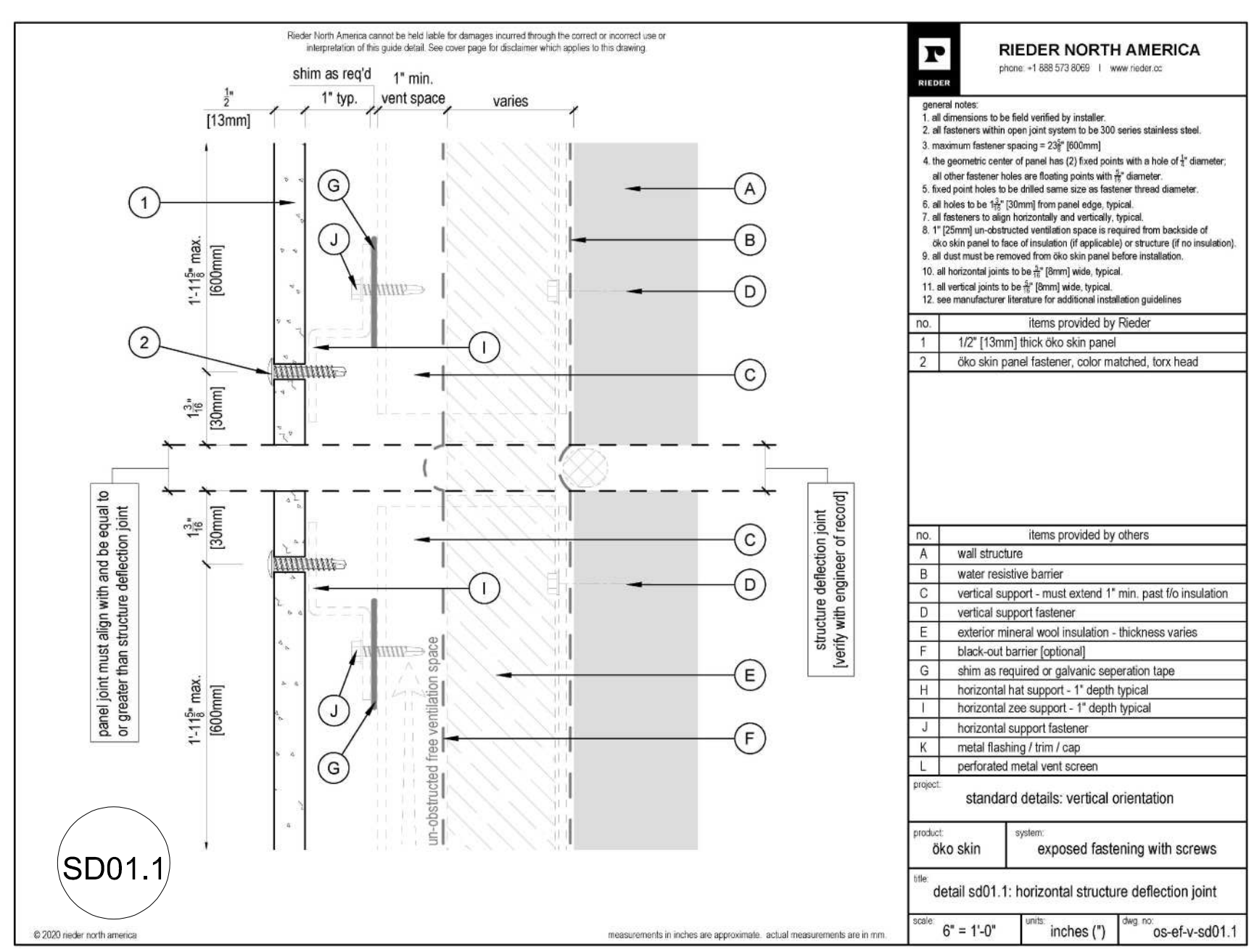
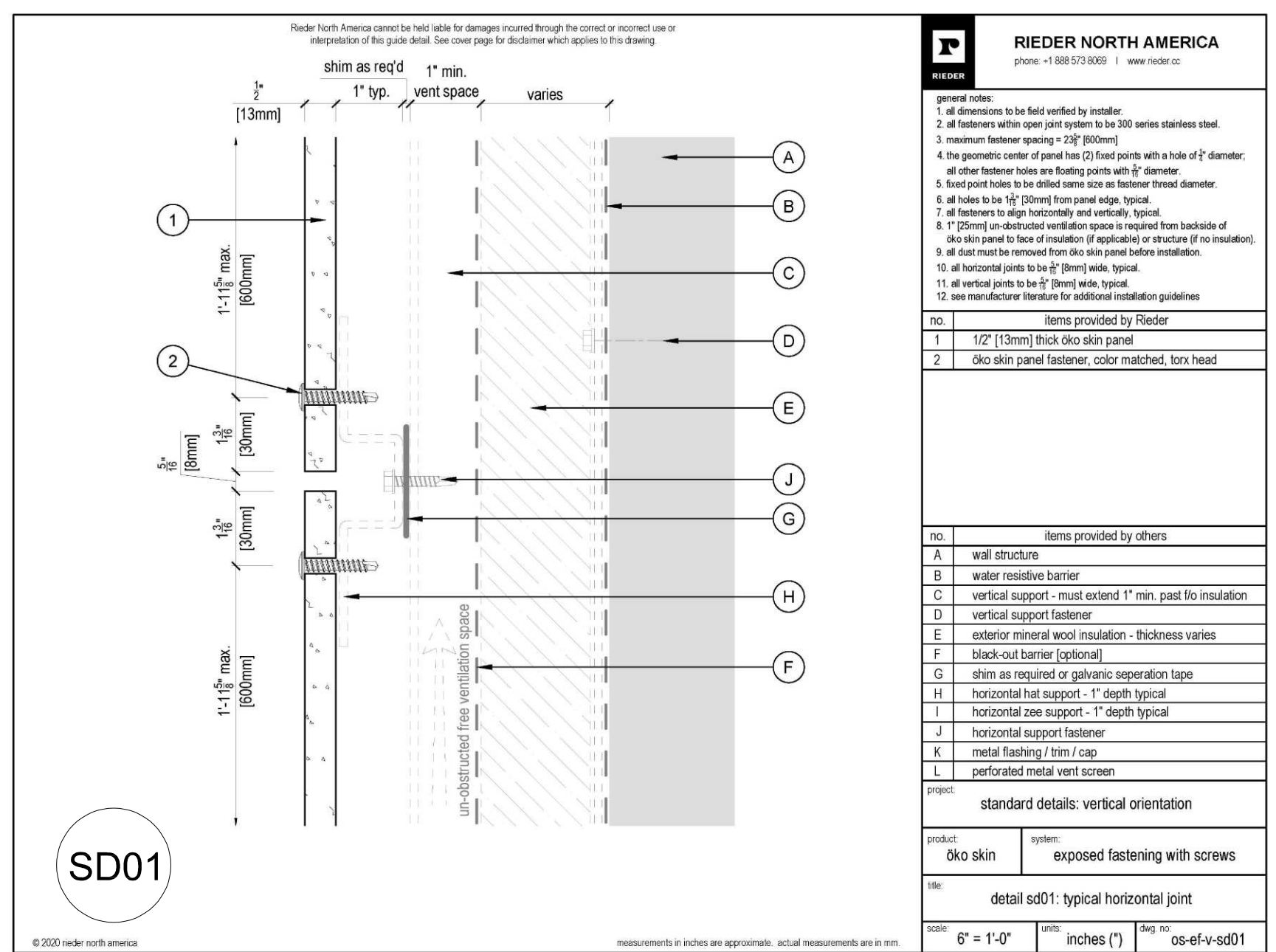
CITY PERMIT DRAWINGS
M.L.L. 2/16/22
REVISION #1

SHEET NO: A.6.7



GENERAL NOTES

- SIDING MATERIAL IS GLASS FIBER REINFORCED CONCRETE PANELS CALLED "ÖKO SKIN" FROM RIEDER.
- THIS PROJECT USES THE STRIPES PANELS. EACH PANEL COMES WITH DIFFERENT SIZED STRIPES WITH A MIX OF FINISHES. BOTH COLORS SHOULD USE THE STRIPES PANELS, WITH THE STRIPES EASY OPTION.
- THE TWO COLORS TO USE: POLAR WHITE & OXIDE.
- THE SIZES OF THE STRIPS SHOULD BE 2 3/8", 5 3/8" & 12". WITH THE SEQUENCING OF THE SLATES BEING PREDEFINED. THE PANELS COME IN LENGTHS OF 8'-2 7/16" OR 10'-2 1/16".
- THE DESIGN USES THE STRIPED PANELS TO CREATE ROWS. EACH ROW SHOULD NOT LINE UP WITH THE PANELS ABOVE OR BELOW.
- CONTRACTOR SHOULD VERIFY EVERYTHING BEFORE PURCHASE WITH UseHughes BEFORE PURCHASING.



CLIENT: MHT HOUSING, INC.

PROJECT: BRUSH PARK APARTMENTS

269 WINDER STREET, DETROIT MI

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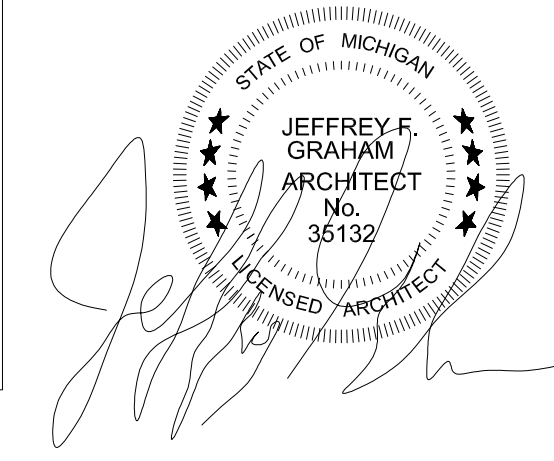
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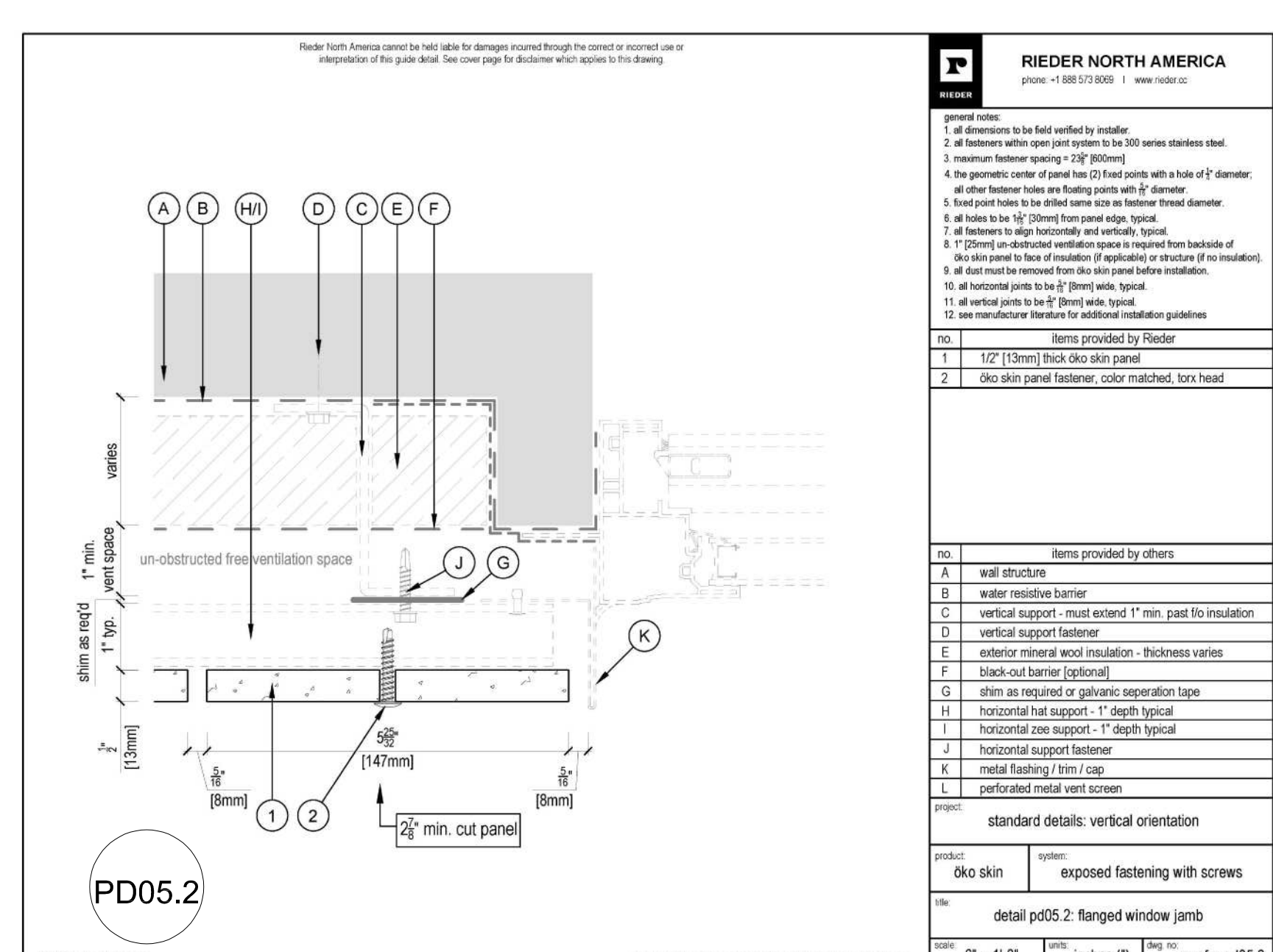
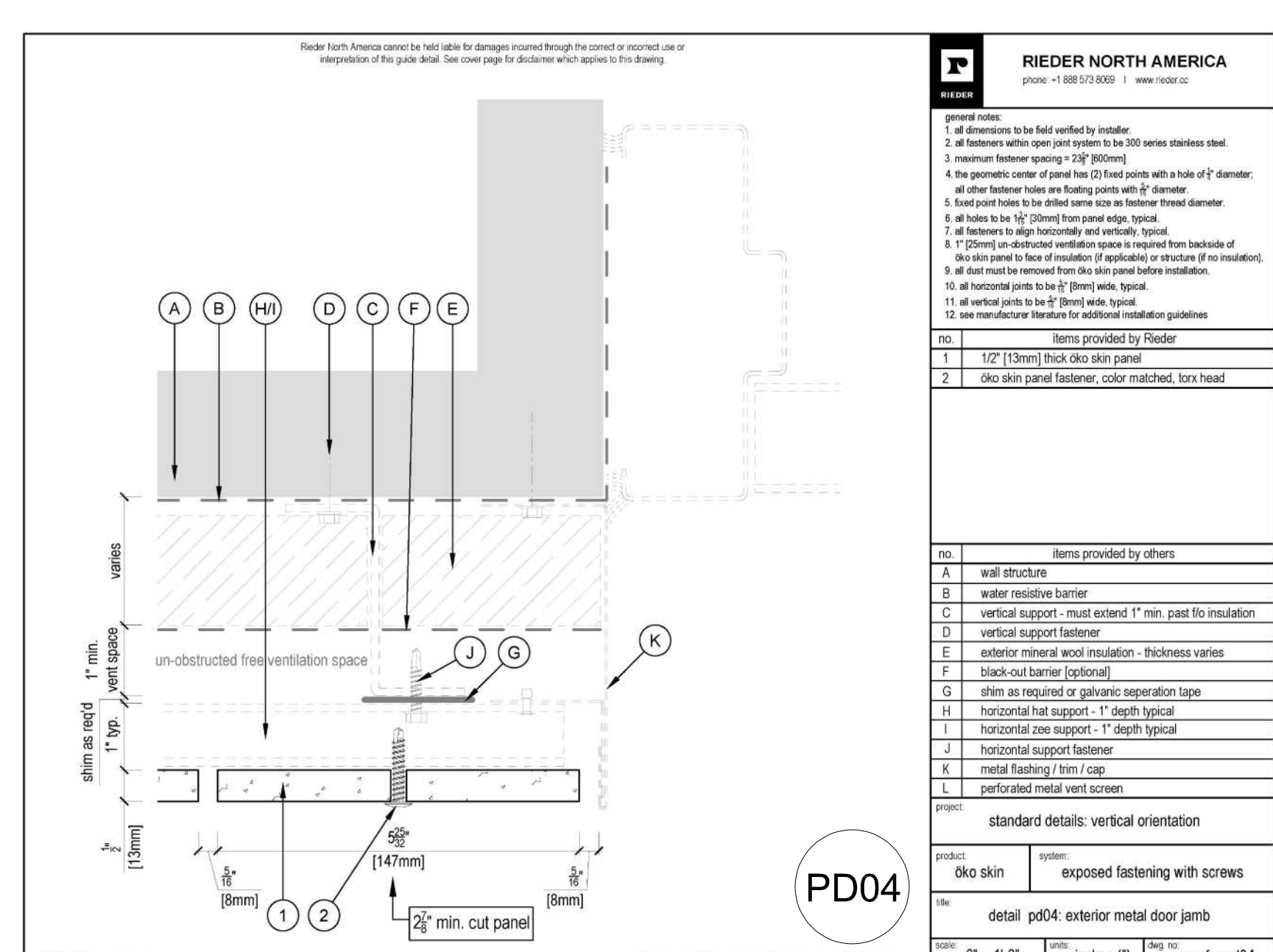
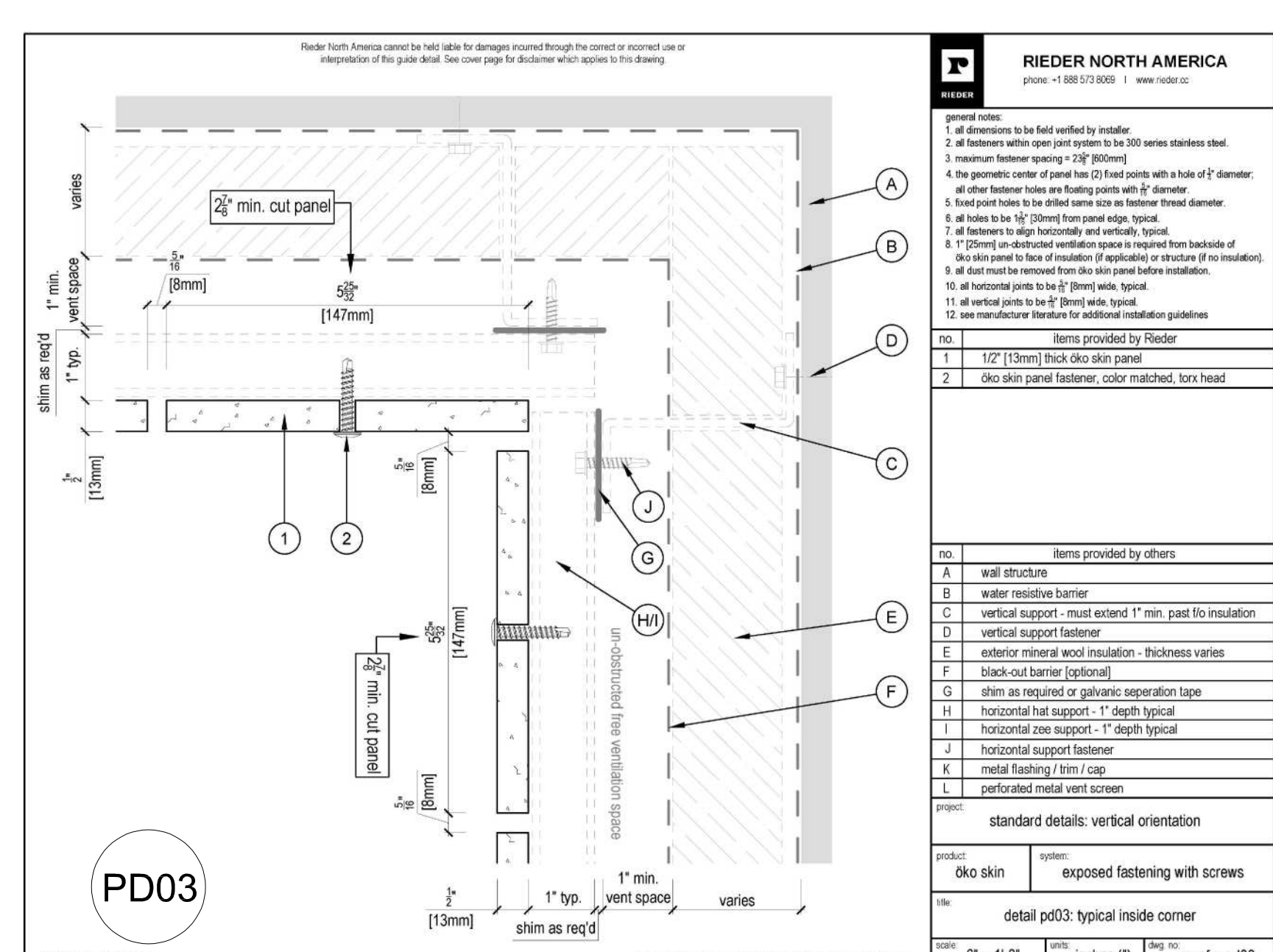
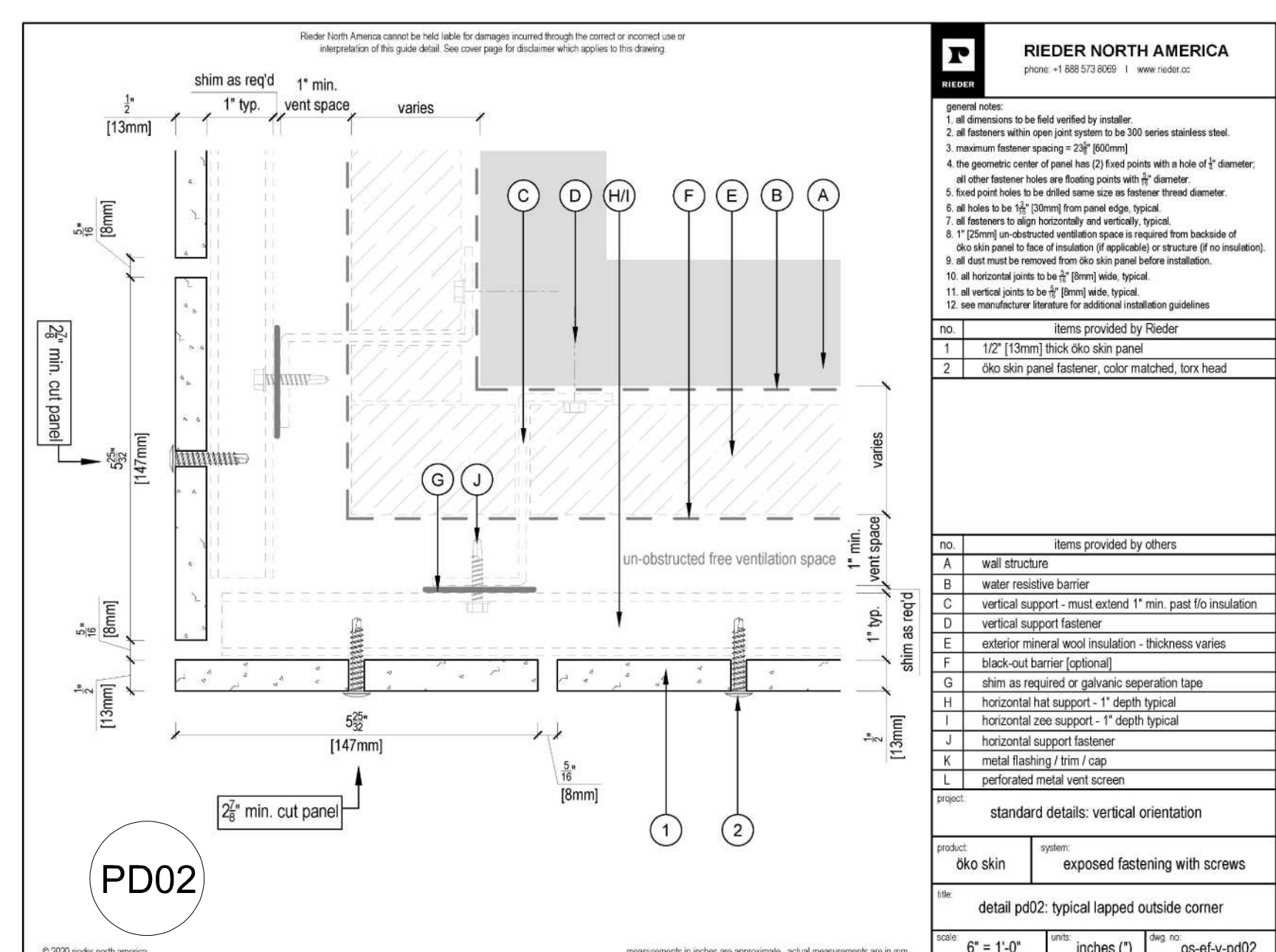
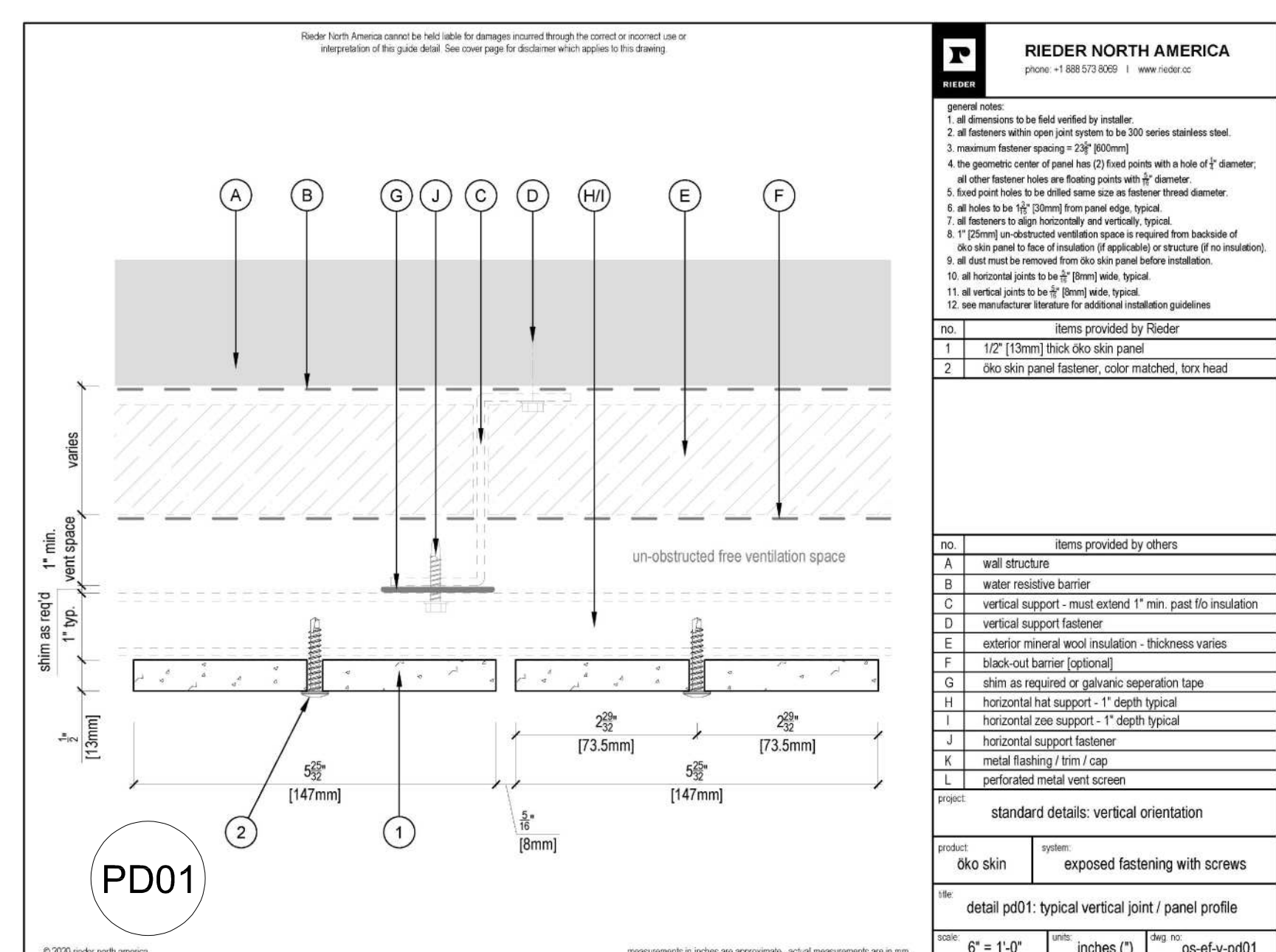
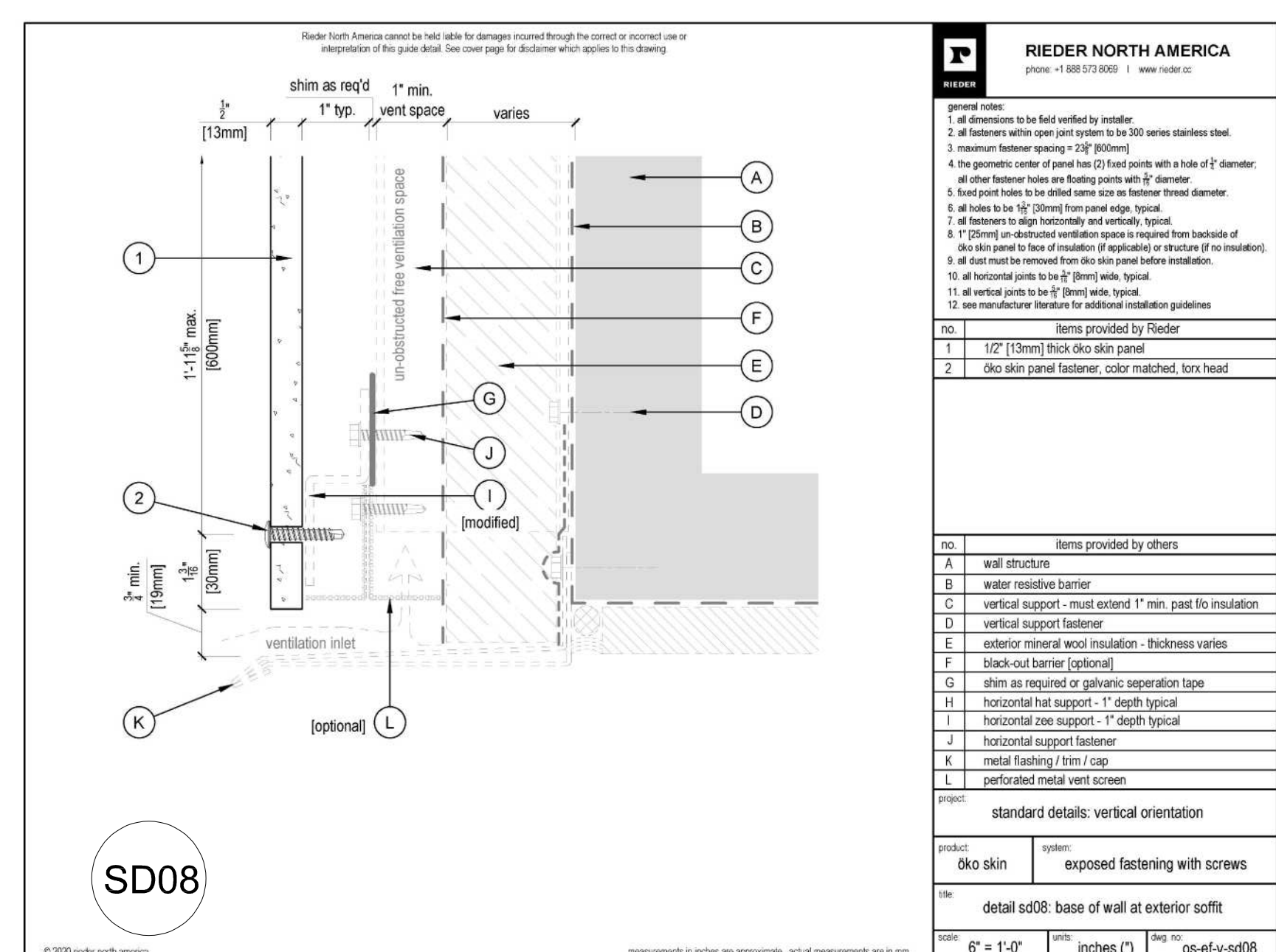
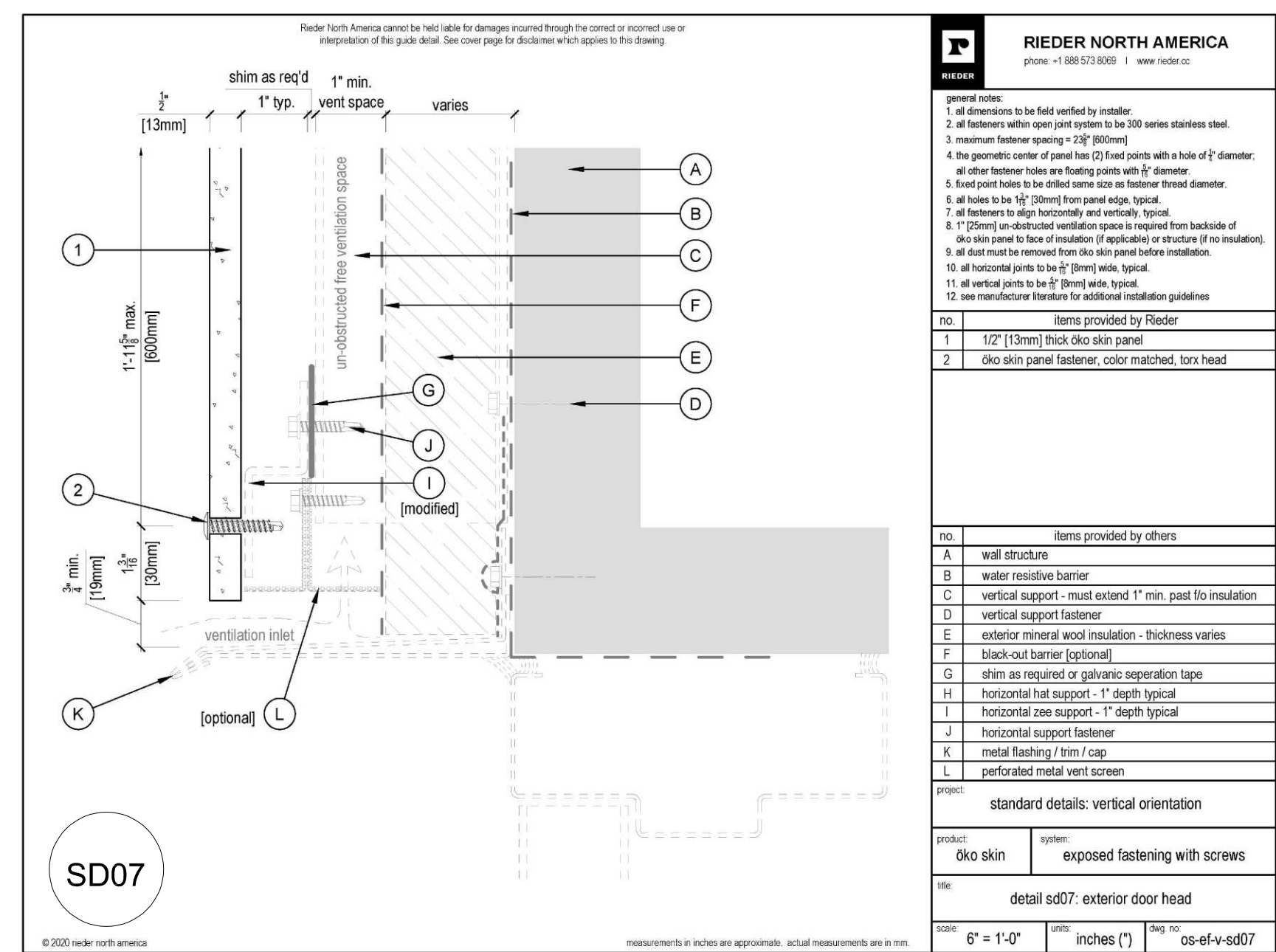
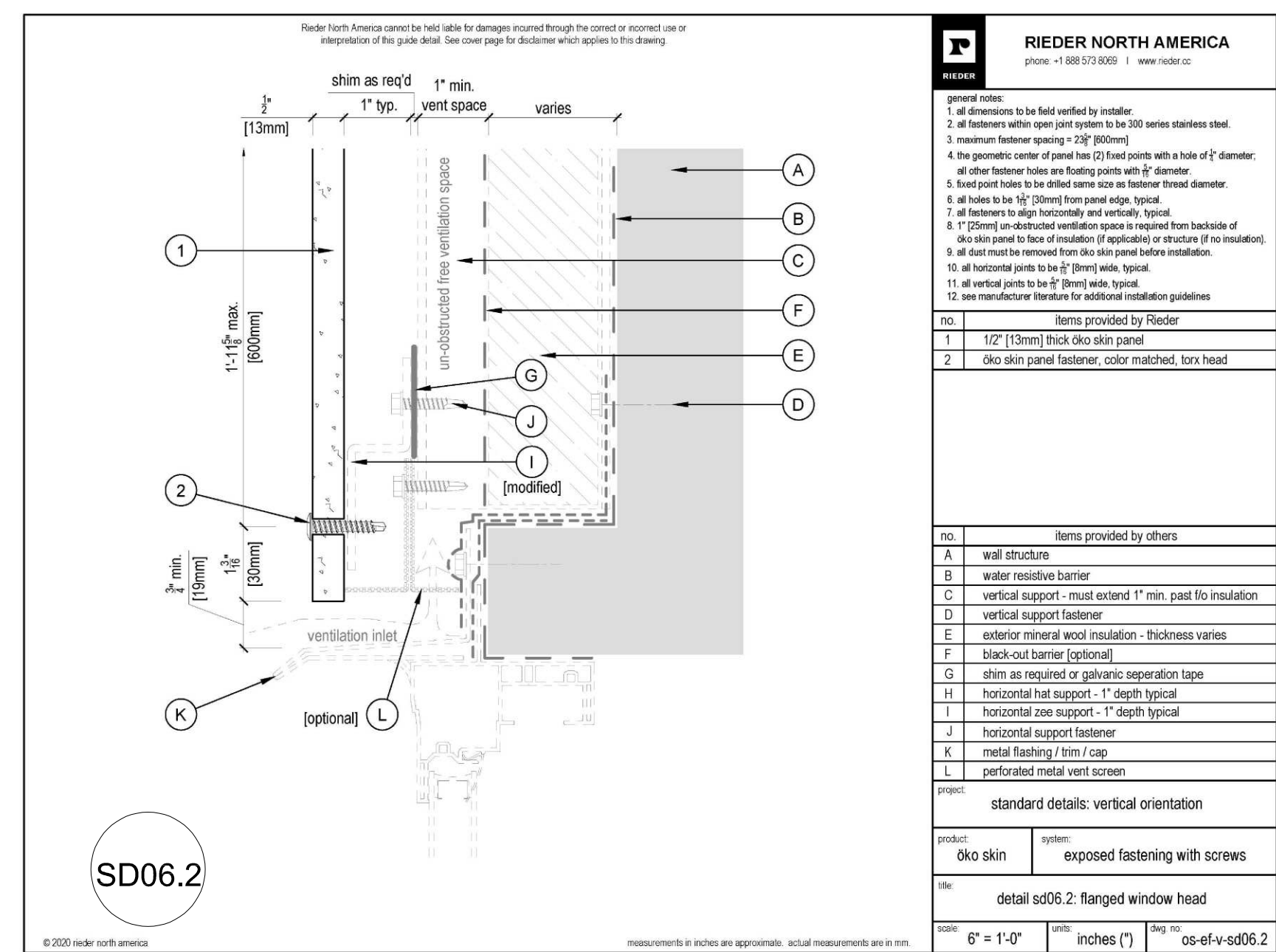
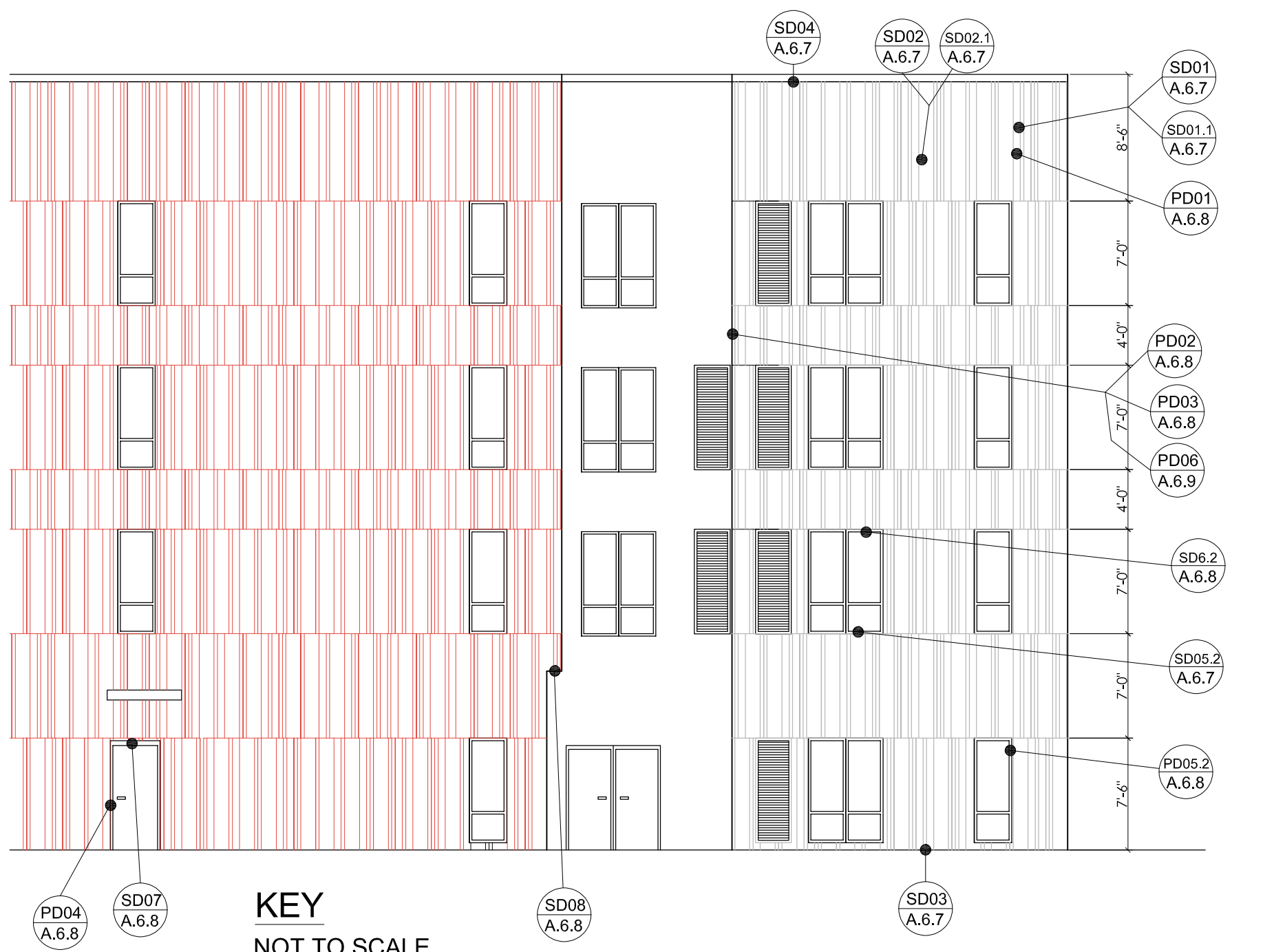
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SCALE: SEE DRAWING
DATE: 12/09/2021
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CITY PERMIT DRAWINGS
M.L.L. 2/16/22
DATE: 2/16/22
BY: M.L.L.

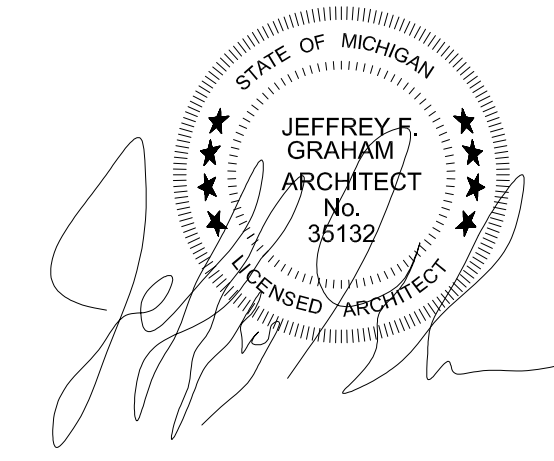
REVISION #1
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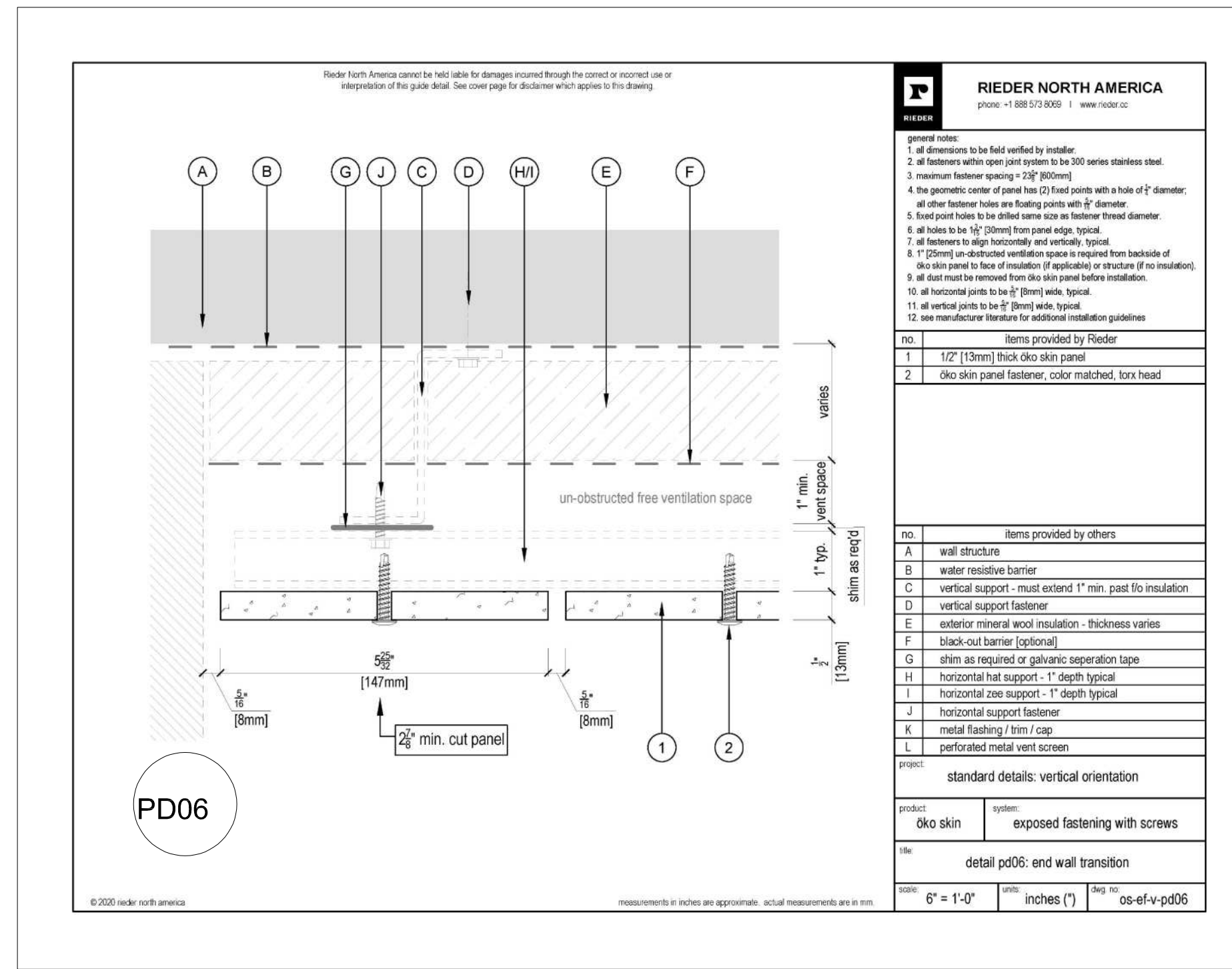
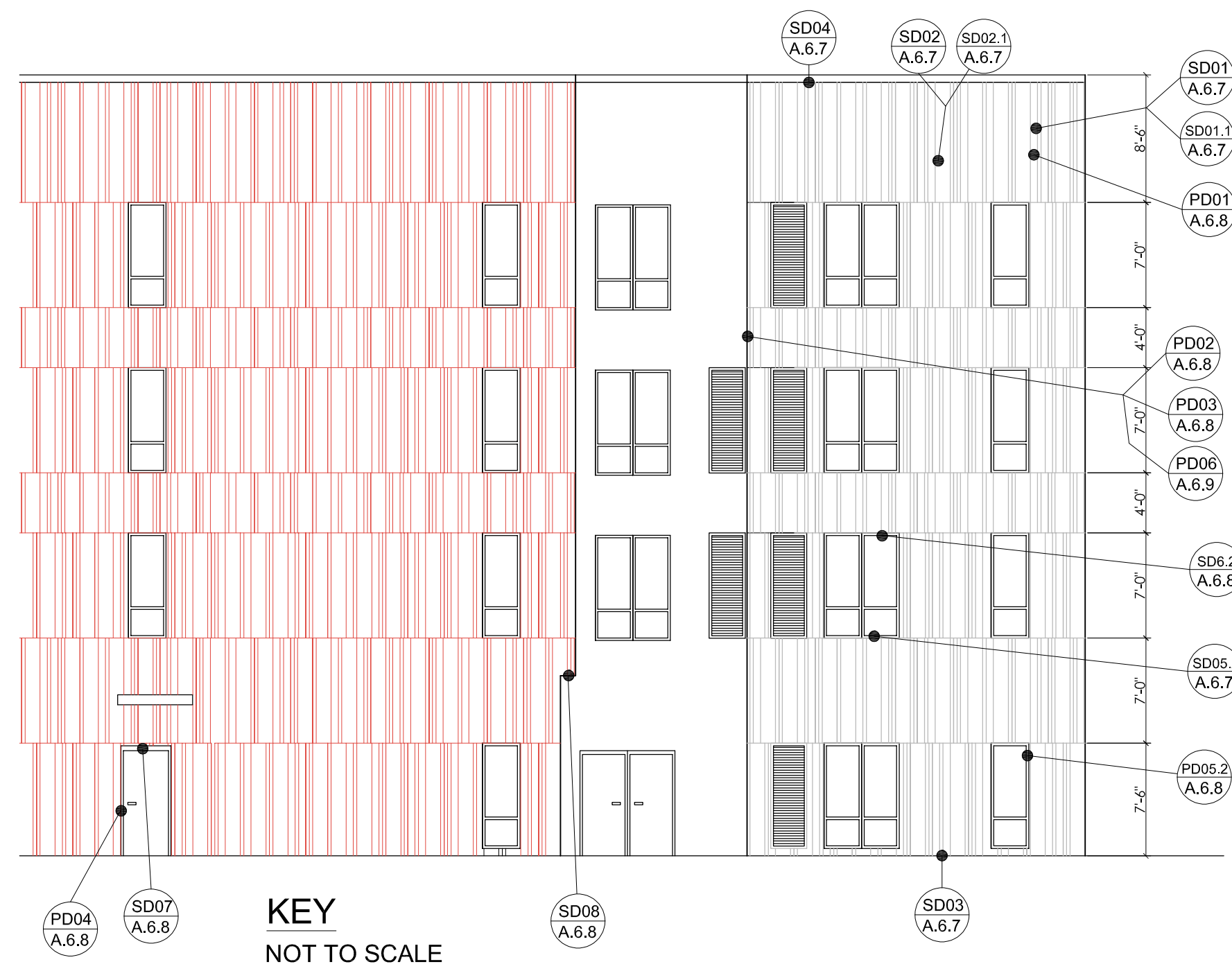
SHEET NO: A.6.8





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 CITY PERMIT DRAWINGS: M.L.L. 2/16/22 BY: M.L.L.
 REVISION: #1 DATE: 2/16/22 BY: M.L.L.
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 800-482-7171 (TOLL FREE)
 DRAWN BY: JFG
 SCALE: SEE DRAWING
 DATE: 12/09/2021
 PROJECT NO: 19-03104
 SHEET NO: A.6.9





NO.	REVISION	DATE	BY	DESCRIPTION
1	#1	2/16/22	M.L.	CITY PERMIT DRAWINGS

CLIENT: **MHT HOUSING, INC.**
BRUSH PARK APARTMENTS
 269 WINDER STREET, DETROIT MI
 SITE AREA: 39,501± SF OR 0.91± ACRES

CONCRETE PANELS
 DETAILS

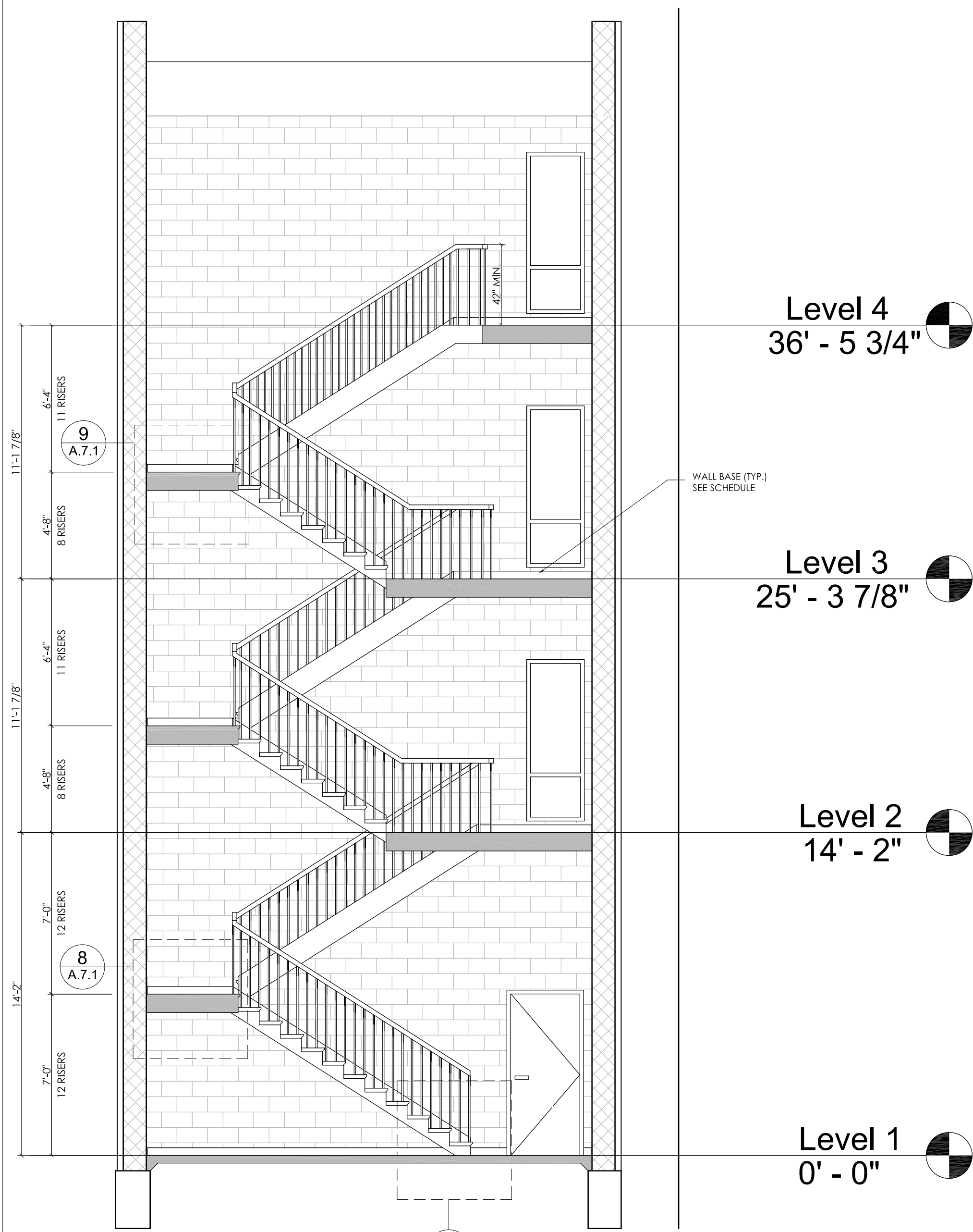
PROFESSIONAL ARCHITECTS
 PROFESSIONAL ENGINEERS
 PROFESSIONAL SURVEYORS
 22556 GRATIOT AVENUE
 FARMINGTON HILLS, MI 48334
 (586) 772-2222 PHONE
 (586) 772-4048 FAX

72 HOURS
 (3 WORKING DAYS)
**BEFORE YOU DIG
 CALL MISS DIG**
 800-482-7171
 (TOLL FREE)

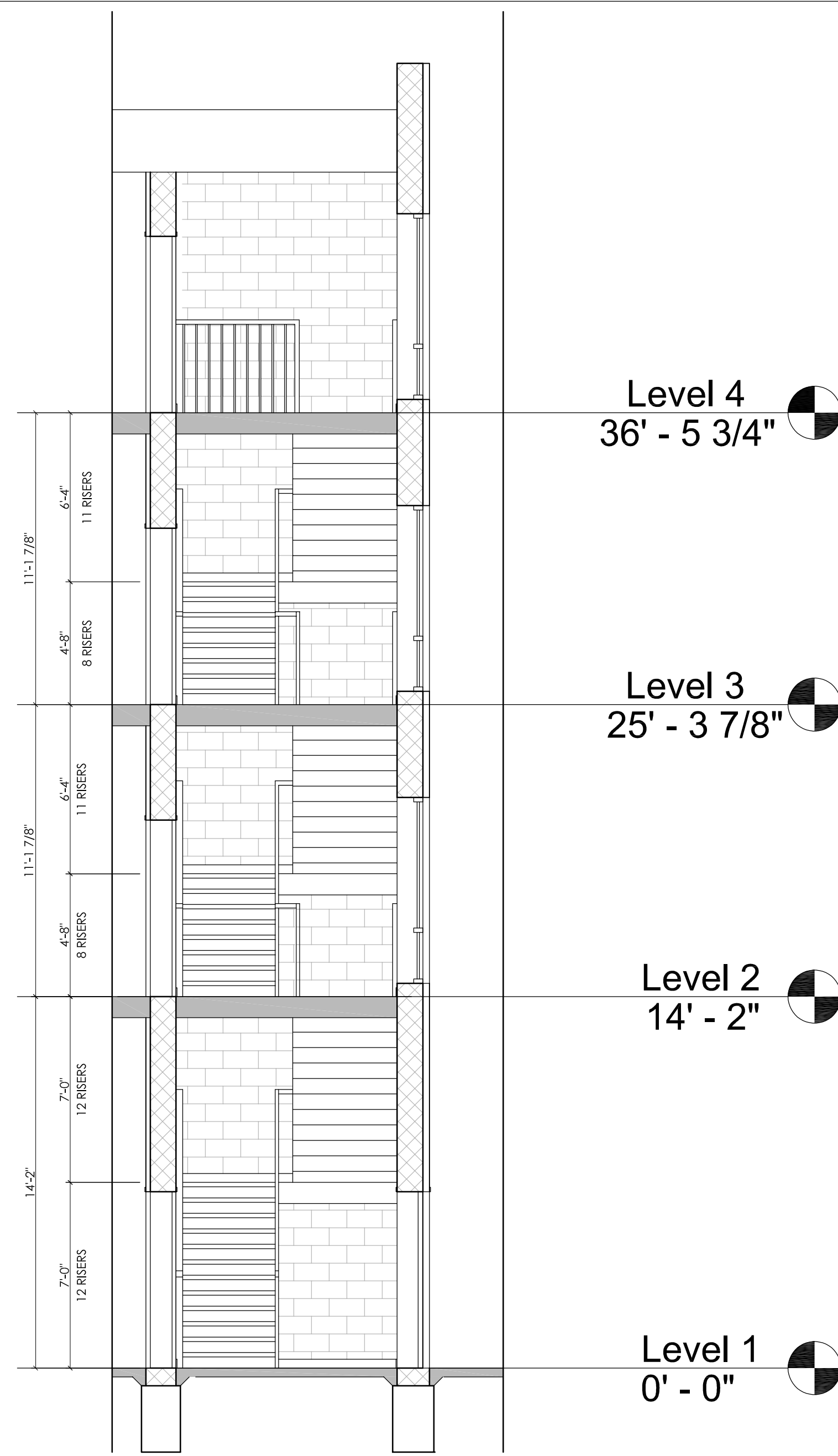
STATE OF MICHIGAN
 JEFFREY F. GRAHAM / ARCHITECT
 No. 36132
 LICENSED ARCHITECT

DRAWN BY: JFG
 SCALE: SEE DRAWING
 DATE: 12/09/2021
 PROJECT NO: 19-0304

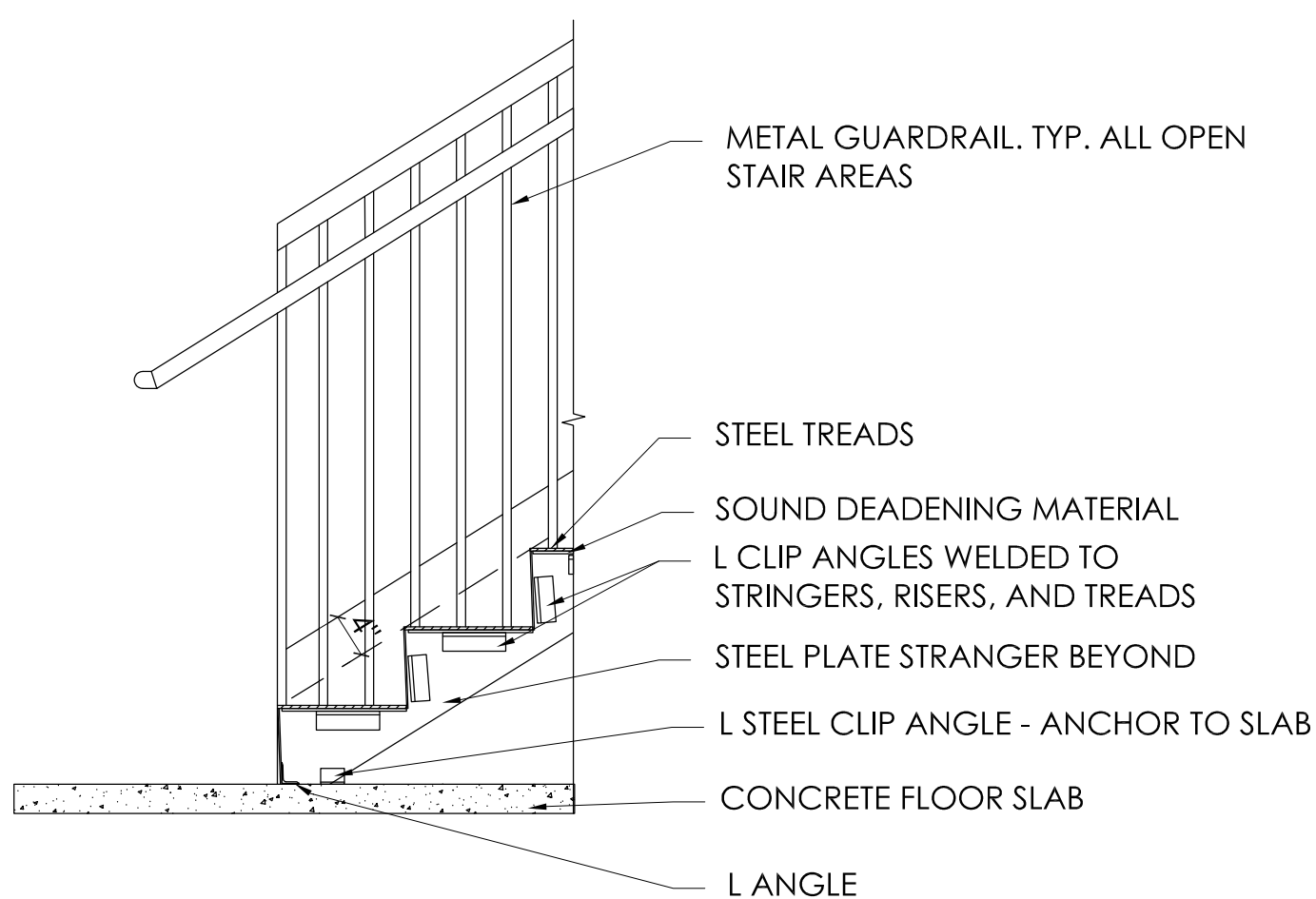
SHEET NO: **A.6.10**



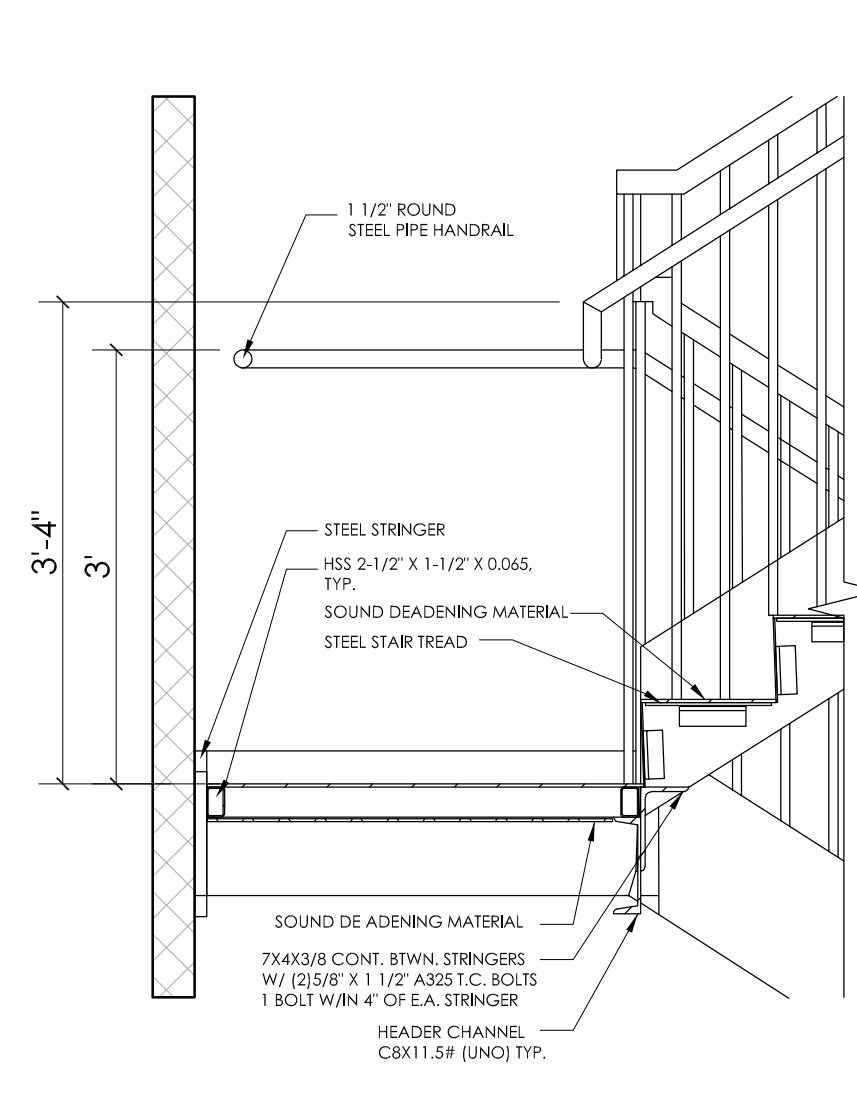
1 WEST STAIRWELL SECTION
SCALE: 1/4"=1'-0"



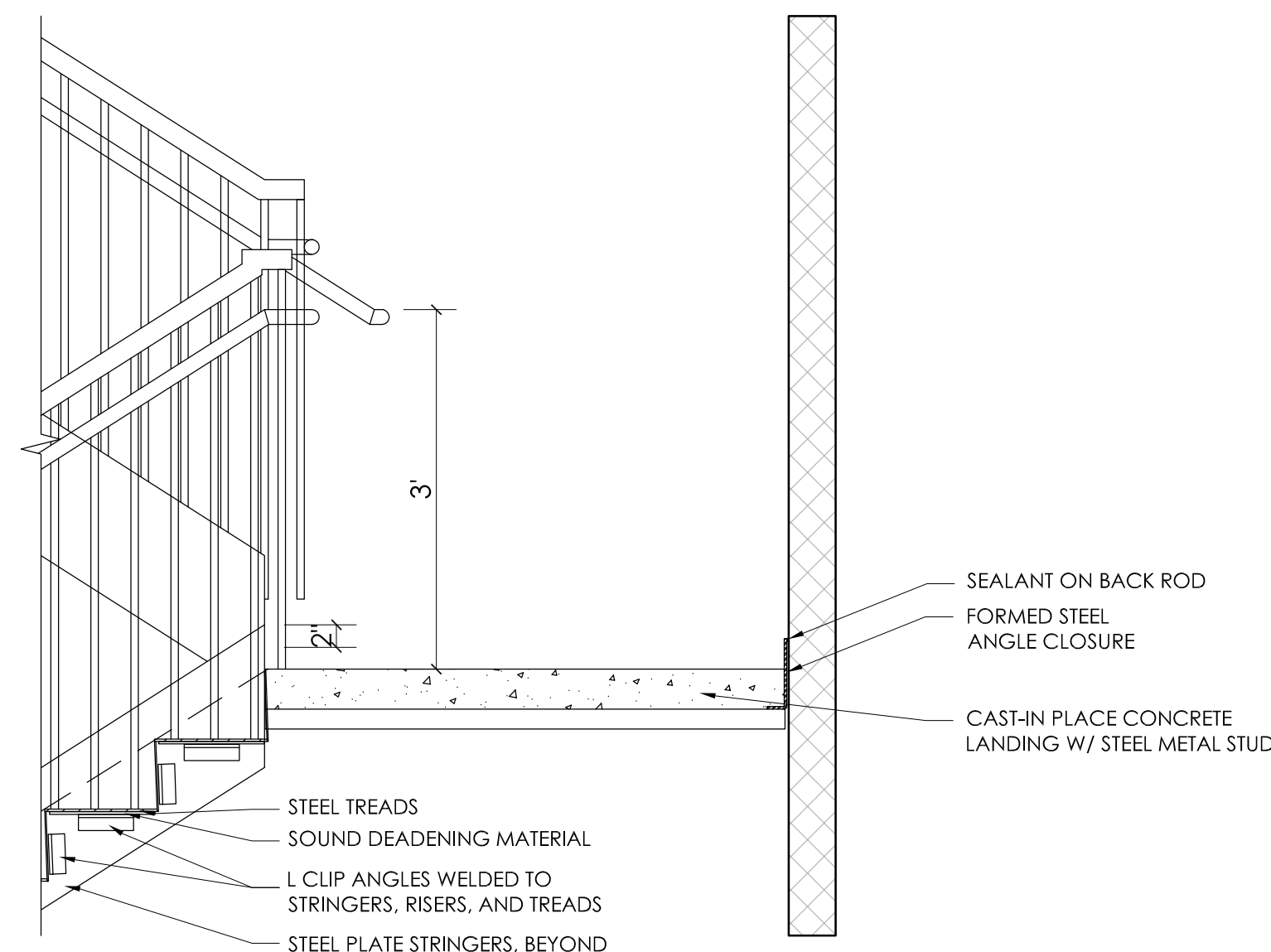
2 WEST STAIRWELL SECTION
SCALE: 1/4"=1'-0"



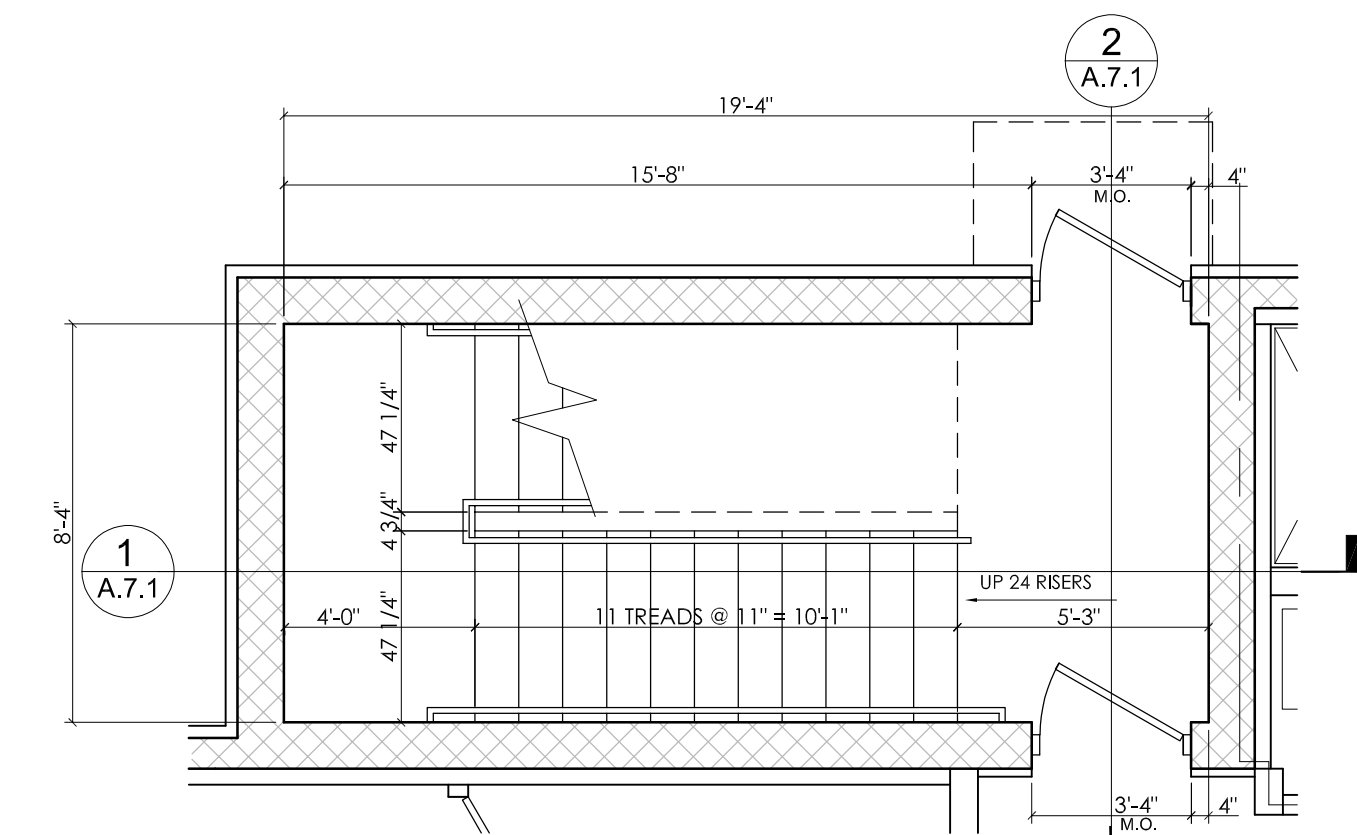
7 STAIRWELL DETAIL
SCALE: 3/4"=1'-0"



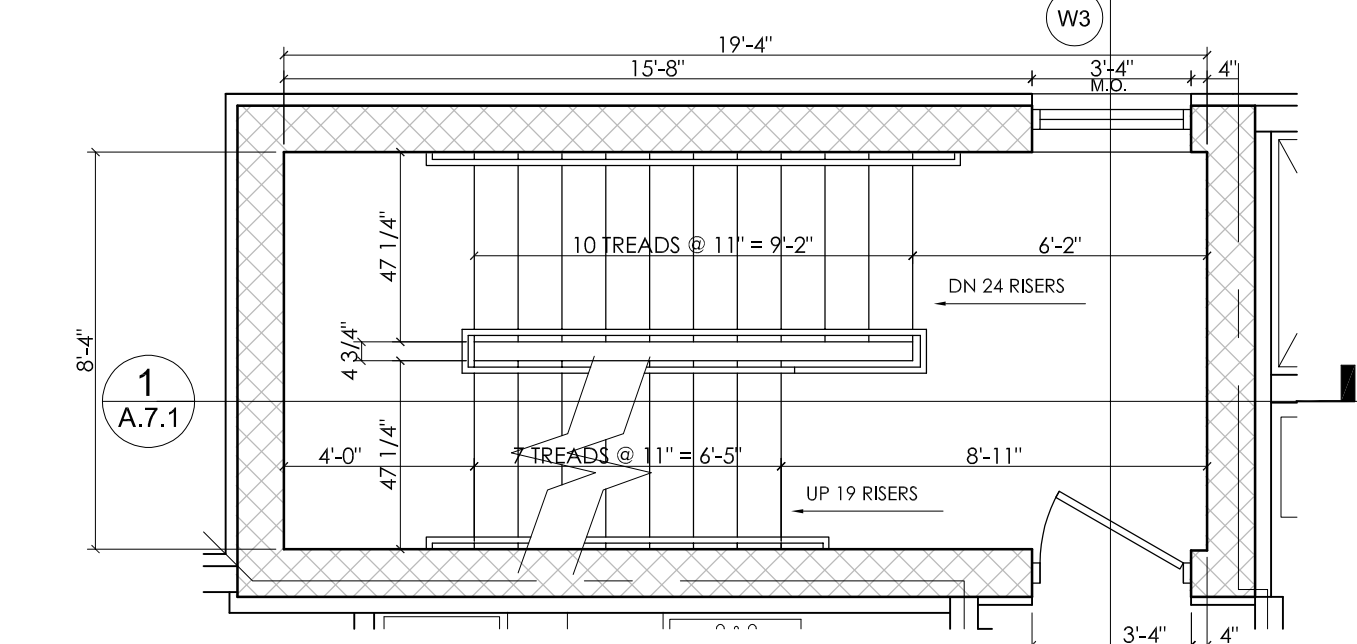
8 STAIRWELL DETAIL
SCALE: 3/4"=1'-0"



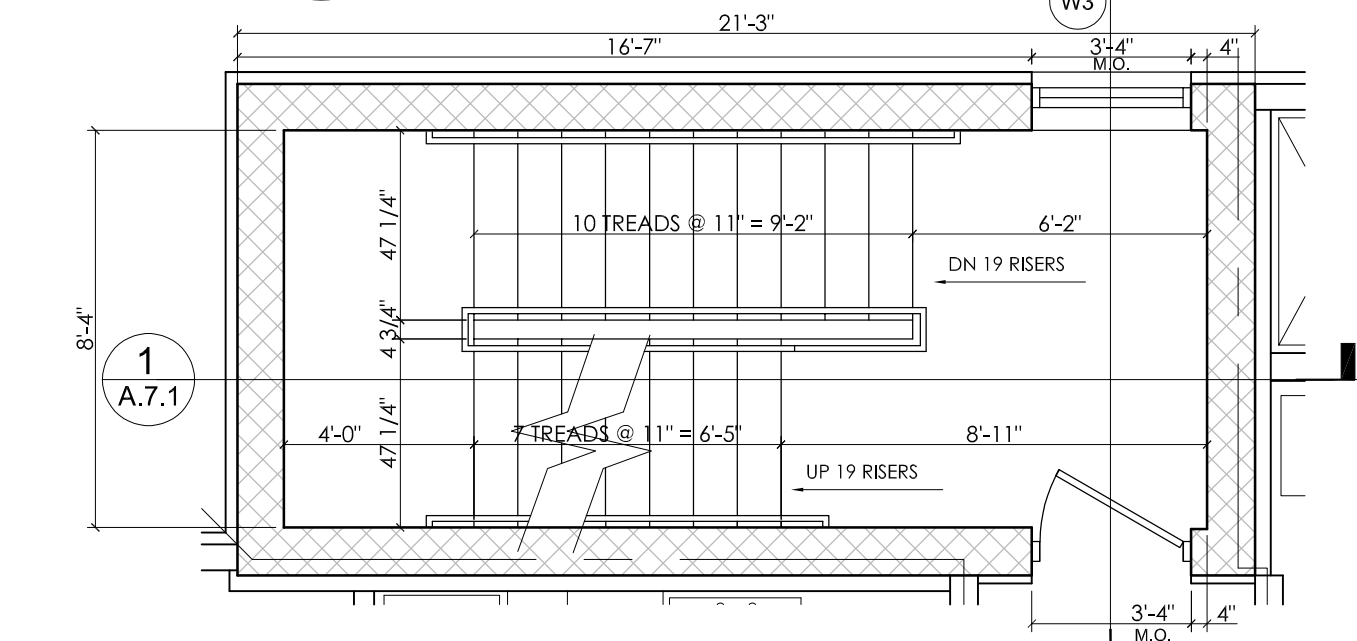
9 STAIRWELL DETAIL
SCALE: 3/4"=1'-0"



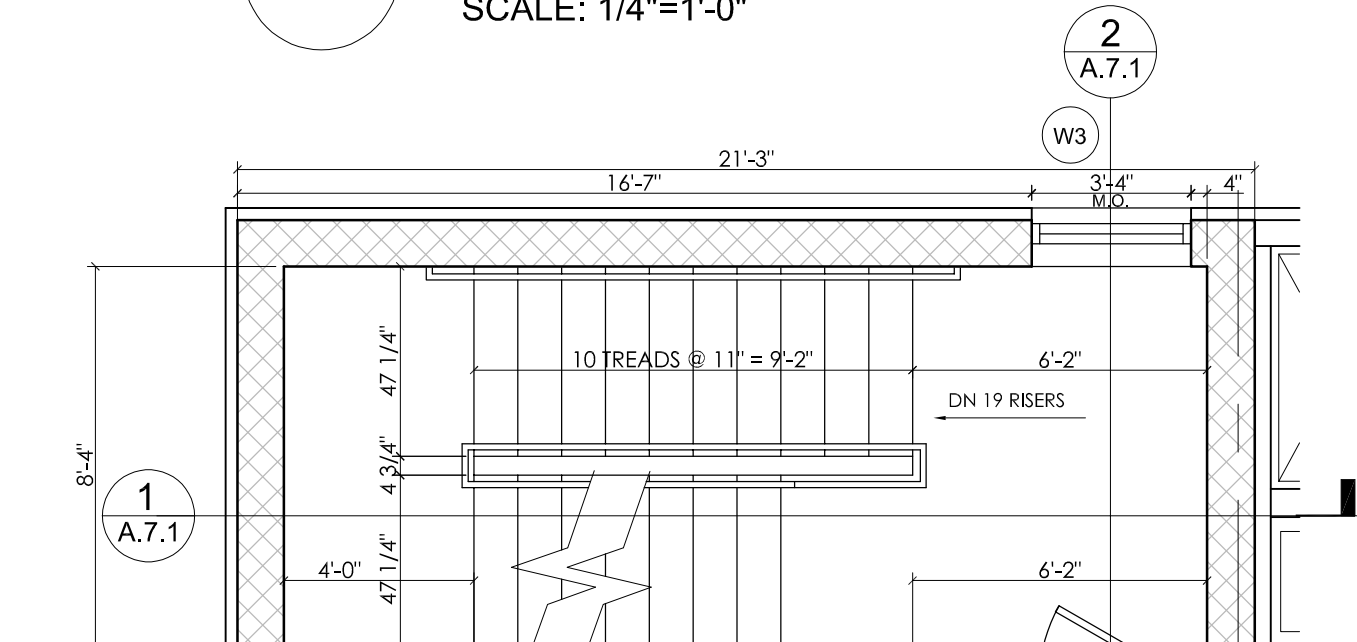
3 WEST STAIRWELL FIRST FLOOR
SCALE: 1/4"=1'-0"



4 WEST STAIRWELL SECOND FLOOR
SCALE: 1/4"=1'-0"



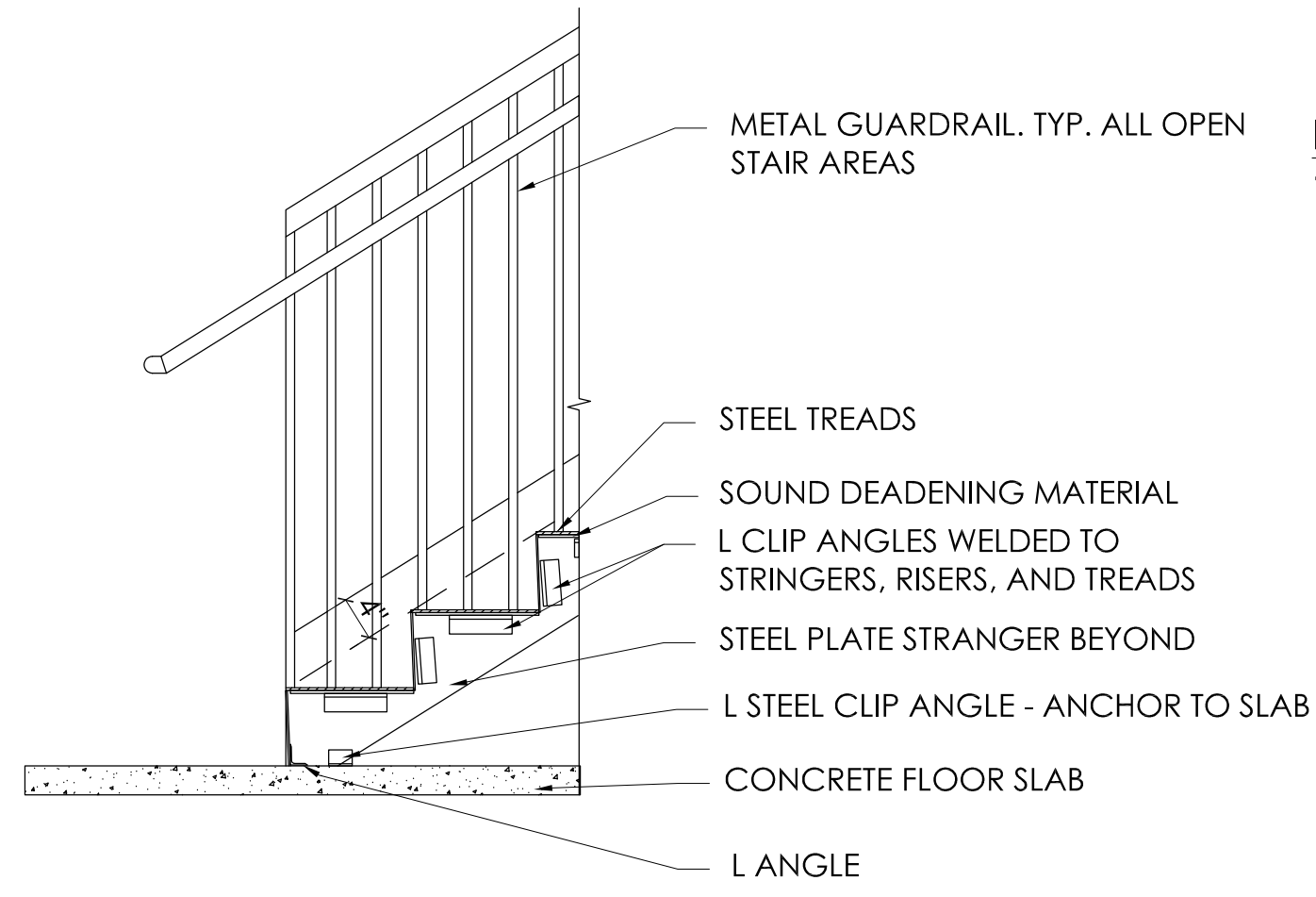
5 WEST STAIRWELL THIRD FLOOR
SCALE: 1/4"=1'-0"



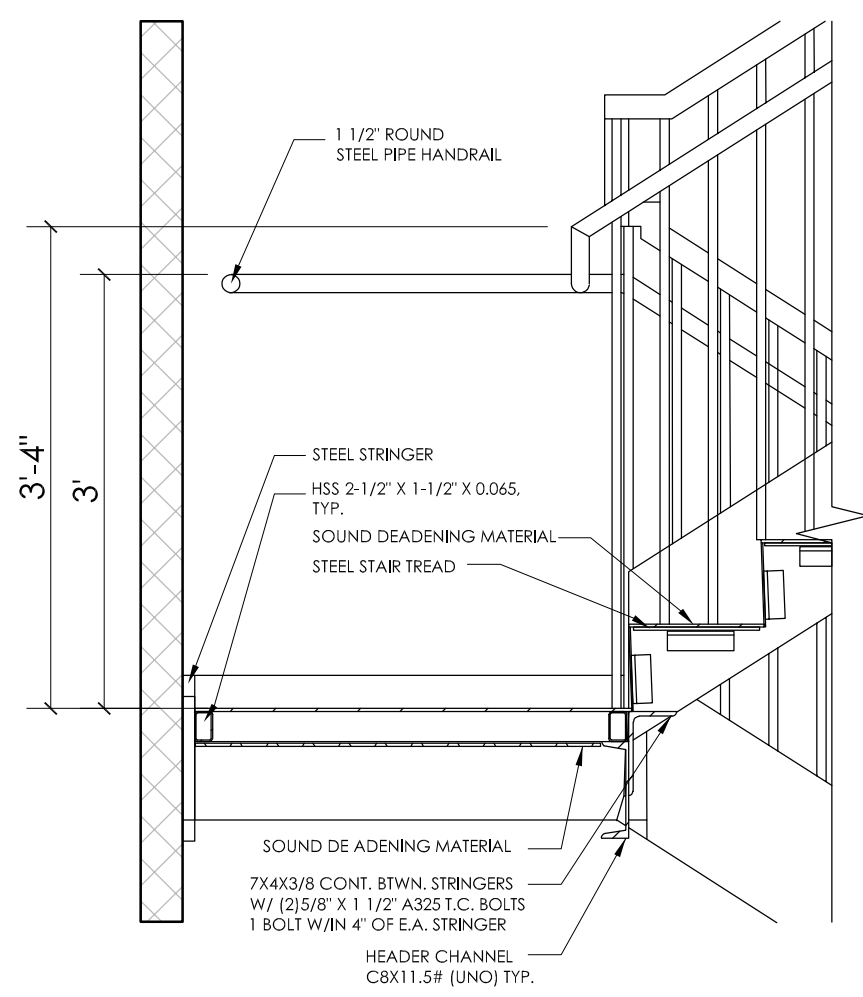
6 WEST STAIRWELL FOURTH FLOOR
SCALE: 1/4"=1'-0"



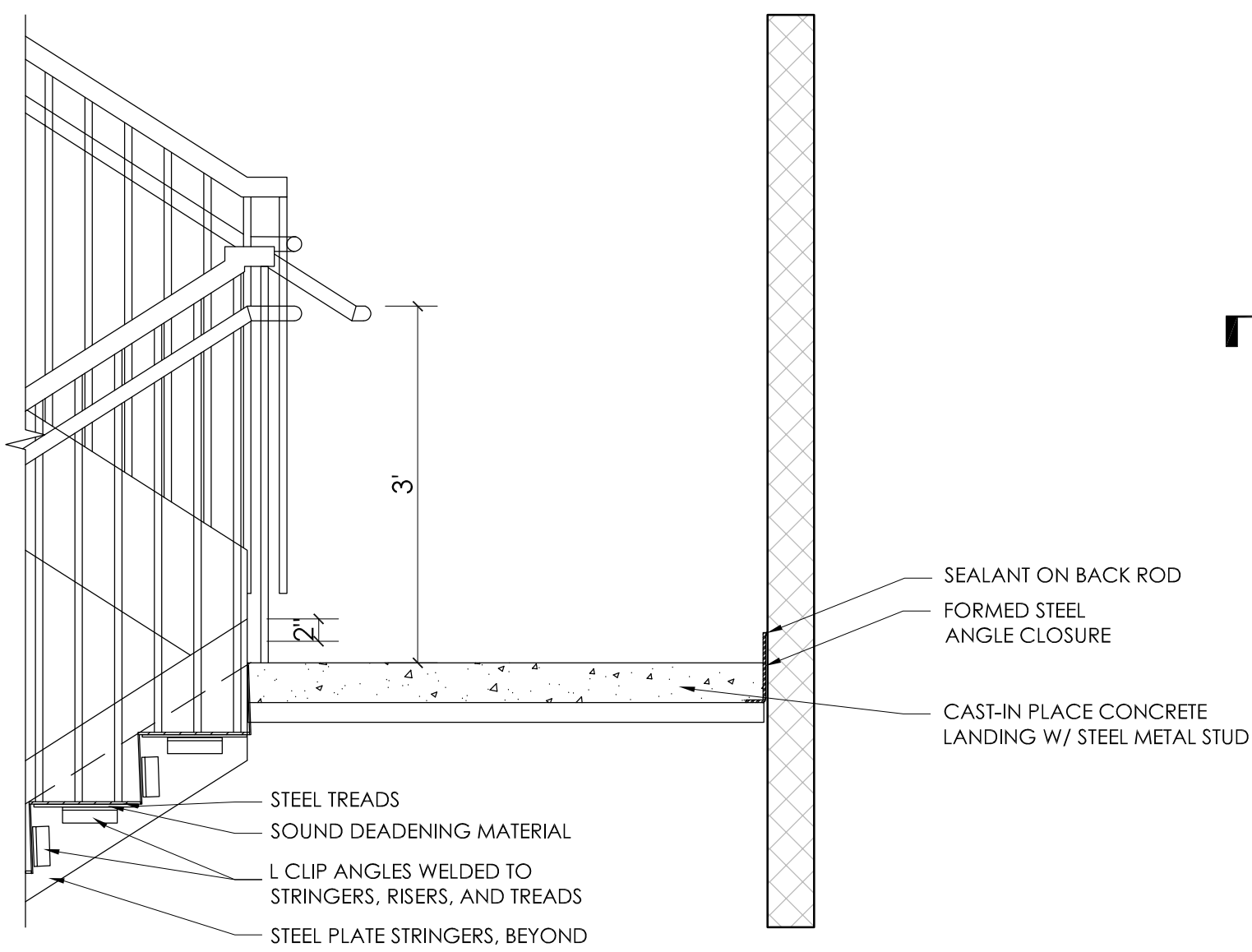
CLIENT:	MHT HOUSING, INC.
PROJECT:	BRUSH PARK APARTMENTS
DATE:	2/16/22
REVISION #:	
BY:	M.L.B.
DESCRIPTION:	CITY PERMIT DRAWINGS
PROFESSIONAL ARCHITECTS:	KEM-TEC & ASSOCIATES
PROFESSIONAL ENGINEERS:	
PROFESSIONAL SURVEYORS:	
ADDRESS:	22556 GRATIOT AVENUE
PHONE:	(586) 772-2222
FAX:	(586) 772-4048
STAIR PLAN, DETAILS & SECTIONS	
SITE AREA:	39,501± SF OR 0.91± ACRES
269 WINDER STREET, DETROIT MI	
72 HOURS (3 WORKING DAYS)	
BEFORE YOU DIG CALL MISS DIG	
800-482-7171	
(TOLL FREE)	
DRAWN BY:	M.L.B.
SCALE:	SEE DRAWING
DATE:	12/09/2021
PROJECT NO.:	19-03104
SHEET NO.:	A.7.1



7 STAIRWELL DETAIL
SCALE: 3/4"=1'-0"



8 STAIRWELL DETAIL
SCALE: 3/4"=1'-0"



9 STAIRWELL DETAIL
SCALE: 3/4"=1'-0"

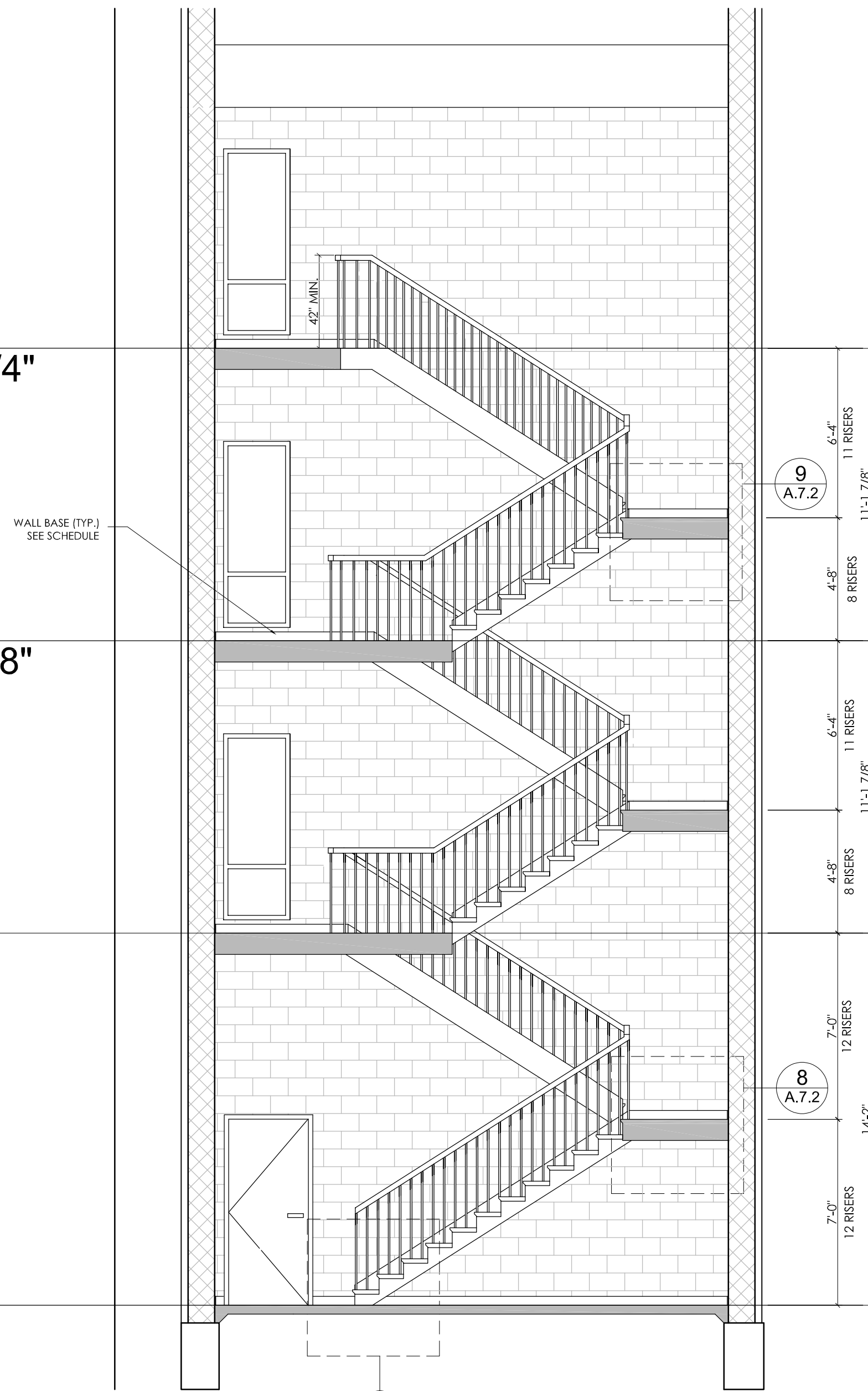
NOTE
1. THESE ARE PRE-ENGINEERED STEEL STAIRCASES. MANUFACTURER TO PROVIDE SHOP DRAWINGS FOR REVIEW.

Level 4
36' - 5 3/4"

Level 3
25' - 3 7/8"

Level 2
14' - 2"

Level 1
0' - 0"



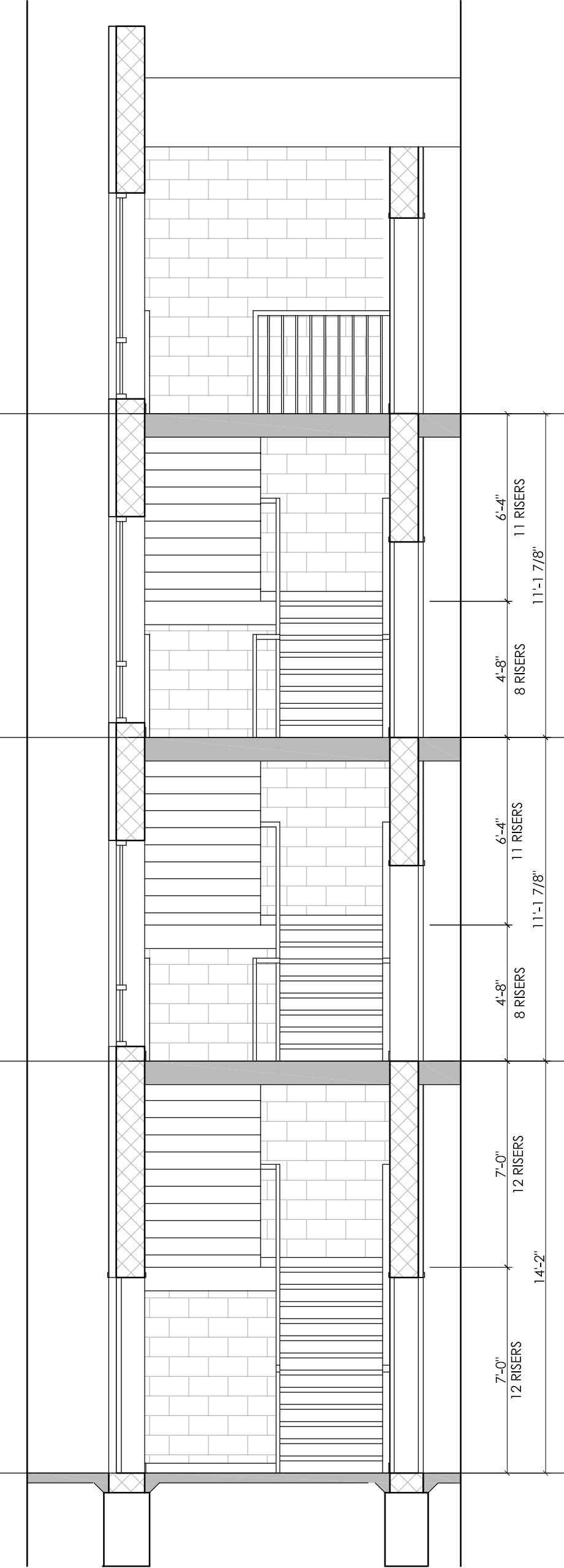
1 NORTH STAIRWELL SECTION
SCALE: 1/4"=1'-0"

Level 4
36' - 5 3/4"

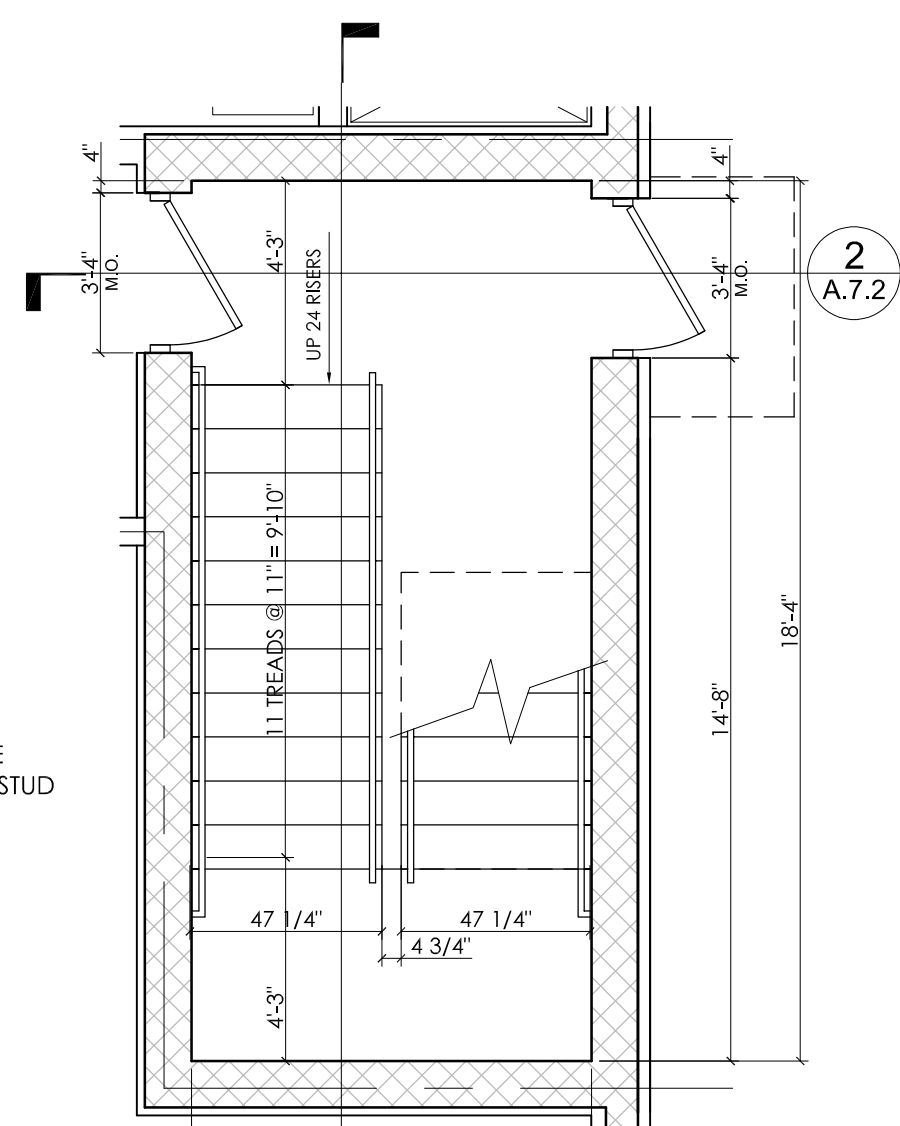
Level 3
25' - 3 7/8"

Level 2
14' - 2"

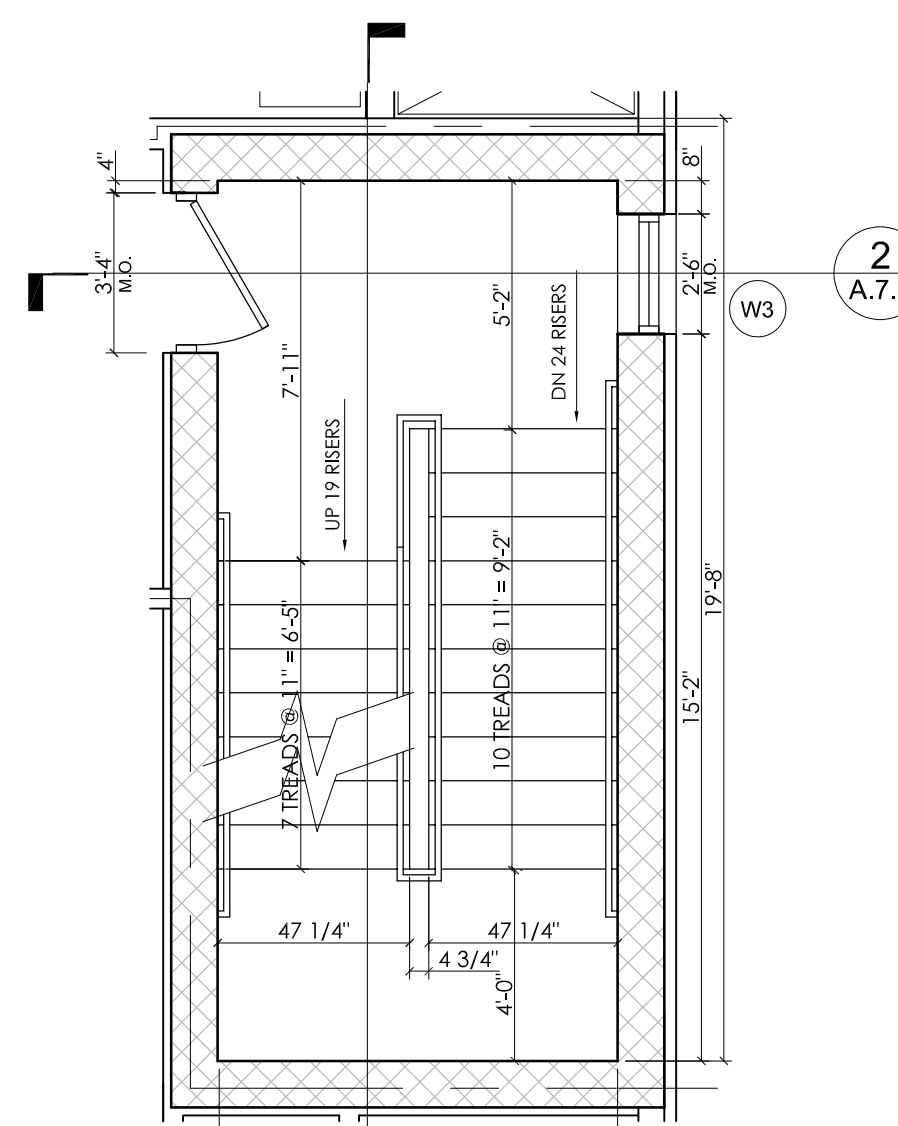
Level 1
0' - 0"



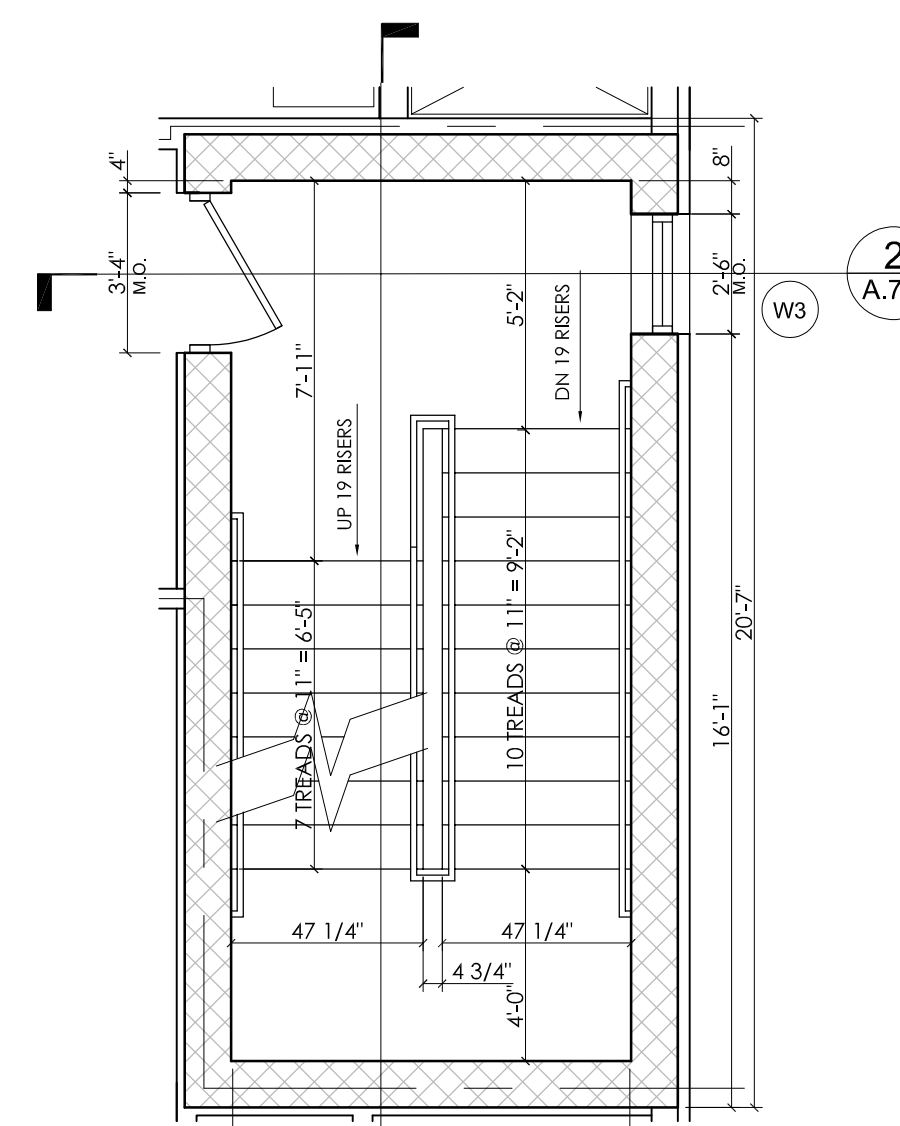
2 NORTH STAIRWELL SECTION
SCALE: 1/4"=1'-0"



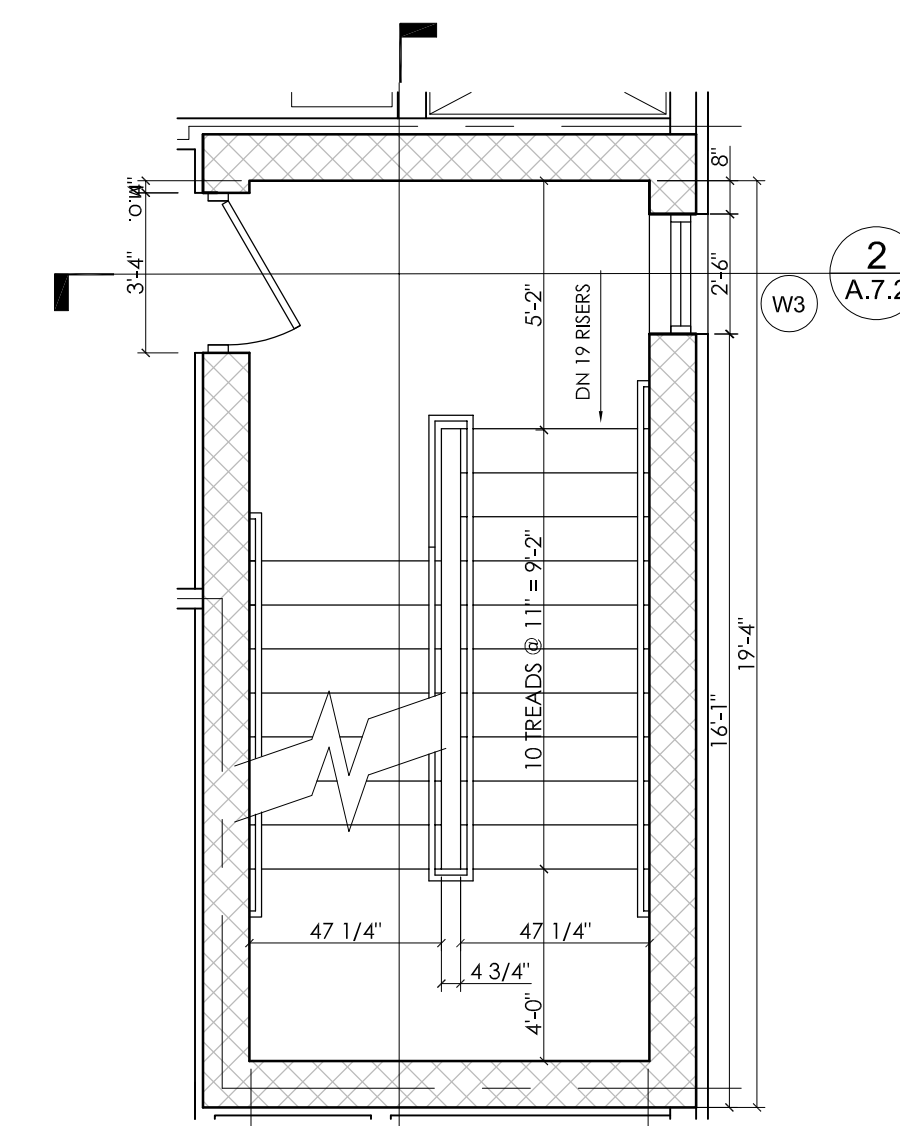
3 NORTH STAIRWELL FIRST FLOOR
SCALE: 1/4"=1'-0"



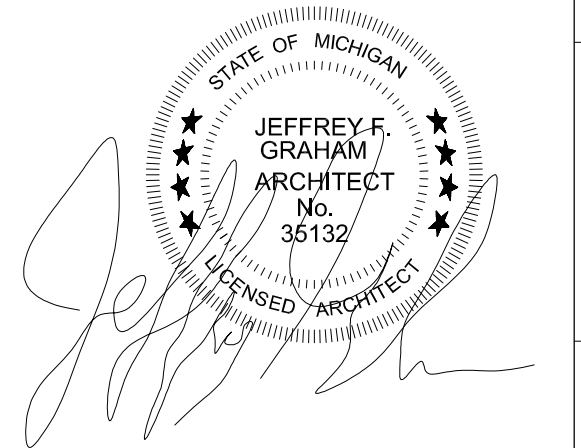
4 NORTH STAIRWELL SECOND FLOOR
SCALE: 1/4"=1'-0"



5 NORTH STAIRWELL THIRD FLOOR
SCALE: 1/4"=1'-0"



6 NORTH STAIRWELL FOURTH FLOOR
SCALE: 1/4"=1'-0"



CLIENT:	MHT HOUSING, INC.
PROJECT:	BRUSH PARK APARTMENTS
DATE:	2/16/22
REVISION:	#1
BY:	M.L.B.G.
DESCRIPTION:	CITY PERMIT DRAWINGS

269 WINDER STREET, DETROIT MI
SITE AREA: 39,501± SF OR 0.91± ACRES

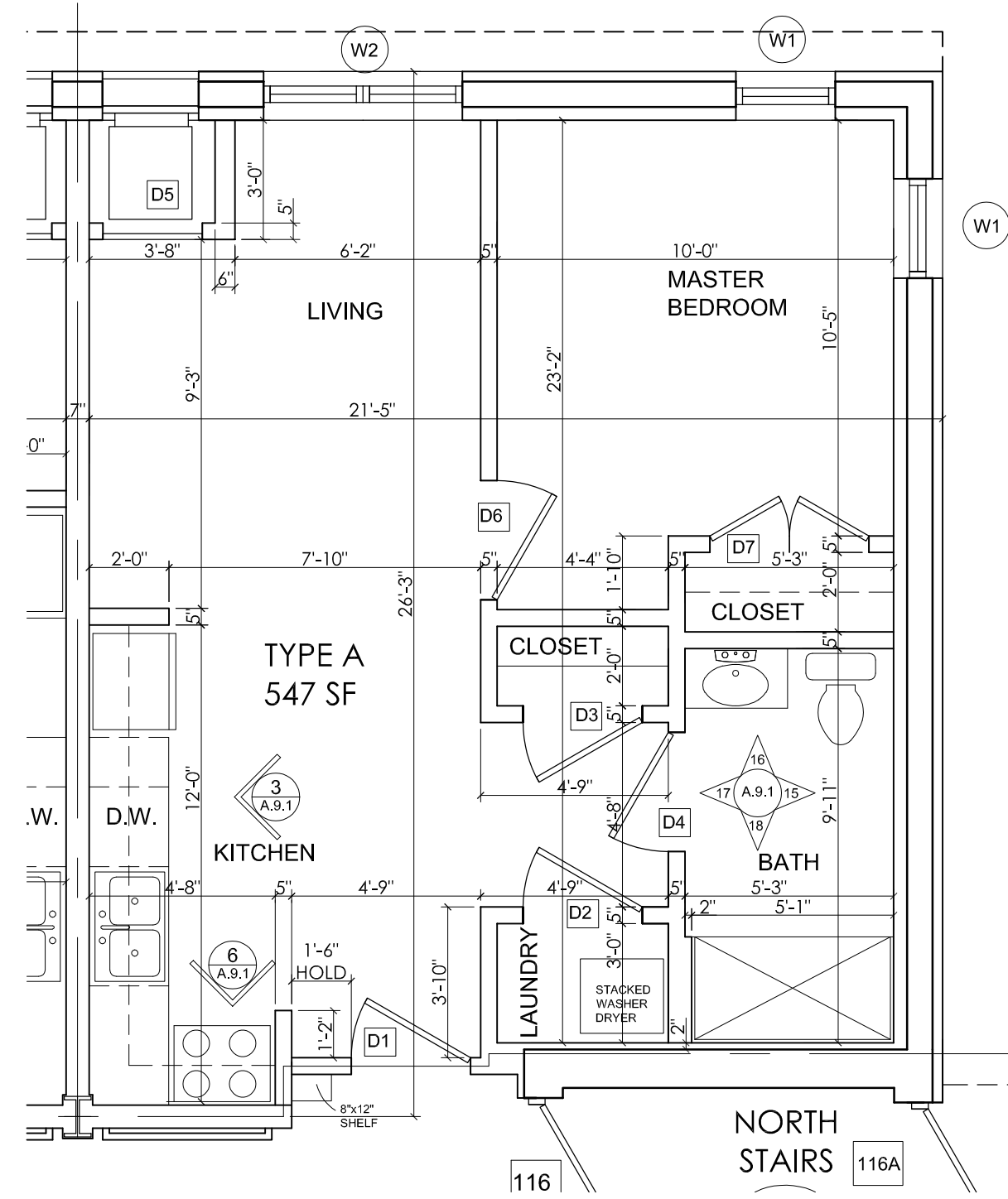
STAIR PLAN, DETAILS & SECTIONS

PROFESSIONAL ARCHITECTS
PROFESSIONAL ENGINEERS
PROFESSIONAL SURVEYORS
22556 GRATIOT AVENUE
DETROIT MI 48219
(586)772-2222 PHONE
(586)772-4048 FAX

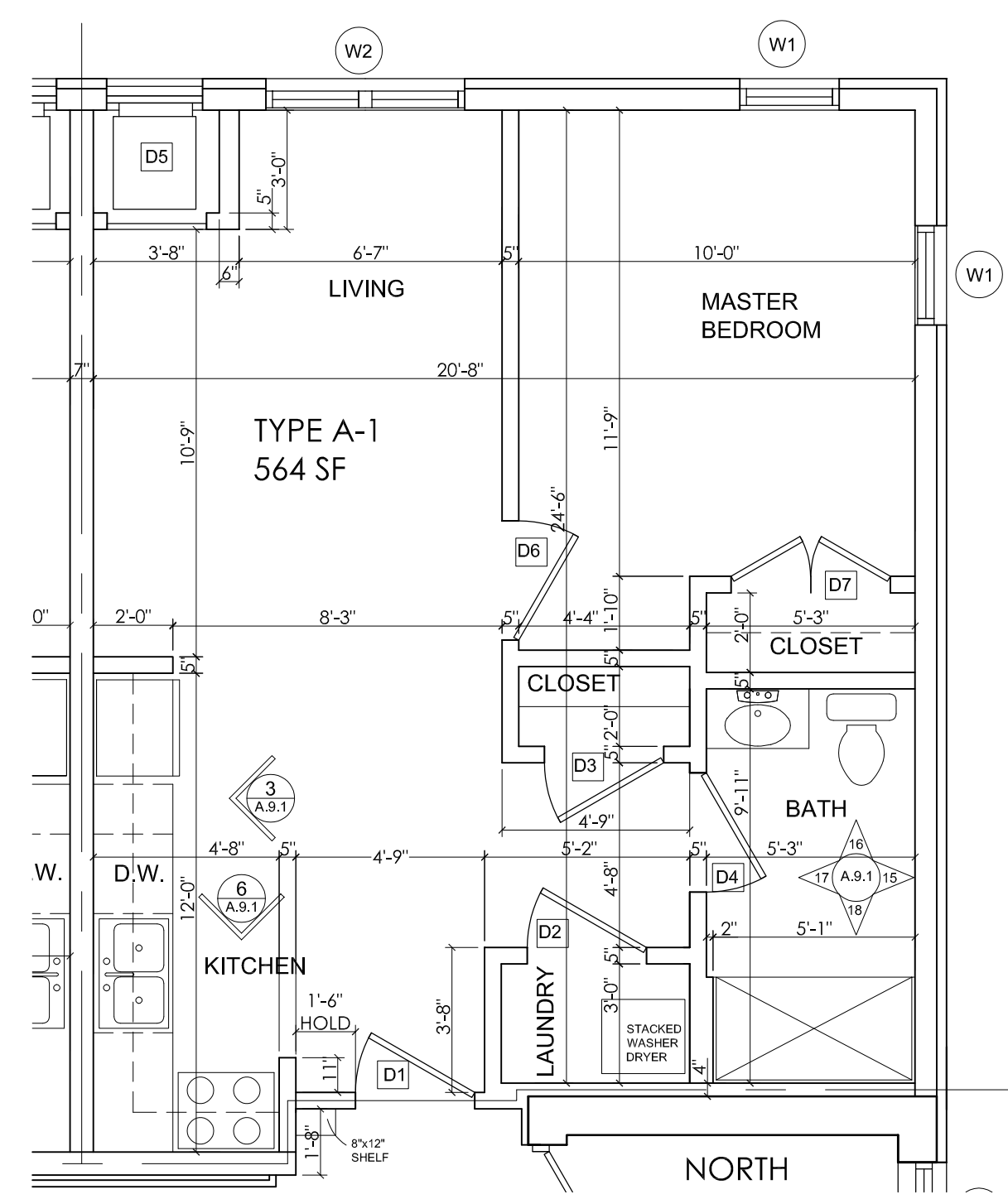
72 HOURS (3 WORKING DAYS)
BEFORE YOU DIG
CALL MISS DIG
800-482-7171
(TOLL FREE)

DRAWN BY: M.L.B.G.
SCALE: SEE DRAWING
DATE: 12/09/2021
PROJECT NO: 19-03104

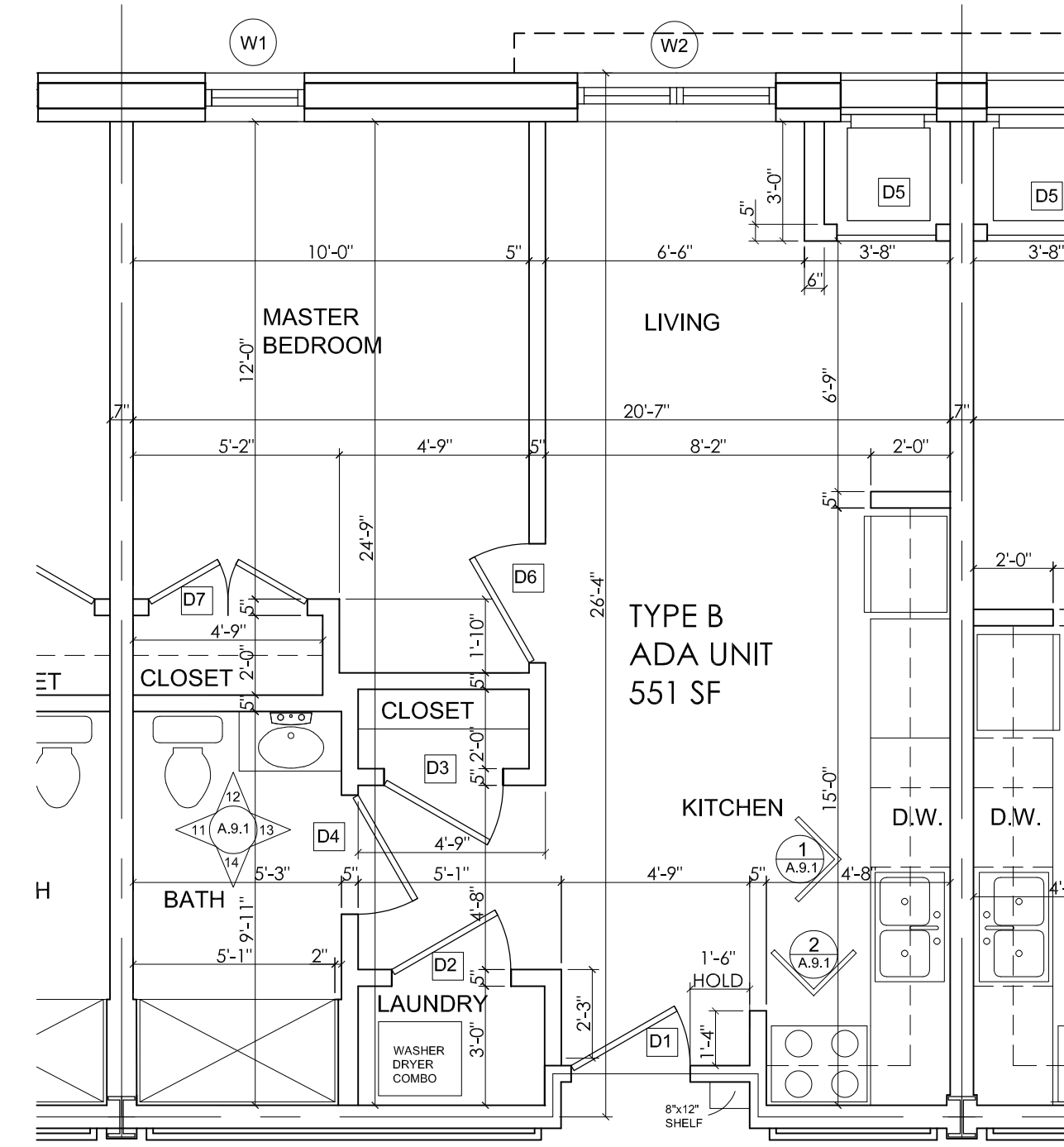
SHEET NO: **A.7.2**



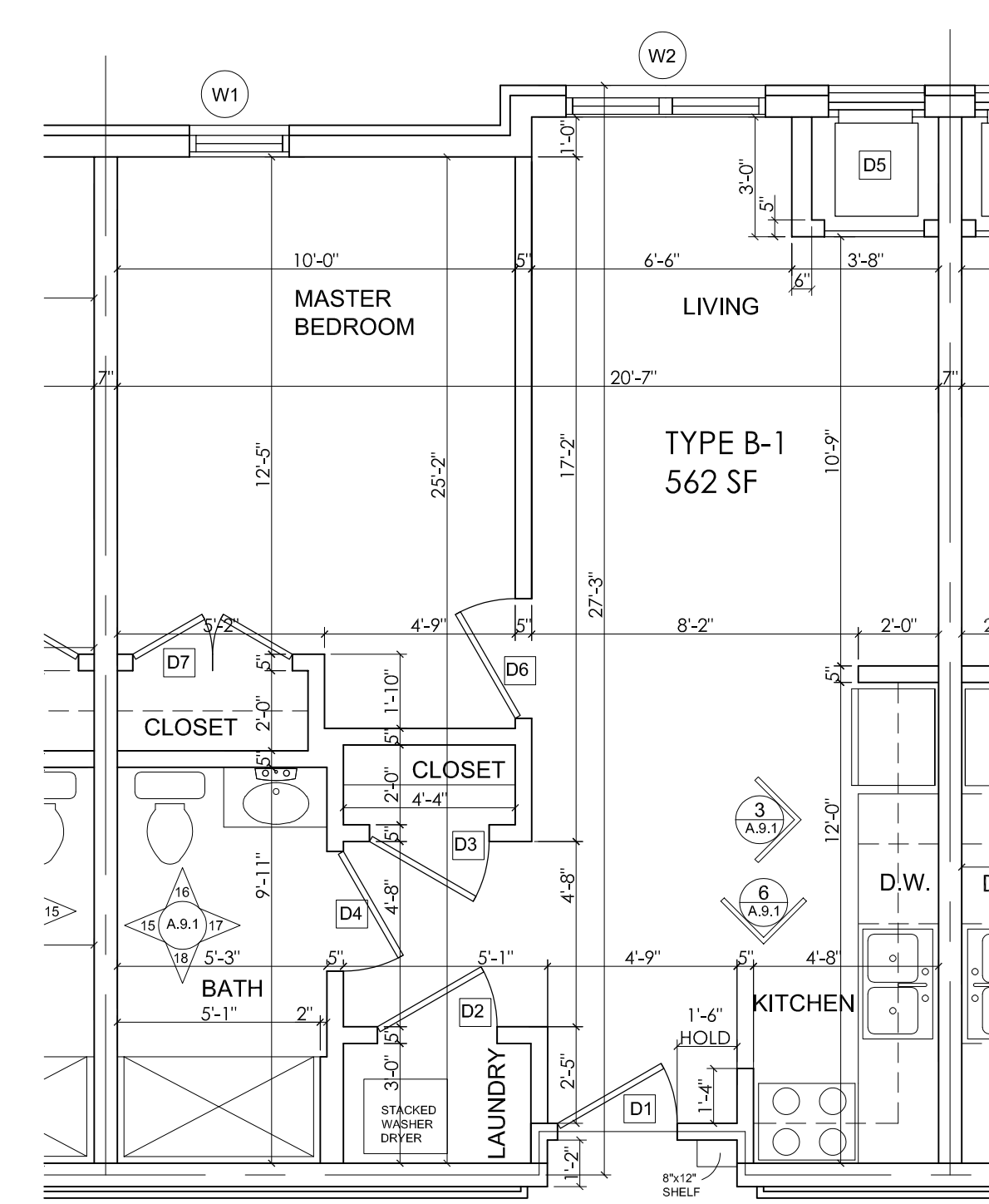
A UNIT TYPE "A" - 547 SF
SCALE: 1/4"=1'-0"



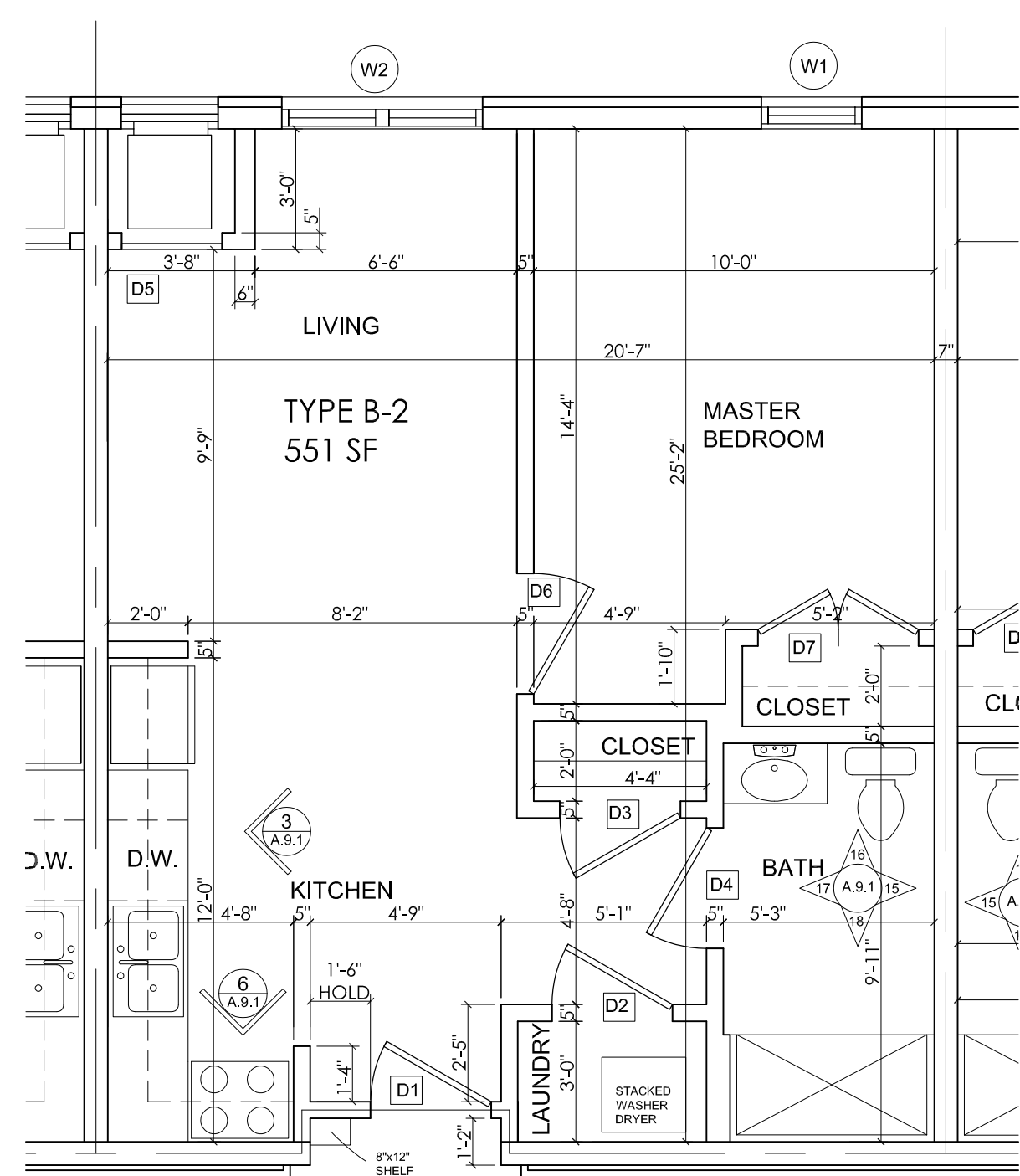
A-1 TYPICAL UNIT TYPE "A-1" - 564 SF
SCALE: 1/4"=1'-0"



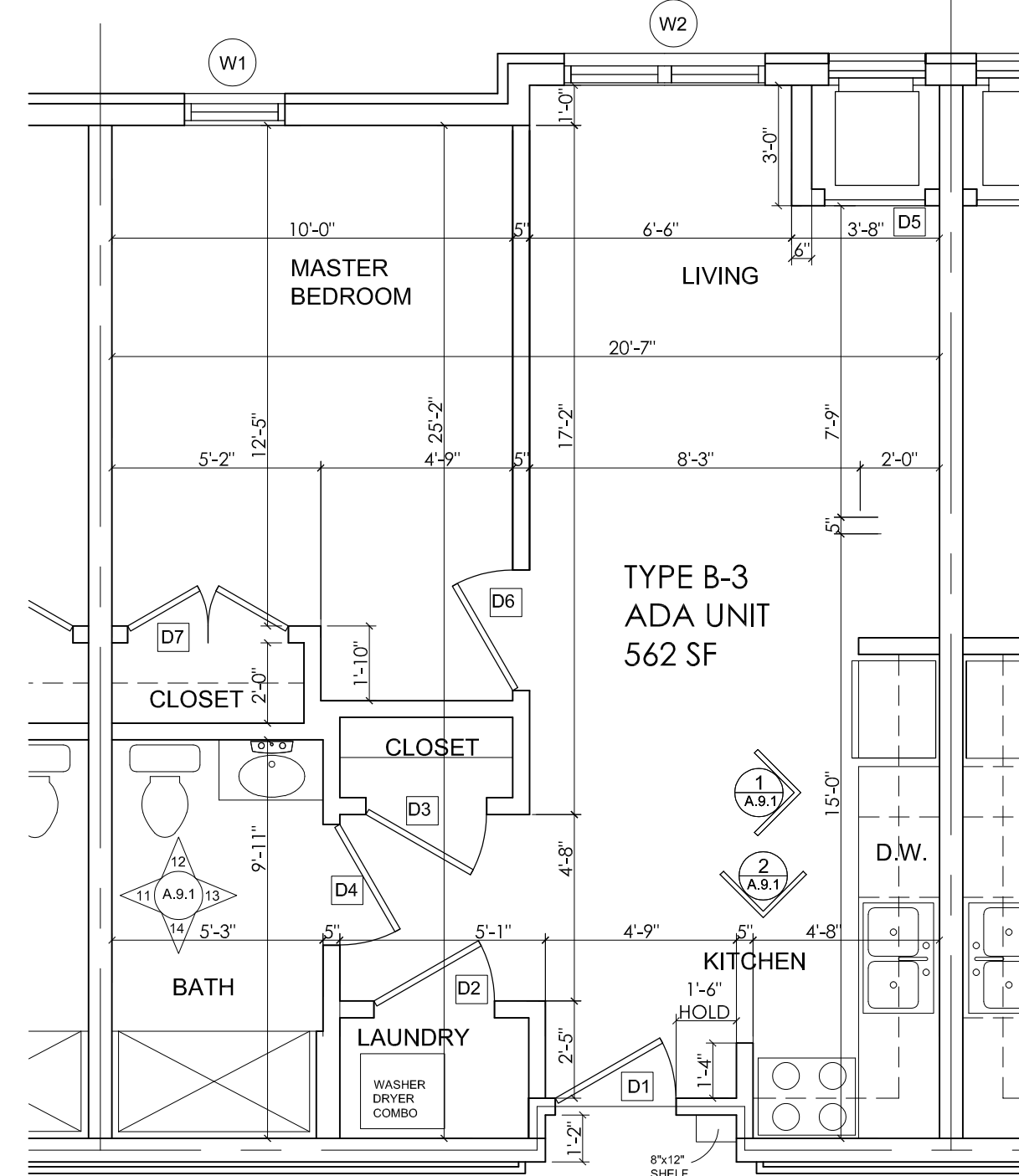
B TYPICAL TYPE "A" - ADA UNIT
TYPE "B" - 551 SF
SCALE: 1/4"=1'-0"



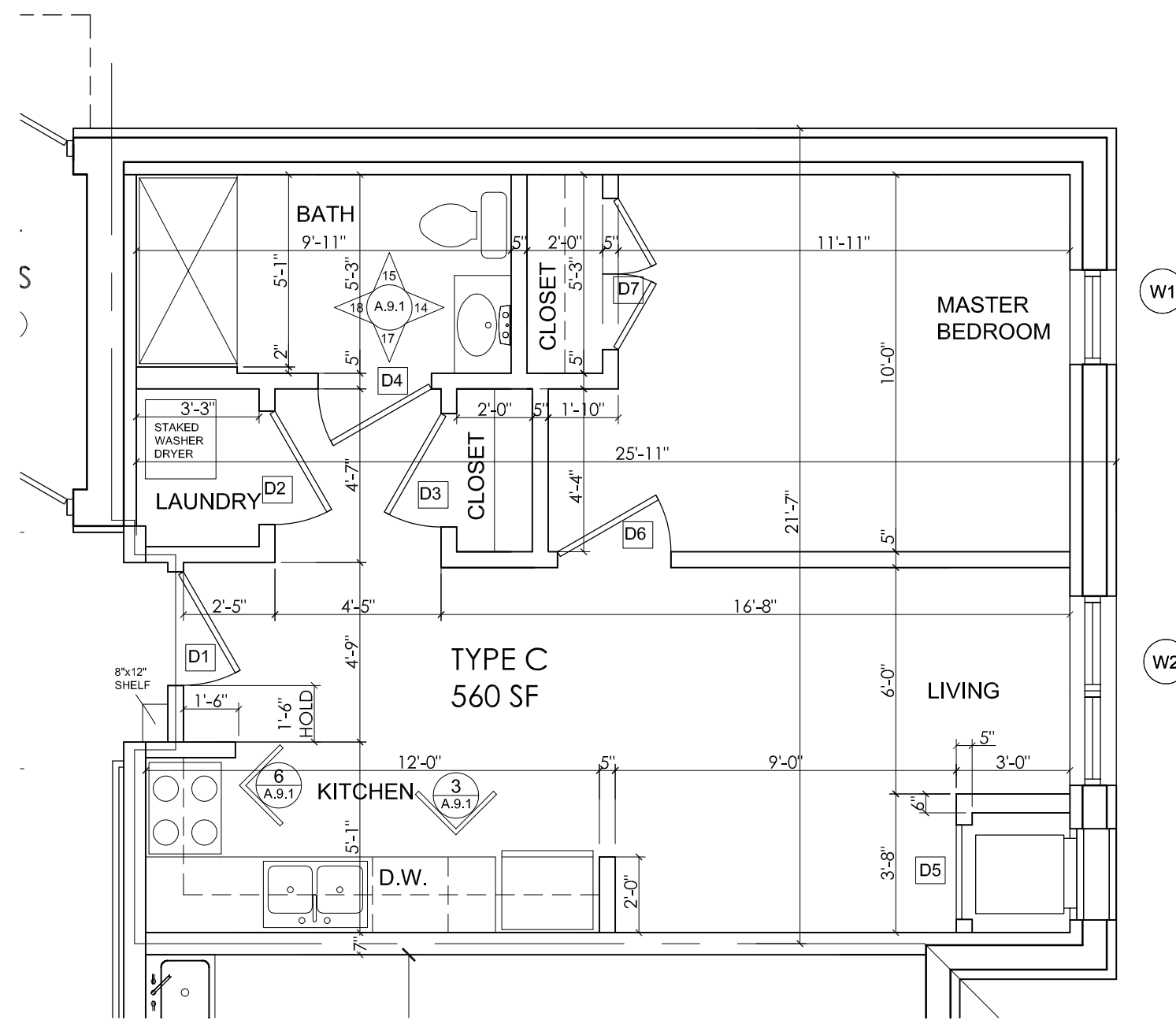
B-1 TYPICAL UNIT TYPE "B-1" - 562 SF
SCALE: 1/4"=1'-0"



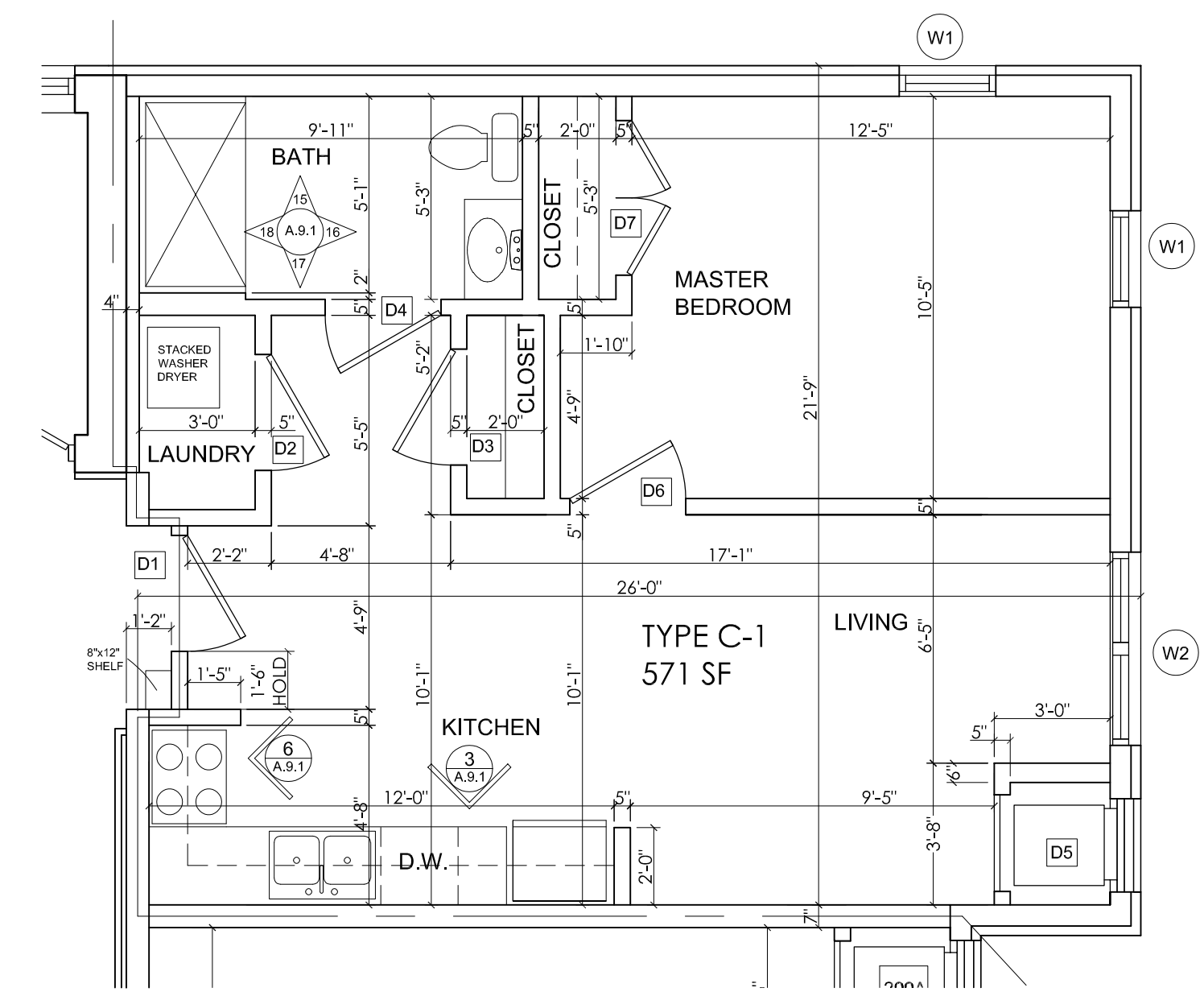
B-2 TYPICAL UNIT TYPE "B-2" - 551 SF
SCALE: 1/4"=1'-0"



B-3 TYPICAL TYPE "A" - ADA UNIT TYPE "B-3" - 562 SF
SCALE: 1/4"=1'-0"



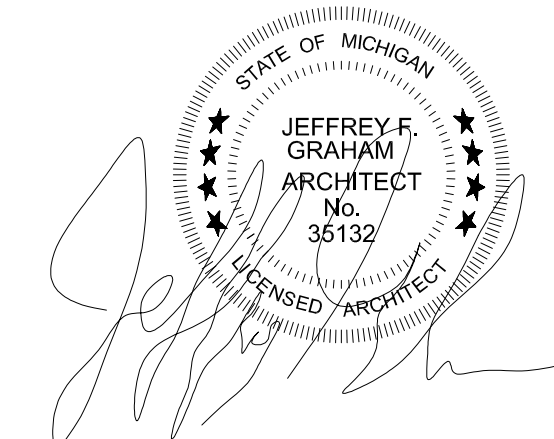
C UNIT TYPE "C" - 560 SF
SCALE: 1/4"=1'-0"



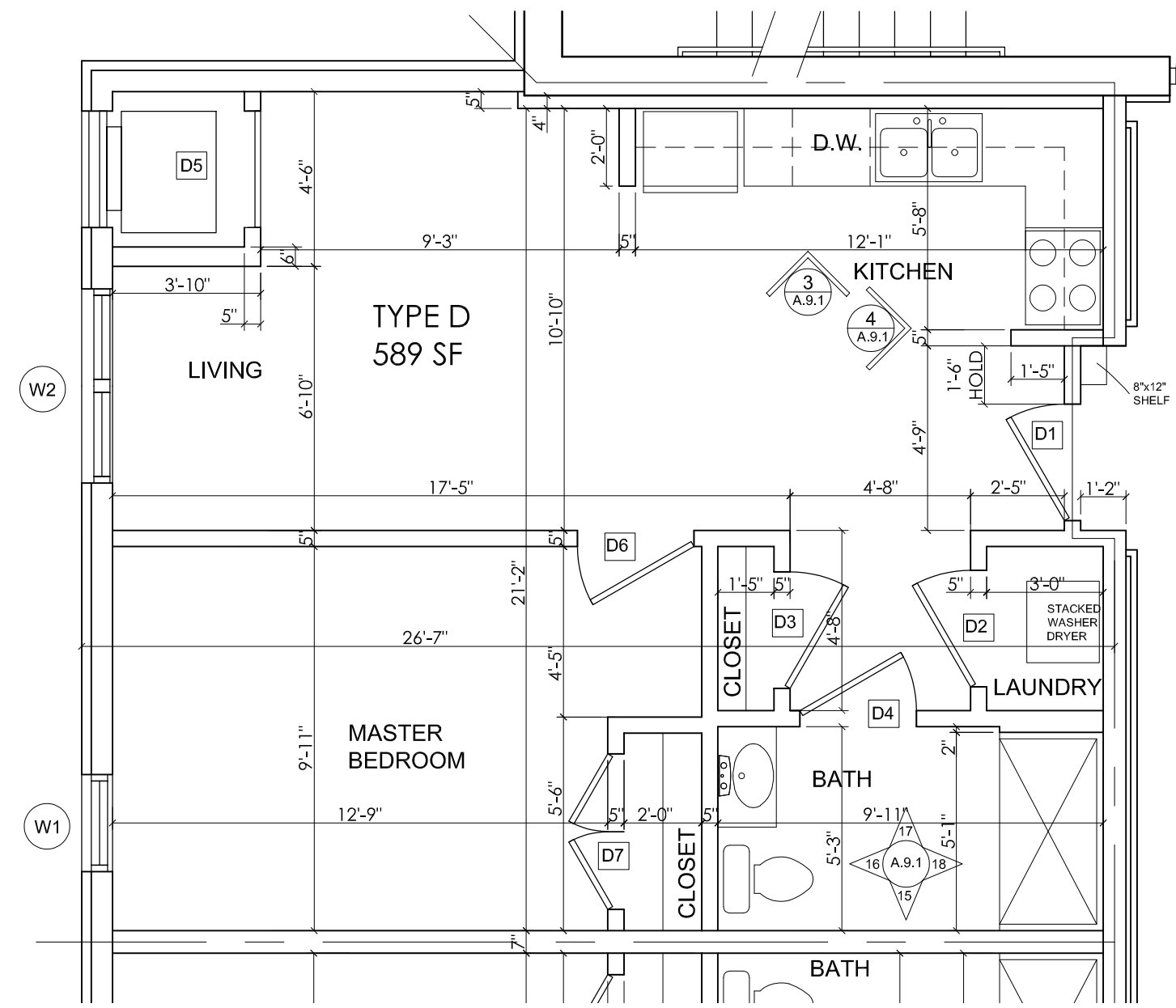
C-1 UNIT TYPE "C-1" - 571 SF
SCALE: 1/4"=1'-0"

NOTE
1. ALL DEMISING WALLS TO BE 2"x4" UL DESIGN No. U313, GA FILE No. WP 3110

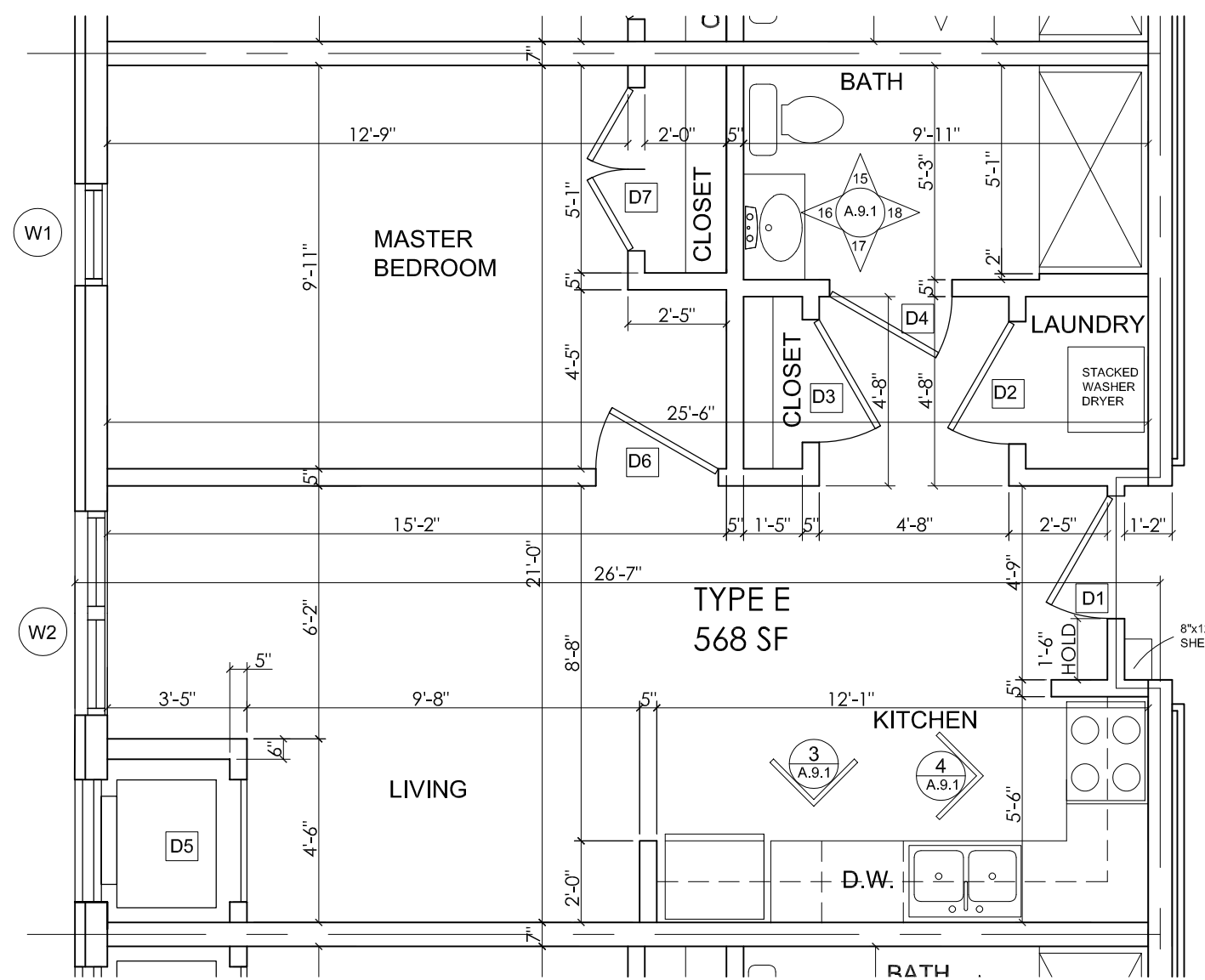
- NOTE:** UNIT #203 AND #204 (UNIT TYPE B-2) SHALL BE ACCESSIBLE FOR PERSONS WITH HEARING OR VISION IMPAIRMENTS. THESE TWO UNITS MUST COMPLY WITH THE FOLLOWING:
- AUDIBLE EMERGENCY ALARMS SHALL BE PROVIDED IN EACH UNIT.
 - THESE ALARMS SHALL PRODUCE A SOUND THAT EXCEEDS THE PREVAILING EQUIVALENT SOUND LEVEL IN THE ROOM OR SPACE BY AT LEAST 15 DECIBELS OR EXCEEDS ANY MAXIMUM SOUND LEVEL WITH A DURATION OF 30 SECONDS BY 5 DECIBELS, WHICHEVER IS LOUDER.
 - SOUND LEVELS FOR ALARM SIGNALS SHALL NOT EXCEED 120 DECIBELS.
 - VISUAL ALARM IN ACCESSIBLE SLEEPING ACCOMMODATIONS.
 - ALARM SHOULD BE CONNECTED TO THE BUILDING EMERGENCY ALARM SYSTEM OR HAVE A STANDARD 100-VOLT ELECTRICAL RECEPTACLE INTO WHICH SUCH AN ALARM COULD BE CONNECTED.
 - INSTRUCTIONS FOR USE OF THE AUXILIARY ALARM OR CONNECTION SHALL BE PROVIDED.
 - ELECTRICALLY POWERED INTERNALLY ILLUMINATED EMERGENCY EXIT SIGN
 - EMERGENCY EXIT SIGN MUST FLASH AS A VISUAL EMERGENCY ALARM IN CONJUNCTION WITH THE AUDIBLE EMERGENCY ALARMS.
 - THE FLASHING OF VISUAL ALARM DEVICES SHALL BE LESS THAN 5 Hz.
 - IF THE ALARM USE ELECTRICITY FROM THE BUILDING AS A POWER SOURCE, THE SIGN SHALL BE INSTALLED ON THE SAME SYSTEM AS THE AUDIBLE EMERGENCY ALARMS.



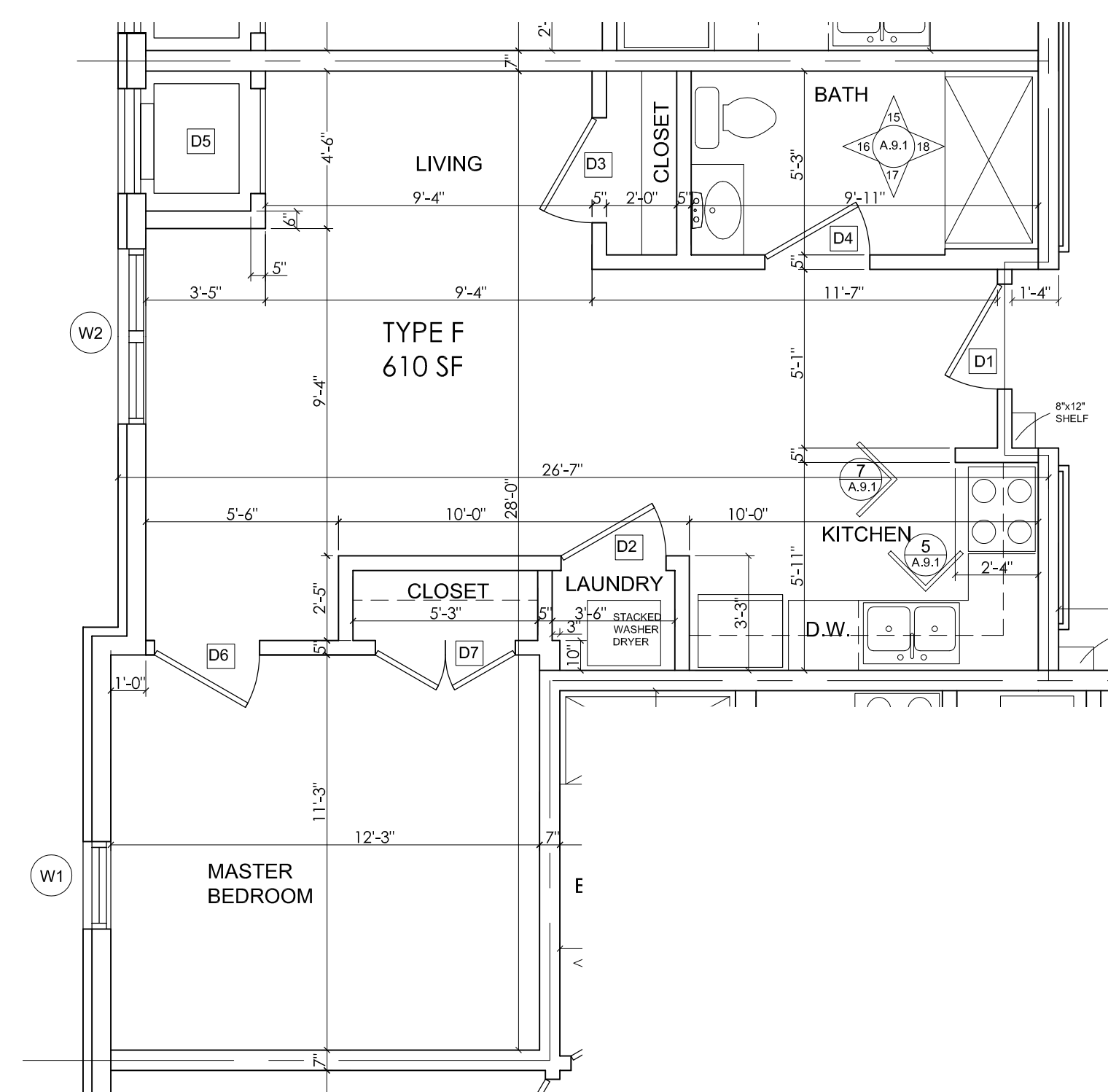
MHT HOUSING, INC. BRUSH PARK APARTMENTS 269 WINDER STREET, DETROIT MI SITE AREA: 39,501± SF OR 0.91± ACRES		CITY PERMIT DRAWINGS M.L. DATE: 2/16/22 REVISION #1 BY
ENLARGED PLANS: TYPICAL APARTMENT UNITS		CLIENT:
PROFESSIONAL ARCHITECTS PROFESSIONAL ENGINEERS PROFESSIONAL SURVEYORS 22556 GRATIOT AVENUE (586) 772-2222 PHONE (586) 772-4048 FAX		SHEET NO.: A.8.1
DRAWN BY: JFG SCALE: 1/4"=1'-0" DATE: 12/09/2021 PROJECT NO: 19-03104	72 HOURS (3 WORKING DAYS) BEFORE YOU DIG CALL MISS DIG 800-482-7171 (TOLL FREE)	SHEET NO.: A.8.1



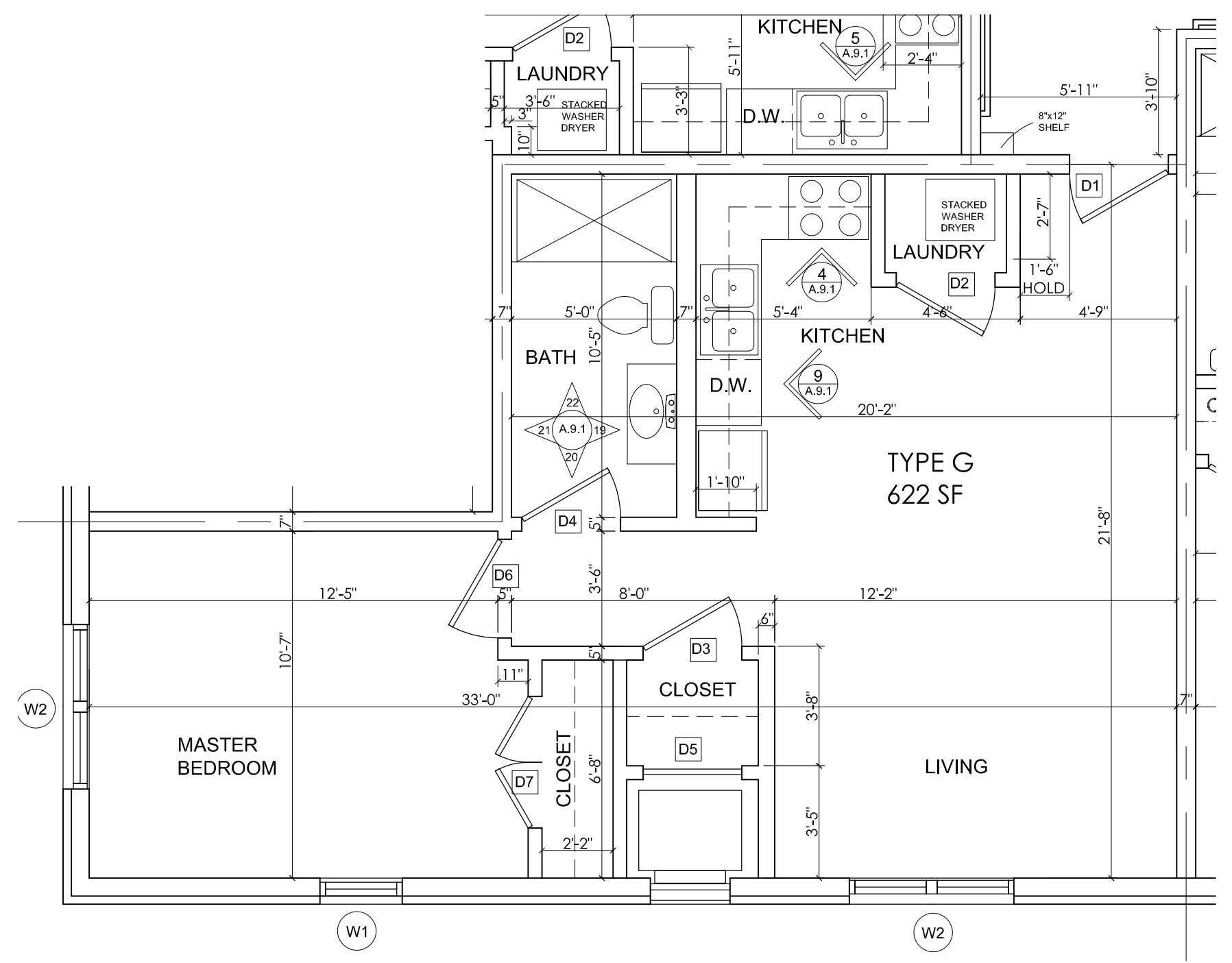
D UNIT TYPE "D" - 589 SF
SCALE: 1/4"=1'-0"



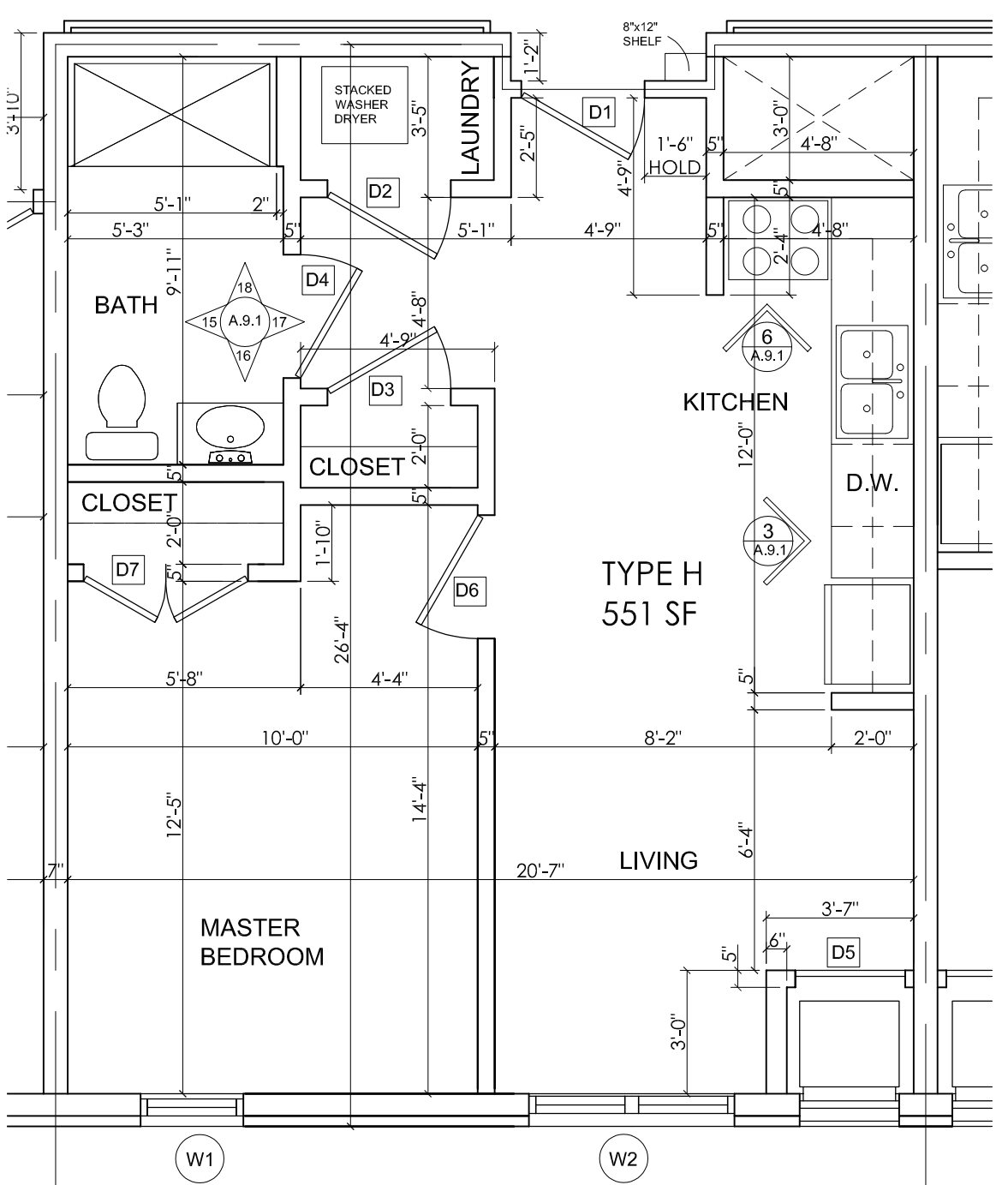
E TYPICAL UNIT TYPE "E" - 568 SF
SCALE: 1/4"=1'-0"



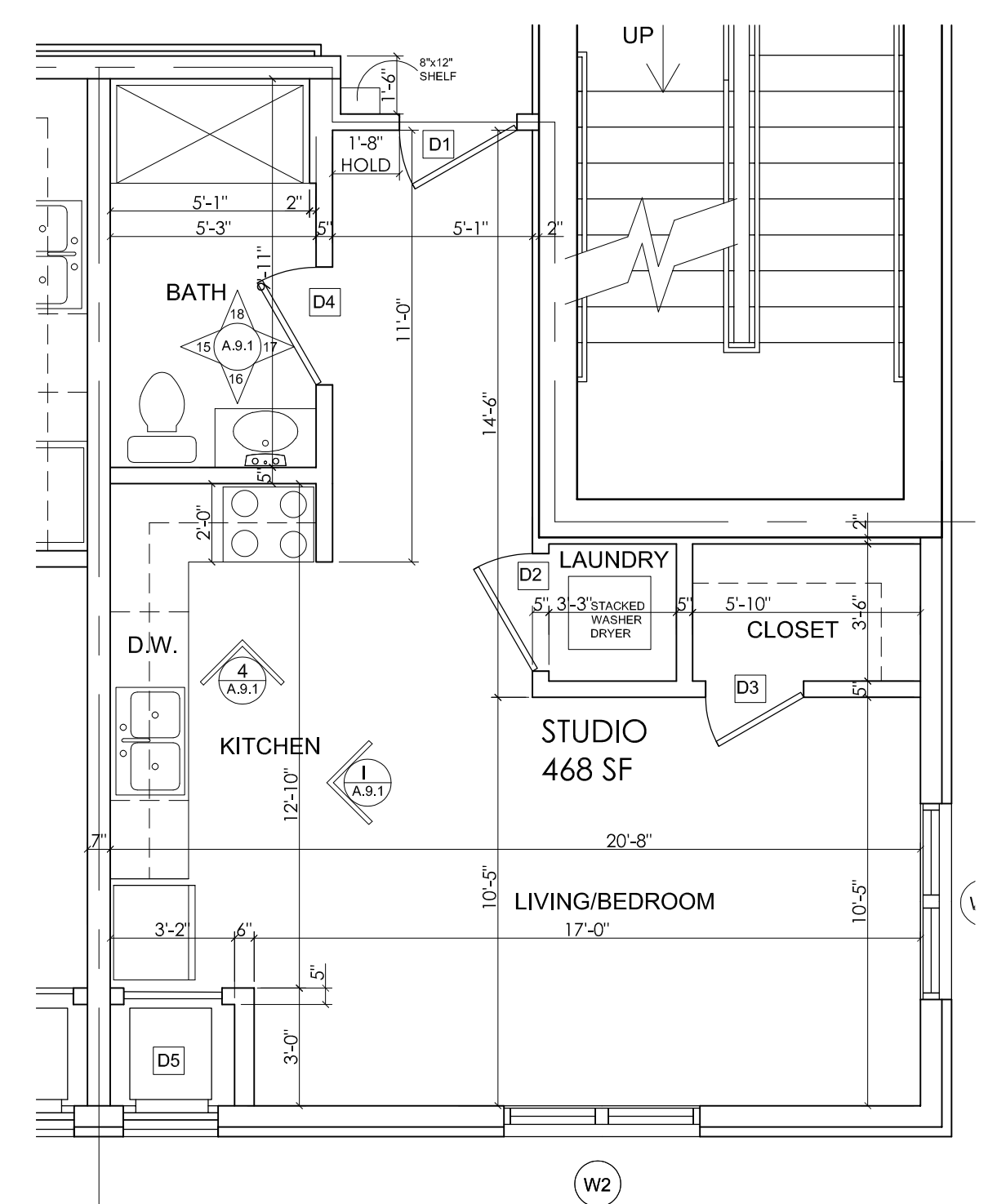
F TYPICAL UNIT TYPE "F" - 610 SF
SCALE: 1/4"=1'-0"



G TYPICAL UNIT TYPE "G" - 622 SF
SCALE: 1/4"=1'-0"

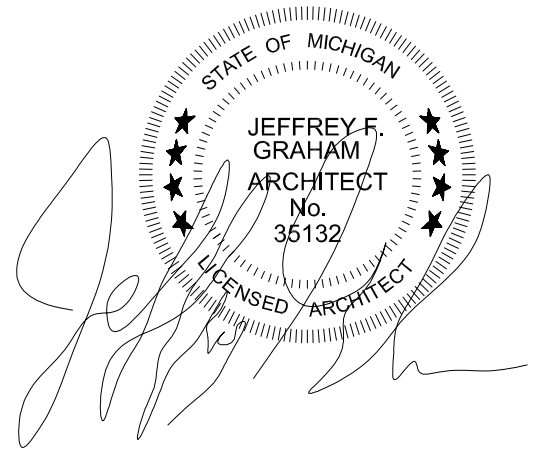


H TYPICAL UNIT TYPE "H" - 551 SF
SCALE: 1/4"=1'-0"

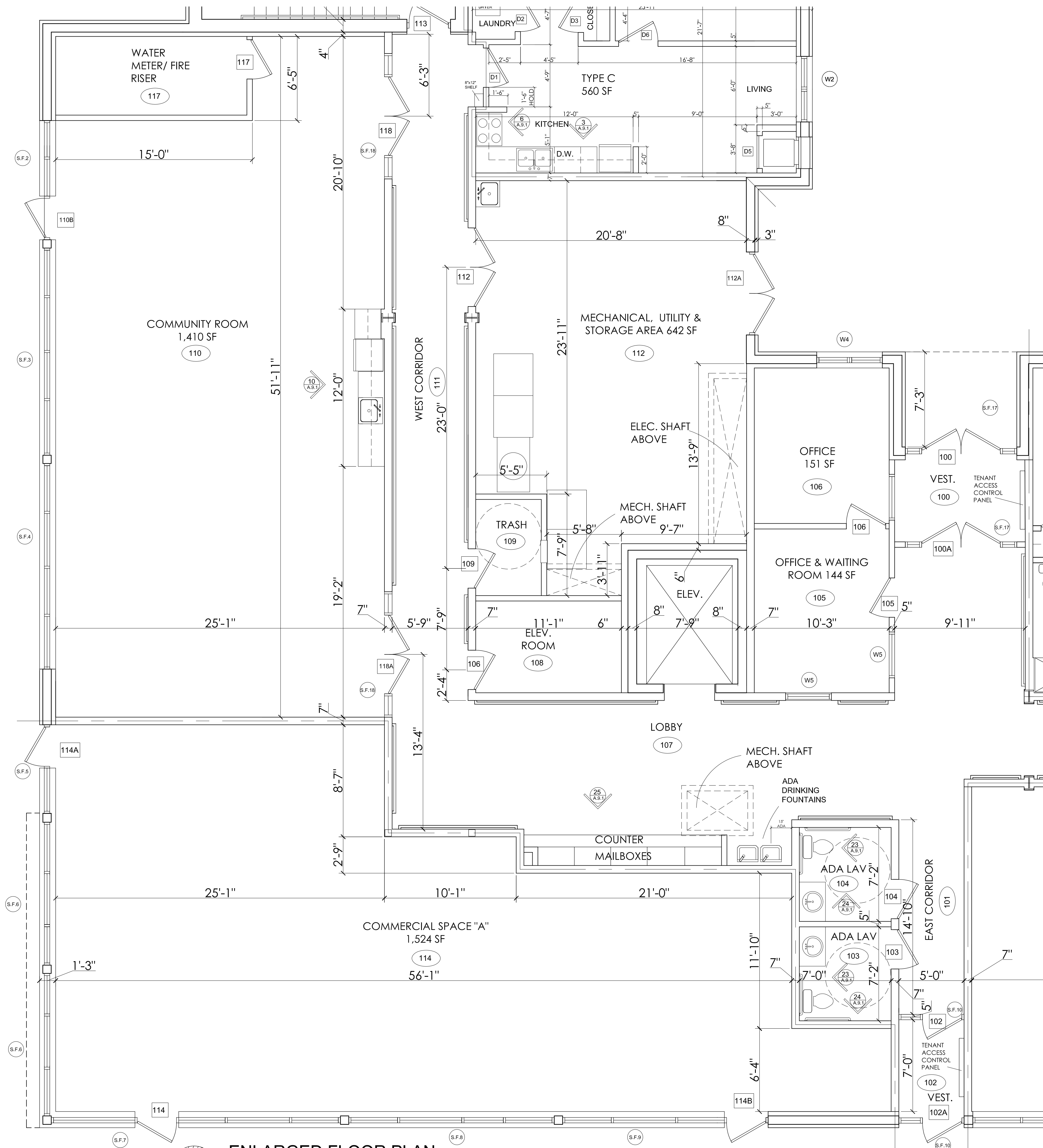


I TYPICAL STUDIO UNIT TYPE "I" - 468 SF
SCALE: 1/4"=1'-0"

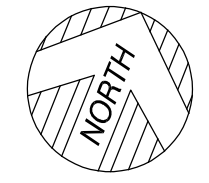
NOTE
1. ALL DEMISING WALLS TO BE 2"x4" UL DESIGN No. U313, GA FILE No. WP 3110



CLIENT:	MHT HOUSING, INC.
PROJECT:	BRUSH PARK APARTMENTS
DATE:	2/16/22
REVISION:	#1
BY:	M.L.
CITY PERMIT DRAWINGS:	DESCRIPTION
269 WINDER STREET, DETROIT MI	
SITE AREA: 39,501± SF OR 0.91± ACRES	
ENLARGED PLANS: TYPICAL APARTMENT UNITS	
PROFESSIONAL ARCHITECTS PROFESSIONAL ENGINEERS PROFESSIONAL SURVEYORS KEM-TEC & ASSOCIATES 22555 GRATIOT AVENUE DETROIT, MI 48222 (586) 772-2222 PHONE (586) 772-4048 FAX	
72 HOURS (3 WORKING DAYS) BEFORE YOU DIG CALL MISS DIG 800-482-7171 (TOLL FREE)	
DRAWN BY:	JFG
SCALE:	1/4"=1'-0"
DATE:	12/09/2021
PROJECT NO.:	19-03104
SHEET NO.:	A.8.2

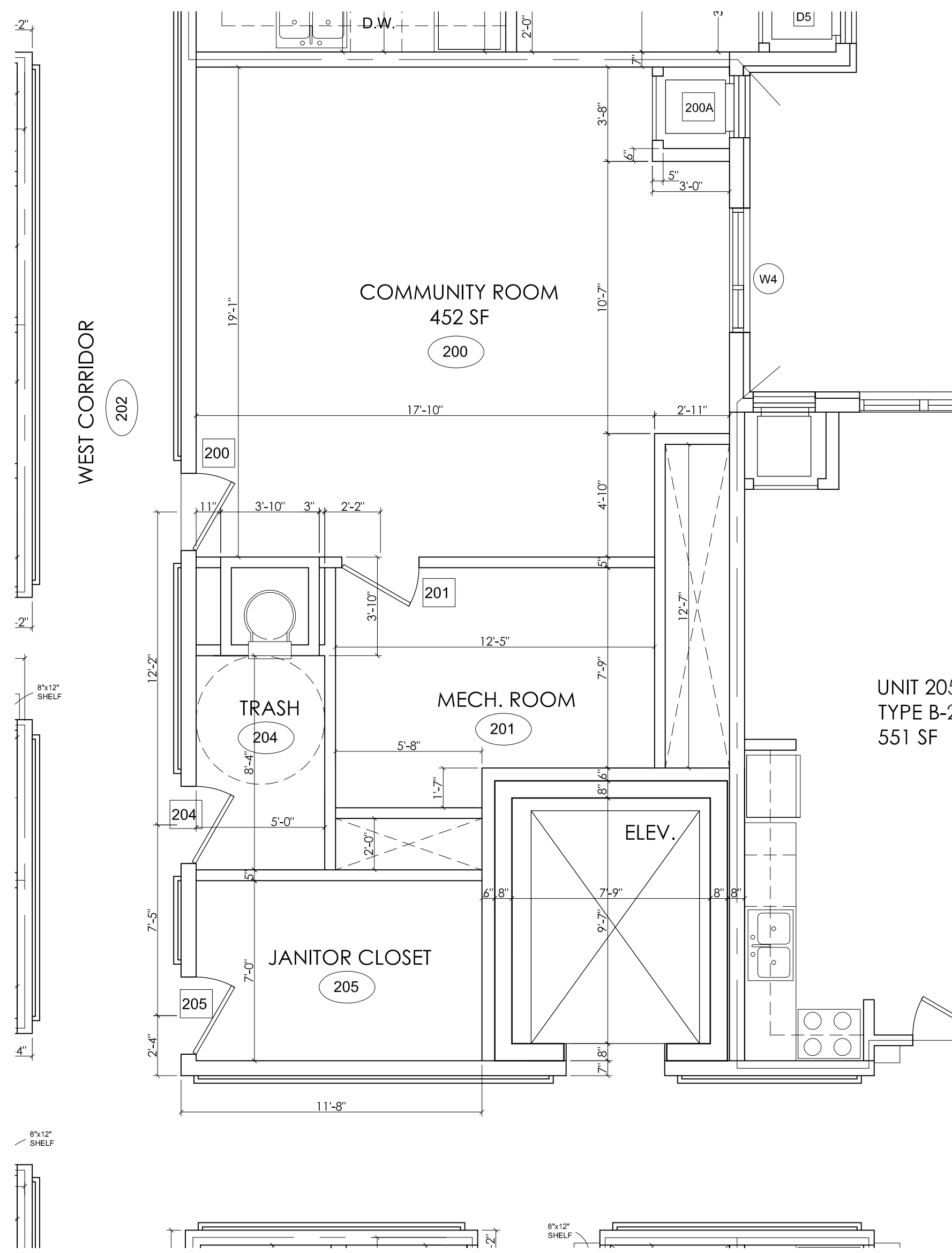


**ENLARGED FLOOR PLAN
FIRST FLOOR COMMON AREAS**
SCALE: 1/4"=1'-0"

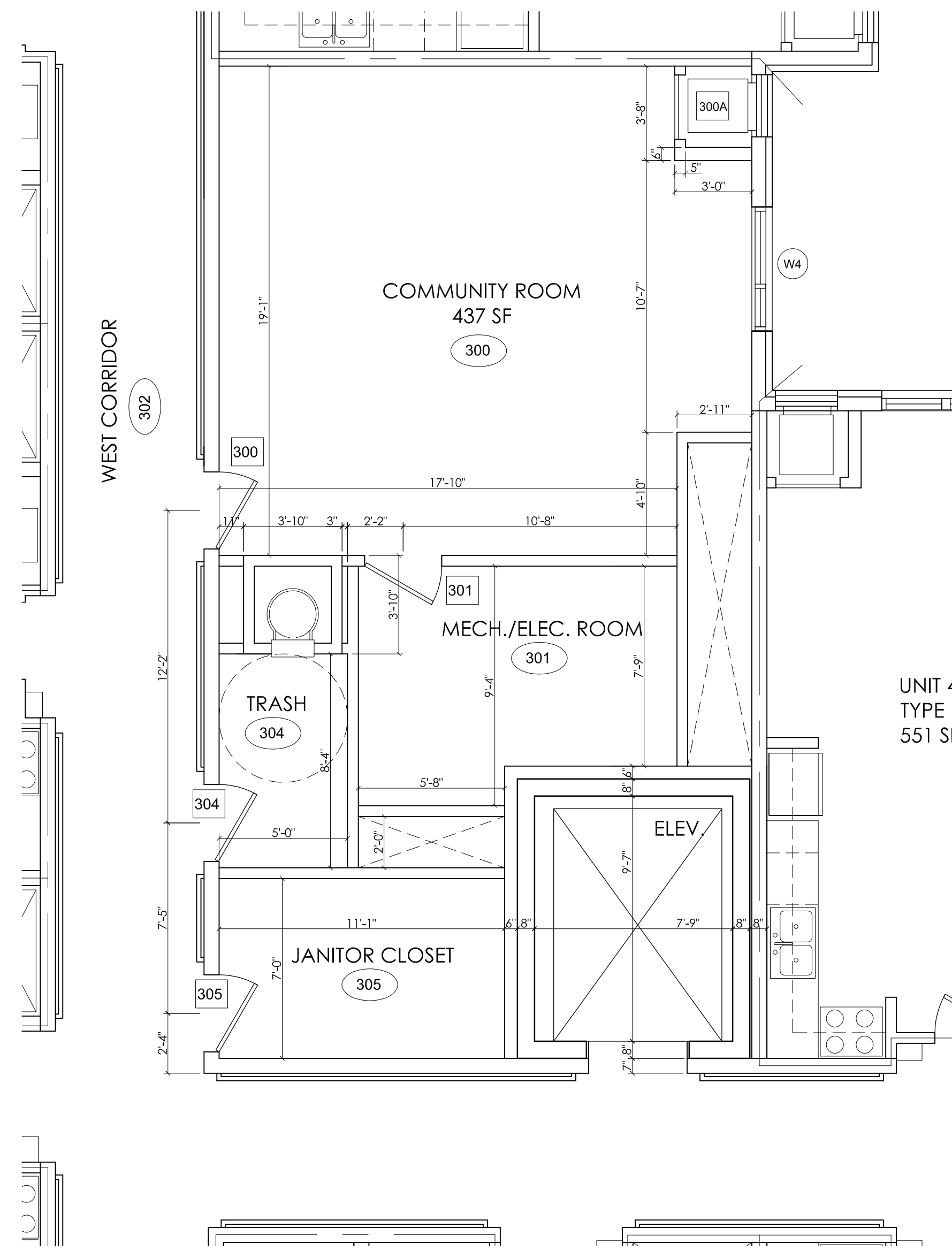


STATE OF MICHIGAN
 JEFFREY F. GRAHAM
 ARCHITECT
 No. 35132
 LICENSED ARCHITECT

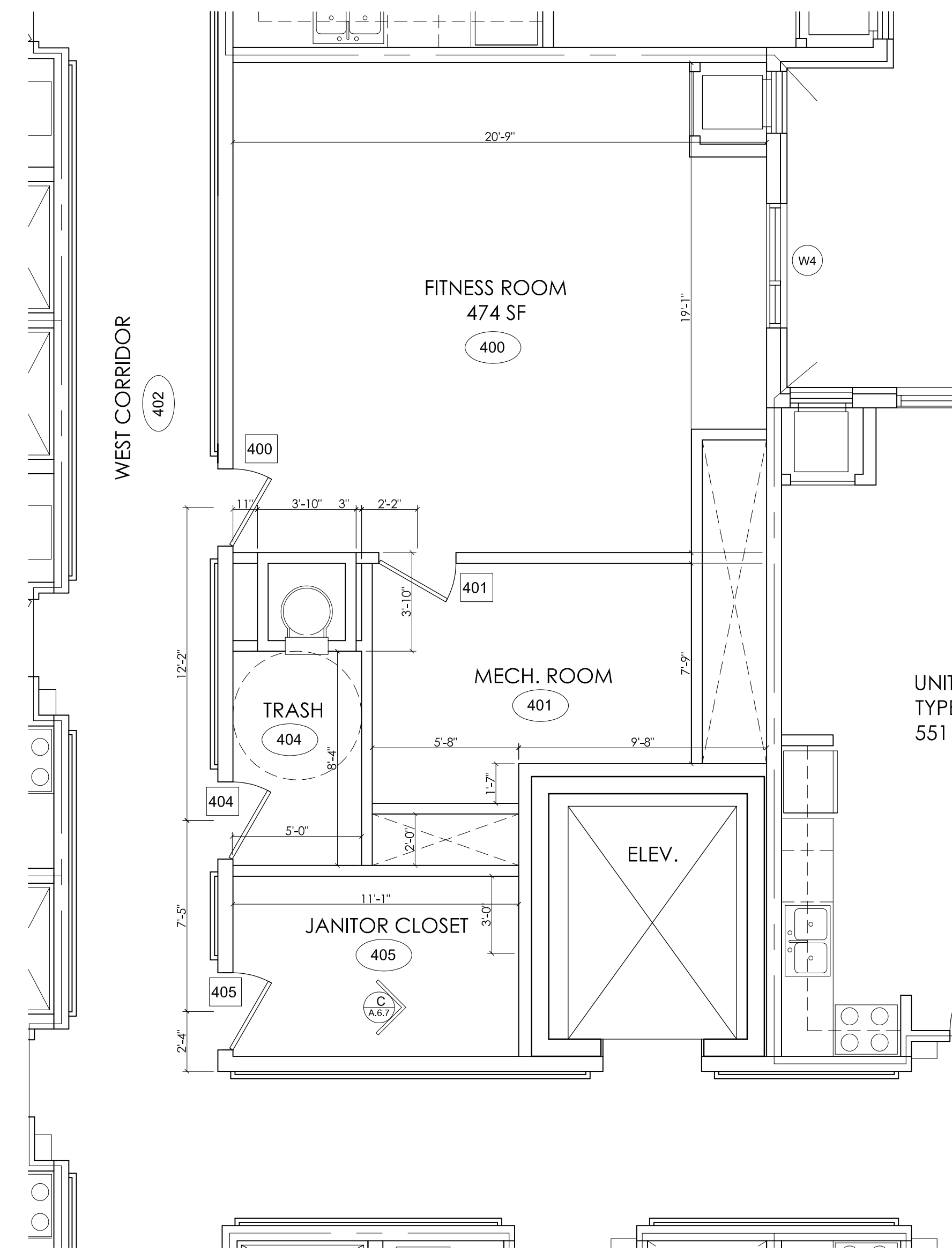
CLIENT:	MHT HOUSING, INC.
PROJECT:	BRUSH PARK APARTMENTS
DATE:	2/16/22
REVISION:	#1
BY:	M.L.
CITY PERMIT DRAWINGS:	DESCRIPTION
ENLARGED FIRST FLOOR PLAN 269 WINDER STREET, DETROIT MI SITE AREA: 39,501± SF OR 0.91± ACRES	
PROFESSIONAL ARCHITECTS PROFESSIONAL ENGINEERS PROFESSIONAL SURVEYORS 22556 GRATIOT AVENUE FARMINGTON HILLS, MI 48334 (586) 772-2222 PHONE (586) 772-4048 FAX	KEM-TEC & ASSOCIATES
72 HOURS (3 WORKING DAYS) BEFORE YOU DIG CALL MISS DIG 800-482-7171 (TOLL FREE)	
DRAWN BY: JFG	SCALE: 1/4"=1'-0"
DATE: 12/09/2021	PROJECT NO: 19-03104
SHEET NO: A.8.3	



ENLARGED COMMUNITY SPACE & SERVICE AREAS - 2ND FLOOR
SCALE: 1/4"=1'-0"



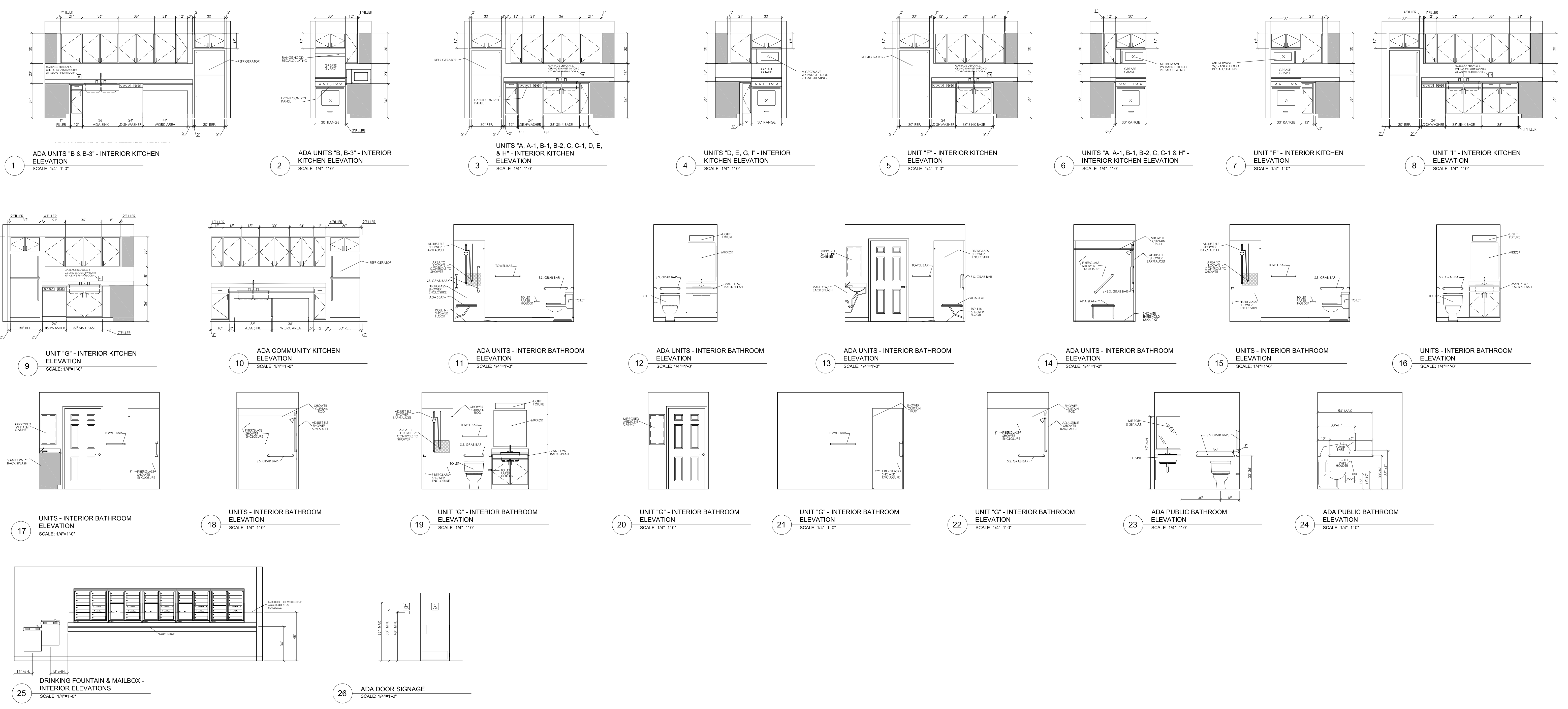
ENLARGED COMMUNITY SPACE & SERVICE AREAS - 3RD FLOOR
SCALE: 1/4"=1'-0"



ENLARGED COMMUNITY SPACE & SERVICE AREAS - 4TH FLOOR
SCALE: 1/4"=1'-0"

STATE OF MICHIGAN
JEFFREY F. GRAHAM
ARCHITECT
No. 36132
LICENSED ARCHITECT

CLIENT:	MHT HOUSING, INC.
PROJECT:	BRUSH PARK APARTMENTS
DESCRIPTION:	269 WINDER STREET, DETROIT MI SITE AREA: 39,501± SF OR 0.91± ACRES
REVISION #1	DATE: 2/16/22
BY: M.L.	
CITY PERMIT DRAWINGS	
DESCRIPTION	
PROFESSIONAL ARCHITECTS	
PROFESSIONAL ENGINEERS	
PROFESSIONAL SURVEYORS	
22555 GRATIOT AVENUE	
(586) 772-2222 PHONE	
(586) 772-4048 FAX	
KEM-TEC & ASSOCIATES	
72 HOURS (3 WORKING DAYS)	
BEFORE YOU DIG CALL MISS DIG	
800-482-7171	
(TOLL FREE)	
DRAWN BY: JFG	
SCALE: SEE DRAWING	
DATE: 12/09/2021	
PROJECT NO: 19-03104	
SHEET NO:	A.8.4



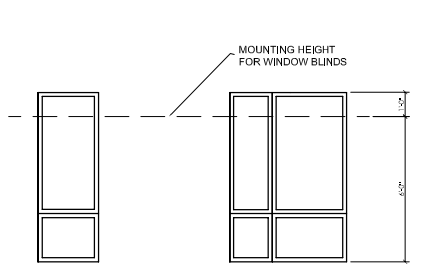
- NOTES**
- CABINETS TO BE "SHEFFIELD-MAPLE" FROM SMART CABINETRY. EXACT COLOR TO MATCH COLORS AT THE 9100 AT GRATIOT AND THE CLAYS PROJECTS (SEE OWNER FOR DETAILS).
 - APPLIANCES ARE TO BE BLACK IN COLOR.
 - CABINET CONTRACTOR TO VERIFY DIMENSIONS OF EACH UNIT BEFORE ORDERING CABINET AND APPLIANCES.
 - ALL UNIT TOWEL BARS NEED TO BE REINFORCED TO SUPPORT THE SAME AMOUNT OF WEIGHT AS GRAB BAR.

MHT HOUSING, INC.		BRUSH PARK APARTMENTS		269 WINDER STREET, DETROIT MI		SITE AREA: .39-5.01± SF OR 0.91± ACRES	
CLIENT:							
INTERIOR ELEVATIONS				PROFESSIONAL ARCHITECTS PROFESSIONAL ENGINEERS PROFESSIONAL SURVEYORS 22556 GRATIOT AVENUE DETROIT MI 48219 (586) 772-2222 PHONE (586) 772-4048 FAX			
BY:	M.L.L.	DATE:	2/16/22	REVISION:	#1	CITY PERMIT DRAWINGS	DESCRIPTION
DRAWN BY:	BOUILL	SCALE:	1/4"=1'-0"	DATE:	12/09/2021	72 HOURS (3 WORKING DAYS) BEFORE YOU DIG CALL MISS DIG 800-482-7171 (TOLL FREE)	
SHEET NO. A.9.1		PROJECT NO. 19-03104		JEFFREY F. GRAHAM ARCHITECT No. 36132 LICENSED ARCHITECT		STATE OF MICHIGAN	

HARDWARE LEGEND

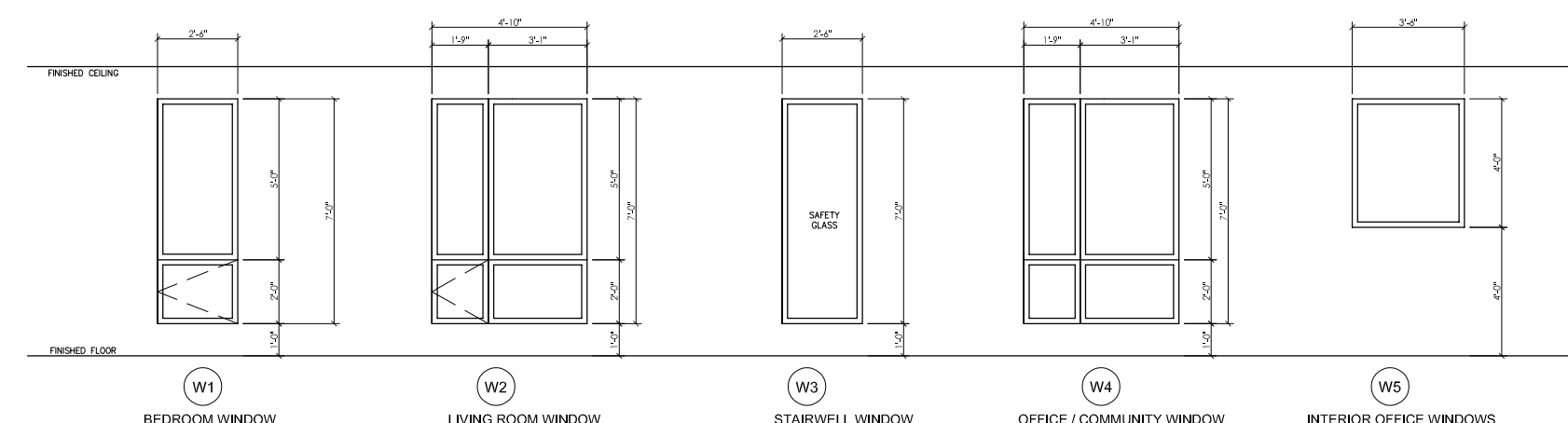
- "A" DOUBLE EXTERIOR BUILDING ENTRY DOOR
6 NRP HINGES
2 PANIC DEVICES
1 EXTERIOR GRADE KEY CYLINDER
2 SETS OF WEATHER STRIPING
2 DOOR SWEEPS
1 THRESHOLD
1 ASTRAGAL
- "B" STORAGE ROOM FOR TENANTS
1 SCHLAGE FE 595 KEYPAD OR EQUAL W/ FLEX LOCK
3 HINGES
1 WALL STOP
- "C" SECURE CLOSET / MECHANICAL RM DOOR
3 HINGES
1 SET OF LEVER HANDLES
LOCK IN HANDLE-
(NON LOCKING TO EGRESS)
- "D" OFFICE DOOR
3 HINGES
1 SET OF LEVER HANDLES
LOCK IN HANDLE-
(NON LOCKING TO EGRESS)
- "E" BATHROOM SINGLE OCCUPANCY DOOR
3 HINGES
1 PRIVACY DOOR HANDLE LEVER SET
CLOSER
ADA SIGNAGE
- "F" TRASH ROOM DOOR
3 HINGES
1 SET OF LEVER HANDLES
LOCK IN HANDLE-
(NON LOCKING TO EGRESS)
- "G" DOUBLE MECHANICAL ROOM INTERIOR DOORS
6 NRP HINGES
2 SETS OF LEVER HANDLES WITH KEY LOCK
(NON LOCKING TO EGRESS)
2 CLOSERS
1 AUTO FLUSH BOLT
- "H" DOUBLE MECHANICAL ROOM EXTERIOR DOORS
6 NRP HINGES
2 SETS OF LEVER HANDLES
EXTERIOR KEY CYLINDER-
(NON LOCKING TO EGRESS)
1 AUTO FLUSH BOLT
2 CLOSERS
2 SETS OF WEATHER STRIPING
2 DOOR SWEEPS
1 ASTRAGAL
- "I" DOUBLE COMMUNITY DOORS
6 HINGES
2 SETS OF LEVER HANDLES
LOCK IN HANDLE-
(NON LOCKING TO EGRESS)
2 CLOSERS
- "J" SINGLE STOREFRONT ENTRY DOOR
2 OFFSET PIVOTS
PULL PLATE
PANIC HARDWARE
WALL MOUNTED CLOSER
1 SET OF WEATHER STRIPING
DOOR SWEEP
THRESHOLD
1 CLOSER
- "K" SINGLE COMMUNITY/FITNESS RM. DOOR
3 HINGES
1 SETS OF LEVER HANDLES
LOCK IN HANDLE-
(NON LOCKING TO EGRESS)
1 CLOSERS
- "L" INTERIOR STAIR DOOR
3 HINGES
1 FIRE EXIT DEVICE
1 CLOSER
1 KICK SET OF PLATES
1 WALL STOP
1 SET OF SMOKE SEAL
1 DOOR SWEEP
- "M" EXTERIOR EXIT STAIR DOOR
3 NRP HINGES
1 PANIC HARDWARE SET
1 EXTERIOR KEY CYLINDER
1 CLOSER
1 KICK PLATE
1 SET OF WEATHER STRIPING
1 DOOR SWEEP
1 THRESHOLD
- "N" UNIT ENTRY DOOR
2 HINGES
1 SPRING HINGE
1 KEYED ENTRANCE LOCKSET
-WITH SIMULTANEOUS RETRACTING DEADBOLT
KNOCKER / VIEWER
1 WALL STOP
1 SET OF SMOKE SEAL
1 DOOR SWEEP
- "O" SINGLE LAUNDRY / CLOSET DOOR
3 HINGES
1 LEVER DOOR HANDLE
1 WALL STOP
- "P" BEDROOM / BATHROOM PRIVACY DOOR
3 HINGES
1 PRIVACY DOOR LEVER HANDLE
1 WALL STOP
- "Q" MECHANICAL CLOSET DOOR
3 HINGES
1 SET OF LEVER HANDLES
LOCK IN HANDLE-
(NON LOCKING TO EGRESS)
- "R" DOUBLE BEDROOM CLOSET DOORS
6 HINGES
2 LEVER DOOR HANDLES
2 DOOR STOPS
- "S" WATER METER/FIRE RISER EXTERIOR DOOR
3 NRP HINGES
1 SET OF LEVER HANDLES
EXTERIOR KEY CYLINDER -
(NON LOCKING TO EGRESS)
1 SETS OF WEATHER STRIPING
1 DOOR SWEEPS

NOTE: ALL DOORS IN THE BUILDING MUST BE NON-LOCKING TO EGRESS.

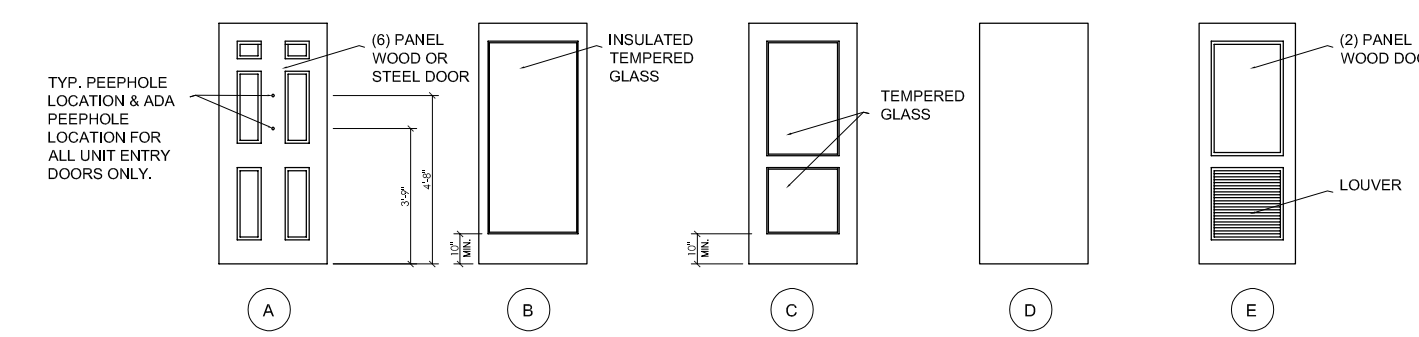


3 TYPICAL UNIT - WINDOW SHADES
NOT TO SCALE

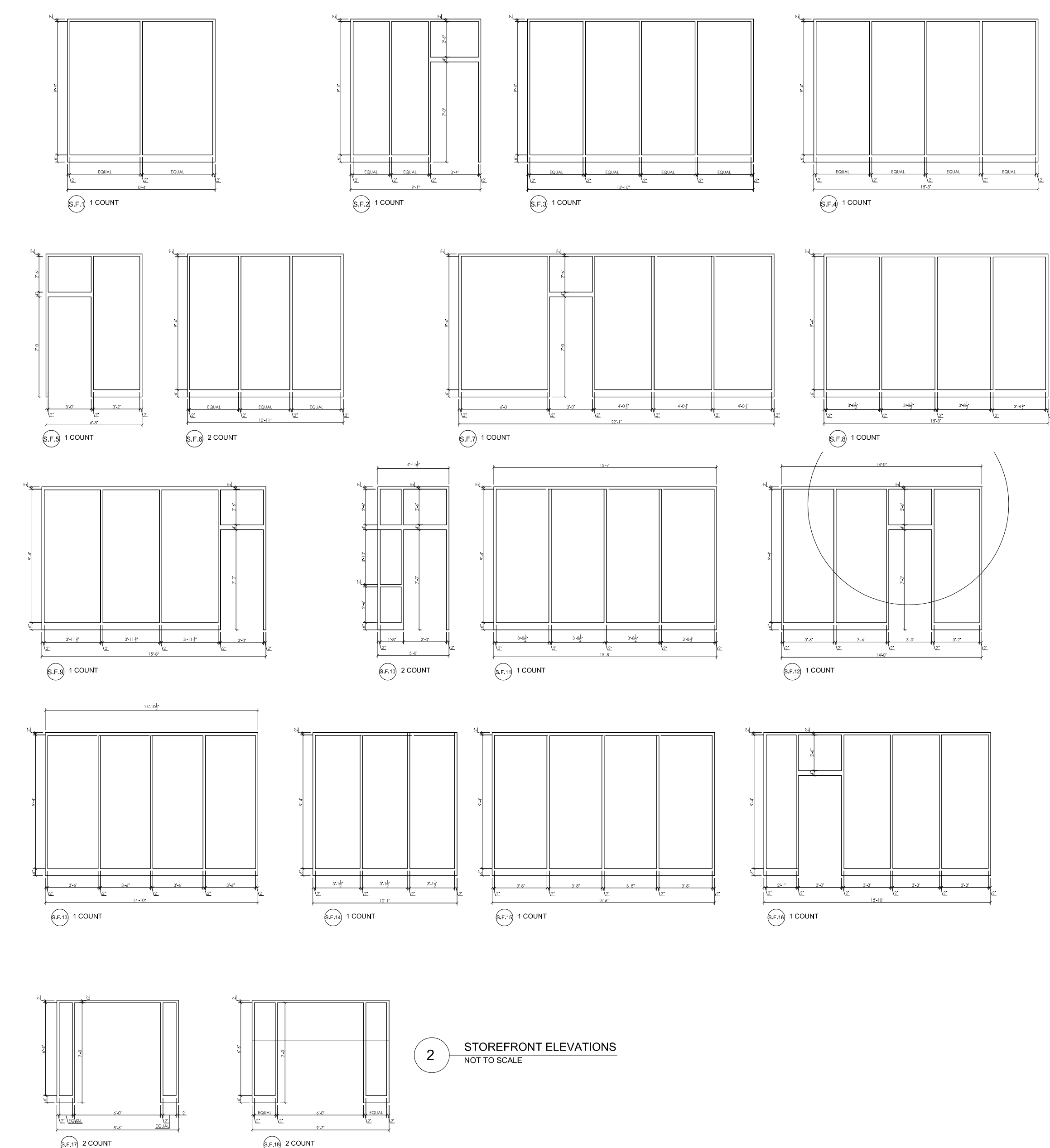
DOOR SCHEDULE -FIRST FLOOR											
DOOR NO.	LOCATION	SIZE	TYPE	ELEVATION	MATERIAL	FINISH	LABEL	MATERIAL	LABEL	REMARKS	HARDWARE
100	VESTIBULE - WEST	(2)3'-0"x7'-0"x1 3/4"	AUTO SL. GL.	B	ALUMINUM	ANODIZED		ALUMINUM		AUTO ELECTRIC OPERATION; W.S.; INSULATED TEMP. GLASS	A
100A	VESTIBULE - WEST	(2)3'-0"x7'-0"x1 3/4"	AUTO SL. GL.	B	ALUMINUM	ANODIZED		ALUMINUM		AUTO ELECTRIC OPERATION; W.S.; INSULATED TEMP. GLASS	A
102	VESTIBULE - EAST	3'-0"x7'-0"x1 3/4"	AUTO SL. GL.	B	ALUMINUM	ANODIZED		ANODIZED		AUTO ELECTRIC OPERATION; W.S.; INSULATED TEMP. GLASS	A
102A	VESTIBULE-EAST	3'-0"x7'-0"x1 3/4"	AUTO SL. GL.	B	ALUMINUM	ANODIZED		ANODIZED		AUTO ELECTRIC OPERATION; W.S.; INSULATED TEMP. GLASS	A
103	ADA LAV	3'-0"x6'8"x1 3/4"	SWING.	A	S.C. WD.	PAINT		H.M.		SELF CLOSING	D
104	ADA LAV	3'-0"x6'8"x1 3/4"	SWING	A	S.C. WD.	PAINT		H.M.		SELF CLOSING	D
105	WAITING ROOM/OFFICE	3'-0"x6'8"x1 3/4"	SWING	A	S.C. WD.	PAINT	20 MIN.	H.M.	20 MIN.	SELF CLOSING	E
106	OFFICE	3'-0"x6'-8"x1 3/4"	SWING	A	H.M.	PAINT	1 HOUR	H.M.	1 HOUR	SELF CLOSING	C
108	ELEVATOR ROOM	3'-0"x6'-8"x1 3/4"	SWING	A	S.C. WD.	PAINT	20 MIN.	H.M.	20 MIN.	SELF CLOSING	E
109	TRASH ROOM	3'-0"x6'-8"x1 3/4"	SWING	A	H.M.	PAINT	45 MIN.	H.M.	45 MIN.	SELF CLOSING	F
110	COMMUNITY ROOM	(2) 3'-0"x6'-8"x1 3/4"	SWING	C	S.C. WD.	PAINT	20 MIN.	H.M.	20 MIN.	SELF CLOSING; MAGNETIC DOOR HOLDER	E
110A	COMMUNITY ROOM	(2) 3'-0"x6'-8"x1 3/4"	SWING	C	S.C. WD.	PAINT	20 MIN.	H.M.	20 MIN.	SELF CLOSING; MAGNETIC DOOR HOLDER	E
110B	COMMUNITY ROOM	3'-0"x7'-0"x1 3/4"	SWING	B	ALUMINUM	ANODIZED		ALUMINUM		SELF CLOSING	C
112	MECHANICAL ROOM	(2)3'-0"x7'-0"x1 3/4"	SWING	D	H.M.	PAINT		H.M.		SELF CLOSING; INSULATED WEATHER STRIPING	
112A	MECHANICAL ROOM	(2)3'-0"x7'-0"x1 3/4"	SWING	D	H.M.	PAINT		H.M.		SELF CLOSING; INSULATED WEATHERSTRIPPING	H
113	WEST STAIRS	3'-0"x6'-8"x1 3/4"	SWING	A	H.M.	PAINT	1 HR.	H.M.	1 HR.	SELF CLOSING	L
113A	WEST STAIRS	3'-0"x7'-0"x1 3/4"	SWING	D	H.M.	PAINT		H.M.		SELF CLOSING; INSULATED WEATHERSTRIPPING; DOOR AJAR MONITOR SYSTEM	M
114	COMMERCIAL SPACE	3'-0"x7'-0"x1 3/4"	SWING	B	ALUMINUM	ANODIZED		ALUMINUM		SELF CLOSING	I
114A	COMMERCIAL SPACE	3'-0"x7'-0"x1 3/4"	SWING	B	ALUMINUM	ANODIZED		ALUMINUM		SELF CLOSING	I
114B	COMMERCIAL SPACE	3'-0"x7'-0"x1 3/4"	SWING	B	ALUMINUM	ANODIZED		ALUMINUM		SELF CLOSING	I
115	COMMERCIAL SPACE	3'-0"x7'-0"x1 3/4"	SWING	B	ALUMINUM	ANODIZED		ALUMINUM		SELF CLOSING	I
115A	COMMERCIAL SPACE	3'-0"x7'-0"x1 3/4"	SWING	B	ALUMINUM	ANODIZED		ALUMINUM		SELF CLOSING	I
116	NORTH STAIRS	3'-0"x6'-8"x1 3/4"	SWING	A	H.M.	PAINT	1 HR.	H.M.	1 HR.	SELF CLOSING	L
116A	NORTH STAIRS	3'-0"x7'-0"x1 3/4"	SWING	A	H.M.	PAINT		H.M.		SELF CLOSING; INSULATED WEATHERSTRIPPING; DOOR AJAR MONITOR SYSTEM	M
117	WATER METER/FIRE RISER ROOM	3'-0"x6'-8"x1 3/4"	SWING	A	H.M.	PAINT		H.M.		SELF CLOSING	E
SECOND FLOOR											
200	COMMUNITY ROOM	3'-0"x6'-8"x1 3/4"	SWING	A	S.C. WD.	PAINT		H.M.		SELF CLOSING; MAGNETIC DOOR HOLDER	B
200A	COMMUNITY ROOM	2'-8"x6'-8"x1 3/4"	SWING	D	S.C. WD.	PAINT		H.M.		SMOKE SEAL & DOOR BOTTOM SEAL	C
201	MECHANICAL ROOM	3'-0"x6'-8"x1 3/4"	SWING	A	H.M.	PAINT	20 MIN.	H.M.	20 MIN.	SELF CLOSING	C
203	WEST STAIRS	3'-0"x6'-8"x1 3/4"	SWING	A	H.M.	PAINT	1 HR.	H.M.	1 HR.	SELF CLOSING	L
204	TRASH ROOM	3'-0"x6'-8"x1 3/4"	SWING	A	H.M.	PAINT	45 MIN.	H.M.	45 MIN.	SELF CLOSING	F
205	JANITOR CLOSET	3'-0"x6'-8"x1 3/4"	SWING	A	H.M.	PAINT		H.M.		SELF CLOSING	C
207	NORTH STAIRS	3'-0"x6'-8"x1 3/4"	SWING	A	H.M.	PAINT	1 HR.	H.M.	1 HR.	SELF CLOSING	L
THIRD FLOOR											
300	COMMUNITY ROOM	3'-0"x6'-8"x1 3/4"	SWING	C	S.C. WD.	PAINT		H.M.		SELF CLOSING; MAGNETIC DOOR HOLDER	B
300A	COMMUNITY ROOM	2'-8"x6'-8"x1 3/4"	SWING	C	S.C. WD.	PAINT		H.M.		SMOKE SEAL & DOOR BOTTOM SEAL	C
301	MECH./ELEC. ROOM	3'-0"x6'-8"x1 3/4"	SWING	A	H.M.	PAINT	20 MIN.	H.M.	20 MIN.	SELF CLOSING	C
303	WEST STAIRS	3'-0"x6'-8"x1 3/4"	SWING	A	H.M.	PAINT	1 HR.	H.M.	1 HR.	SELF CLOSING	L
304	TRASH ROOM	3'-0"x6'-8"x1 3/4"	SWING	A	H.M.	PAINT	45 MIN.	H.M.	45 MIN.	SELF CLOSING	C
305	JANITOR CLOSET	3'-0"x6'-8"x1 3/4"	SWING	A	H.M.	PAINT		H.M.		SELF CLOSING	C
307	NORTH STAIRS	3'-0"x6'-8"x1 3/4"	SWING	A	H.M.	PAINT	1 HR.	H.M.	1 HR.	SELF CLOSING	L
FOURTH FLOOR											
400	FITNESS ROOM	3'-0"x6'-8"x1 3/4"	SWING	C	S.C. WD.	PAINT	20 MIN.	H.M.	20 MIN.	SELF CLOSING; MAGNETIC DOOR HOLDER	K
401	MECHANICAL ROOM	3'-0"x6'-8"x1 3/4"	SWING	A	H.M.	PAINT	20 MIN.	H.M.	20 MIN.	SMOKE SEAL & DOOR BOTTOM SEAL	C
403	WEST STAIRS	3'-0"x6'-8"x1 3/4"	SWING	A	H.M.	PAINT	1 HR.	H.M.	1 HR.	SELF CLOSING	L
404	TRASH ROOM	3'-0"x6'-8"x1 3/4"	SWING	A	H.M.	PAINT	45 MIN.	H.M.	45 MIN.	SELF CLOSING	C
405	JANITOR'S CLOSET	3'-0"x6'-8"x1 3/4"	SWING	A	H.M.	PAINT		H.M.		SELF CLOSING	C
407	NORTH STAIRS	3'-0"x6'-8"x1 3/4"	SWING	A	H.M.	PAINT	1 HR.	H.M.	1 HR.	SELF CLOSING	L
TYPICAL UNIT											
D1	UNIT ENTRY	3'-0"x6'-8"x1 3/4"	SWING	A	S.C. WD.	PAINT	20 MIN.	H.M.	20 MIN.	SELF CLOSING W/PEEPHOLE; SMOKE SEAL & DOOR BOTTOM SEAL	N
D2	LAUNDRY	3'-0"x6'-8"x1 3/4"	SWING	E	S.C. WD.	STAIN		WOOD		MAGNETIC CATCH; LOUVERED; DOOR MAY BE REMOVED TO IMPROVE ACCESS	O
D3	CLOSET	2'-6"x6'-8"x1 3/4"	SWING	A	S.C. WD.	STAIN		WOOD		PRIVACY LATCH SET	P
D4	BATHROOM	3'-0"x6'-8"x1 3/4"	SWING	A	S.C. WD.	STAIN		WOOD		SMOKE SEAL & DOOR BOTTOM SEAL	Q
D5	MECHANICAL	2'-8"x6'-8"x1 3/4"	SWING	A	S.C. WD.	STAIN		WOOD		SMOKE SEAL & DOOR BOTTOM SEAL	Q
D6	BEDROOM	3'-0"x6'-8"x1 3/4"	SWING	A	S.C. WD.	STAIN		WOOD			P
D7	BEDROOM CLOSET	(2)2'-0"x6'-8"x1 3/4"	SWING	A	S.C. WD.	STAIN		WOOD			R
D8	BEDROOM CLOSET	(2)3'-0"x6'-8"x1 3/4"	SWING	A	S.C. WD.	STAIN		WOOD			R
D9	BEDROOM CLOSET	3'-0"x6'-8"x1 3/4"	SWING	A	S.C. WD.	STAIN		WOOD			O



4 WINDOW ELEVATIONS
NOT TO SCALE



1 DOOR ELEVATIONS
NOT TO SCALE

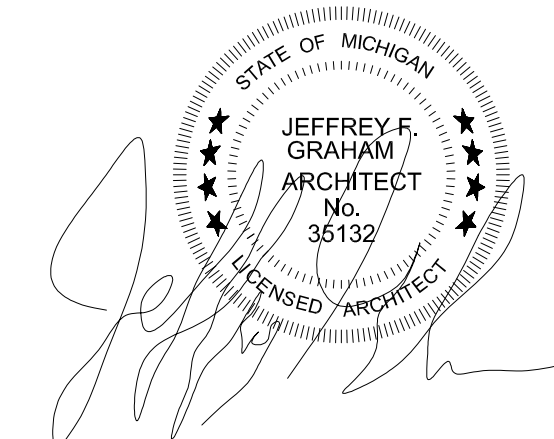


2 STOREFRONT ELEVATIONS
NOT TO SCALE

WINDOW SCHEDULE			
WHITE ANODIZED ALUMINUM; "CRYSTAL WINDOWS" OR EQUAL			
NO.	SIZE	TYPE	QUANTITY
W1	30" x 24" 30" x 60"	LOWER CASEMENT UPPER FIXED	57
W2	21" x 24" 21" x 60" 30" x 24" 30" x 60"	LOWER LEFT CASEMENT UPPER LEFT FIXED LOWER RIGHT FIXED UPPER RIGHT FIXED	59
W3	30" x 84"	FIXED	6
W4	21" x 24" 21" x 60" 30" x 24" 30" x 60"	LOWER LEFT FIXED UPPER LEFT FIXED LOWER RIGHT FIXED UPPER RIGHT FIXED	4
W5	42" x 48"	FIXED	3

WINDOW SPECIFICATIONS
MANUFACTURER: CRYSTAL WINDOW & DOOR SYSTEMS, LTD.
MODEL: SERIES 8500 / AC85
HEAVY COMMERCIAL GRADE / ACOUSTICAL
PROJECTED ALUMINUM WINDOWS
2- 5/8" FRAME DEPTH
1" INSULATED GLASS UNIT
DOUBLE WEATHER STRIPING
(TWO ROWS OF 1/4" BULB USED ON SASH PERIMETER)
FOUR-BAR STAINLESS STEEL FRICTION HINGES (8500 ONLY)
SINGLE OPERATING STAINLESS STEEL MULTI-POINT LOCKS (8500 ONLY)
INTEGRAL HANDLE RAIL (8500 ONLY)
FIXED-8510, PROJECT OUT- 8520, PROJECT IN - 8530, IN SWING CASEMENT -8530
AAMA 2604 POWDER COAT FINISH
WALL THICKNESS 0.06"

GLASS SHALL COMPLY WITH
CPS16 CRF1201 CATEGORY II OR 297.1
CATALOG "A" > 9 SF
CPS16 CRF101 CATEGORY II OR 297.1
CATEGORY "B" WHEN < 9 SF
NOTE: WINDOWS LOCATED WITHIN
STARWELLS SHALL HAVE SAFETY
GLAZING INSTALLED.



CLIENT: MHT HOUSING, INC.
PROJECT: BRUSH PARK APARTMENTS
269 WINDER STREET, DETROIT MI
SITE AREA: 39,501± SF OR 0.91± ACRES

PROFESSIONAL ARCHITECTS
KEM-TEC & ASSOCIATES
22556 GRATIOT AVENUE
(586) 772-2222 PHONE
(586) 772-4048 FAX

72 HOURS
(3 WORKING DAYS)
BEFORE YOU DIG
CALL MISS DIG
800-482-7171
(TOLL FREE)

DRAWN BY: M.L.
SCALE: NOT TO SCALE
DATE: 12/09/2021
PROJECT NO: 19-03104

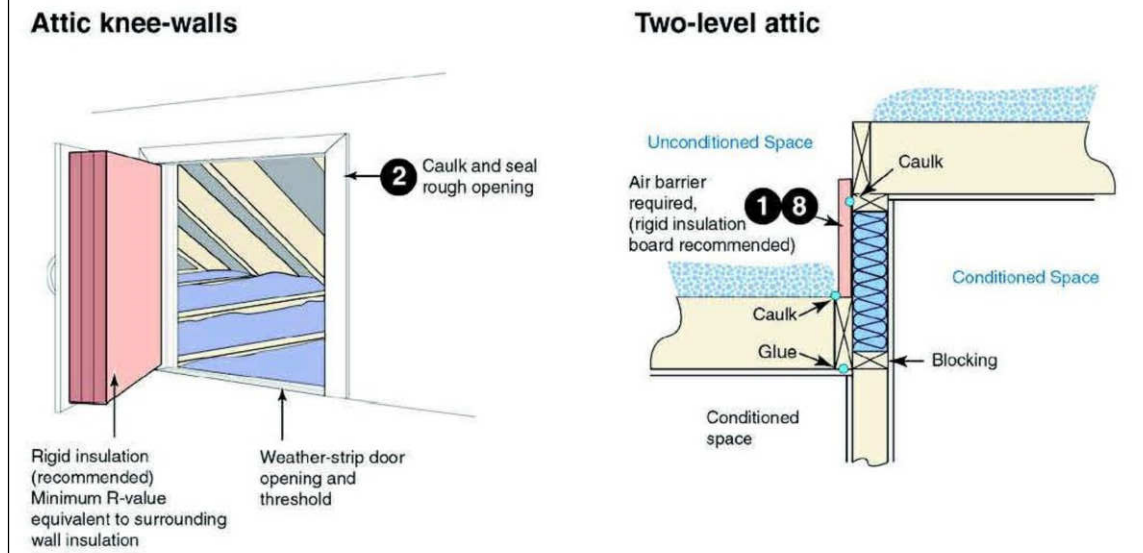
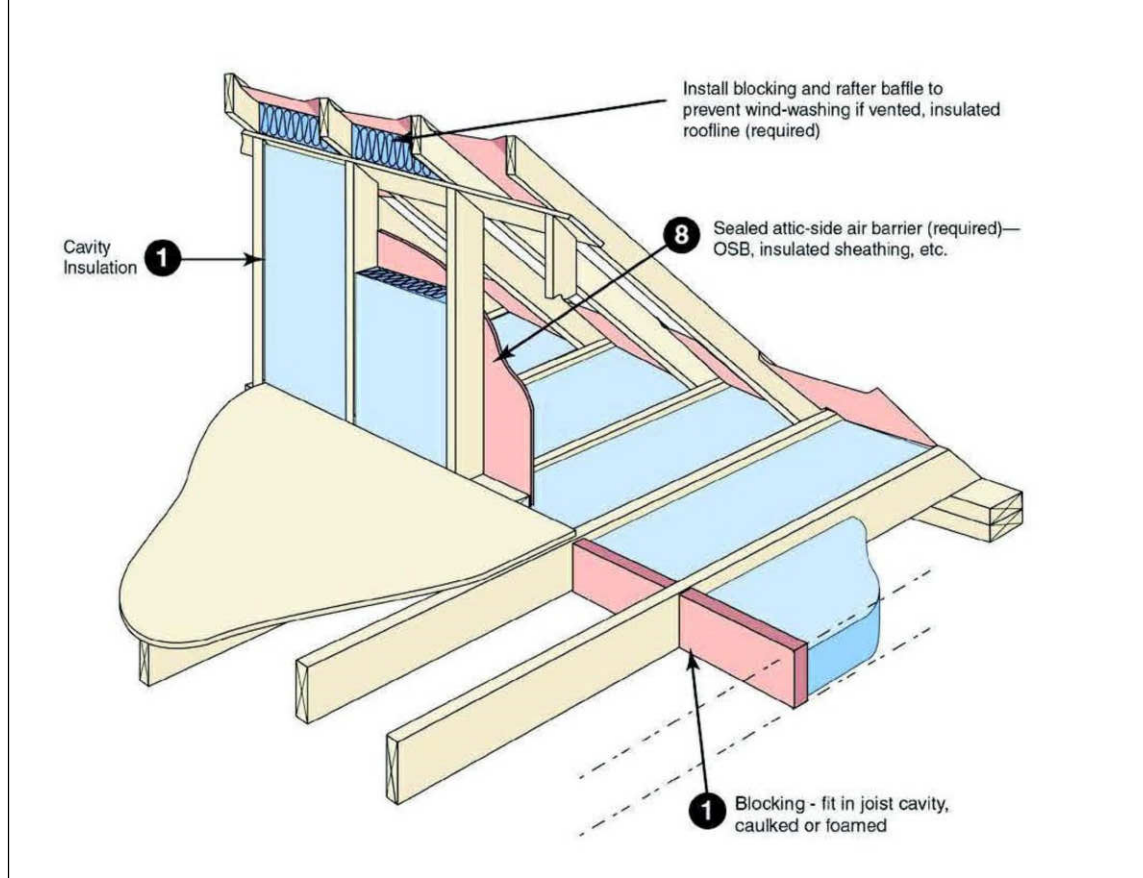
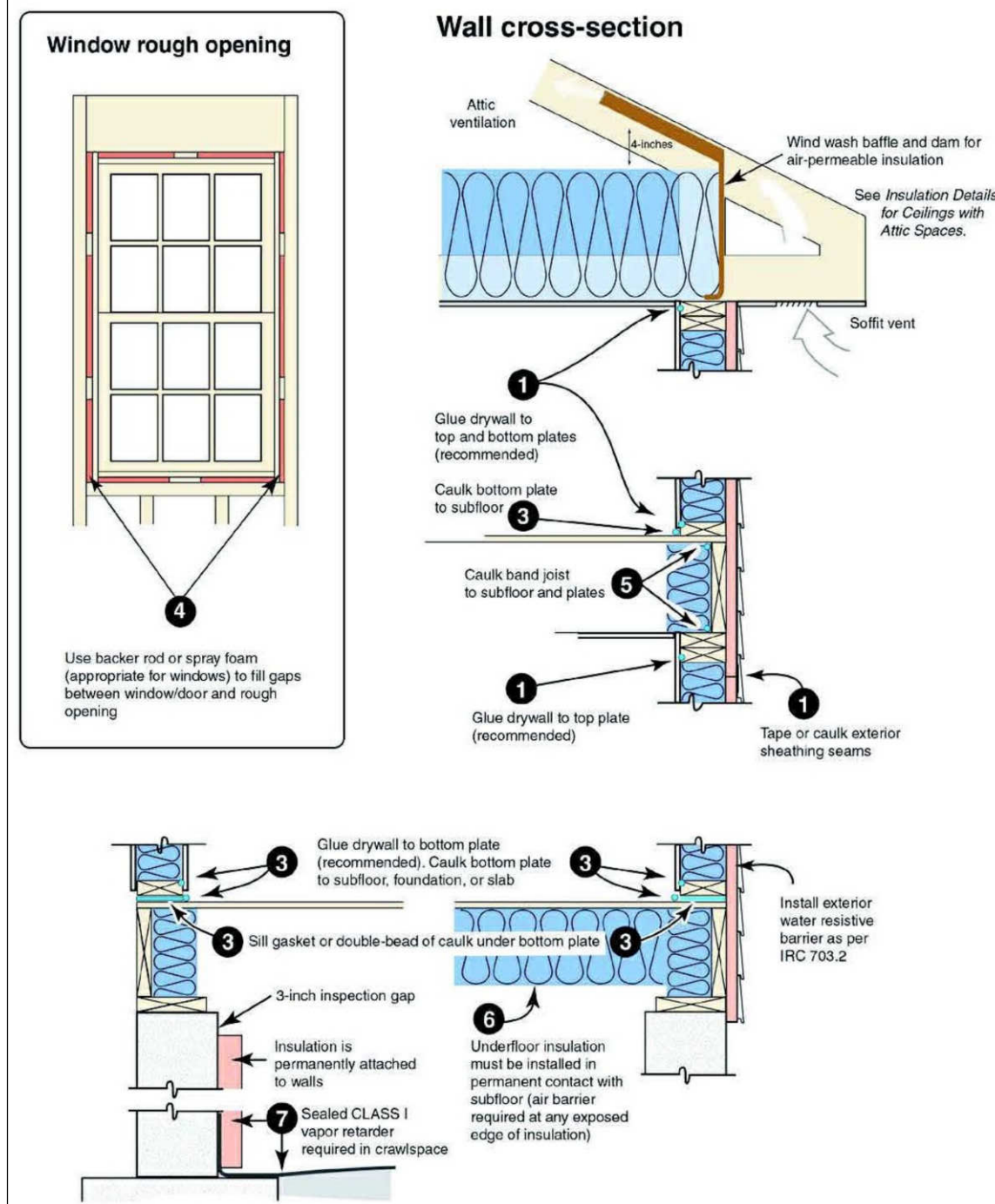
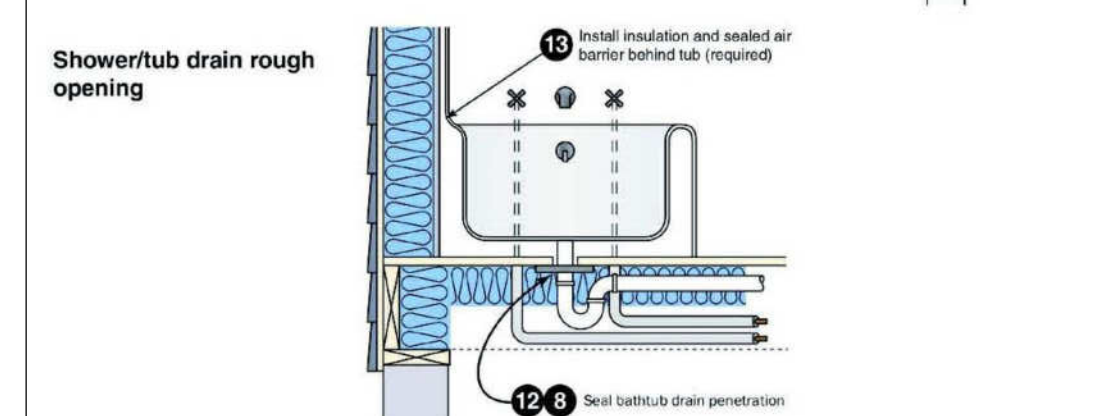
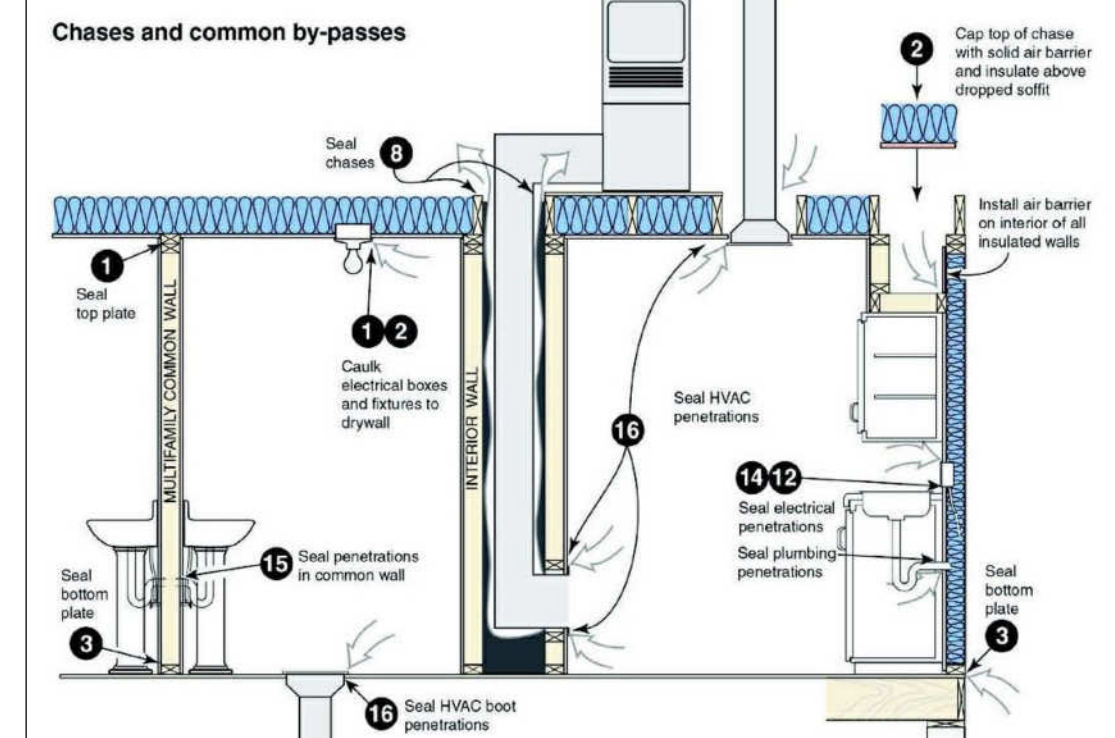
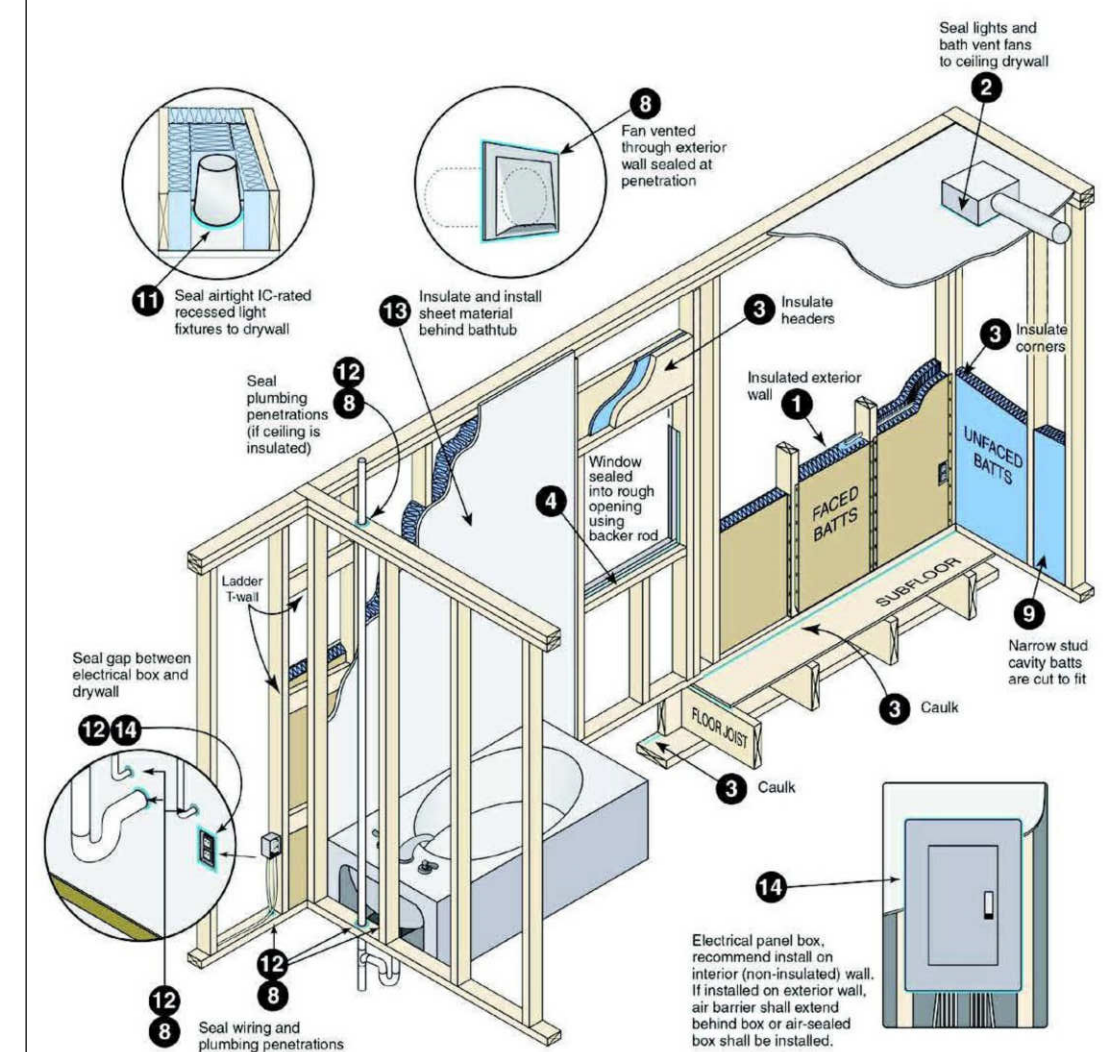
SHEET NO: A.10.1

AIR BARRIER AND INSULATION INSPECTION COMPONENT GUIDE

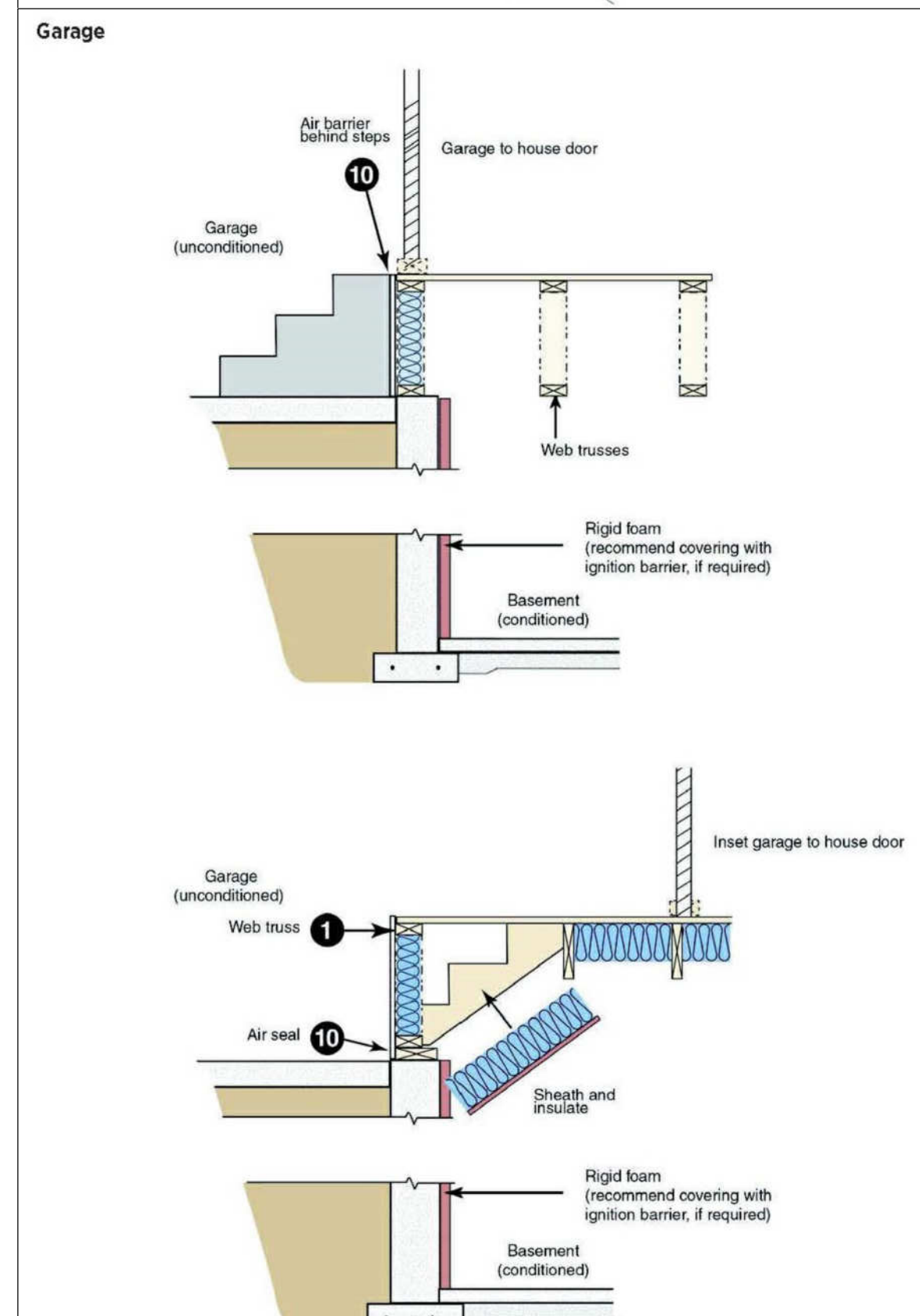
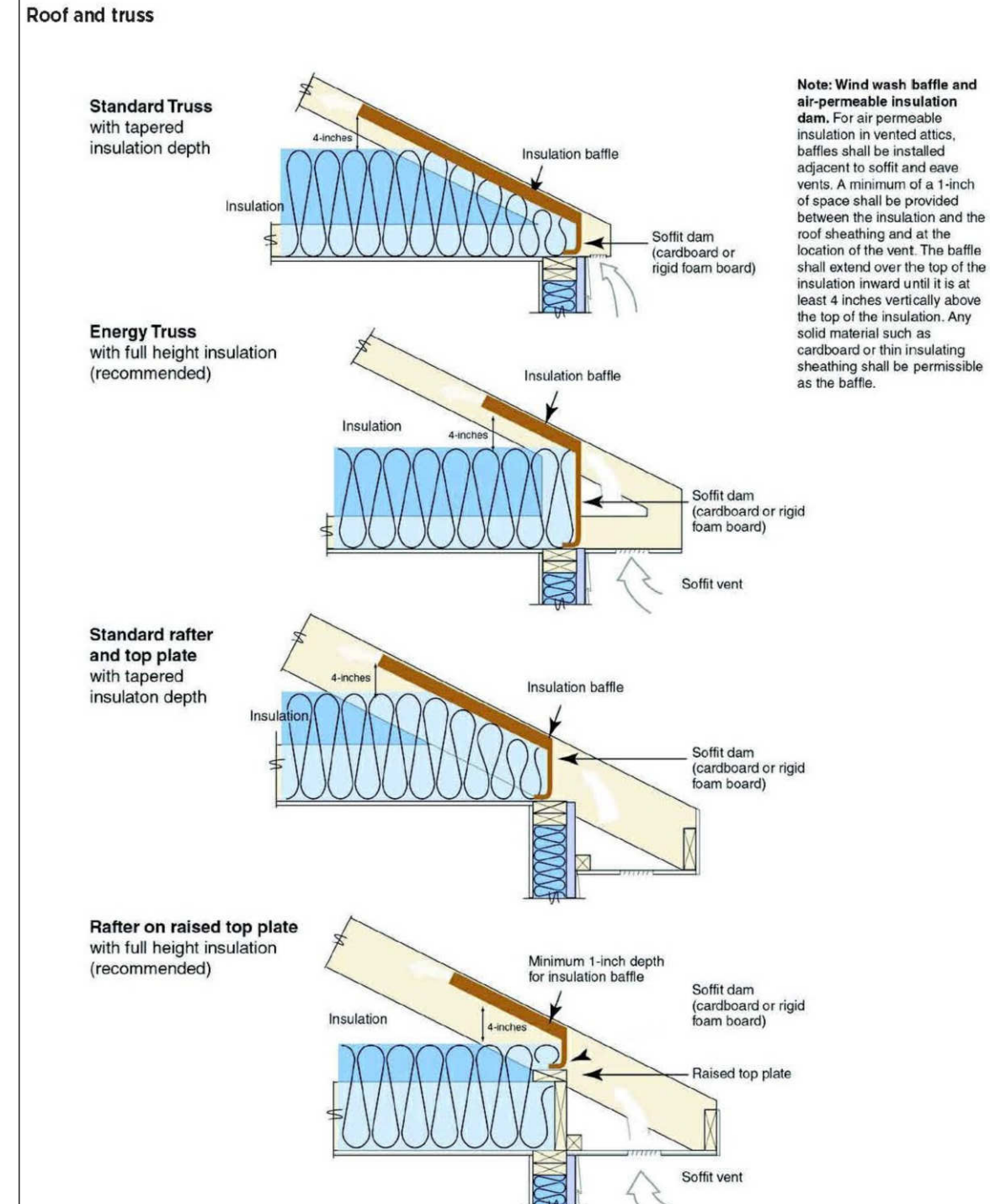
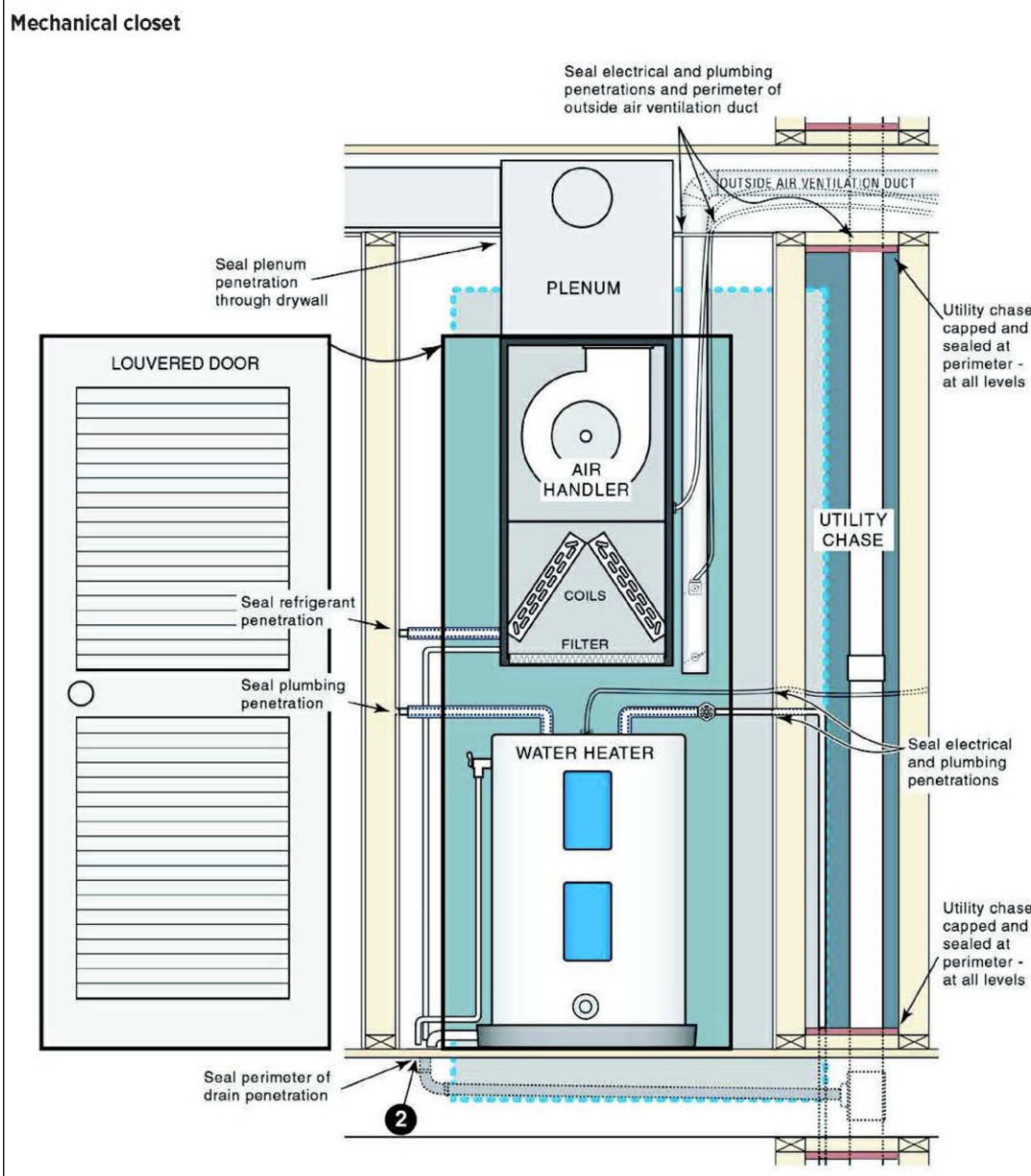
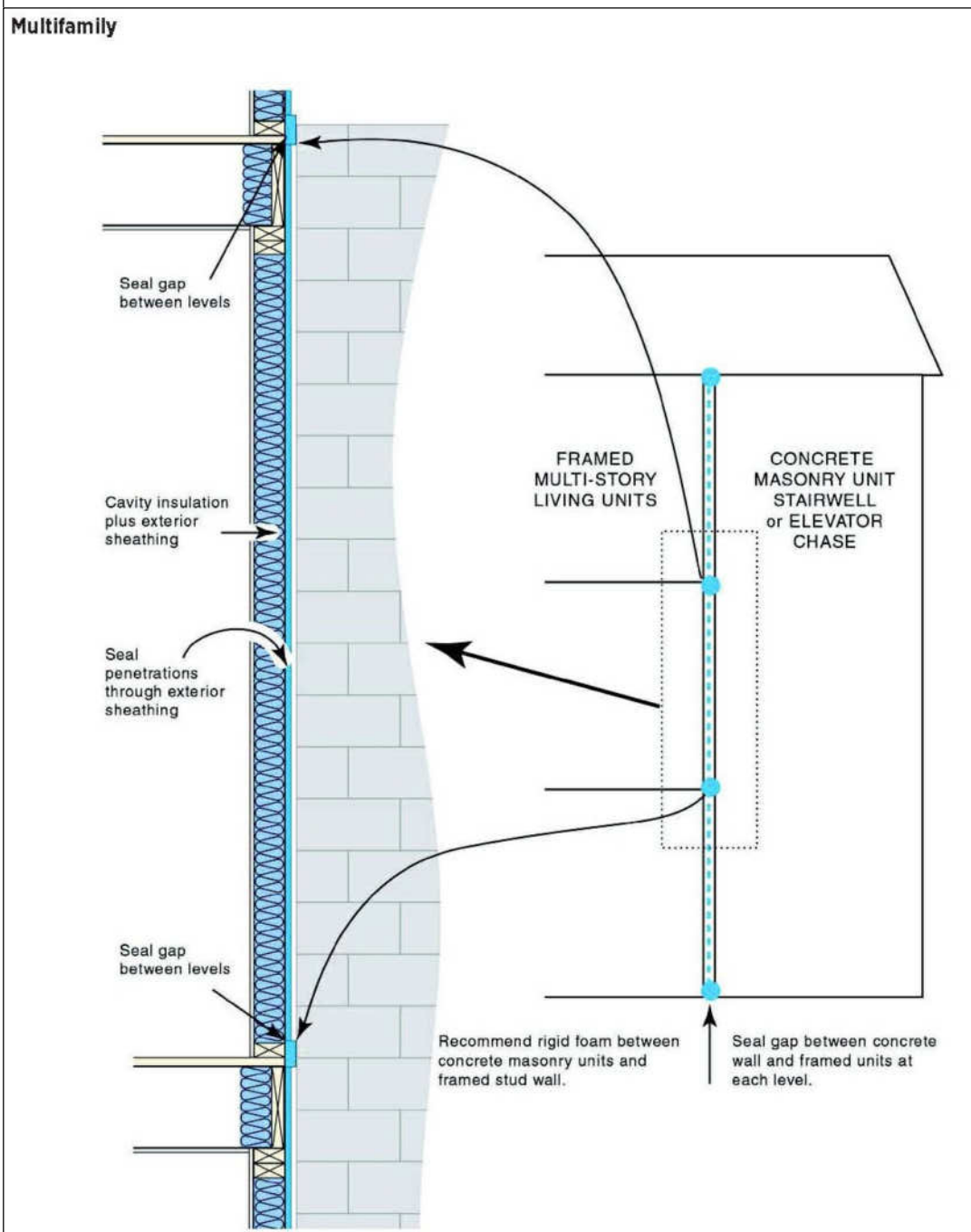
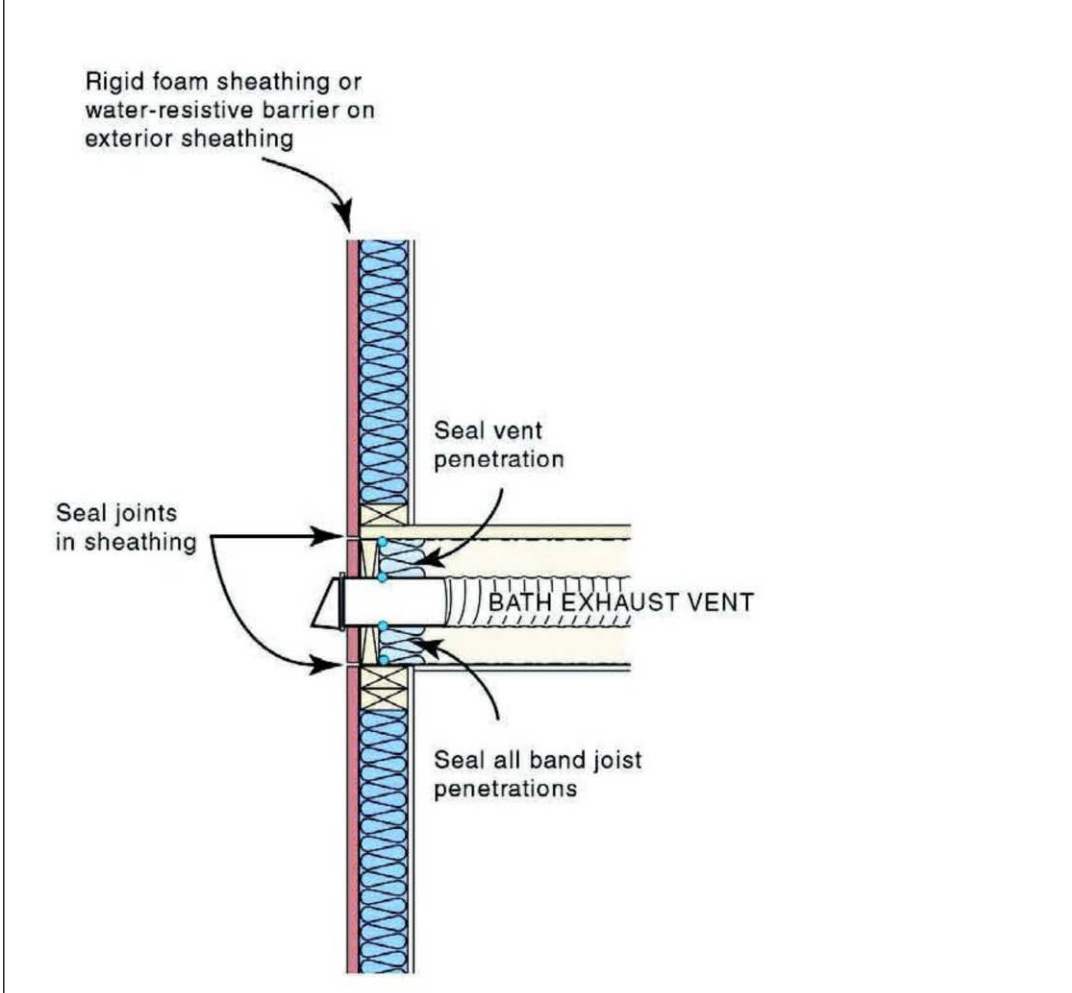
NO.	COMPONENT	CRITERIA
1	Air barrier and thermal barrier	<ul style="list-style-type: none"> Exterior thermal envelope insulation for framed walls is installed in substantial contact and continuous alignment with building envelope air barrier. Breaks or joints in the air barrier are filled or repaired. Air-permeable insulation is not used as a sealing material. Air-permeable insulation is not used as an air barrier.
2	Ceiling/attic	<ul style="list-style-type: none"> Air barrier in any dropped ceiling/soffit is substantially aligned with insulation, and any gaps are sealed. Attic access (except unvented attic), knee wall door or pull down stair is sealed.
3	Walls	<ul style="list-style-type: none"> Corners and headers are insulated. Junction of foundation and sill plate is sealed.
4	Windows and doors	<ul style="list-style-type: none"> Space between window/door joints and framing is sealed.
5	Rim joists	<ul style="list-style-type: none"> Rim joists are insulated and include an air barrier.
6	Floors (including above-garage and cantilevered floors)	<ul style="list-style-type: none"> Insulation is installed to maintain permanent contact with underside of subfloor decking. Air barrier is installed at any exposed edge of insulation.
7	Crawl-space walls	<ul style="list-style-type: none"> Insulation is permanently attached to walls. Exposed earth in unvented crawl spaces is covered with Class I vapor retarder with overlapping joints lapped.
8	Shafts, penetrations	<ul style="list-style-type: none"> Duct shafts, utility penetrations, knee walls and flue shafts opening to exterior or unconditioned space are sealed.
9	Narrow cavities	<ul style="list-style-type: none"> Batts in narrow cavities are cut to fit, or narrow cavities are filled by sprayed/blown insulation.
10	Garage separation	<ul style="list-style-type: none"> Air sealing is provided between the garage and conditioned spaces.
11	Recessed lighting	<ul style="list-style-type: none"> Recessed light fixtures are air tight, IC rated and sealed to drywall. Exception—fixtures in conditioned space.
12	Plumbing and wiring	<ul style="list-style-type: none"> Insulation is placed between outside and pipes. Batt insulation is cut to fit around wiring and plumbing, or sprayed/blown insulation extends behind piping and wiring.
13	Shower/tub on exterior wall	<ul style="list-style-type: none"> Showers and tubs on exterior walls have insulation and an air barrier separating them from the exterior wall.
14	Electrical/phone box on exterior walls	<ul style="list-style-type: none"> Air barrier extends behind boxes, or air sealed-type boxes are installed.
15	Common wall	<ul style="list-style-type: none"> Air barrier is installed in common wall between dwelling units.
16	HVAC register boots	<ul style="list-style-type: none"> HVAC register boots that penetrate building envelope are sealed to subfloor or drywall.
17	Fireplace	<ul style="list-style-type: none"> Fireplace walls include an air barrier.

This document is intended solely to help graphically demonstrate the air leakage provisions of section 402.4 of the 2009 IECC. It does not cover all existing locations or techniques. Other code provisions may be applicable as well.

AIR SEALING KEY POINTS



- Multifamily**
- Cap and seal all chases, including chases for grouped utility lines and radon vents.
 - Seal penetrations in mechanical closet, including penetrations for the:
 - supply plenum
 - outside air ventilation
 - refrigerant line
 - plumbing
 - electrical
 - gas fuel
 - Seal band area at exterior sheathing side and all penetrations through band.
 - Air-seal at drywall finishing for any wall adjacent to stairwell or elevator. Air-seal this gap at every change in floor level.
 - Seal miscellaneous clustered penetrations through building envelope (e.g., refrigerant lines).



CLIENT: MHT HOUSING, INC.
PROJECT: BRUSH PARK APARTMENTS
269 WINDER STREET, DETROIT MI
SITE AREA: 39.501± SF OR 0.91± ACRES

PROFESSIONAL ARCHITECTS
KEM-TEC & ASSOCIATES
22555 GRANT AVENUE
DETROIT, MI 48224
(586) 772-2222 PHONE
(586) 772-4048 FAX

72 HOURS (3 WORKING DAYS)
BEFORE YOU DIG
CALL MISS DIG
800-482-7171 (TOLL FREE)

DRAWN BY: M.L.
SCALE: NOT TO SCALE
DATE: 12/09/2021
PROJECT NO: 19-03104

SHEET NO: A.11.1

STATE OF MICHIGAN
JEFFREY F. GRAHAM / ARCHITECT
No. 36132
LICENSED ARCHITECT

BRUSH PARK APARTMENTS

CONSTRUCTION PLANS

269 WINDER DR., CITY OF DETROIT, MICHIGAN

APPLICANT

T.VAN FOX
32600 TELEGRAPH RD,
SUITE102,
BINGHAM FARMS, MI 48025
T: 248-833-0550

ARCHITECT

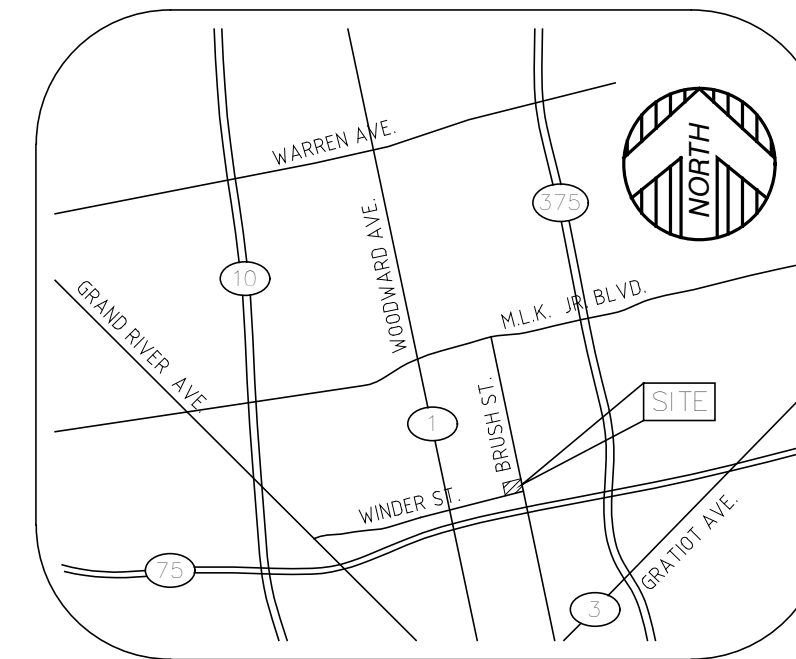
KEM-TEC & ASSOCIATES
22556 GRATIOT AVENUE
EASTPOINTE, MI 48021
CONTACT: MATTHEW LINSKENS
PHONE: (586)-772-2222

CIVIL ENGINEER

KEM-TEC & ASSOCIATES
22556 GRATIOT AVENUE
EASTPOINTE, MI 48021
CONTACT: GREG EZZO
PHONE: (810)-712-8849

LEGEND

●	FOUND MONUMENT (AS NOTED)
(R&M)	RECORD AND MEASURED DIMENSION
(R)	RECORD DIMENSION
(M)	MEASURED DIMENSION
⊕	ELECTRIC MANHOLE
⊞	HAND HOLE
○	UTILITY POLE
⊗	GAS VALVE
⊙	LIGHT POLE WITH STREET LAMP
⊕	SANITARY MANHOLE
⊞	SQUARE CATCH BASIN
⊗	FIRE HYDRANT
⊙	WATER GATE MANHOLE
⊗	WATER VALVE
⊞	STEAM VAULT
⊙	LIGHTPOST/LAMP POST
⊙	SINGLE POST SIGN
⊙	DECIDUOUS TREE (AS NOTED)
—	SANITARY LINE
—	STORM LINE
—	WATER LINE
—	GAS LINE
⊕	PROPOSED CATCH BASIN
⊕	PROPOSED MANHOLE
⊕	PROPOSED FIRE HYDRANT
⊕	PROPOSED WATER VALVE
—	PROPOSED SANITARY LINE
—	PROPOSED STORM WATER LINE
—	PROPOSED WATER LINE
—	PROPOSED SLIT FENCE



VICINITY MAP
(NOT TO SCALE)

DRAWING INDEX

C1.0	COVER SHEET
1	TOPOGRAPHIC SURVEY
C2.0	DEMOLITION PLAN
C3.0	SITE LAYOUT & PAVING PLAN
C4.0	GRADING PLAN
C5.0	UTILITY PLAN
C6.0	PROFILE PLAN
C7.0	SOIL EROSION & SEDIMENTATION CONTROL PLAN
C8.0	SITE DETAILS
C8.1	SITE DETAILS
C8.2	DETENTION DETAILS

PROPERTY DESCRIPTION

LAND SITUATED IN THE CITY OF DETROIT, COUNTY OF WAYNE, STATE OF MICHIGAN, DESCRIBED AS:

PARCEL 1:
LOT 1, EXCEPT THE WEST 9 FEET, BLOCK 2, BRUSH SUBDIVISION OF THAT PART OF THE BRUSH FARM LYING EAST OF AND ADJOINING PARK LOTS 6, 7, 8, AND 9*AS RECORDED IN LIBER 1, PAGE 118 OF PLATS, WAYNE COUNTY RECORDS.

ADDRESS: 2515 BRUSH
TAX NUMBER: 01000598-604

PARCEL 2:
THE WEST 9 FEET OF LOT 1 AND THE EAST 35 FEET OF LOT 2, BRUSH SUBDIVISION OF THAT PART OF THE BRUSH FARM LYING EAST OF AND ADJOINING PARK LOTS 6, 7, 8, AND 9*AS RECORDED IN LIBER 1, PAGE 118 OF PLATS, WAYNE COUNTY RECORDS.

ADDRESS: 291 WINDER
TAX NUMBER: 01000597

PARCEL 3:
THE WEST 15 FEET OF LOT 2 AND THE EAST 1/2 OF LOT 3, BLOCK 2, BRUSH SUBDIVISION OF THAT PART OF THE BRUSH FARM LYING EAST OF AND ADJOINING PARK LOTS 6, 7, 8, AND 9*AS RECORDED IN LIBER 1, PAGE 118 OF PLATS, WAYNE COUNTY RECORDS.

ADDRESS: N. WINDER
TAX NUMBER: 01000596

PARCEL 4:
THE WEST 1/2 OF LOT 3 AND ALL OF LOT 4, BLOCK 2, BRUSH SUBDIVISION OF THAT PART OF THE BRUSH FARM LYING EAST OF AND ADJOINING PARK LOTS 6, 7, 8, AND 9*AS RECORDED IN LIBER 1, PAGE 118 OF PLATS, WAYNE COUNTY RECORDS.

ADDRESS: 269 WINDER
TAX NUMBER: 01000595,002L

PARCEL 5:
LOT 5, BLOCK 2, BRUSH SUBDIVISION OF THAT PART OF THE BRUSH FARM LYING EAST OF AND ADJOINING PARK LOTS 6, 7, 8, AND 9*AS RECORDED IN LIBER 1, PAGE 118 OF PLATS, WAYNE COUNTY RECORDS.

THE PERIMETER DESCRIPTION BELOW COMPRISES PARCELS 1 THROUGH 4 AND A PORTION OF PARCEL 5.

LAND IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN BEING ALL OF LOTS 1 THROUGH 4 AND PART OF LOT 5 BLOCK 2 BRUSH SUBDIVISION OF THAT PART OF THE BRUSH FARM LYING EAST OF AND ADJOINING PARK LOTS 6, 7, 8, AND 9*AS RECORDED IN LIBER 1, PAGE 118 OF PLATS, WAYNE COUNTY RECORDS; AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE WEST LINE OF BRUSH STREET (60 FEET WIDE) AND THE NORTH LINE OF WINDER STREET (60 FEET WIDE), BEING THE SOUTHEAST CORNER OF SAID LOT 1; THENCE S59°16'09"W 233.30 FEET ALONG THE NORTH LINE OF WINDER STREET; THENCE N30°24'30"W 165.88 FEET TO THE SOUTH LINE OF A PUBLIC ALLEY (20 FEET WIDE); THENCE N59°16'09"E 242.96 FEET ALONG SAID SOUTH ALLEY LINE TO THE NORTHEAST CORNER OF SAID LOT 1 AND THE WEST LINE OF BRUSH STREET; THENCE S27°04'30"E 166.22 FEET ALONG SAID WEST LINE TO THE POINT OF BEGINNING AND CONTAINING 0.907 ACRES.

PARCEL AREA

39,501± SQUARE FEET = 0.907± ACRES

BENCHMARK

SITE BENCHMARK #1
ARROW ON HYDRANT IN BRUSH STREET RIGHT OF WAY.
ELEVATION = 617.95' (NAVD 88)

SITE BENCHMARK #2
ARROW ON HYDRANT IN WINDER STREET RIGHT OF WAY.
ELEVATION = 616.74' (NAVD 88)



S.M. ENGINEERS

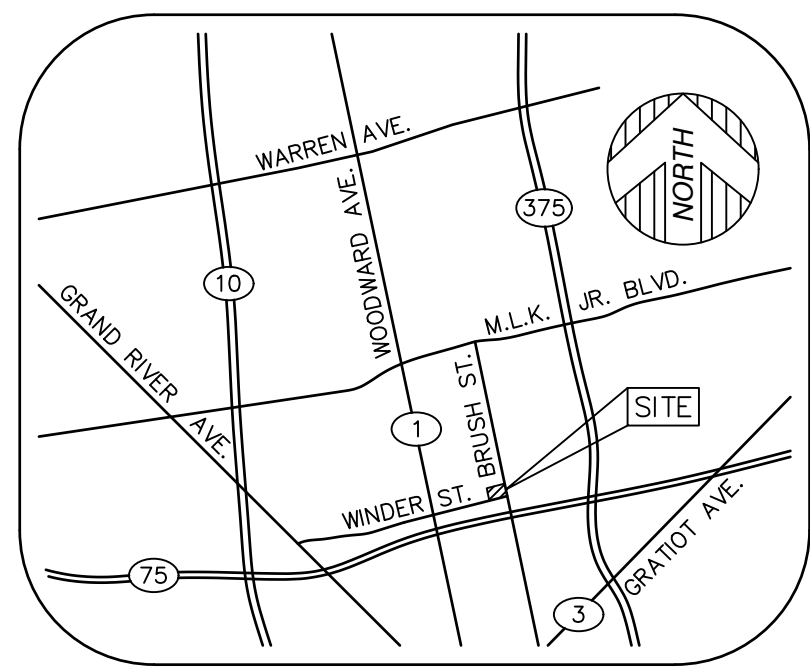
CIVIL ENGINEER / SURVEY /
LAND PLANNER /
LANDSCAPE ARCHITECT

4071 KEATS DRIVE,
TROY, MI 48085
T: 248.835.3553



Know what's below.
Call before you dig.

NO.	DATE	BY	REVISION	DESCRIPTION
03/17/2021	J.S.M. ENG.			CITY SUBMISSION
04/19/2021	J.S.M. ENG.			DISTRICT REVIEW
05/19/2021	J.S.M. ENG.			CLIENT REVIEW



VICINITY MAP
(NOT TO SCALE)

PARKING

NO MARKED PARKING ON SITE.

PARCEL AREA

39,501± SQUARE FEET = 0.907± ACRES

BASIS OF BEARING

SOUTH 27°04'30" EAST, BEING THE SOUTHWESTERLY RIGHT OF WAY LINE OF BRUSH STREET, AS DESCRIBED.

BENCHMARK

SITE BENCHMARK #1
ARROW ON HYDRANT IN BRUSH STREET RIGHT OF WAY.
ELEVATION = 617.95' (NAVD 88)

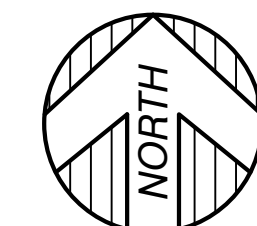
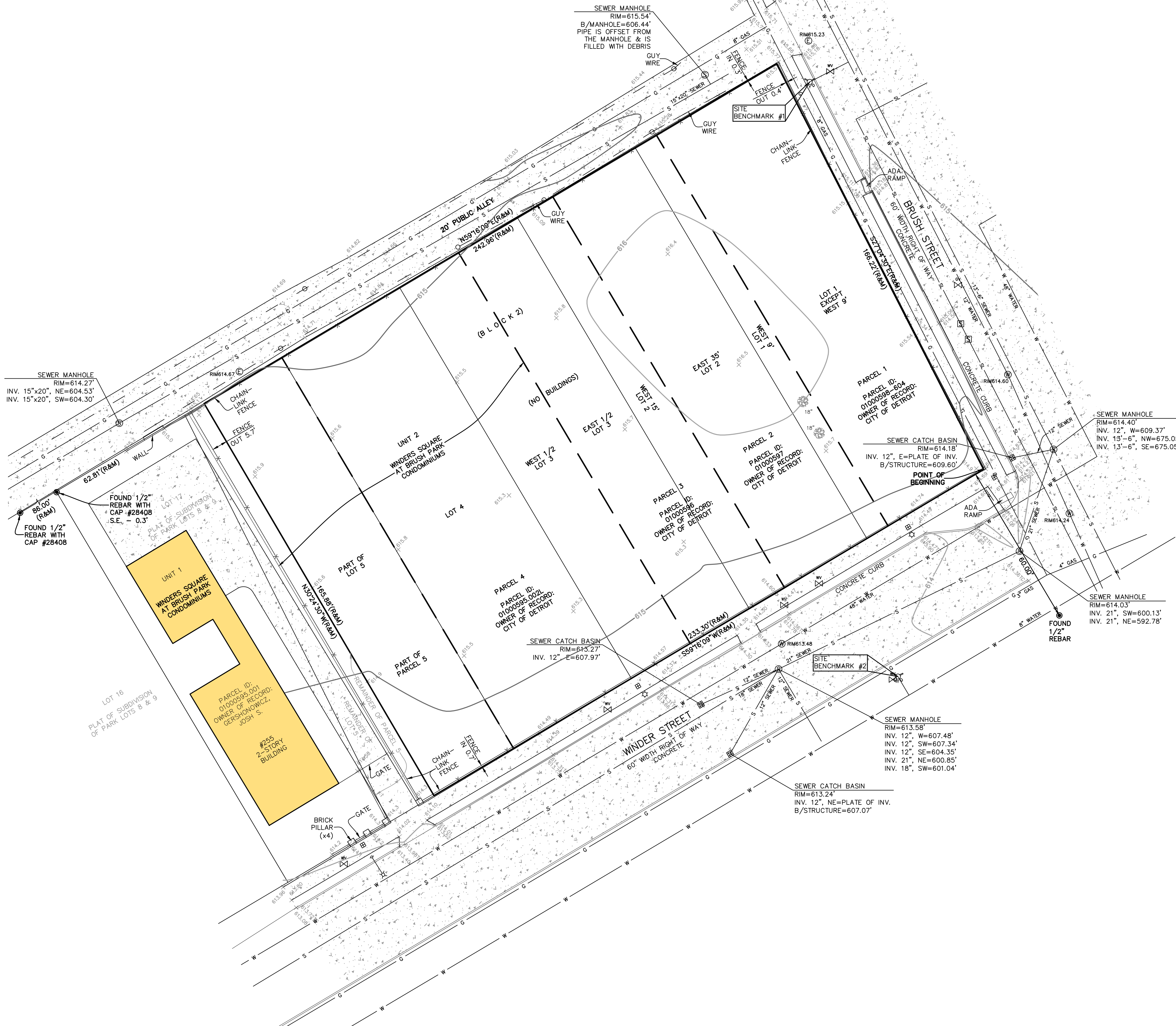
SITE BENCHMARK #2
ARROW ON HYDRANT IN WINDER STREET RIGHT OF WAY.
ELEVATION = 616.74' (NAVD 88)

SURVEYOR'S NOTE

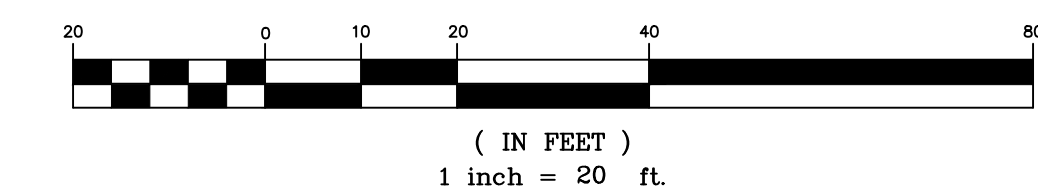
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

LEGEND

- FOUND MONUMENT (AS NOTED)
- (R&M) RECORD AND MEASURED DIMENSION
- (R) RECORD DIMENSION
- (M) MEASURED DIMENSION
- ⊕ ELECTRIC MANHOLE
- HAND HOLE
- UTILITY POLE
- GAS VALVE
- LIGHT POLE WITH STREET LAMP
- SANITARY MANHOLE
- SQUARE CATCH BASIN
- FIRE HYDRANT
- WATER GATE MANHOLE
- WATER VALVE
- STEAM VAULT
- LIGHTPOST/LAMP POST
- SINGLE POST SIGN
- DECIDUOUS TREE (AS NOTED)
- PARCEL BOUNDARY LINE
- PLATTED LOT LINE
- ADJOINER PARCEL LINE
- BUILDING
- CONCRETE CURB
- EDGE OF CONCRETE (CONC.)
- FENCE (AS NOTED)
- WALL (AS NOTED)
- OVERHEAD UTILITY LINE
- GAS LINE
- SEWER LINE
- WATER LINE
- STEAM LINE
- BUILDING HATCH
- CONCRETE HATCH



GRAPHIC SCALE



PROPERTY DESCRIPTION

LAND SITUATED IN THE CITY OF DETROIT, COUNTY OF WAYNE, STATE OF MICHIGAN, DESCRIBED AS:

PARCEL 1:
LOT 1, EXCEPT THE WEST 9 FEET, BLOCK 2, BRUSH SUBDIVISION OF THAT PART OF THE BRUSH FARM LYING EAST OF AND ADJOINING PARK LOTS 6, 7, 8, AND 9'S AS RECORDED IN LIBER 1, PAGE 118 OF PLATS, WAYNE COUNTY RECORDS.

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TITLE REPORT NOTE

- 1. ONLY THOSE EXCEPTIONS CONTAINED WITHIN THE OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY COMMITMENT NO. 704027, DATED NOVEMBER 01, 2019, AND RELISTED BELOW WERE CONSIDERED FOR THIS SURVEY. NO OTHER RECORDS RESEARCH WAS PERFORMED BY THE CERTIFYING SURVEYOR.
- 2. TERMS AND CONDITIONS OF THE MODIFIED DEVELOPMENT PLAN BRUSH PARK REHABILITATION PROJECT, RECORDED IN LIBER 28459, PAGE 602. (SEE DOCUMENT FOR TERMS AND CONDITIONS)
- 3. TERMS AND CONDITIONS OF A RESOLUTION RECORDED IN LIBER 40535, PAGE 209. (SEE DOCUMENT FOR TERMS AND CONDITIONS)
- 4. TERMS AND CONDITIONS OF A RESOLUTION RECORDED IN LIBER 29551, PAGE 1900. (SEE DOCUMENT FOR TERMS AND CONDITIONS)

SURVEYOR'S CERTIFICATION

TO MHT HOUSING, INC., OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY AND CINNAIRE TITLE SERVICES, LLC:

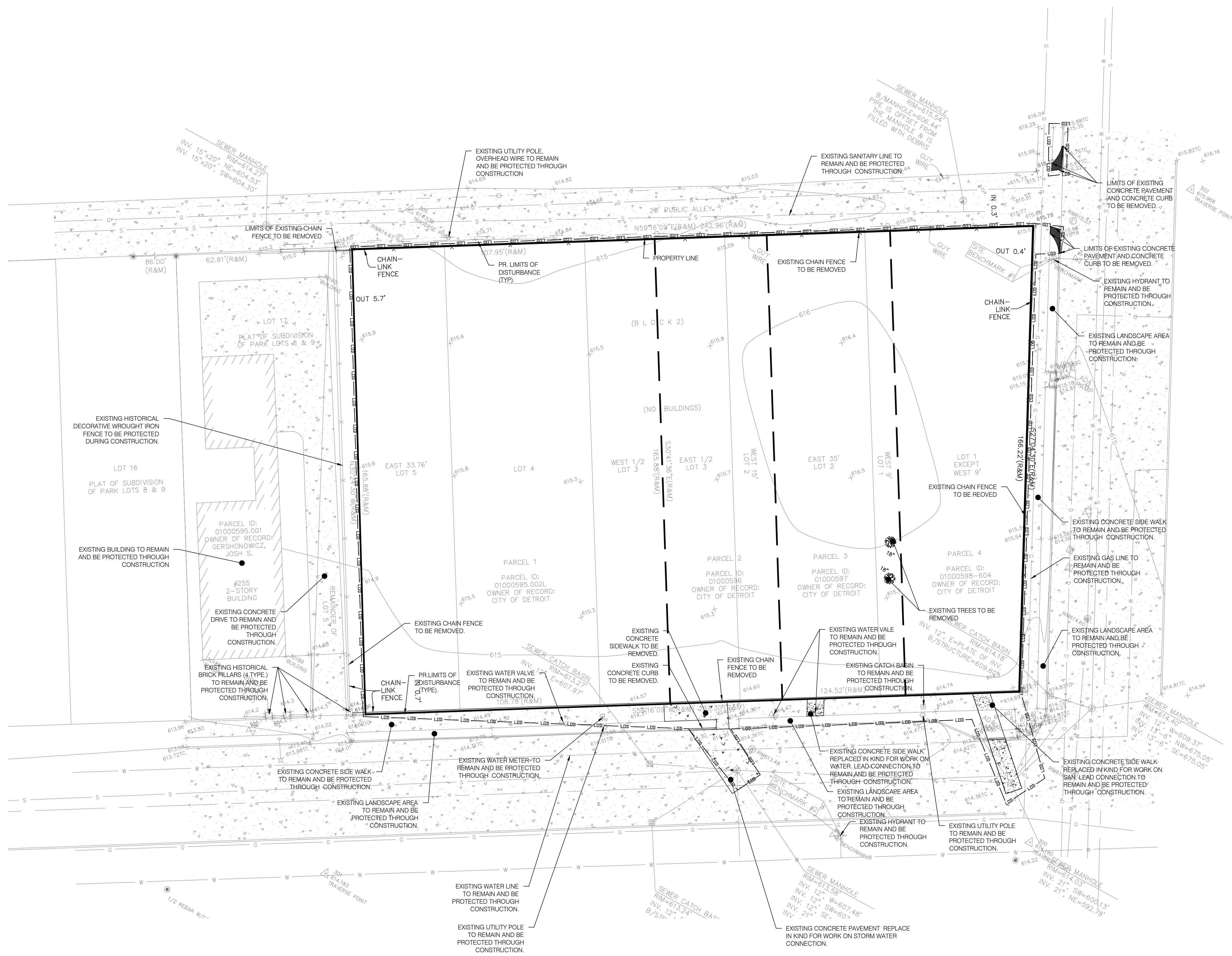
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDED ITEMS 2, 4, 5, 7A, 8, 9, AND 11 OF TABLE A, THEREOF. THE FIELD WORK WAS COMPLETED ON DECEMBER 27, 2019.

DATE OF PLAT OR MAP: JANUARY 6, 2020

DRAFT

ANTHONY T. SYCKO, JR., P.S.
PROFESSIONAL SURVEYOR
MICHIGAN LICENSE NO. 47976
22556 GRATIOT AVE., EASTPOINTE, MI 48021
TSycko@kemttec-survey.com

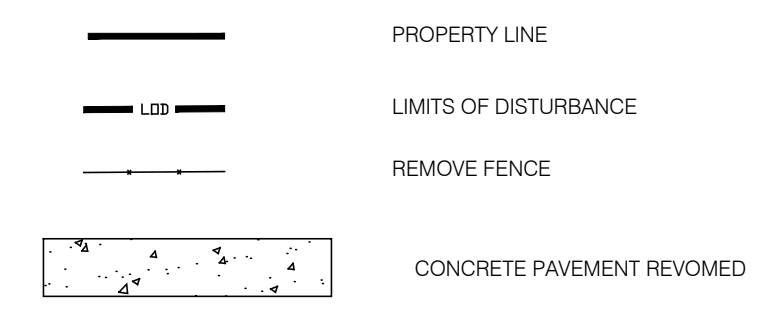
NO.	DATE	REVISION	DATE	BY	DESCRIPTION
1	01/06/20				
2	01/06/20				
3	JANUARY 6, 2020				
4	19-04063				



GENERAL DEMOLITION NOTES

- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT:
- ALL MATERIAL TO BE REMOVED, WHETHER SPECIFICALLY NOTED IN THE PLANS OR NOT, SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF OFF-SITE IN A LEGAL MANNER. NO ON-SITE BURY OR BURN PITS SHALL BE ALLOWED.
 - ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES.
 - STAGING/PHASING OF DEMOLITION AND CONSTRUCTION IS TO BE COORDINATED WITH THE OWNER AND THE CONTRACTOR PRIOR TO CONSTRUCTION.
 - SPECIFIC DEMOLITION ITEMS HAVE BEEN INDICATED ON THE PLANS AS A GUIDE TO THE GENERAL SCOPE OF THE WORK. IT IS THE INTENT THAT THESE ITEMS SHALL BE COMPLETELY REMOVED BY THE CONTRACTOR ABOVE AND BELOW GROUND, UNLESS SPECIFICALLY NOTED OTHERWISE, AND THAT DEMOLITION WILL INCLUDE BUT WILL NOT NECESSARILY BE LIMITED TO THESE ITEMS. CONTRACTOR SHALL VISIT SITE TO VERIFY EXISTING CONDITIONS AND EXTENTS OF THE DEMOLITION THAT WILL BE REQUIRED PRIOR TO SUBMITTING A BID.
 - REMOVE ALL STRUCTURES DESIGNATED FOR REMOVAL ACCORDING TO THE DEMOLITION PLAN. THIS INCLUDES CONCRETE SIDEWALKS, BRICK AND CURBED AREAS, ASPHALT, TRESS, ETC.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP, NOISE, DUST CONTROL, STREET SWEEPING AND HOURS OF OPERATION IN ACCORDANCE WITH THE LOCAL CODES.
 - THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNAGE, MARKINGS, LIGHTS AND OTHER TRAFFIC CONTROL DEVICES TO PROTECT THE WORK ZONE AND SAFELY MAINTAIN TRAFFIC PER AGENCY REQUIREMENTS AND IN ACCORDANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) LATEST EDITION.
 - THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO CONFIRM THAT UTILITY LEADS HAVE BEEN TAKEN OUT OF SERVICE PRIOR TO DEMOLITION.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF SIGNS AND SUPPORTS WITHIN THE WORK AREA, AS NECESSARY TO FACILITATE CONSTRUCTION. SIGNS SHALL BE PROTECTED OR STOCKPILED FOR REUSE AS SPECIFIED IN THE PLANS OR AS REQUIRED BY THE AGENCY OF JURISDICTION. THE CONTRACTOR SHALL REPLACE ANY DAMAGED SIGNS AND SUPPORTS AT NO ADDITIONAL COST TO THE OWNER.
 - THE CONTRACTOR SHALL NOTIFY MISS DIG, THE CITY OF DETROIT ENGINEER AND /OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
 - ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED/DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY KEM-TEC IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN & FIELD CONDITIONS.
 - THE LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE BASED ON RECORDS PROVIDED BY THE UTILITY OWNERS AND VISIBLE EVIDENCE OBTAINED IN THE FIELD. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED TO THE COMPLETENESS OR ACCURACY THEREOF.

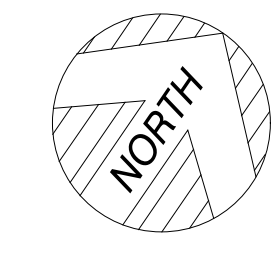
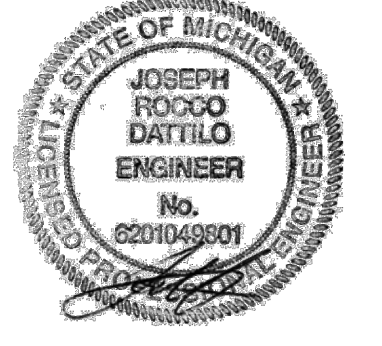
DEMOLITION LEGEND



S.M. ENGINEERS

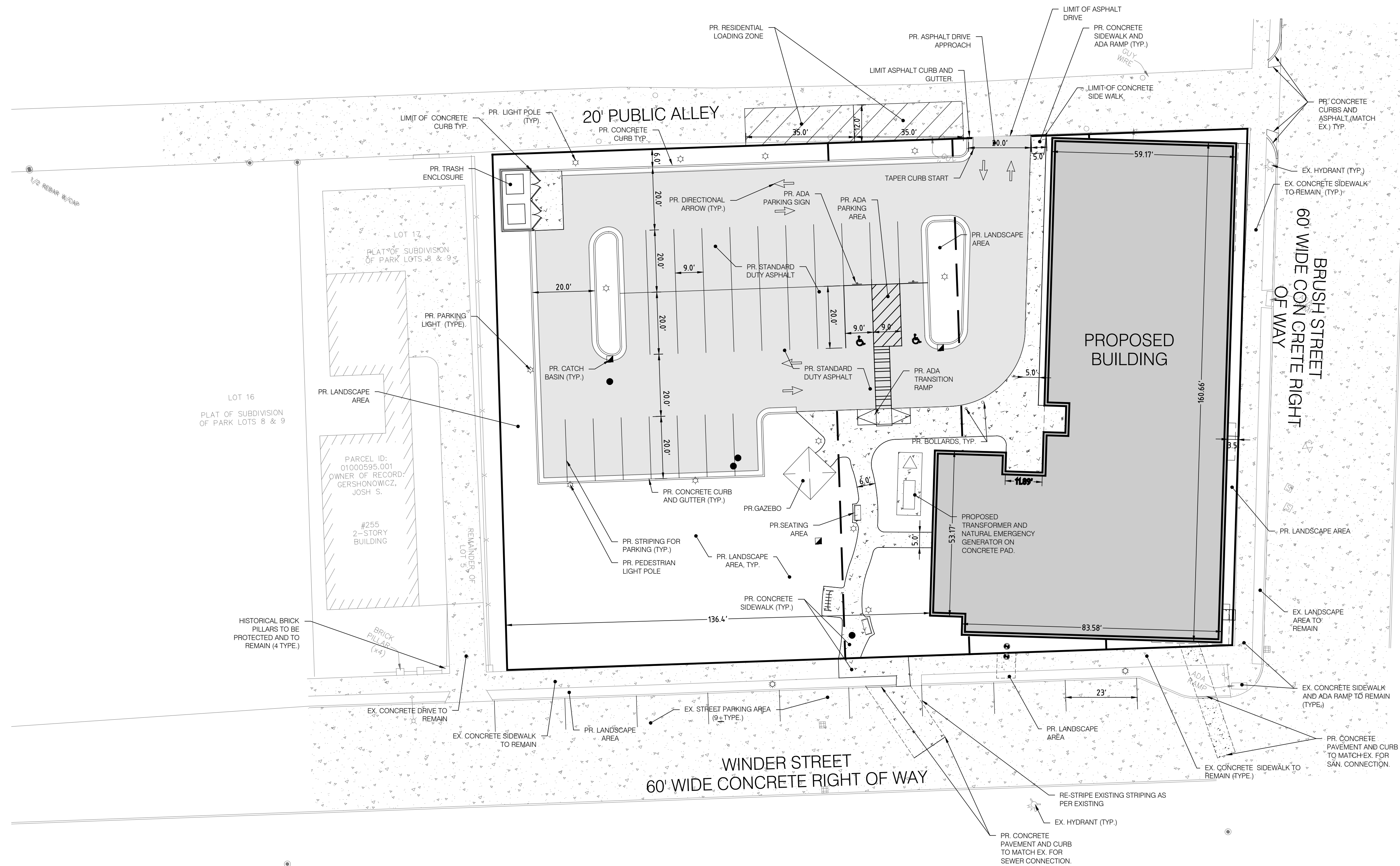
CIVIL ENGINEER/ SURVEY /
LAND PLANNER /
LANDSCAPE ARCHITECT

4071 KEATS DRIVE,
TROY, MI 48085
T: 248.835.3553



DEMOLITION PLAN
SCALE: 1" = 20'

DATE	REVISION	BY	DESCRIPTION
03/19/2021	1	GAE	DATE
03/19/2021		S.M. ENG.	SPA SUBMISSION
04/16/2021		S.M. ENG.	CLIENT REVIEW
09/17/2021		S.M. ENG.	CITY SUBMISSION



SITE LEGEND

- PROPERTY LINE
- PROPOSED CONCRETE CURB AND GUTTER
- PROPOSED BUILDING
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED WATER STRUCTURES
- PROPOSED MAN-HOLE / CATCH BASIN

- SITE NOTES**
- ALL LIGHTING SHALL BE SHIELDED AND DIRECTED DOWNWARD AND AWAY FROM ADJACENT PROPERTIES. LIGHTING SHALL MEET REQUIREMENTS OF THE LOCAL ZONING ORDINANCE. SEE LIGHTING PLAN FOR ADDITIONAL INFORMATION.
 - GROUND MOUNTED TRANSFORMERS AND ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED AS REQUIRED IN THE LOCAL ZONING ORDINANCE.
 - ALL SIGNS TO MEET REQUIREMENTS OF CITY CODE OF ORDINANCES AND BE APPROVED BY BUILDING DEPARTMENT
 - PARKING SPACES SHALL BE STRIPPED PER LOCAL ZONING ORDINANCE.
 - RESTORATION OF ANY EXISTING HARD SURFACE AREA, OF ANY TYPE, REQUIRED AS A RESULT OF REMOVAL OF EXISTING SURFACING BY CITY OF DETROIT FORCES OR AGENTS DURING THE COURSE OF MAINTENANCE OF WATER MAIN OR SANITARY SEWER LOCATED UNDER PAVEMENT, IS THE RESPONSIBILITY OF THE OWNER OF THIS SITE AND WILL NOT BE PERFORMED BY, NOR PAID FOR BY CITY OF DETROIT.

S.M. ENGINEERS

CIVIL ENGINEER/ SURVEY /
LAND PLANNER /
LANDSCAPE ARCHITECT

4071 KEATS DRIVE,
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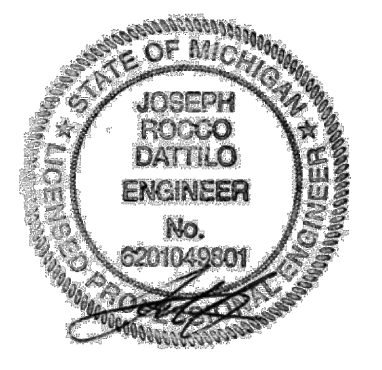
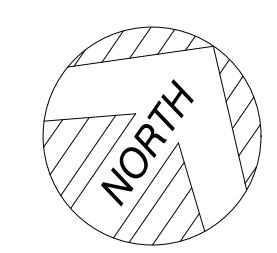


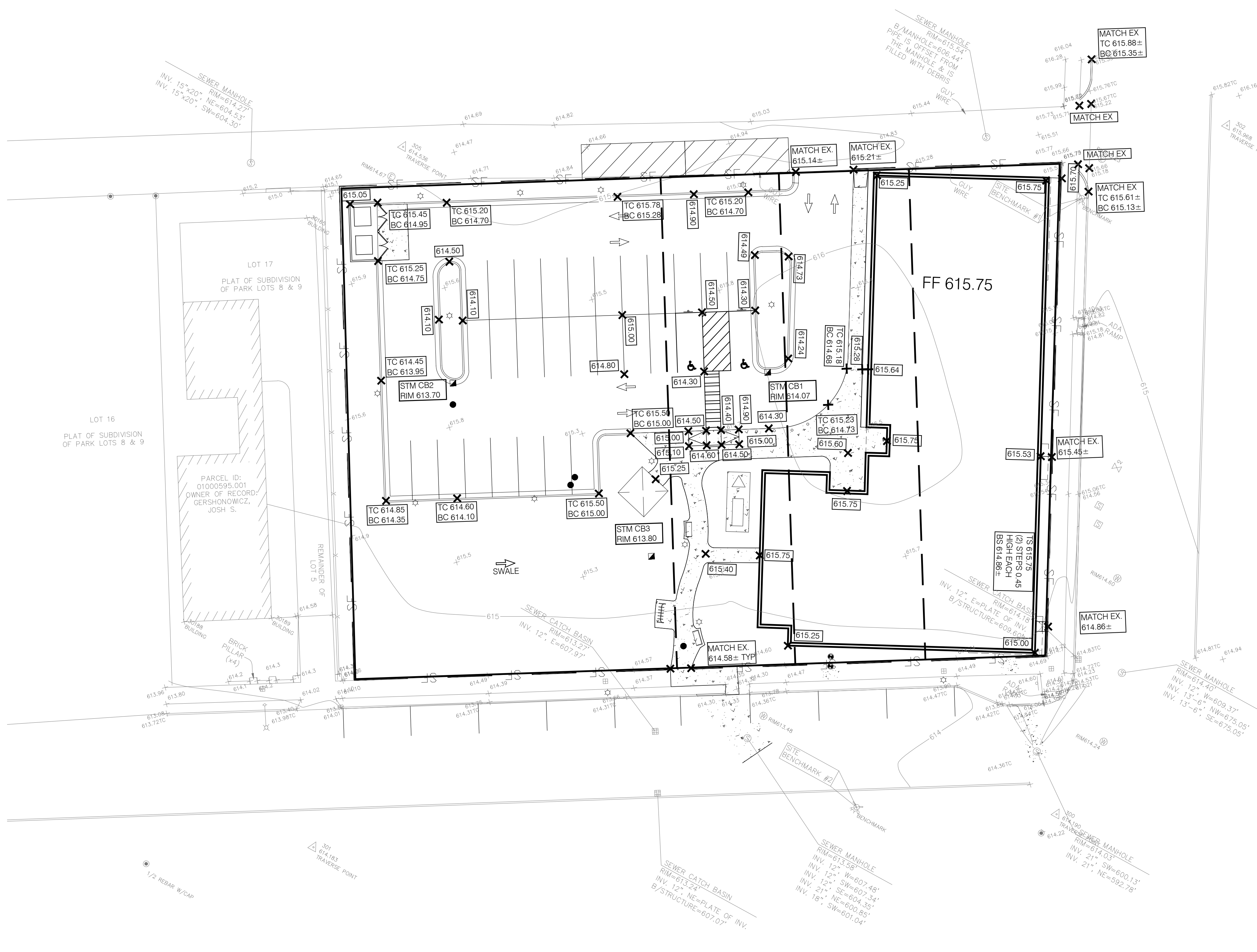
Table 1. Sample Operation and Routine Maintenance Schedule

Stormwater BMP	Activity	Spring			Summer			Fall			Winter		
		M	A	M	J	J	A	S	O	N	D	J	F
Rain Garden	Inspections	X	X	X	X	X	X	X	X	X	X	X	X
	Pull weeds		X	X									
	Mow or remove plant litter		X					X					
Detention basin - dry	Inspections	X	X	X	X	X	X	X	X	X	X	X	X
	Mow			X	X	X	X	X					



SITE LAYOUT AND PAVING PLAN
SCALE: 1" = 20'

DATE	03/19/2021	BY	
REVISION	1	DATE	05/29/2020
PROJECT NO.	18-00000	SCALE	1" = 20'
DATE	MAR 19, 2021	CLIENT REVIEW	
DATE	03/19/2021	DWSD REVIEW	
DATE	08/17/2021	CITY SUBMISSION	



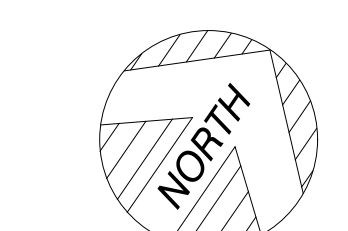
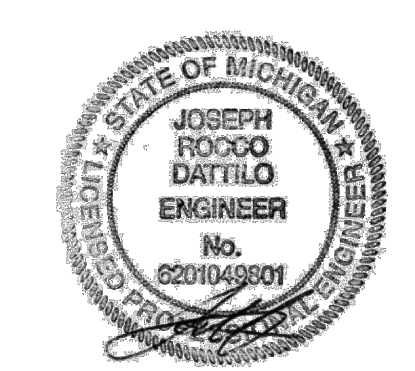
GRADING LEGEND

X 900.00	EXISTING GRADES
X 100.00	PROPOSED GRADES
---	PROPERTY LINE
---	PROPOSED RIDGE LINE

- GRADING NOTES**
1. ALL WORKMANSHIP AND MATERIAL SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF DETROIT AND WAYNE COUNTY
 2. IN AREAS WHERE NEW PAVEMENTS ARE BEING CONSTRUCTED, THE TOPSOIL AND SOIL CONTAINING ORGANIC MATTER SHALL BE REMOVED PRIOR TO PAVEMENT CONSTRUCTION.
 3. ON-SITE FILL CAN BE USED IF THE SPECIFIED COMPACTION REQUIREMENTS CAN BE ACHIEVED. IF ON-SITE SOIL IS USED, IT SHOULD BE CLEAN AND FREE OF FROZEN SOIL, ORGANICS, OR OTHER DELETERIOUS MATERIALS.
 4. THE FINAL SUBGRADE/EXISTING AGGREGATE BASE SHOULD BE THOROUGHLY PROOF ROLLED USING A FULLY LOADED TANDEM AXLE TRUCK OR FRONT END LOADER UNDER THE OBSERVATION OF A GEOTECHNICAL/PAVEMENT ENGINEER. LOOSE OR YIELDING AREAS THAT CANNOT BE MECHANICALLY STABILIZED SHOULD BE REINFORCED USING GEOGRIDS OR REMOVED AND REPLACED WITH ENGINEERED FILL OR AS DICTATED BY FIELD CONDITIONS.
 5. SUBGRADE UNDERCUTTING, INCLUDING BACKFILLING SHALL BE PERFORMED TO REPLACE MATERIALS SUSCEPTIBLE TO FROST HEAVING AND UNSTABLE SOIL CONDITIONS. ANY EXCAVATIONS THAT MAY BE REQUIRED BELOW THE TOPSOIL IN FILL SECTIONS OR BELOW SUBGRADE IN CUT SECTIONS, WILL BE CLASSIFIED AS SUBGRADE UNDERCUTTING.
 6. SUBGRADE UNDERCUTTING, INCLUDING BACKFILLING SHALL BE PERFORMED WHERE NECESSARY AND THE EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR. ANY SUBGRADE UNDERCUTTING SHALL BE BACKFILLED WITH SAID OR OTHER SIMILAR APPROVED MATERIAL. BACKFILL SHALL BE COMPACTED TO 95% OF THE MAXIMUM UNIT WEIGHT (PER ASTM D-1557) UNLESS OTHERWISE SPECIFIED.
 7. BACKFILL UNDER PAVED AREAS SHALL BE AS SPECIFIED ON DETAILS.
 8. ANY SUB-GRADE WATERING REQUIRED TO ACHIEVE REQUIRED DENSITY SHALL BE CONSIDERED INCIDENTAL TO THE JOB.
 9. FINAL PAVEMENT ELEVATIONS SHOULD BE SO DESIGNED TO PROVIDE POSITIVE SURFACE DRAINAGE. A MINIMUM SURFACE SLOPE OF 1.0 PERCENT IS RECOMMENDED.
 10. CONSTRUCTION TRAFFIC SHOULD BE MINIMIZED ON THE NEW PAVEMENT. IF CONSTRUCTION TRAFFIC IS ANTICIPATED ON THE PAVEMENT STRUCTURE, THE INITIAL LIFT THICKNESS COULD BE INCREASED AND PLACEMENT OF THE FINAL LIFT COULD BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED. THIS ACTION WILL ALLOW REPAIR OF LOCALIZED FAILURE, IF ANY DOES OCCUR, AS WELL AS REDUCE LOAD DAMAGE ON THE PAVEMENT SYSTEM.
 11. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF DETROIT SPECIFICATIONS.
 12. SPOT ELEVATIONS INDICATE TOP OF PAVEMENT UNLESS OTHERWISE INDICATED:
TC = TOP OF CURB
BC = BOTTOM OF CURB
 13. REFER TO LANDSCAPE PLAN FOR LANDSCAPE TREATMENT AND PLACEMENT.

S.M. ENGINEERS
 CIVIL ENGINEER/SURVEY /
 LAND PLANNER /
 LANDSCAPE ARCHITECT

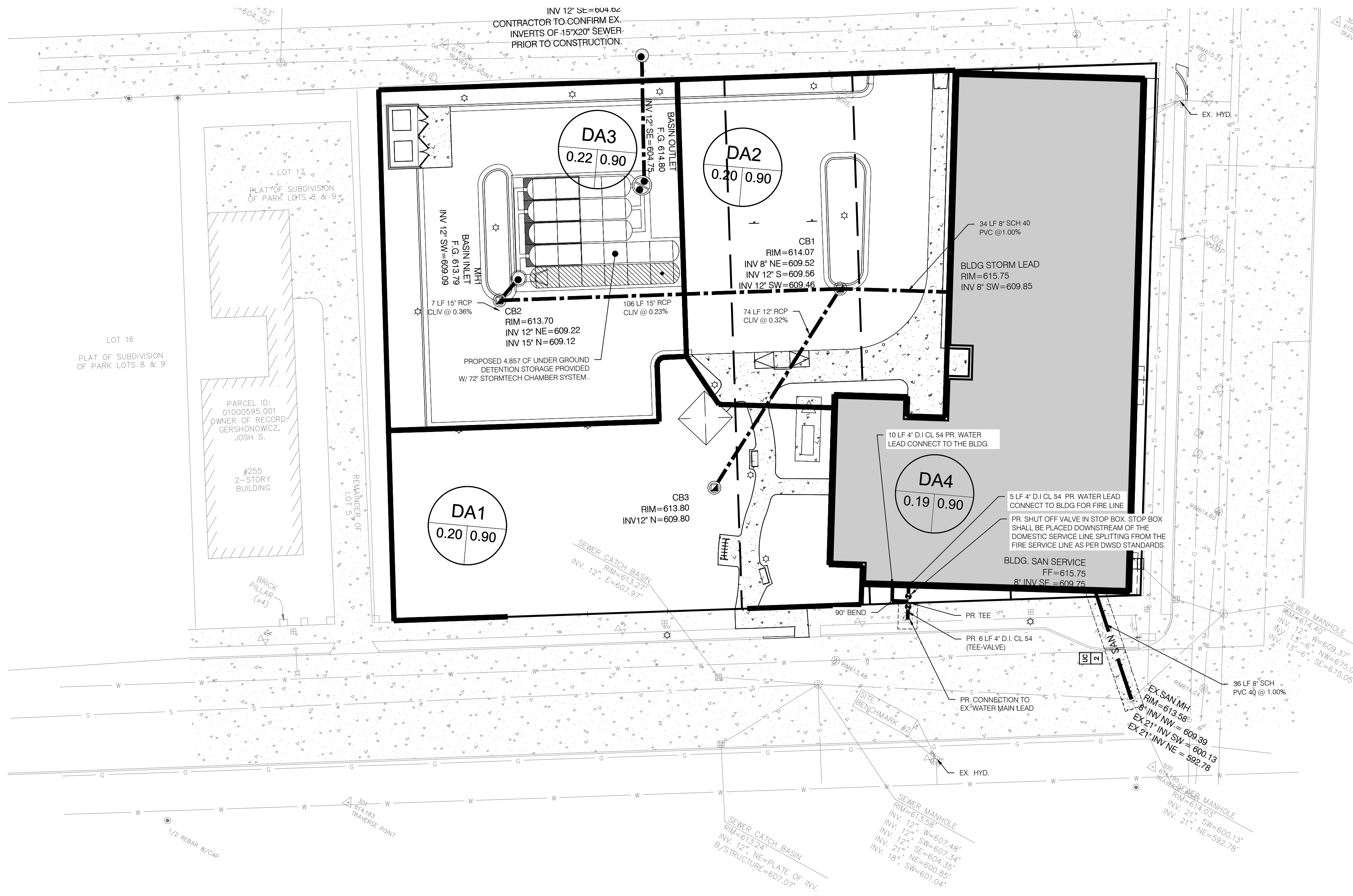
4071 KEATS DRIVE,
 TROY, MI 48085
 T: 248.835.3553



GRADING PLAN
 SCALE: 1" = 20'

CITY SUBMISSION	DATE	BY
CITY SUBMISSION	09.17.2021	S.M. ENG.
DWSD REVIEW	04.19.2021	S.M. ENG.
CLIENT REVIEW	03.19.2021	S.M. ENG.
SPA SUBMISSION	05.29.2020	GAE
DESCRIPTION	DATE	BY
	1	

DRAWN BY: S.M. ENGINEERS.	03/19/2021
CHECKED BY:	
DATE:	MAR 19, 2021
PROJECT NO:	18-00000
SCALE:	1" = 20'
C4.0	



STORMWATER DETENTION CALCULATIONS

Drainage Areas less than 5 acres shall manage a 10 year, 24-hour storm for flood control per the City of Detroit Storm Water Management Design Manual.

Area of Site (A) = 0.91 ac $Q_p = 0.15$ cfs/ac C = 0.85 T = 10 yrs
 $D_{10} = 30.9(Q_p / C)^{-0.979} = 168.80$ min
 $I = (38.41647 \times T^{0.2082}) / (12.3258 + D)^{0.4405} = 0.78$ in/hr
 $V_n = (60.5 \times D_{10} \times C \times A \times I) - (60 \times D_{10} \times Q_p \times A)$
 $= (60.5 \times 168.80 \text{ min} \times 0.85 \times 0.91 \text{ ac} \times 0.78 \text{ in/hr}) - (60 \times 168.80 \text{ min} \times 0.15 \text{ cfs/ac} \times 0.91 \text{ ac})$
 $= 4,779 \text{ CF}$

Total Detention Volume Required = 4,779 CF

EXTENDED DETENTION VOLUME
 $VED = (6,897 \times C \times A) = (6,897 \times 0.85 \times 0.91 \text{ AC})$
 $= 5,336 \text{ CF}$

Total Extended Detention Volume Required = 5,336 CF

Extended Detention Volume > Required Detention Volume

Therefore use VED for Total Detention Volume

Total Detention Volume = 5,336 CF

Water Quality Retention Volume = 1 inch over entire developed site

(39.501 SF) x (1/12) FT = 3,292 CF

Total Retention Storage Required = 3,292 CF

DETAILS OF UNDERGROUND BASIN:

Proposed pipe size = 6" dia. = 72"

Pipe area = 28.57 SF

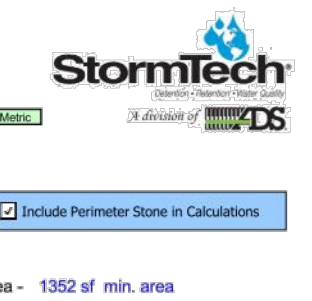
Provided length of pipe = 170 LF

Pipe Volume = (28.57 SF)(170 LF) = 4,857 CF

Total Detention / Retention Storage Provided = 4,857 CF

Project: Rev 0 Brush Park Apartments 03-25-21

Chamber Model -	MC-3600
Units -	Imperial
Number of Chambers -	24
Number of End Caps -	12
Volume in stone (porosity) -	30
Base of Stone Elevation -	604.00
Amount of Stone Above Chambers -	12
Amount of Stone Below Chambers -	9
Amount of Stone Between Chambers -	5
Area of system -	1718



Height of System (feet)	Incremental Single Chamber (cuic feet)	Incremental Single End Cap (cuic feet)	Incremental Chambers (cuic feet)	Incremental End Cap (cuic feet)	Incremental Stone (cuic feet)	Incremental Ch. EC and Stone (cuic feet)	Cumulative System (feet)	Elevation (feet)
66	0.00	0.00	0.00	0.00	42.90	42.90	4763.21	609.50
65	0.00	0.00	0.00	0.00	42.90	42.90	4763.21	609.42
64	0.00	0.00	0.00	0.00	42.90	42.90	4697.41	609.33
63	0.00	0.00	0.00	0.00	42.90	42.90	4654.51	609.25
62	0.00	0.00	0.00	0.00	42.90	42.90	4611.61	609.17
61	0.00	0.00	0.00	0.00	42.90	42.90	4568.71	609.08
60	0.00	0.00	0.00	0.00	42.90	42.90	4525.81	609.00
59	0.00	0.00	0.00	0.00	42.90	42.90	4482.91	608.92
58	0.00	0.00	0.00	0.00	42.90	42.90	4440.01	608.83
57	0.00	0.00	0.00	0.00	42.90	42.90	4397.11	608.75
56	0.00	0.00	0.00	0.00	42.90	42.90	4354.21	608.67
55	0.00	0.00	0.00	0.00	42.90	42.90	4311.31	608.58
54	0.06	0.00	1.39	0.00	42.48	43.88	4268.41	608.50
53	0.19	0.02	4.66	0.24	41.43	46.33	4224.53	608.42
52	0.29	0.04	7.66	0.38	40.07	48.10	4179.20	608.33
51	0.40	0.05	9.69	0.52	39.84	50.04	4130.10	608.25
50	0.69	0.07	16.49	0.68	37.75	54.52	4080.06	608.17
49	1.03	0.09	24.68	0.88	35.23	60.79	4025.14	608.08
48	1.25	0.11	29.99	1.07	33.08	64.64	3964.30	608.00
47	1.42	0.13	34.13	1.26	32.28	67.68	3899.70	607.92
46	1.57	0.14	37.76	1.44	31.14	70.34	3832.03	607.83
45	1.71	0.16	40.97	1.63	30.12	72.72	3761.69	607.75
44	1.83	0.18	43.88	1.82	29.19	74.89	3688.97	607.67
43	1.94	0.20	46.51	2.01	28.38	76.86	3614.08	607.58
42	2.04	0.22	48.96	2.18	27.65	78.71	3537.22	607.50
41	2.13	0.23	51.23	2.35	26.83	80.41	3458.50	607.42
40	2.22	0.25	53.38	2.51	26.13	82.02	3378.10	607.33
39	2.31	0.27	55.38	2.66	25.49	83.51	3296.08	607.25
38	2.38	0.28	57.23	2.80	24.89	84.92	3212.36	607.17
37	2.46	0.29	59.02	2.94	24.31	86.27	3127.04	607.08
36	2.53	0.31	60.68	3.08	23.77	87.53	3041.37	607.00
35	2.59	0.32	62.25	3.21	23.26	88.72	2955.84	606.92
34	2.66	0.33	63.75	3.34	22.77	89.86	2869.52	606.83
33	2.72	0.35	65.16	3.47	22.31	90.94	2782.25	606.75
32	2.77	0.36	66.51	3.60	21.87	91.98	2694.31	606.67
31	2.82	0.37	67.79	3.72	21.45	92.96	2605.23	606.58
30	2.86	0.38	69.01	3.84	21.04	93.89	2515.50	606.50
29	2.92	0.40	70.18	3.96	20.66	94.80	2424.48	606.42
28	2.97	0.41	71.28	4.08	20.29	95.65	2332.68	606.33
27	3.01	0.42	72.30	4.19	19.95	96.44	2240.00	606.25
26	3.05	0.43	73.26	4.30	19.63	97.20	2146.59	606.17
25	3.09	0.44	74.26	4.40	19.30	97.97	2052.98	606.08
24	3.13	0.45	75.13	4.51	19.01	98.65	1958.42	606.00
23	3.17	0.46	75.98	4.61	18.72	99.31	1863.77	605.92
22	3.20	0.47	76.79	4.71	18.45	99.95	1768.46	605.83
21	3.23	0.48	77.55	4.80	18.20	100.54	1672.52	605.75
20	3.26	0.49	78.27	4.89	17.95	101.12	1576.08	605.67
19	3.29	0.50	78.97	4.98	17.72	101.69	1479.58	605.58
18	3.32	0.51	79.63	5.06	17.49	102.25	1382.20	605.50
17	3.34	0.51	80.26	5.14	17.28	102.68	1284.01	605.42
16	3.37	0.52	80.85	5.22	17.08	103.15	1185.33	605.33
15	3.39	0.53	81.42	5.30	16.89	103.60	1086.18	605.25
14	3.41	0.54	81.95	5.37	16.71	104.02	986.58	605.17
13	3.44	0.54	82.49	5.43	16.52	104.44	886.59	605.08
12	3.48	0.55	82.99	5.49	16.38	104.84	786.11	605.00
11	3.48	0.56	83.49	5.55	16.19	105.23	685.28	604.92
10	3.51	0.56	84.12	5.59	15.95	105.56	584.03	604.83
9	0.00	0.00	0.00	0.00	42.90	42.90	386.10	604.75
8	0.00	0.00	0.00	0.00	42.90	42.90	343.20	604.67
7	0.00	0.00	0.00	0.00	42.90	42.90	300.30	604.58
6	0.00	0.00	0.00	0.00	42.90	42.90	257.40	604.50
5	0.00	0.00	0.00	0.00	42.90	42.90	214.50	604.42
4	0.00	0.00	0.00	0.00	42.90	42.90	171.60	604.33
3	0.00	0.00	0.00	0.00	42.90	42.90	128.70	604.25
2	0.00	0.00	0.00	0.00	42.90	42.90	85.80	604.17
1	0.00	0.00	0.00	0.00	42.90	42.90	42.90	604.08

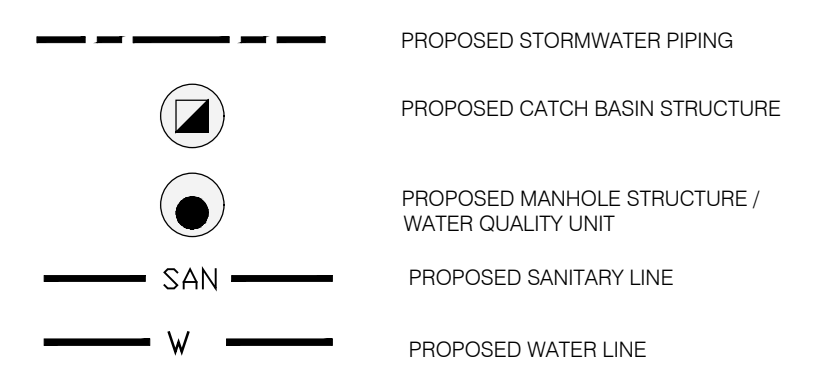
09.26.2021

$Q_p = C \cdot I \cdot A$
 $Q_p = A \times 1.488 \text{ in/hr} \cdot (2/3) \times (5 \times 12)$
 $I = 175 / (1+25)$ for 10 year storm event
 $T = 5$ Minutes

STORM SEWER CALCULATIONS

AREA NO.	FROM MH/CB	TO MH/CB	Area A acres	AVG. COEFF. C*	A x C	Area TOTAL At	COEFF Wt Cw	At x Cw	TIME Tc min	INT I in/hr	n	FLOW Qr Q=CIA	PIPE CAP. Qp	PIPE LENGTH ft	PIPE DIA. in	PIPE SLOPE %	VEL. FULL f/s	TIME FLOW min	RIM ELEV. HIGH	RIM ELEV. LOW	HIGH END H.G.L.	LOW END H.G.L.	HIGH END INVERT	LOW END INVERT
DA1	CB3	CB1	0.20	0.90	0.18	0.20	0.90	0.18	5.00	5.83	0.0130	1.05	2.02	74	12	0.32	2.5660	0.48	613.80	614.07	610.81	610.57	609.80	609.56
DA2	CB1	CB2	0.23	0.90	0.21	0.55	0.90	0.50	5.74	5.74	0.0130	2.84	3.10	106	15	0.23	2.5300	0.70	614.07	613.70	610.47	610.23	609.46	609.22
DA3	CB2	MH1	0.22	0.90	0.20	0.77	0.90	0.69	6.18	5.61	0.0130	3.89	3.50	7	15	0.36	3.1800	0.04	613.70	613.79	610.13	610.10	609.12	609.09
DA4	BLDG	CB1	0.12	0.90	0.11	0.12	0.90	0.11	5.00	5.83	0.0130	0.63	0.90	33	8	1.00	4.5800	0.12	615.75	614.07	610.89	610.56	609.85	609.52

UTILITY LEGEND



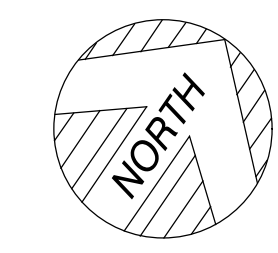
UTILITY QUANTITIES

12" RCP CLIV STORM PIPE	74 LF
15" RCP CLIV STORM PIPE	113 LF
CATCH BASIN	3
8" SCH PVC 40	70 LF
4" D.I.C.L 54	21 LF

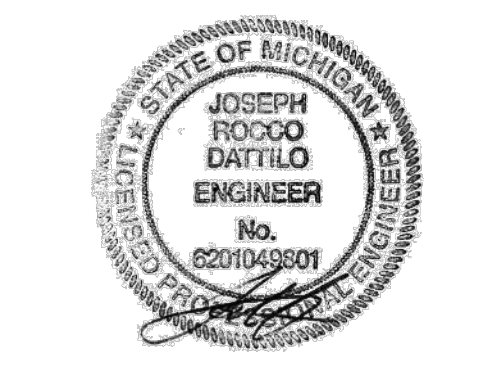
UTILITY CROSSING SCHEDULE

UC 1	GRADE 623.45 + 12" STORM INVERT 601.00 12" STORM TOP 602.00 TOP OF 48" WATER 607.50 TOTAL CLEARANCE OF 1.50 FT
UC 2	12" SAN. INVERT 609.47 TOP OF 8" SAN. 610.14 TOP OF 48" WATER 607.42 TOTAL CLEARANCE OF 4.00 FT

THE LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE BASED ON RECORDS PROVIDED BY THE UTILITY OWNERS AND VISIBLE EVIDENCE OBTAINED IN THE FIELD. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED TO THE COMPLETENESS OR ACCURACY THEREOF.



UTILITY PLAN
SCALE: 1" = 20'



S.M. ENGINEERS
 CIVIL ENGINEER / SURVEY /
 LAND PLANNER /
 LANDSCAPE ARCHITECT

4071 KEATS DRIVE,
 TROY, MI 48085
 T: 248.835.3553



- NOTE:
- REFER TO DEMO PLAN FOR ADDITIONAL INFO ON EX SANITARY AND STORM SERVICES FOR PROPOSED BUILDING.
 - ALL PROPOSED CATCH BASINS SHALL USE THE EUJW #1040 FRAME AND COVER AND THE SPECIFIED GRATE TYPE ON PLANS UNLESS OTHERWISE SPECIFIED BY THE CITY OF DETROIT.
 - ALL PROPOSED MANHOLE STRUCTURES SHALL USE WHAT IS SPECIFIED ACCORDING TO THE CITY OF DETROIT WATER AND SEWAGE DEPARTMENT STANDARDS AND DETAILS.
 - THE OMISSION OF ANY CURRENT STANDARD DETAIL DOES NOT RELIEVE THE CONTRACTOR FROM THIS REQUIREMENT. THE WORK SHALL BE PERFORMED IN COMPLETE CONFORMANCE WITH THE CURRENT DWSD STANDARD SPECIFICATIONS AND DETAILS.
 - WATER METER / DETECTOR CHECK IN NOT TO BE INSTALLED UNTIL THE BACK FLOW PREVENTER IS PLACED AS PER BOCA CODE WITHIN 15 FEET DOWNSTREAM OF WATER METER.
 - ALL DUCTILE IRON PIPES MUST BE MINIMUM THICKNESS OF CLASS 54 AND POLYURETHANE WRAPPED.
 - BACTERIOLOGICAL TESTING BY DWSD IS REQUIRED BEFORE INSTALLING A METER AND CONNECTING THE PIPING TO DWSD SYSTEM.

KEM-TEC
 PROFESSIONAL ENGINEERING,
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 Ann Arbor (734) 944-8888
 www.kemtecgroupofcompanies.com

STORM WATER MANAGEMENT PLAN
 PREPARED FOR: BRUSH PARK APARTMENTS
 269 WINDER DR., CITY OF DETROIT, MI

DATE	BY	DESCRIPTION
03/24/2022	S.M. ENGINEERS	CLIENT REVIEW
03/24/2022	S.M. ENGINEERS	CITY SUBMISSION
04/19/2021	S.M. ENGINEERS	DWSD REVIEW
03/19/2021	S.M. ENGINEERS	CLIENT REVIEW
03/25/2020	S.M. ENGINEERS	SFA SUBMISSION

SCALE: 1" = 20'

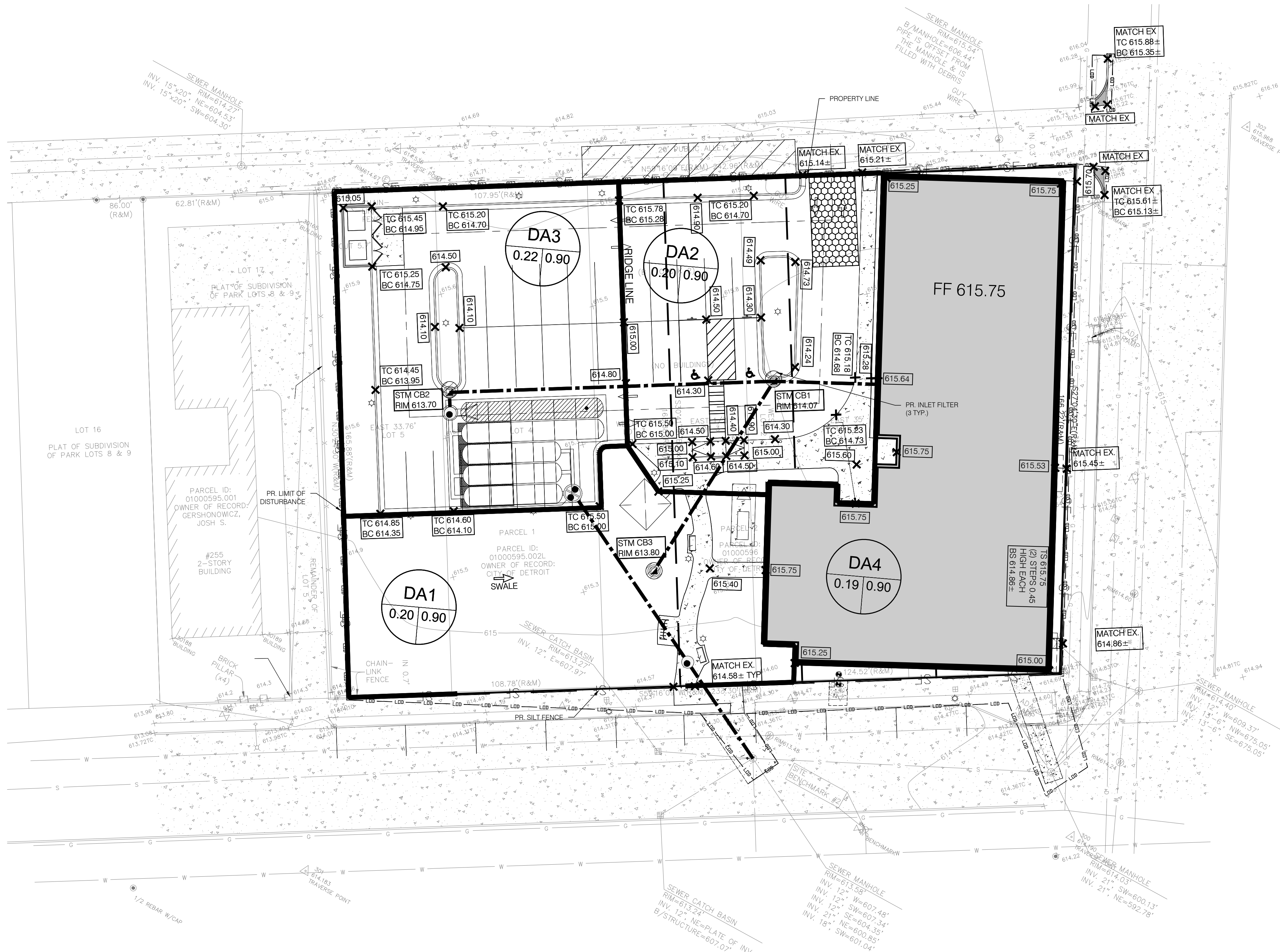
PROJECT NO: 18-0000

DATE: MARCH 24, 2022

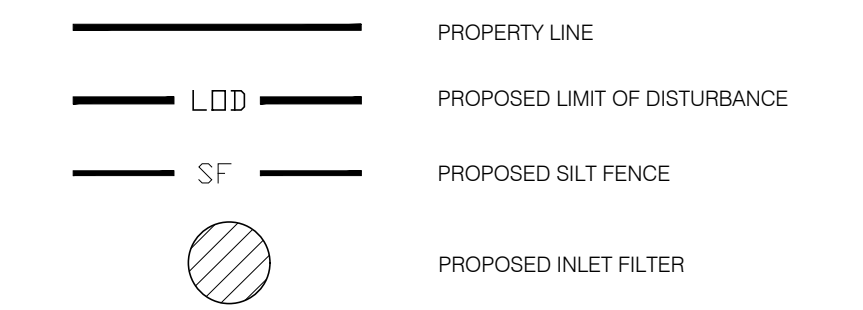
CREATED BY: S.M. ENGINEERS

03/24/2022

C5.0



SOIL EROSION LEGEND



SOIL EROSION & SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

CONSTRUCTION SEQUENCE	OCT 2021	NOV	DEC	JAN
TEMPORARY EROSION CONTROL MEASURES	█			
STRIP & STOCKPILE TOPSOIL / ROUGH GRADE	█			
STORM SEWER		█		
FOUNDATION / BLDG. CONSTRUCTION			█	
SANITARY SEWER & WATER MAIN			█	
INSTALL ALL OTHER UTILITIES			█	
SITE CONSTRUCTION & PAVEMENT			█	
PERMANENT EROSION CONTROL MEASURES			█	
FINISH GRADING			█	
LANDSCAPING			█	

DISTURBED AREA = 3.691± ACRES

SOIL TYPE INFORMATION

MAP UNIT SYMBOL	MAP UNIT NAME
MduB	Midtown-Urban land complex, 0 TO 4 percent slopes

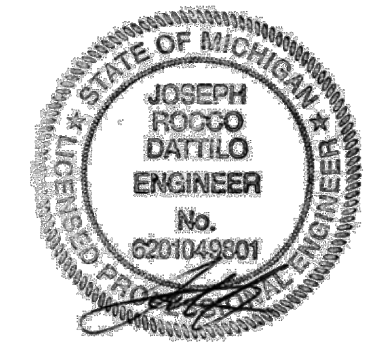
MAINTENANCE OF EROSION CONTROL DEVICES

- FILTERS MUST BE CLEANED PERIODICALLY SO THEY DONT CLOGGED.
- FILTER FENCING WHICH SAGS, FALLS OVER OR IS NOT STAKED IN, SHOULD BE PROMPTLY REPAIRED OR REPLACED.
- SILT FENCES SHOULD BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND SEVERAL TIMES DURING PROLONGED RAINFALLS.
- IF THE FENCE IS SAGGING OR THE SOIL HAS REACHED ONE HALF THE HEIGHT OF THE FABRIC, THE SOIL BEHIND THE FABRIC MUST BE REMOVED.
- MULCHED AREAS SHOULD BE CHECKED FOLLOWING EACH RAIN TO ENSURE THE MULCH IS STAYING IN PLACE. ADDITIONAL TACKING MATERIALS OR NETTING MAY NEED TO BE APPLIED TO HOLD THE MULCH IN PLACE.
- NEWLY SEEDED AREAS NEED TO BE INSPECTED FREQUENTLY FOR THE FIRST FEW MONTHS TO ENSURE THE GRASS IS GROWING. IF THE SEEDED AREA IS DAMAGED DUE TO RUNOFF, ADDITIONAL STORMWATER MEASURES MAY BE NEEDED.

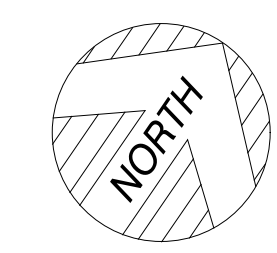
S.M. ENGINEERS

CIVIL ENGINEER / SURVEY / LAND PLANNER / LANDSCAPE ARCHITECT

4071 KEATS DRIVE, TROY, MI 48085
T: 248.835.3553



Know what's below. Call before you dig.



SOIL EROSION AND SEDIMENTATION PLAN
SCALE: 1" = 20'

REVISION	DATE	BY	DESCRIPTION
1	03/19/2021	JAE	CITY SUBMISSION
	04/19/2021	JAE	DNSD REVIEW
	05/19/2021	JAE	CLIENT REVIEW
	05/28/2020	JAE	SFA SUBMISSION

SCALE: 1" = 20'

PROJECT NO: 18-00000

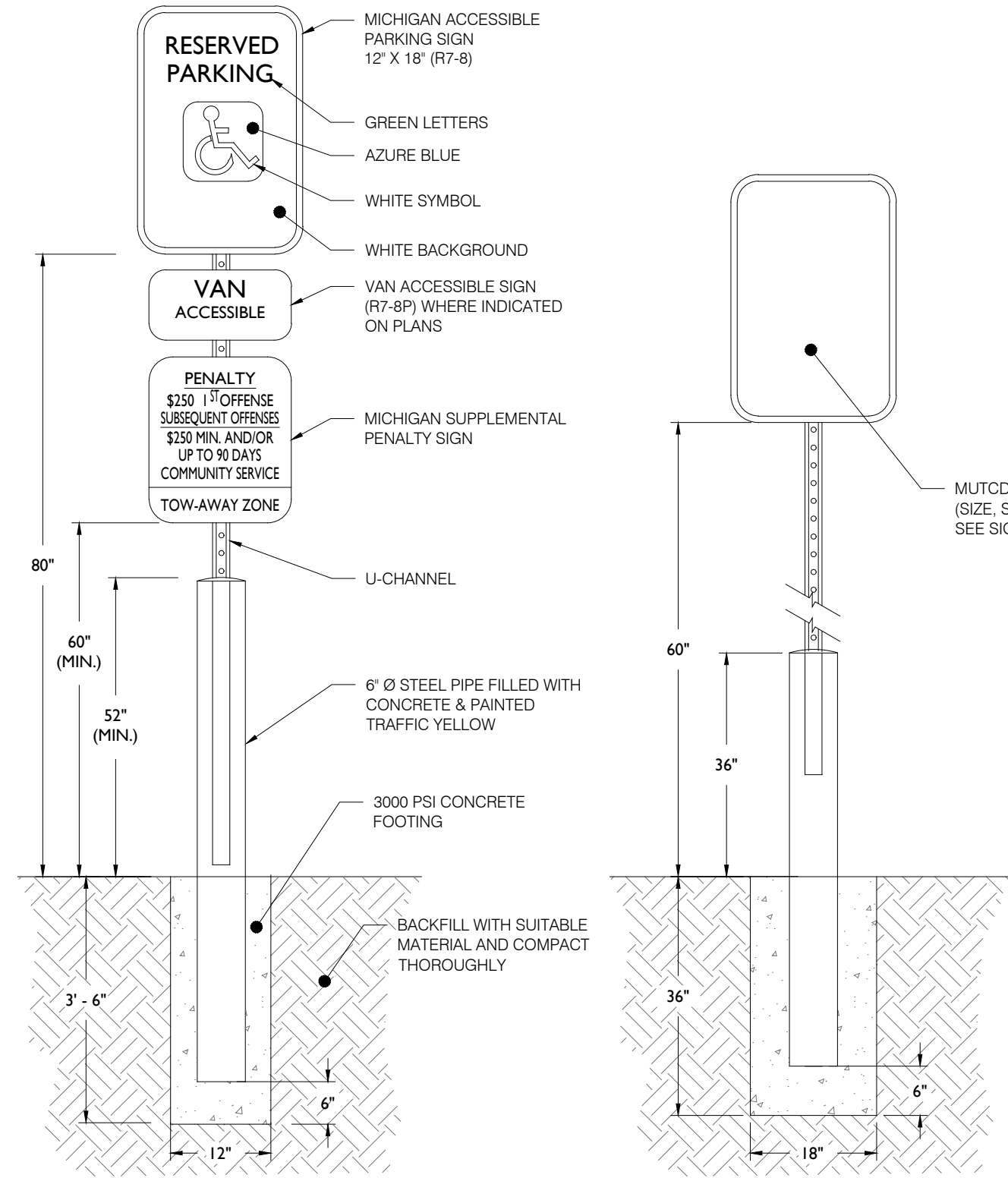
DATE: 03/19/2021

BY: JAE

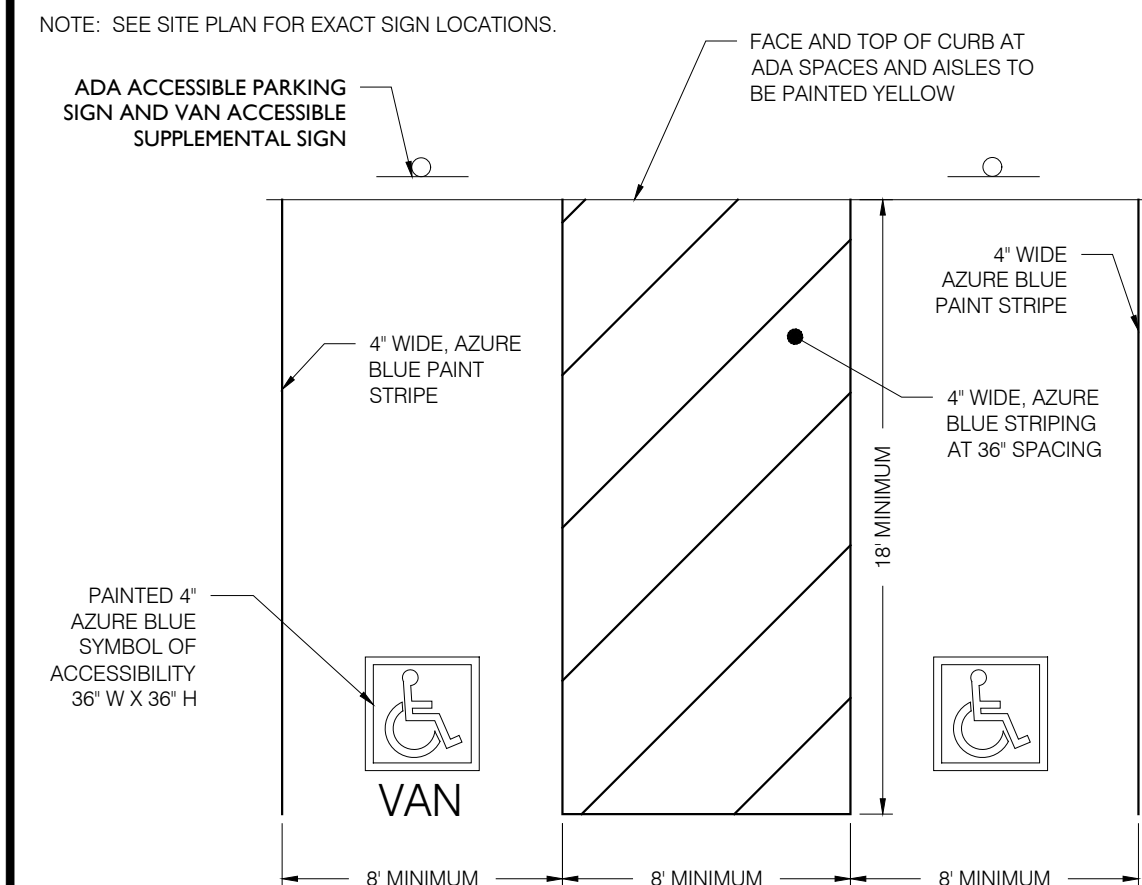
PROJECT NO: 18-00000

DATE: 03/19/2021

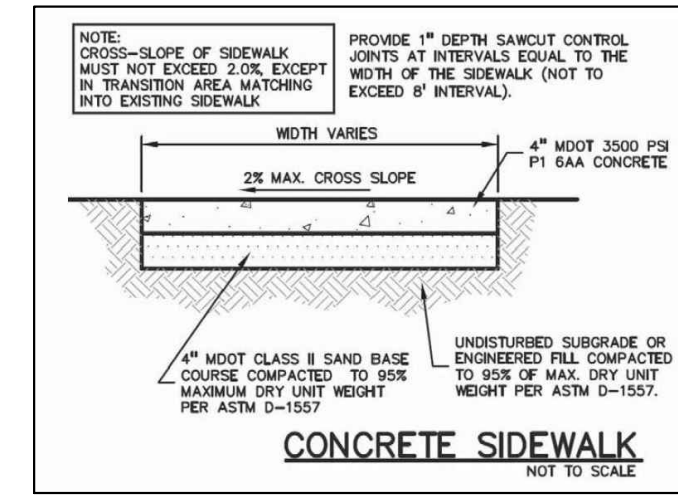
BY: JAE



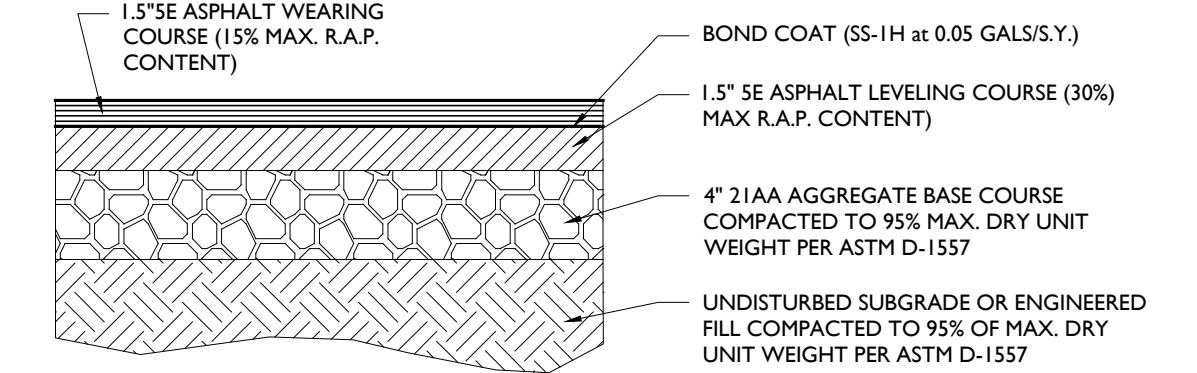
SIGN DETAILS



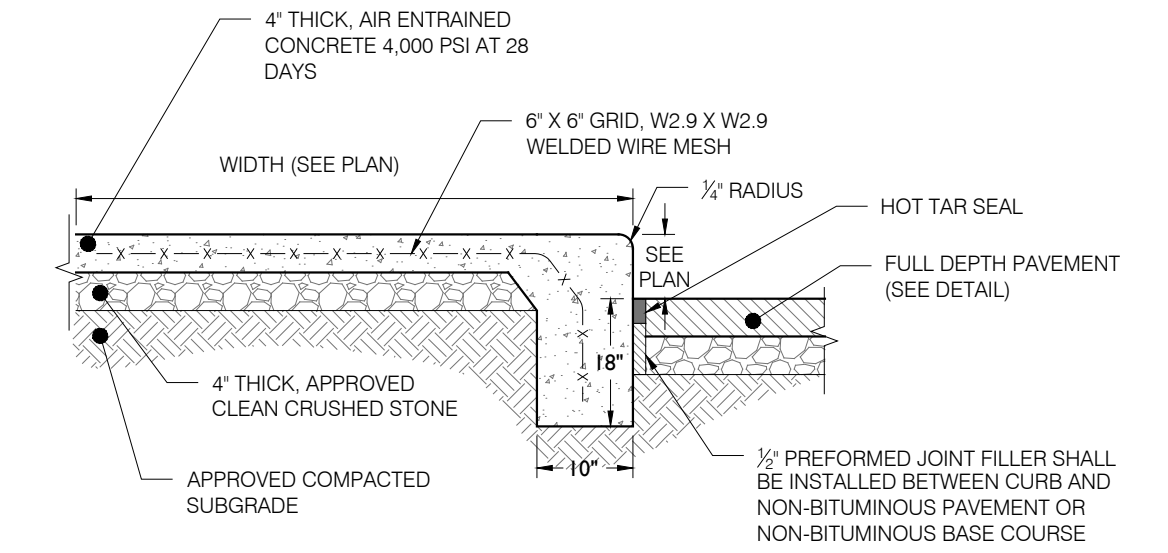
ACCESSIBLE PARKING STALL MARKINGS



CONCRETE SIDEWALK

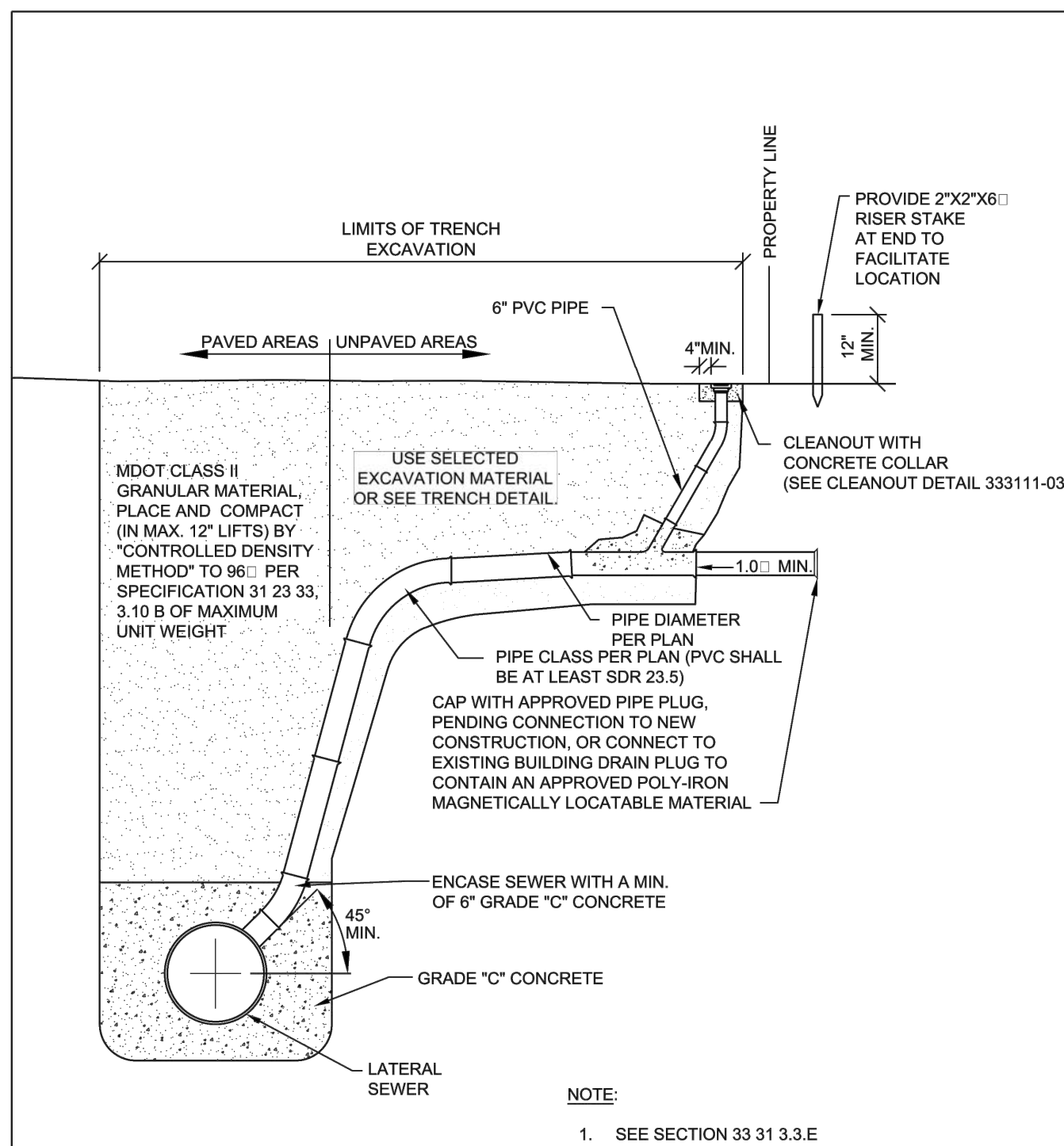


STANDARD DUTY ASPHALT APPROACH DETAIL



- NOTES:
1. MAXIMUM CROSS SLOPE SHALL BE 1/2\"/>

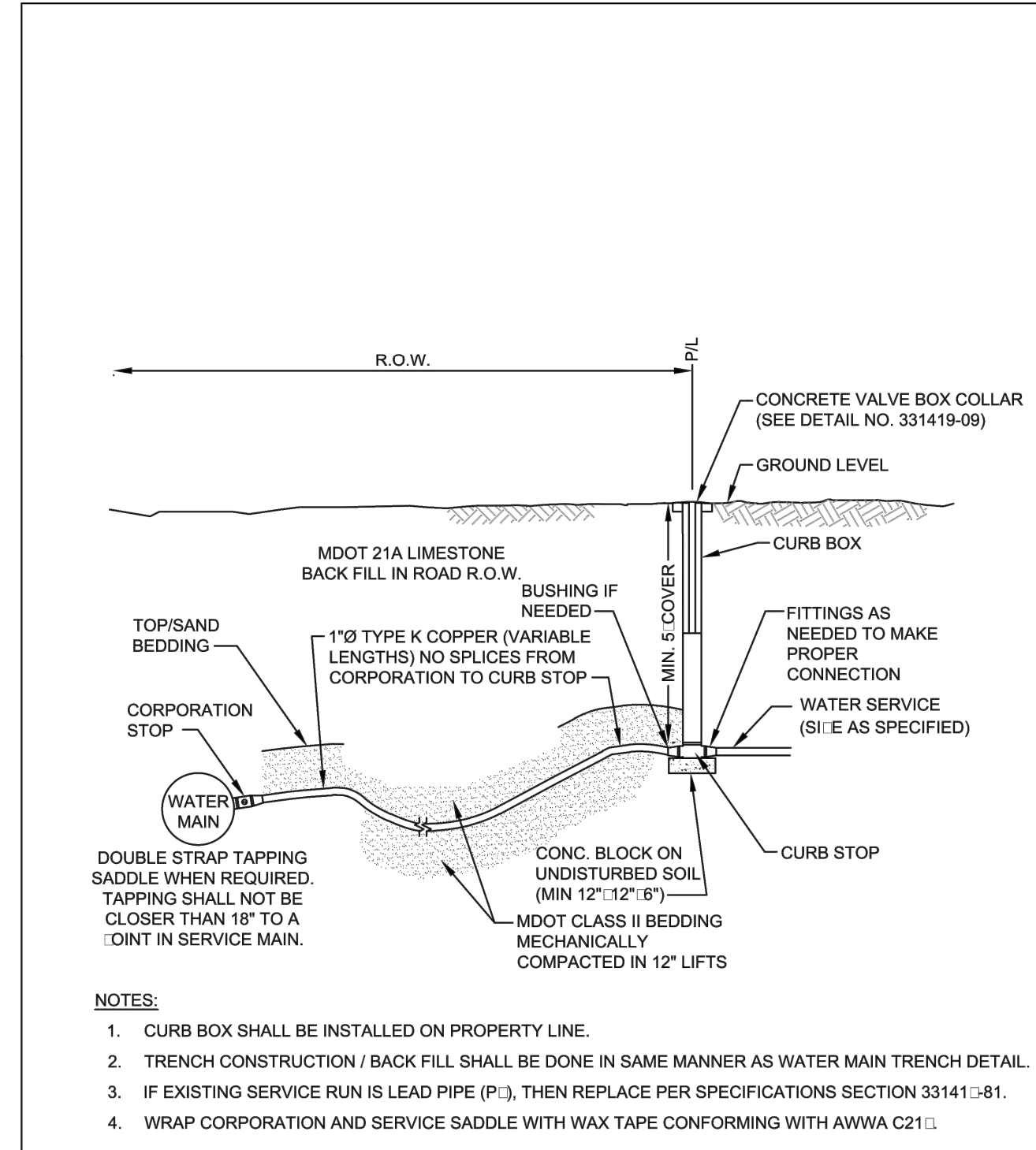
INTEGRAL CONCRETE CURB DETAIL



WYE, CONNECTION AND EXTENSION

CITY OF DETROIT WATER AND SEWERAGE DEPARTMENT ENGINEERING DIVISION	
SCALE	1 OF 1
SHEET	33111-02
DATE	09/2018
DWG. No.	33111-02

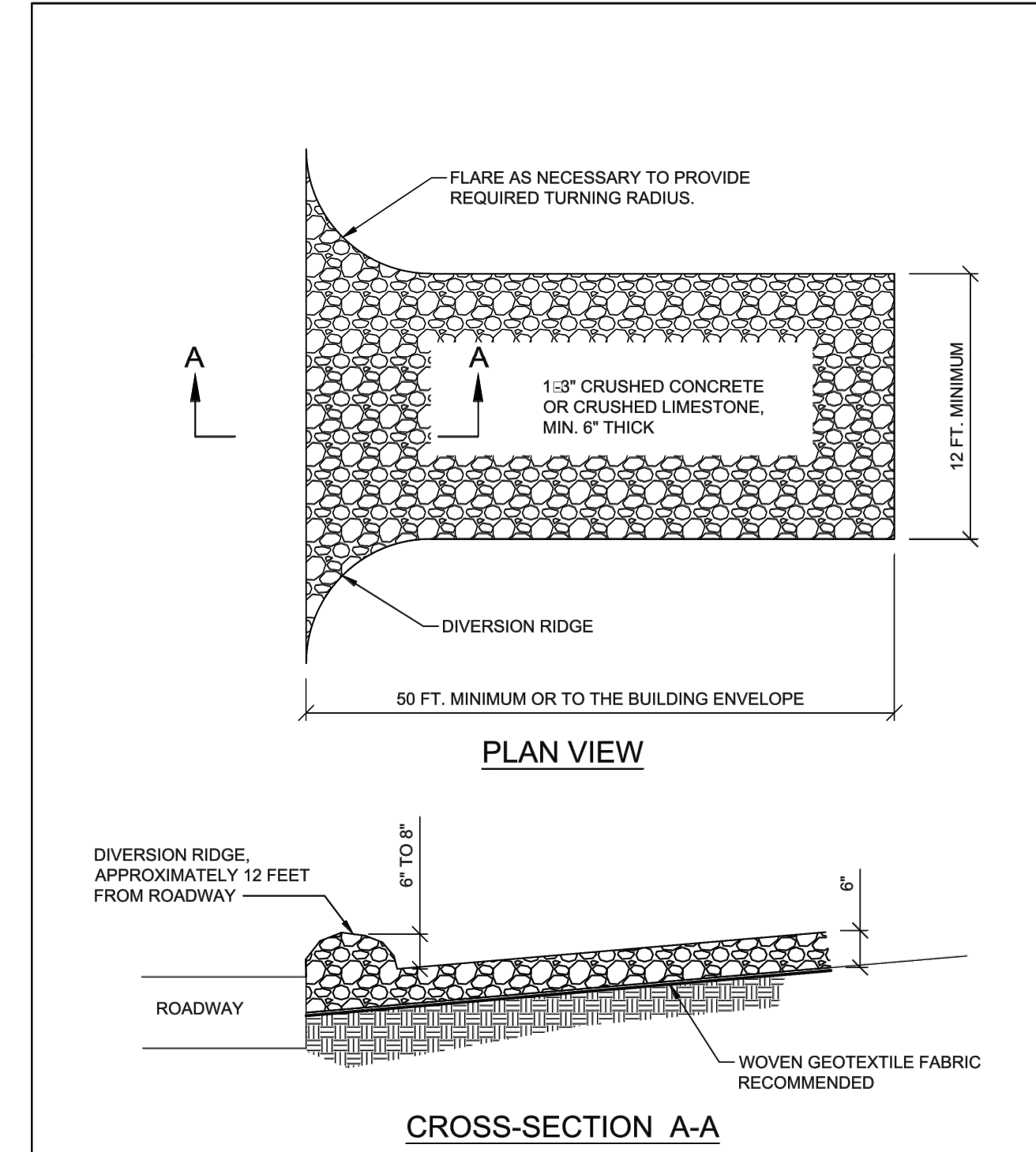
REV	DESCRIPTION	DATE
1	UPDATED	06/2020



CONNECTION, RESIDENTIAL SERVICE

CITY OF DETROIT WATER AND SEWERAGE DEPARTMENT ENGINEERING DIVISION	
SCALE	1 OF 1
SHEET	33141-01
DATE	5/2020
DWG. No.	33141-01

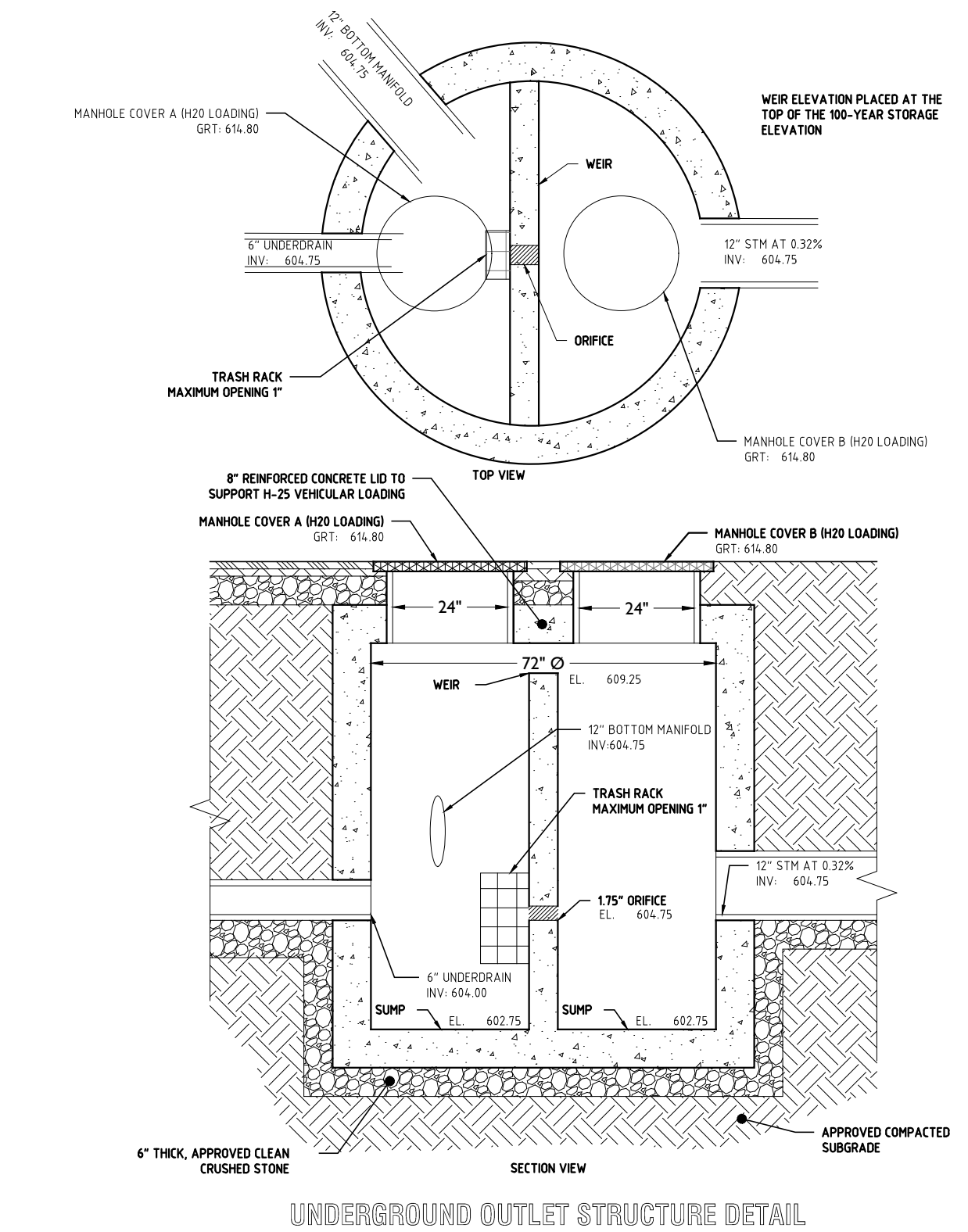
REV	DESCRIPTION	DATE
	REVISIONS	



GRAVEL ACCESS APPROACH

CITY OF DETROIT WATER AND SEWERAGE DEPARTMENT ENGINEERING DIVISION	
SCALE	1 OF 1
SHEET	015-13-01
DATE	09/2018
DWG. No.	015-13-01

REV	DESCRIPTION	DATE
	REVISIONS	



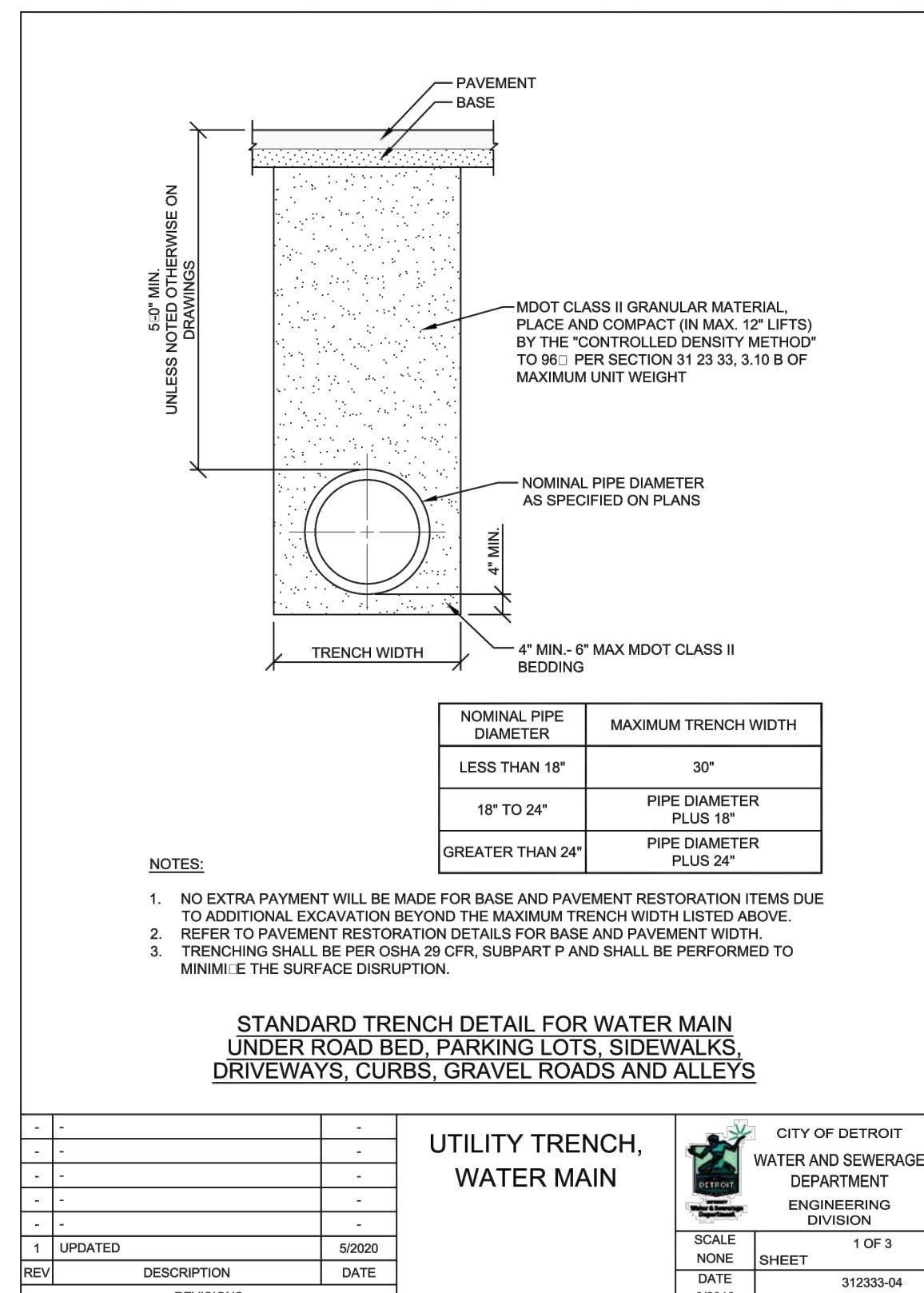
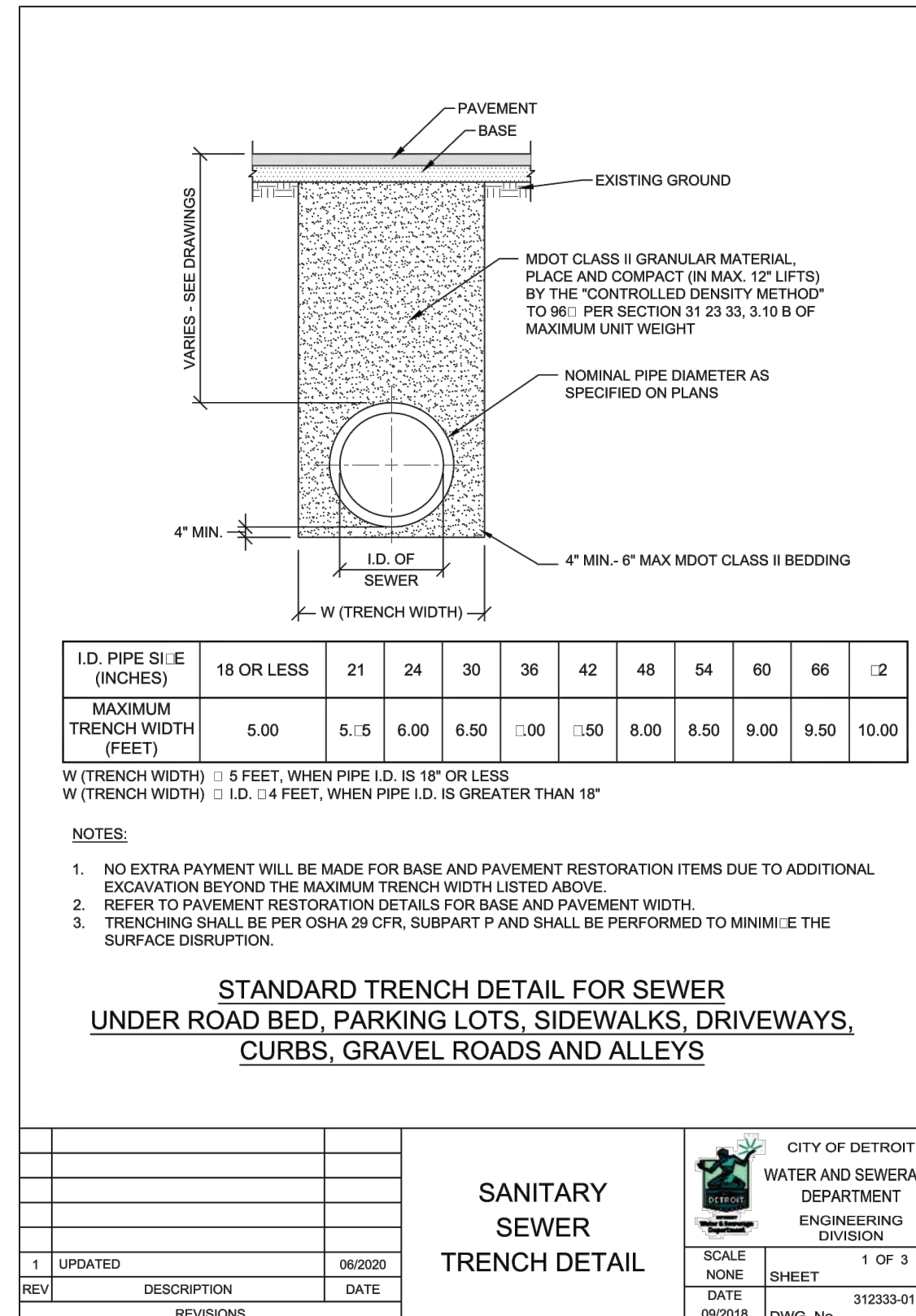
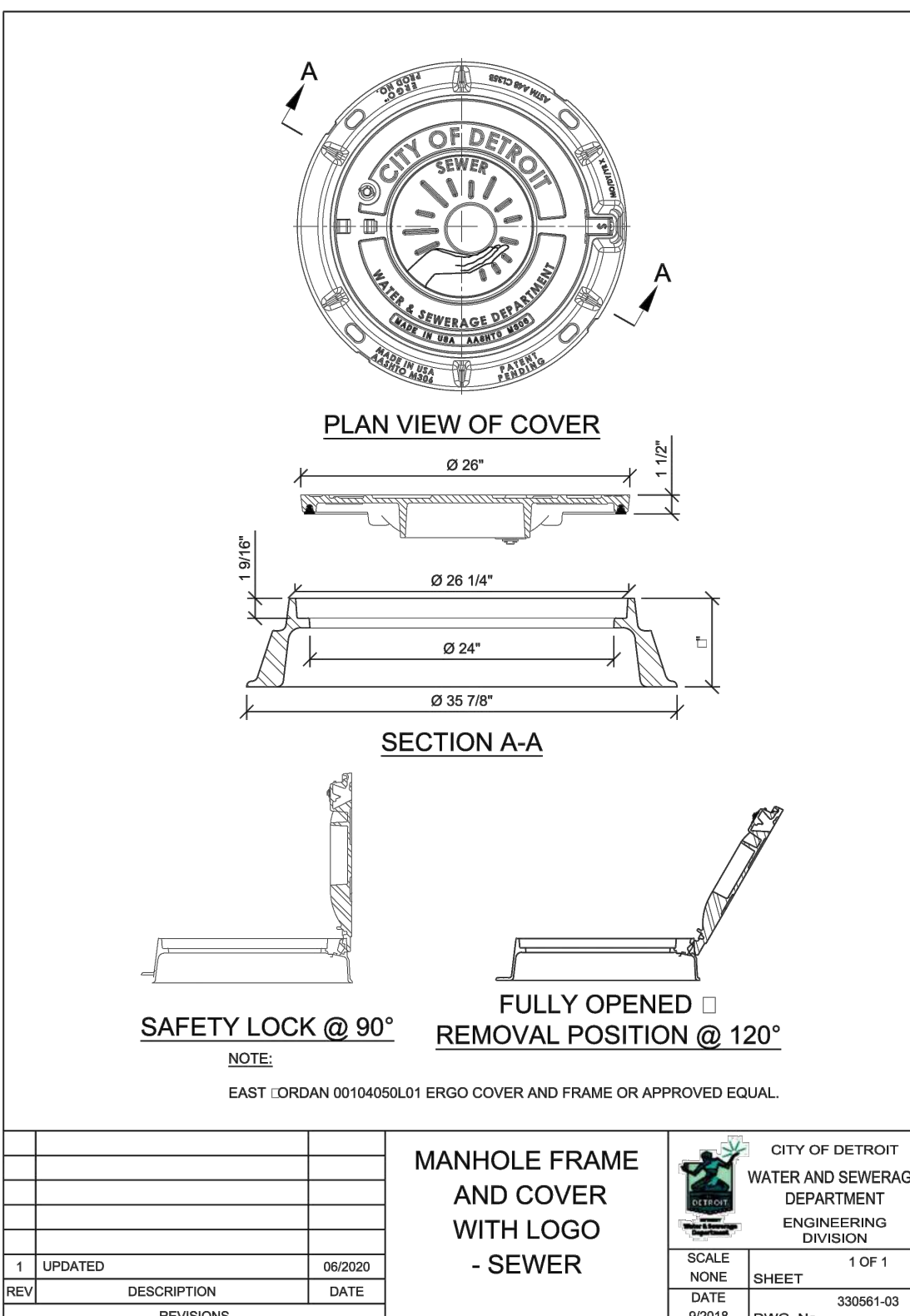
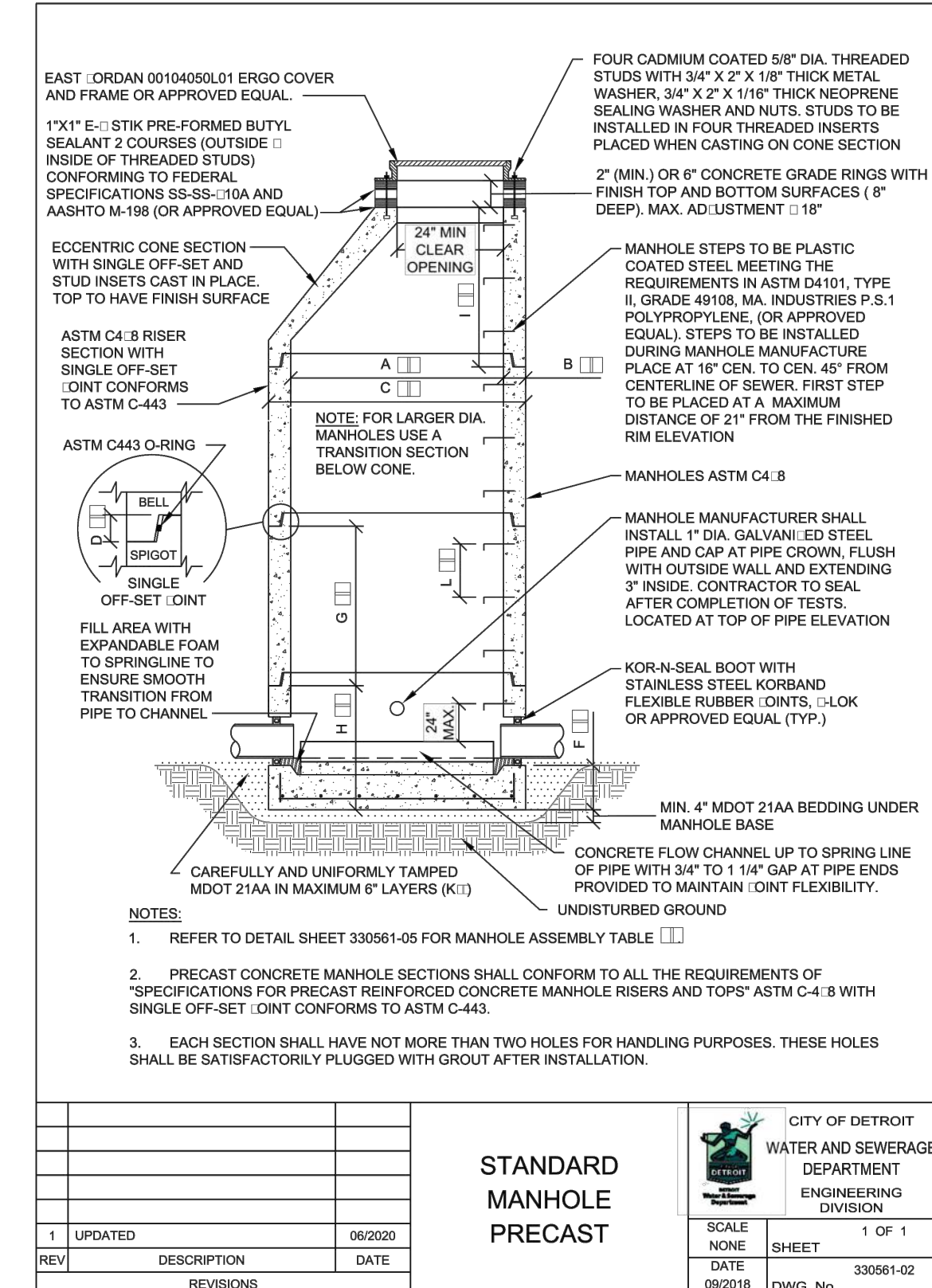
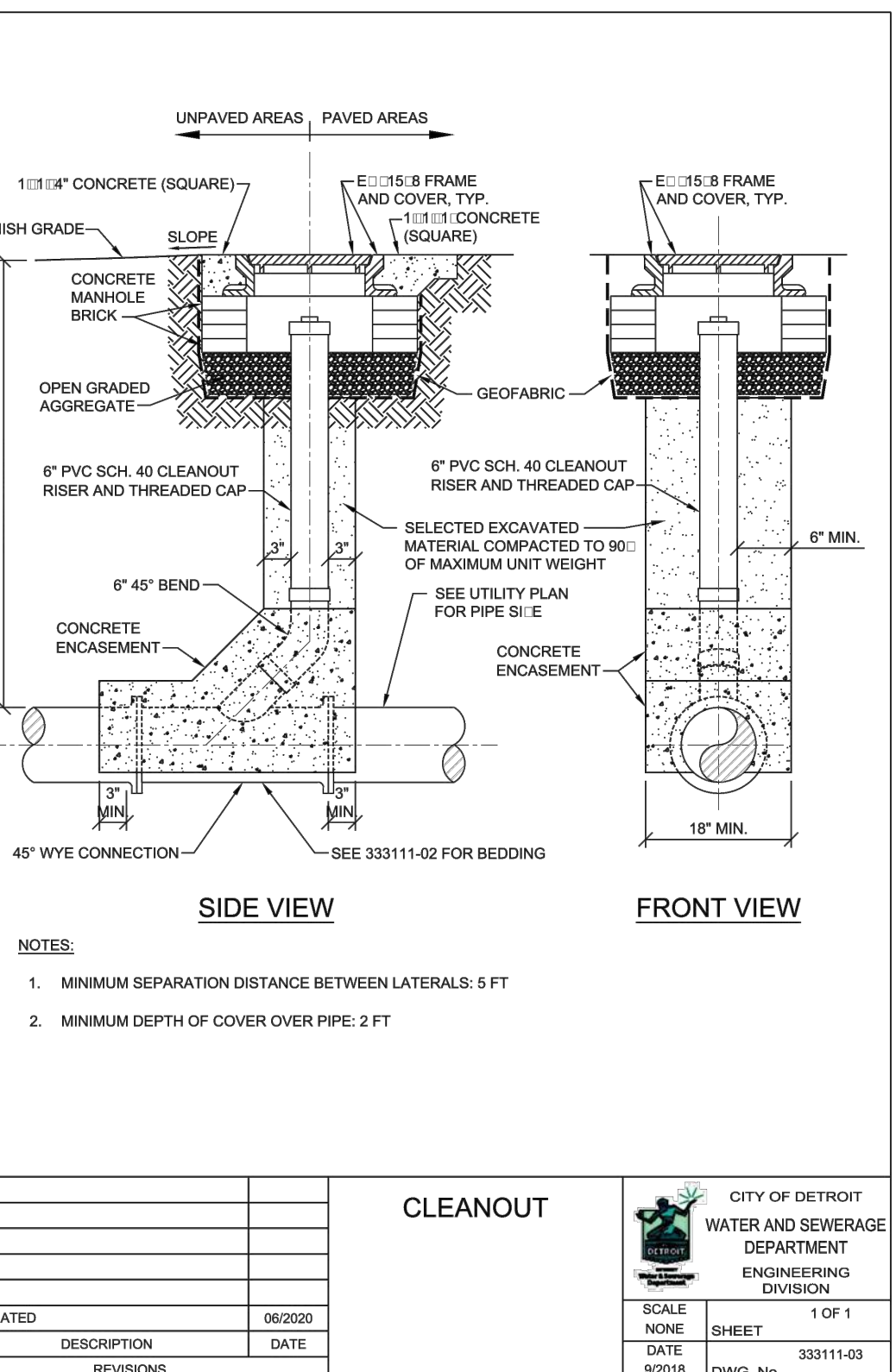
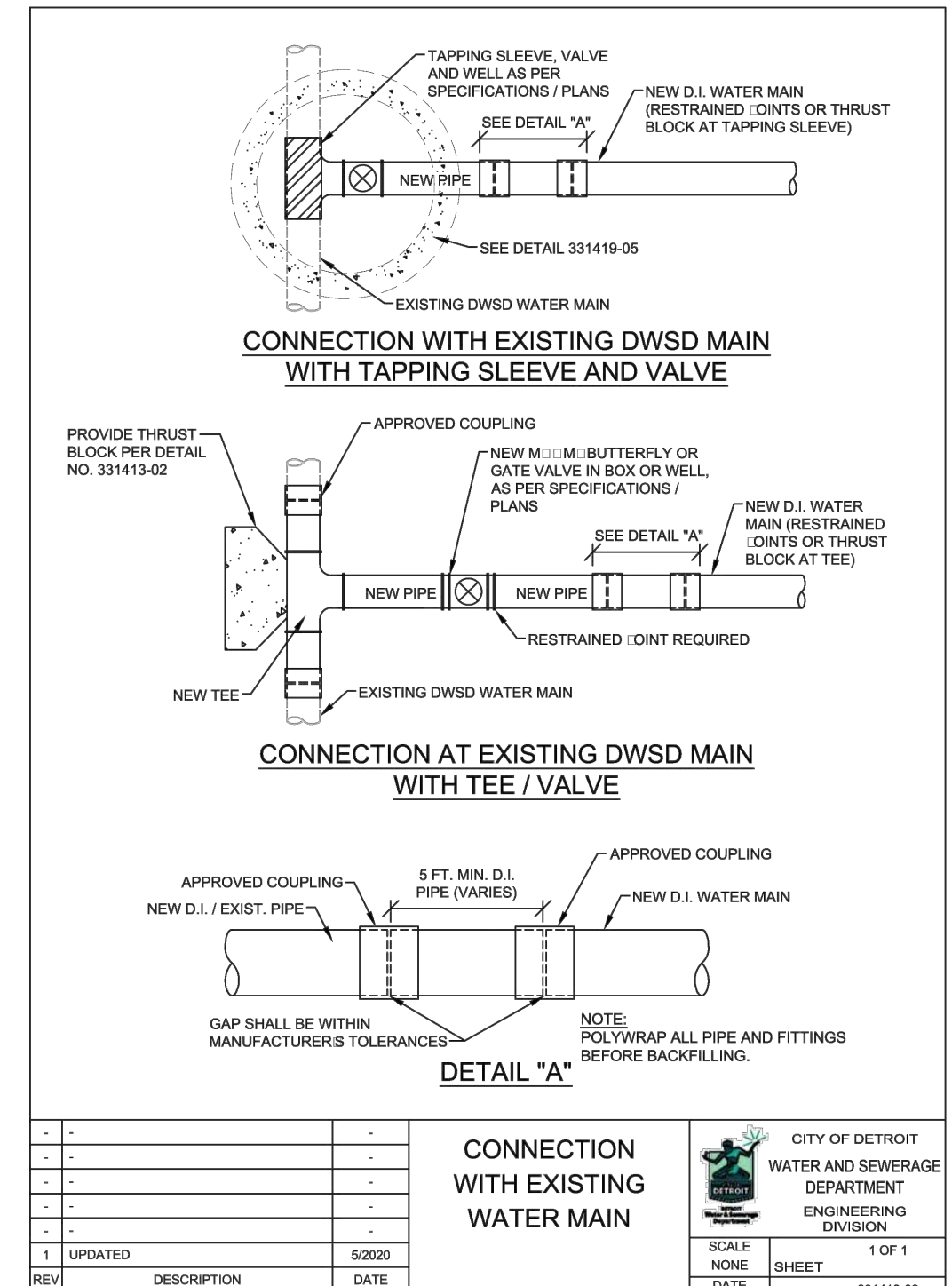
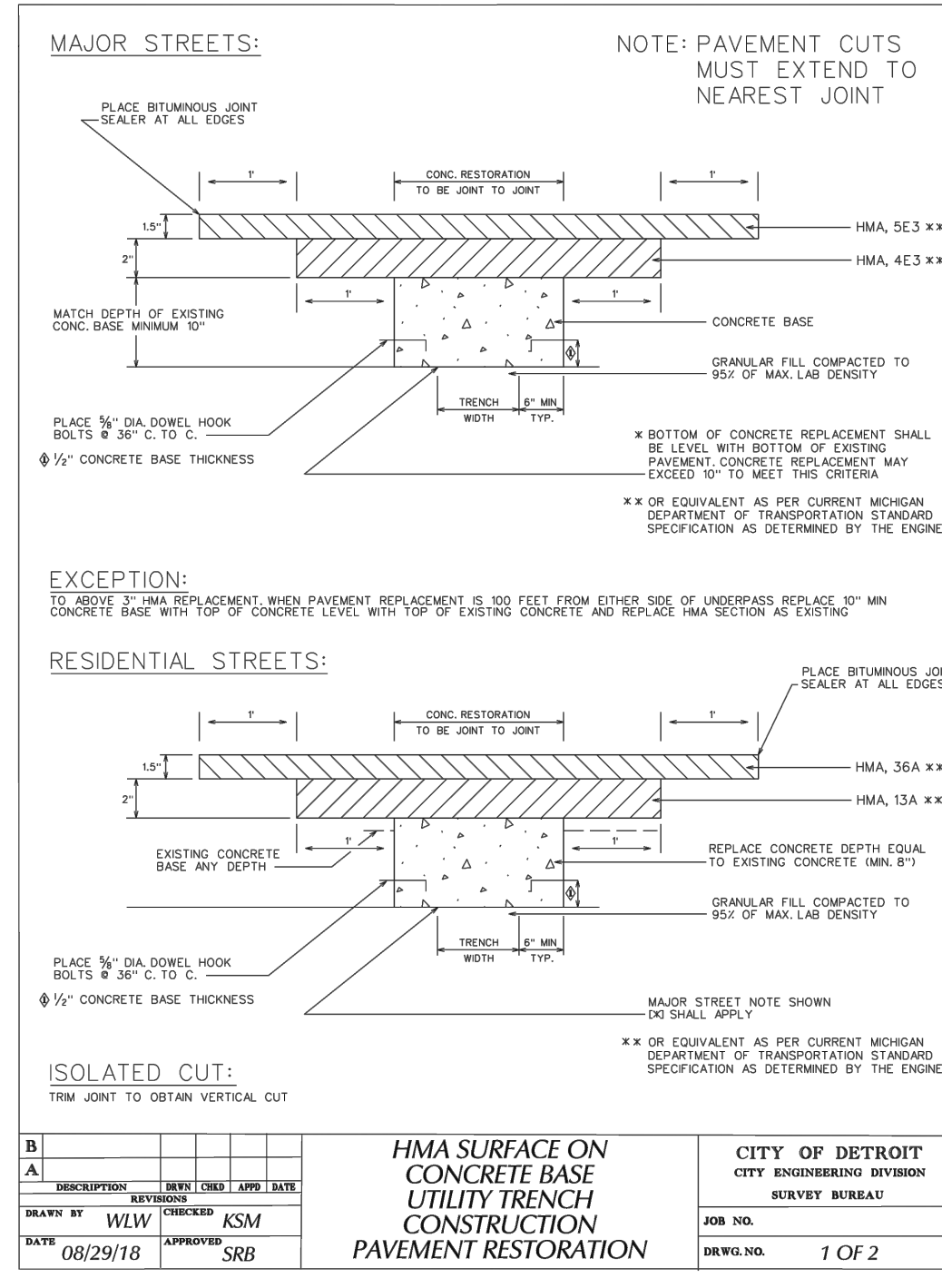
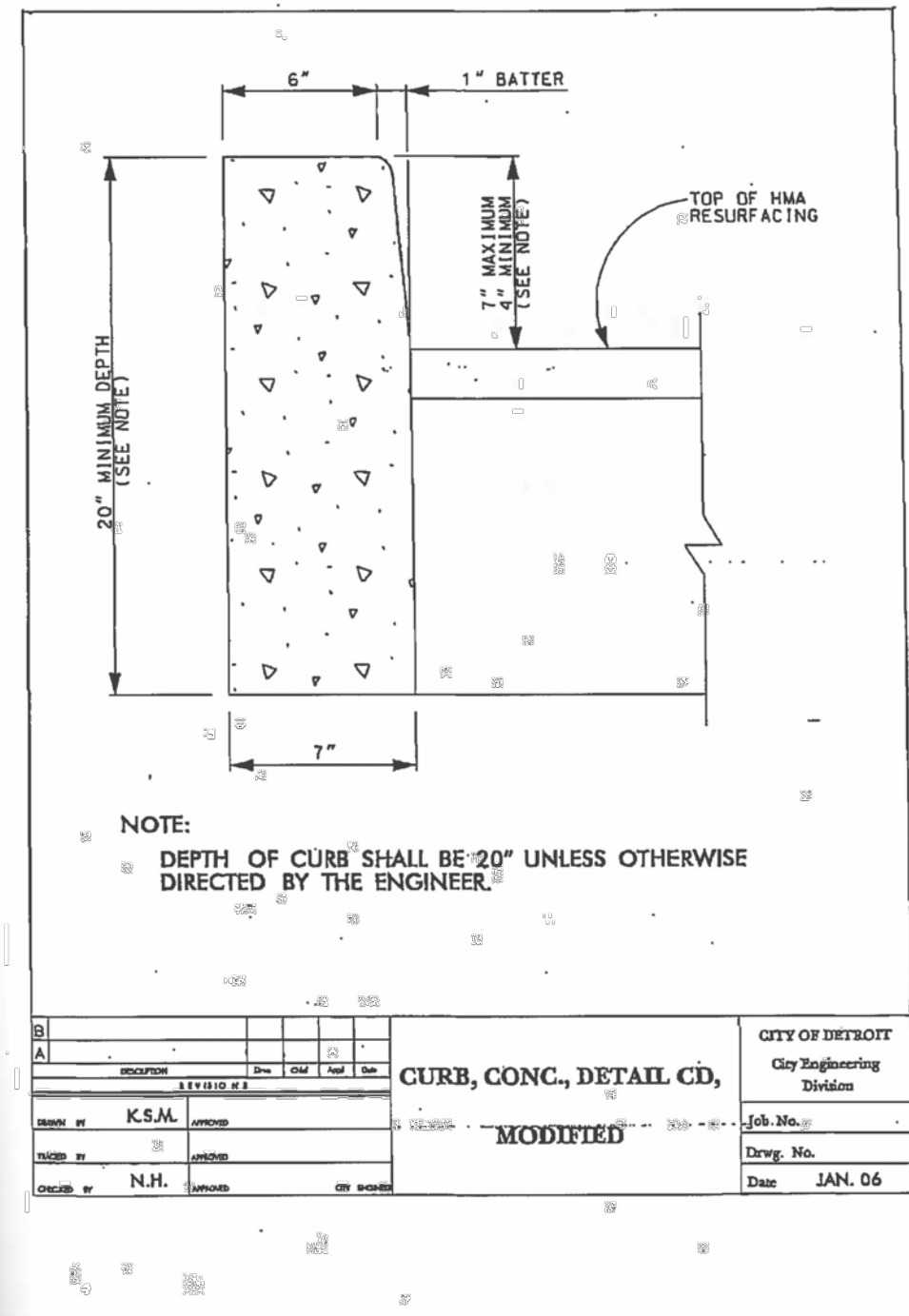
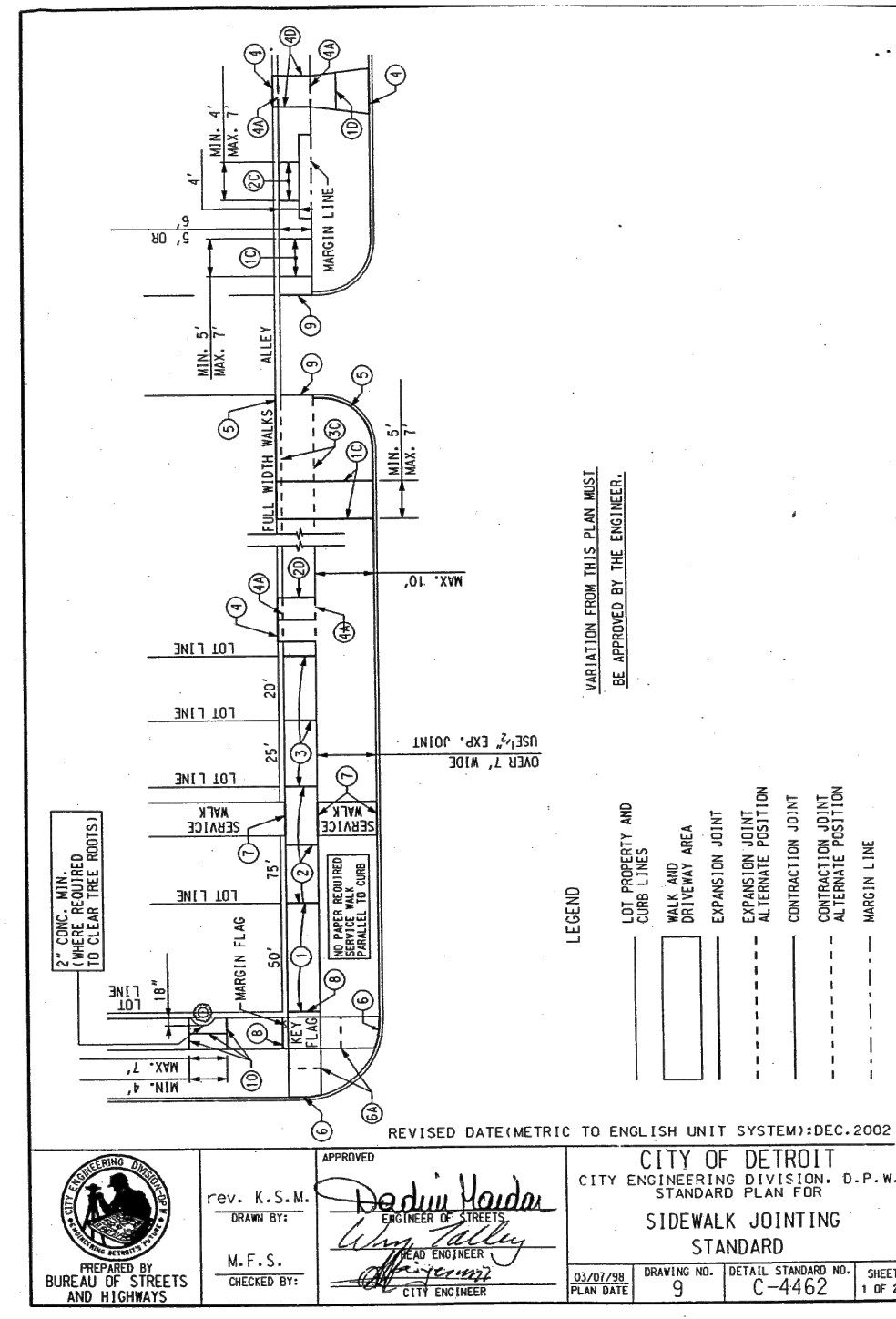
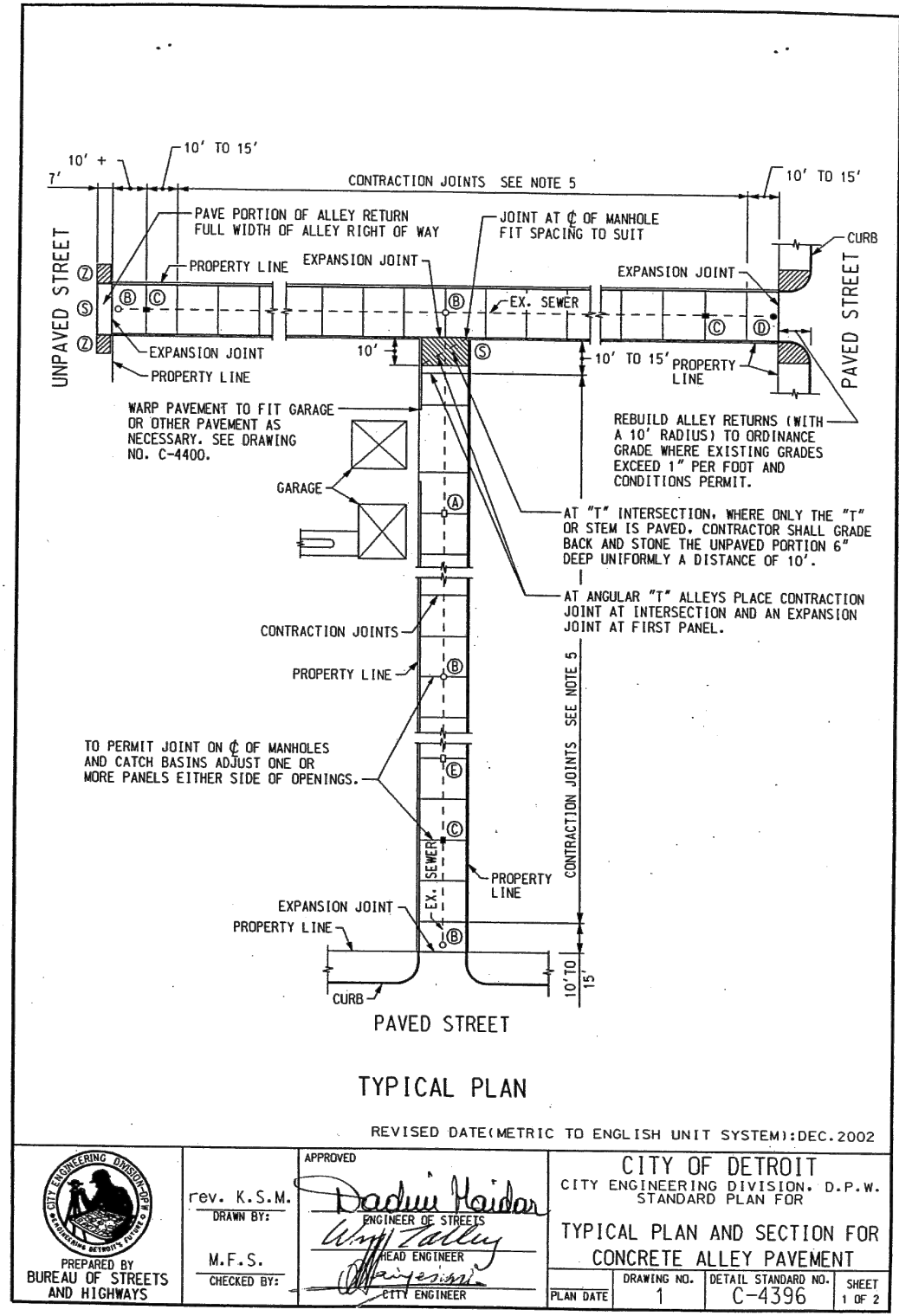
UNDERGROUND OUTLET STRUCTURE DETAIL

KEM-TEC
PROFESSIONAL ENGINEERING & ENVIRONMENTAL SERVICES
A GROUP OF COMPANIES
Empire State Building
603 255-2222
(313) 783-9277
Ann Arbor (734) 694-9888
Grand Blanc (810) 694-0001
www.kemtecgroupofcompanies.com

DETAILS SHEET
PREPARED FOR: BRUSH PARK APARTMENTS
269 WINDER DR., CITY OF DETROIT, MI

DATE	BY	REVISION	DESCRIPTION
03/19/2021	S.M. ENGINEERS	NOT TO SCALE	SCALE
09/17/2021	S.M. ENG.		CITY SUBMISSION
04/19/2021	S.M. ENG.		DWSD REVIEW
03/19/2021	S.M. ENG.		CLIENT REVIEW

C8.0



REV	DESCRIPTION	DATE
1	UPDATED	06/2020

REV	DESCRIPTION	DATE
1	UPDATED	06/2020

REV	DESCRIPTION	DATE
1	UPDATED	06/2020

REV	DESCRIPTION	DATE
1	UPDATED	06/2020

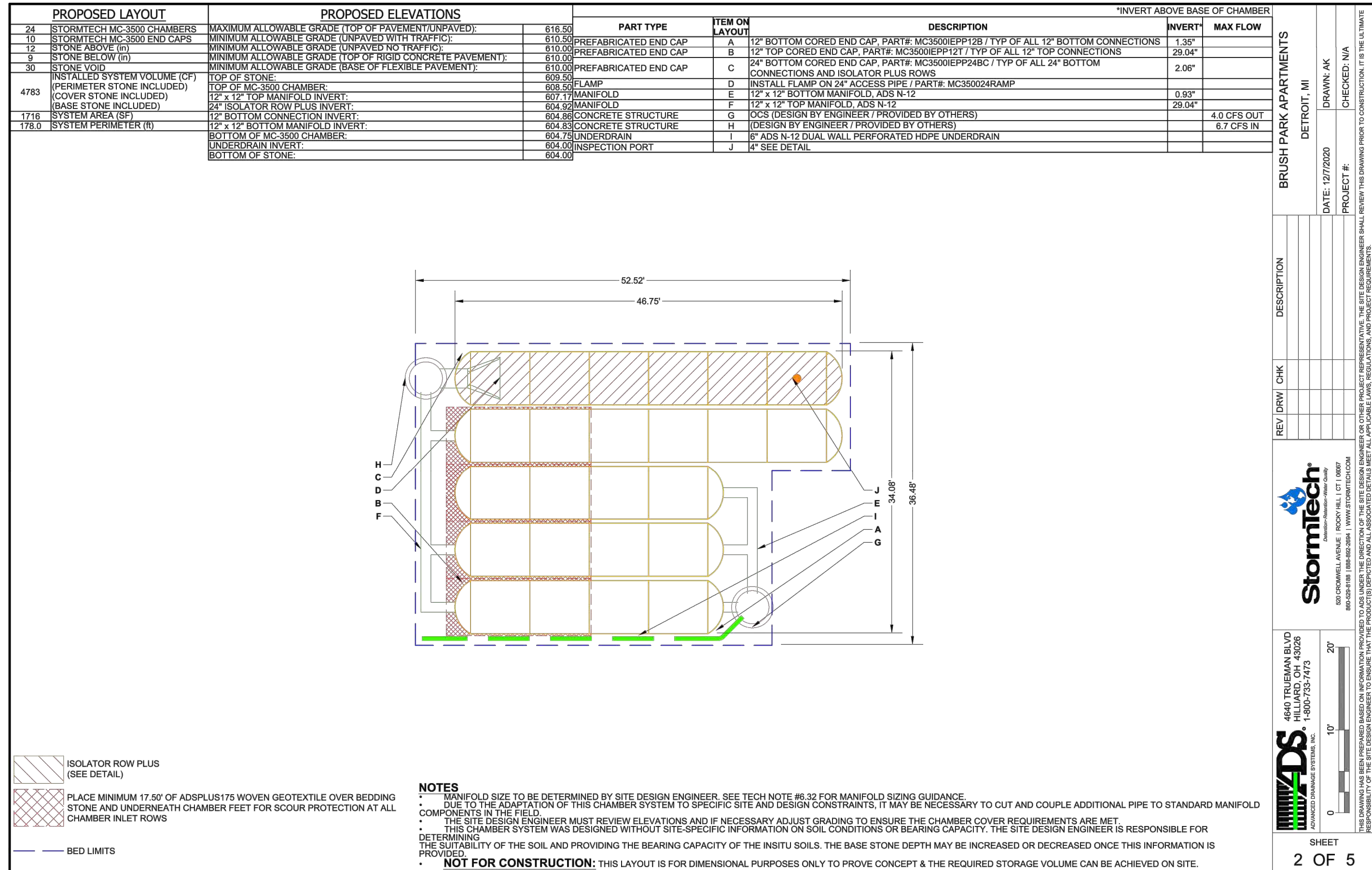
REV	DESCRIPTION	DATE
1	UPDATED	06/2020

KEM-TEC
 PROFESSIONAL ENGINEERING, ARCHITECTURAL & ENVIRONMENTAL SERVICES
 4000 W. MICHIGAN AVE. SUITE 1000
 ANN ARBOR, MI 48106-1500
 (734) 964-8888
 www.kemtecgroupofcompanies.com

DETAILS SHEET
 PREPARED FOR: BRUSH PARK APARTMENTS
 269 WINDER DR., CITY OF DETROIT, MI

DATE	BY	DESCRIPTION
03/19/2021	S.M. ENGINEERS	CITY SUBMISSION
04/19/2021	S.M. ENGINEERS	DWSD REVIEW
03/19/2021	S.M. ENGINEERS	CLIENT REVIEW

DATE: MAR 19, 2021
 PROJECT NO: 18-00000
 SCALE: NOT TO SCALE



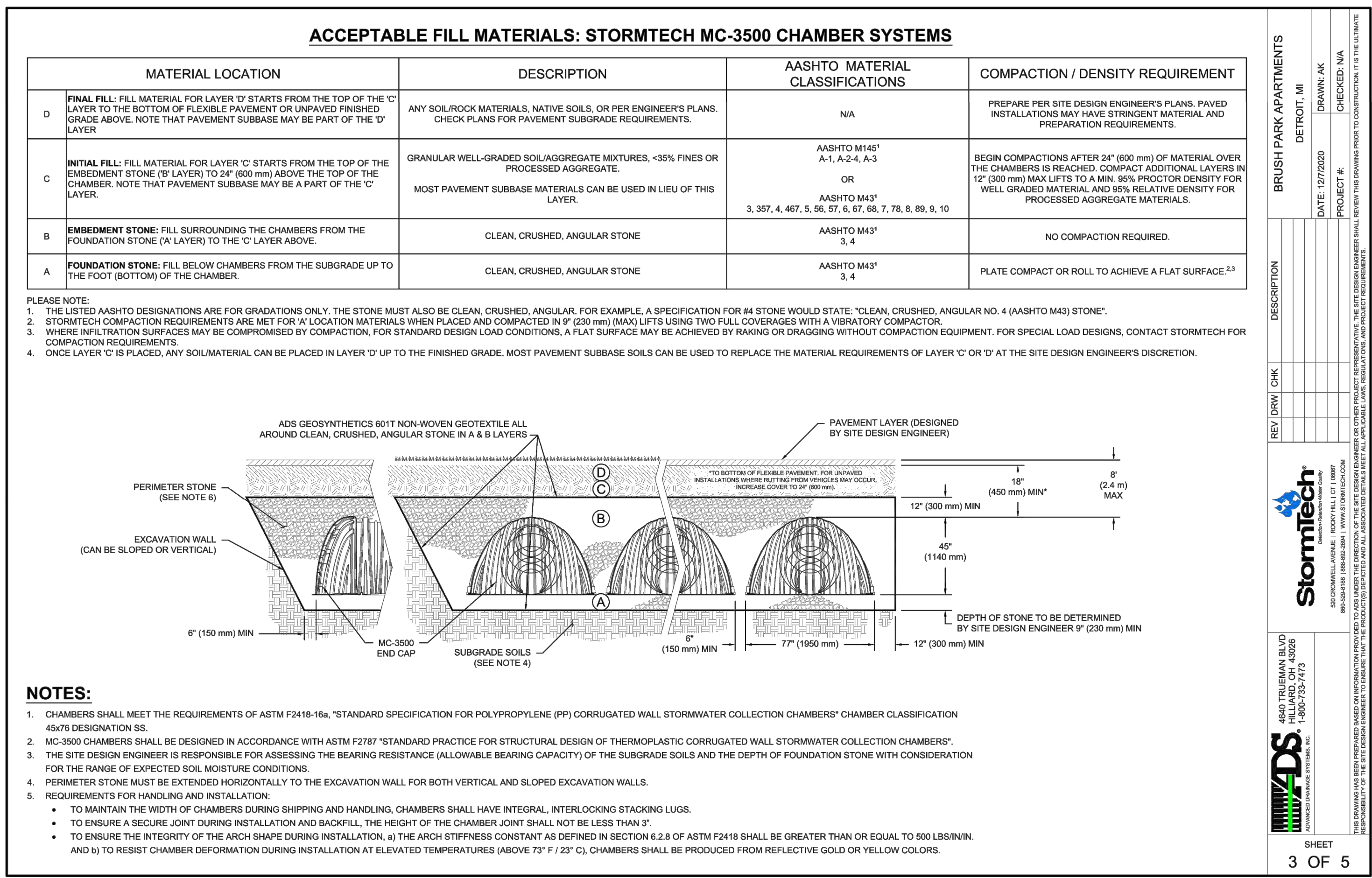
BRUSH PARK APARTMENTS
DETROIT, MI
DATE: 12/7/2020
PROJECT #:
DRAWN: AK
CHECKED: N/A

REV: DRW/CHK
DESCRIPTION

Stormtech
4640 TREHMAN BLVD
HELLO, OH 43026
1-800-733-7473

ADS
4640 TREHMAN BLVD
HELLO, OH 43026
1-800-733-7473

SHEET 2 OF 5



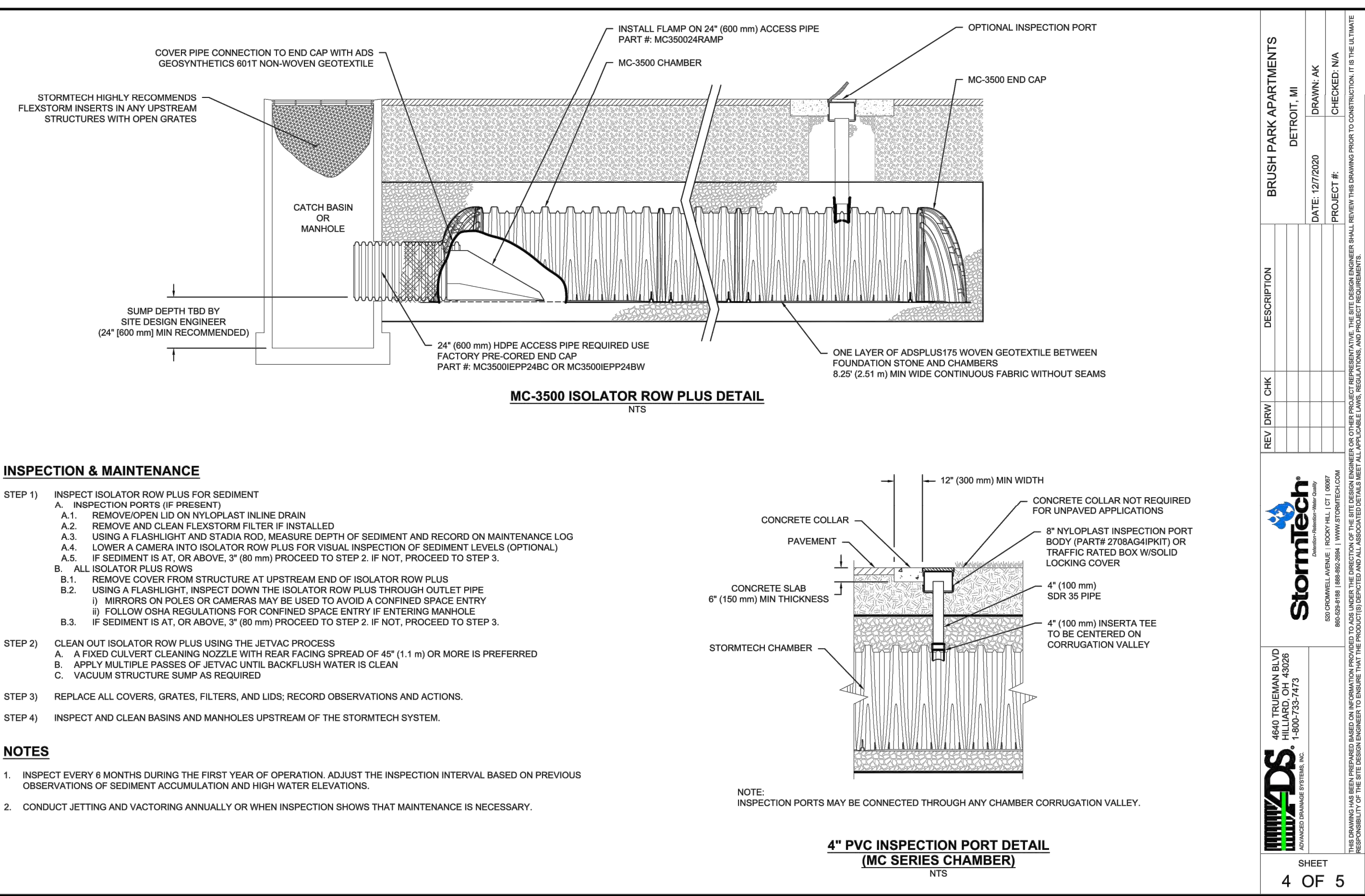
BRUSH PARK APARTMENTS
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DRAWN: AK
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4640 TREHMAN BLVD
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SHEET 3 OF 5



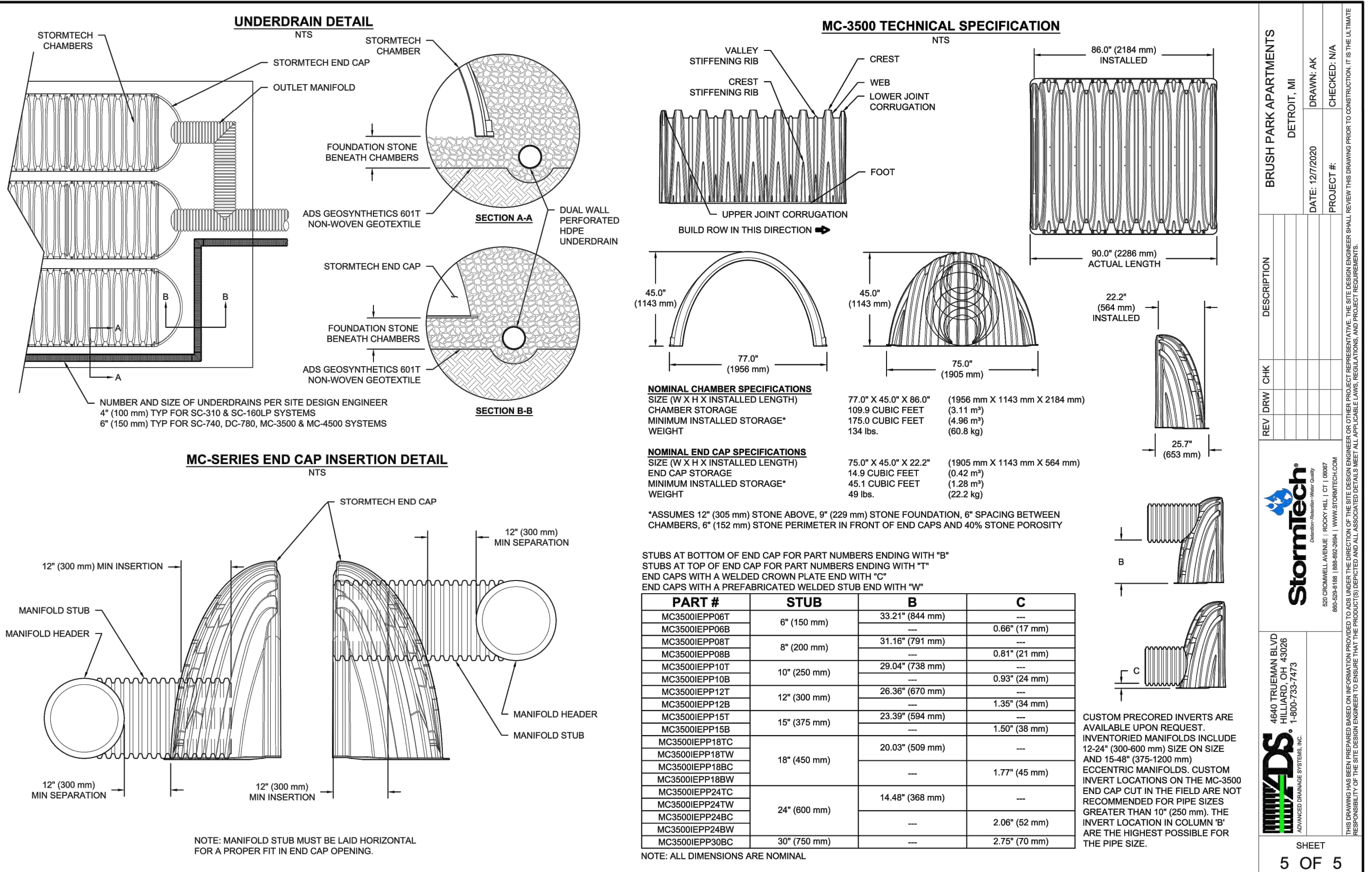
BRUSH PARK APARTMENTS
DETROIT, MI
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SHEET 4 OF 5



BRUSH PARK APARTMENTS
DETROIT, MI
DATE: 12/7/2020
PROJECT #:
DRAWN: AK
CHECKED: N/A

REV: DRW/CHK
DESCRIPTION

Stormtech
4640 TREHMAN BLVD
HELLO, OH 43026
1-800-733-7473

ADS
4640 TREHMAN BLVD
HELLO, OH 43026
1-800-733-7473

SHEET 5 OF 5

KEM-TEC
PROFESSIONAL ENGINEERING & ENVIRONMENTAL SERVICES
Engineer of Record
603.255.2222
www.kemtecgroupofcompanies.com

PREPARED FOR: BRUSH PARK APARTMENTS
269 WINDER DR., CITY OF DETROIT, MI

DATE: 03/19/2021
S.M. ENGINEERS
DATE: MAR 19, 2021
PROJECT NO: 18-00000
SCALE: NOT TO SCALE
REVISION: DATE BY: DESCRIPTION

9/17/2021
9/17/2021
9/17/2021

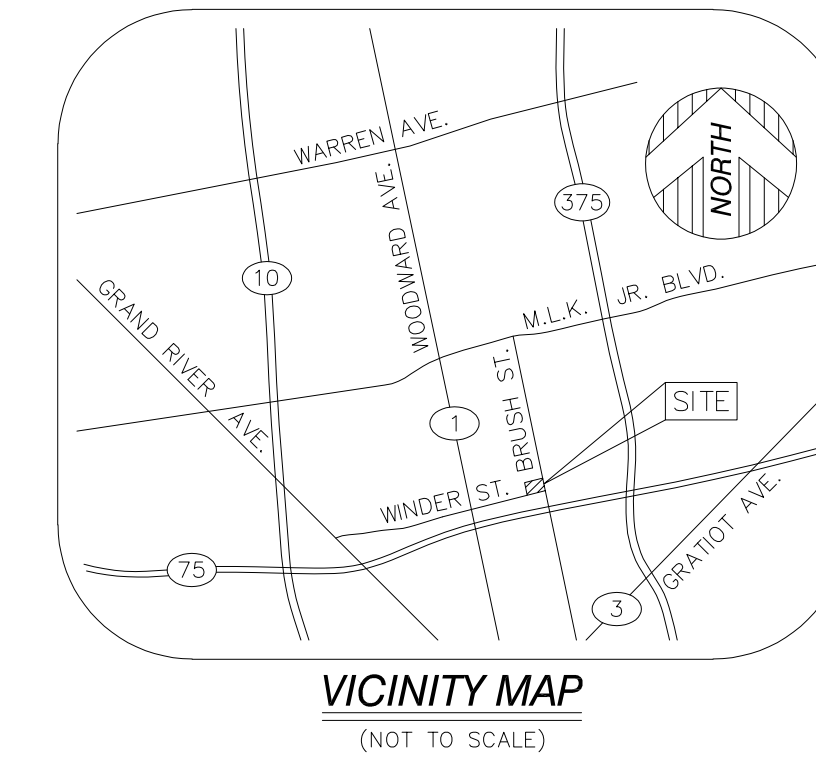
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C8.2 DetentionDetail Sheet.dwg

C8.2

DESCRIPTION
 PROGRESS REVIEW
 REVISED DRAWINGS
 PERMIT DRAWINGS.

BRUSH PARK APARTMENTS

MSHDA # TBD
 MHT HOUSING, INC.
 269 WINDER STREET, DETROIT MI, 48201



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PROJECT SUMMARY

SITE AREA
 54,471± SF OR 1.25 ACRES

BUILDING FLOORS: 4
HEIGHT: 52'-0"
UNITS: 50 (1) BEDROOM UNITS
 3 STUDIO UNITS
 53 UNITS TOTAL

FIRST FLOOR (GROSS & NET): 11,343 SF / 10,703 SF
SECOND FLOOR (GROSS & NET): 11,495 SF / 11,070 SF
THIRD FLOOR (GROSS & NET): 11,495 SF / 11,070 SF
FOURTH FLOOR (GROSS & NET): 11,495 SF / 11,070 SF
TOTAL BUILDING SIZE (GROSS & NET): 45,828 SF / 43,913 SF

RETAIL AREA (GROSS & NET): 3,770 SF / 3,455 SF
OFFICE AREA (GROSS & NET): 295 SF / 258 SF
UNITS AREA (GROSS & NET): 31,536 SF / 27,395 SF
COMMUNITY AREAS (GROSS & NET): 1,412 SF / 1,301 SF

PARKING
 PD DISTRICT DESIGN CRITERIA:
 "PARKING & LOADING, WHERE APPROPRIATE, ADEQUATE VEHICULAR OFF-STREET PARKING AND LOADING SHOULD BE PROVIDED. THE CITY PLANNING COMMISSION WILL BE GUIDED BY STANDARDS DELINEATED IN THIS CHAPTER WITH ADJUSTMENTS APPROPRIATE TO EACH SPECIFIC SITUATION."
 (Sec. 50-11-15 e)

PROVIDED: 29 Spaces
ON SITE

13,407 SF OF PARKING ON SITE

UNIT SUMMARY

UNIT TYPE	UNIT ADDRESS(ES)	DESCRIPTION	UNIT AREA (GROSS & NET) (SF)	1ST FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	TOTAL UNITS
TYPE A	101	1 BED & BATH	547 SF / 479 SF	1	0	0	0	1
TYPE A-1	201, 301 & 401	1 BED & BATH	564 SF / 515 SF	0	1	1	1	3
TYPE B	102, 103, 104, 403 & 404	TYPE A, 1 BED & BATH	551 SF / 513 SF	3	0	0	2	5
TYPE B-1	202, 215, 302, 315 & 415	1 BED & BATH	562 SF / 523 SF	0	2	2	1	5
TYPE B-2	203*, 204*, 205, 212, 214, 303, 304, 305, 312, 314, 405, 412, 414	1 BED & BATH	551 SF / 513 SF	0	5	5	3	13
TYPE B-3	402	TYPE A, 1 BED & BATH	562 SF / 523 SF	0	0	0	1	1
TYPE C	105	1 BED & BATH	560 SF / 487 SF	1	0	0	0	1
TYPE C-1	206, 306 & 406	1 BED & BATH	571 SF / 517 SF	0	1	1	1	3
TYPE D	207, 307 & 407	1 BED & BATH	589 SF / 539 SF	0	1	1	1	3
TYPE E	208, 308, 408	1 BED & BATH	568 SF / 528 SF	0	1	1	1	3
TYPE F	209, 309, 409	1 BED & BATH	610 SF / 563 SF	0	1	1	1	3
TYPE G	210, 310, 410	1 BED & BATH	622 SF / 568 SF	0	1	1	1	3
TYPE H	211, 213, 311, 313, 411, 413	1 BED & BATH	551 SF / 513 SF	0	2	2	2	6
TYPE I	216, 316, 416	STUDIO	468 SF / 417 SF	0	1	1	1	3
TOTAL UNITS				5	16	16	16	53

* = UNITS 203 & 204 WILL BE EQUIPPED FOR HEARING AND VISUALLY IMPAIRED RESIDENTS. SEE ENLARGED FLOOR PLANS FOR MORE DETAIL

OWNER

MHT HOUSING, INC.
 T.VAN FOX - PRESIDENT
 32600 TELEGRAPH ROAD
 BINGHAM FARMS, MI 48025
 PHONE: 248 833-0550 CONTACT: T. VAN FOX
 (FAX): 248 833-0551

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 FAX: 586 772-4048

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 FAX: 248 488-9811

STRUCTURAL ENGINEER

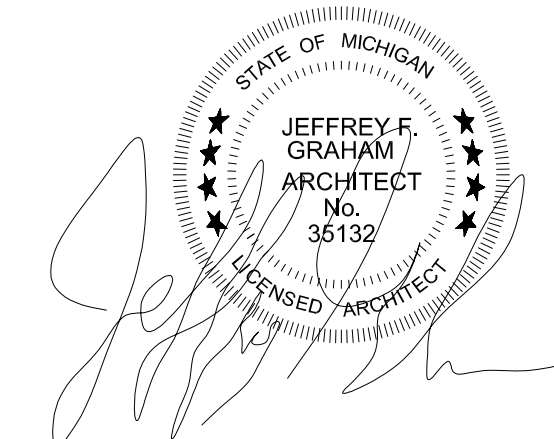
EFI GLOBAL OF MICHIGAN, LLC
 LARRY LESNIAK, P.E.
 33955 HARPER AVENUE
 CLINTON TOWNSHIP, MI 48035
 PHONE: 586 868-0220 CONTACT: LARRY LESNIAK
 FAX: 586 868 0221

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ENERGY DIAGNOSTICS
 405 E. ARCHER WAY
 VALPARAISO, IN 46383
 PHONE: 219 301-8932 CONTACT: NETTIE GREULICH

GENERAL CONTRACTOR

MHT CONSTRUCTION, LLC
 DON DAY
 32600 TELEGRAPH ROAD
 BINGHAM FARMS, MI 48025
 PHONE: 248 833-0553 CONTACT: DON DAY
 FAX: 248 833-0551



CLIENT: MHT HOUSING, INC.
 PROJECT: BRUSH PARK APARTMENTS
 269 WINDER STREET, DETROIT MI
 SITE AREA: 39.501± SF OR 0.91± ACRES
 TITLE SHEET
 PROFESSIONAL ARCHITECTS
 PROFESSIONAL ENGINEERS
 PROFESSIONAL SURVEYORS
 22556 GRATIOT AVENUE
 EASTPOINTE, MI 48021
 (586) 772-2222 PHONE
 (586) 772-4048 FAX
 72 HOURS
 (3 WORKING DAYS)
 BEFORE YOU DIG
 CALL MISS DIG
 800-482-7171
 (TOLL FREE)

DRAWN BY: ML	NO SCALE	DATE: 12/09/2021	PROJECT NO: 19-0304
CITY PERMIT DRAWINGS	DESCRIPTION	BY: M.L.	DATE: 2/16/22

SHEET NO:
T.1