PROJECT: BRUSH PARK APARTMENTS
CLIENT: MHT HOUSING, INC.
LOCATION: 269 WINDER, DETROIT

Scope of Work:
This project is to build a residential building. The building will be mixed use on the first floor, with retail along Brush Street. The remainder of the first floor will be dedicated to the residential units. Parking for both retail and residents will be provided on site. The first floor will hold the offices, mechanical/utility room, the main community room and 2 ADA public restrooms. The building will be equipped with and elevator and two egress staircases.

Legal Description:
LAND SITUATED IN THE CITY OF DETROIT, COUNTY OF WAYNE, STATE OF MICHIGAN, DESCRIBED AS:

2515 BRUSH - TAX NUMBER: 01000598-604
LOT 1, EXCEPT THE WEST 9 FEET, BLOCK 2, BRUSH SUBDIVISION OF THAT PART OF THE BRUSH FARM LYING EAST OF AND ADJOINING PARK LOTS
6, 7, 8, AND 9" AS RECORDED IN LIBER 1, PAGE 118 OF PLATS, WAYNE COUNTY RECORDS.

291 WINDER - TAX NUMBER: 01000597
THE WEST 9 FEET OF LOT 1 AND THE EAST 35 FEET OF LOT 2, BRUSH SUBDIVISION OF THAT PART OF THE BRUSH FARM LYING EAST OF AND ADJOINING PARK LOTS 6, 7, 8, AND 9" AS RECORDED IN LIBER 1, PAGE 118 OF PLATS, WAYNE COUNTY RECORDS.

N. WINDER - TAX NUMBER: 01000596
THE WEST 15 FEET OF LOT 2 AND THE EAST 1/2 OF LOT 3, BLOCK 2, BRUSH SUBDIVISION OF THAT PART OF THE BRUSH FARM LYING EAST OF AND ADJOINING PARK LOTS 6, 7, 8, AND 9" AS RECORDED IN LIBER 1, PAGE 118 OF PLATS, WAYNE COUNTY RECORDS.

269 WINDER - 01000595.002L
THE WEST 1/2 OF LOT 3 AND ALL OF LOT 4, BLOCK 2, BRUSH SUBDIVISION OF THAT PART OF THE BRUSH FARM LYING EAST OF AND ADJOINING PARK LOTS 6, 7, 8, AND 9" AS RECORDED IN LIBER 1, PAGE 118 OF PLATS, WAYNE COUNTY RECORDS.

ALSO
LOT 5, BLOCK 2, BRUSH SUBDIVISION OF THAT PART OF THE BRUSH FARM LYING EAST OF AND ADJOINING PARK LOTS 6, 7, 8, AND 9" AS RECORDED IN LIBER 1, PAGE 118 OF PLATS, WAYNE COUNTY RECORDS.

THE PERIMETER DESCRIPTION BELOW COMPRISES PARCELS 1 THROUGH 4 AND A PORTION OF PARCEL 5.

LAND IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN BEING ALL OF LOTS 1 THROUGH 4 AND PART OF LOT 5 BLOCK 2 "BRUSH SUBDIVISION OF THAT PART OF THE BRUSH FARM LYING EAST OF AND ADJOINING PARK LOTS 6, 7, 8, AND 9" AS RECORDED IN LIBER 1, PAGE 118 OF PLATS, WAYNE COUNTY RECORDS; AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE INTERSECTION OF THE WEST LINE OF BRUSH STREET (60 FEET WIDE) AND THE NORTH LINE OF WINDER STREET (60 FEET WIDE), BEING THE SOUTHEAST CORNER OF SAID LOT 1; THENCE S59°16'09"W 233.30 FEET ALONG THE NORTH LINE OF WINDER STREET; THENCE N30°24'30"W 165.88 FEET TO THE SOUTH LINE OF A PUBLIC ALLEY (20 FEET WIDE); THENCE N59°16'09"E 242.96 FEET ALONG SAID SOUTH ALLEY LINE TO THE NORTHEAST CORNER OF SAID LOT 1 AND THE WEST LINE OF BRUSH STREET; THENCE S27°04'30"E 166.22 FEET ALONG SAID WEST LINE TO THE POINT OF BEGINNING AND CONTAINING 0.907 ACRES.

PROPERTY INFO:
LOT AREA: 39,501± SF OR 0.907 ± ACRES

BUILDING
FLOORS: 4
HEIGHT: 53'
BUILDING FOOTPRINT: 11,368 SF
BUILDING SIZE: 45,631 SF

APARTMENT UNITS
3 - STUDIO UNITS
50 - 1 BEDROOM UNITS
53 UNITS

USE: MIXED USE - FIRST FLOOR RETAIL & RESIDENTIAL
SECOND TO FOURTH FLOOR RESIDENTIAL

LOT COVERAGE
11,536/39,501 = 29%

ZONING DESIGNATION
PD-H: PLANNED DEVELOPMENT DISTRICT - HISTORICAL

"LOT DIMENIONS, SETBACKS, HEIGHT LIMITATIONS, LOT COVERAGE PERCENTAGE AND FLOOR AREA RATIOS SHOULD BE APPROPRIATE TO THE NATURE OF THE PROJECT AND RELATE WELL TO SURROUNDING DEVELOPMENT." (Sec. 50-13-122)

RESIDENTIAL DENSITY
58 UNITS/0.29 ACRES = 200 UNITS PER ACRE

FAR
BUILDABLE LAND AREA = 39,501 SF
GROSS FLOOR AREA = 45,631 SF
FAR = 45,631/39,501
FAR = 1.16

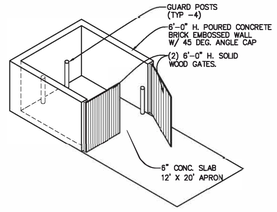
LEGEND

E	ELECTRIC MANHOLE
H	HAND HOLE
U	UTILITY POLE
GV	GAS VALVE
	LIGHT POLE WITH STREET LAMP
S	SANITARY MANHOLE
	SQUARE CATCH BASIN
	FIRE HYDRANT
GW	WATER GATE MANHOLE
W	WATER VALVE
	STEAM VAULT
	LIGHTPOST/LAMP POST
	SINGLE POST SIGN
	DECIDUOUS TREE (AS NOTED)
OHU	OVERHEAD UTILITY LINE
G	GAS LINE
S	SEWER LINE
W	WATER LINE
SL	STEAM LINE

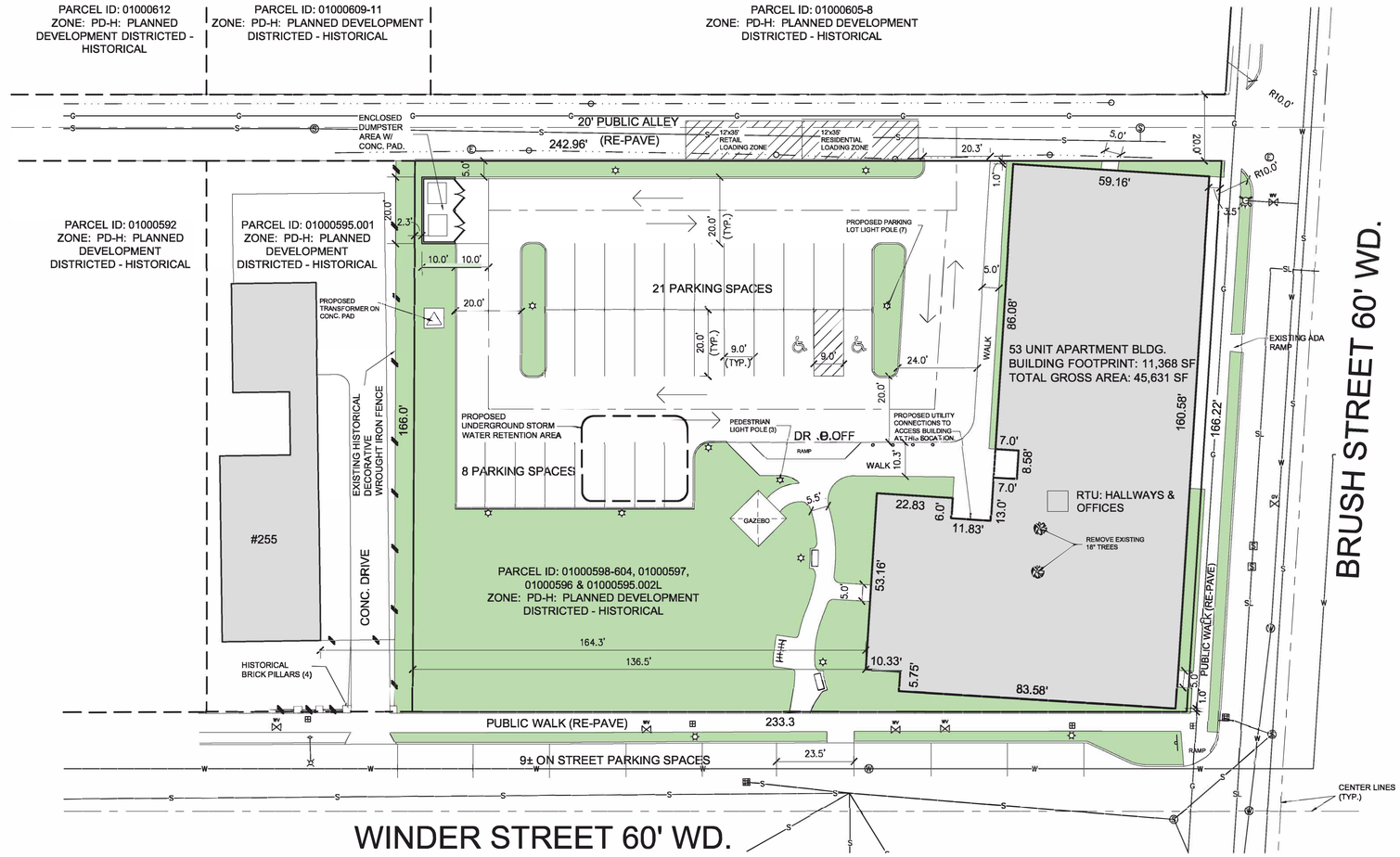
NOTE: ALL UTILITIES SHOWN OUTSIDE THE PROPERTY BOUNDARY ARE EXISTING UNLESS OTHERWISE STATED.

SHEET INDEX

ARCHITECTURAL	
ARCHITECTURAL SITE PLAN	ASP.1
NEIGHBORHOOD SITE PLAN	ASP.2
LANDSCAPE PLAN	LP.1
FLOOR PLANS	A.1.1
ENLARGED UNIT FLOOR PLAN	A.1.2
EXTERIOR ELEVATIONS	A.2.1
EXTERIOR ELEVATIONS	A.2.2
BUILDING SECTION	A.3.1
PHOTOMETRIC PLAN	1
SURVEY	
ALTA/TOPOGRAPHIC SURVEY	1
CIVIL	
STORMWATER MANAGEMENT	C.6.0



DUMPSTER DETAIL



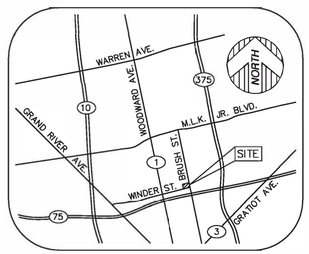
ARCHITECTURAL SITE PLAN
SCALE: 1"=20'-0"

PARKING REQUIREMENTS
PD DISTRICT DESIGN CRITERIA
"PARKING & LOADING. WHERE APPROPRIATE, ADEQUATE VEHICULAR OFF-STREET PARKING AND LOADING SHOULD BE PROVIDED. THE CITY PLANNING COMMISSION WILL BE GUIDED BY STANDARDS DELINEATED IN THIS CHAPTER WITH ADJUSTMENTS APPROPRIATE TO EACH SPECIFIC SITUATION." (Sec. 50-11-15 e)

PROVIDED:
OFF STREET PARKING - 29 SPACES
ON STREET PARKING* - 9± SPACES
TOTAL - 38 SPACES

NOTES
- ADA-COMPLIANT SIDEWALK AND RAMP WITH WARNING STRIP MUST BE PROVIDED AT INTERSECTION CROSSWALKS AND SHALL CONFORM TO MICHIGAN DEPARTMENT OF TRANSPORTATION DETAIL R-28-I.
- ALLEY IMPROVEMENTS WILL REQUIRE A MAINTENANCE AGREEMENT WITH THE CITY OF DETROIT DEPARTMENT OF PUBLIC WORKS.
- ALL UTILITES SHOWN ARE EXISTING UNLESS OTHERWISE NOTED.

ALL PROPOSED UTILITIES ARE TO BE PROPERLY LOCATED BY CIVIL ENGINEER FOR BUILDING PERMITS



VICINITY MAP
(NOT TO SCALE)

REVISION	DATE	BY	DESCRIPTION
#5	06/22/2020	M.L.	CLIENT COMMENTS
#4	04/28/2020	M.L.	CPC PACKAGE
#3	02-24-2020	JFG	HDC - COMMENTS
#2	02-13-2020	M.L.	HDC - PROJECT REVIEW
#1	02-06-2020	M.L./JFG	PPR MEETING

CLIENT: *MHT HOUSING, INC.*

BRUSH PARK APARTMENTS
269 WINDER,, DETROIT, MICHIGAN
SITE AREA: 39,501± SF OR 0.907 ± ACRES

ARCHITECTURAL SITE PLAN

PROFESSIONAL ARCHITECTS
PROFESSIONAL ENGINEERS
PROFESSIONAL SURVEYORS
22556 GRATIOT AVENUE
EASTPOINTE, MICHIGAN 48021
(586)772-2222 PHONE
(586)772-4048 FAX

KEM-TEC & ASSOCIATES

APPLICANT:
MHT HOUSING, INC.
32600 TELGRAPH RD. #102
BINGHAM FARMS, MI 48025
PHONE: 586 833-0550

DRAWN BY: JFG
SCALE: 1" = 20'-0"
DATE: 11/22/19
PROJECT NO: 19-03104

SHEET NO: ASP.1

NORTH

NEIGHBORHOOD SITE PLAN

NOT TO SCALE

STATE OF MICHIGAN
JEFFREY F. GRAHAM
ARCHITECT
No. 36132
LICENSED ARCHITECT

[illegible]

SHEET NO: ASP.2	DRAWN BY: JFG SCALE: 1" = 20'-0" DATE: 11/22/19 PROJECT NO: 19-03104	APPLICANT: MHT HOUSING, INC. 32600 TELGRAPH RD. #102 BINGHAM FARMS, MI 48025 PHONE: 586 833-0550	KEM-TEC & ASSOCIATES PROFESSIONAL ARCHITECTS PROFESSIONAL ENGINEERS PROFESSIONAL SURVEYORS 22556 GRATIOT AVENUE EASTPOINTE, MI 48021 (586)772-2222 PHONE (586)772-4048 FAX	NEIGHBORHOOD SITE PLAN	CLIENT: MHT HOUSING, INC. BRUSH PARK APARTMENTS 269 WINDER., DETROIT, MICHIGAN SITE AREA: 39,501± SF OR 0.907 ± ACRES	

REVISION	DATE	BY	DESCRIPTION
#5	06/22/2020	M.L.	CLIENT COMMENTS
#4	04/29/2020	M.L.	CPC PACKAGE
#3	02-24-2020	JFG	HDC – COMMENTS
#2	02-13-2020	M.L.	HDC – PROJECT REVIEW
#1	02-06-2020	M.L./JFG	PPR MEETING

BRUSH PARK APARTMENTS

MSHDA # TBD

MHT HOUSING, INC.

269 WINDER STREET, DETROIT MI, 48201

DESCRIPTION	PROGRESS REVIEW	REVISED DRAWINGS	PERMIT DRAWINGS.

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T.2	BUILDING CODES & NOTES				2/16/2022
T.3	ENTERPRISE GREEN COMMUNITIES NOTES				2/16/2022
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C.1.0	COVER SHEET				9/17/2021
C.1.1	ALTA/TOPOGRAPHIC SURVEY				9/17/2021
C.2.0	DEMOLITION PLAN				9/17/2021
C.3.0	SITE LAYOUT & PAVING PLAN				9/17/2021
C.4.0	GRADING PLAN				9/17/2021
C.50	UTILITY PLAN				9/17/2021
C.6.0	PROFILE PLAN				9/17/2021
C.7.0	SOIL EROSION & SEDIMENTATION CONTROL PLAN				9/17/2021
C.8.0	SITE DETAILS SHEET				9/17/2021
C.9.0	DETENTION DETAILS SHEET				9/17/2021
C.9.1	DETENTION DETAILS SHEET				9/17/2021
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A.1.2	SECOND FLOOR PLAN				2/16/2022
A.1.3	THIRD FLOOR PLAN				2/16/2022
A.1.4	FOURTH FLOOR PLAN				2/16/2022
A.1.5	ROOF PLAN				2/16/2022
A.1.6	LIFE SAFETY PLANS				2/16/2022
A.1.7	LIFE SAFETY PLANS				2/16/2022
A.1.8	LIFE SAFETY BUILDING SECTIONS				2/16/2022
A.2.1	EXTERIOR ELEVATIONS: EAST & WEST				2/16/2022
A.2.2	EXTERIOR ELEVATIONS: NORTH & SOUTH				2/16/2022
A.3.1	CEILING FINISH PLAN: FIRST & SECOND				2/16/2022
A.3.2	CEILING FINISH PLAN: THIRD & FOURTH				2/16/2022
A.3.3	FINISH FLOOR SCHEDULE: FLOORS 1 & 2				2/16/2022
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A.4.1	ROOM FINISH SCHEDULES & NOTES				2/16/2022
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A.5.2	BUILDING SECTIONS				2/16/2022
A.6.1	WALL SECTIONS & DETAILS				2/16/2022
A.6.2	WALL SECTIONS & DETAILS				2/16/2022
A.6.3	WALL SECTIONS & DETAILS				2/16/2022
A.6.4	WALL SECTIONS & DETAILS				2/16/2022
A.6.5	WALL SECTIONS & DETAILS				2/16/2022
A.6.6	WALL SECTIONS & DETAILS				2/16/2022
A.6.7	SECTION DETAILS & TRASH CHUTE DETAILS				2/16/2022
A.6.8	CONCRETE PANELS DETAILS				2/16/2022
A.6.9	CONCRETE PANELS DETAILS				2/16/2022
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A.8.4	ENLARGED FLOORS 2-4 COMMUNITY & MECHANICAL ROOM				2/16/2022
A.9.1	INTERIOR ELEVATIONS				2/16/2022
A.10.1	DOOR AND WINDOW SCHEDULES AND DETAILS				2/16/2022
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SG-02	SPECIAL INSPECTIONS & TESTING			12/06/21	1/25/22
SG-03	SPECIAL INSPECTIONS & TESTING			12/06/21	1/25/22
SG-04	SPECIFICATIONS			12/06/21	1/25/22
SG-05	SPECIFICATIONS			12/06/21	1/25/22
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SP-01	MASONRY WALL PLAN			12/06/21	1/25/22
SP-02	SECOND FLOOR FRAMING PLAN			12/06/21	1/25/22
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SP-04	FOURTH FLOOR FRAMING PLAN			12/06/21	1/25/22
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SW-02	SHEAR WALL DETAILS			12/06/21	1/25/22
SW-03	SHEAR WALL DETAILS			12/06/21	1/25/22
SW-04	ROOF DIAPHRAGM DETAILS			12/06/21	1/25/22
S5-01	TYPICAL DETAILS			12/06/21	1/25/22
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M.101	OVERALL SANITARY & VENT PLUMBING PLAN - SECOND FLOOR		11/15/21		2/16/2022
M.102	OVERALL DOMESTIC WATER PLAN - FIRST FLOOR		11/15/21		2/16/2022
M.103	OVERALL DOMESTIC WATER PLAN - SECOND FLOOR		11/15/21		2/16/2022
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M.105	OVERALL GAS PIPING PLAN - SECOND FLOOR		11/15/21		2/16/2022
M.106	OVERALL PLUMBING & GAS PIPING PLAN - THIRD FLOOR		11/15/21		2/16/2022
M.107	OVERALL PLUMBING & GAS PIPING PLAN - FOURTH FLOOR		11/15/21		2/16/2022
M.108	ENLARGED SANITARY & VENT PLUMBING PLANS		11/15/21		2/16/2022
M.109	ENLARGED DOMESTIC WATER PIPING PLANS		11/15/21		2/16/2022
M.110	PLUMBING RISERS		11/15/21		2/16/2022
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M.202	OVERALL HVAC PLAN - THIRD FLOOR		11/15/21		2/16/2022
M.203	OVERALL HVAC PLAN - FOURTH FLOOR		11/15/21		2/16/2022
M.204	ENLARGED HVAC FLOOR PLAN		11/15/21		2/16/2022
M.300	MECHANICAL ROOF PLAN		11/15/21		2/16/2022
M.400	MECHANICAL SCHEDULES		11/15/21		2/16/2022
M.401	MECHANICAL DETAILS		11/15/21		2/16/2022
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E.100PH	SITE PHOTOMETRIC PLAN		11/15/21		2/16/2022
E.200	OVERALL ELECTRICAL PLAN - FIRST FLOOR		11/15/21		2/16/2022
E.201	OVERALL ELECTRICAL PLAN - SECOND FLOOR		11/15/21		2/16/2022
E.202	OVERALL ELECTRICAL PLAN - THIRD FLOOR		11/15/21		2/16/2022
E.203	OVERALL ELECTRICAL PLAN - FOURTH FLOOR		11/15/21		2/16/2022
E.204	ELECTRICAL ROOF PLAN		11/15/21		2/16/2022
E.205	ENLARGED ELECTRICAL PLANS		11/15/21		2/16/2022
E.300	LIGHTING FIXTURE SCHEDULES		11/15/21		2/16/2022
E.400	RISER DIAGRAM/PANEL SCHEDULES/FEEDER LOAD CALC.		11/15/21		2/16/2022
E.401	PANEL SCHEDULES/FEEDER SIZES & FEEDER SCHEDULES		11/15/21		2/16/2022
E.402	PANEL SCHEDULES/FEEDER SIZES & FEEDER SCHEDULES		11/15/21		2/16/2022
E.500	ELECTRICAL SPECIFICATIONS		11/15/21		2/16/2022

PROJECT SUMMARY

SITE AREA
54,471± SF OR 1.25 ACRES

BUILDING

FLOORS:	4
HEIGHT:	52'-0"
UNITS:	50 (1) BEDROOM UNITS 3 STUDIO UNITS 53 UNITS TOTAL
FIRST FLOOR (GROSS & NET):	11,343 SF / 10,703 SF
SECOND FLOOR (GROSS & NET):	11,495 SF / 11,070 SF
THIRD FLOOR (GROSS & NET):	11,495 SF / 11,070 SF
FOURTH FLOOR (GROSS & NET):	11,495 SF / 11,070 SF
TOTAL BUILDING SIZE (GROSS & NET):	45,828 SF / 43,913 SF
RETAIL AREA (GROSS & NET):	3,770 SF / 3,455 SF
OFFICE AREA (GROSS & NET):	295 SF / 258 SF
UNITS AREA (GROSS & NET):	31,536 SF / 27,395 SF
COMMUNITY AREAS (GROSS & NET):	1,412 SF / 1,301 SF

PARKING
PD DISTRICT DESIGN CRITERIA:
"PARKING & LOADING, WHERE APPROPRIATE, ADEQUATE VEHICULAR OFF-STREET PARKING AND LOADING SHOULD BE PROVIDED. THE CITY PLANNING COMMISSION WILL BE GUIDED BY STANDARDS DELINEATED IN THIS CHAPTER WITH ADJUSTMENTS APPROPRIATE TO EACH SPECIFIC SITUATION." (Sec. 50-11-15 e)

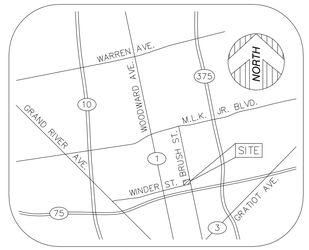
PROVIDED:
ON SITE 29 Spaces

13,407 SF OF PARKING ON SITE

UNIT SUMMARY

UNIT TYPE	UNIT ADDRESS(ES)	DESCRIPTION	UNIT AREA (GROSS & NET) (SF)	1ST FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	TOTAL UNITS
TYPE A	101	1 BED & BATH	547 SF / 479 SF	1	0	0	0	1
TYPE A-1	201, 301 & 401	1 BED & BATH	564 SF / 515 SF	0	1	1	1	3
TYPE B	102, 103, 104, 403 & 404	TYPE A, 1 BED & BATH	551 SF / 513 SF	3	0	0	2	5
TYPE B-1	202, 215, 302, 315 & 415	1 BED & BATH	562 SF / 523 SF	0	2	2	1	5
TYPE B-2	203*, 204*, 205, 212, 214, 303, 304, 305, 312, 314, 405, 412, 414	1 BED & BATH	551 SF / 513 SF	0	5	5	3	13
TYPE B-3	402	TYPE A, 1 BED & BATH	562 SF / 523 SF	0	0	0	1	1
TYPE C	105	1 BED & BATH	560 SF / 487 SF	1	0	0	0	1
TYPE C-1	206, 306 & 406	1 BED & BATH	571 SF / 517 SF	0	1	1	1	3
TYPE D	207, 307 & 407	1 BED & BATH	589 SF / 539 SF	0	1	1	1	3
TYPE E	208, 308, 408	1 BED & BATH	568 SF / 528 SF	0	1	1	1	3
TYPE F	209, 309, 409	1 BED & BATH	610 SF / 563 SF	0	1	1	1	3
TYPE G	210, 310, 410	1 BED & BATH	622 SF / 568 SF	0	1	1	1	3
TYPE H	211, 213, 311, 313, 411, 413	1 BED & BATH	551 SF / 513 SF	0	2	2	2	6
TYPE I	216, 316, 416	STUDIO	468 SF / 417 SF	0	1	1	1	3
TOTAL UNITS				5	16	16	16	53

* = UNITS 203 & 204 WILL BE EQUIPPED FOR HEARING AND VISUALLY IMPAIRED RESIDENTS. SEE ENLARGED FLOOR PLANS FOR MORE DETAIL



VICINITY MAP
(NOT TO SCALE)

OWNER

MHT HOUSING, INC.
T.VAN FOX - PRESIDENT
32600 TELEGRAPH ROAD
BINGHAM FARMS, MI 48025
PHONE: 248 833-0550 CONTACT: T. VAN FOX
(FAX): 248 833-0551

ARCHITECT

KEM-TEC & ASSOCIATES
JEFFREY F. GRAHAM - LEED AP, A.L.A.
22556 GRATIOT AVENUE
EASTPOINTE, MI 48021
PHONE: 586 772-2222 CONTACT: JEFF GRAHAM
FAX: 586 772-4048

CIVIL ENGINEER

KEM-TEC & ASSOCIATES
JOSEPH ROCCO DATTILO
22556 GRATIOT AVENUE
EASTPOINTE, MI 48021
PHONE: 248 835-3553 CONTACT: PAUL MODI
FAX: 586 772-4048

SURVEYOR

KEM-TEC & ASSOCIATES
ANTHONY SYCKO, PS
22556 GRATIOT AVENUE
EASTPOINTE, MI 48021
PHONE: 586 772-2222 CONTACT: ANTHONY SYCKO
FAX: 586 772-4048

MEP ENGINEER

MEP ENGINEERS LLC
JOSEPH A. MALKOUN, PE
380 NORTH MAIN STREET
CLAWSON, MI 48017
PHONE: 248 488-9822 CONTACT: JOSEPH A. MALKOUN
FAX: 248 488-9811

STRUCTURAL ENGINEER

EFI GLOBAL OF MICHIGAN, LLC
LARRY LESNIAK, P.E.
33955 HARPER AVENUE
CLINTON TOWNSHIP, MI 48035
PHONE: 586 868-0220 CONTACT: LARRY LESNIAK
FAX: 586 868 0221

ENERGY ENGINEER

ENERGY DIAGNOSTICS
405 E. ARCHER WAY
VALPARAISO, IN 46383
PHONE: 219 301-8932 CONTACT: NETTIE GREULICH

GENERAL CONTRACTOR

MHT CONSTRUCTION, LLC
DON DAY
32600 TELEGRAPH ROAD
BINGHAM FARMS, MI 48025
PHONE: 248 833-0553 CONTACT: DON DAY
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#	REVISION	DATE	BY	DESCRIPTION
				CITY PERMIT DRAWINGS
#1		2/16/22	M.L.	

CLIENT: MHT HOUSING, INC.

BRUSH PARK APARTMENTS
269 WINDER STREET, DETROIT MI
SITE AREA: 39,501± SF OR 0.91± ACRES

TITLE SHEET

PROFESSIONAL ARCHITECTS
PROFESSIONAL ENGINEERS
PROFESSIONAL SURVEYORS
22556 GRATIOT AVENUE
EASTPOINTE, MI 48021
(586)772-2222 PHONE
(586)772-4048 FAX
KEM-TEC & ASSOCIATES

72 HOURS (3 WORKING DAYS) BEFORE YOU DIG CALL MISS DIG 800-482-7171 (TOLL FREE)

DRAWN BY: M.L.
SCALE: NO SCALE
DATE: 12/09/2021
PROJECT NO: 19-03104

SHEET NO: T.1

CODE COMPLIANCE

2015 MICHIGAN BUILDING CODE
2015 MICHIGAN MECHANICAL CODE
2017 MICHIGAN ELECTRICAL CODE (2017 MCL PART 8 RULES, SECTION R408.30801)
2015 MICHIGAN PLUMBING CODE
2009 MICHIGAN UNIFORM ENERGY CODE
2015 ENTERPRISE GREEN COMMUNITIES CRITERIA
ADA STANDARDS FOR ACCESSIBLE DESIGN
RULES NFPA 13 AUTOMATIC FIRE PROTECTION SYSTEMS
ICC/ANSI A117-1-2009
1988 UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS)

USE GROUP			
MBC SECTION 304	MIXED USE RESIDENTIAL GROUP R-2 BUSINESS GROUP B - 1ST FLOOR		
CONSTRUCTION TYPE			
MBC SECTION 602	TYPE VA		
MAX HEIGHT & AREA			
MBC TABLE 503		GROUP R-2	GROUP B
	AREA	36,000 SF	54,000 SF
	HEIGHT	70' & 4 STORIES	70' & 4 STORIES
PROPOSED HEIGHT & AREA			
		GROUP R-2	GROUP B
	AREA	31,538 SF	3,777 SF
	HEIGHT	52' & 4 STORIES	52' & 4 STORIES
OCCUPANT PER FLOOR PER CODE			
MBC TABLE 1004.1.2	BUSINESS = 100 GROSS SF		
	RESIDENTIAL = 200 GROSS SF		
	STORAGE/MECHANICAL = 300 GROSS SF		
	COMMUNITY ROOM (ASSEMBLY - UNCONSECRATED) = 15 NET SF		
CALCULATED OCCUPANCY LOAD			
	1ST FLOOR RES: 2,760/200 = 13 OCCUPANTS		
	TYPICAL FLOOR RES: 14,366/200 = 71 OCCUPANTS PER FLOOR		
	RES. SUPPORT-OFFICE: 295/100 = 2 OCCUPANTS		
	RES. SUPPORT-MECHANICAL/STORAGE (1ST FLOOR): 618/300 = 2 OCCUPANTS		
	1ST FLOOR COMMUNITY SPACE: 1,412/15 = 94 OCCUPANTS		
	2ND-3RD FLOOR COMMUNITY SPACE: 409/15 = 27 OCCUPANTS PER FLOOR		
	4TH FLOOR COMMUNITY SPACE: 423/15 = 28 OCCUPANTS		
	COMMERCIAL SPACE A: 1,524/100 = 15 OCCUPANTS		
	COMMERCIAL SPACE B: 2,246/100 = 22 OCCUPANTS		
TOTAL OCCUPANTS	443 OCCUPANTS		

EGRESS		
	REQUIRED	PROVIDED
MIN. NUMBER OF EXITS MBC T. 1006.3.1	TWO PER FLOOR WITH OCCUPANT LOAD 1-500	PROVIDED 2 PER FLOOR ABOVE GRADE
MAX. EXIT ACCESS TRAVEL MBC T. 1017.2	250' WITH FIRE SUPPRESSION	138' MAX
MIN STAIRWAY WIDTH MBC SEC. 1005.3.1 & 1009.4	44" MIN. OR 0.3" (OR 0.2" W/FIRE SUPPRESSION) PER OCCUPANT, WHICHEVER IS GREATER.	47 5/8" MIN
MIN. CORRIDOR WIDTH MBC T.1005.3.2 & T. 1020.2	44" MIN OR 0.2 (OR 0.15" W/FIRE SUPPRESSION) PER OCCUPANT, WHICHEVER IS GREATER	60" MIN
MAX DEAD END CORRIDOR MBC SEC. 1020.4	50' W/FIRE SUPPRESSION	SEE LIFE SAFETY PLAN

FIRE SEPARATION

BUSINESS CORRIDOR WALL		WALL	0 HOUR FIRE RATING WITH FIRE SUPPRESSION SYSTEM	MBC T. 1020.1
EXTERIOR WALL BASED ON FIRE SEPARATION DISTANCE	X<5'	WALL	1 HOUR FIRE RATING	MBC T. 602
INCIDENTAL USE AREA				
	MECHANICAL ROOM	WALL	1 HOUR FIRE RATING OR PROVIDE AUTOMATIC FIRE EXTINGUISHING SYSTEM & CONSTRUCTION CAPABLE OF RESISTING THE PASSAGE OF SMOKE.	MBC T. 509
INTERIOR EXIST STAIRWAY BARRIER		FIRE DOOR	1 1/2 HOUR FIRE RAITING	MBC T. 716.5
		WALL	2 HOUR FIRE RATING	MBC T. 707.3.10
HORIZONTAL ASSEMBLIES				
	SEPARATING DWELLING UNITS	FLOOR	1 HOUR FIRE RATING	MBC 711.2.4.3
	SEPARATING OCCUPANCIES	FLOOR	1 HOUR FIRE RATING WITH FIRE SUPPRESSION SYSTEM	MBC T.508.4
PARTITIONS				
	SEPARATING DWELLING UNITS	WALL	1 HOUR FIRE RATING	MBC 708
	SEPARATING TENANT SPACES	WALL	1 HOUR FIRE RATING	MBC 708
	SEPARATING ELEVATOR LOBBY	WALL	BUILDING IS PROTECTED BY AUTOMATIC FIRE SUPPRESSION SYSTEM: NOT REQUIRED	MBC 713.14.1
RESIDENTIAL CORRIDOR WALL		WALL	0.5 (30 MIN.) FIRE RATING WITH FIRE SUPPRESSION SYSTEM - REQUIRED 1 HOUR FIRE RATING PROVIDED	MBC T. 1020.1
SHAFT ENCLOSURE	4 STORIES OR MORE	WALL	2 HOUR FIRE RATING	MBC 713.4
		FIRE DOOR	1 1/2 HOUR FIRE RATING	MBC T.716.5

FIRE RESISTANCE CONSTRUCTION DETAILS

STEEL COLUMN	1 HOUR FIRE RATED	UL DESIGN No. X528, GA FILE No. CM 1001	STEEL STUDS, GYPSUM WALL BOARD
FLOOR/CEILING	1 HOUR FIRE RATED	UL DESIGN No. L521, GA FILE No FC 5518	WOOD TRUSSES, WOOD STRUCTURAL PANELS, GYPSUM FLOOR TOPPING, RESILIENT CHANNELS, GLASS OR MINERAL FIBER BATT OR BLANKET INSULATION OR LOOSE FILL CELLULOSE INSULATION, CEILING DAMPER, GYPSUM WALLBOARD
FLOOR/CELING	1 HOUR FIRE RATED	UL DESIGN No. L569, GA FILE No. FC 5109	WOOD JOISTS, WOOD STRUCTURAL PANELS, GYPSUM FLOOR TOPPING, RESILIENT CHANNELS, GLASS OR MINERAL FIBER BATT OR LOOSE FILL INSULATION, CEILING DAMPER, GYPSUM WALLBOARD
ROOF/CEILING	1 HOUR FIRE RATED	UL DESIGN NO P522	WOOD ROOF TRUSSES, WOOD STRUCTURAL PANELS, RESILIENT CHANNELS, GLASS OR MINERAL FIBER BATT, BLANKET INSULATION OR LOOSE FILL CELLULOSE INSULATION AND GYPSUM WALLBOARD
ROOF/CEILING	1 HOUR FIRE RATED	GYPSUM ASSOCIATION FILE No. RC 2601	2 LAYERS OF 5/8" TYPE "X" GYPSUM BOARD ATTACHED TO UNDERSIDE OF 2x10 MIN. ROOF OR CEILING JOISTS
WALL	2 HOUR FIRE RATED	UL DESIGN No. U301, GA FILE No. WP 4230	WOOD STUDS, RESILIENT CHANNELS ONE SIDE (OPTIONAL), 2 LAYERS 5/8" TYPE X GYPSUM WALLBOARD EACH SIDE, MINERAL OR GLASS FIBER INSULATION
WALL	1 HOUR FIRE RATED	UL DESIGN No. U313, GA FILE No. WP 3110	RESILIENT CHANNELS 24" O.C. ATTACHED AT RIGHT ANGLES TO ONE SIDE OF 2X4 WOOD STUDS 16" O.C. BASE LAYER $\frac{5}{8}$" TYPE X GYPSUM WALLBOARD APPLIED TO CHANNELS. FACE LAYER $\frac{5}{8}$" TYPE X GYPSUM WALLBOARD APPLIED AT RIGHT ANGLES TO CHANNELS OPPOSITE SIDE: BASE LAYER $\frac{5}{8}$" TYPE X GYPSUM WALLBOARD APPLIED TO STUDS. SECOND LAYER $\frac{1}{2}$" TYPE X GYPSUM WALLBOARD APPLIED TO STUDS. FACE LAYER $\frac{1}{4}$" REGULAR GYPSUM WALLBOARD APPLIED TO STUDS.
WALL	1 HOUR FIRE RATED	GA FILE No. WP 3660	CONCRETE BLOCK (CMU)
WALL	2 HOUR FIRE RATED	UL DESIGN No. U905	CONCRETE BLOCK (CMU)

NFPA CODE

NFPA CONSTRUCTION CLASS: IV B
NFPA CODE: LIFE SAFETY FEATURES

1. MEANS OF EGRESS: 2 MEANS OF EGRESS ARE PROVIDED
2. EMERGENCY POWER REQUIREMENTS: ALL EXIT SIGNAGE, EMERGENCY LIGHTS, FIRE ALARM SYSTEMS AND SMOKE ALARM SYSTEMS HAVE A EMERGENCY POWER SOURCE (BATTERY BACK UP).
3. FIRE DEPARTMENT ACCESS: THIS BUILDING HAS 2 SIDES DIRECTLY ACCESSIBLE TO THE FIRE DEPARTMENT APPARATUS.
4. FIRE EXTINGUISHERS: VENDOR TO PROVIDE DEFERRED PLANS WITH LOCATIONS AND TYPES.
5. SELF-LUMINOUS EXIT SIGNS: THE EXIT LIGHTS ARE APPROVED DEVICES WITH THE ELECTROLUMINESCENT SIGNS.

IBC CODE: LIFE SAFETY FEATURES

1. SMOKE CONTROL SYSTEMS ARE PROVIDED. THE ALARM IS TO BE MONITORED BY AN OFF SITE COMPANY.
2. FIRE DAMPERS: SEE THE MECHANICAL PLANS FOR FIRE DAMPER LOCATIONS.

IMPORTANT NOTE: CONTRACTOR TO PROVIDE A SIGN IN EACH AREA TO INDICATE MAXIMUM OCCUPANCY.

SIGNAGE TO READ:
COMMUNITY ROOM (1ST FLOOR): OCCUPANCY NOT TO EXCEED 94 PERSONS
COMMUNITY ROOM (2ND & 3RD FLOOR): OCCUPANCY NOT TO EXCEED 27 PERSONS
COMMUNITY ROOM (4TH FLOOR): OCCUPANCY NOT TO EXCEED 28 PERSONS
OFFICE AREA: OCCUPANCY NOT TO EXCEED 2 PERSONS
COMMERCIAL SPACE "A": OCCUPANCY NOT TO EXCEED 15 PERSONS
COMMERCIAL SPACE "B": OCCUPANCY NOT TO EXCEED 22 PERSONS

FLAME SPREAD

1. ALL INTERIOR FINISHES IN VERTICAL EXITS AND EXIT PASSAGES TO HAVE A CLASS "B" RATING.
2. ALL EXIT ACCESS CORRIDORS AND OTHER EXIT WAY TO HAVE A CLASS "C" RATING.
3. ALL ROOMS AND ENCLOSED SPACES TO HAVE A CLASS "C" RATING.

GENERAL NOTES

1. ARCHITECT HAS NO CONTROL OVER CONSTRUCTION SEQUENCE, PROCESS, PROCEDURES OR SCHEDULING. IT IS THE FULL RESPONSIBILITY OF THE BUILDER.
2. THE OWNER SHALL SELECT ALL PAINTS, TRIM, MOLDING, LIGHT FIXTURES, FLOORING, APPLIANCES, PLUMBING FIXTURES, WALLPAPER, DOORS AND WINDOWS THAT HAVE NOT BEEN CALLED OUT IN THE FINISHED SCHEDULE OR NOTES. IF THE OWNER REQUESTS SPECIFIC TYPES AND ORDER NUMBERS, THE OWNER SHALL BE RESPONSIBLE FOR THE CORRECT ORDER/STOCK NUMBER FOR SAID ITEMS UNLESS THE DESIGNER HAS BEEN AUTHORIZED TO SELECT WINDOWS AND DOORS AT THEIR DISCRETION.
3. THE BUILDER SHALL NOT HAVE ANY DEVIATIONS FROM THE APPROVED PLANS REVIEWED AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO SUCH WORK BEING PREFORMED. THE BUILDER SHALL BE RESPONSIBLE FOR ANY SUCH DEVIATIONS BEING APPROVED.
4. THESE DRAWINGS ARE INTENDED TO REPRESENT A FINISHED BUILDING WHICH IS COMPLETE AND FULL OPERATIONAL IN ALL RESPECTS.
5. ALL BUILDING TO BE CONSTRUCTED ACCORDING TO THE ACCEPTED STANDARDS OF THE BUILDING INDUSTRY.
6. THE BUILDING IS TO BE FINISHED IN APPEARANCE OF THE DEGREE ACCEPTABLE TO BOTH THE ARCHITECT AND OWNER (FINAL JUDGEMENT AS THE ACCEPTABILITY OF THE COMPLETED WORK SHALL REST WITH THE OWNER).
7. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SEE THAT THE CONSTRUCTION MEET ALL APPLICABLE CODES AND REGULATIONS THAT HAVE BEEN ADOPTED BY THE LOCAL MUNICIPALITY, THE STATE, AND/OR COVERING AGENCIES HAVING JURISDICTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS AT THE SITE AND FOR REPORTING ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS PRIOR TO PROCEEDING WITH THE WORK. PROCEEDING SHALL BE CONSTRUED AS MEANING ACCEPTANCE OF CONDITIONS (ON THE CONTRACTOR'S PART), AND NO ADDITIONAL MONEY SHALL BE APPROVED BY THE ARCHITECT FOR PAYMENT TO THE CONTRACTOR.
9. ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES. ALL WORK SHALL BE PREFORMED IN A WORKMANLIKE MANNER TO MEET STANDARD CONSTRUCTION METHODS.
10. ALL CONTRACTORS SHALL VISIT THE SITE, INSPECT ALL EXISTING CONDITIONS AND REVIEW DRAWINGS FOR ADDITIONAL WORK TO BE PERFORMED.
11. EACH CONTRACTOR SHALL COORDINATE THEIR WORK WITH THE WORK OF OTHER TRADES AND WITH THE OWNER.
12. EACH CONTRACTOR SHALL REMOVE AND SIPOSE OF HIS MATERIAL, DEBRIS AND EQUIPMENT.

FIRE ALARM CONTRACTOR

FIRE ALARM CONTRACTOR TO PROVIDE DEFERRED SUBMITTAL DRAWINGS OF THE FOLLOWING:

1. SMOKE DETECTOR LAYOUT FOR ELEVATOR MACHINE ROOM, HOISTWAY AND LOBBY.
2. HEAT DETECTOR LAYOUT FOR ELEVATOR MACHINE ROOM, HOISTWAY.
3. FIRE MATRIX PERTAINING TO ELEVATOR SMOKE/HEAT DETECTOR TO FIRE PANEL REPORTING.
4. SPRINKLER LAYOUT FOR MACHINE ROOM AND HOISTWAY.
5. SPRINKLER SHUTOFF LOCATIONS.

FORM BASE CODE - BRUSH PARK DETROIT

MID-RISE - MIXED USE			
REQUIRED		PROVIDED	
FRONTAGE			
STREET FRONTAGE	A OR B STREET	STREET FRONTAGE	A
LOT DIMENSIONS			
LOT DIMENSIONS	50' MIN WIDE 85' MIN DEPTH	LOT DIMENSIONS	166.22' WIDE 242.96' DEPTH
LOT DEVELOPMENT			
BUILDING COVERAGE	NO MAX	BUILDING COVERAGE	29%
BUILDING SETBACKS			
PRIMARY FRONT SETBACK	0' MIN 10' MAX	PRIMARY FRONT SETBACK	3.5'
SECONDARY FRONT SETBACK	0' MIN 10' MAX	SECONDARY FRONT SETBACK	1.0'
SIDE SETBACK	0' MIN	SIDE SETBACK	0.8'
REAR SETBACK	20' MIN	REAR SETBACK	136.5'
PARKING SETBACKS			
PRIMARY FRONT SETBACK	20' MIN	PRIMARY FRONT SETBACK	69.8'
SECONDARY FRONT SETBACK	20' MIN	SECONDARY FRONT SETBACK	61'
SIDE SETBACK	0' MIN	SIDE SETBACK	5'
REAR SETBACK	0' MIN	REAR SETBACK	12'
PARKING RATIO			
RESIDENTIAL	0.5/DU MIN 1.5/DU MAX	RESIDENTIAL	0.5*53 = 27 SPACES
COMMERCIAL & OTHER	1.5/1000 SF MIN 2.0/1000 SF MAX	COMMERCIAL & OTHER	(3777/1000)*1.5 = 5 SPACES
PARKING ACCESS			
ABUTTING AN ALLEY	PREFERRED	ABUTTING AN ALLEY	COMPLIES
PRIMARY FRONTAGE	NOT ALLOWED	PRIMARY FRONTAGE	COMPLIES
SECONDARY FRONTAGE	B OR C STREETS ONLY	SECONDARY FRONTAGE	COMPLIES
VEHICULAR ENTRANCE WIDTH	24' MAX	VEHICULAR ENTRANCE WIDTH	20.3'
LOT PERIMETER DEFINITION			
SIDE & REAR FENCING OR HEDGE ROW	REQUIRED WHERE SCREENING PARKING	SIDE & REAR FENCING OR HEDGE ROW	COMPLIES
FENCE OR HEDGE HEIGHT	3' MIN 6' MAX	FENCE OR HEDGE HEIGHT	HEDGE = 6'
MASSING			
FACADE BUILD OUT	80% MIN.	FACADE BUILD OUT	97%
WIDTH	30' MIN 200' MAX	MASSING: WIDTH	160.58'
# OF STORIES	8 MAX	# OF STORIES	4 STORIES
GROUND STORY HEIGHT	14' MIN	GROUND STORY HEIGHT	14'-2"
UPPER STORY HEIGHT	10' MIN	UPPER STORY HEIGHT	11'-0"
BUILDING HEIGHT	90' MAX	BUILDING HEIGHT	52'-0"
FENESTRATION			
GROUND STORY FENESTRATION: COMMERCIAL	70% MIN	GROUND STORY FENESTRATION: COMMERCIAL	74%
UPPER STORY FENESTRATION	20% MIN 70% MAX	UPPER STORY FENESTRATION	21%
BLANK WALL	20' MAX	BLANK WALL	APPROVED
USE & OCCUPANCY			
OUTDOOR AMENITY SPACE	35 SF PER UNIT. NO SPACE LESS THAN 4'	OUTDOOR AMENITY SPACE	7,939± SF OUTDOOR SPACE

#	REVISION	DATE	BY	CITY PERMIT DRAWINGS
		2/16/22	M.L.	DESCRIPTION

CLIENT: MHT HOUSING, INC.

BRUSH PARK APARTMENTS
269 WINDER STREET, DETROIT MI
SITE AREA: 39,501± SF OR 0.91± ACRES

BUILDING CODES & NOTES

PROFESSIONAL ARCHITECTS
PROFESSIONAL ENGINEERS
PROFESSIONAL SURVEYORS
22556 GRATIOT AVENUE
EASTPOINTE, MI 48021
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DRAWN BY:	SCALE:	DATE:	PROJECT NO:
JFG	NO SCALE	12/09/2021	19-03104

SHEET NO: T.2

2020 ENTERPRISE GREEN COMMUNITIES CRITERIA

THIS PROJECT MOST FOLLOW THE FOLLOWING CRITERIA. THE ARCHITECT, OWNER, ENGINEERS AND CONTRACTORS ARE ALL RESPONSIBLE FOR FOLLOWING THE CRITERIA BELOW. REFER TO 2020 ENTERPRISE GREEN COMMUNITIES CRITERIA FOUND ONLINE FOR FURTHER DETAIL.

1. INTEGRATIVE DESIGN

1.1 INTEGRATIVE DESIGN: PROJECT PRIORITIES SURVEY

Complete the Project Priorities Survey, which can be found in the Appendix. Once completed, the Project Priorities Survey will serve as a simple guide to understand the context, population, and environmental considerations that your development must address in order to facilitate a well-informed integrative design process.

1.2 INTEGRATIVE DESIGN: CHARRETTES AND COORIDNATION MEETINGS

Develop an integrative design process that works best for your project team and intentions. At minimum, project teams should develop:

- An integrative process that takes the research and learnings of the Project Priorities Survey (Criterion 1.1) and moves them into action. The process should prioritize collaborative meeting formats, such as:
  - Green charrette(s)
  - Preconstruction coordination planning meeting(s)
  - Construction coordination meeting(s)
  - Resident engagement/community meetings
- These collaborative meeting formats should be used, in some combination, to:
  - Productively and regularly engage residents and/or community members
  - Include lessons learned from existing projects
  - Identify green and resilience objectives for the project
  - Complete an Enterprise Green Communities Criteria checklist with the entire design and development team
  - Coordinate pre-development research and work
  - Confirm that the documents (plans, specifications, scope(s) of work) reflect the completed Enterprise Green Communities Criteria checklist, as the project transitions from Design Development to Construction Document phase
  - Confirm that green objectives for the project are incorporated into design
  - Throughout your integrative process, as decisions about sustainability strategies are being considered, place priority on multi-benefit strategies that achieve multiple green, health and well-being, environmental resilience, and community/social resilience goals concurrently.
  - As research and decisions are being made during pre-development, assign responsibility within your design and development team(s) to create accountability. When certain professionals and trades — or better still, individuals are assigned responsibility for tasks, those tasks have a higher likelihood of being completed.

1.3 INTEGRATIVE DESIGN: DOCUMENTATION

In the construction/contract documents for the project, including but not limited to drawing set and scope(s) of work, include all the information needed to properly implement the measures intended to meet Enterprise Green Communities Criteria and other mission-critical design features. Include Enterprise Green Communities Criteria information in your construction specifications, in Division 1 Section 01 81 13 Sustainable Design Requirements, as necessary for the general contractor to understand the requirements and how they will be verified. Ensure, and indicate, that the drawings and specifications have been generated to be compliant and meet the certification goals.

Document any and all Green Communities criteria that require the general contractor, subcontractors, or consultants to comply with a particular construction phase process (e.g., Criteria 6.10 Construction Waste Management) in other construction specifications, as appropriate.

As design progresses, evaluate how the development of the documents is addressing the goals and priorities outlined earlier in the integrative design processes, specifically in the Project Priorities Survey (Criteria 1.1).

1.4 INTEGRATIVE DESIGN: CONSTRUCTION MANAGEMENT

Create, implement, and document a contractor, subcontractor, and consultant education plan to ensure that those working on-site fully understand their role in achieving the project objectives. Information to include in the education plan must include (at a minimum):

- A summary of the Project Priorities Survey (Criterion 1.1)
- Sustainability goals/objectives
- Anticipated roles of each party in regard to the performance expected of the building (energy and water usage) and site

Attach and reference this training plan to construction specifications in Division 1 Section 01 81 13 Sustainable Design Requirements.

Training with contractors, subcontractors, and consultants should focus specifically on what their responsibilities are and how that work will be evaluated by the project team.

- Include a status update regarding progress towards satisfying the Enterprise Green Communities Criteria as a meeting agenda item during your construction kickoff meeting and as a regular standing agenda item for weekly construction meetings.
- Include timeline estimates for performance testing and verification schedules in the overall construction schedule (and within Division 1 Section 01 81 13 Sustainable Design Requirements) to ensure that advanced coordination can be made between installation contractors and testing and verification contractors. Estimates may be used until the final testing and verification schedules are finalized.
- As the project moves from design into construction, review requirements for Criterion 8.1, Criterion 8.2 and Criterion 8.3, and begin populating those documents with relevant information (e.g., installation documents, maintenance manuals).

2. LOCATION + NEIGHBORHOOD FABRIC

2.1 SENSITIVE SITE PROTECTION

1. **Protect floodplain functions** (e.g., storage, habitat, water quality) by limiting new development within the 100-year floodplain of all types of watercourses.
2. **Conserve and protect aquatic ecosystems**, including wetlands and deepwater habitats that provide critical ecosystem functions for fish, other wildlife, and people.
3. **Protect ecosystem function** by avoiding the development of areas that contain habitat for plant and animal species identified as threatened or endangered.
4. **Conserve the most productive agricultural soils** by protecting prime farmland, unique farmland, and farmland of statewide or local importance.

2.2 CONNECTIONS TO EXISTING DEVELOPMENT AND INFRASTRUCTURE

- Locate the project on a site that is within or contiguous to existing development (at least 25% of the site perimeter borders currently developed land) and that has access to existing road, water, and sewers infrastructure.
- Connect the project to the existing pedestrian network by creating new roads with sidewalks, providing sidewalks on existing streets, or providing all-weather pathways to link the project to transit stops, public or civic spaces, open spaces, and adjacent development.
- For sites over 5 acres, provide connections to the adjacent street network at least every 800 linear feet along site perimeter.
- Tie all planned bike paths/lanes on your site to existing bike paths or lanes that intersect your site in ways that are safe, accessible, and clearly identified.

2.3 COMPACT DEVELOPMENT

At a minimum, build to the residential density (dwelling units / acre) of the census block group where the project is located. Find the density of your census block group by typing your project address into the Center for Neighborhood Technology "Residential Density of a Location" calculator found at http://apps.cnt.org/residential-density.

2.4 INCREASED COMPACT DEVELOPMENT

Exceed the residential density (dwelling units/acre) of the census block group in which your project is located. Find the density of your census block group by typing your project address into the Center for Neighborhood Technology "Residential Density of a Location" calculator found at http://apps.cnt.org/residential-density/.

2.5 PROXIMITY TO SERVICES AND COMMUNITY RESOURCES

Demonstrate that your project is within a 0.5-mile walk distance of at least four, or a 1-mile walk distance of at least seven, resources identified below. (SEE 2020 CRITERIA PDF)

2.7 PRESERVATION OF AND ACCESS TO OPEN SPACE

Locate the project within a 0.25-mile walk distance of dedicated, accessible public open space that is a minimum of 0.75 acres. A minimum of 80% of the public open space must be non-paved.

2.8 ACCESS TO TRANSIT

Locate projects within a 0.5-mile walk distance of public transit services (bus, rail, and/or ferry) that combined constitute at least 45 or more transit rides per weekday and include some type of weekend service.

2.14 LOCAL ECONOMIC DEVELOPMENT AND COMMUNITY WEALTH CREATION

Demonstrate that a local preference for construction employment and subcontractor hiring was part of your bidding process.

Notes:

- "Local preference" is defined as preference for any individual who resides within 25 miles of the project site.
- Indian Preference can be solely that, without a miles-to-project requirement.

2.15B ACCESS TO BORADBAND: CONNECTIVITY

Ensure that all units and common amenity spaces in the property have broadband Internet access with at least a speed of 25 megabits per second for downloading and 3 megabits per second for uploading (25/3).

3. SITE IMPROVEMENTS

3.1 ENVIRONMENTAL REMEDIATION

Determine whether there are any hazardous materials present on-site by conducting either 1) a Phase I Environmental Site Assessment, 2) a Tier II Environmental Review Assessment per HUD funding requirements, 3) an environmental site assessment approved by HUD through the Part 50 or Part 58 process, or 4) an environmental assessment approved by USDA through the 1970 process, and any additional required assessments.

If an environmental site assessment reveals any hazardous materials, mitigate these contaminants before proceeding with development.

3.2 MINIMIZATION OF DISTURBANCE DURING STAGING AND CONSTRUCTION

Implement U.S. Environmental Protection Agency (EPA)'s National Pollutant Discharge Elimination System (NPDES)'s Stormwater Discharges from Construction Activities guidance, or local requirements, whichever is more stringent.

3.3 ECOSYSTEM SERVICES/LANDSCAPE

All plantings (trees, shrubs and groundcover, including grasses) should be native or climate-appropriate (adapted) to the region. All new plantings must be appropriate to the site's soil and microclimate. Do not introduce any invasive plant species. All disturbed areas should be planted, seeded or xeriscaped.

3.4 SURFACE STORMWATER MANAGEMENT

Treat or retain, on-site, the precipitation volume from the 60th percentile precipitation event as defined by the U.S. Environmental Protection Agency in the Technical Guidance on Implementing the Stormwater Runoff Requirements for Federal Projects under Section 438 of the Energy Independence and Security Act.

3.6 EFFICIENT IRRIGATION AND WATER REUSE

INSTALL AN EFFICIENT IRRIGATION SYSTEM. THESE IRRIGATION REQUIREMENTS ARE MANDATORY ONLY FOR PERMANENT LANDSCAPING THAT REQUIRES REGULAR IRRIGATION.

AN EFFICIENT IRRIGATION SYSTEM MUST INCLUDE THE FOLLOWING:

- COMPLY WITH ALL LOCAL WATERING RESTRICTIONS.
- DESIGN IRRIGATION ZONES TO RESPOND TO WEATHER CONSIDERATIONS (TEMPERATURES, PRECIPITATION, WIND), SOLAR EXPOSURE, REFLECTED LIGHT/HEAT FROM ADJACENT BUILDING OR HARDSCAPE, SOIL TYPE, TOPOGRAPHY/SLOPE, PLANT MATERIAL.
- ESTABLISH IRRIGATION VOLUME AND FREQUENCY PER ZONE TO BE APPROPRIATE FOR THE CLIMATE, SOIL TYPE, AND PLANTS.
- SELECT EMISSION DEVICE (E.G. SPRAY SPRINKLERS), VALVES, PIPES, CONTROLLERS, AND SENSORS SUITABLE TO THE LANDSCAPE REQUIREMENTS THAT WILL FACILITATE LONG-TERM RELIABILITY AND SERVICEABILITY.
- DESIGN IRRIGATION SYSTEM TO TARGET EACH PLANTING AREA WITH NO OVERSPRAY OF IMPERVIOUS SURFACES OR ADJACENT PLANTING AREAS. PREVENT RUNOFF OF WATER FROM THE SITE.
- INSTALL TIMER/CONTROLLER THAT ACTIVATES THE VALVES FOR EACH WATERING ZONE AT THE BEST TIME OF DAY TO MINIMIZE EVAPORATIVE LOSSES WHILE MAINTAINING HEALTHY PLANTS AND OBEYING LOCAL REGULATIONS AND WATER-USE GUIDANCE.
- INSTALL SOIL MOISTURE SENSOR CONTROLLER PER VEGETATION ZONE (BASE ON IRRIGATION DEMAND) OR RAIN DELAY CONTROLLER.

4. WATER

4.1 WATER-CONSERVING FIXTURES

Reduce total indoor water consumption by at least 20% compared to the baseline indoor water consumption chart below. Any new toilet, showerhead, and/or lav faucet that is installed in the project must be WaterSense® certified, in addition to the project's total indoor water consumption meeting the minimum 20% improvement threshold. (SEE 2020 CRITERIA PDF FOR MORE INFO)

4.2 ADVANCED WATER CONSERVING

Reduce total indoor water consumption by at least 30% compared to the baseline indoor water consumption chart below. Any new toilet, showerhead, and/or lav faucet that is installed in the project must be WaterSense certified, in addition to the project's total indoor water consumption meeting the minimum 30% improvement threshold. (SEE 2020 CRITERIA PDF FOR MORE INFO)

4.3 WATER QUALITY

Develop a Legionella water management program within Criterion 8.1. Include keeping hot water above 140°F until the point of use and strategies to ensure that water does not stagnate in unused pipe sections or vacation locations.

5. OPERATING ENERGY

5.1 BUILDING PERFORMANCE STANDARD

Certify all buildings with residential units in the project through the ENERGY STAR Residential New Construction Program using ENERGY STAR Multifamily New Construction (MFNC), ENERGY STAR Manufactured Homes and/or ENERGY STAR Certified Homes as relevant. The ERI, prescriptive, and ASHRAE paths included in these programs are all acceptable. Use the appropriate specification version of ENERGY STAR given the project construction typology, permit date, and location. AND

Provide projected operating energy use intensity (EUI) for the project in kBTU/ft2/yr and kBTU/bedroom/yr, as well as projected operating building emissions intensity for the project in tCO2e/ft2/yr and tCO2e/bedroom/yr. Include results for these figures with and without the project's production of on-site energy generation. Include the source of these figures for your project (ERI model, ASHRAE model, other). If a more precise figure is not available, use the national database average source energy conversion factors from ASHRAE Standard 105 for converting energy use intensity to emissions intensity. If following the ERI pathway, provide the average, best, and worst per dwelling unit statistics for the project.

5.6 SIZING OF HEATING AND COOLING EQUIPMENT

Size and select heating and cooling equipment in accordance with the Air Conditioning Contractors of America (ACCA) Manuals J and S or in accordance with the most recent ASHRAE Handbook of Fundamentals available at time of specification.

5.7 ENERGY STAR APPLIANCES

If providing appliances, install ENERGY STAR clothes washers, dishwashers, and refrigerators. If appliances will not be installed or replaced at this time, specify that, at the time of installation or replacement, ENERGY STAR models must be used via Criterion 8.1 and Criterion 8.4.

5.8 LIGHTING

For all permanently installed lighting fixtures, interior and exterior, install high-efficiency lighting that is capable of meeting recommended light levels (weighted average footcandle) in the Illuminating Engineering Society Lighting Handbook, 10th edition.

Also, comply with all of the below:

- Recessed light fixtures installed as part of a building or dwelling unit air barrier shall be Insulation Contact Air-Tight (ICAT); exempt if installed entirely inside of or outside of an air barrier.
- Lighting inside the building, but not in a dwelling unit, shall be controlled by occupancy sensors or automatic bi-level lighting controls; exempt if 24-hour consistent light levels are required by code.
- Lighting power density in dwelling units, measured in watts/square foot, is 1.1 or less.
- All exterior lighting shall meet the following specifications and have either motion sensor controls, integrative PV cells, photosensors, or astronomic time-clock operation to limit lighting when there is adequate daylight. Note, Dark Sky–approved "Friendly Fixture" certification automatically meets the following specifications.
  - Luminaires shall be fully shielded emitting no light above 90 degrees (with the exclusion of incidental light reflecting from fixture housing, mounts, and pole). The luminaire's mounting hardware shall not permit mounting in any configuration other than those maintaining full shielding. Non-residential luminaires shall have an uplight rating of U0.
  - Fixture shall have no sag or drop lenses, side light panels or uplight panels.
  - Fixture shall employ warm-toned (3000K and lower) white light sources or may employ amber light sources or filtered LED light sources.

6. MATERIALS

6.4 HEALTHIER MATERIAL SELECTION

Use products that comply with the specifications below.

- All interior paints, coatings, primers and wallpaper
  - VOC content less than or equal to the thresholds provided by the most recent version of SCAQMD 1113 available at time of product specification for all interior paints, coatings and primers.
  - VOC emissions verified as compliant with CDPH Standard Method for all wall finish paints.
  - All wallpaper, phthalate free
- All interior adhesives and sealants
  - VOC content less than or equal to the thresholds provided by the most recent version of SCAQMD 1168 available at time of product specification for all interior adhesives and sealants.
- Flooring
  - All flooring products (whether carpet or hard surface) must comply with CDPH emission requirements.
  - No flexible PVC with phthalates may be installed, whether the phthalates were intentionally added or added via recycled content.
  - No carpet in the project may be installed in building entryways, laundry rooms, bathrooms, kitchens/kitchenettes, or utility rooms.
  - Fluid applied finish floors may only be installed in non-occupied spaces, such as mechanical rooms.
- Insulation
  - If fiberglass or mineral wool batts are used, these must be formaldehyde-free.
- Composite wood
  - Install a combination of the following to cover at least 90% of the roofing area:
    - For roofs with slopes less than or equal to 2:12, roofing materials that have an SRI of at least 0.65 (initial) or at least 0.50 (3-year aged)

6.6 BATH, KITCHEN, LAUNDRY SURFACES

Use materials that have durable, cleanable surfaces throughout bathrooms, kitchens, and laundry rooms. Materials installed in these rooms should not be prone to deterioration due to moisture intrusion or encourage the growth of mold.

Use moisture-resistant backing materials such as cement board, fiber cement board, or equivalent per ASTM #D 6329 or ASTM #D 3273 behind tub/shower enclosures. Projects using a one-piece fiberglass tub/shower enclosure are exempt from this requirement.

6.8 MANAGING MOISTURE: FOUNDATIONS

Beneath Concrete Slabs

- Install a capillary break as follows: 4-inch layer of ½-inch diameter or greater clean aggregate.
- OR
- Install a 4-inch uniform layer of sand, overlain with a layer or strips of geotextile drainage matting installed according to the manufacturer's instructions.
- Immediately above the capillary break, install insulation as necessary, and, above that, at least 6-mil polyethylene sheeting overlapped at least 6 inches at the seams to serve as a vapor retarder in direct contact with the slab above.

6.9 MANAGING MOISTURE: ROOFING AND WALL SYSTEMS

Provide water drainage away from walls, windows, and roofs by implementing the following techniques:

Water Management: Wall Systems

- Provide a continuous housewrap /weather-resistive barrier with sheets lapped shingle-style to prevent bulk water that penetrates the finished exterior cladding system from entering the wall assembly or being introduced through window or door openings or through other penetrations. Alternatively, install a fluid applied weather-resistive barrier in accordance with manufacturer's instructions. Taped systems such as Zip, Force Field, and others are acceptable.
- Flashings at roof /wall intersections and wall penetrations (i.e., plumbing, electrical, vents, HVAC refrigerant lines and the like in addition to windows and doors) must be integrated with the weatherresistive barrier and drainage plane prior to any exterior finish being installed to prevent bulk water from entering the exterior wall assembly. This includes kick-out flashing where a sloped roof eave terminates in a wall with siding, stucco, or other applied finish apart from brick veneer.
- Flashing installed at bottom of exterior walls with weep holes included for masonry veneer and weep screed for stucco cladding systems or equivalent drainage system.

Water Management: Roof Systems

- Install drip edge at entire perimeter of roof.
- At wall /roof intersections, maintain ≥2" clearance (or others recommended by manufacturer) between wall cladding and roofing materials, install flashing along the intersection, and use kick-out flashing as noted above.

6.10 CONSTRUCTION WASTE MANAGEMENT

Develop and implement a waste management plan that reduces non-hazardous construction and demolition waste through recycling, salvaging, or diversion strategies; maintain documentation on diversion rate for each selected strategy.

- Recycle all cardboard
- Develop and implement a comprehensive efficient framing plan that minimizes all waste by design

7. HEALTHY LIVING ENVIRONMENT

7.3 COMBUSTION EQUIPMENT

Specify power-vented or direct-vent equipment when installing any new combustion appliance for space or water heating that will be located within the conditioned space.

If there are any combustion appliances in the conditioned space, install one hard-wired carbon monoxide (CO) alarm with battery backup function for each sleeping zone, placed per National Fire Protection Association (NFPA) 72.

7.5 INTEGRATED PEST MANAGEMENT

Design for easy inspection of all pest-prone areas (interior and exterior), and engineer slabs and foundations to minimize pest entry.

Seal all wall, floor and joint penetrations with low-VOC caulking or other appropriate nontoxic sealing methods (window screens, door sweeps, escutcheon plates, elastomeric sealants) to prevent pest entry. Use rodent- and corrosion-proof screens (e.g., copper or stainless steel mesh or rigid metal cloth) for openings greater than ¼-inch. Also pay close attention to sealing off entry points under kitchen and bathroom sinks.

7.6 SMOKE-FREE POLICY

Implement and enforce a smoke-free policy in all common areas and within a 25-foot perimeter around the exterior of all residential projects, or up to the property line if the parcel does not allow for a 25-foot distance. Lease language must prohibit smoking in these locations and provide a graduated enforcement policy. Smoking should be considered a minor lease violation. The smoke-free policy applies to all owners, tenants, guests and service people. The use of e-cigarettes is prohibited wherever smoking is prohibited.

Include the smoke-free policy, harms of smoking, and how the policy will be enforced, in readily available materials for residents, staff, and visitors.

Expand the policy above to include all indoor spaces in the property.

7.7 VENILATION

For each dwelling unit, in full accordance with ASHRAE 62.2-2010, install:

- A local mechanical exhaust system in each bathroom
- A local mechanical exhaust system in each kitchen
- A whole-house mechanical ventilation system

Verify and ensure that these dwelling unit ventilation system flow rates are either within +/- 15 CFM or+/- 15% of design value.

Note:

1. Local exhaust airflow may be credited toward the whole-house ventilation airflow requirement when local exhaust fans are used to provide whole-house mechanical ventilation.
2. Projects that achieve certification with Passive House Institute United States (PHIUS+) are permitted to follow the Passive House ventilation requirements as an alternative to meeting the Criterion 7.7 ventilation requirements as they relate to kitchens, so long as there are no combustion fueled appliances within the dwelling unit and at minimum there is a continuous kitchen exhaust rate of 25 CFM per 2009 IRC Table M1507.3.

Also, for each multifamily building of four stories or more, in full accordance with ASHRAE 62.1-2010, install a mechanical ventilation system for all hallways and common spaces

- All systems and associated ductwork must be installed per manufacturer's recommendations.

7.10 NOISE REDUCTION

Manage internally generated noise and exterior noise intrusion within dwelling units as follows:

Conduct noise assessment and provide a noise abatement plan specific to the site and covering general noise mitigation techniques in accordance with 24 CFR 51B.

7.11 ACTIVE DESIGN: PROMOTING PHYSICAL ACTIVITY

Provide an on-site dedicated recreation space with exercise or play opportunities for adults and/or children that is open and accessible to all residents. The space must be at least 400 square feet, include adult exercise and/or children's play equipment for a minimum of 5% of building occupants, and ensure minimum operational hours for use of 10 hours/day at least 3 days/week. Complementary resident engagement strategies may promote outdoor play, exercise, gardening, or other physical activity.

7.12 BEYOND ADA: UNIVERSAL DESIGN

For any strategy impacting dwelling units, include that strategy in at least 75% of the project's dwelling units.

Promote safety and create spaces that allow for human error.

- Install slip-resistant flooring in the common spaces, frequently used pathways, units, and entryways (wheelchair and walker, dementia, age-in-place).
- Install all towel bars to support the same loads that grab bars are required to by code, as they may be used accidentally as grab bars by their placement in or near tubs and showers and adjacent water closets (vision impaired, dementia, age-in-place).
- Install thermostatic or anti-scald control faucets (hearing impaired, dementia, vision impaired).

8. OPERATIONS MAINTENANCE + RESIDENT ENGAGEMENT

8.1 BUILDING OPERATIONS & MAINTEANCE MANUAL & PLAN

Develop a manual with thorough building O&M guidance and a complementary accountability plan. The manual and plan should be developed over the course of the project design, development, and construction stages so that knowledge can be transferred from this stage of the project life cycle to the operations and asset management stage. At minimum, the manual and plan shall address the following topics:

- O&M guidance for all mechanical and electrical equipment and appliances (building level and dwelling unit level)
- HVAC specifications, and O&M schedules
- Refrigerant management
- Operations, maintenance, and replacement guidance for any other specialized systems (e.g., solar photovoltaics, solar water heating, ground source heating, cogen) within the project along with evidence of training completed for these systems
- Location of mechanical, electrical, gas, and water-system turnoffs
- Lighting equipment specifications and replacement guidance
- Landscaping and hardscaping specifications and maintenance plan, including any specific instructions for community gardens or growing spaces
- Green cleaning product specifications and cleaning schedules
- Integrated pest management protocol
- Maintenance of active recreation and play spaces (e.g., playgrounds, ground markings, exercise equipment)
- If the project is a multifamily building with either a cooling tower or a centralized hot water system, or is more than 10 stories in height, also include the Legionella water management plan developed via Criterion 4.3.
- Protocol for reviewing and responding to utility data consumption information
- An occupancy turnover plan that describes the dwelling unit turnover protocol, including all materials that are frequently replaced at turnover

8.2 EMERGENCY MANAGEMENT MANUAL

Provide a manual on emergency operations targeted toward O&M staff and other building-level personnel. The manual should address responses to various types of emergencies, leading with those that have the greatest probability of negatively affecting the project. The manual should provide guidance as to how to sustain the delivery of adequate housing throughout an emergency and cover a range of topics including but not limited to:

- communication plans for staff and residents to use in the event of an emergency
- useful contact information for public utility and other service providers
- infrastructure and building "shutdown" procedures
- plan for regular testing of backup energy systems, if these exist

Emergency Management Manuals should be responsive to information generated from successful completion of Category 1 and, if selected, Criterion 4.7, Criterion 5.8, Criterion 5.9, and Criterion 5.10.

This information should be readily available to all building residents, staff, and visitors.

8.3 RESIDENT MANUAL

Provide a guide for homeowners and renters that explains the intent, benefits, use, and maintenance of their home's green features and practices. The Resident Manual should encourage green and healthy activities.

A range of topics should be discussed. Those topics shall include, but are not limited to:

- a description of the Green Communities criteria included in the project
- a routine maintenance plan, outlining responsibilities of residents and maintenance staff with contact information for residents to use for maintenance issues, as applicable
- HVAC operation
- green cleaning guidelines
- smoke-free policy
- location of electrical, mechanical, gas, and water turnoffs
- recycling and waste management
- integrated pest management protocols
- interior Active Design features
- information on community connectivity amenities, including transportation, car-share, bike-share, and other accessibility features
- community garden and other fresh food resources
- energy and water consumption information
- if applicable, procedures to contact building management in the case of a building-related problem
- any other systems that are part of the home

8.4 WALK-THROUGHS AND ORIENTATION TO PROPERTY OPERATION

Provide a comprehensive walk-through and orientation for all residents and for all property manager(s) and buildings operations staff. Orient new residents to the property's green features before move-in, or within 90 days of move-in. Orient all property managers and building operations staff within 90 days of initial occupancy on building maintenance and unit turnover procedures. For staff joining after the initial orientation, provide walk-through and orientation to green features within their first 90 days. For all orientations and walk-throughs, share the list of Green Communities criteria that were implemented in the project and use the appropriate manuals (see Criteria 8.1–8.3) as the base of the curriculum. Review the project's green features, O&M procedures, and emergency protocols. For home-ownership properties, walk-throughs and orientations should take place at sale.

8.5 ENERGY AND WATER DATA COLLECTION AND MONITORING

Collect and report project energy and water performance data.

For rental properties, report all consumption and cost data for all energy and water utilities for the residential components of the project. In alignment with HUD's Multifamily Benchmarking Toolkit, one of four methods may be used for compliance:

Method A: Properties with Only Owner-Paid Utility Bills

The property owner pays for 100% of the property's utility bills and uses these bills as the source for tracking whole-property utility data.

Method B: Aggregated, Whole-Property Utility Data

Regardless of the split of owner-paid and tenant-paid utility bills across the property, the property owner requests aggregated whole-property utility data from the utility provider(s).

Method C: Collection of 100% of Tenant-Paid Utility Data

The property owner collects 100% of the individual tenant-paid utility data from the utility provider(s) or tenants and tracks these along with owner-paid accounts..

Method D: Collection of a Sample of Tenant-Paid Utility Data

The property owner collects a sample of individual tenant-paid utility data from the utility provider(s) or tenants, which is then used to produce an estimate of whole-property utility data along with the owner-paid accounts. Project teams may either use the Better Buildings Challenge sampling protocol, found in Appendix C of the Better Buildings Challenge Data Manual, or HUD's Assisted Housing Utility Allowance Calculations sampling protocol, found in Part VI of HUD Notice H-2015-04, to extrapolate the whole building data from the sample set. Note, when sampled tenant-paid utility data is used to estimate whole-property data, the "Estimation" box must be checked when submitting the data in ENERGY STAR Portfolio Manager.

Regardless of the method chosen above, this data must be uploaded and tracked in an online utility benchmarking platform annually, for at least 5 years from time of construction completion, and view access shall be granted to Enterprise for that time period.

For owner-occupied units, residents shall collect and monitor their energy and water performance data in a manner that allows for easy access and review, and that provides the ability to influence home operations for at least 5 years from time of first occupancy. Also allow Enterprise access to this data.

IMPORTANT NOTE: SEE ARCHITECTURAL SHEET A.11.1 FOR ENTERPRISE GREEN COMMUNITIES DETAILS

CLIENT: MHT HOUSING, INC.

BRUSH PARK APARTMENTS
269 WINDER STREET, DETROIT MI
SITE AREA: 39,501± SF OR 0.91± ACRES

#	REVISION	DATE	BY	DESCRIPTION
1		2/16/22	M.L.	CITY PERMIT DRAWINGS

ENTERPRISE GREEN COMMUNITIES NOTES

PROFESSIONAL ARCHITECTS
PROFESSIONAL ENGINEERS
PROFESSIONAL SURVEYORS
22556 GRATIOT AVENUE
EASTPOINTE, MI 48021
(586)772-2222 PHONE
(586)772-4048 FAX
KEM-TEC & ASSOCIATES

72 HOURS (3 WORKING DAYS)
BEFORE YOU DIG CALL MISS DIG
800-482-7171 (TOLL FREE)

STATE OF MICHIGAN
JEFFREY F. GRAHAM
ARCHITECT
No. 35132
LICENSED ARCHITECT

DRAWN BY: M.L.
SCALE: NO SCALE
DATE: 12/09/2021
PROJECT NO: 19-03104

SHEET NO: T.3

Legal Description:

LAND SITUATED IN THE CITY OF DETROIT, COUNTY OF WAYNE, STATE OF MICHIGAN, DESCRIBED AS:

2515 BRUSH - TAX NUMBER: 01000598-604
LOT 1, EXCEPT THE WEST 9 FEET, BLOCK 2, BRUSH SUBDIVISION OF THAT PART OF THE BRUSH FARM LYING EAST OF AND ADJOINING PARK LOTS 6, 7, 8, AND 9" AS RECORDED IN LIBER 1, PAGE 118 OF PLATS, WAYNE COUNTY RECORDS.

291 WINDER - TAX NUMBER: 01000597
THE WEST 9 FEET OF LOT 1 AND THE EAST 35 FEET OF LOT 2, BRUSH SUBDIVISION OF THAT PART OF THE BRUSH FARM LYING EAST OF AND ADJOINING PARK LOTS 6, 7, 8, AND 9" AS RECORDED IN LIBER 1, PAGE 118 OF PLATS, WAYNE COUNTY RECORDS.

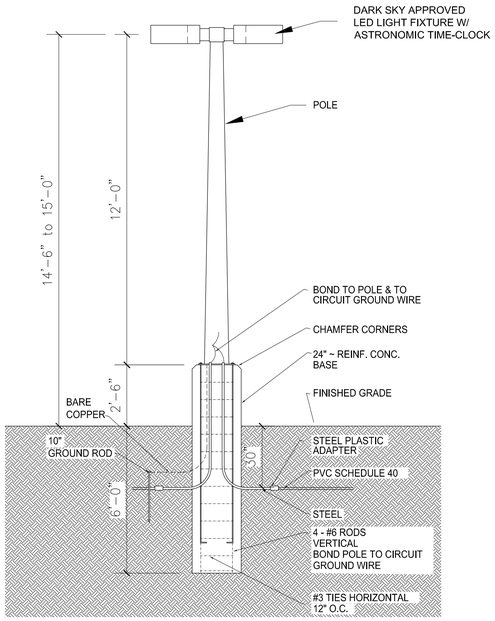
N. WINDER - TAX NUMBER: 01000596
THE WEST 15 FEET OF LOT 2 AND THE EAST 1/2 OF LOT 3, BLOCK 2, BRUSH SUBDIVISION OF THAT PART OF THE BRUSH FARM LYING EAST OF AND ADJOINING PARK LOTS 6, 7, 8, AND 9" AS RECORDED IN LIBER 1, PAGE 118 OF PLATS, WAYNE COUNTY RECORDS.

269 WINDER - 01000595.002L
THE WEST 1/2 OF LOT 3 AND ALL OF LOT 4, BLOCK 2, BRUSH SUBDIVISION OF THAT PART OF THE BRUSH FARM LYING EAST OF AND ADJOINING PARK LOTS 6, 7, 8, AND 9" AS RECORDED IN LIBER 1, PAGE 118 OF PLATS, WAYNE COUNTY RECORDS.

ALSO
LOT 5, BLOCK 2, BRUSH SUBDIVISION OF THAT PART OF THE BRUSH FARM LYING EAST OF AND ADJOINING PARK LOTS 6, 7, 8, AND 9" AS RECORDED IN LIBER 1, PAGE 118 OF PLATS, WAYNE COUNTY RECORDS.

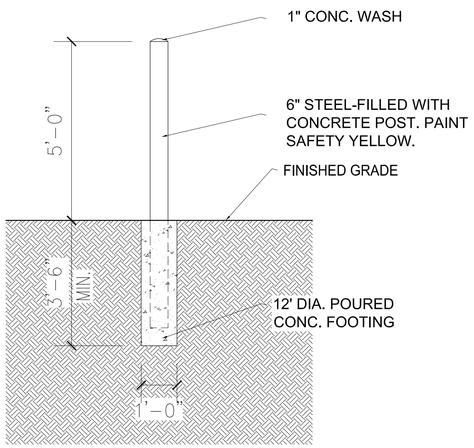
THE PERIMETER DESCRIPTION BELOW COMPRISES PARCELS 1 THROUGH 4 AND A PORTION OF PARCEL 5.

LAND IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN BEING ALL OF LOTS 1 THROUGH 4 AND PART OF LOT 5 BLOCK 2 "BRUSH SUBDIVISION OF THAT PART OF THE BRUSH FARM LYING EAST OF AND ADJOINING PARK LOTS 6, 7, 8, AND 9" AS RECORDED IN LIBER 1, PAGE 118 OF PLATS, WAYNE COUNTY RECORDS; AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE INTERSECTION OF THE WEST LINE OF BRUSH STREET (60 FEET WIDE) AND THE NORTH LINE OF WINDER STREET (60 FEET WIDE), BEING THE SOUTHEAST CORNER OF SAID LOT 1; THENCE S59°16'09"W 233.30 FEET ALONG THE NORTH LINE OF WINDER STREET; THENCE N30°24'30"W 165.88 FEET TO THE SOUTH LINE OF A PUBLIC ALLEY (20 FEET WIDE); THENCE N59°16'09"E 242.96 FEET ALONG SAID SOUTH ALLEY LINE TO THE NORTHEAST CORNER OF SAID LOT 1 AND THE WEST LINE OF BRUSH STREET; THENCE S27°04'30"E 166.22 FEET ALONG SAID WEST LINE TO THE POINT OF BEGINNING AND CONTAINING 0.907 ACRES.

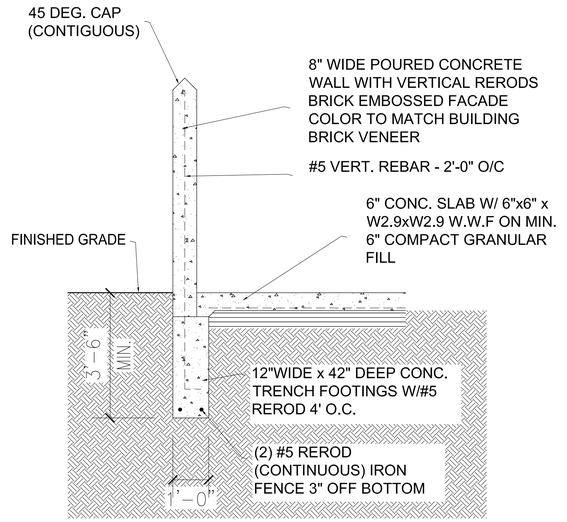


NOTE: ALL LIGHTING FOR PARKING AREAS OR FOR THE EXTERNAL ILLUMINATION OF BUILDINGS OR GROUNDS OR FOR THE ILLUMINATION OF SIGNS SHALL BE SHIELDED FROM ADJACENT RESIDENTIAL DISTRICTS AND SHALL ALSO BE ARRANGED AS TO NOT ADVERSELY AFFECT DRIVER VISIBILITY ON ADJACENT THOROUGHFARE.

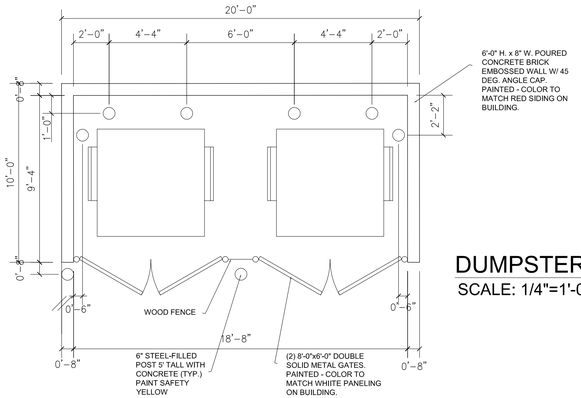
LIGHT POLE SECTION
NOT TO SCALE



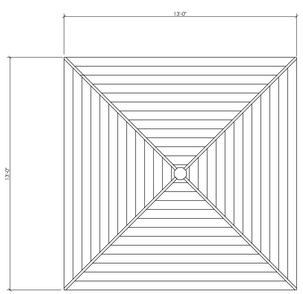
BOLLARD SECTION
SCALE: 1/2"=1'-0"



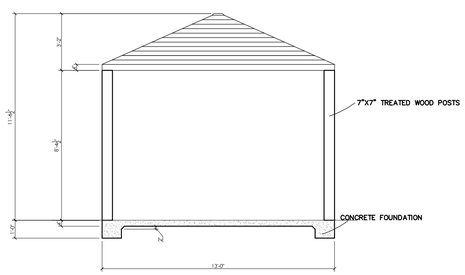
DUMPSTER WALL SECTION
SCALE: 1/2"=1'-0"



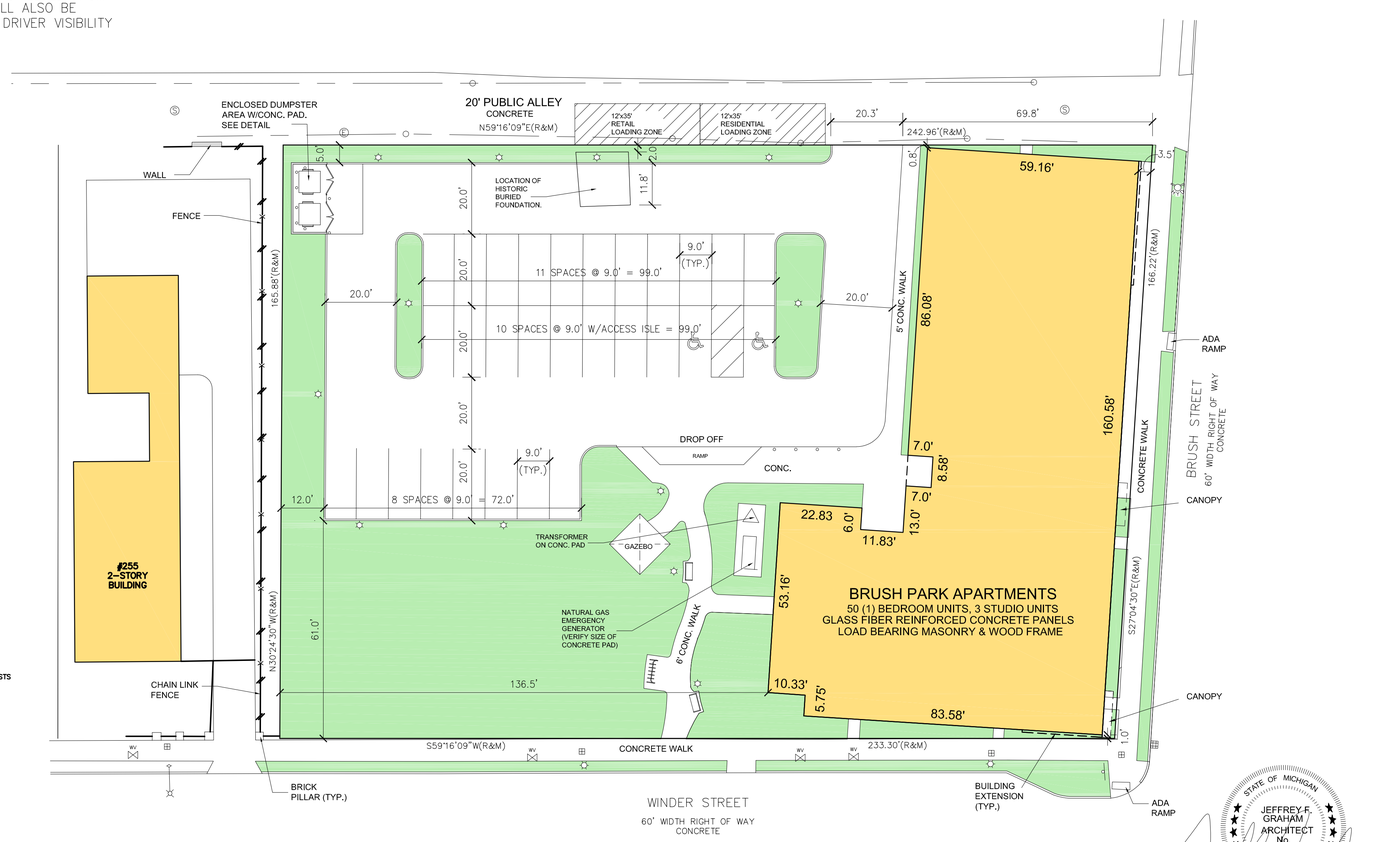
DUMPSTER FLOOR PLAN
SCALE: 1/4"=1'-0"



GAZEBO ROOF PLAN
SCALE: 1/4"=1'-0"



TYP. GAZEBO ELEVATION
SCALE: 1/4"=1'-0"



ARCHITECTURAL SITE PLAN
SCALE: 1"=20'

#	REVISION	DATE	BY	DESCRIPTION
1		2/16/22	M.L.	CITY PERMIT DRAWINGS

CLIENT: MHT HOUSING, INC.

BRUSH PARK APARTMENTS
269 WINDER STREET, DETROIT MI
SITE AREA: 39,501± SF OR 0.91± ACRES

ARCHITECTURAL SITE PLAN & DETAILS

PROFESSIONAL ARCHITECTS
PROFESSIONAL ENGINEERS
PROFESSIONAL SURVEYORS
22556 GRATIOT AVENUE
EASTPOINTE, MI 48021
(586)772-2222 PHONE
(586)772-4048 FAX

KEM-TEC & ASSOCIATES

72 HOURS (3 WORKING DAYS) BEFORE YOU DIG CALL MISS DIG 800-482-7171 (TOLL FREE)

STATE OF MICHIGAN
JEFFREY F. GRAHAM
ARCHITECT
No. 35132
LICENSED ARCHITECT

DRAWN BY: M.L.
SCALE: SEE DRAWING
DATE: 12/09/2021
PROJECT NO: 19-03104

SHEET NO: ASP.1

LANDSCAPING NOTES

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL MATERIALS AND PLANTS SHOWN ON THE PLAN WHETHER OR NOT INCLUDED IN THE "PLANT LIST".
- ALL NURSERY STOCK TO BE WELL BRANCHED, HEALTHY, FULL, VIGOROUS, PRE INOCULATED, AND FERTILIZED. DECIDUOUS TREES TO BE FREE OF FRESH SCARS AND BRANCHES TO BE A HEIGHT OF 5' ABOVE ROOTBALL. TRUNKS SHALL BE WRAPPED, IF NECESSARY, TO PREVENT SUN SCALD AND INSECT DAMAGE. THE LANDSCAPER SHALL REMOVE SAID WRAP AT THE PROPER TIME AS PART OF HIS CONTRACT.
- ALL NURSERY STOCK SHALL BE GUARANTEED.
- TOPSOIL, 4" THICK, SHALL BE PROVIDED AND GRADED BY THE LANDSCAPE CONTRACTOR AND SUBJECT TO APPROVAL BY THE OWNER.
- ALTERNATIVES MAY ONLY BE USED IN THE EVENT OF UNAVAILABILITY OF THE SELECTED SPECIES WITHIN A REASONABLE DISTANCE OR DUE TO SEASON. PROOF MAY BE REQUESTED BY THE ARCHITECT.
- EVERGREEN TREES SHALL NOT BE PLANTED DURING JUNE, JULY, OR AUGUST.
- MULCH SHALL NOT CONTAIN ANY FARM WASTE AND SHALL BE INDICATED ON PLAN FOR EACH AREA.
- A CHEMICAL WEED PREVENTATIVE BARRIER SHALL BE APPLIED IN ALL NON-GRASS AREAS WHICH DO NOT HAVE POLYETHYLENE FILM MULCH INDICATED.
- REMOVE ALL TWINE, WIRE, AND BURLAP FROM SHRUB AND TREE EARTH BALLS AND FROM TREE TRUNKS.
- LAWN TREES TO BE MULCHED WITH A 2' WIDE BY MINIMUM 6" DEEP SHREDDED BARK RING.
- SHRUB BEDS TO BE MULCHED WITH 3" OF SHREDDED WOOD BARK.
- ALL SOD AND SEED TO BE KENTUCKY BLUE BLEND.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXITING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE MAXIMUM SLOP ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.

EXAMINATION OF SITE

- THE CONTRACTOR SHALL VISIT THE JOB SITE BEFORE HE SUBMITS HIS BID TO TO BECOME FAMILIAR WITH THE ACTUAL JOB CONDITIONS AND TO CHECK FOR ANY INTERFERENCE BETWEEN THE WORK AND THAT OF OTHER TRADES AND/OR ANY APPARENT VIOLATIONS OF LOCAL OR STATE CODES, LAWS, ORDINANCES, AND REGULATIONS. IF ANY INTERFERENCE OR VIOLATIONS APPEAR AND DEPARTURE FROM THE DESIGN INTENT OF THE CONTRACT DOCUMENT S IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER BEFORE ENTERING INTO THE CONTRACT WITH THE OWNER. FAILURE TO PROVIDE THE ARCHITECT WITH THE AFOREMENTIONED NOTIFICATION WILL RESULT IN THE CONTRACTOR BEING HELD RESPONSIBLE TO COMPLETE ALL WORK TO MEET THE INTENT OF THE CONTRACT DRAWINGS WITH NO ADDITIONAL EXPENSE ("EXTRAS") BEING INCURRED BY THE OWNER.

CLEANING

- PREMISES SHALL BE CLEANED UPON COMPLETION OF THE WORK.
- UPON COMPLETION OF THE WORK, THOROUGHLY CLEAN ALL SYSTEMS AND TEST TO INSURE THAT THE SYSTEMS PERFORM TO THEIR REQUIREMENTS.

MAINTENANCE

- THE PROPERTY OWNER WILL TAKE CARE OF THE LANDSCAPING. A LANDSCAPING MAINTENANCE PLAN WILL BE DEVELOPED AS PER ENTERPRISE GREEN COMMUNITIES' REQUIREMENTS PER THE BUILDING AND OPERATIONS MANUAL AND WILL BE PROVIDED AT A LATER DATE.

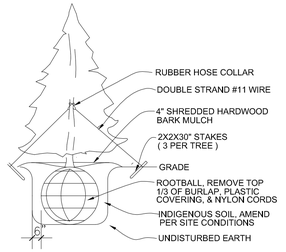
IRRIGATION NOTE (IF UTILIZED):

- IRRIGATION CONTRACTOR IS RESPONSIBLE FOR THE DESIGN OF THE IRRIGATION SYSTEM WITH SEPARATING PLANTING BEDS FROM LAWN AREA, PRIOR TO THE START OF CONSTRUCTION.
- IRRIGATIONS DESIGN WILL NEED TO BE APPROVED BY THE PROJECT ARCHITECT.
- IRRIGATION CONTRACTOR WILL NEED TO VERIFY THE MAXIMUM ON SITE DYNAMIC WATER PRESSURE AVAILABLE. (MEASURED IN PSI)
- BOOSTER PUMPS (OR SIMILAR DEVISES) SHALL BE PROVIDED TO MEET THE SYSTEM PRESSURE REQUIREMENTS.
- IRRIGATION CONTRACTOR IS REQUIRED TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS AND SLEEVES WITHIN HARDSCAPE AREAS ON THEIR DESIGN.
- CONTRACTOR WILL FOLLOW 2015 ENTERPRISE GREEN COMMUNITIES REQUIREMENTS:
  - A DRIP IRRIGATION SYSTEM FOR LANDSCAPE PLANTING BEDS
  - SEPARATELY ZONED TURF AND BEDDING AREAS, BASED ON WATERING NEEDS OF TURF/PLANTINGS
  - A TIMER/CONTROLLER THAT ACTIVATES THE VALVES FOR EACH WATERING ZONE AT THE BEST TIME OF DAY TO MINIMIZE EVAPORATIVE LOSSES WHILE MAINTAINING HEALTHY PLANS AND OBEYING LOCAL REGULATIONS AND WATER-USE GUIDANCE.
  - A MOISTURE SENSOR CONTROLLER OR RAIN DELAY CONTROLLER.
  - WATERING TUBES FOR TREES ARE ALLOWED FOR A PERIOD OF TWO YEARS.

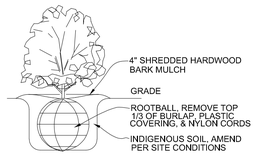
LANDSCAPING & BUFFER REQUIREMENTS		
CODE	REQUIRED	PROPOSED
61-14-205	PLANT SIZE: SHRUBS: MINIMUM SIZE EQUAL TO OR GREATER THAN A NUMBER 3 CONTAINER AND HAVE A MINIMUM HEIGHT OF 18" AT TIME OF PLANTING. DECIDUOUS TREES: MINIMUM DIAMETER OF 2" MEASURED AT 12" ABOVE ROOT BALL. CLEAR STEM OF AT LEAST 5' EVERGREEN TREES: MINIMUM HEIGHT: 5'	COMPLIES
61-14-206	GROUND TREATMENT: ALL UNPAVED AREAS ARE TO BE TREATED WITH GROUNDCOVER, MULCHED AREAS, SOD OR SEED LAWNS, OR PAVERS.	COMPLIES
61-14-221	RIGHT OF WAY SCREENING: 5' WISE LANDSCAPING BUFFER BETWEEN PARKING AREA AND THE STREET (A FENCE CAN BE USED WHERE 5' IS NOT PRACTICAL) 1 TREE PER 30 LINEAR FEET OF LANDSCAPE BUFFER AND SHRUBS HEDGE OF AT LEAST 30" BUT NOT MORE THAN 36"	COMPLIES
61-14-222.(1).(A)	RESIDENTIAL SCREENING: OPAQUE WALL REQUIRED TO SCREEN RESIDENTIALLY ZONED LOTS FROM PARKING OR DRIVE AISLES OF COMMERCIALLY ZONED LOTS.	COMPLIES
61-14-222.(1).(B)	RESIDENTIAL SETBACK: 10 FEET	20 PUBLIC ALLEY
61-14-223	INTERIOR LANDSCAPING MINIMUM LANDSCAPED AREA: 18 SF PER PARKING SPACE 29 PARKING SPACES x 18 SF = 522 SF MINIMUM LANDSCAPED AREA: 150 SF MINIMUM DIMENSION: 7 FEET MUST INCLUDE 1 SHADE TREE 1 TREE PER 250 SF REQUIRED LANDSCAPED AREA 522/250 = 3 REQUIRED TREES	COMPLIES 765 SF INTERIOR LANDSCAPING 4 SHADE TREES PROVIDED
61-14-234	SCREENING OF TRASH RECEPTACLES AND WASTE REMOVAL AREAS REQUIRED	COMPLIES

LANDSCAPING SCHEDULE				
SYM.	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE
"A"	16	SHADEMASTER HONEYLOCUST (NO THORNS)	GLEDITSIA TRICANTHOS INERMIS ;SHADEMASTER"	2.5" CAL.
"B"	111	YEW	TAXUS	18" HEIGHT MIN.
"C"	7	WAYFARING TREE	VIBURNUM LANTANA	3'
"D"	101	AMERICAN ARBORVITAE	TSUGA CANADENSIS	6'
"E"	4	DWARF WINGED EUONYMUS	EUONYMUS ALETA COMPACTA	5'-7'

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITH THE PLANT LIST, THE PLAN SHALL DICTATE.



EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



SHRUB PLANTING DETAIL
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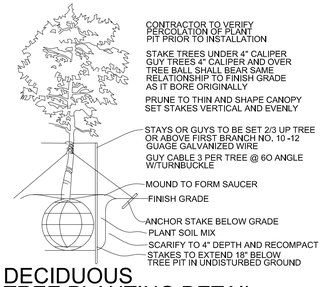

DECIDUOUS TREE PLANTING DETAIL
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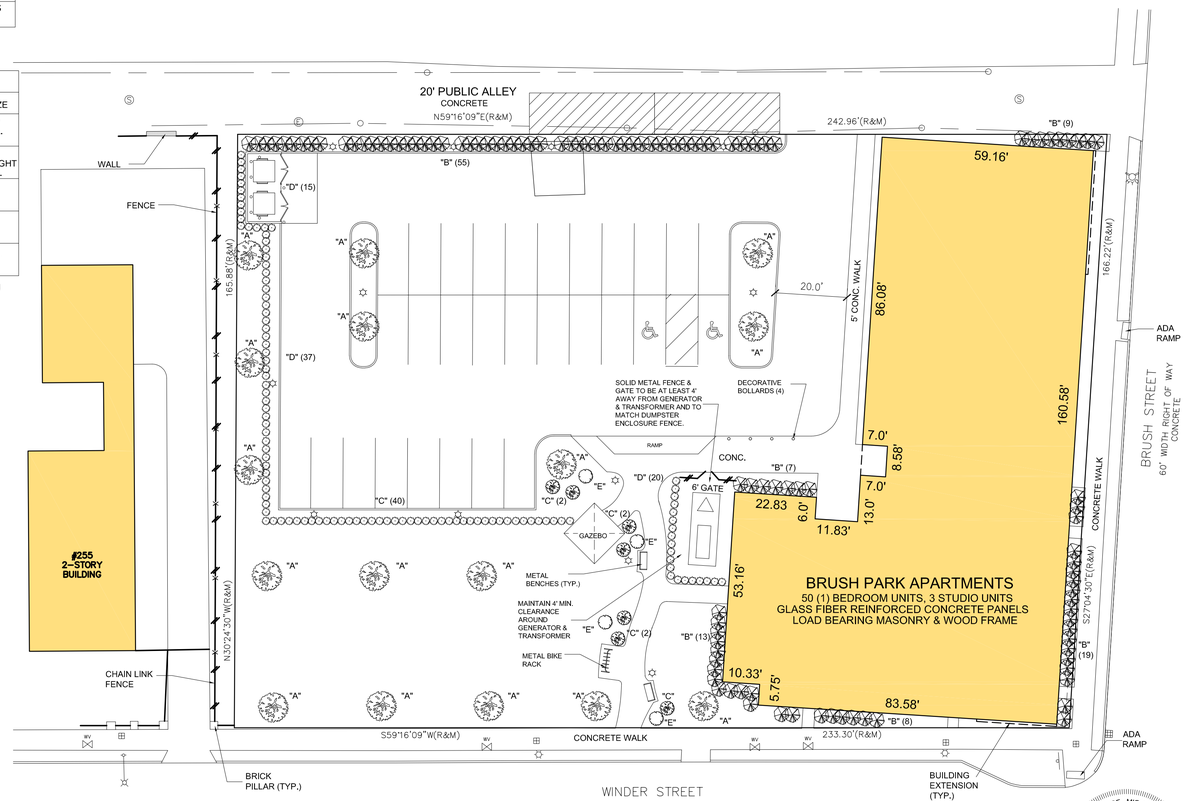

NORTH

LANDSCAPE PLAN
SCALE: 1"=20'

JEFFREY F. GRAHAM
ARCHITECT
No. 35132
STATE OF MICHIGAN
LICENSED ARCHITECT

CLIENT: MHT HOUSING, INC.

BRUSH PARK APARTMENTS
269 WINDER STREET, DETROIT MI
SITE AREA: 39,501± SF OR 0.91± ACRES

#	REVISION	DATE	BY	DESCRIPTION
1		2/16/22	M.L.	CITY PERMIT DRAWINGS

LANDSCAPE PLAN

PROFESSIONAL ARCHITECTS
PROFESSIONAL ENGINEERS
PROFESSIONAL SURVEYORS
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EASTPOINTE, MI 48021
(586)772-2222 PHONE
(586)772-4048 FAX
KEM-TEC & ASSOCIATES

72 HOURS (3 WORKING DAYS)
BEFORE YOU DIG CALL MISS DIG
800-482-7171 (TOLL FREE)

DRAWN BY: M.L.
SCALE: SEE DRAWING
DATE: 12/09/2021
PROJECT NO: 19-03104

SHEET NO: L.P.1

LANDSCAPING NOTES

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL MATERIALS AND PLANTS SHOWN ON THE PLAN WHETHER OR NOT INCLUDED IN THE "PLANT LIST".
- ALL NURSERY STOCK TO BE WELL BRANCHED, HEALTHY, FULL, VIGOROUS, PRE INOCULATED, AND FERTILIZED. DECIDUOUS TREES TO BE FREE OF FRESH SCARS AND BRANCHES TO BE A HEIGHT OF 5' ABOVE ROOTBALL. TRUNKS SHALL BE WRAPPED, IF NECESSARY, TO PREVENT SUN SCALD AND INSECT DAMAGE. THE LANDSCAPER SHALL REMOVE SAID WRAP AT THE PROPER TIME AS PART OF HIS CONTRACT.
- ALL NURSERY STOCK SHALL BE GUARANTEED.
- TOPSOIL, 4" THICK, SHALL BE PROVIDED AND GRADED BY THE LANDSCAPE CONTRACTOR AND SUBJECT TO APPROVAL BY THE OWNER.
- ALTERNATIVES MAY ONLY BE USED IN THE EVENT OF UNAVAILABILITY OF THE SELECTED SPECIES WITHIN A REASONABLE DISTANCE OR DUE TO SEASON. PROOF MAY BE REQUESTED BY THE ARCHITECT.
- EVERGREEN TREES SHALL NOT BE PLANTED DURING JUNE, JULY, OR AUGUST.
- MULCH SHALL NOT CONTAIN ANY FARM WASTE AND SHALL BE INDICATED ON PLAN FOR EACH AREA.
- A CHEMICAL WEED PREVENTATIVE BARRIER SHALL BE APPLIED IN ALL NON-GRASS AREAS WHICH DO NOT HAVE POLYETHYLENE FILM MULCH INDICATED.
- REMOVE ALL TWINE, WIRE, AND BURLAP FROM SHRUB AND TREE EARTH BALLS AND FROM TREE TRUNKS.
- LAWN TREES TO BE MULCHED WITH A 2' WIDE BY MINIMUM 6" DEEP SHREDDED BARK RING.
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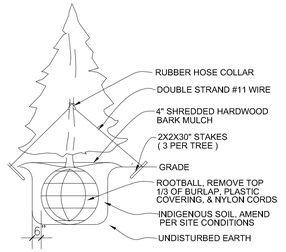
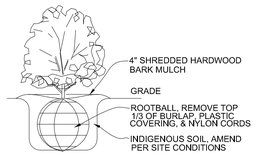


EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



SHRUB PLANTING DETAIL
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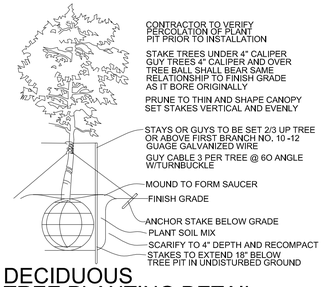

DECIDUOUS TREE PLANTING DETAIL
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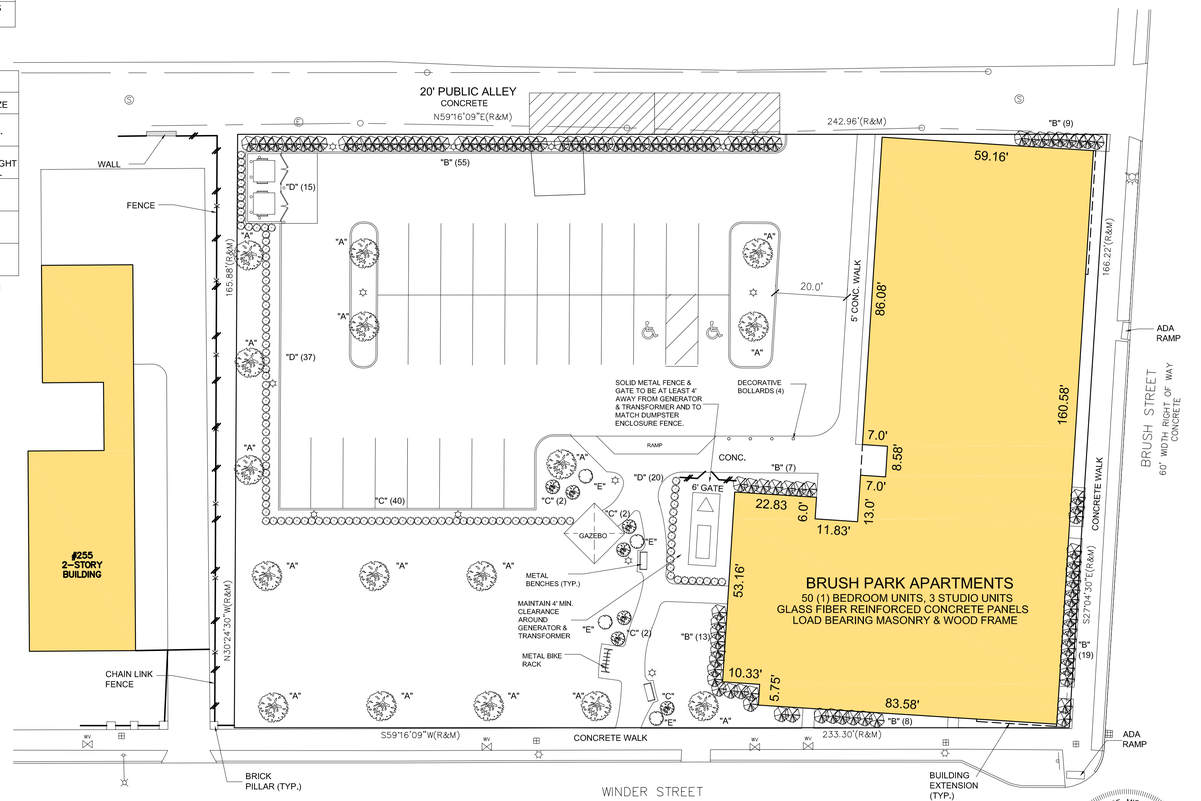


NORTH

LANDSCAPE PLAN
SCALE: 1"=20'

JEFFREY F. GRAHAM
ARCHITECT
No. 35132
STATE OF MICHIGAN
LICENSED ARCHITECT

CLIENT: MHT HOUSING, INC.

BRUSH PARK APARTMENTS
269 WINDER STREET, DETROIT MI
SITE AREA: 39,501± SF OR 0.91± ACRES

#	REVISION	DATE	BY	DESCRIPTION
1		2/16/22	M.L.	CITY PERMIT DRAWINGS

LANDSCAPE PLAN

PROFESSIONAL ARCHITECTS
PROFESSIONAL ENGINEERS
PROFESSIONAL SURVEYORS
22556 GRATIOT AVENUE
EASTPOINTE, MI 48021
(586)772-2222 PHONE
(586)772-4048 FAX
KEM-TEC & ASSOCIATES

72 HOURS (3 WORKING DAYS)
BEFORE YOU DIG CALL MISS DIG
800-482-7171 (TOLL FREE)

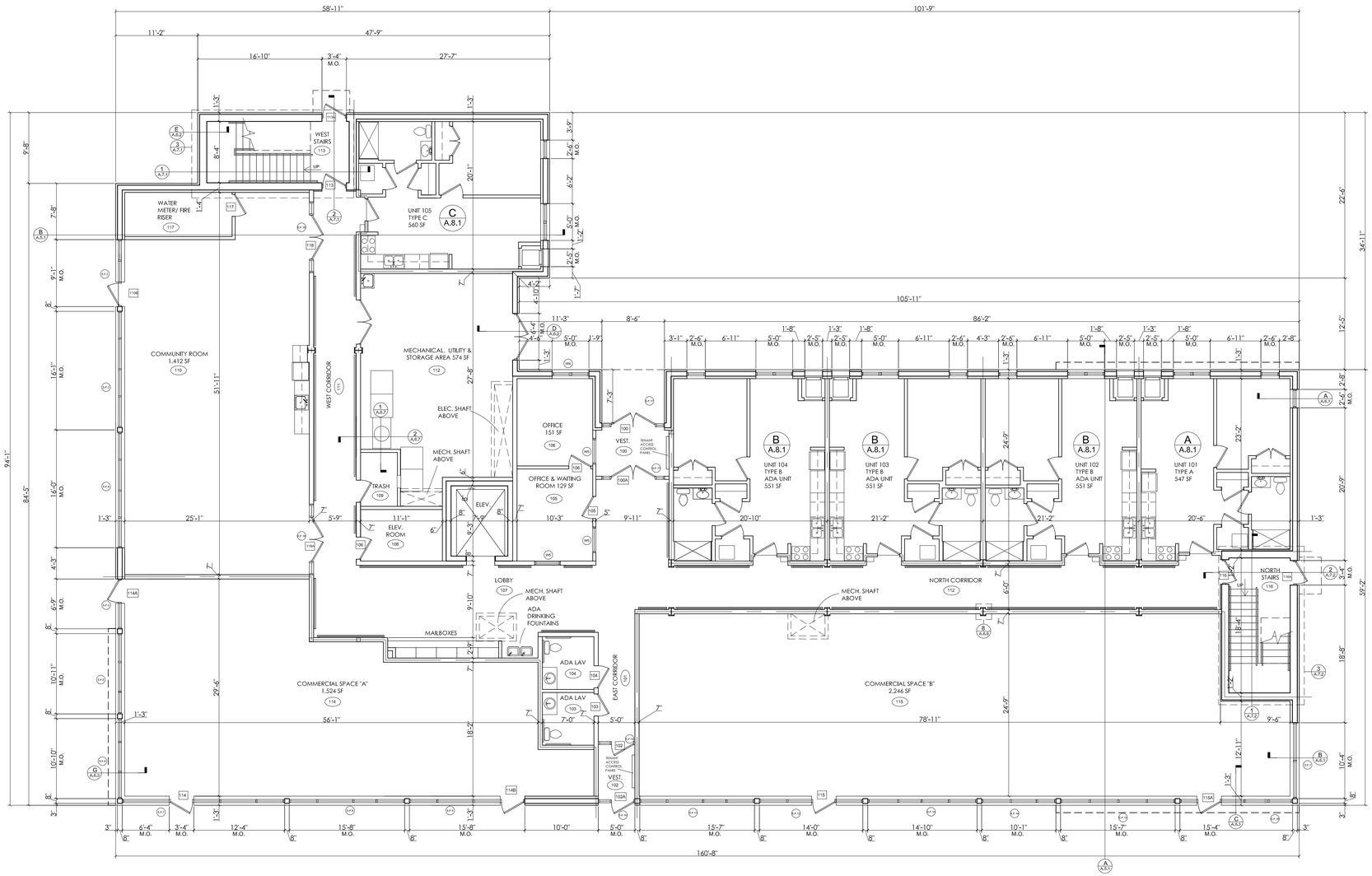
DRAWN BY: M.L.
SCALE: SEE DRAWING
DATE: 12/09/2021
PROJECT NO: 19-03104

SHEET NO: L.P.1

WALL, FLOOR & CEILING STC RAITINGS		
ASSEMBLY	LOCATION	STC RATING
WALL - CONCRETE BLOCK 12"	STAIRWELLS	51 STC
WALL - DEMISING 2X4 W/ INSULATION	BETWEEN UNITS/USES	55 TO 59 STC
WALL - CMU BLOCK & BRICK /W FURRING W/ INSULATION	EXTERIOR	56 STC
WALL - 2X6 WOOD TRUSS, FIBERGLASS REINFORCED CONCRETE PANELS W/ INSULATION	EXTERIOR	ESTIMATED AROUND 56 STC
WALL - TYPICAL 2x4	ROOMS' INTERIOR	35 TO 39 STC
FLOOR/CEILING - COMMON HALLWAY ASSEMBLY	1ST TO 4TH FLOOR	60 TO 64 STC
FLOOR/CEILING - HALLWAY ASSEMBLY OVER COMMERCIAL	1ST & 2ND FLOOR	55 TO 59 STC
ROOF/CEILING TYPICAL	4TH FLOOR	53-56 STC
ROOF/CEILING COMMON HALLWAY	4TH FLOOR	37 STC

NOTE:
CONTRACTOR CAN SUBSTITUTE THE WALL ASSEMBLIES FOR THE UNIT DEMISING WALLS IF MEET OR EXCEEDS THE WALL ASSEMBLY LISTED. THIS WOULD NEED THE ARCHITECT'S APPROVAL

GENERAL NOTE
1. FOR ELEVATOR SHAFT DETAILS & SECTIONS, SEE STRUCTURAL PLANS.
2. MASON TO VERIFY ROUGH OPENING SIZES FOR WINDOWS, DOORS, STORFRONTS & MECHANICAL GRILLS FROM RESPECTIVE MANUFACTURES.
3. STAIR CASE TO BE PRE ENGINEERED STEEL STEPS & LANDING. MANUFACTURE TO PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO CONSTRUCTION.



NORTH

FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"

#	REVISION	DATE	BY	DESCRIPTION
1		2/16/22	M.L.	CITY PERMIT DRAWINGS

CLIENT: MHT HOUSING, INC.

BRUSH PARK APARTMENTS
269 WINDER STREET, DETROIT MI
SITE AREA: 39,501± SF OR 0.91± ACRES

FIRST FLOOR PLAN

PROFESSIONAL ARCHITECTS
PROFESSIONAL ENGINEERS
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25566 GRATIOT AVENUE
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(586)772-2222 PHONE
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STATE OF MICHIGAN
JEFFREY F. GRAHAM
ARCHITECT
No. 35132
LICENSED ARCHITECT

DRAWN BY: JFG
SCALE: 1/8" = 1'-0"
DATE: 12/09/2021
PROJECT NO: 19-03104

SHEET NO:
A.1.1

WALL, FLOOR & CEILING STC RAITINGS		
ASSEMBLY	LOCATION	STC RATING
WALL - CONCRETE BLOCK 12"	STAIRWELLS	51 STC
WALL - DEMISING 2X4 W/ INSULATION	BETWEEN UNITS/USES	55 TO 59 STC
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WALL - 2X6 WOOD TRUSS, FIBERGLASS REINFORCED CONCRETE PANELS W/ INSULATION	EXTERIOR	ESTIMATED AROUND 56 STC
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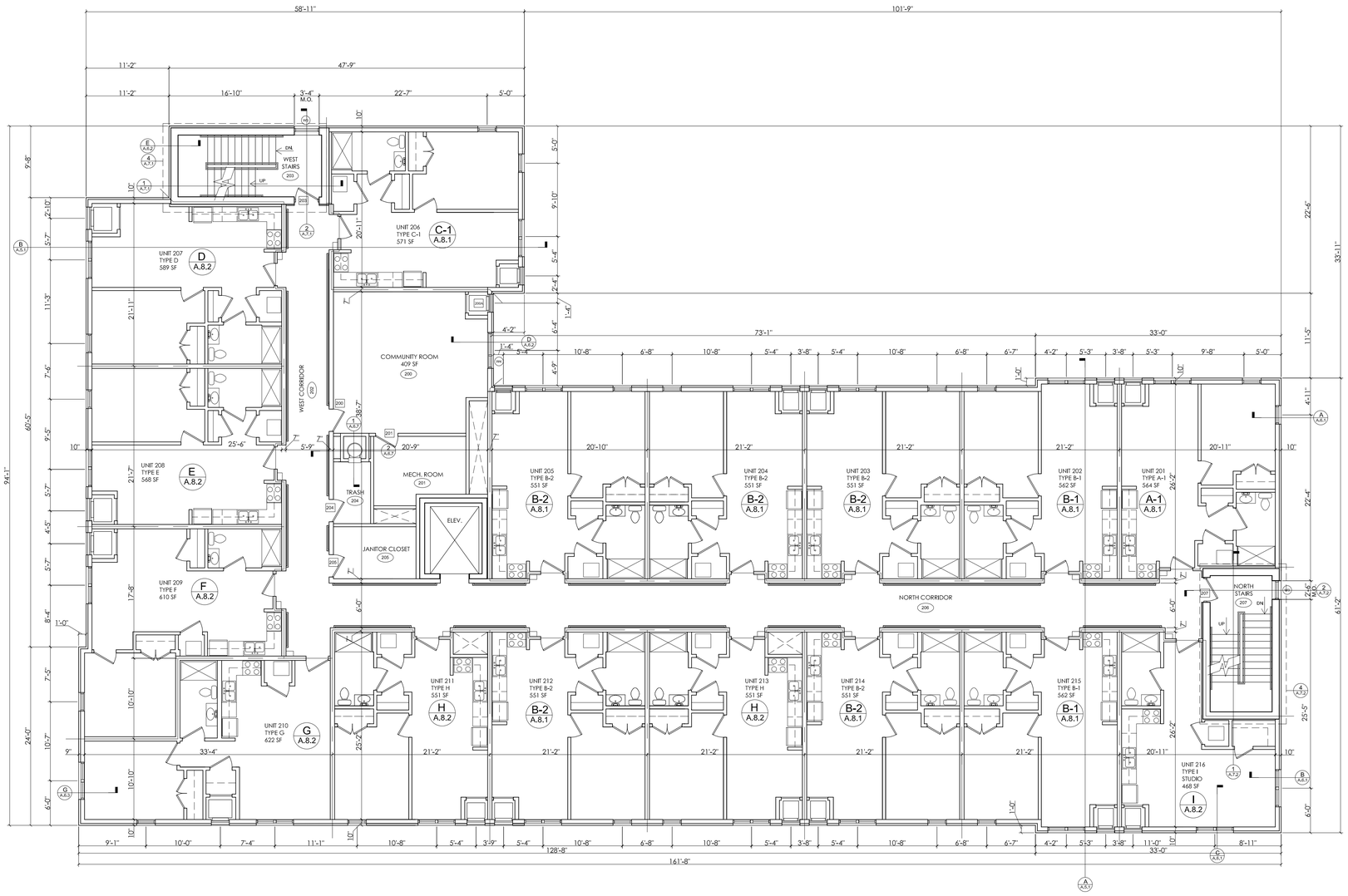

NORTH
SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"

STATE OF MICHIGAN
JEFFREY F. GRAHAM
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DRAWN BY: JFG
SCALE: 1/8" = 1'-0"
DATE: 12/09/2021
PROJECT NO: 19-03104

SHEET NO: A.1.2

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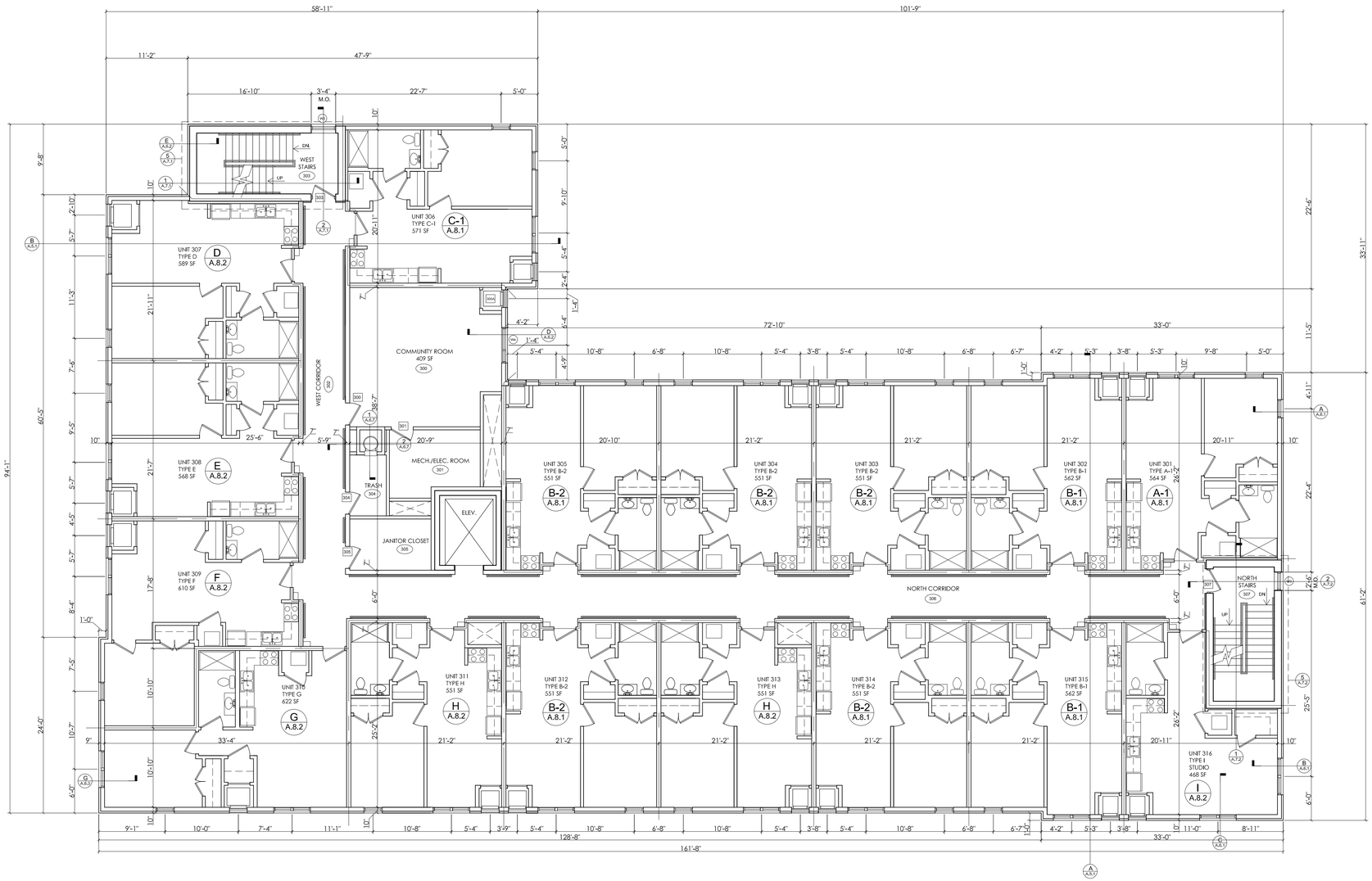
WALL - DEMISING 2X4 W/ INSULATION	BETWEEN UNITS/USES	55 TO 59 STC
WALL - CMU BLOCK & BRICK /W FURRING W/ INSULATION	EXTERIOR	56 STC
WALL - 2X6 WOOD TRUSS, FIBERGLASS REINFORCED CONCRETE PANELS W/ INSULATION	EXTERIOR	ESTIMATED AROUND 56 STC
WALL - TYPICAL 2x4	ROOMS' INTERIOR	35 TO 39 STC
FLOOR/CEILING - COMMON HALLWAY ASSEMBLY	1ST TO 4TH FLOOR	60 TO 64 STC
FLOOR/CEILING - HALLWAY ASSEMBLY OVER COMMERCIAL	1ST & 2ND FLOOR	55 TO 59 STC
ROOF/CEILING TYPICAL	4TH FLOOR	53-56 STC
ROOF/CEILING COMMON HALLWAY	4TH FLOOR	37 STC

NOTE:
CONTRACTOR CAN SUBSTITUTE THE WALL ASSEMBLIES FOR THE UNIT DEMISING WALLS IF MEET OR EXCEEDS THE WALL ASSEMBLY LISTED. THIS WOULD NEED THE ARCHITECT'S APPROVAL

GENERAL NOTE

1. FOR ELEVATOR SHAFT DETAILS & SECTIONS, SEE STRUCTURAL PLANS.
2. MASON TO VERIFY ROUGH OPENING SIZES FOR WINDOWS, DOORS, STORFRONTS & MECHANICAL GRILLS FROM RESPECTIVE MANUFACTURES.
3. STAIR CASE TO BE PRE ENGINEERED STEEL STEPS & LANDING. MANUFACTURE TO PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO CONSTRUCTION.



NORTH

THIRD FLOOR PLAN

SCALE: 1/8"=1'-0"

PROFESSIONAL ARCHITECTS
PROFESSIONAL ENGINEERS
PROFESSIONAL SURVEYORS
22556 GRATIOT AVENUE
EASTPOINTE, MI 48021
(586)772-2222 PHONE
(586)772-4048 FAX

KEM-TEC & ASSOCIATES

CLIENT: MHT HOUSING, INC.

BRUSH PARK APARTMENTS
269 WINDER STREET, DETROIT MI
SITE AREA: 39,501± SF OR 0.91± ACRES

#	REVISION	DATE	BY	DESCRIPTION
				CITY PERMIT DRAWINGS
1		2/16/22	M.L.	

THIRD FLOOR PLAN

72 HOURS (3 WORKING DAYS)
BEFORE YOU DIG CALL MISS DIG
800-482-7171 (TOLL FREE)

STATE OF MICHIGAN
JEFFREY F. GRAHAM
ARCHITECT
No. 35132
LICENSED ARCHITECT

DRAWN BY: JFG
SCALE: 1/8" = 1'-0"
DATE: 12/09/2021
PROJECT NO: 19-03104

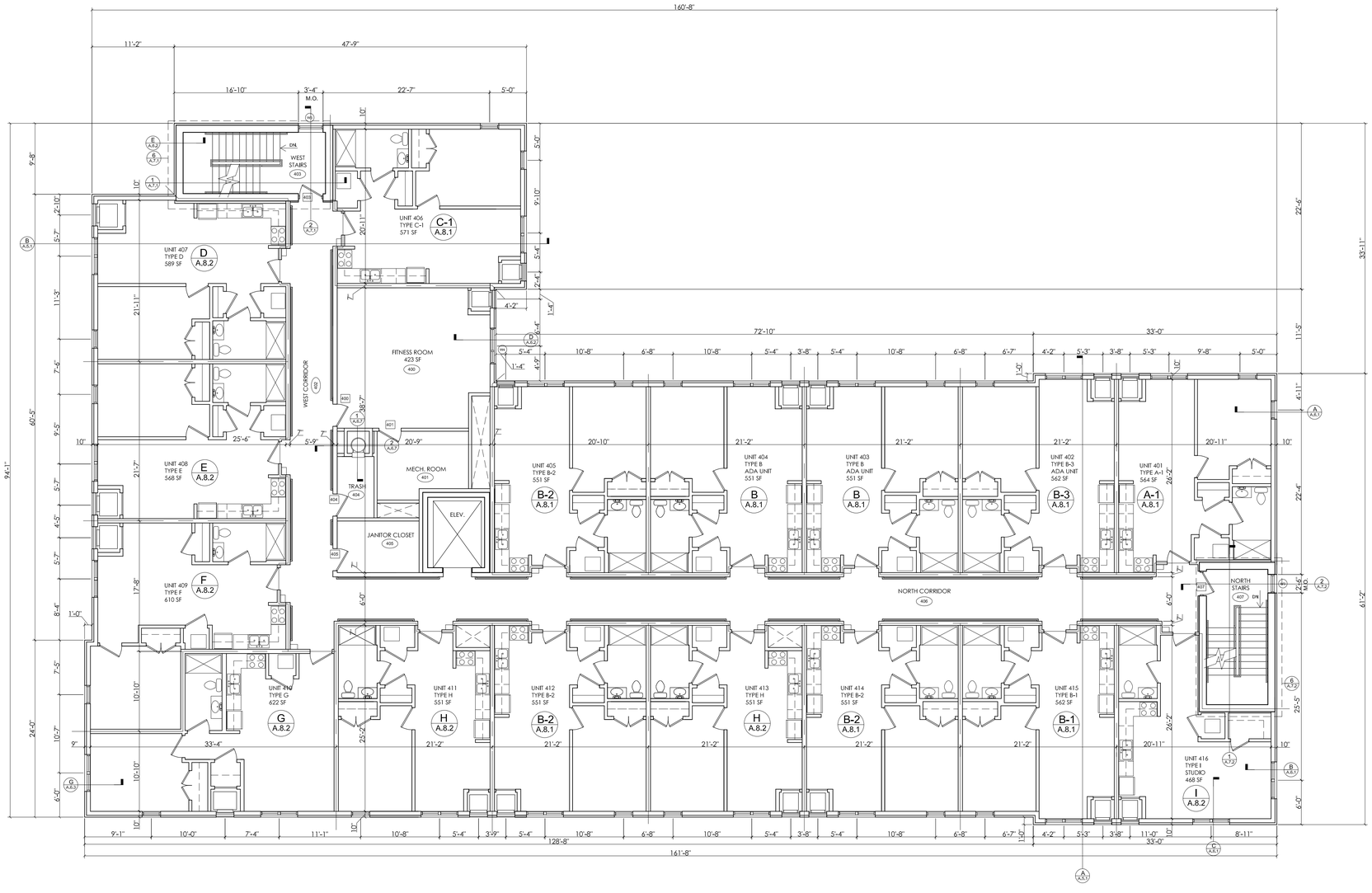
SHEET NO: A.1.3

WALL, FLOOR & CEILING STC RAITINGS		
ASSEMBLY	LOCATION	STC RATING
WALL - CONCRETE BLOCK 12"	STAIRWELLS	51 STC
WALL - DEMISING 2X4 W/ INSULATION	BETWEEN UNITS/USES	55 TO 59 STC
WALL - CMU BLOCK & BRICK /W FURRING W/ INSULATION	EXTERIOR	56 STC
WALL - 2X6 WOOD TRUSS, FIBERGLASS REINFORCED CONCRETE PANELS W/ INSULATION	EXTERIOR	ESTIMATED AROUND 56 STC
WALL - TYPICAL 2x4	ROOMS' INTERIOR	35 TO 39 STC
FLOOR/CEILING - COMMON HALLWAY ASSEMBLY	1ST TO 4TH FLOOR	60 TO 64 STC
FLOOR/CEILING - HALLWAY ASSEMBLY OVER COMMERCIAL	1ST & 2ND FLOOR	55 TO 59 STC
ROOF/CEILING TYPICAL	4TH FLOOR	53-56 STC
ROOF/CEILING COMMON HALLWAY	4TH FLOOR	37 STC

NOTE:
CONTRACTOR CAN SUBSTITUTE THE WALL ASSEMBLIES FOR THE UNIT DEMISING WALLS IF MEET OR EXCEEDS THE WALL ASSEMBLY LISTED. THIS WOULD NEED THE ARCHITECT'S APPROVAL

GENERAL NOTE

1. FOR ELEVATOR SHAFT DETAILS & SECTIONS, SEE STRUCTURAL PLANS.
2. MASON TO VERIFY ROUGH OPENING SIZES FOR WINDOWS, DOORS, STORFRONTS & MECHANICAL GRILLS FROM RESPECTIVE MANUFACTURES.
3. STAIR CASE TO BE PRE ENGINEERED STEEL STEPS & LANDING. MANUFACTURE TO PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO CONSTRUCTION.



NORTH

FOURTH FLOOR PLAN

SCALE: 1/8"=1'-0"

#	REVISION	DATE	BY	DESCRIPTION
				CITY PERMIT DRAWINGS
1		2/16/22	M.L.	

CLIENT: MHT HOUSING, INC.

BRUSH PARK APARTMENTS
269 WINDER STREET, DETROIT MI
SITE AREA: 39,501± SF OR 0.91± ACRES

FOURTH FLOOR PLAN

PROFESSIONAL ARCHITECTS
PROFESSIONAL ENGINEERS
PROFESSIONAL SURVEYORS
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EASTPOINTE, MI 48021
(586)772-2222 PHONE
(586)772-4048 FAX

KEM-TEC & ASSOCIATES

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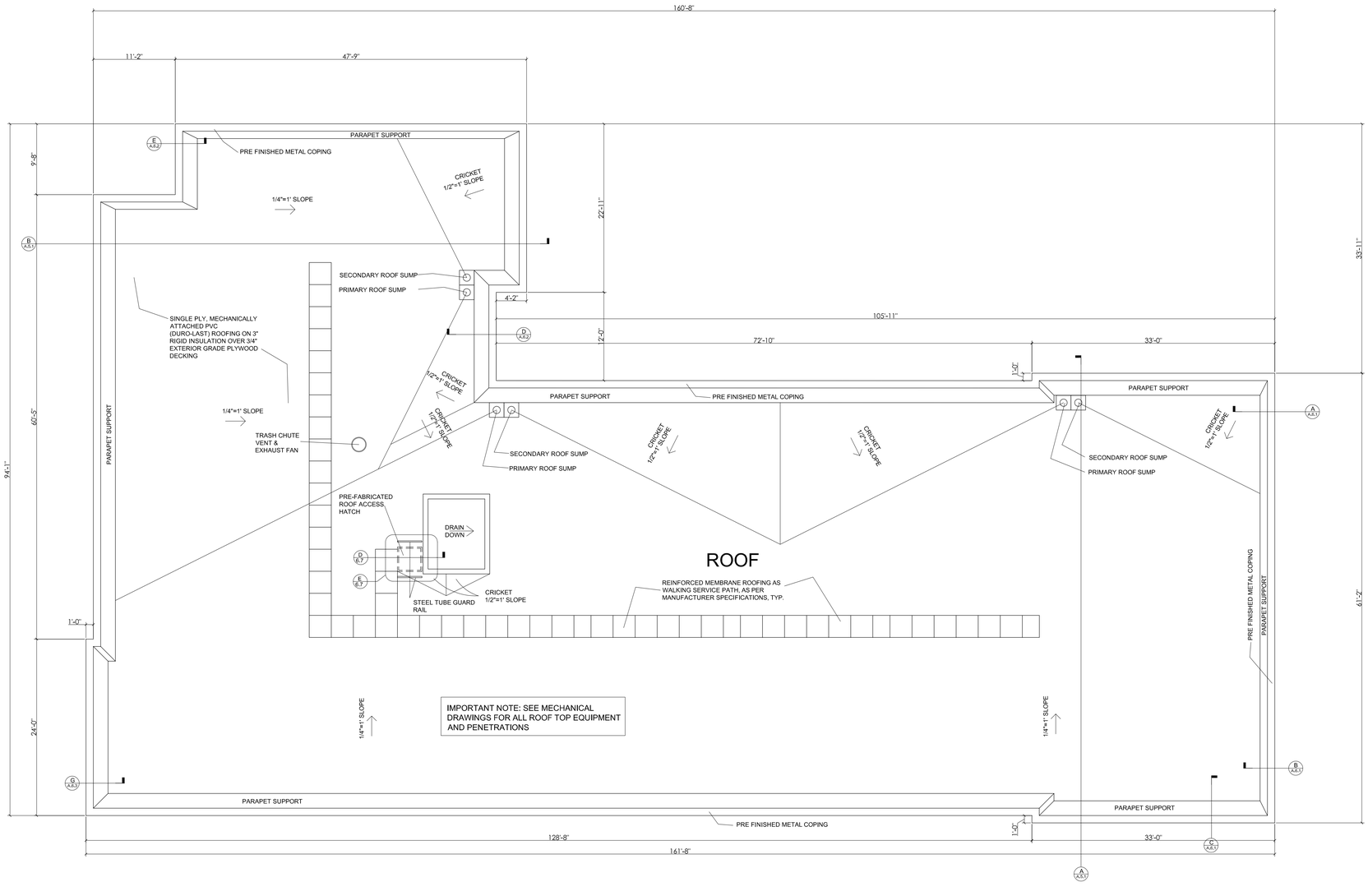
STATE OF MICHIGAN
JEFFREY F. GRAHAM
ARCHITECT
No. 35132
LICENSED ARCHITECT

DRAWN BY: JFG
SCALE: 1/8" = 1'-0"
DATE: 12/09/2021
PROJECT NO: 19-03104

SHEET NO:
A.1.4

WALL, FLOOR & CEILING STC RAITINGS		
ASSEMBLY	LOCATION	STC RATING
WALL - CONCRETE BLOCK 12"	STAIRWELLS	51 STC
WALL - DEMISING 2X4 W/ INSULATION	BETWEEN UNITS/USES	55 TO 59 STC
WALL - CMU BLOCK & BRICK /W FURRING W/ INSULATION	EXTERIOR	56 STC
WALL - 2X6 WOOD TRUSS, FIBERGLASS REINFORCED CONCRETE PANELS W/ INSULATION	EXTERIOR	ESTIMATED AROUND 56 STC
WALL - TYPICAL 2x4	ROOMS' INTERIOR	35 TO 39 STC
FLOOR/CEILING - COMMON HALLWAY ASSEMBLY	1ST TO 4TH FLOOR	60 TO 64 STC
FLOOR/CEILING - HALLWAY ASSEMBLY OVER COMMERCIAL	1ST & 2ND FLOOR	55 TO 59 STC
ROOF/CEILING TYPICAL	4TH FLOOR	53-56 STC
ROOF/CEILING COMMON HALLWAY	4TH FLOOR	37 STC



NORTH

ROOF PLAN
SCALE: 1/8"=1'-0"

#	REVISION	DATE	BY	DESCRIPTION
1		2/16/22	M.L.	CITY PERMIT DRAWINGS

CLIENT:
MHT HOUSING, INC.

BRUSH PARK APARTMENTS
269 WINDER STREET, DETROIT MI
SITE AREA: 39,501± SF OR 0.91± ACRES

ROOF PLAN

PROFESSIONAL ARCHITECTS
PROFESSIONAL ENGINEERS
PROFESSIONAL SURVEYORS
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STATE OF MICHIGAN
JEFFREY F. GRAHAM
ARCHITECT
No. 35132
LICENSED ARCHITECT

DRAWN BY:	SCALE:	DATE:	PROJECT NO:
JFG	1/8" = 1'-0"	12/09/2021	19-03104

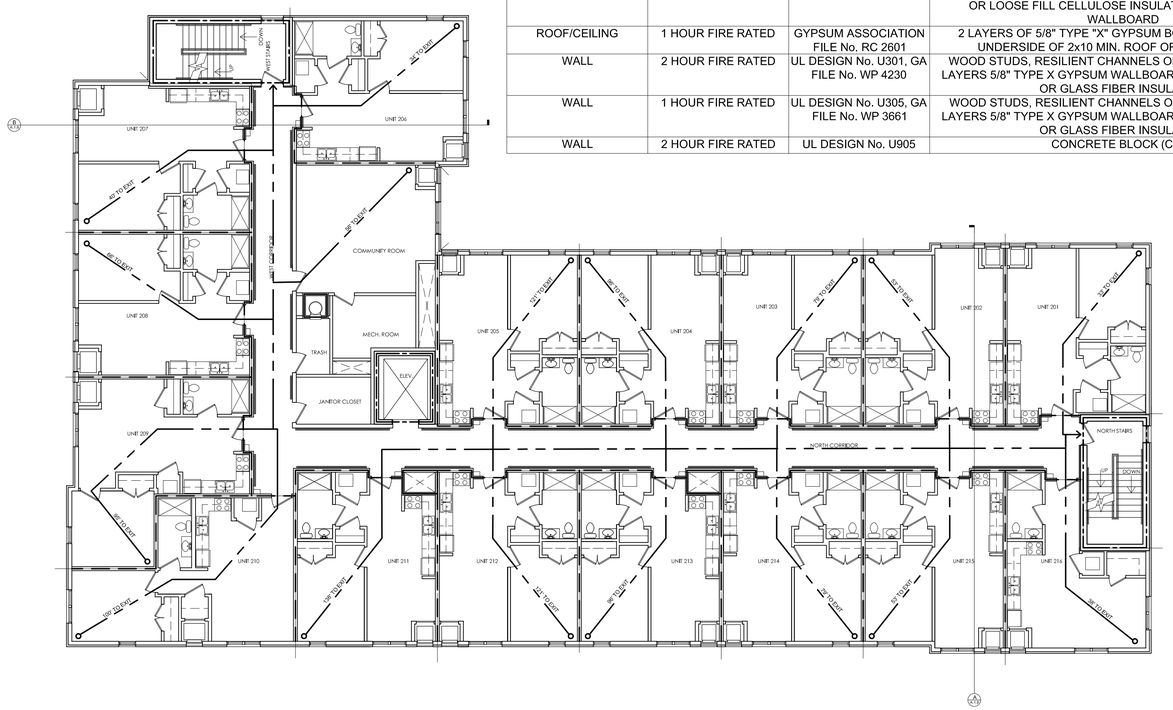
SHEET NO:
A.1.5

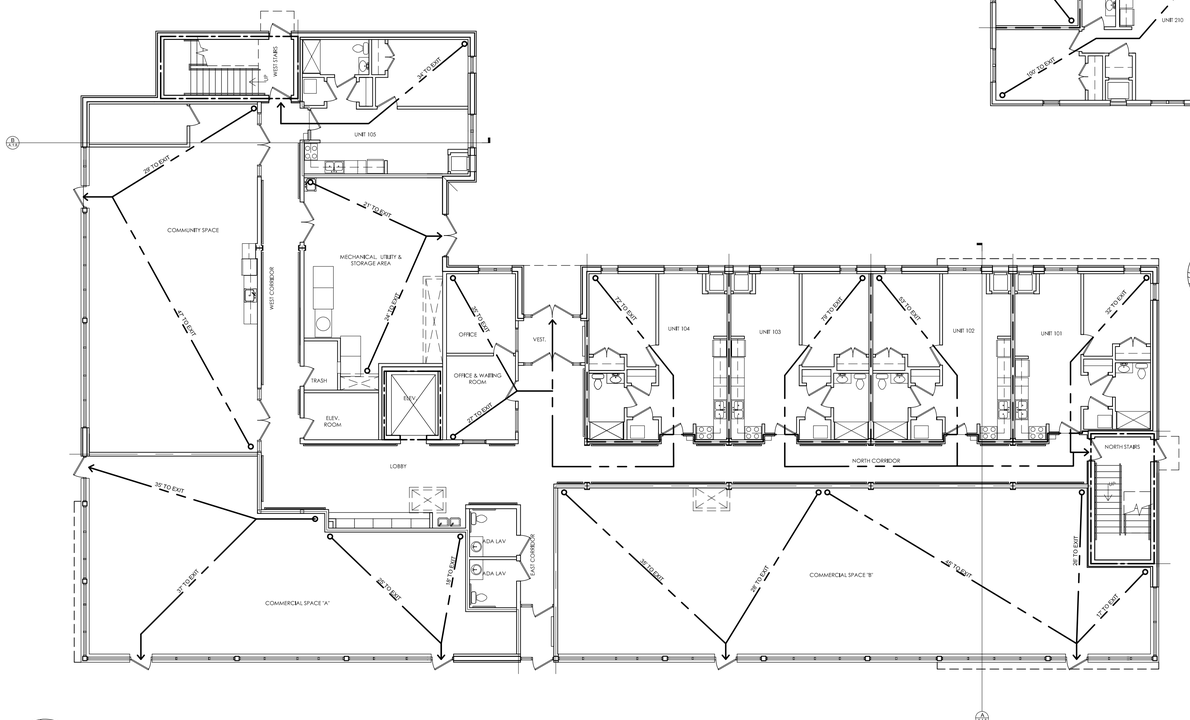
FIRE SEPARATION

BUSINESS CORRIDOR WALL		WALL	0 HOUR FIRE RATING WITH FIRE SUPPRESSION SYSTEM	MBC T. 1020.1
EXTERIOR WALL BASED ON FIRE SEPARATION DISTANCE	X<5'	WALL	1 HOUR FIRE RATING	MBC T. 602
INCIDENTAL USE AREA				
	MECHANICAL ROOM	WALL	1 HOUR FIRE RATING OR PROVIDE AUTOMATIC FIRE EXTINGUISHING SYSTEM & CONSTRUCTION CAPABLE OF RESISTING THE PASSAGE OF SMOKE.	MBC T. 509
INTERIOR EXIST STAIRWAY BARRIER		FIRE DOOR	1 1/2 HOUR FIRE RAITING	MBC T. 716.5
		WALL	2 HOUR FIRE RATING	MBC T. 707.3.10
HORIZONTAL ASSEMBLIES				
	SEPARATING DWELLING UNITS	FLOOR	1 HOUR FIRE RATING	MBC 711.2.4.3
	SEPARATING OCCUPANCIES	FLOOR	1 HOUR FIRE RATING WITH FIRE SUPPRESSION SYSTEM	MBC T.508.4
PARTITIONS				
	SEPARATING DWELLING UNITS	WALL	1 HOUR FIRE RATING	MBC 708
	SEPARATING TENANT SPACES	WALL	1 HOUR FIRE RATING	MBC 708
	SEPARATING ELEVATOR LOBBY	WALL	BUILDING IS PROTECTED BY AUTOMATIC FIRE SUPPRESSION SYSTEM: NOT REQUIRED	MBC 713.14.1
RESIDENTIAL CORRIDOR WALL		WALL	0.5 (30 MIN.) FIRE RATING WITH FIRE SUPPRESSION SYSTEM - REQUIRED 1 HOUR FIRE RATING PROVIDED	MBC T. 1020.1
SHAFT ENCLOSURE	4 STORIES OR MORE	WALL	2 HOUR FIRE RATING	MBC 713.4
		FIRE DOOR	1 1/2 HOUR FIRE RATING	MBC T.716.5

CONSTRUCTION DETAILS

STEEL COLUMN	1 HOUR FIRE RATED	UL DESIGN No. X528, GA FILE No. CM 1001	STEEL STUDS, GYPSUM WALL BOARD
FLOOR/CEILING	1 HOUR FIRE RATED	UL DESIGN No. L521, GA FILE No FC 5518	WOOD TRUSSES, WOOD STRUCTURAL PANELS, GYPSUM FLOOR TOPPING, RESILIENT CHANNELS, GLASS OR MINERAL FIBER BATT OR BLANKET INSULATION OR LOOSE FILL CELLULOSE INSULATION, CEILING DAMPER, GYPSUM WALLBOARD
FLOOR/CELING	1 HOUR FIRE RATED	UL DESIGN No. L569, GA FILE No. FC 5109	WOOD JOISTS, WOOD STRUCTURAL PANELS, GYPSUM FLOOR TOPPING, RESILIENT CHANNELS, GLASS OR MINERAL FIBER BATT OR LOOSE FILL INSULATION, CEILING DAMPER, GYPSUM WALLBOARD
ROOF/CEILING	1 HOUR FIRE RATED	UL DESIGN NO P522	WOOD ROOF TRUSSES, WOOD STRUCTURAL PANELS, RESILIENT CHANNELS, GLASS OR MINERAL FIBER BATT, BLANKET INSULATION OR LOOSE FILL CELLULOSE INSULATION AND GYPSUM WALLBOARD
ROOF/CEILING	1 HOUR FIRE RATED	GYPSUM ASSOCIATION FILE No. RC 2601	2 LAYERS OF 5/8" TYPE "X" GYPSUM BOARD ATTACHED TO UNDERSIDE OF 2x10 MIN. ROOF OR CEILING JOISTS
WALL	2 HOUR FIRE RATED	UL DESIGN No. U301, GA FILE No. WP 4230	WOOD STUDS, RESILIENT CHANNELS ONE SIDE (OPTIONAL), 2 LAYERS 5/8" TYPE X GYPSUM WALLBOARD EACH SIDE, MINERAL OR GLASS FIBER INSULATION
WALL	1 HOUR FIRE RATED	UL DESIGN No. U305, GA FILE No. WP 3661	WOOD STUDS, RESILIENT CHANNELS ONE SIDE (OPTIONAL), 1 LAYERS 5/8" TYPE X GYPSUM WALLBOARD EACH SIDE, MINERAL OR GLASS FIBER INSULATION
WALL	2 HOUR FIRE RATED	UL DESIGN No. U905	CONCRETE BLOCK (CMU)





NORTH

FIRST FLOOR LIFE SAFETY PLAN
SCALE:3/32"=1'-0"

NORTH

SECOND FLOOR LIFE SAFETY PLAN
SCALE:3/32"=1'-0"

LIFE SAFTEY KEY

1 HOUR FIRE RATED

2 HOUR FIRE RATED

TRAVEL PATH

STATE OF MICHIGAN
JEFFREY F. GRAHAM
ARCHITECT
No. 35132
LICENSED ARCHITECT

CITY PERMIT DRAWINGS

DESCRIPTION	BY	DATE	REVISION
	M.L.	2/16/22	#1

CLIENT:
MHT HOUSING, INC.

BRUSH PARK APARTMENTS
269 WINDER STREET, DETROIT MI
SITE AREA: 39,501± SF OR 0.91± ACRES

LIFE SAFETY PLANS

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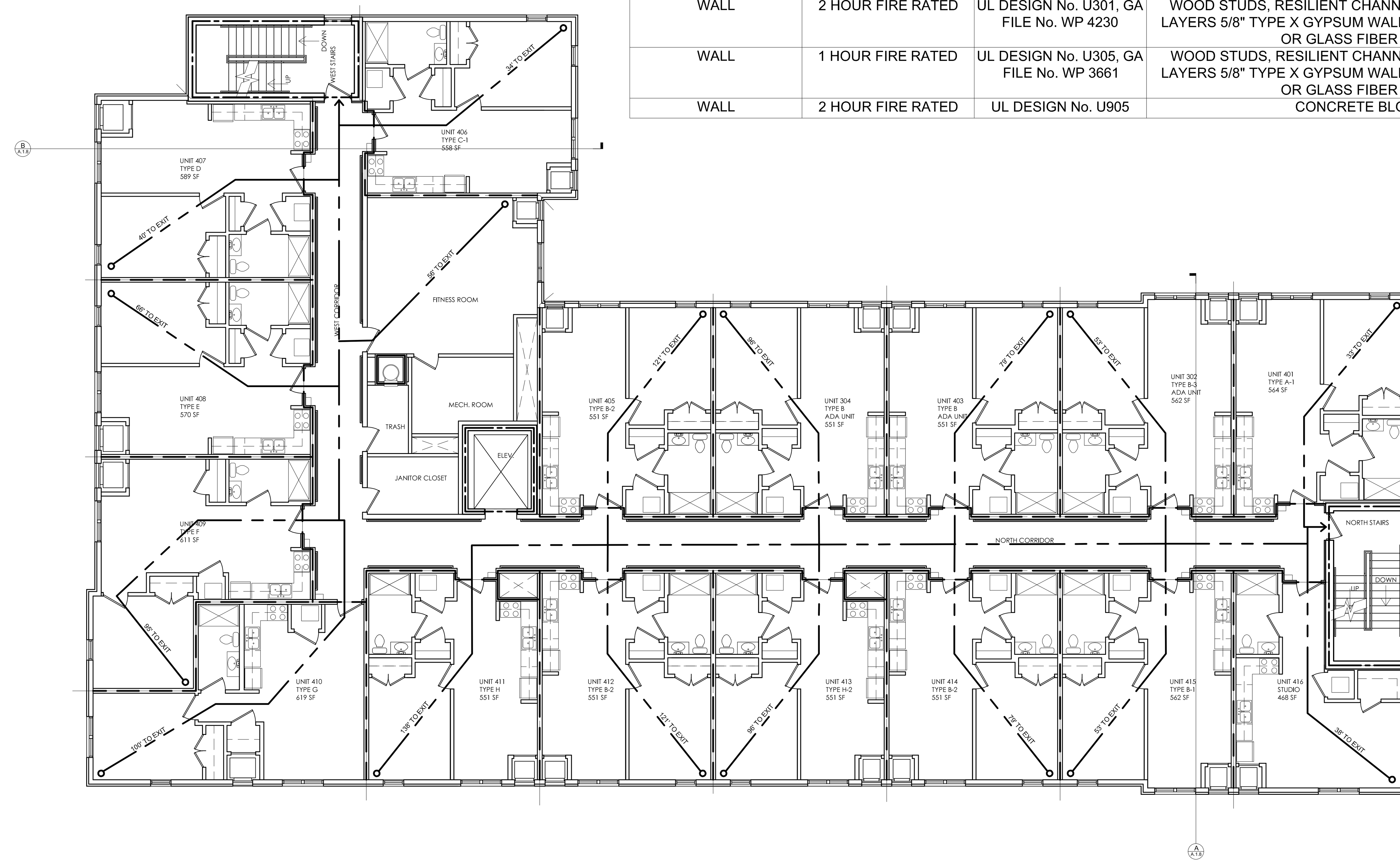
(TOLL FREE)

DRAWN BY:	SCALE:	DATE:	PROJECT NO:
JFG	3/32" = 1'-0"	12/09/2021	19-03104

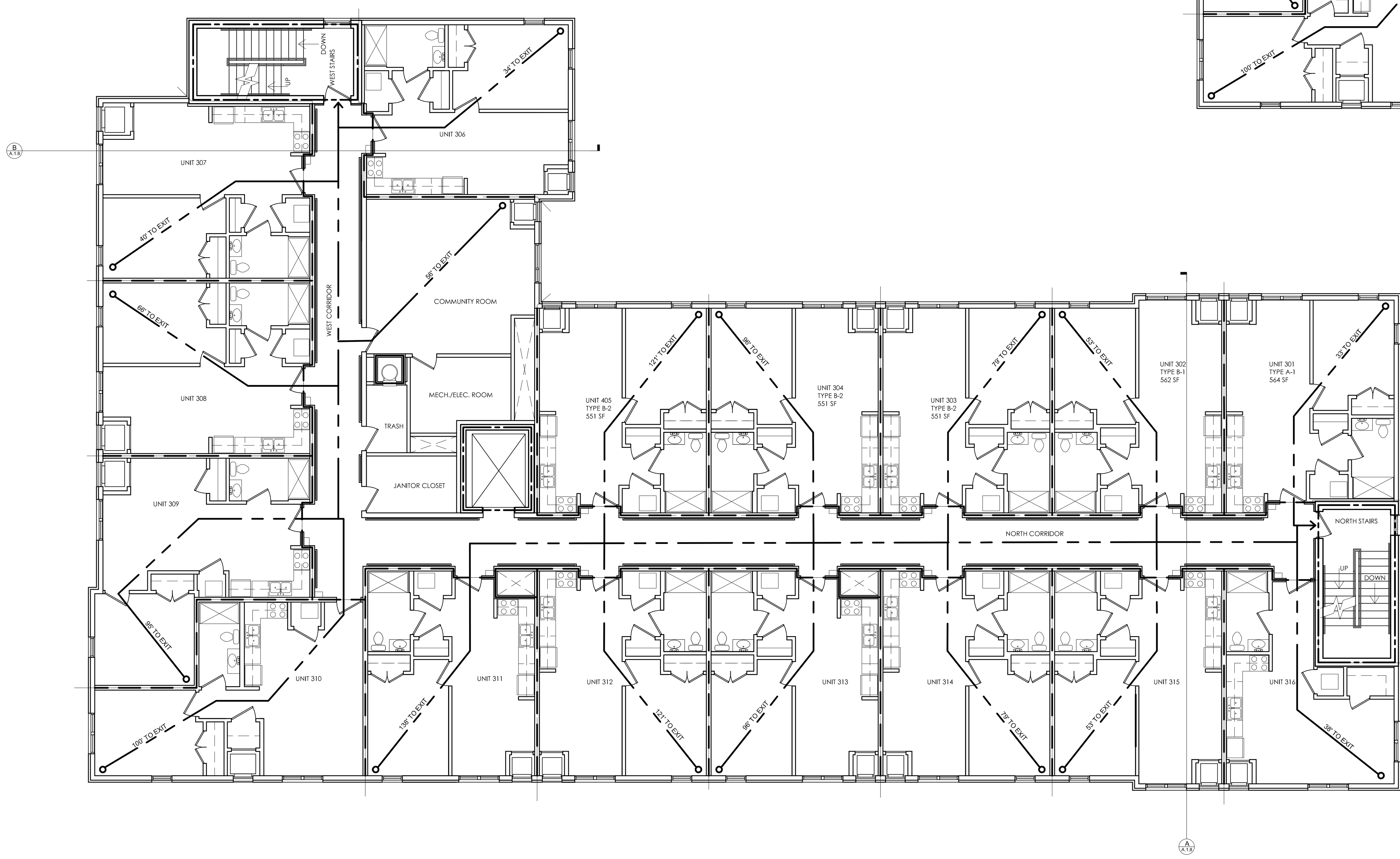
SHEET NO:
A.1.6

FIRE SEPARATION				
BUSINESS CORRIDOR WALL		WALL	0 HOUR FIRE RATING WITH FIRE SUPPRESSION SYSTEM	MBC T. 1020.1
EXTERIOR WALL BASED ON FIRE SEPARATION DISTANCE	X<5'	WALL	1 HOUR FIRE RATING	MBC T. 602
INCIDENTAL USE AREA				
	MECHANICAL ROOM	WALL	1 HOUR FIRE RATING OR PROVIDE AUTOMATIC FIRE EXTINGUISHING SYSTEM & CONSTRUCTION CAPABLE OF RESISTING THE PASSAGE OF SMOKE.	MBC T. 509
INTERIOR EXIST STAIRWAY BARRIER		FIRE DOOR	1 1/2 HOUR FIRE RAITING	MBC T. 716.5
		WALL	2 HOUR FIRE RATING	MBC T. 707.3.10
HORIZONTAL ASSEMBLIES				
	SEPARATING DWELLING UNITS	FLOOR	1 HOUR FIRE RATING	MBC 711.2.4.3
	SEPARATING OCCUPANCIES	FLOOR	1 HOUR FIRE RATING WITH FIRE SUPPRESSION SYSTEM	MBC T.508.4
PARTITIONS				
	SEPARATING DWELLING UNITS	WALL	1 HOUR FIRE RATING	MBC 708
	SEPARATING TENANT SPACES	WALL	1 HOUR FIRE RATING	MBC 708
	SEPARATING ELEVATOR LOBBY	WALL	BUILDING IS PROTECTED BY AUTOMATIC FIRE SUPPRESSION SYSTEM: NOT REQUIRED	MBC 713.14.1
RESIDENTIAL CORRIDOR WALL		WALL	0.5 (30 MIN.) FIRE RATING WITH FIRE SUPPRESSION SYSTEM - REQUIRED 1 HOUR FIRE RATING PROVIDED	MBC T. 1020.1
SHAFT ENCLOSURE	4 STORIES OR MORE	WALL	2 HOUR FIRE RATING	MBC 713.4
		FIRE DOOR	1 1/2 HOUR FIRE RATING	MBC T.716.5

CONSTRUCTION DETAILS			
STEEL COLUMN	1 HOUR FIRE RATED	UL DESIGN No. X528, GA FILE No. CM 1001	STEEL STUDS, GYPSUM WALL BOARD
FLOOR/CEILING	1 HOUR FIRE RATED	UL DESIGN No. L521, GA FILE No FC 5518	WOOD TRUSSES, WOOD STRUCTURAL PANELS, GYPSUM FLOOR TOPPING, RESILIENT CHANNELS, GLASS OR MINERAL FIBER BATT OR BLANKET INSULATION OR LOOSE FILL CELLULOSE INSULATION, CEILING DAMPER, GYPSUM WALLBOARD
FLOOR/CELING	1 HOUR FIRE RATED	UL DESIGN No. L569, GA FILE No. FC 5109	WOOD JOISTS, WOOD STRUCTURAL PANELS, GYPSUM FLOOR TOPPING, RESILIENT CHANNELS, GLASS OR MINERAL FIBER BATT OR LOOSE FILL INSULATION, CEILING DAMPER, GYPSUM WALLBOARD
ROOF/CEILING	1 HOUR FIRE RATED	UL DESIGN NO P522	WOOD ROOF TRUSSES, WOOD STRUCTURAL PANELS, RESILIENT CHANNELS, GLASS OR MINERAL FIBER BATT, BLANKET INSULATION OR LOOSE FILL CELLULOSE INSULATION AND GYPSUM WALLBOARD
ROOF/CEILING	1 HOUR FIRE RATED	GYPSUM ASSOCIATION FILE No. RC 2601	2 LAYERS OF 5/8" TYPE "X" GYPSUM BOARD ATTACHED TO UNDERSIDE OF 2x10 MIN. ROOF OR CEILING JOISTS
WALL	2 HOUR FIRE RATED	UL DESIGN No. U301, GA FILE No. WP 4230	WOOD STUDS, RESILIENT CHANNELS ONE SIDE (OPTIONAL), 2 LAYERS 5/8" TYPE X GYPSUM WALLBOARD EACH SIDE, MINERAL OR GLASS FIBER INSULATION
WALL	1 HOUR FIRE RATED	UL DESIGN No. U305, GA FILE No. WP 3661	WOOD STUDS, RESILIENT CHANNELS ONE SIDE (OPTIONAL), 1 LAYERS 5/8" TYPE X GYPSUM WALLBOARD EACH SIDE, MINERAL OR GLASS FIBER INSULATION
WALL	2 HOUR FIRE RATED	UL DESIGN No. U905	CONCRETE BLOCK (CMU)



FOURTH FLOOR LIFE SAFETY PLAN
SCALE:3/32"=1'-0"



THIRD FLOOR LIFE SAFETY PLAN
SCALE:3/32"=1'-0"

LIFE SAFTEY KEY

1 HOUR FIRE RATED — — — — —

2 HOUR FIRE RATED ——— – ———

TRAVEL PATH ——— – – ———

REVISION	DATE	BY	DESCRIPTION
#1	2/16/22	M.L.	CITY PERMIT DRAWINGS

CLIENT: MHT HOUSING, INC.

BRUSH PARK APARTMENTS
269 WINDER STREET, DETROIT MI
SITE AREA: 39,501± SF OR 0.91± ACRES

LIFE SAFETY PLANS

KEM-TEC & ASSOCIATES
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STATE OF MICHIGAN JEFFREY F. GRAHAM ARCHITECT No. 35132 LICENSED ARCHITECT

DRAWN BY: JFG
SCALE: 3/32" = 1'-0"
DATE: 12/09/2021
PROJECT NO: 19-03104

SHEET NO: A.1.7

CONSTRUCTION DETAILS			
STEEL COLUMN	1 HOUR FIRE RATED	UL DESIGN No. X528, GA FILE No. CM 1001	STEEL STUDS, GYPSUM WALL BOARD
FLOOR/CEILING	1 HOUR FIRE RATED	UL DESIGN No. L521, GA FILE No FC 5518	WOOD TRUSSES, WOOD STRUCTURAL PANELS, GYPSUM FLOOR TOPPING, RESILIENT CHANNELS, GLASS OR MINERAL FIBER BATT OR BLANKET INSULATION OR LOOSE FILL CELLULOSE INSULATION, CEILING DAMPER, GYPSUM WALLBOARD
FLOOR/CELING	1 HOUR FIRE RATED	UL DESIGN No. L569, GA FILE No. FC 5109	WOOD JOISTS, WOOD STRUCTURAL PANELS, GYPSUM FLOOR TOPPING, RESILIENT CHANNELS, GLASS OR MINERAL FIBER BATT OR LOOSE FILL INSULATION, CEILING DAMPER, GYPSUM WALLBOARD
ROOF/CEILING	1 HOUR FIRE RATED	UL DESIGN NO P522	WOOD ROOF TRUSSES, WOOD STRUCTURAL PANELS, RESILIENT CHANNELS, GLASS OR MINERAL FIBER BATT, BLANKET INSULATION OR LOOSE FILL CELLULOSE INSULATION AND GYPSUM WALLBOARD
ROOF/CEILING	1 HOUR FIRE RATED	GYPSUM ASSOCIATION FILE No. RC 2601	2 LAYERS OF 5/8" TYPE "X" GYPSUM BOARD ATTACHED TO UNDERSIDE OF 2x10 MIN. ROOF OR CEILING JOISTS
WALL	2 HOUR FIRE RATED	UL DESIGN No. U301, GA FILE No. WP 4230	WOOD STUDS, RESILIENT CHANNELS ONE SIDE (OPTIONAL), 2 LAYERS 5/8" TYPE X GYPSUM WALLBOARD EACH SIDE, MINERAL OR GLASS FIBER INSULATION
WALL	1 HOUR FIRE RATED	UL DESIGN No. U305, GA FILE No. WP 3661	WOOD STUDS, RESILIENT CHANNELS ONE SIDE (OPTIONAL), 1 LAYERS 5/8" TYPE X GYPSUM WALLBOARD EACH SIDE, MINERAL OR GLASS FIBER INSULATION
WALL	2 HOUR FIRE RATED	UL DESIGN No. U905	CONCRETE BLOCK (CMU)

FIRE SEPARATION				
BUSINESS CORRIDOR WALL		WALL	0 HOUR FIRE RATING WITH FIRE SUPPRESSION SYSTEM	MBC T. 1020.1
EXTERIOR WALL BASED ON FIRE SEPARATION DISTANCE	X<5'	WALL	1 HOUR FIRE RATING	MBC T. 602
INCIDENTAL USE AREA				
	MECHANICAL ROOM	WALL	1 HOUR FIRE RATING OR PROVIDE AUTOMATIC FIRE EXTINGUISHING SYSTEM & CONSTRUCTION CAPABLE OF RESISTING THE PASSAGE OF SMOKE.	MBC T. 509
INTERIOR EXIST STAIRWAY BARRIER		FIRE DOOR	1 1/2 HOUR FIRE RAITING	MBC T. 716.5
		WALL	2 HOUR FIRE RATING	MBC T. 707.3.10
HORIZONTAL ASSEMBLIES				
	SEPARATING DWELLING UNITS	FLOOR	1 HOUR FIRE RATING	MBC 711.2.4.3
	SEPARATING OCCUPANCIES	FLOOR	1 HOUR FIRE RATING WITH FIRE SUPPRESSION SYSTEM	MBC T.508.4
PARTITIONS				
	SEPARATING DWELLING UNITS	WALL	1 HOUR FIRE RATING	MBC 708
	SEPARATING TENANT SPACES	WALL	1 HOUR FIRE RATING	MBC 708
	SEPARATING ELEVATOR LOBBY	WALL	BUILDING IS PROTECTED BY AUTOMATIC FIRE SUPPRESSION SYSTEM: NOT REQUIRED	MBC 713.14.1
RESIDENTIAL CORRIDOR WALL		WALL	0.5 (30 MIN.) FIRE RATING WITH FIRE SUPPRESSION SYSTEM - REQUIRED 1 HOUR FIRE RATING PROVIDED	MBC T. 1020.1
SHAFT ENCLOSURE	4 STORIES OR MORE	WALL	2 HOUR FIRE RATING	MBC 713.4
		FIRE DOOR	1 1/2 HOUR FIRE RATING	MBC T.716.5

LIFE SAFTEY KEY

1 HOUR FIRE RATED – — — — —

A LIFE SAFTY BUILDING SECTION
SCALE:3/16"=1'-0"

B LIFE SAFTY BUILDING SECTION
SCALE:3/16"=1'-0"

STATE OF MICHIGAN
JEFFREY F. GRAHAM
ARCHITECT
No. 35132
LICENSED ARCHITECT

CITY PERMIT DRAWINGS

#	REVISION	DATE	BY
1		2/16/22	M.L.

CLIENT: MHT HOUSING, INC.

BRUSH PARK APARTMENTS
269 WINDER STREET, DETROIT MI.
SITE AREA: 39,501± SF OR 0.91± ACRES

LIFE SAFETY BUILDING SECTION

PROFESSIONAL ARCHITECTS
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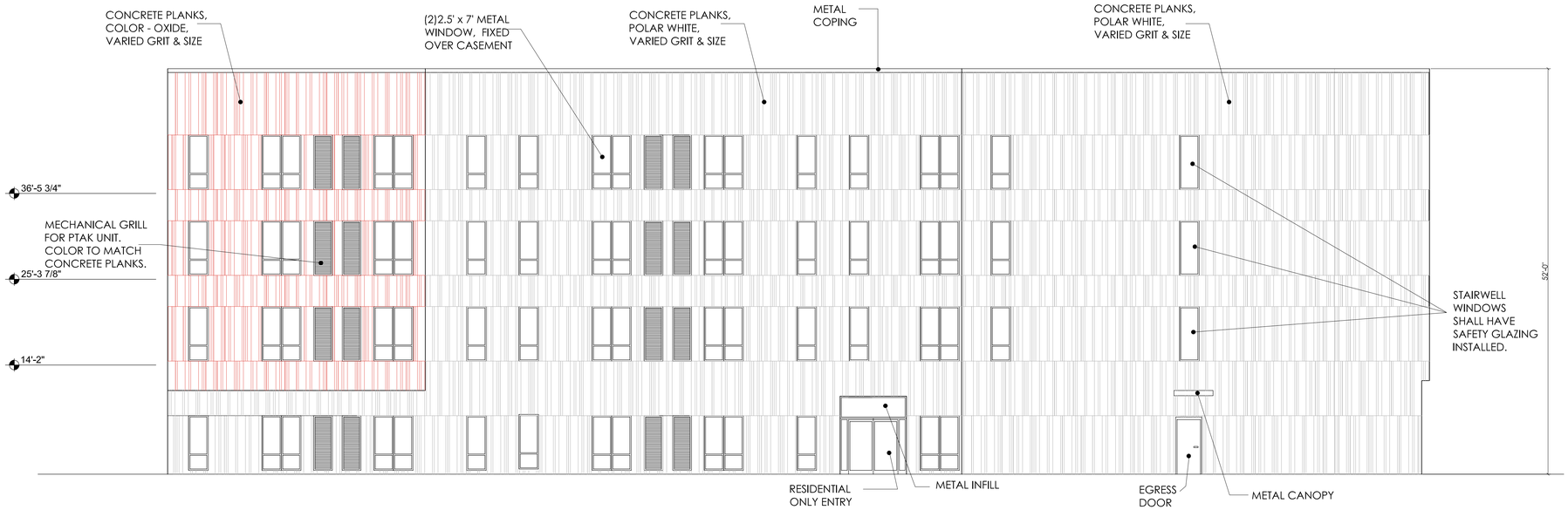
DRAWN BY:	SCALE:	DATE:	PROJECT NO:
JFG	3/16" = 1'-0"	12/09/2021	19-03104

SHEET NO:
A.1.8



WEST ELEVATION

SCALE:1/8"=1'-0"

EAST ELEVATION

SCALE:1/8"=1'-0"

CITY PERMIT DRAWINGS

DESCRIPTION	BY	DATE	REVISION
	M.L.	2/16/22	#1

CLIENT: MHT HOUSING, INC.

BRUSH PARK APARTMENTS

269 WINDER STREET, DETROIT MI
SITE AREA: 39,501± SF OR 0.91± ACRES

EXTERIOR ELEVATIONS
EAST & WEST

PROFESSIONAL ARCHITECTS
PROFESSIONAL ENGINEERS
PROFESSIONAL SURVEYORS
22556 GRATIOT AVENUE
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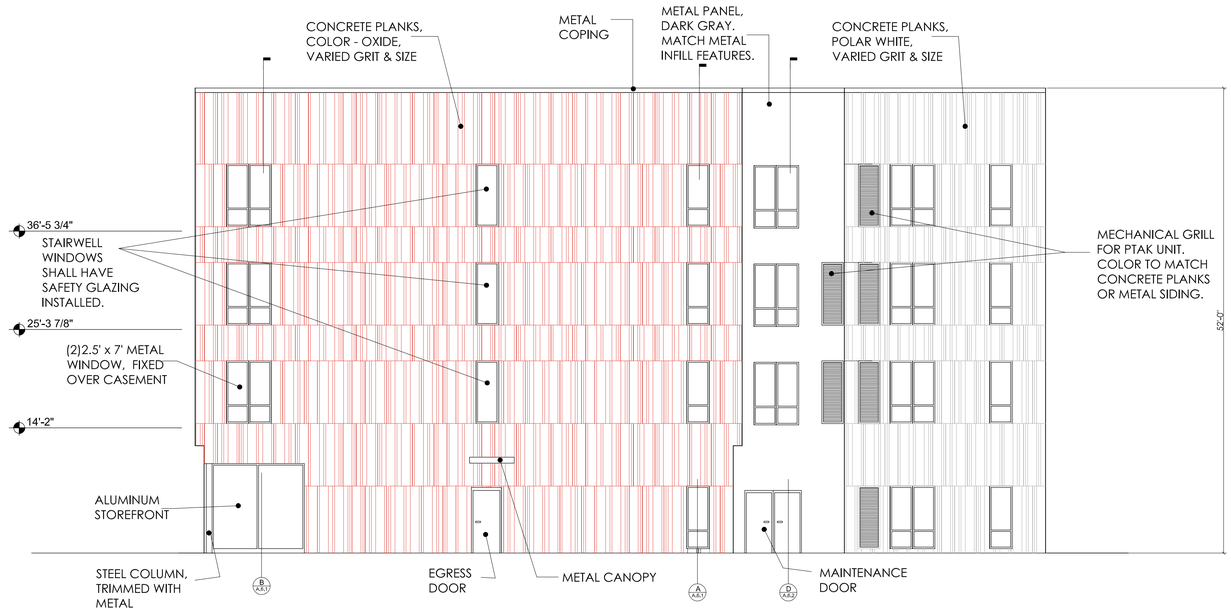
STATE OF MICHIGAN
JEFFREY F. GRAHAM
ARCHITECT
No. 35132
LICENSED ARCHITECT

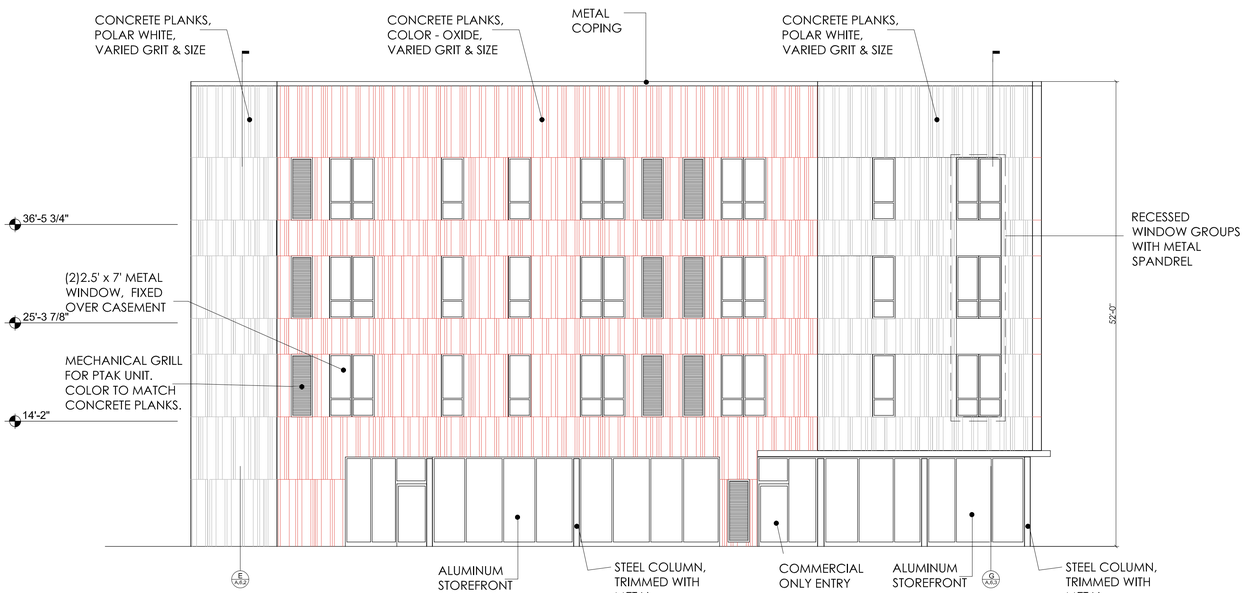
DRAWN BY: JFG
SCALE: 3/32" = 1'-0"
DATE: 12/09/2021
PROJECT NO: 19-03104

SHEET NO:
A.2.1



NORTH ELEVATION

SCALE:1/8"=1'-0"



SOUTH ELEVATION

SCALE:1/8"=1'-0"

CITY PERMIT DRAWINGS

#	REVISION	DATE	BY	DESCRIPTION
1		2/16/22	M.L.	

CLIENT: MHT HOUSING, INC.

BRUSH PARK APARTMENTS

269 WINDER STREET, DETROIT MI.
SITE AREA: 39,501± SF OR 0.91± ACRES

EXTERIOR ELEVATIONS
NORTH & SOUTH

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LICENSED ARCHITECT

DRAWN BY:	SCALE:	DATE:	PROJECT NO:
JFG	3/32" = 1'-0"	12/09/2021	19-03104

SHEET NO:

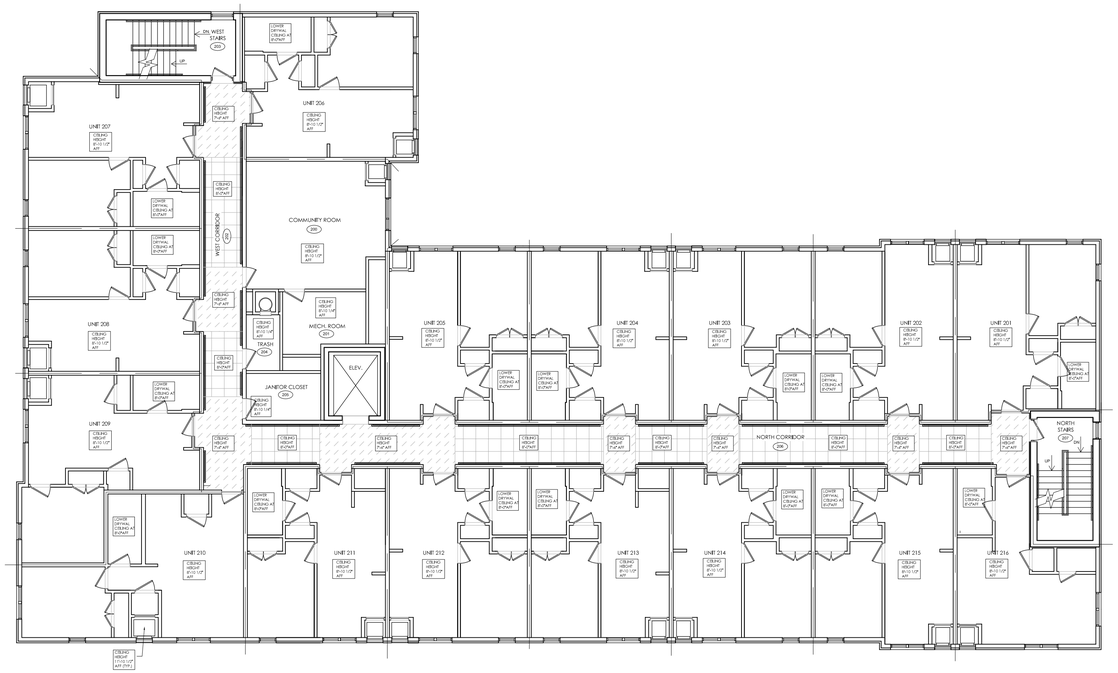
A.2.2

FINISH CEILING LEGEND

ACT: ACOUSTICAL CEILING TILE

DC: DRYWALL CEILING

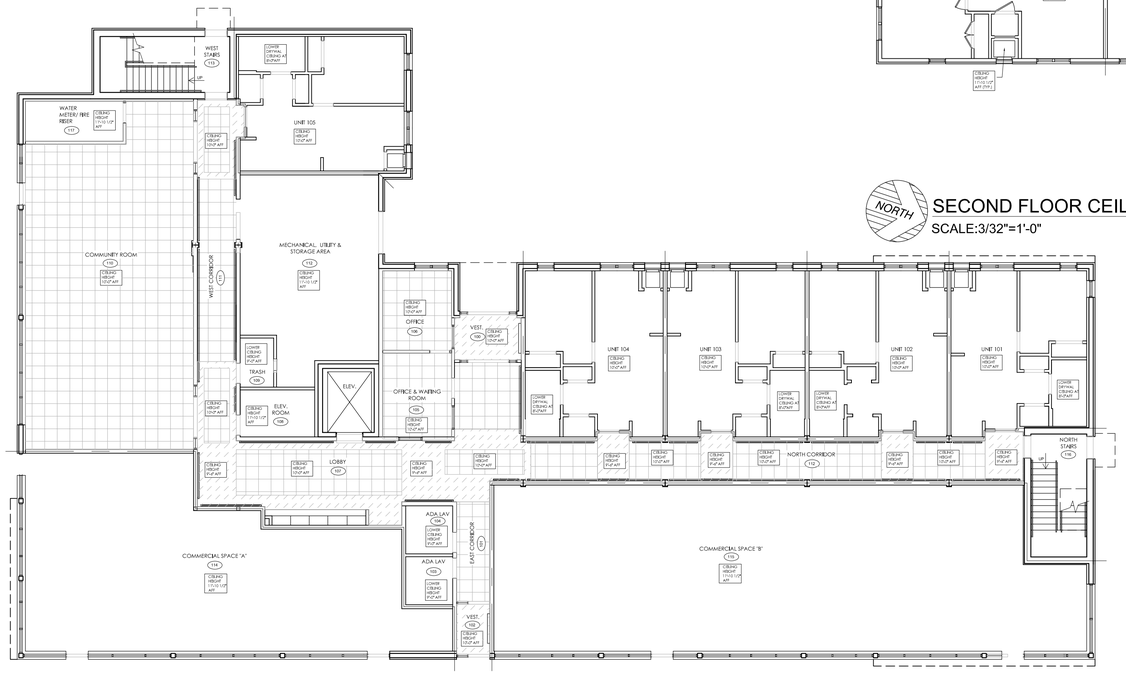
DCS: DRYWALL CEILING SOFFIT



NORTH

SECOND FLOOR CEILING FINISH PLAN

SCALE:3/32"=1'-0"



NORTH

FIRST FLOOR CEILING FINISH PLAN

SCALE:3/32"=1'-0"

#	REVISION	DATE	BY	DESCRIPTION
				CITY PERMIT DRAWINGS
#1		2/16/22	M.L.	

CLIENT: MHT HOUSING, INC.

BRUSH PARK APARTMENTS

269 WINDER STREET, DETROIT MI
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CEILING FINISH PLAN
FIRST & SECOND

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LICENSED ARCHITECT

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SCALE: 3/32" = 1'-0"
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PROJECT NO: 19-03104

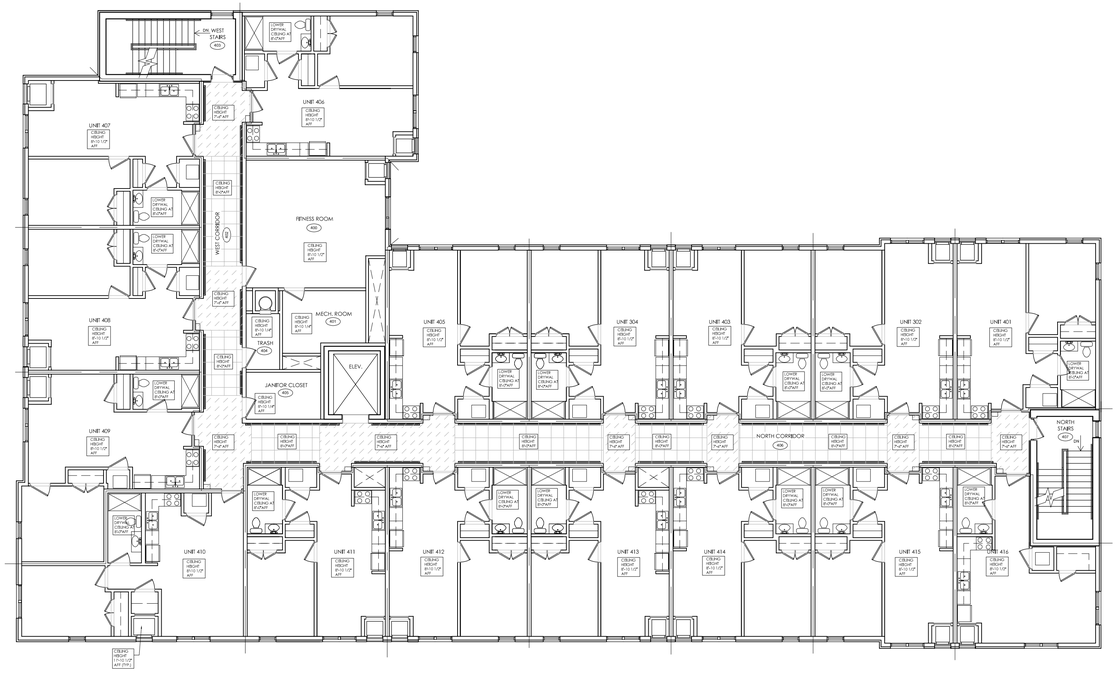
SHEET NO: A.3.1

FINISH CEILING LEGEND

ACT: ACOUSTICAL CEILING TILE

DC: DRYWALL CEILING

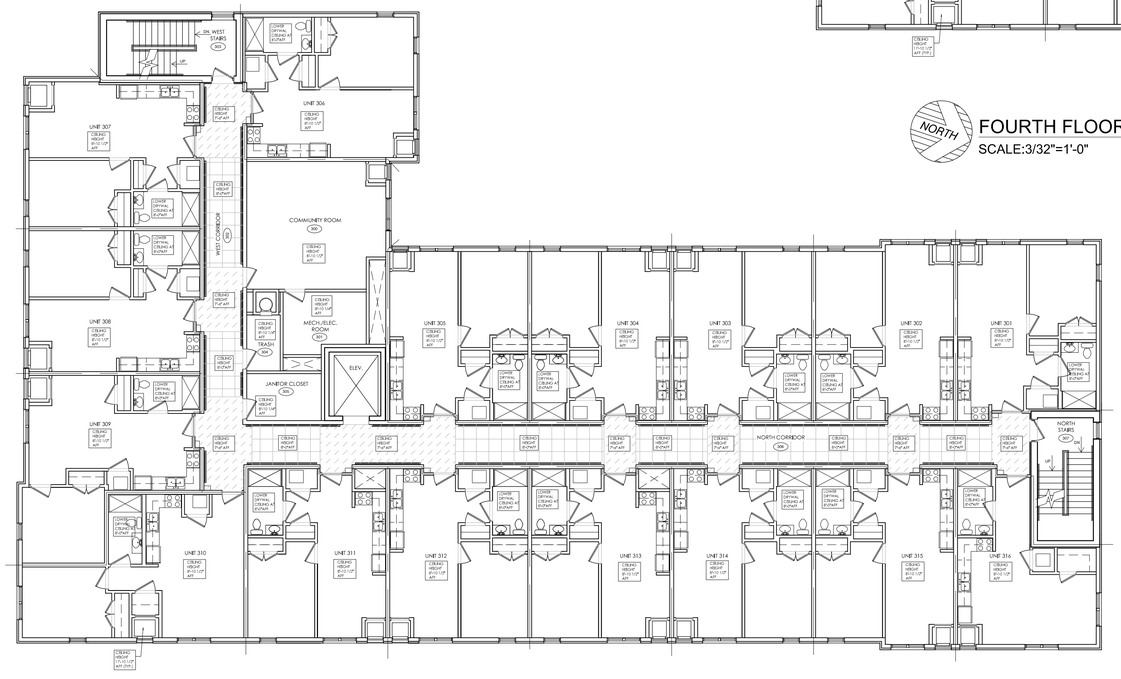
DCS: DRYWALL CEILING SOFFIT



NORTH

FOURTH FLOOR CEILING FINISH PLAN

SCALE:3/32"=1'-0"



NORTH

THIRD FLOOR CEILING FINISH PLAN

SCALE:3/32"=1'-0"

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CLIENT: MHT HOUSING, INC.

BRUSH PARK APARTMENTS

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CEILING FINISH PLAN
THIRD & FOURTH

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DATE: 12/09/2021
PROJECT NO: 19-03104

SHEET NO:
A.3.2

FINISH FLOOR LEGEND

CT: COMMERCIAL CERAMIC TILE

LVT: LUXURY VINYL TILE

CPT-1: ROLL GOODS CARPET FOR APARTMENT UNITS

CPT-2: MODULAR CARPET FOR COMMUNITY AREAS

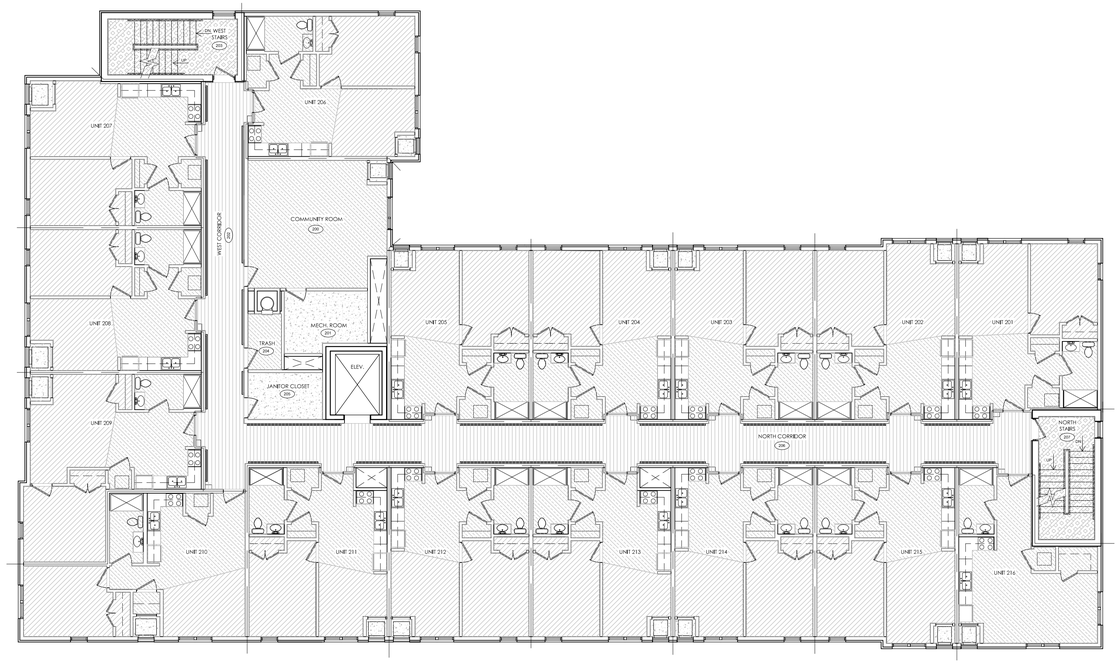
CPT-3: ROLL GOODS CARPET FOR STAIRWELLS

C-1: EXPOSED CONCRETE

C-2: SEALED CONCRETE

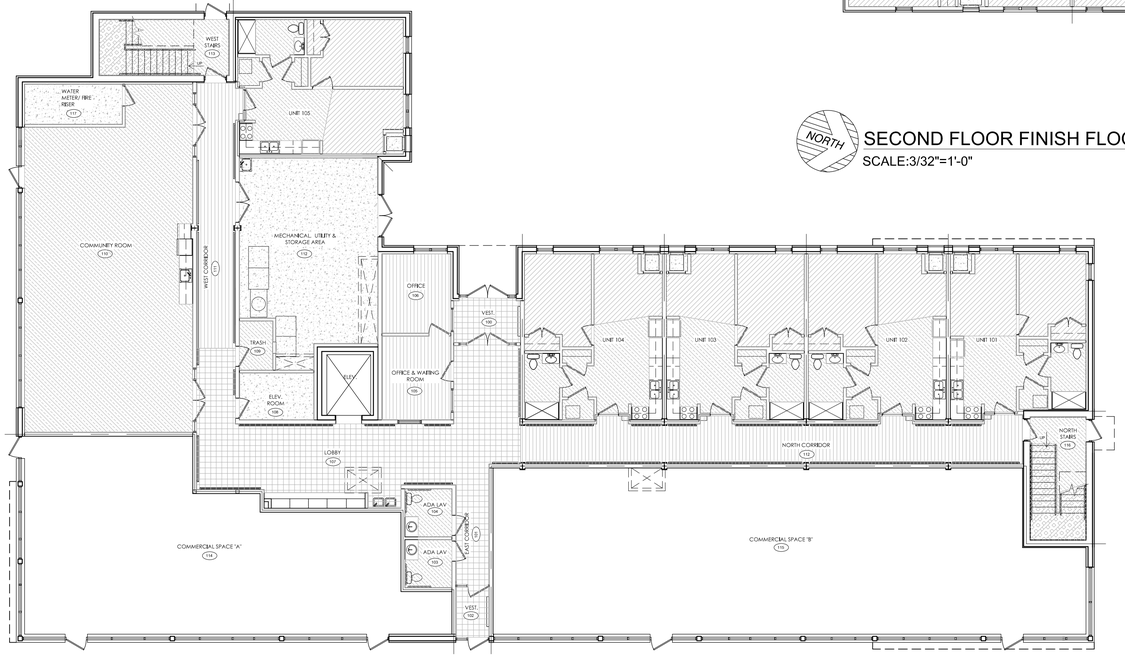
NOTES

- CONTRACTOR/OWNER IS ALLOWED TO SUBSTITUTE THE CARPET IN THE UNITS FOR LVT FLOORING WITH THE ARCHITECT'S APPROVAL.



SECOND FLOOR FINISH FLOOR PLAN

SCALE:3/32"=1'-0"



FIRST FLOOR FINISH FLOOR PLAN

SCALE:3/32"=1'-0"

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BRUSH PARK APARTMENTS

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FINISHED FLOOR PLANS
FIRST & SECOND

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STATE OF MICHIGAN
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ARCHITECT
No. 35132
LICENSED ARCHITECT

DRAWN BY:	SCALE:	DATE:	PROJECT NO:
JFG	3/32" = 1'-0"	12/09/2021	19-03104

SHEET NO:

A.3.3

FINISH FLOOR LEGEND

CT: COMMERCIAL CERAMIC TILE

LVT: LUXURY VINYL TILE

CPT-1: ROLL GOODS CARPET FOR APARTMENT UNITS

CPT-2: MODULAR CARPET FOR COMMUNITY AREAS

CPT-3: ROLL GOODS CARPET FOR STAIRWELLS

C-1: EXPOSED CONCRETE

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NOTES

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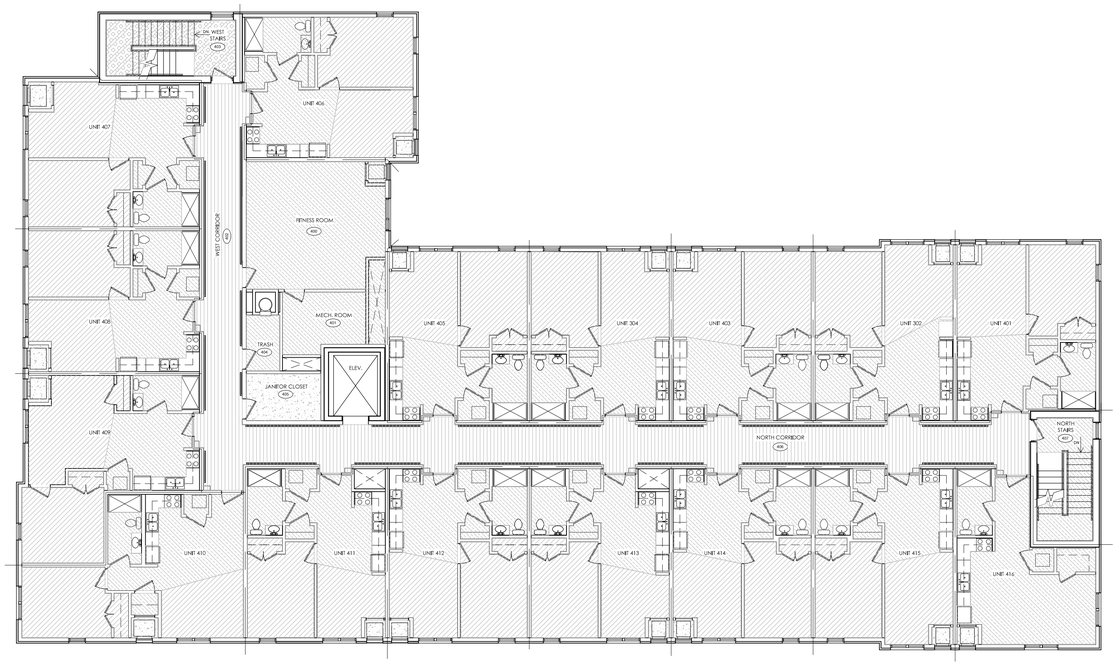
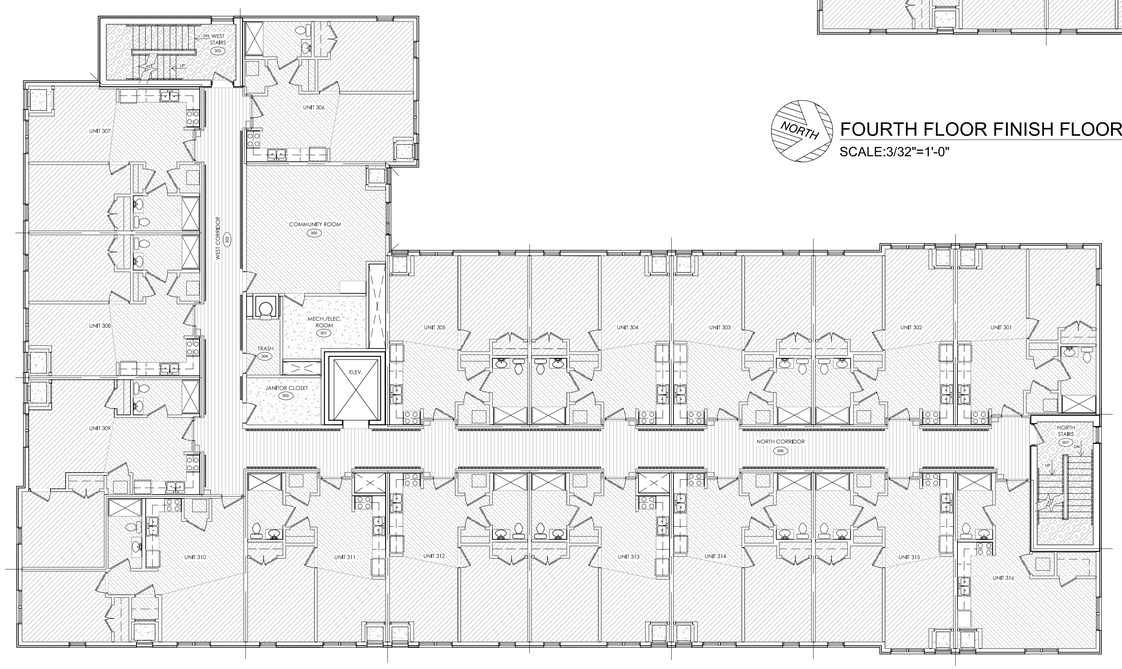


NORTH

FOURTH FLOOR FINISH FLOOR PLAN

SCALE:3/32"=1'-0"



NORTH

THIRD FLOOR FINISH FLOOR PLAN

SCALE:3/32"=1'-0"

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BRUSH PARK APARTMENTS

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FINISHED FLOOR PLANS
THIRD & FOURTH

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DATE: 12/09/2021
PROJECT NO: 19-03104

SHEET NO: A.3.4

ROOM FINISH SCHEDULE

TYPICAL UNITS	FLOORING	BASE	WALLS	CEILING	COMMENTS
ENTRY	LVT	WB-2	P-1	P-3	
KITCHEN	LVT	WB-2	P-1	P-3	
LIVING ROOM/HALL	CP-1	WB-2	P-1	P-3	
LAUNDRY	LVT	WB-1	P-1	P-3	
CLOSETS	CP-1	WB-2	P-1	P-3	
BEDROOMS	CP-1	WB-1	P-1	P-3	
BATHROOM	LVT	WB-2	P-1	P-3	
PTACK ROOM	SEALED CONCRETE		P-1	P-3	CONTRACTOR/CLIENT'S CHOICE ON SEALANT
1ST FLOOR	FLOORING	BASE	WALLS	CEILING	COMMENTS
VESTIBULES	PC-T	WB-2	P-4	P-3	
LOBBY	PC-T	WB-2	P-4	SEE 3.1 & 3.2	
ADA BATH - MALE	LVT	WB-1	P-2	P-3	
ADA BATH - FEMALE	LVT	WB-1	P-2	P-3	
WAITING ROOM	LVT	WB-2	P-2	P-3	
OFFICE	LVD	WB-2	P-2	P-3	
ELEV. ROOM	SEALED CONCRETE	WB-1	P-2	P-3	CONTRACTOR/CLIENT'S CHOICE ON SEALANT
COMMUNITY ROOM	LVT	WB-2	P-2	ACT	
TRASH ROOM	LVT	WB-2	P-2	P-3	
MECHANICAL/UTILITY	SEALED CONCRETE	WB-1	P-2	P-3	CONTRACTOR/CLIENT'S CHOICE ON SEALANT
TYPICAL HALLWAY	LVT	WB-2	P-2	SEE 3.1 & 3.2	
STAIRWELLS	LVT	WB-2	P-2	P-3	CARPET TILE ON STEPS ONLY. LVT ON GROUND FLOOR
COMMERCIAL SPACE	EXPOSED CONCRETE		PRIMED	PRIMED	CONTRACTOR/CLIENT'S CHOICE ON SEALANT
TYPICAL FLOOR	FLOORING	BASE	WALLS	CEILING	COMMENTS
TENANT	LVT	WB-2	P-2	P-3	
TYPICAL HALLWAY	CP-2	WB-2	P-2	SEE 3.1 & 3.2	
STAIRWELLS	CP-3	WB-2	P-2	P-3	
STORAGE ROOM	SEALED CONCRETE	WB-1	P-2	P-3	CONTRACTOR/CLIENT'S CHOICE ON SEALANT
TRASH ROOMS	LVT	WB-2	P-2	P-3	
MECH. & ELEC. ROOM	SEALED CONCRETE	WB-1	P-2	P-3	CONTRACTOR/CLIENT'S CHOICE ON SEALANT
ELEVATOR	SEE MANUFACTURE				

FINISH LEGEND

CODE	MATERIALS	MANUFACTURER	INFO	COMMENTS
ACT	ACCOUSTICAL CEILING TILE	CONTRACTOR/OWNER CHOICE	WHITE WITH WHITE GRID	2x4 GRID OR 2x4 SIMULATED 2x2
CP-1	CARPET ROLLED	SHAW FLOORS	ARTISTIC PRESENCE - 743 SANDSTONE	UNIT CARPET
CP-2	CARPET TILE	EF CONTRACT	SIMPLE WEAVE (SPW) - BLACK SELVEDGE SPW58 (18x36)	HALLWAY CARPET - ALL TILES TO GO IN THE SAME DIRECTION
CP-3	CARPET ROLLED	EF CONTRACT	SIMPLE WEAVE (SPW) - BLACK SELVEDGE SPW58	STAIRWELL CARPET
LVT	LUXURY VINYL TILE	ARMSTRONG FLOORING	PLATINUM U5040	1ST FLOOR FLOORING, COMMON AREAS & UNIT FLOORING
PC-T	PORCELAIN TILE	SHAW FLOORS	SCULPTURE 12x24 - 590 ANTHRACITE	VESTIBULES AND LOBBY FLOORING
P-1	PAINT	SHERWIN-WILLIAMS	GREEK VILLA - SW 7551	UNIT PAINT
P-2	PAINT	SHERWIN-WILLIAMS	ICE CUBE - SW 6252	COMMON AREA PAINT
P-3	PAINT	SHERWIN-WILLIAMS	EXTRA WHITE - SW 7006	CEILING PAINT
P-4	PAINT	SHERWIN-WILLIAMS	SEA SALT - SW 6204	VESTIBULES & LOBBY PAINT
SEALED CONCRETE	SEALED CONCRETE	CONTRACTOR/OWNER CHOICE		
EXPOSED CONCRETE	EXPOSED COCRETE	CONTRACTOR/OWNER CHOICE		
WB-1	RUBBER WALL BASE	CONTRACTOR/OWNER CHOICE	COLOR TO COMPLIMENT FLOORING	
WB-2	WOOD WALL BASE	CONTRACTOR/OWNER CHOICE		$\frac{1}{2}$" THICK WITH $\frac{1}{4}$" ROUND AT BASE

CITY PERMIT DRAWINGS

#	REVISION	DATE	BY	DESCRIPTION
1		2/16/22	M.L.	

CLIENT: *MHT HOUSING, INC.*

BRUSH PARK APARTMENTS

269 WINDER STREET, DETROIT MI
SITE AREA: 39,501± SF OR 0.91± ACRES

ROOM FINISH SCHEDULE & NOTES

PROFESSIONAL ARCHITECTS
PROFESSIONAL ENGINEERS
PROFESSIONAL SURVEYORS
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KEM-TEC & ASSOCIATES

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SHEET NO:
A.4.1

A BUILDING SECTION
SCALE:3/8"=1'-0"

CLIENT: MHT HOUSING, INC.

BRUSH PARK APARTMENTS
269 WINDER STREET, DETROIT MI.
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BUILDING SECTIONS

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SHEET NO:
A.5.1

B **BUILDING SECTION**
SCALE:3/8"=1'-0"

CLIENT: MHT HOUSING, INC.

BRUSH PARK APARTMENTS
269 WINDER STREET, DETROIT MI
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#	REVISION	DATE	BY	CITY PERMIT DRAWINGS
1		2/16/22	M.L.	

BUILDING SECTIONS

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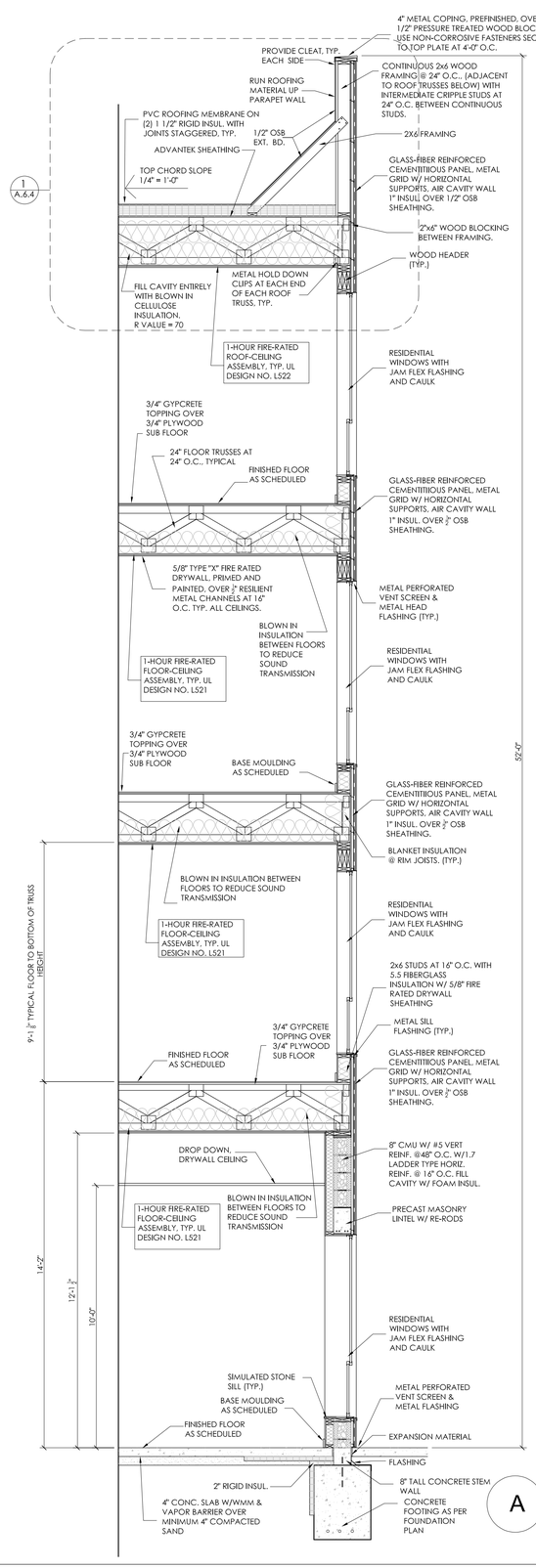
JFG	3/8" = 1'-0"	12/09/2021	19-03104

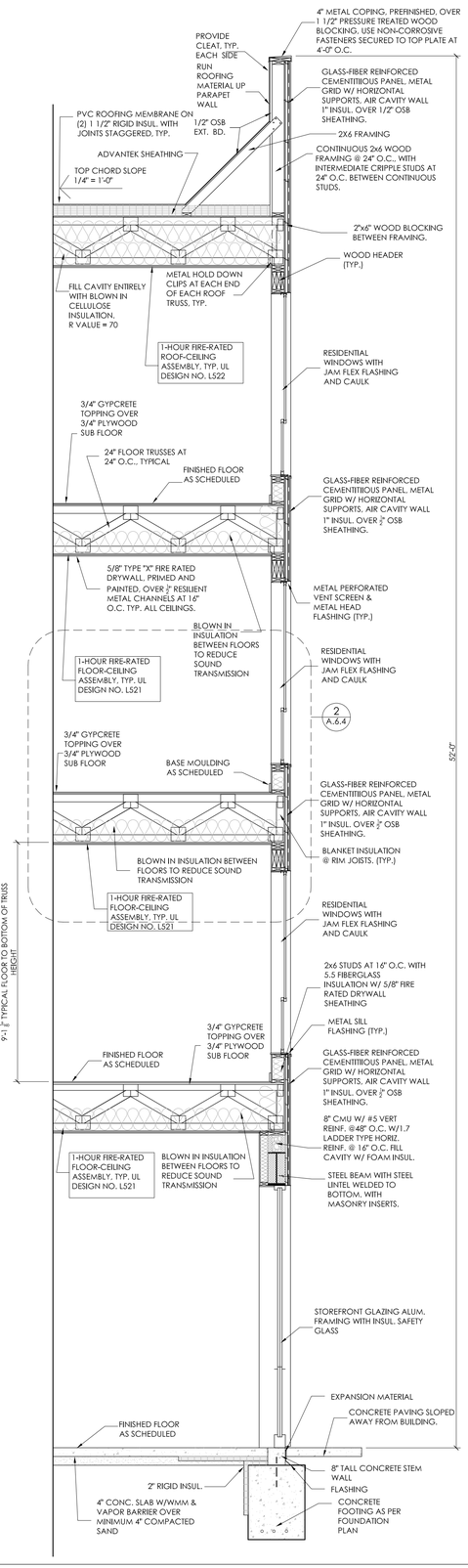
SHEET NO:
A.5.2



A

WALL SECTION

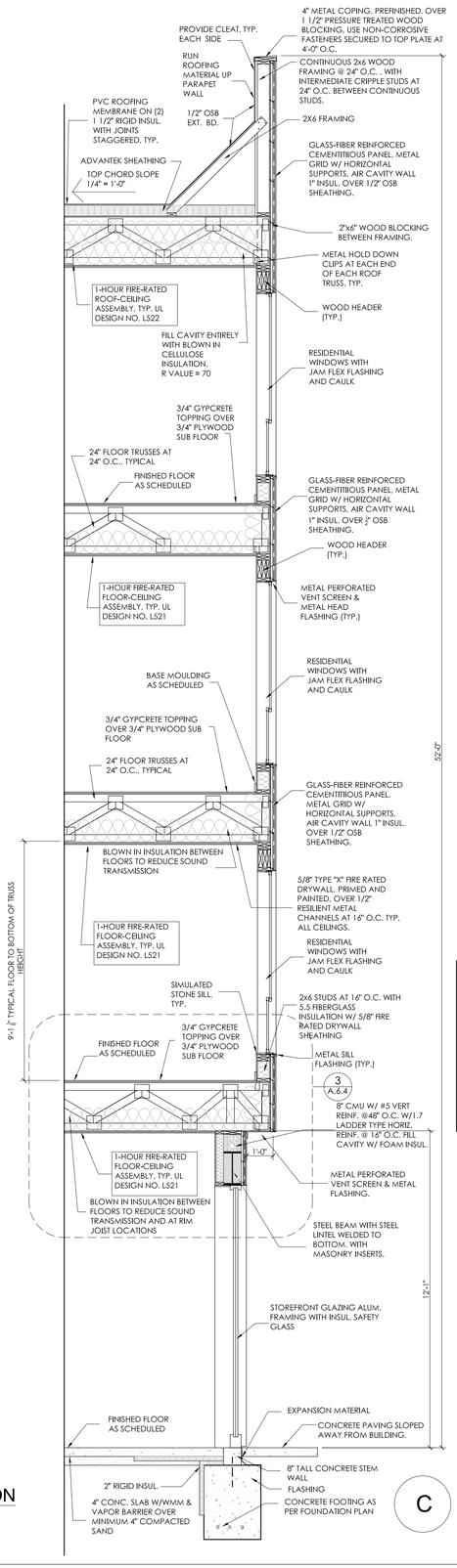
SCALE:3/8"=1'-0"



B

WALL SECTION

SCALE:3/8"=1'-0"



C

WALL SECTION

SCALE:3/8"=1'-0"

NOTE: AT LANDSCAPING (NOT SHOWN), INCREASE VENTILATION INLET AS REQUIRED TO MAINTAIN 1" MIN. OPEN JOINT ABOVE FINISHED LANDSCAPING SURFACE OR MULCH. VENTILATION INLET MUST NEVER BE BLOCKED.

GENERAL NOTE

WHEN USING ACQ OR CA TREATED LUMBER, DO NOT USE TRADITIONAL GALVANIZED FASTENERS NOR CONNECTORS. USE ONLY STAINLESS STEEL FASTENERS/CONNECTERS, HOT DIPPED GALVANIZED FASTENERS PER ASTM A153 , OR HOT-DIPPED GALVANIZED CONNECTORS PER ASTM A653, CLASS G 185 SHEET WITH 1.85 OUNCES OF ZINC COATING PER SQ. FT. MIN. FASTENERS AND CONNECTORS USED TOGETHER SHOULD BE OF THE SAME TYPE.

#	REVISION	DATE	BY	DESCRIPTION
				CITY PERMIT DRAWINGS
#1		2/16/22	M.L.	

CLIENT: MHT HOUSING, INC.

BRUSH PARK APARTMENTS

269 WINDER STREET, DETROIT MI
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WALL SECTIONS & DETAILS

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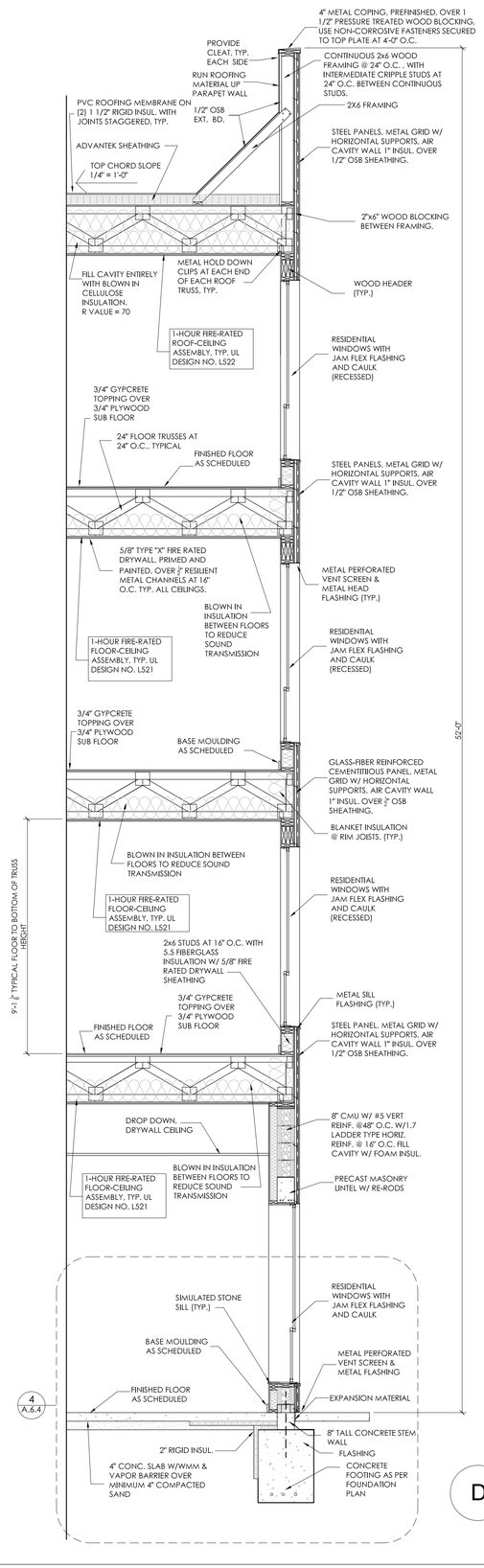

D WALL SECTION
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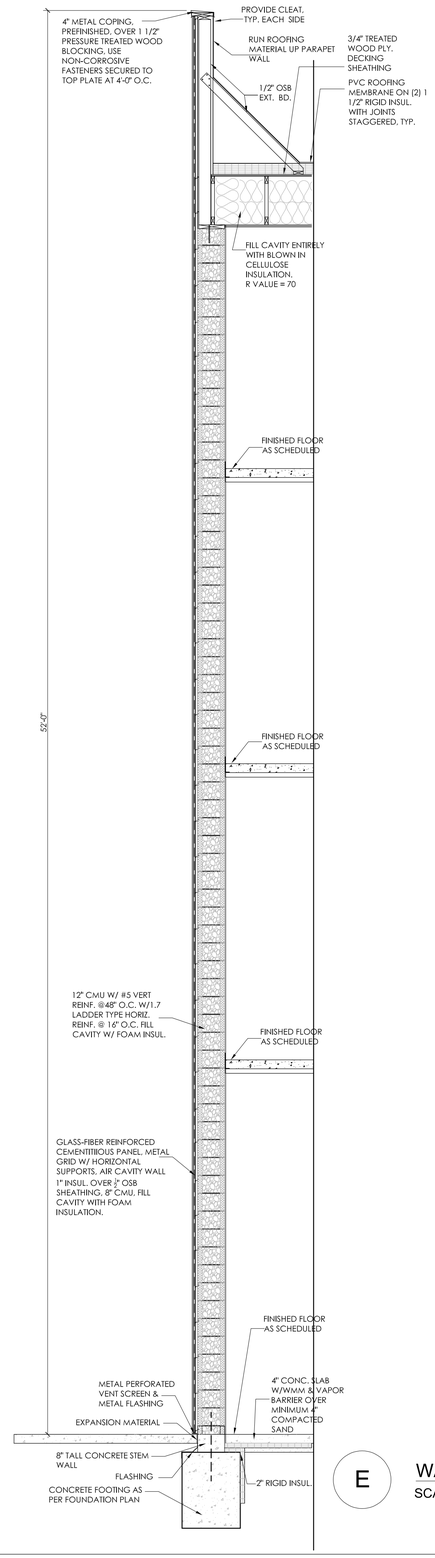
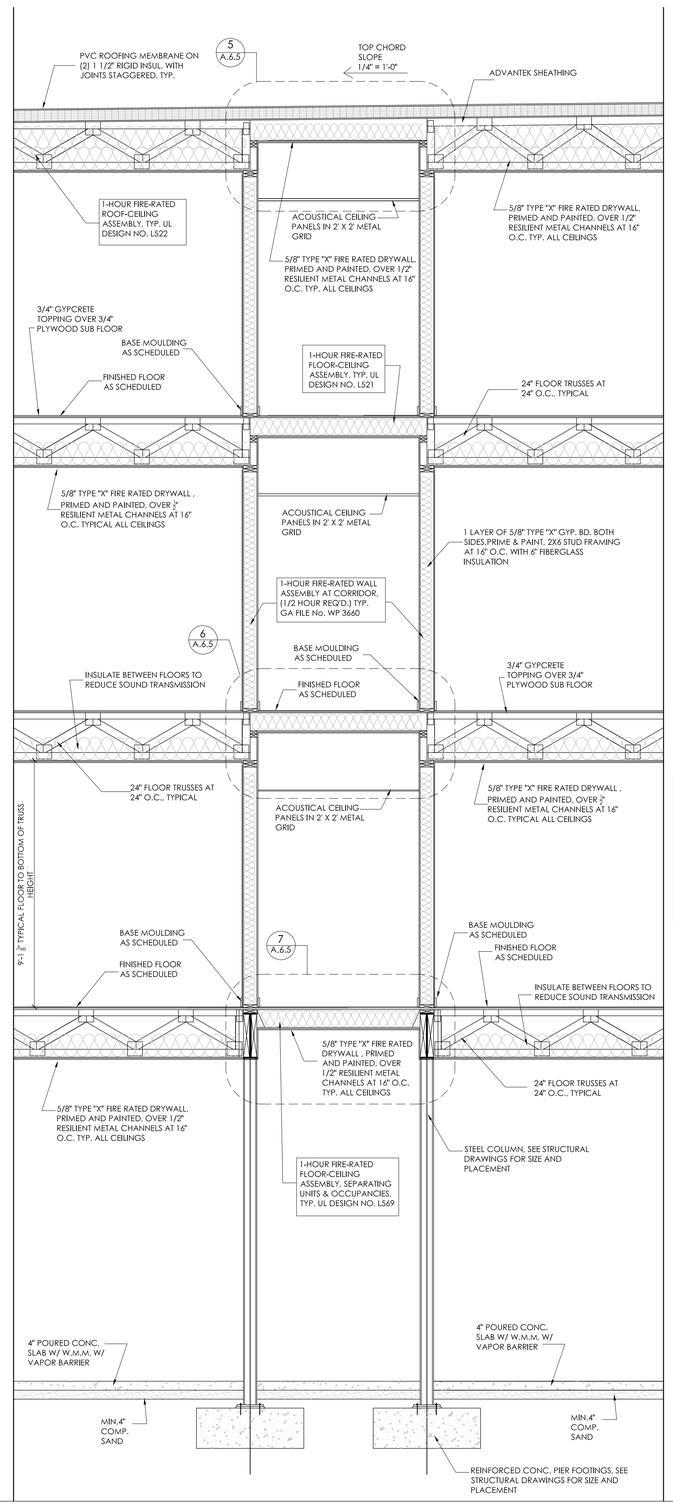


E WALL SECTION
SCALE:3/8"=1'-0"



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F WALL SECTION
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CLIENT: MHT HOUSING, INC.

BRUSH PARK APARTMENTS
269 WINDER STREET, DETROIT MI
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WALL SECTIONS & DETAILS

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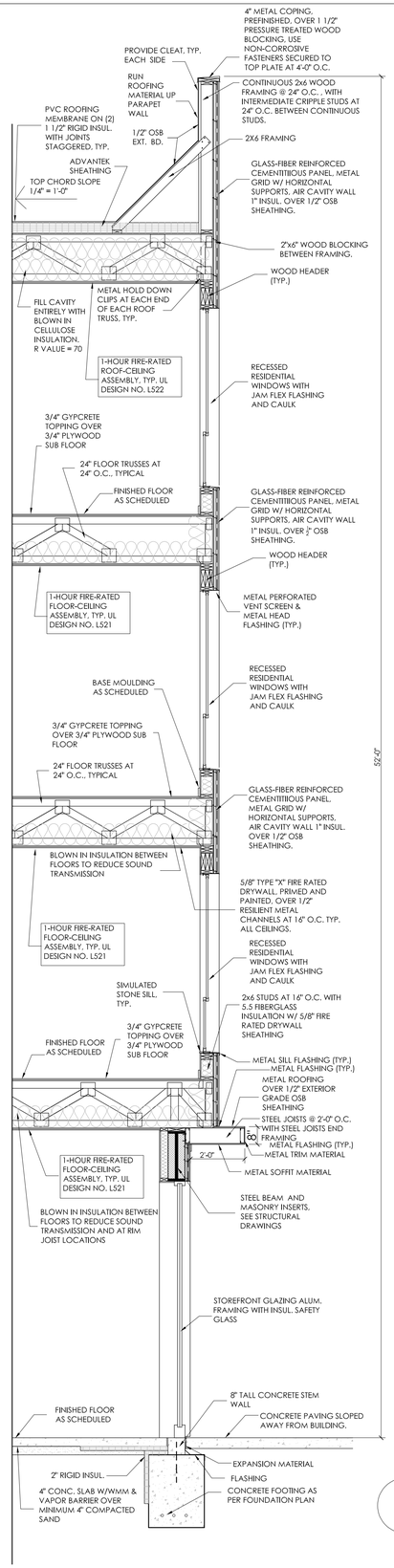
KEM-TEC & ASSOCIATES

72 HOURS (3 WORKING DAYS) BEFORE YOU DIG CALL MISS DIG 800-482-7171 (TOLL FREE)

STATE OF MICHIGAN
JEFFREY F. GRAHAM
ARCHITECT
No. 36132
LICENSED ARCHITECT

DRAWN BY: JFG
SCALE: 3/8" = 1'-0"
DATE: 12/09/2021
PROJECT NO: 19-03104

SHEET NO: A.6.2



G WALL SECTION
SCALE:3/8"=1'-0"

NOTE: AT LANDSCAPING (NOT SHOWN), INCREASE VENTILATION INLET AS REQUIRED TO MAINTAIN 1" MIN. OPEN JOINT ABOVE FINISHED LANDSCAPING SURFACE OR MULCH. VENTILATION INLET MUST NEVER BE BLOCKED.

GENERAL NOTE
WHEN USING ACQ OR CA TREATED LUMBER, DO NOT USE TRADITIONAL GALVANIZED FASTENERS NOR CONNECTORS. USE ONLY STAINLESS STEEL FASTENERS/CONNECTERS, HOT DIPPED GALVANIZED FASTENERS PER ASTM A153 , OR HOT-DIPPED GALVANIZED CONNECTORS PER ASTM A653, CLASS G 185 SHEET WITH 1.85 OUNCES OF ZINC COATING PER SQ. FT. MIN. FASTENERS AND CONNECTORS USED TOGETHER SHOULD BE OF THE SAME TYPE.

STATE OF MICHIGAN
JEFFREY F. GRAHAM
ARCHITECT
No. 35132
LICENSED ARCHITECT

#	REVISION	DATE	BY	DESCRIPTION
1		2/16/22	M.L.	CITY PERMIT DRAWINGS

CLIENT:
MHT HOUSING, INC.

BRUSH PARK APARTMENTS
269 WINDER STREET, DETROIT MI
SITE AREA: 39,501± SF OR 0.91± ACRES

WALL SECTIONS & DETAILS

PROFESSIONAL ARCHITECTS
PROFESSIONAL ENGINEERS
PROFESSIONAL SURVEYORS
22556 GRATIOT AVENUE
EASTPOINTE, MI 48021
(586)772-2222 PHONE
(586)772-4048 FAX
KEM-TEC & ASSOCIATES

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SHEET NO:
A.6.3