

# 1003

2827 JOHN R STREET  
DETROIT MI 48201

**OWNER**  
BRUSH PARK PROPERTIES, LLC  
79 ALFRED STREET  
DETROIT, MICHIGAN 48201  
313.578.1200

**ARCHITECT**  
OOMBRA ARCHITECTS, LLC.  
PHILADELPHIA, PA  
WWW.OOMBRA.COM  
215.948.2564

**STRUCTURAL ENGINEER**  
THE HARMAN GROUP, INC.  
900 WEST VALLEY FORGE ROAD  
SUITE 200  
KING OF PRUSSIA, PA 19406  
610.337.3360

**LANDSCAPE & CIVIL ENGINEER**  
PEA GROUP  
45 WEST GRAND RIVER AVE  
SUITE 501  
DETROIT, MI 48226  
313.769.5770

**MEP ENGINEER**  
STRATEGIC ENERGY SOLUTIONS, INC.  
4000 WEST ELEVEN MILE ROAD  
BERKLEY, MI 48072  
248.399.1900



t: 313.769.5770  
www.peagroup.com

**LEGEND:**

- TREES
- SHRUBS
- PERENNIALS
- IRRIGATED SOD LAWN

**GENERAL PLANTING NOTES:**

1. LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES, CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
2. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-487-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNERS REPRESENTATIVE PRIOR TO COMMENCING.
3. ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1, GRADE.
4. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
5. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
6. ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
7. ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
8. ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
9. ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
10. ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS. TREES WITH SAND BALLS WILL BE REJECTED.
11. NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES. HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
12. ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
13. IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
14. ALL PLANTING BEDS SHALL RECEIVE 3" SHREDED HARDWOOD BARK MULCH WITH FREE EMERGENT. SEE SPECIFICATIONS. SHREDED PALLET AND DYED MULCH WILL NOT BE ACCEPTED.
15. ALL LANDSCAPED AREAS SHALL RECEIVE 3" COMPACTED TOPSOIL.
16. SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.
17. ALL LANDSCAPE AREAS ARE TO BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM. THIS WILL BE DESIGN BUILD, REFER TO SPECIFICATIONS.

**DECIDUOUS TREE PLANT LIST:**

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
7	ATLS	Red Maple	<i>Acer rubrum</i>	2.5" Cal.	B&B
2	BN3	River Birch	<i>Betula nigra</i>	3" Cal.	B&B
5	TC2.5	Greenspire Linden	<i>Tilia cordata 'Greenspire'</i>	2.5" Cal.	B&B
14		TOTAL DEC.			

**SHRUB PLANT LIST:**

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
12	HM36	Endless Summer Hydrangea	<i>Hydrangea macrophylla 'Endless Summer'</i>	36" Ht.	Cont.
9	TM36	Hicks Yew	<i>Taxus media 'Hickii'</i>	36" Ht.	Cont.
1	VM36	Mahonia Viburnum	<i>Viburnum lentana 'Michican'</i>	36" Ht.	Cont.
7	PC36	Summer Wine Diablo Mnebank	<i>Physocarpus opulifolius 'Sneared'</i>	36" Ht.	Cont.
29		TOTAL SHRUBS			

**PERENNIAL PLANT LIST:**

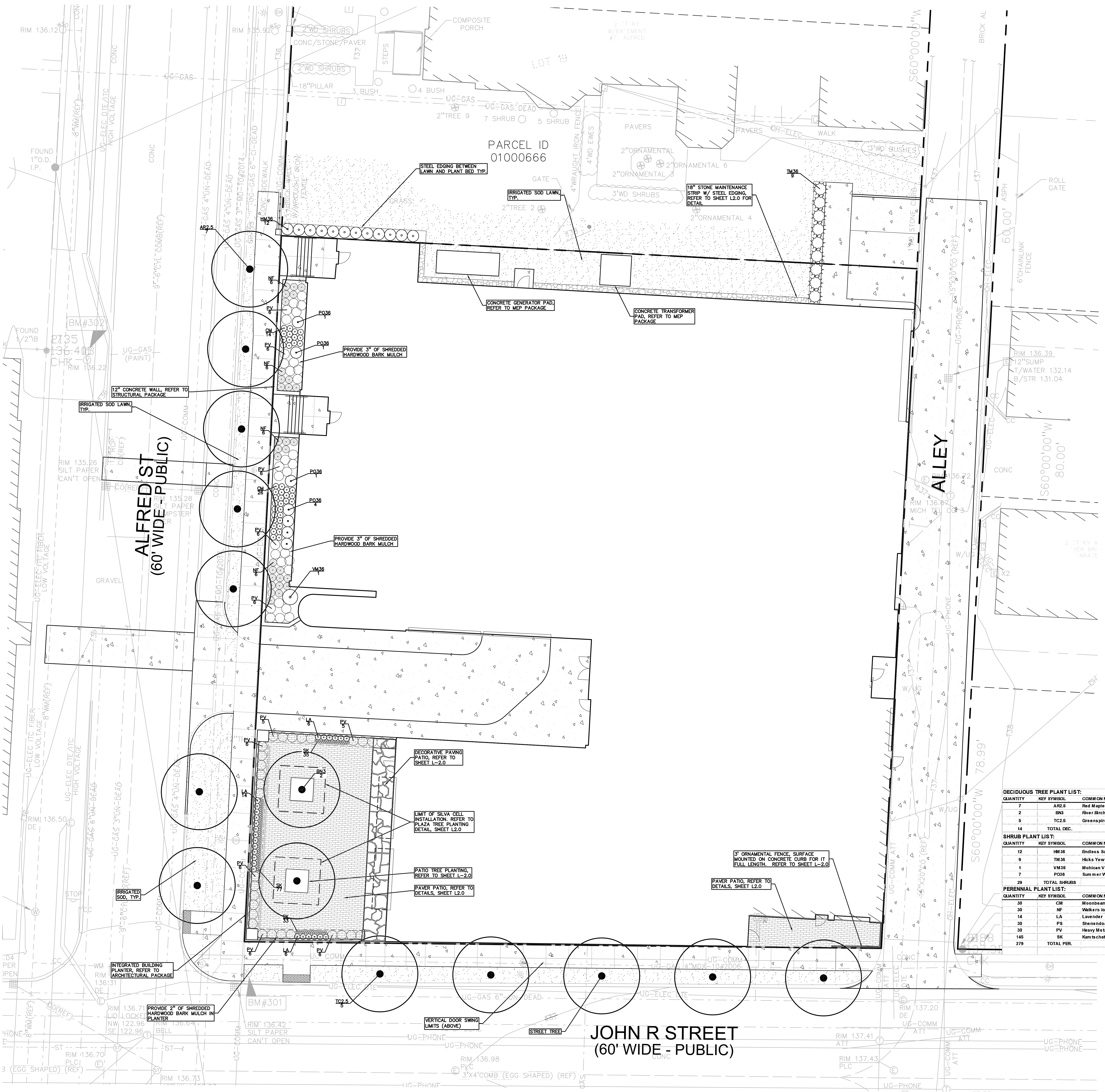
QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
30	CM	Moonbeam Coreopsis	<i>Coreopsis verticillata 'Moonbeam'</i>	1 Gal.	Cont.
30	WF	Walker's low Camellia	<i>Heptaxylon 'Walker's Low'</i>	1 Gal.	Cont.
14	LA	Lavender	<i>Lavandula angustifolia 'Munstead Strain'</i>	1 Gal.	Cont.
30	PS	Shenandoah Switch Grass	<i>Panicum virgatum 'Shenandoah'</i>	5 Gal.	Cont.
30	PV	Heavy Metal Switch Grass	<i>Panicum virgatum 'Heavy Metal'</i>	5 Gal.	Cont.
145	SK	Kamtschatka Sedum	<i>Sedum kamtschaticum</i>	2.25" cell	
279		TOTAL PER.			

DRAWING ISSUE	DATE
ISSUED FOR PERMIT	10.29.2024

**LANDSCAPE PLAN**

# L-1.0

SCALE : AS INDICATED



JOHN R STREET  
(60' WIDE - PUBLIC)

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79 ALFRED STREET  
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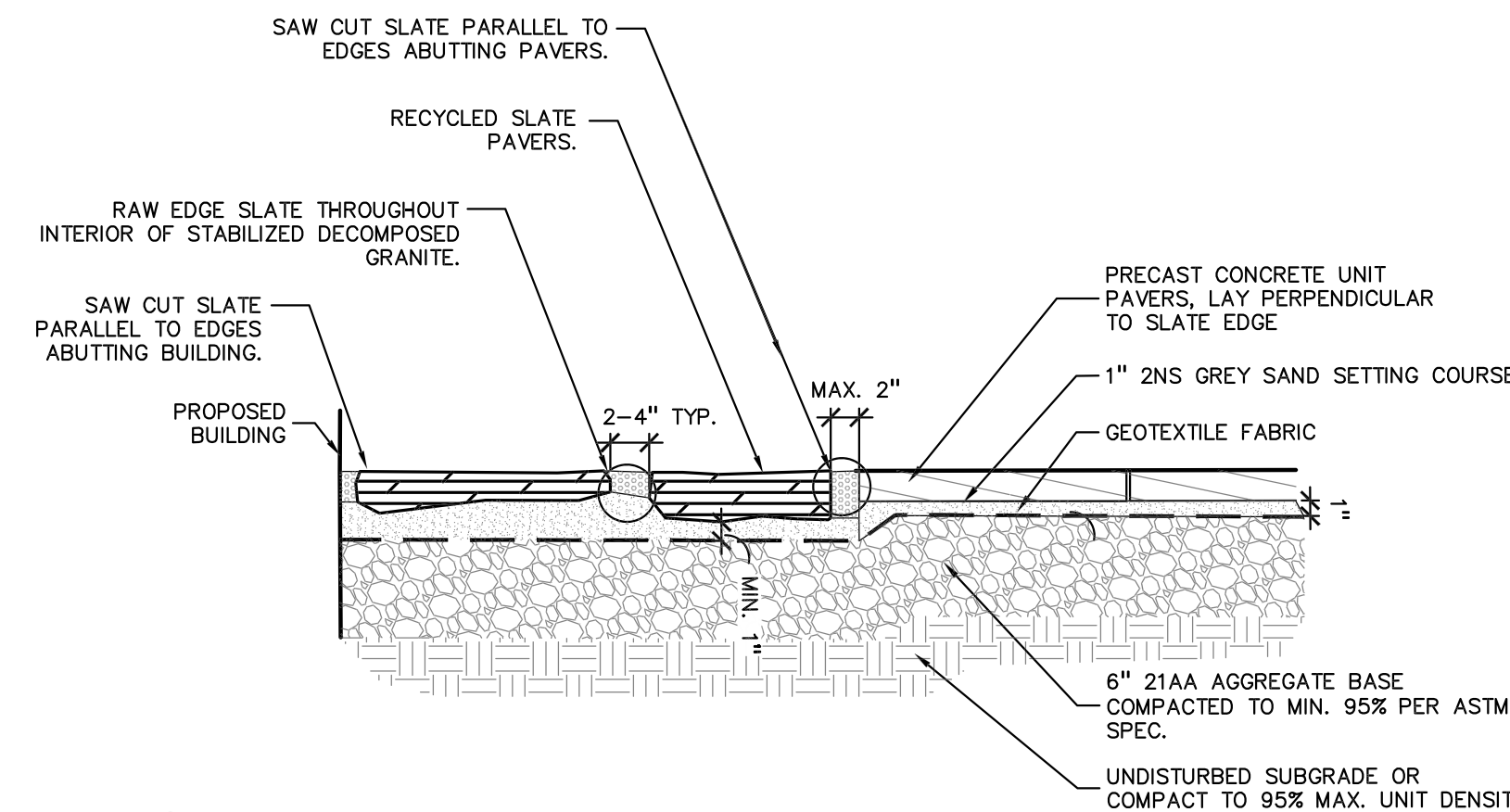
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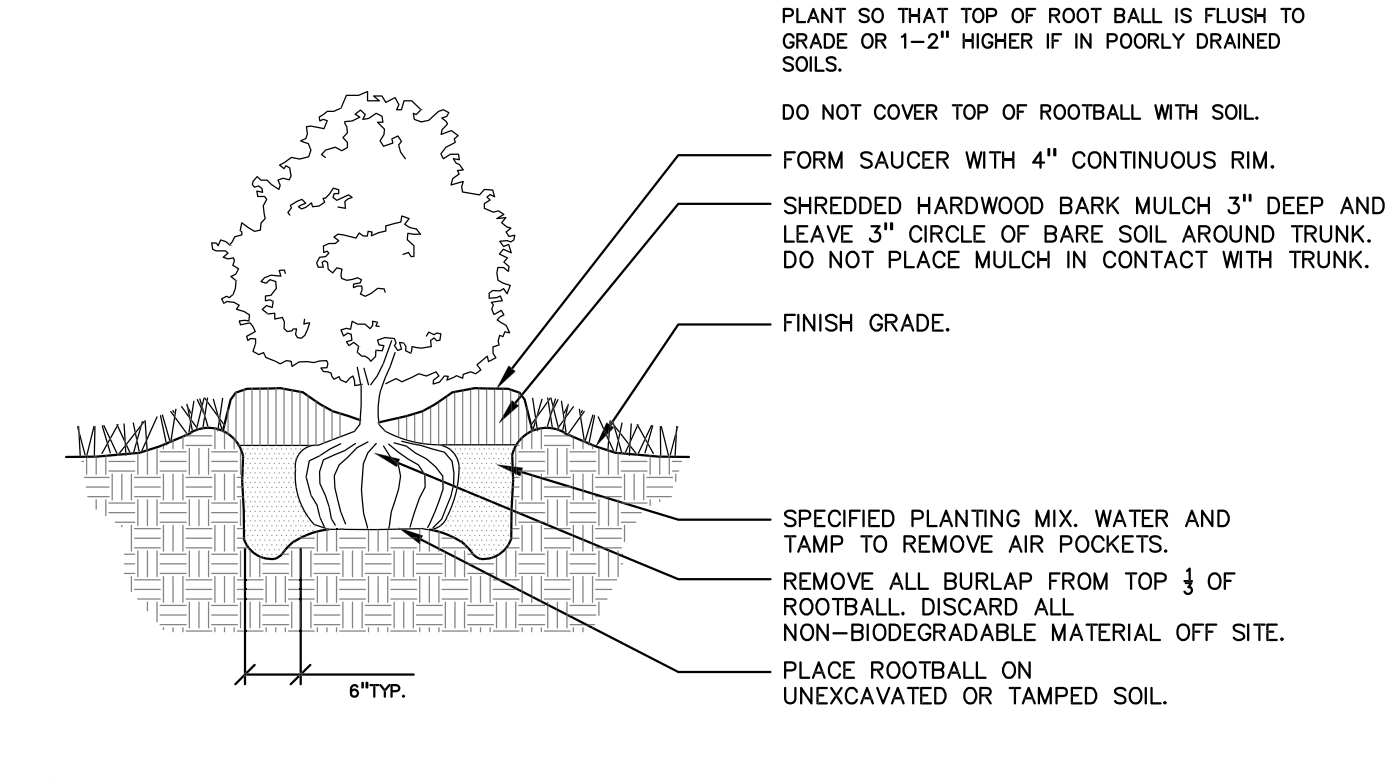
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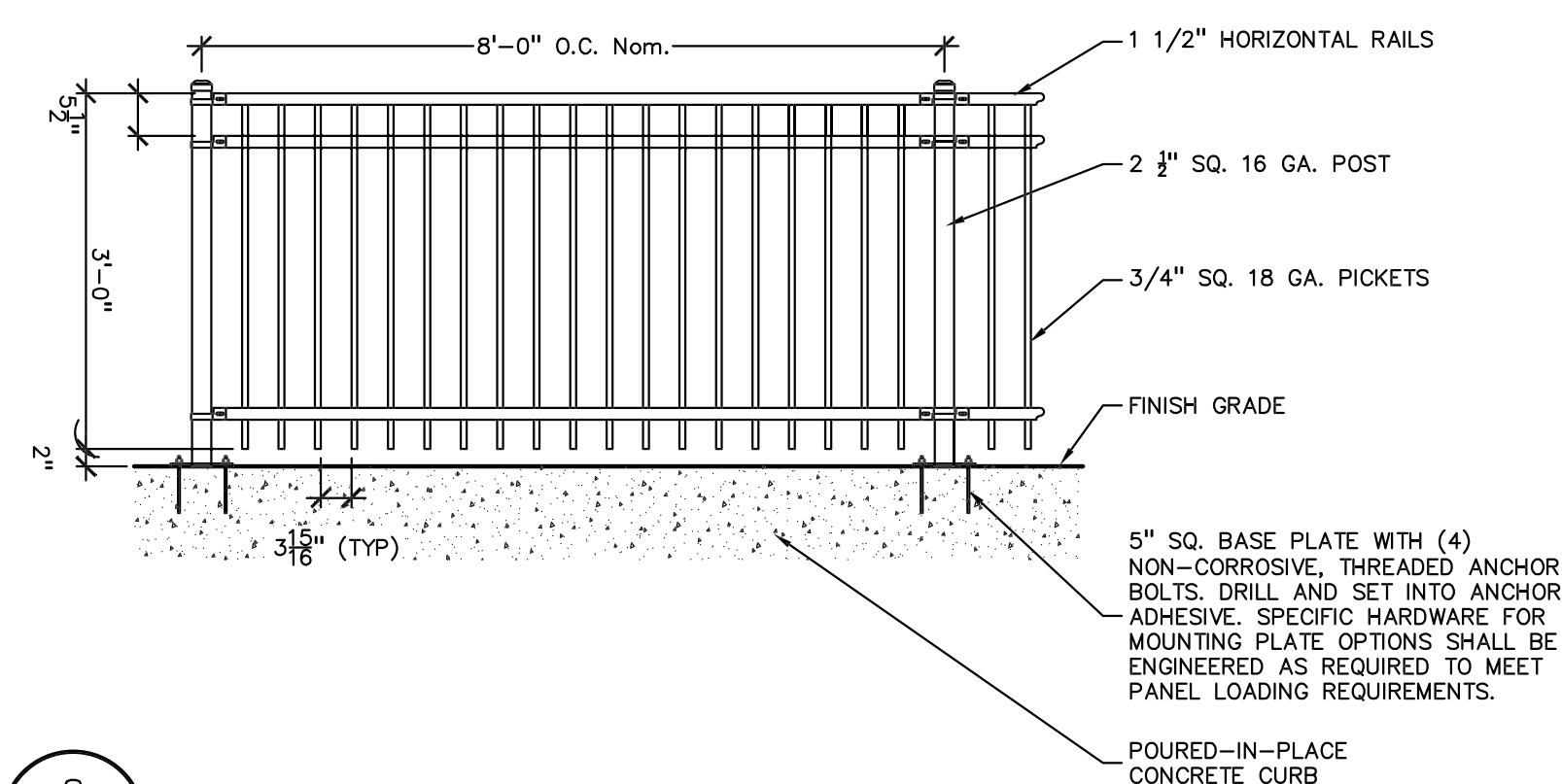


**6 DECORATIVE PAVER PATIO DETAIL**  
SCALE: 1" = 1'-0"

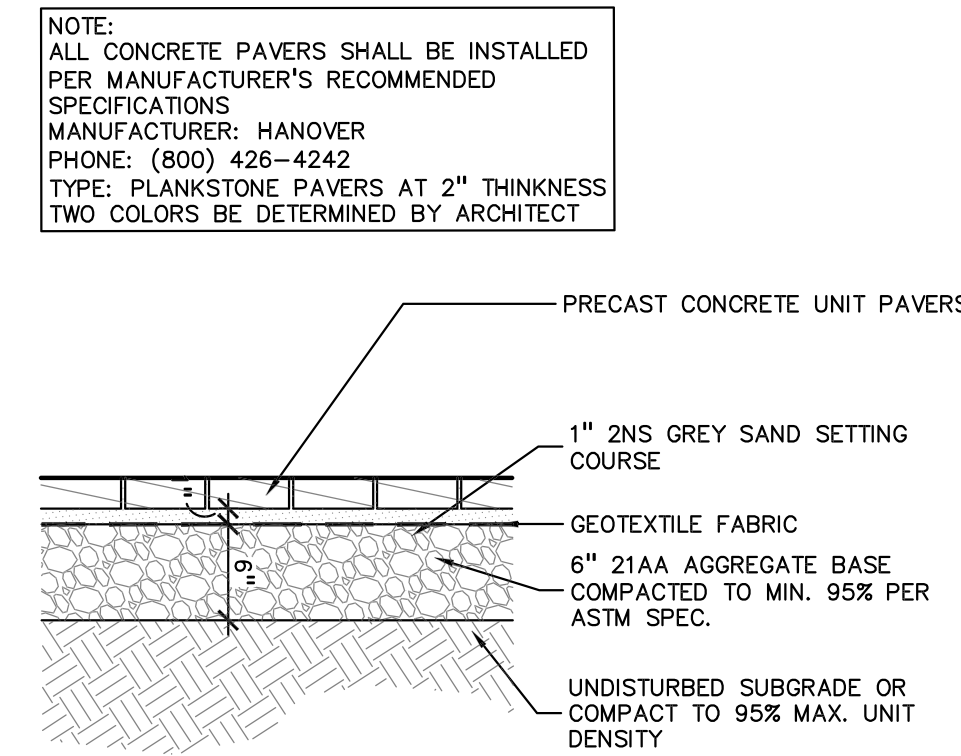


**3 SHRUB PLANTING DETAIL**  
SCALE: 3/4" = 1'-0"

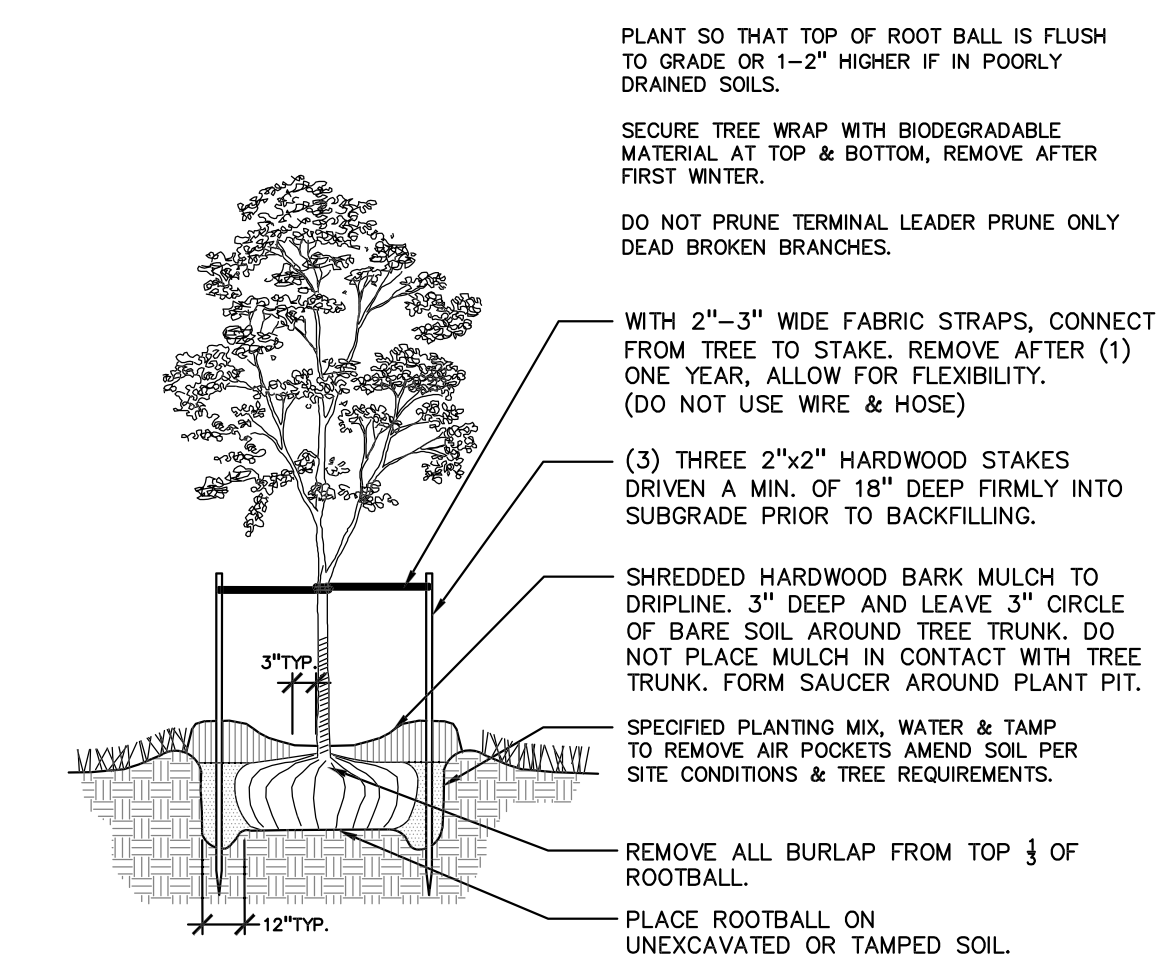
- NOTES:  
1.) FENCE  
MANUFACTURER: AMERISTAR (OR APPROVED EQUAL)  
PHONE #: 888.333.3422  
PRODUCT: MONTAGE PLUS MAJESTIC  
3 RAIL COMMERCIAL  
FINISH: POWDER COAT/BLACK  
2.) FENCING TO MEET STATE & LOCAL CODES  
3.) INSTALLATION PER MANUFACTURER'S RECOMMENDATION  
4.) SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION FOR APPROVAL



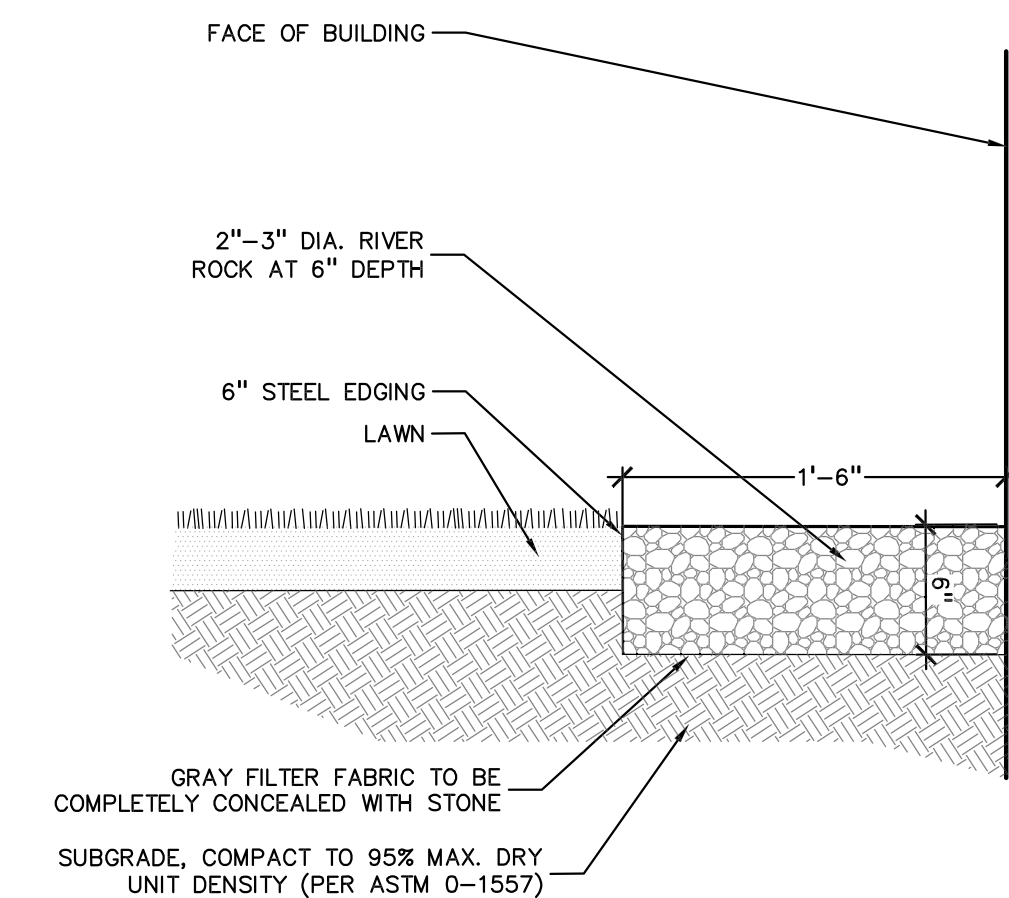
**8 ORNAMENTAL FENCE DETAIL**  
SCALE: 1/8" = 1'-0"



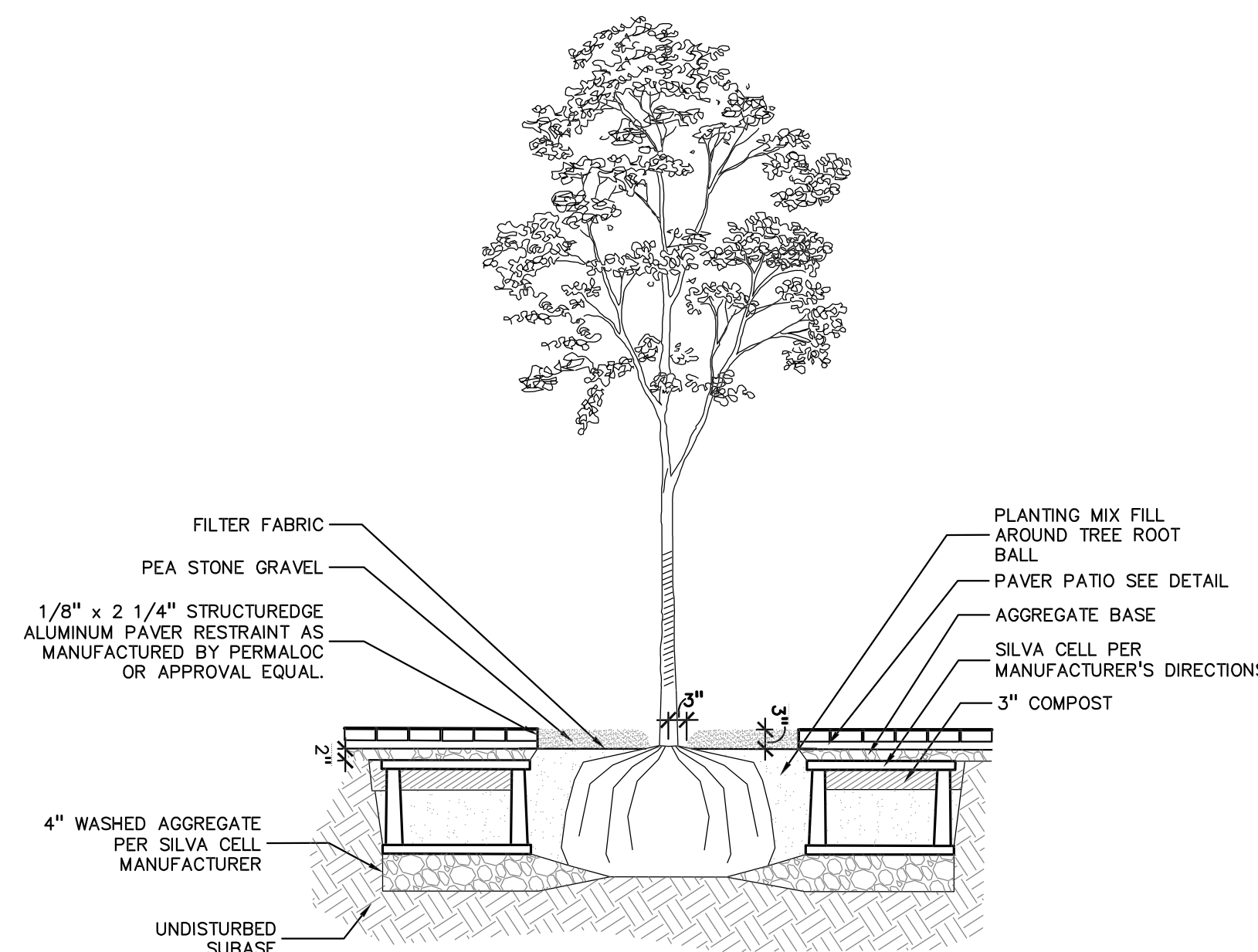
**5 PAVER PATIO DETAIL**  
SCALE: 1" = 1'-0"



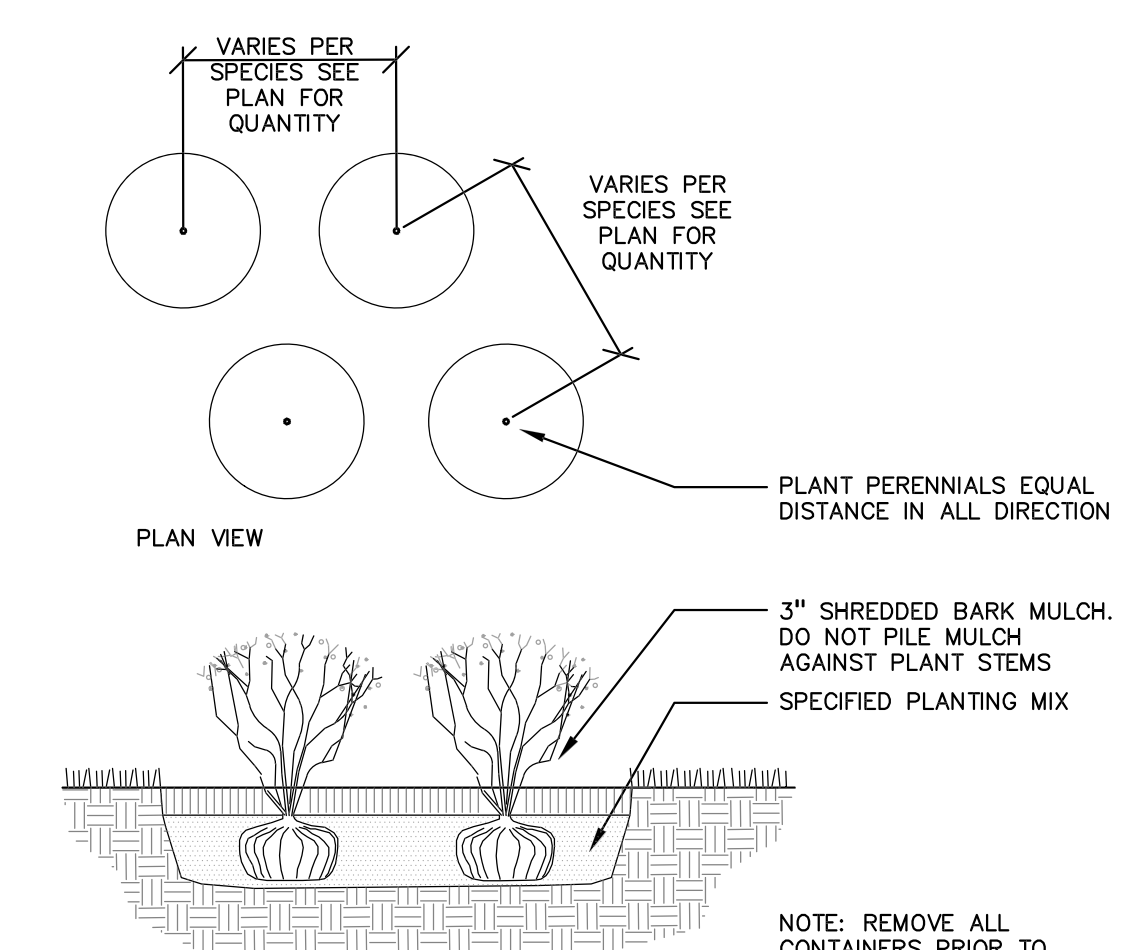
**2 DECIDUOUS TREE PLANTING DETAIL**  
SCALE: 1" = 1'-0"



**7 MAINTENANCE STRIP**  
SCALE: 3/4" = 1'-0"



**4 AT GRADE PLANTER**  
SCALE: 1" = 2'-0"



**1 PERENNIAL PLANTING DETAIL**  
SCALE: 3/4" = 1'-0"

DRAWING ISSUE	DATE
DESIGN DEVELOPMENT	10.29.2021

SCALE: SEE DWG  
**LANDSCAPE DETAILS**

**L-2.0**  
SCALE: AS INDICATED

GENERAL LANDSCAPING REQUIREMENTS

- 1.0 GENERAL
1.1 SUMMARY
1.1.1 Includes But Not Limited To
1. General procedures and requirements for Site Work.
2.0 PRODUCTS - Not Used
3.0 EXECUTION
3.1 PREPARATION
3.1.1 Protection
1. Spillage:
A. Avoid spillage by covering and securing loads when hauling on or adjacent to public streets or highways.
B. Remove spillage and sweep, wash, or otherwise clean project, streets, and highways.
2. Erosion Control:
A. Take precautions necessary to prevent erosion and transportation of soil downstream, to adjacent properties, and into on-site or off-site drainage systems.
B. Develop, install, and maintain an erosion control plan if required by law.
C. Repair and correct damage caused by erosion.
3. Existing Plants And Features:
A. Do not damage tops, trunks, and roots of existing trees and shrubs on site which are intended to remain.
B. Do not use heavy equipment within branch spread. Interfering branches may be removed only with permission of Landscape Architect.
C. Do not damage other plants and features which are to remain.
3.1.2 If specified precautions are not taken or corrections and repairs made promptly, Owner may take such steps as may be deemed necessary and deduct costs of such from monies due to Contractor. Such action or lack of action on Owner's part does not relieve Contractor from responsibility for proper protection of the Work.

- END OF SECTION
LANDSCAPING PREPARATION
1.0 GENERAL
1.1 SUMMARY
1.1.1 Includes But Not Limited To
1. General landscape work requirements.
1.2 QUALITY ASSURANCE
1.2.1 Comply with all applicable local, state and federal requirements, regarding materials, methods of work, and disposal of excess and waste materials.
1.2.2 Obtain and pay for all required inspections, permits, and fees.
1.2.3 Provide notices required by governmental authorities.
1.3 PROJECT CONDITIONS
1.3.1 Locate and identify existing underground and overhead services and utilities within contract limit work areas. (Call Miss Dig: 1-800-482-7171 in Michigan).
1.3.2 Provide adequate means to protect utilities and services designated to remain.
1.3.3 Repair utilities damaged during site work operations at Subcontractor's expense.
1.3.4 When uncharted or incorrectly charted underground piping or other utilities and services are encountered during site work operations, notify the applicable utility company immediately to obtain procedure directions. Cooperate with the applicable utility company in maintaining active services in operation.
1.3.5 Locate, protect, and maintain benchmarks, monuments, control points and project engineering reference points. Re-establish disturbed or destroyed items at Subcontractor's expense.
1.3.6 Perform landscape work operations and the removal of debris and materials to assure minimum interference with streets, walks, and other adjacent facilities.
1.3.7 Obtain governing authorities' written permission when required to close or obstruct streets, walks and adjacent facilities. Provide alternate routes around closed or obstructed traffic ways when required by governing authorities.
1.3.8 Protect and maintain street lights, utility poles and services, traffic signal control boxes, curb boxes, valves and other services, except items designated for removal.
1.3.9 The General Contractor will occupy the premises and adjacent facilities during the entire period of construction. Perform landscape work operations to minimize conflicts and to facilitate General Contractor's use of the premises and conduct of his normal operations.
1.3.10 Perform landscape preparation work before commencing landscape construction.
1.3.11 Provide necessary barricades, coverings and protection to prevent damage to existing improvements indicated to remain.
1.3.12 Protect existing trees scheduled to remain against injury or damage including cutting, breaking or skinning of roots, trunks or branches, smothering by stockpiled construction materials, excavated materials or vehicular traffic within branch spread.

- 2.0 PRODUCTS
2.1 MATERIALS/EQUIPMENT
2.1.1 As selected by the General Contractor, except as indicated.
1. Tree protection:
A. Wood fencing - Snow fencing 4' height.
B. Posts - Steel fence post.
C. Herbicide for lawn restoration - "Round-up" by Monsanto.
3.0 EXECUTION
3.1 EXISTING UTILITIES
3.1.1 Call "MISS DIG" 811 before construction begins. Information on the drawings related to existing utility lines and services is from the best sources presently available. All such information is furnished only for information and is not guaranteed. Excavate test pits as required to determine exact locations of existing utilities.
3.2 CLEARING
3.2.1 Locate and suitably identify trees and improvements indicated to remain.
3.2.2 Fencing/soil erosion fence is to be installed.
3.2.3 Any equipment that compacts the soil in the areas of existing trees is not allowed.
3.2.4 Protect trees scheduled to remain with 4' high snow fence per plans.
3.2.5 No vehicular traffic is permitted beneath drip line at any time. All lawn areas are to be worked by hand.
3.2.6 Clear and grub areas within contract limits as required for site access and execution of the work.

- 3.2.7 Remove trees, plants, undergrowth, other vegetation and debris, except items indicated to remain.
3.2.8 Treat planting and lawn areas as required with herbicide per manufacturer recommendations to kill existing vegetation prior to planting, seeding and sodding.
3.2.9 Remove stumps and roots to a clear depth of 36" below subgrades. Remove stumps and roots to their full depth within 5'0" of underground structures, utility lines, footings, and paved areas.
3.3 DISPOSAL OF WASTE MATERIALS
3.3.1 Stockpile, haul from site and legally dispose of waste materials and debris. Accumulation is not permitted.
3.3.2 Maintain disposal routes, clear, clean and free of debris.
3.3.3 On site burning of combustible cleared materials is not permitted.
3.3.4 Upon completion of landscape preparation work, clean areas within contract limits, remove tools and equipment. Site to be clear, clean and free of materials and debris and suitable for site work operations.
3.3.5 Materials, items and equipment not scheduled for reinstallation or salvaged for the General Contractor are the property of the Landscape Contractor. Remove cleared materials from the site as the work progresses. Storage and sale of Landscape Contractors salvage items on site is not permitted.

END OF SECTION
FINISH GRADING AND TOPSOIL PLACEMENT

- 1.0 GENERAL
1.1 SUMMARY
1.1.1 Includes But Not Limited To
1. Perform finish grading and topsoil placement required to prepare site for installation of landscaping as described in Contract Documents.
1.2 SUBMITTALS
1.2.1 Quality Assurance
1. Submit test on imported topsoil and on site stockpiled topsoil by independent licensed testing laboratory prior to use. Imported topsoil shall meet minimum specified requirements and be approved by Landscape Architect prior to use.
2. Provide and pay for testing and inspection during topsoil operations. Laboratory, inspection services, and Soils Engineer shall be acceptable to the Landscape Architect.
3. Submit report stating location of source of imported topsoil and account of recent use.
4. Test for pH factor, mechanical analysis, and percentage of organic content.
5. Submit test reports to General Contractor.
6. Sub-Contractor, or testing agency to make recommendations on type of quantity of additives required to establish satisfactory pH factor and supply of nutrients to bring nutrients to satisfactory level for planting.
1.3 QUALITY ASSURANCE
1.3.1 Participate in pre-installation meeting with Landscape Architect.
1.4 PROJECT CONDITIONS
1.4.1 Also see Landscape Preparation Section.
1.4.2 Protect existing trees, plants, lawns, and other features designated to remain as part of the landscaping work.
1.4.3 Promptly repair damage to adjacent facilities caused by topsoil operations. Cost of repair at Subcontractor's expense.
1.4.4 Promptly notify the General Contractor and Landscape Architect of unexpected subsurface conditions.

- 2.0 PRODUCTS
2.1 MATERIALS
2.1.1 Topsoil: supplied and stockpiled topsoil proposed for use must meet the testing criteria results specified. Topsoil must conform to adjustments and recommendations from the soil test and by the Landscape Architect.
2.1.2 Existing topsoil: existing topsoil from on-site stockpile shall be utilized. All processing, cleaning, and preparation of this stored topsoil to render it acceptable for use is the responsibility of the Subcontractor.
2.1.3 Provide additional topsoil as required to complete the job. Topsoil must meet testing criteria results specified.
2.1.4 All processing, cleaning, and preparation of this supplied topsoil to render it acceptable for use is the responsibility of the Subcontractor.
2.1.5 Supplied and stockpiled topsoil, shall be fertile, friable, dark in color and representative of local productive soil, capable of sustaining vigorous plant growth and free of clay lumps, subsoil, noxious weeds or other foreign matter such as stones of 1" in any dimension, roots, sticks, and other extraneous material: not frozen or muddy. PH of soil range between 5.0 and 7.5
2.1.6 Soil shall not contain more than 2 percent of particles measuring over 2.0 mm in largest size
2.1.7 Prepared topsoil shall be used in planting mixtures as specified in Trees, Plants, and Ground Cover; all beds prepared as specified.
3.0 EXECUTION
3.1 EXAMINATION
3.1.1 Do not commence work of this Section until grading tolerances specified are met.
3.2 PREPARATION
3.2.2 Prior to grading, dig out weeds from planting areas by their roots and remove from site. Before placing top soil in landscape areas, remove rocks larger than 1 inch in any dimension and foreign matter such as building rubble, wire, cans, sticks, concrete, etc.
3.2.3 Prior to placing topsoil, remove any imported base material present in planting areas down to natural subgrade or other material acceptable to Landscape Architect.

- 3.3 PERFORMANCE
3.3.1 Site Tolerances
1. Total Topsoil Depth -
A. Lawn And Groundcover Planting Areas - 3 inches minimum compacted.
B. Shrub Planting Areas - 12 inches minimum throughout entire shrub bed area.
2. Elevation of topsoil relative to walks or curbs -
A. Seeded Lawn Areas - 1/4 inch below
B. Sodded Lawn Areas - 1 1/2 inches below
C. Shrub And Ground Cover Areas - 3 inches below
3.3.2 Do not expose or damage existing shrub or tree roots.
3.3.3 Redistribute approved existing top soil stored on site as a result of rough grading. Remove organic material, rocks and clods greater than 1 inch in any dimension, and other objectionable materials. Provide additional approved imported topsoil required for specified topsoil depth and bring surface to specified elevation relative to walk or curb.
3.3.4 For trees, shrubs, ground cover beds and plant mix for beds see Exterior Plants section.

- 3.3.5 Provide earth berming where indicated on Plans.
3.3.6 Berming to be free flowing in shape and design, as indicated, and to blend into existing grades gradually so that the toe of slope is not readily visible. Landscape Architect or General Contractor's representative to verify final contouring before planting.
3.3.7 Regardless of finish grading elevations indicated, it is intended that grading be such that proper drainage of surface water away from buildings will occur and that no low areas are created to allow ponding. Subcontractor to consult the General Contractor and Landscape Architect regarding variations in grade elevations before rough grading is completed.
3.3.8 Slope grade away from building for 12 feet minimum from walls at slope of 1/2 inch per ft minimum unless otherwise noted. High point of finish grade at building foundation shall be 6 inches minimum below finish floor level. Direct surface drainage in manner indicated on Drawings by molding surface to facilitate natural run-off of water. Fill low spots and pockets with top soil and grade to drain properly.
3.3.9 Rake all topsoil to remove clods, rocks, weeds, and debris.
3.3.10 Grade and shape area to bring surface to true uniform planes free from irregularities and to provide proper drainage and slopes per plans.
3.4 CLEANING
3.4.1 Upon completion of topsoil operations, clean areas within contract limits, remove tools, equipment, and haul all excess topsoil off-site. Site shall be clear, clean, free of debris, and suitable for site work operations.

END OF SECTION
LAWN SODDING

- 1.0 GENERAL
1.1 SUMMARY
1.1.1 Includes But Not Limited To
1. Furnish and install sodded lawn as described in Contract Documents.
1.2 QUALITY ASSURANCE
1.2.1 Sod: Comply with American Sod Producers Association (ASPA) classes of sod materials.
1.3 SUBMITTALS
1.3.1 Submit sod growers certification of grass species. Identify source location.
1.3.2 Submit manufacturer's certification of fertilizer.
1.4 DELIVERY, STORAGE, AND HANDLING
1.4.1 Cut, deliver, and install sod within 24 hour period.
1.4.2 Do not harvest or transport sod when moisture content may adversely affect sod survival.
1.4.3 Protect sod from sun, wind, and dehydration prior to installation. Do not tear, stretch, or drop sod during handling and installation.
1.4.4 Sod which dries out before installation will be rejected.
1.5 PROJECT CONDITIONS
1.5.1 See Landscape Preparation section.
1.5.2 Work notification: Notify Landscape Architect or General Contractor's representative at least seven (7) working days prior to start of sodding operation.
1.5.3 Protect existing utilities, paving, and other facilities from damage caused by sodding operations.
1.5.4 Perform sodding work only after planting and other work affecting ground surface has been completed.
1.5.5 Restrict traffic from lawn areas until grass is established. Erect signs and barriers as required.
1.5.6 Provide hose and lawn watering equipment as required.
1.5.7 The irrigation system will be installed prior to sodding. Locate, protect, and maintain the irrigation system during sodding operations. Repair irrigation system components damaged during sodding operations at the Subcontractor's expense.
1.6 WARRANTY
1.6.1 See Landscape Maintenance and Warranty Section.
2.0 PRODUCTS
2.1 MATERIALS
2.1.1 Sod: An "approved" nursery grown blend of improved Kentucky Bluegrass varieties.
2.1.2 Sod containing Common Bermudagrass, Quackgrass, Johnsongrass, Poison Ivy, Nutsedge, Nimblewill, Canada Thistle, Timothy, Bentgrass, Wild Garlic, Ground Ivy, Perennial Sorrel, or Bromegrass weeds will not be acceptable.
2.1.3 Provide well rooted, healthy sod, free of diseases, nematodes and soil borne insects. Provide sod uniform in color, leaf texture, density, and free of weeds, undesirable grasses, stones, roots, thatch, and extraneous material; viable and capable of growth and development when planted.
2.1.4 Furnish sod, machine stripped in square pads or strips not more than 3'-0" long, uniformly 1" to 1-1/2" thick with clean cut edges. Mow sod before stripping.
2.1.5 Fertilizer: granular, non burning product composed of not less than 50% organic slow acting, guaranteed analysis professional fertilizer.
2.1.6 Type A: starter fertilizer containing 20% nitrogen, 12% phosphoric acid, and 8% potash by weight or similar approved composition.
2.1.7 Ground Limestone: Used if required by soil test report: Containing not less than 85% of total carbonates and ground to such fineness that 50% will pass through a 100 mesh sieve and 90% will pass through a 20% mesh sieve.
2.1.8 Stakes: softwood, 3/4" x 8" long.
2.1.9 Water: Free of substance harmful to seed growth. Hoses or other methods to transpiration furnished by Sub Contractor.
2.1.10 Topsoil: see Topsoil Placement section.

- 3.0 EXECUTION
3.1 INSPECTION
3.1.1 Landscape Architect or General Contractor's representative must approve finish surfaces, grades, topsoil quality and depth. Do not start sodding work until unsatisfactory conditions are corrected.
3.2 PREPARATION
3.2.1 Surface Preparation:
1. Seven days maximum prior to sodding, -
a. Treat Lawn areas if required with herbicide per manufacturer recommendations to kill existing vegetation prior to sodding.
b. Loosen topsoil areas to minimum depth of 4", dampen thoroughly, and cultivate to properly break up clods and lumps.
c. Rake area to remove clods, rocks, weeds, roots, debris, and stones over 1" in any dimension.
d. Grade lawn areas to smooth, free draining even surface with a loose, moderately coarse texture. Roll and rake, remove ridges, and fill depressions as required to drain.
e. Apply limestone to supplied topsoil if required by soil test report at rate determined by the soil test, to adjust pH of topsoil to not less than 6.0 no more than 6.5. Distribute evenly by machine and incorporate thoroughly into topsoil.
f. Apply fertilizers to indicated turf areas at a rate equal to 1 lb. of actual nitrogen 1,000 sq. ft. (43 lbs / acre).
g. Apply fertilizers by mechanical rotary or drop type distributor, thoroughly and evenly incorporated with soil to a depth of 1" by approved method. Fertilize areas inaccessible to power equipment with hand tools and incorporate into soil.
h. After lawn areas have been prepared, take no heavy objects over them except lawn rollers.
i. After preparation of lawn areas and with topsoil in semi-dry condition, roll lawn planting areas in two directions at approximately right angles with water ballast roller weighing 100 to 300 lbs.
j. Rake or scarify and cut or fill irregularities that develop as required until area is true and uniform, free from lumps, depressions, and irregularities.
k. Restore prepared areas to specified condition if eroded, settled or otherwise disturbed after fine grading and prior to sodding.
l. Dampen dry soil prior to sodding.

- 3.3 INSTALLATION
3.3.1 Sodding:
1. Lay sod to form a solid mass with tightly fitted joints. Butt ends and sides of sod strips. Do not overlay edges. Stagger strips to offset joints in adjacent course. Remove excess sod to avoid othering of adjacent grass. Provide sod pad top flush with adjacent curbs, sidewalks, drains, and seeded areas.
2. Do not lay dormant sod or install sod on saturated, frozen soil.
3. Install initial row of sod in a straight line, beginning at the bottom of slopes, perpendicular to direction of the sloped area. Place subsequent rows parallel to and lightly against previously installed row.
4. Peg sod on slopes greater than 3 to 1 or in centerline of swales to prevent slippage at a rate of 2 stakes per yard of sod.
5. Water sod thoroughly with a fine spray immediately after laying to obtain moisture penetration through sod into top 4 inches of topsoil.
6. Roll with light lawn roller in two directions perpendicular to each other to ensure contact with sub grade.
7. Install sod at indicated areas within contract limits and areas adjoining contract limits disturbed as a result of construction operations.
8. Damage to sodded area resulting from erosion to be repaired by Subcontractor.
3.4 CLEANING
3.4.1 Perform Cleaning during installation of the work and upon completion of the work to the approval of the Landscape Architect. Remove from site all excess materials, debris, and equipment. Repair damage resulting from sodding operations.
3.5 MAINTENANCE
3.5.1 See Landscape Maintenance and Warranty Section.
3.6 ACCEPTANCE
3.6.1 See Landscape Maintenance and Warranty Section.
END OF SECTION

- required to drain.
e. Apply limestone to supplied topsoil if required by soil test report at rate determined by the soil test, to adjust pH of topsoil to not less than 6.0 no more than 6.5. Distribute evenly by machine and incorporate thoroughly into topsoil.
f. Apply fertilizers to indicated turf areas at a rate equal to 1 lb. of actual nitrogen 1,000 sq. ft. (43 lbs / acre).
g. Apply fertilizers by mechanical rotary or drop type distributor, thoroughly and evenly incorporated with soil to a depth of 1" by approved method. Fertilize areas inaccessible to power equipment with hand tools and incorporate into soil.
h. After lawn areas have been prepared, take no heavy objects over them except lawn rollers.
i. After preparation of lawn areas and with topsoil in semi-dry condition, roll lawn planting areas in two directions at approximately right angles with water ballast roller weighing 100 to 300 lbs.
j. Rake or scarify and cut or fill irregularities that develop as required until area is true and uniform, free from lumps, depressions, and irregularities.
k. Restore prepared areas to specified condition if eroded, settled or otherwise disturbed after fine grading and prior to sodding.
l. Dampen dry soil prior to sodding.

- 3.3 INSTALLATION
3.3.1 Sodding:
1. Lay sod to form a solid mass with tightly fitted joints. Butt ends and sides of sod strips. Do not overlay edges. Stagger strips to offset joints in adjacent course. Remove excess sod to avoid othering of adjacent grass. Provide sod pad top flush with adjacent curbs, sidewalks, drains, and seeded areas.
2. Do not lay dormant sod or install sod on saturated, frozen soil.
3. Install initial row of sod in a straight line, beginning at the bottom of slopes, perpendicular to direction of the sloped area. Place subsequent rows parallel to and lightly against previously installed row.
4. Peg sod on slopes greater than 3 to 1 or in centerline of swales to prevent slippage at a rate of 2 stakes per yard of sod.
5. Water sod thoroughly with a fine spray immediately after laying to obtain moisture penetration through sod into top 4 inches of topsoil.
6. Roll with light lawn roller in two directions perpendicular to each other to ensure contact with sub grade.
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3.6 ACCEPTANCE
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END OF SECTION

1003
2827 JOHN R STREET
DETROIT MI 48201

OWNER
BRUSH PARK PROPERTIES, LLC
79 ALFRED STREET
DETROIT, MICHIGAN 48201
313.578.1200

ARCHITECT
OOMBRA ARCHITECTS, LLC.
PHILADELPHIA, PA
WWW.OOMBRA.COM
215.948.2564

STRUCTURAL ENGINEER
THE HARMAN GROUP, INC.
900 WEST VALLEY FORGE ROAD
SUITE 200
KING OF PRUSSIA, PA 19406
610.337.3360

LANDSCAPE & CIVIL ENGINEER
PEA GROUP
45 WEST GRAND RIVER AVE
SUITE 501
DETROIT, MI 48226
313.769.5770

MEP ENGINEER
STRATEGIC ENERGY SOLUTIONS, INC.
4000 WEST ELEVEN MILE ROAD
BERKLEY, MI 48072
248.399.1900



t: 313.769.5770
www.peagroup.com

Table with 2 columns: DRAWING ISSUE, DATE. Row 1: ISSUED FOR PERMIT, 10.29.2021

SCALE: N.T.S.

LANDSCAPE SPECIFICATIONS

L-3.0

SCALE : AS INDICATED







ARCHITECT | ANDREW J. REILLY  
No. 1301066222

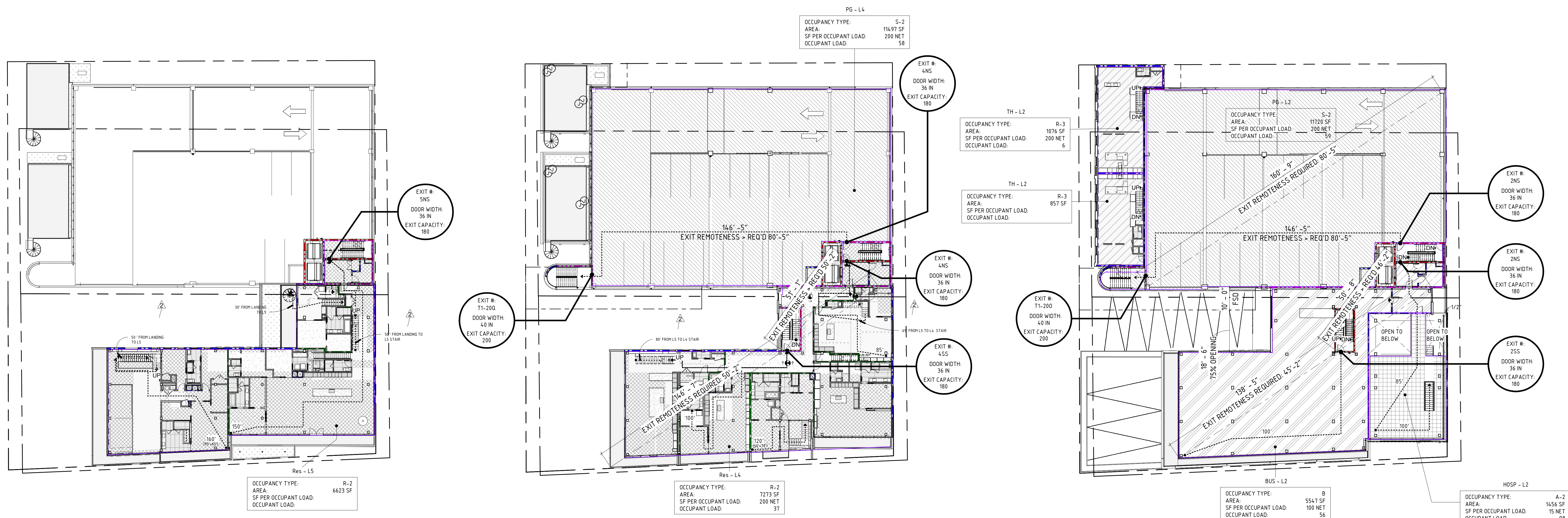
## OOMBRA ARCHITECTS

OOMBRA ARCHITECTS, LLC.  
PHILADELPHIA, PA  
WWW.OOMBRA.COM  
267.741.0007

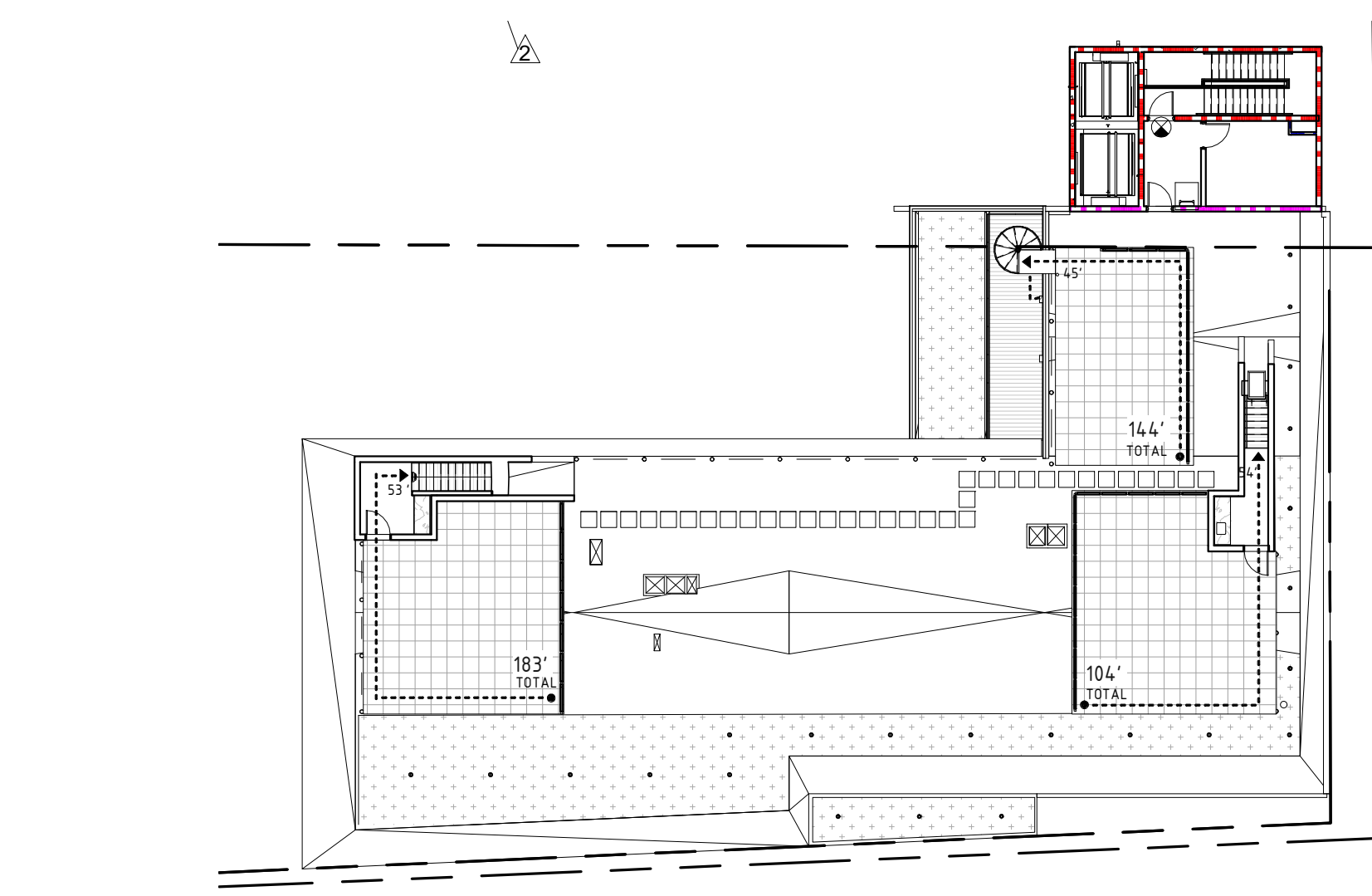
DRAWING ISSUE	DATE
ISSUED FOR PERMIT	10.29.2021
PERMIT RESPONSE REV 2	03.18.2022
BOARD OF APPEALS SUBMISSION	03.24.2022
HDC REVISED APPLICATION	09.14.2022

**CODE & LIFE SAFETY PLANS**

# A010



5 LS-Level 5 HH  
Scale: 1" = 20'-0"



6 LS - LEVEL ROOF  
Scale: 1" = 20'-0"

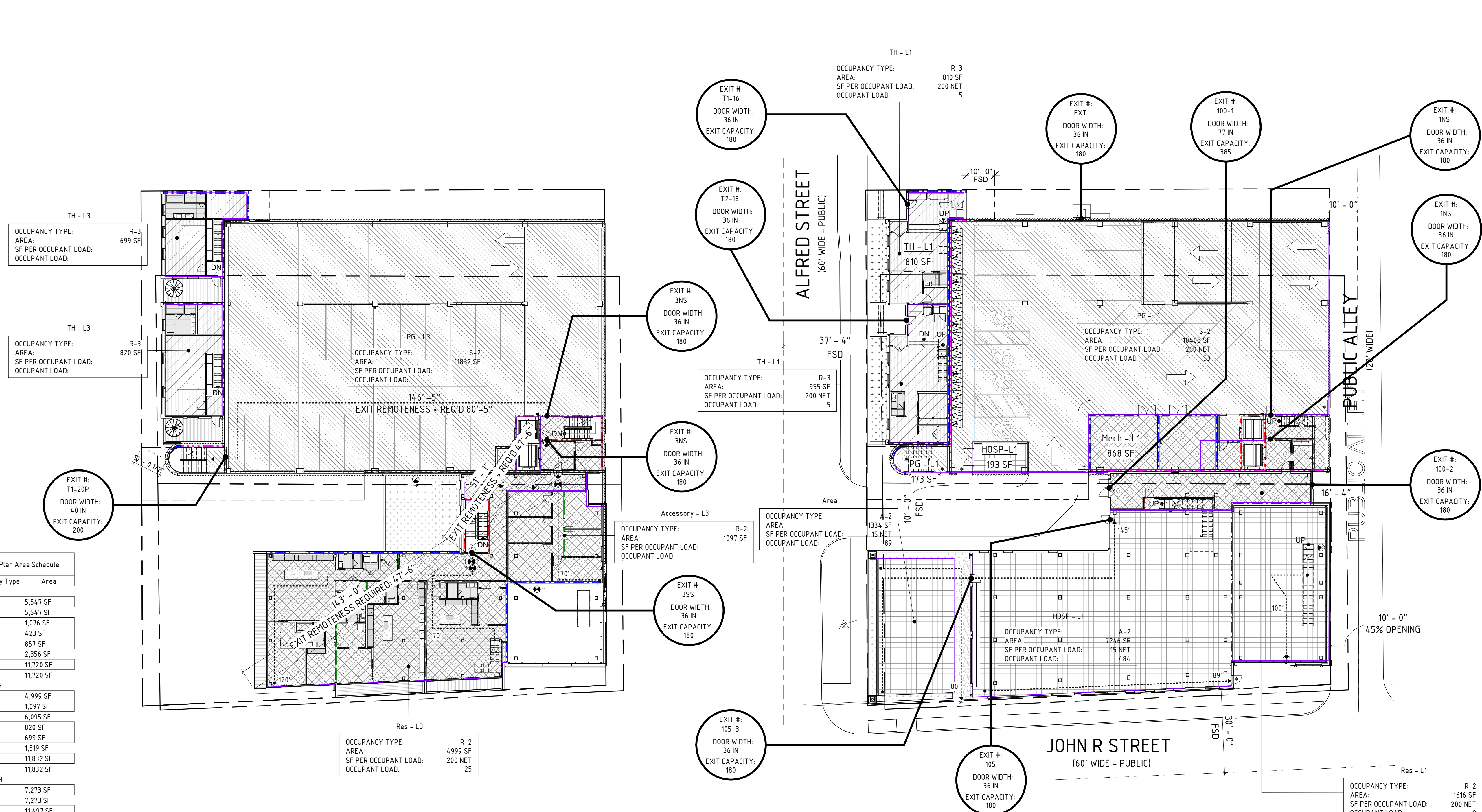
### LIFE SAFETY PLAN LEGEND

- TRAVEL DISTANCE FROM ORIGIN TO EXIT DISCHARGE (dashed line with dots)
- EXIT LOCATION (ALL EXIT LOCATIONS TO RECEIVE SIGN) (circle with arrow)
- EXIT DISCHARGE (ALL EXIT DISCHARGE LOCATIONS TO RECEIVE SIGN) (star symbol)
- EXIT SIGN (circle with X)
- FIRE EXTINGUISHER CABINET (circle with 'FEC')
- EXIT # (circle with #)
- DOOR WIDTH (circle with 'D')
- EXIT CAPACITY (circle with 'C')
- 5 HOUR RATED PARTITION (thick green bar)
- 1 HOUR RATED PARTITION (thin blue bar)
- 2 HOUR RATED PARTITION (medium blue bar)
- 3 HOUR RATED PARTITION (thin red bar)

Code Plan Area Schedule	
Occupancy Type	Area
Level 1 HH	
A-2	7,246 SF
A-2	193 SF
A-2	1,334 SF
R-2	8,772 SF
R-2	1,616 SF
R-2	868 SF
R-3	2,484 SF
R-3	810 SF
R-3	955 SF
S-2	1,364 SF
S-2	10,408 SF
S-2	173 SF
Level 1 HH MEZZ	
R-2	129 SF
R-2	129 SF
S-1	1,319 SF
LEVEL 2 HH	
A-2	1,456 SF
A-2	1,456 SF

Code Plan Area Schedule	
Occupancy Type	Area
B	5,547 SF
R-2	5,547 SF
R-3	1,076 SF
R-3	423 SF
R-3	857 SF
S-2	2,356 SF
S-2	11,720 SF
S-2	11,720 SF
Level 3 HH	
R-2	4,999 SF
R-2	11,997 SF
S-2	6,095 SF
R-3	820 SF
R-3	699 SF
Level 4 HH	
R-2	7,273 SF
R-2	7,273 SF
S-2	11,497 SF
S-2	11,497 SF
Level 5 HH	
R-2	6,623 SF
R-2	6,623 SF

4 LS-Level 4 HH  
Scale: 1" = 20'-0"



3 LS-Level 3 HH  
Scale: 1" = 20'-0"

2 LS-Level 2 HH  
Scale: 1" = 20'-0"

1 LS-Level 1 HH  
Scale: 1" = 20'-0"


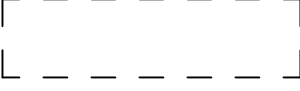
**DEMOLITION NOTES**

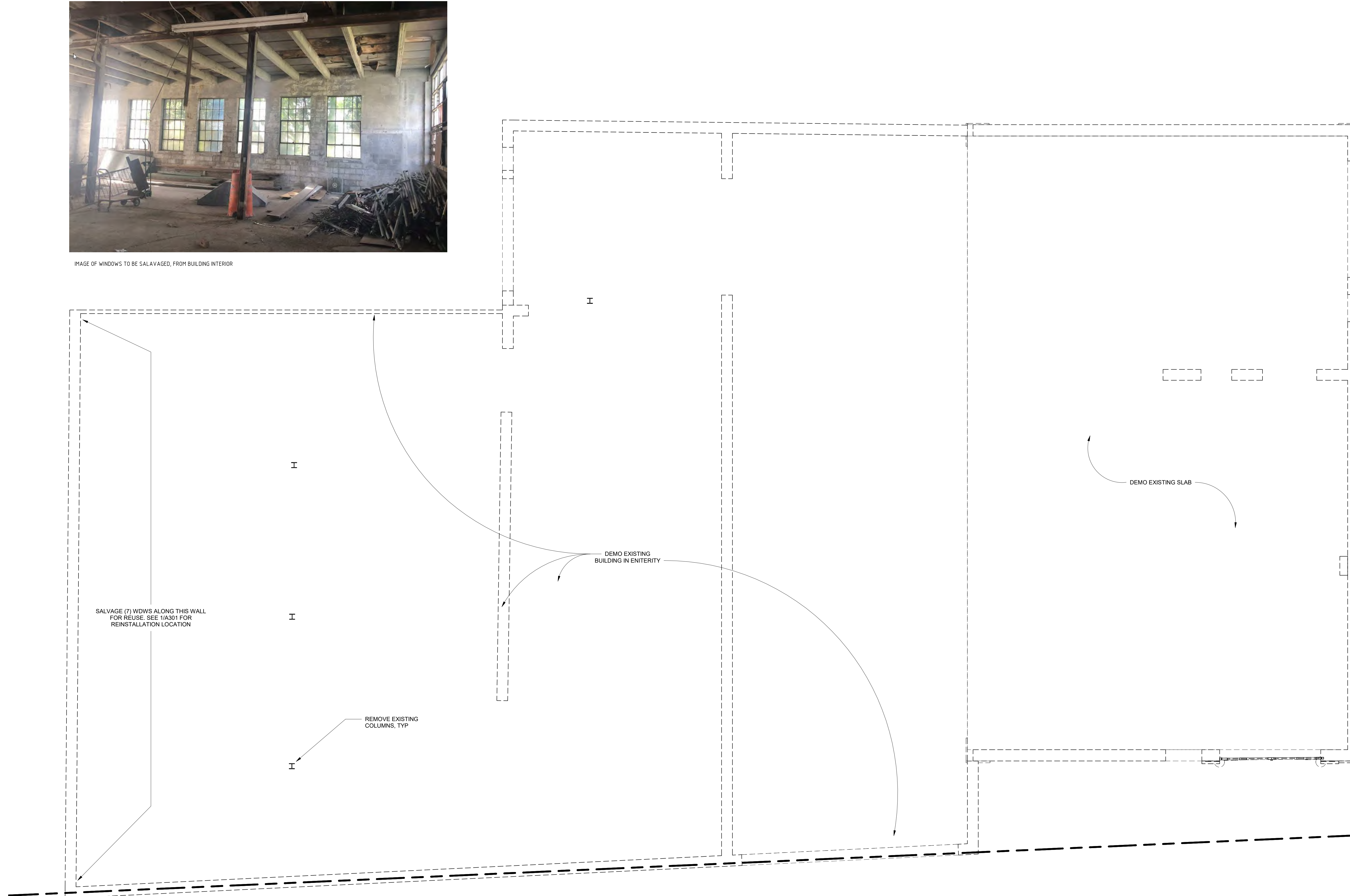
01. THE BRICK CARRIAGE HOUSE IS TO REMAIN. THE ADJACENT MASONRY BUILDING WITH WOOD ROOF IS TO BE DEMOLISHED IN ITS ENTIRETY, INCLUDING WALLS, ROOF, SLAB & FOUNDATIONS. REFER TO STRUCTURAL DRAWINGS FOR BRACING INFORMATION AROUND THE BRICK CARRIAGE HOUSE. THE BRICK CARRIAGE HOUSE IS TO REMAIN INTACT AND UNAFFECTED BY DEMOLITION OF THE ADJACENT BUILDING. ANY INCIDENTAL DAMAGES THAT OCCURS TO THE CARRIAGE HOUSE IS TO BE REPAIRED.
02. BEFORE DEMOLITION BEGINS, THE GC IS TO HOLD A MEETING WITH OWNER, ARCHITECT, AND CONTRACTORS ON SITE TO REVIEW THE SCOPE OF THE DEMOLITION AND ALL ITEMS THAT ARE TO BE SALVAGED AND/OR PROTECTED DURING DEMO.
03. SALVAGE WINDOWS IN SOUTH AND WEST FACADES AND STORE IN DRY SPACE SO THE OWNER AND DESIGN TEAM CAN REVIEW THE CONDITION AND DETERMINE STEPS REQUIRED FOR RE-USE.
04. SALVAGE SLATE IN OUTDOOR AREA AND PROTECT ON SITE - THIS IS TO BE RE-USED AS PART OF THE RESTAURANT DINING PATIO
05. ALL WORK PERFORMED IN CONNECTION WITH THESE DRAWINGS AND SPECIFICATIONS SHALL BE IN STRICT COMPLIANCE WITH PERTINENT CODES, RULES, ORDINANCES AND REGULATIONS OF THE LOCAL, STATE AND FEDERAL GOVERNING AUTHORITIES.
06. ALL WORK PERFORMED IN CONNECTION WITH THESE DRAWINGS AND SPECIFICATIONS SHALL BE IN STRICT COMPLIANCE WITH THE LATEST OSHA SAFETY AND HEALTH STANDARDS.
07. PRIOR TO ANY EXCAVATION OR EARTH MOVING, CONTRACTOR(S) SHALL PHYSICALLY LOCATE ALL UNDERGROUND UTILITIES IN THE CONSTRUCTION AREA.
08. THE CONTRACTOR(S) SHALL PROTECT ADJACENT PROPERTIES AND ADJACENT BUILDING AND SITE FEATURES, BEYOND THE GENERAL BOUNDARY OF CONSTRUCTION OPERATIONS, AND CURBING/PAVEMENT AND OTHER SITE FEATURES WITHIN THE LIMIT OF WORK (L.O.W.) FROM DAMAGE AND DEBRIS. IMMEDIATELY MAKE REPAIRS OR CORRECTIONS TO RETURN THE DAMAGED ITEMS TO THEIR PREVIOUS STATE. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR REPLACING ALL ITEMS DAMAGED DURING CONSTRUCTION.
09. ALL ITEMS ON THE SITE ARE THE PROPERTY OF THE OWNER. THE CONTRACTOR SHALL REVIEW ALL ITEMS TO BE REMOVED WITH THE OWNER PRIOR TO ANY DEMOLITION.
10. FURNISH SITE FENCING FENCING & DUST COVERINGS, ETC. AS REQUIRED TO PROTECT THE PUBLIC RIGHT-OF-WAY DURING DEMOLITION.



IMAGE OF WINDOWS TO BE SALVAGED, FROM BUILDING INTERIOR

**LEGEND**

-  EXISTING CARRIAGE HOUSE BRICK WALLS TO REMAIN. FOR BRACING OF WALLS RE: STRUCTURAL DRAWINGS
-  EXISTING STRUCTURE TO BE DEMOLISHED



**1** DEMO - LEVEL 1  
Scale: 1/4" = 1'-0"

**1003**

OOMBRA PROJECT #

**2827 JOHN R STREET  
DETROIT MI 48201**

**OWNER**

BRUSH PARK PROPERTIES, LLC  
79 ALFRED STREET  
DETROIT, MICHIGAN 48201  
313.578.1200

**STRUCTURAL ENGINEER**

JDH ENGINEERING  
3000 IVANREST AVE SW,  
GRANDVILLE, MI 49418  
(616) 531-6020

**LANDSCAPE & CIVIL ENGINEER**

PEA INC.  
45 WEST GRAND RIVER AVE  
SUITE 501  
DETROIT, MI 48226  
313.769.5770

**MEP ENGINEER**

STRATEGIC ENERGY SOLUTIONS, INC.  
4000 WEST ELEVEN MILE ROAD  
BERKLEY, MI 48072  
248.399.1900



ARCHITECT | ANDREW J. REILLY  
No. 1301066222

**OOMBRA  
ARCHITECTS**

OOMBRA ARCHITECTS, LLC.  
PHILADELPHIA, PA  
WWW.OOMBRA.COM  
267.741.0007

DRAWING ISSUE	DATE
ISSUED FOR PERMIT	10.29.2021
BOARD OF APPEALS SUBMISSION	03.24.2022
HDC REVISED APPLICATION	09.14.2022

**DEMOLITION PLAN**

**AD01**

SCALE : AS INDICATED 8/22/2022 5:02:21 PM



**OWNER**

BRUSH PARK PROPERTIES, LLC  
79 ALFRED STREET  
DETROIT, MICHIGAN 48201  
313.578.1200

**STRUCTURAL ENGINEER**

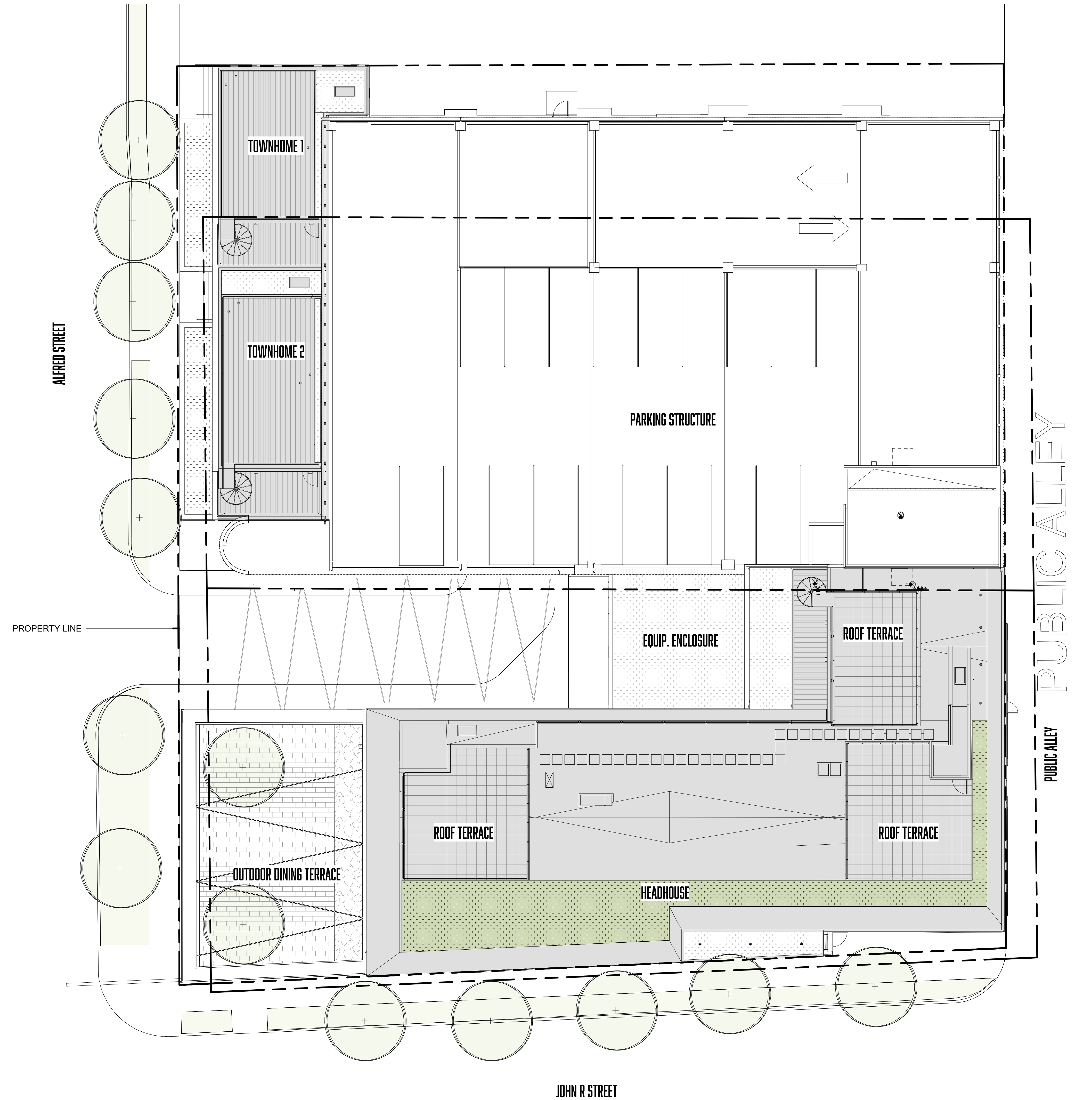
JDH ENGINEERING  
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GRANDVILLE, MI 49418  
(616) 531-6020

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ARCHITECT | ANDREW J. REILLY  
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# OOMBRA ARCHITECTS

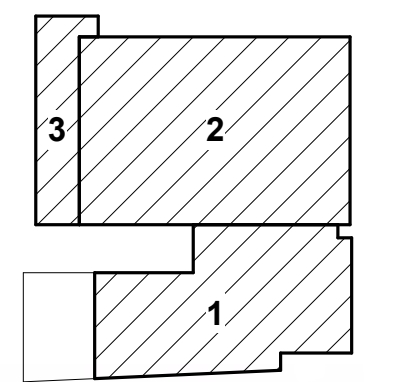
OOMBRA ARCHITECTS, LLC.  
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1 SITE PLAN  
Scale: 1" = 10'-0"

**ARCHITECTURAL SITE PLAN**

# A001

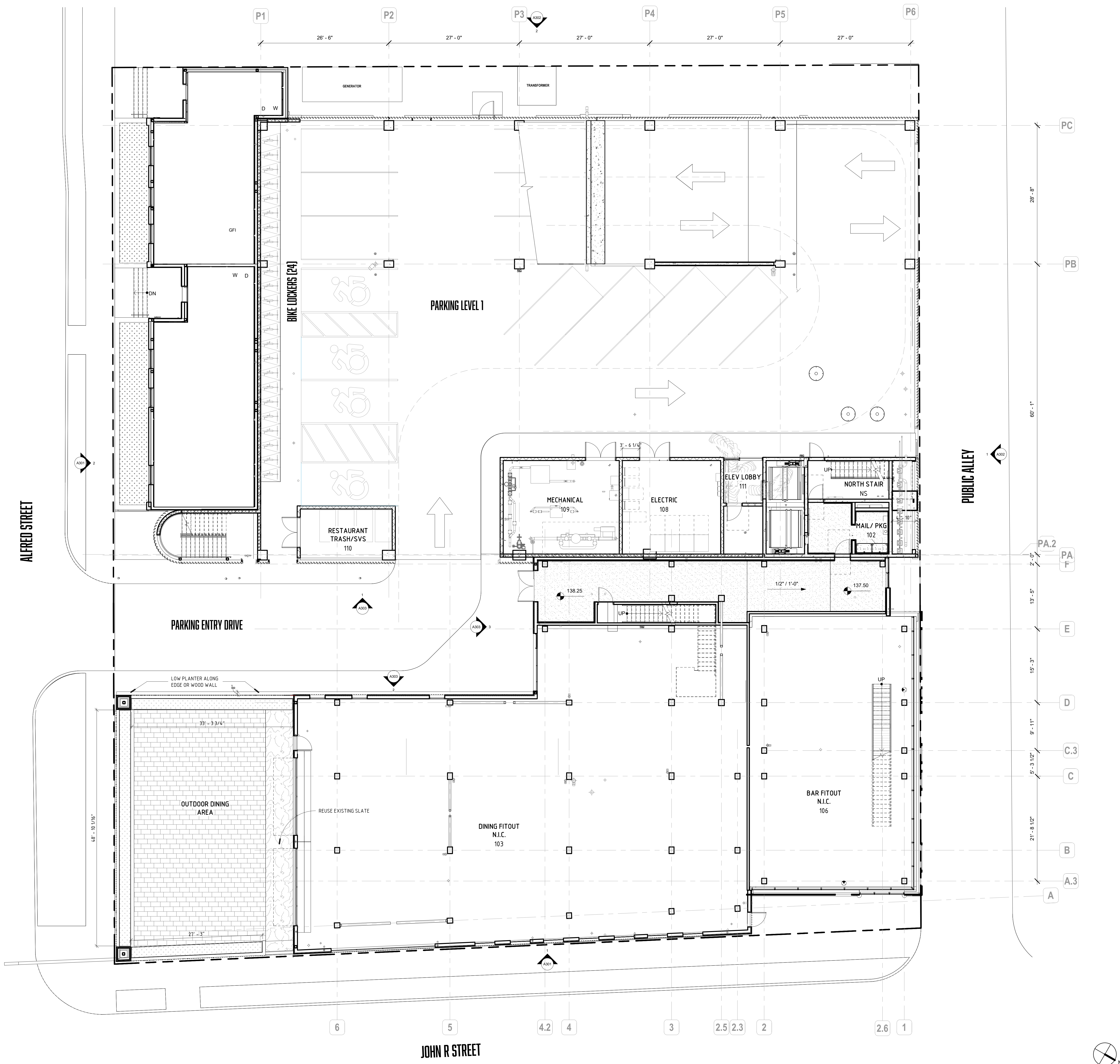


ARCHITECT | ANDREW J. REILLY  
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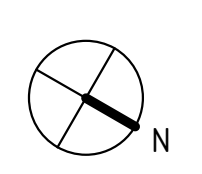


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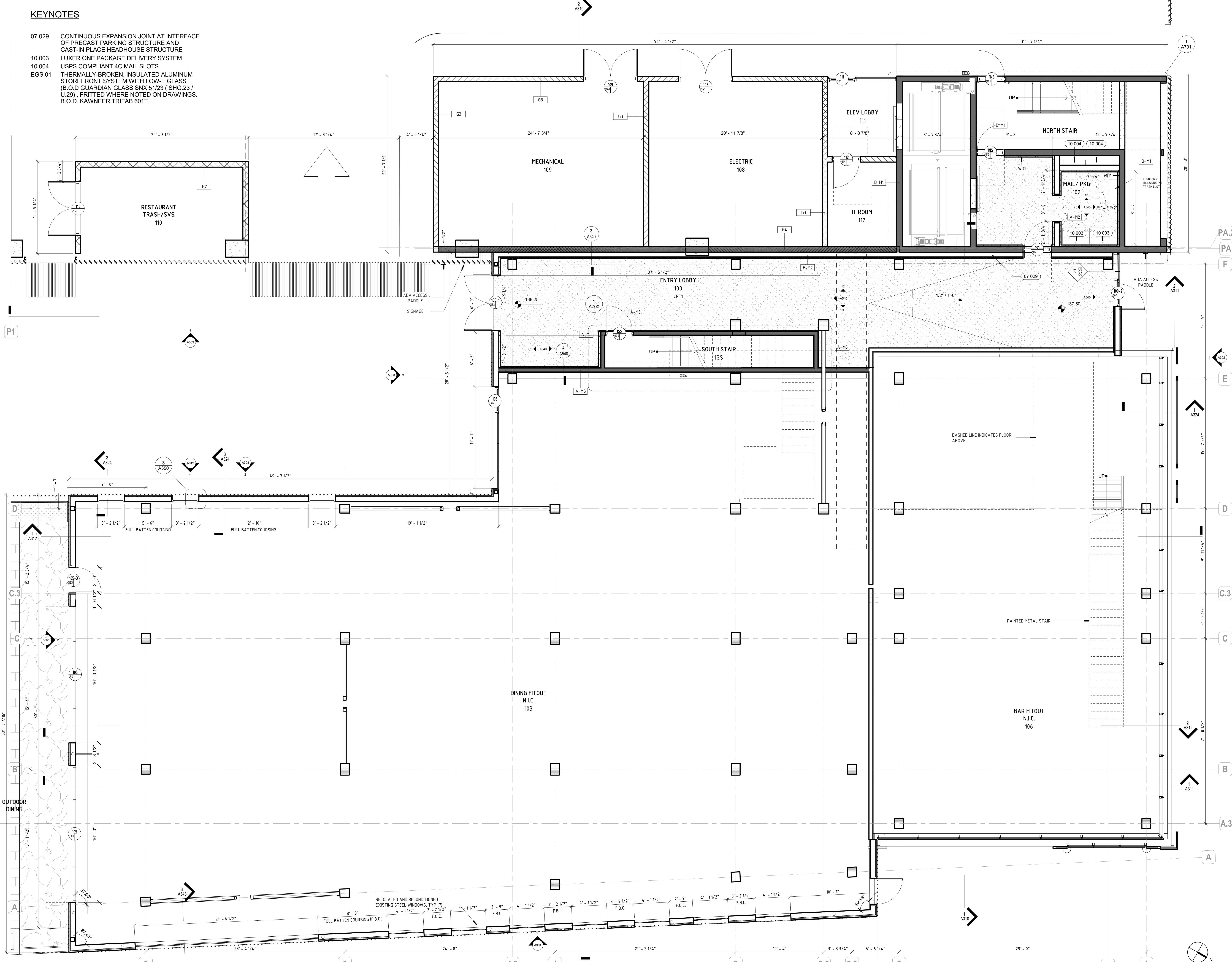


1 OVERALL - LEVEL 1  
Scale: 1/8" = 1'-0"



**KEYNOTES**

- 07 029 CONTINUOUS EXPANSION JOINT AT INTERFACE OF PRECAST PARKING STRUCTURE AND CAST-IN PLACE HEADHOUSE STRUCTURE
- 10 003 LUXER ONE PACKAGE DELIVERY SYSTEM
- 10 004 USPS COMPLIANT 4C MAIL SLOTS
- EGS 01 THERMALLY-BROKEN, INSULATED ALUMINUM STOREFRONT SYSTEM WITH LOW-E GLASS (B.O.D GUARDIAN GLASS SNX 51/23 ( SHG.23 / U.29 ), FRITTED WHERE NOTED ON DRAWINGS. B.O.D. KAWNEER TRIFAB 601T.



**1 HEADHOUSE - LEVEL 1**  
Scale: 1/4" = 1'-0"

# 1003

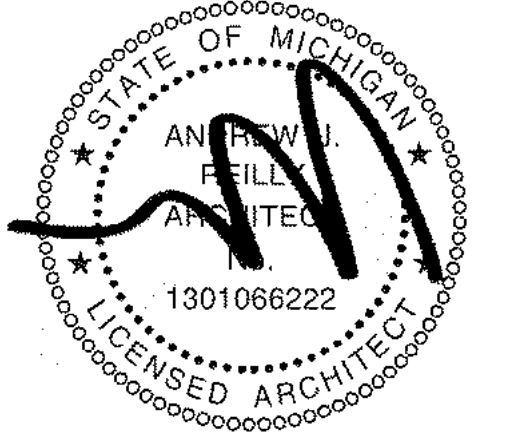
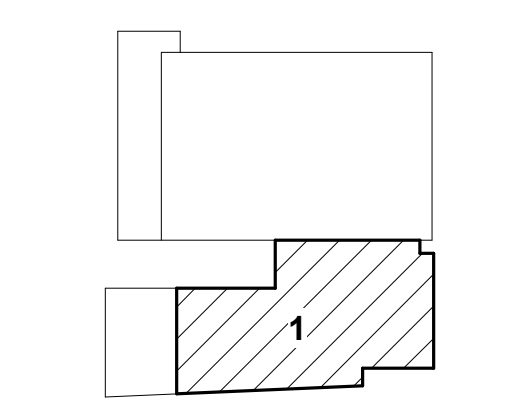
2827 JOHN R STREET  
DETROIT MI 48201

**OWNER**  
BRUSH PARK PROPERTIES, LLC  
79 ALFRED STREET  
DETROIT, MICHIGAN 48201  
313.578.1200

**STRUCTURAL ENGINEER**  
JDH ENGINEERING  
3000 IVANREST AVE SW,  
GRANDVILLE, MI 49418  
(616) 531-6020

**LANDSCAPE & CIVIL ENGINEER**  
PEA INC.  
45 WEST GRAND RIVER AVE  
SUITE 501  
DETROIT, MI 48226  
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**MEP ENGINEER**  
STRATEGIC ENERGY SOLUTIONS, INC.  
4000 WEST ELEVEN MILE ROAD  
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ARCHITECT | ANDREW J. REILLY  
No. 1301066222

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OOMBRA ARCHITECTS, LLC.  
PHILADELPHIA, PA  
WWW.OOMBRA.COM  
267.741.0007

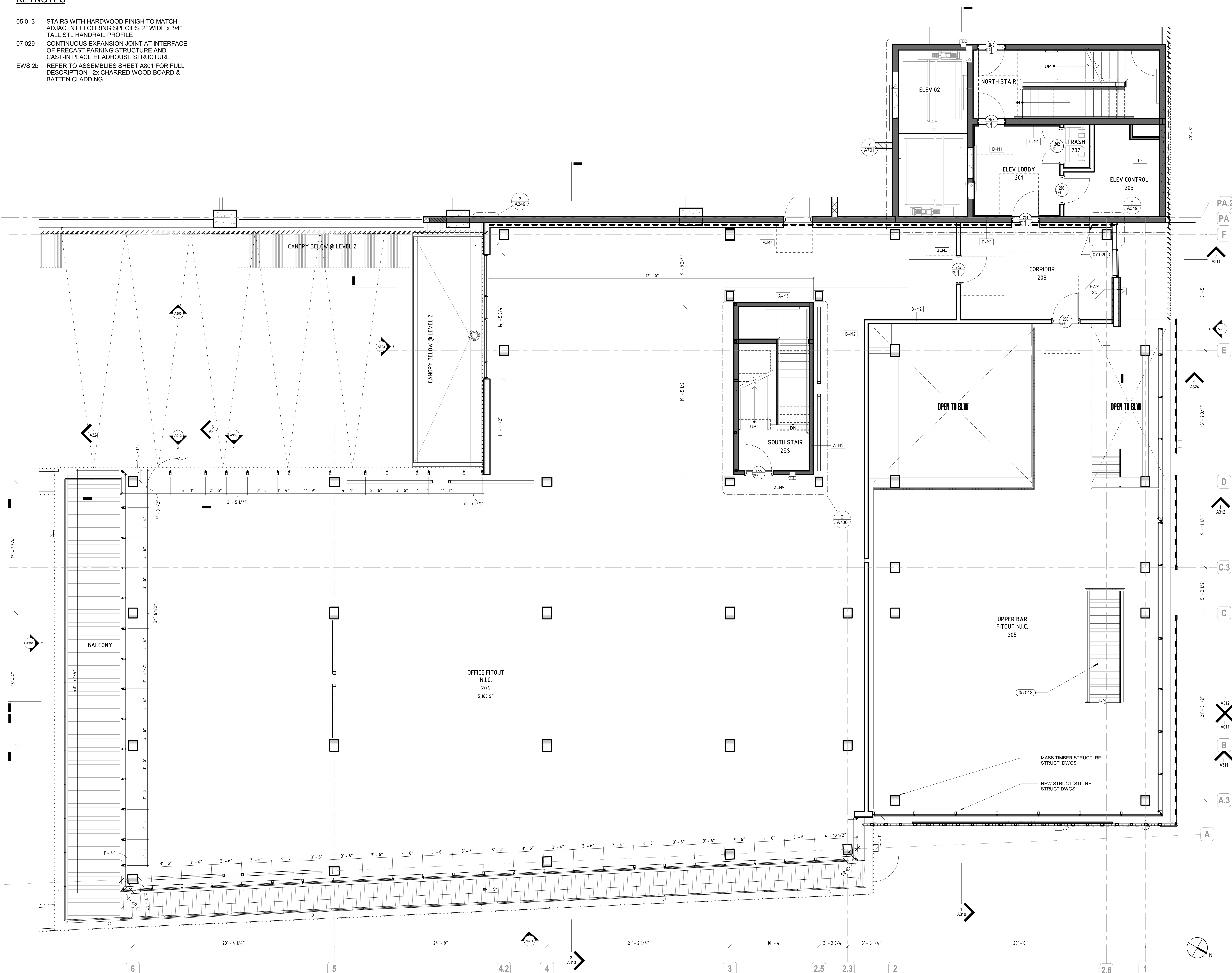
DRAWING ISSUE	DATE
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BOARD OF APPEALS SUBMISSION	03.24.2022
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**HEADHOUSE LEVEL 1 FLOOR PLAN**

# A201

**KEYNOTES**

- 05 013 STAIRS WITH HARDWOOD FINISH TO MATCH ADJACENT FLOORING SPECIES, 2" WIDE x 3/4" TALL STL. HANDRAIL PROFILE
- 07 029 CONTINUOUS EXPANSION JOINT AT INTERFACE OF PRECAST PARKING STRUCTURE AND CAST-IN PLACE HEADHOUSE STRUCTURE
- EWS 2b REFER TO ASSEMBLIES SHEET A801 FOR FULL DESCRIPTION - 2x CHARRED WOOD BOARD & BATTEN CLADDING.



**1 HEADHOUSE - LEVEL 2**  
Scale: 1/4" = 1'-0"

# 1003

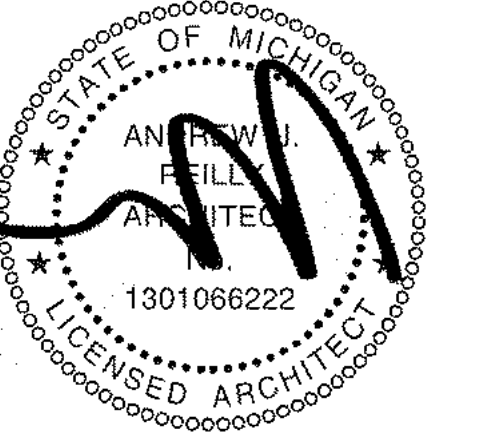
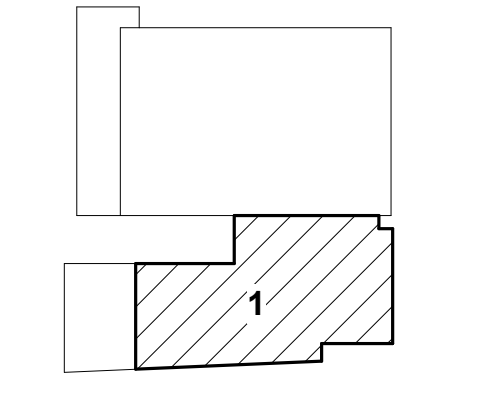
2827 JOHN R STREET  
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**OWNER**  
BRUSH PARK PROPERTIES, LLC  
79 ALFRED STREET  
DETROIT, MICHIGAN 48201  
313.578.1200

**STRUCTURAL ENGINEER**  
JDH ENGINEERING  
3000 IVANREST AVE SW,  
GRANDVILLE, MI 49418  
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**LANDSCAPE & CIVIL ENGINEER**  
PEA INC.  
45 WEST GRAND RIVER AVE  
SUITE 501  
DETROIT, MI 48226  
313.769.5770

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STRATEGIC ENERGY SOLUTIONS, INC.  
4000 WEST ELEVEN MILE ROAD  
BERKLEY, MI 48072  
248.399.1900



ARCHITECT | ANDREW J. REILLY  
No. 1301066222

# OOMBRA ARCHITECTS

OOMBRA ARCHITECTS, LLC.  
PHILADELPHIA, PA  
WWW.OOMBRA.COM  
267.741.0007

DRAWING ISSUE	DATE
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BOARD OF APPEALS SUBMISSION	03.24.2022
HDC REVISED APPLICATION	09.14.2022

**HEADHOUSE LEVEL 2 FLOOR PLAN**

# A202

SCALE : AS INDICATED 8/22/2022 4:54:08 PM

### OWNER

BRUSH PARK PROPERTIES, LLC  
79 ALFRED STREET  
DETROIT, MICHIGAN 48201  
313.578.1200

### STRUCTURAL ENGINEER

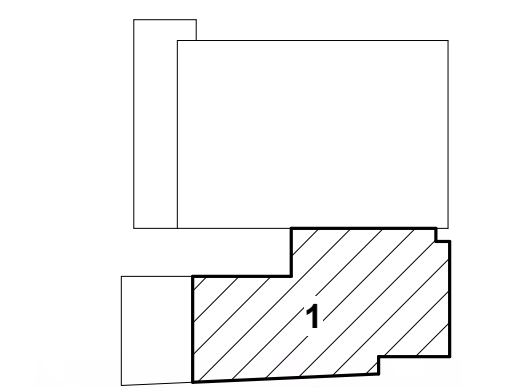
JDH ENGINEERING  
3000 IVANREST AVE SW,  
GRANDVILLE, MI 49418  
(616) 531-6020

### LANDSCAPE & CIVIL ENGINEER

PEA INC.  
45 WEST GRAND RIVER AVE  
SUITE 501  
DETROIT, MI 48226  
313.769.5770

### MEP ENGINEER

STRATEGIC ENERGY SOLUTIONS, INC.  
4000 WEST ELEVEN MILE ROAD  
BERKLEY, MI 48072  
248.399.1900



ARCHITECT | ANDREW J. REILLY  
No. 1301066222

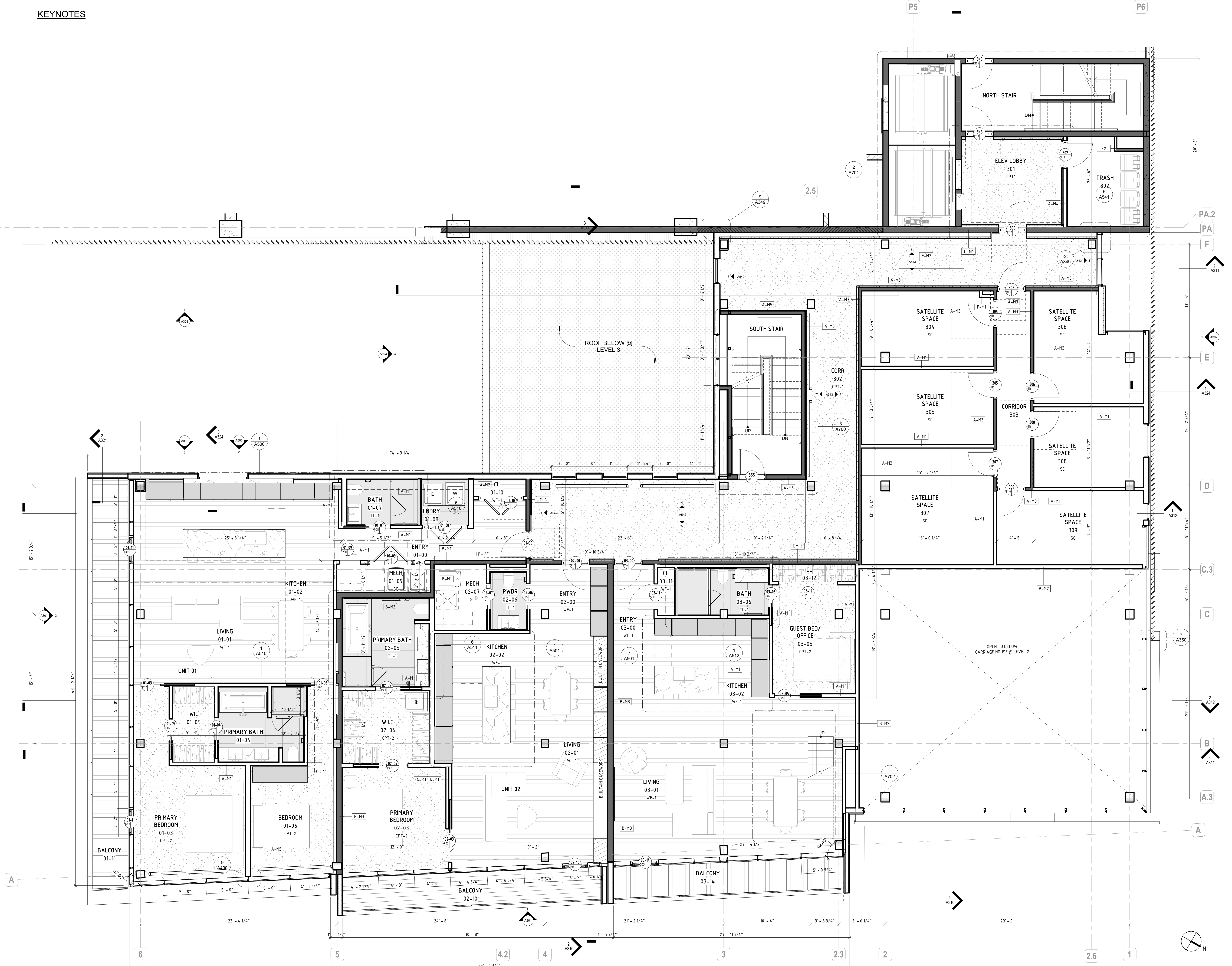
# OOMBRA ARCHITECTS

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WWW.OOMBRA.COM  
267.741.0007

DRAWING ISSUE	DATE
ISSUED FOR PERMIT	10.29.2021
BOARD OF APPEALS SUBMISSION	03.24.2022
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### HEADHOUSE LEVEL 3 FLOOR PLAN

# A203

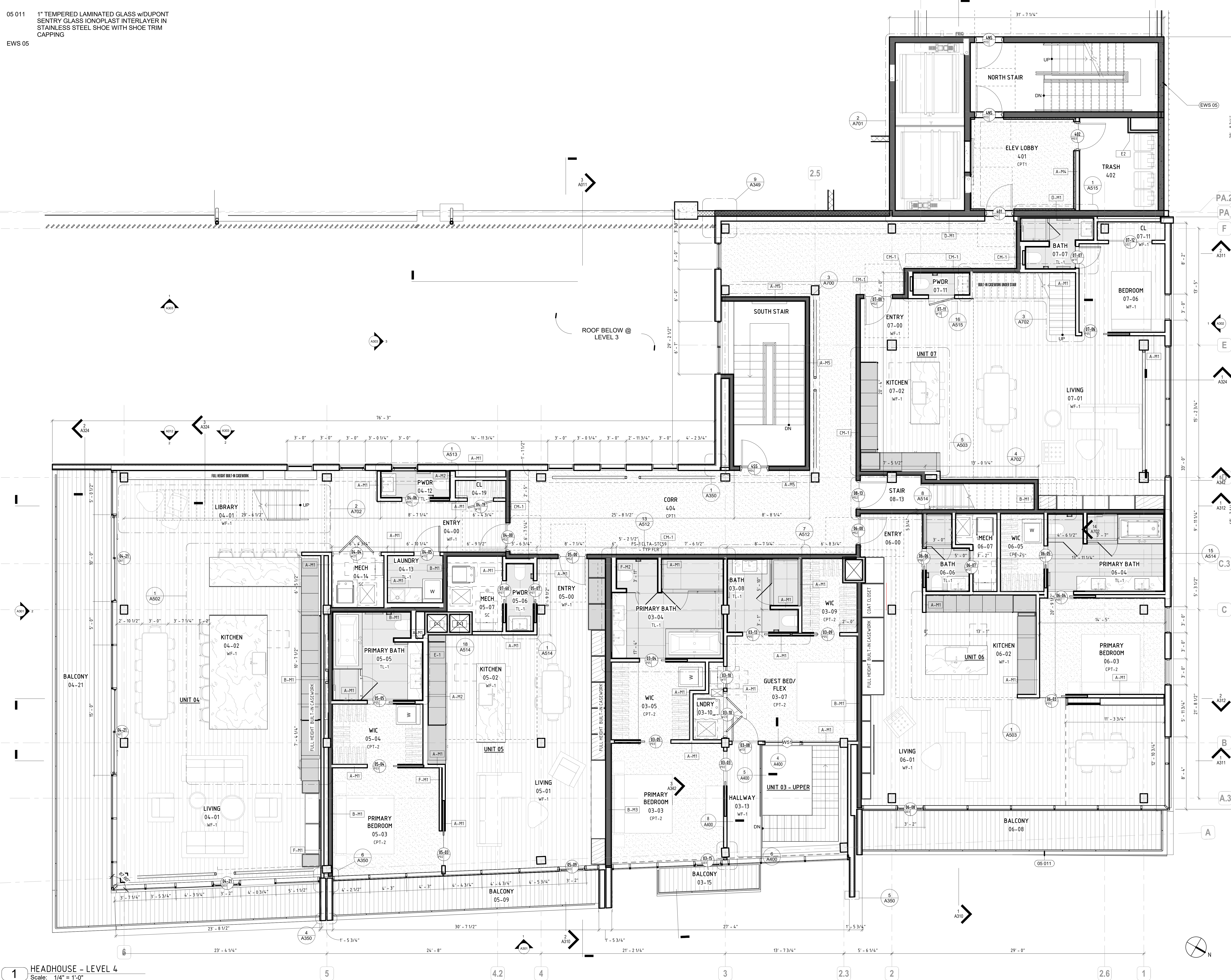


1 HEADHOUSE - LEVEL 3  
Scale: 1/4" = 1'-0"

KEYNOTES

05 011 1" TEMPERED LAMINATED GLASS w/DUPONT SENTRY GLASS IONOPLAST INTERLAYER IN STAINLESS STEEL SHOE WITH SHOE TRIM CAPPING  
EWS 05

1 HEADHOUSE - LEVEL 4  
Scale: 1/4" = 1'-0"



1003

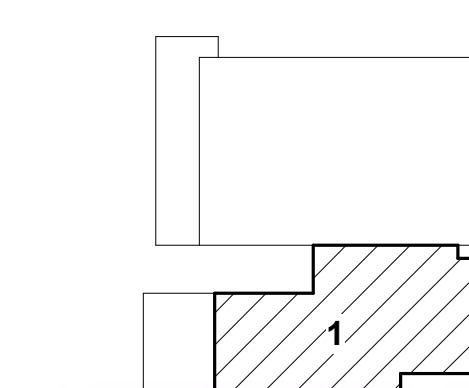
2827 JOHN R STREET  
DETROIT MI 48201

OWNER  
BRUSH PARK PROPERTIES, LLC  
79 ALFRED STREET  
DETROIT, MICHIGAN 48201  
313.578.1200

STRUCTURAL ENGINEER  
JDH ENGINEERING  
3000 IVANREST AVE SW,  
GRANDVILLE, MI 49418  
(616) 531-6020

LANDSCAPE & CIVIL ENGINEER  
PEA INC.  
45 WEST GRAND RIVER AVE  
SUITE 501  
DETROIT, MI 48226  
313.769.5770

MEP ENGINEER  
STRATEGIC ENERGY SOLUTIONS, INC.  
4000 WEST ELEVEN MILE ROAD  
BERKLEY, MI 48072  
248.399.1900



ARCHITECT | ANDREW J. REILLY  
No. 1301066222

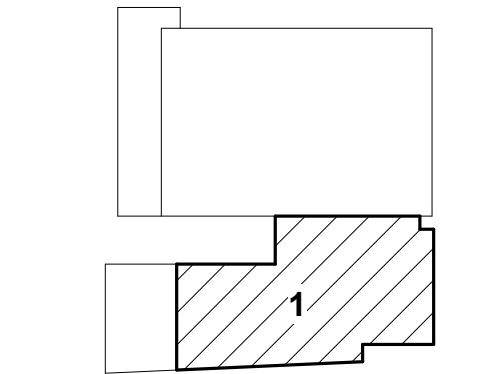
OOMBRA  
ARCHITECTS

OOMBRA ARCHITECTS, LLC.  
PHILADELPHIA, PA  
WWW.OOMBRA.COM  
267.741.0007

DRAWING ISSUE	DATE
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HEADHOUSE LEVEL 4  
FLOOR PLAN

A204



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**1 HEADHOUSE - LEVEL 5**  
Scale: 1/4" = 1'-0"

**KEYNOTES**

- 05 019 STEEL SPIRAL STAIR WITH POWDER COATED FINISH, PICKETS AND SOLID PLATE CONT. STRINGER BAND, RE: SPEC.
- 06 003 2X2 IPE WOOD PAVER SYSTEM ON ADJUSTABLE PEDESTALS, B.O.D. BISON PAVER SYSTEM
- 06 013 24" X 48" IPE WOOD PAVER SYSTEM WITH PEDESTALS, WATERPROOFING, AND FLASHING AS REQ'D FOR COMPLETE INSTALLATION
- EGS 07 ALUMINUM SKYLIGHT, FIXED, B.O.D. SOLAR INNOVATIONS SERIES SI5000 OR SIMILAR.
- RS 1 REFER TO ASSEMBLIES SHEET A801 FOR FULL DESCRIPTION - ROOFING MEMBRANE WITH RIGID INSULATION ON CLT.
- RS 3 REFER TO ASSEMBLIES SHEET A801 FOR FULL DESCRIPTION - R1 + GREEN ROOF TRAY SYSTEM.
- RS-1

# 1003

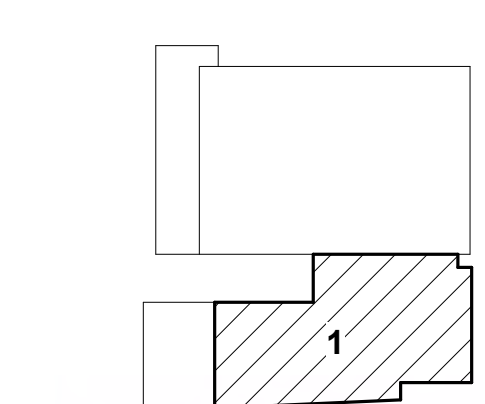
2827 JOHN R STREET  
DETROIT MI 48201

**OWNER**  
BRUSH PARK PROPERTIES, LLC  
79 ALFRED STREET  
DETROIT, MICHIGAN 48201  
313.578.1200

**STRUCTURAL ENGINEER**  
JDH ENGINEERING  
3000 IVANREST AVE SW,  
GRANDVILLE, MI 49418  
(616) 531-6020

**LANDSCAPE & CIVIL ENGINEER**  
PEA INC.  
45 WEST GRAND RIVER AVE  
SUITE 501  
DETROIT, MI 48226  
313.769.5770

**MEP ENGINEER**  
STRATEGIC ENERGY SOLUTIONS, INC.  
4000 WEST ELEVEN MILE ROAD  
BERKLEY, MI 48072  
248.399.1900



ARCHITECT | ANDREW J. REILLY  
No. 1301066222

# OOMBRA ARCHITECTS

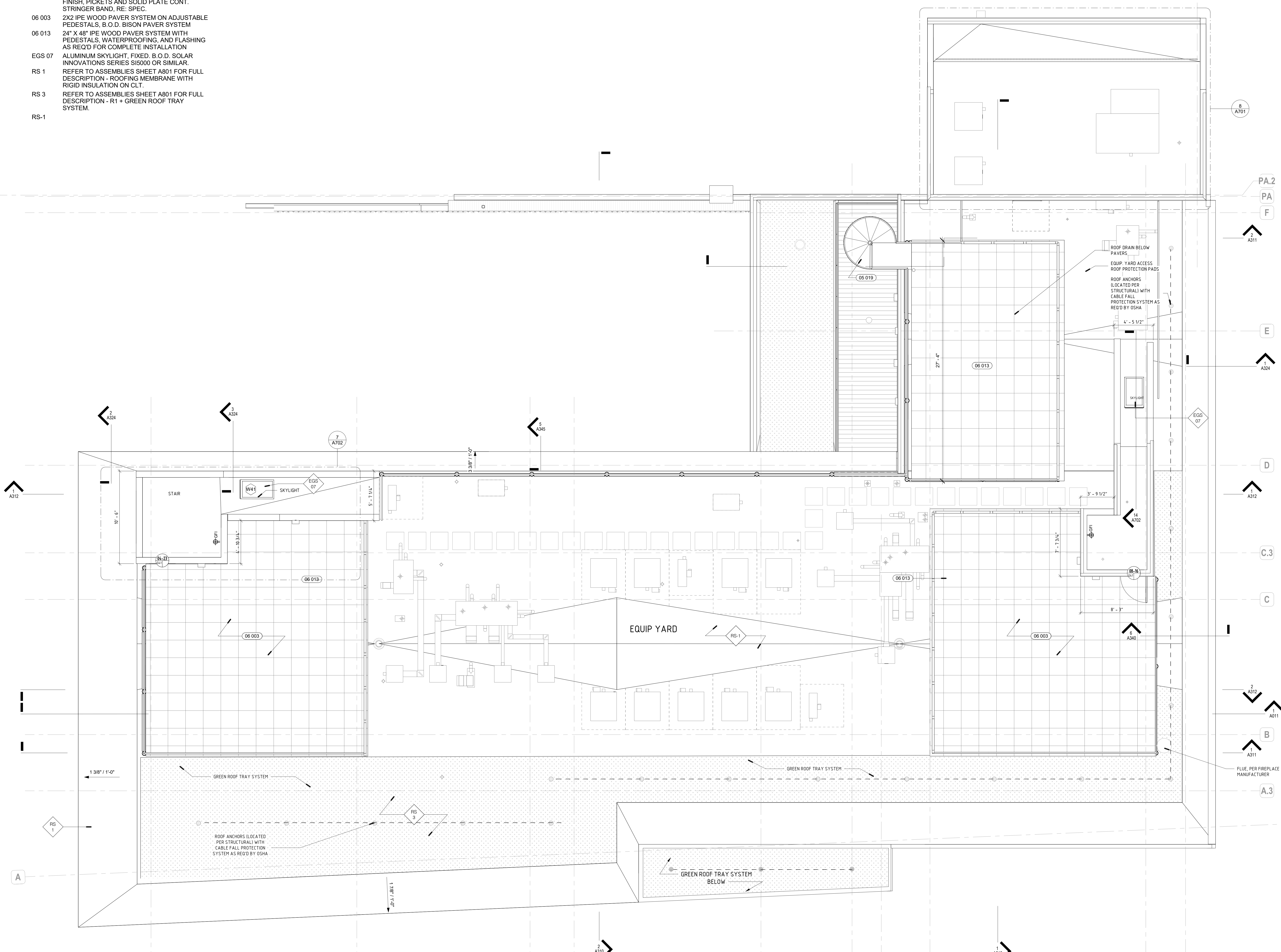
OOMBRA ARCHITECTS, LLC.  
PHILADELPHIA, PA  
WWW.OOMBRA.COM  
267.741.0007

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**HEADHOUSE ROOF PLAN**

# A207

SCALE : AS INDICATED 8/22/2022 3:32:28 PM



**1 HEADHOUSE - ROOF**  
Scale: 1/4" = 1'-0"



KEYNOTES

# 1003

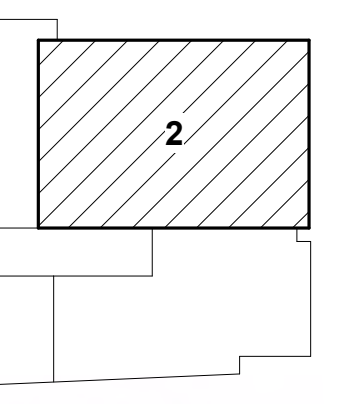
2827 JOHN R STREET  
DETROIT MI 48201

**OWNER**  
BRUSH PARK PROPERTIES, LLC  
79 ALFRED STREET  
DETROIT, MICHIGAN 48201  
313.578.1200

**STRUCTURAL ENGINEER**  
JDH ENGINEERING  
3000 IVANREST AVE SW,  
GRANDVILLE, MI 49418  
(616) 531-6020

**LANDSCAPE & CIVIL ENGINEER**  
PEA INC.  
45 WEST GRAND RIVER AVE  
SUITE 501  
DETROIT, MI 48226  
313.769.5770

**MEP ENGINEER**  
STRATEGIC ENERGY SOLUTIONS, INC.  
4000 WEST ELEVEN MILE ROAD  
BERKLEY, MI 48072  
248.399.1900



ARCHITECT | ANDREW J. REILLY  
No. 1301066222

# OOMBRA ARCHITECTS

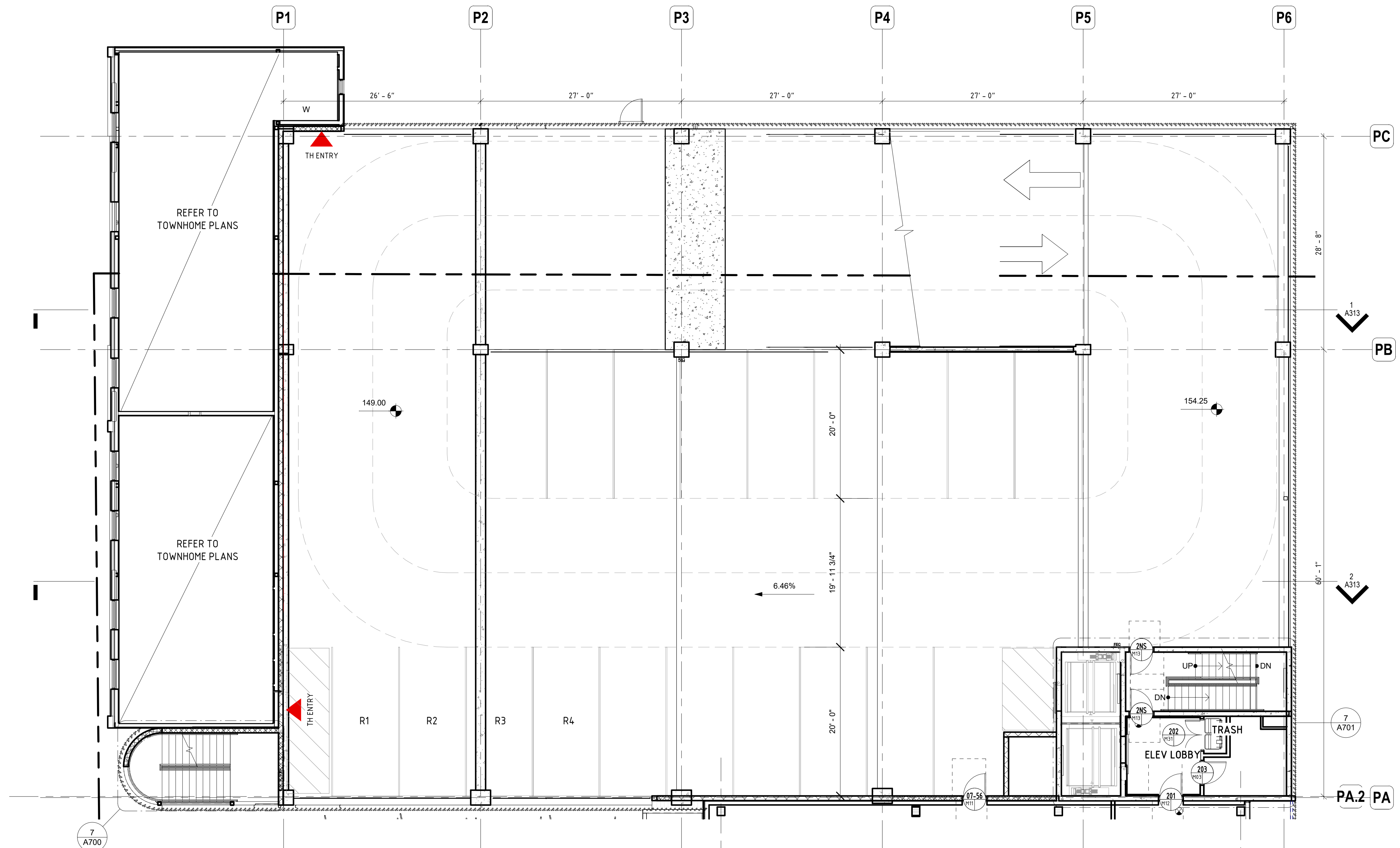
OOMBRA ARCHITECTS, LLC.  
PHILADELPHIA, PA  
WWW.OOMBRA.COM  
267.741.0007

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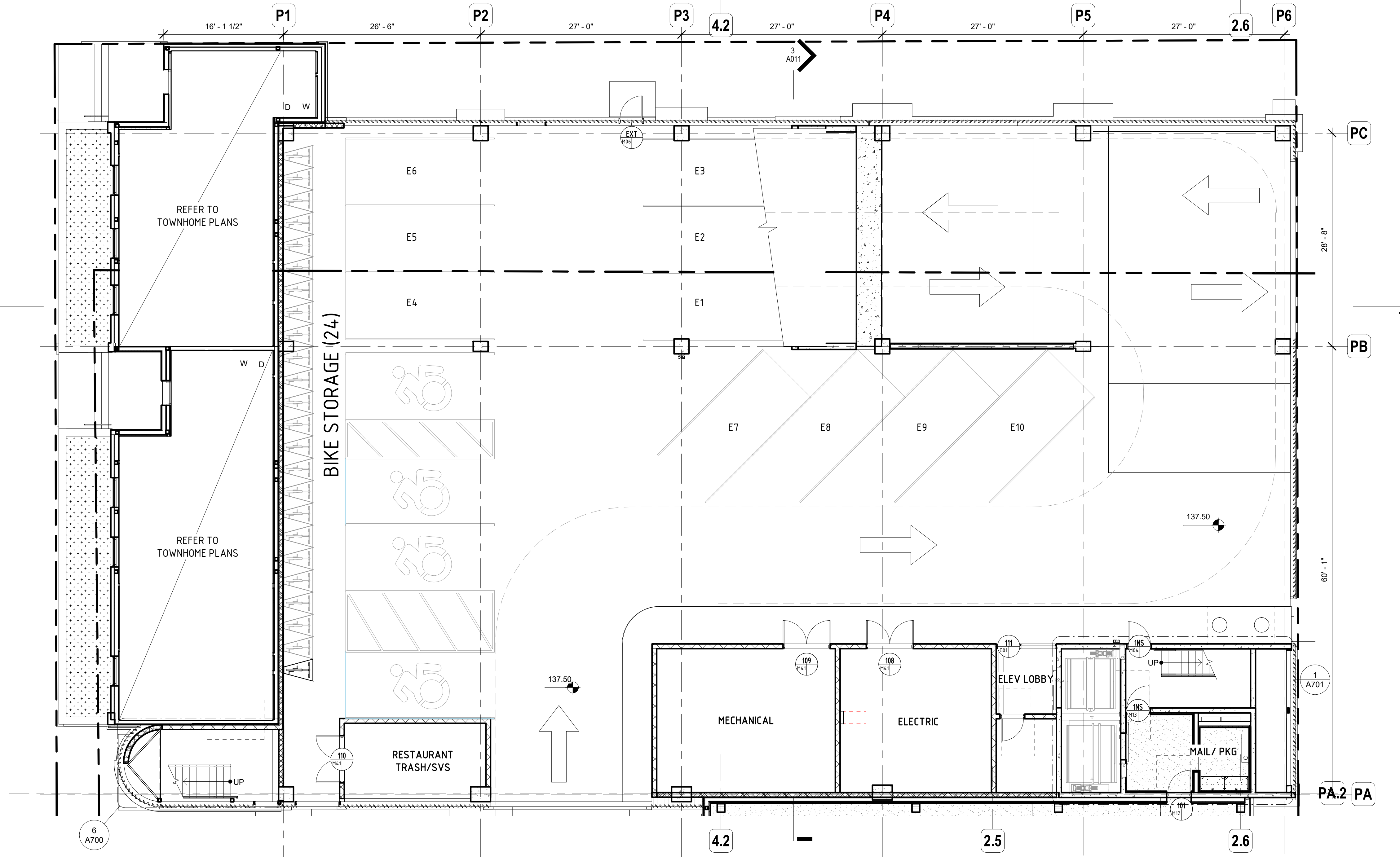
GARAGE PLANS

# A210

SCALE : AS INDICATED 8/22/2022 3:32:37 PM



**2** GARAGE - LEVEL 2  
Scale: 1/8" = 1'-0"



**1** GARAGE - LEVEL 1  
Scale: 1/8" = 1'-0"

KEYNOTES

# 1003

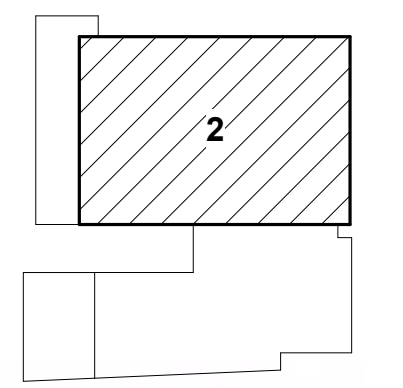
2827 JOHN R STREET  
DETROIT MI 48201

**OWNER**  
BRUSH PARK PROPERTIES, LLC  
79 ALFRED STREET  
DETROIT, MICHIGAN 48201  
313.578.1200

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GRANDVILLE, MI 49418  
(616) 531-6020

**LANDSCAPE & CIVIL ENGINEER**  
PEA INC.  
45 WEST GRAND RIVER AVE  
SUITE 501  
DETROIT, MI 48226  
313.769.5770

**MEP ENGINEER**  
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BERKLEY, MI 48072  
248.399.1900



ARCHITECT | ANDREW J. REILLY  
No. 1301066222

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OOMBRA ARCHITECTS, LLC.  
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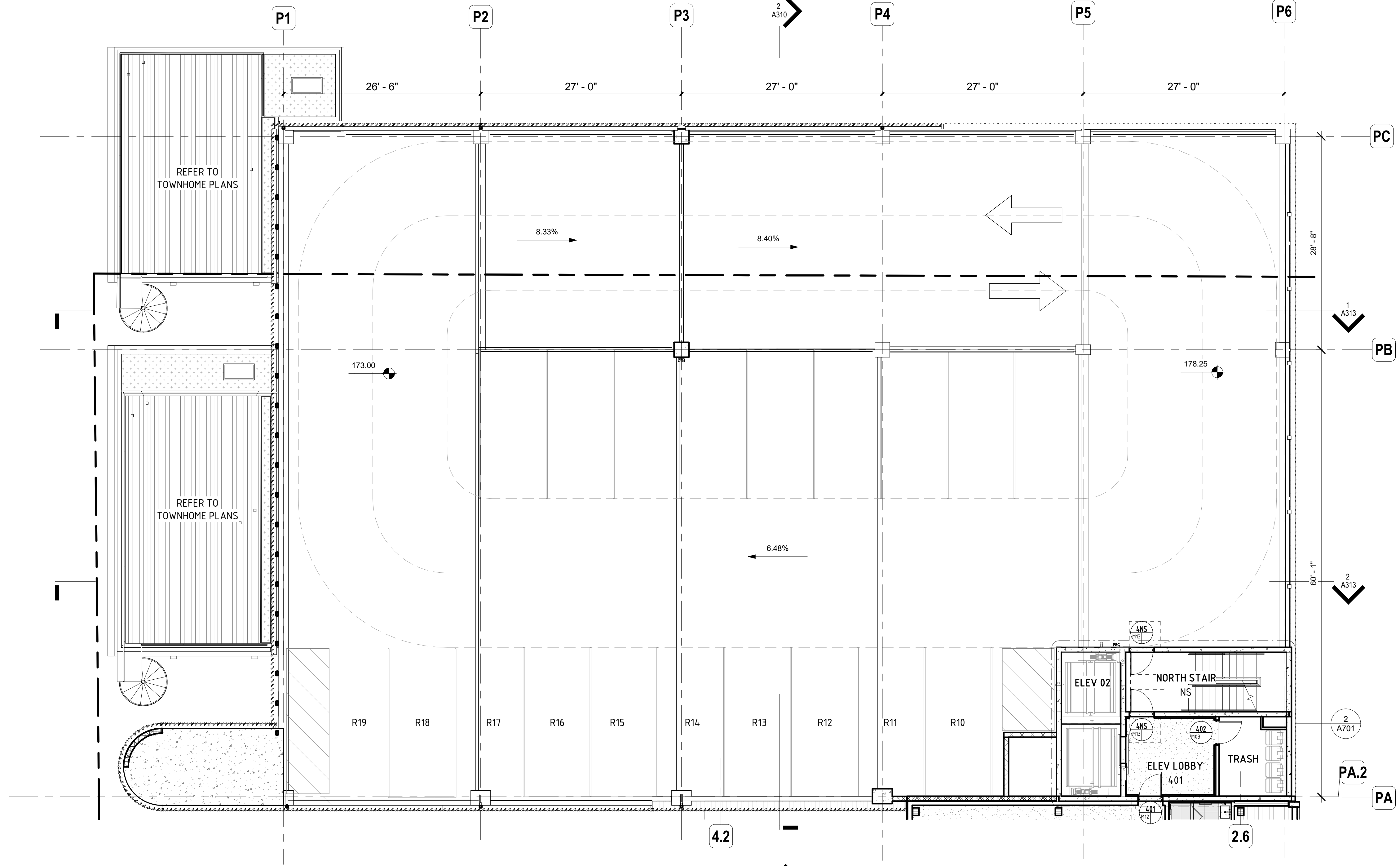
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GARAGE PLANS

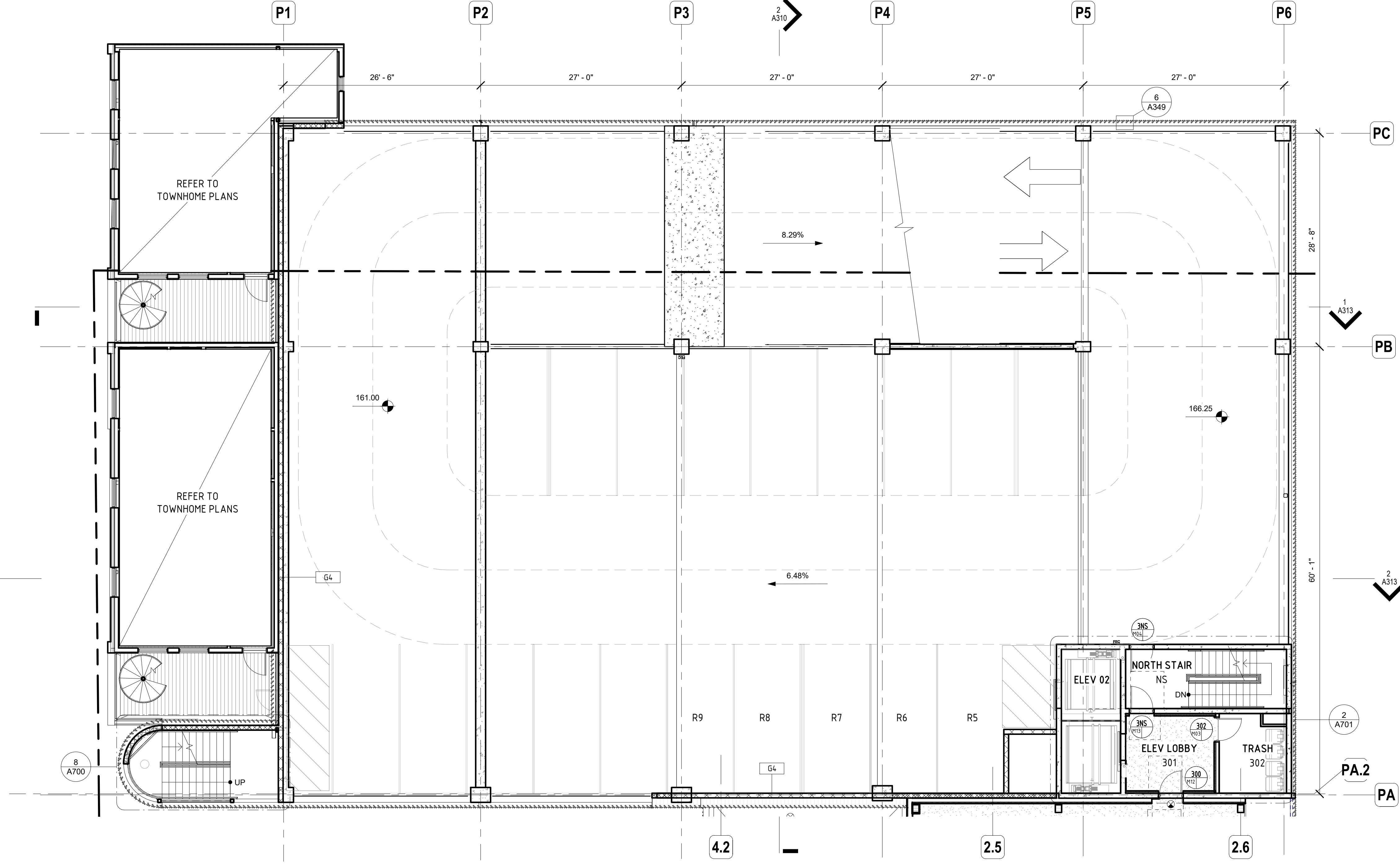
# A211

SCALE : AS INDICATED 8/22/2022 3:32:44 PM

2 GARAGE - LEVEL 4  
Scale: 1/8" = 1'-0"



1 GARAGE - LEVEL 3  
Scale: 1/8" = 1'-0"



**OWNER**

BRUSH PARK PROPERTIES, LLC  
79 ALFRED STREET  
DETROIT, MICHIGAN 48201  
313.578.1200

**STRUCTURAL ENGINEER**

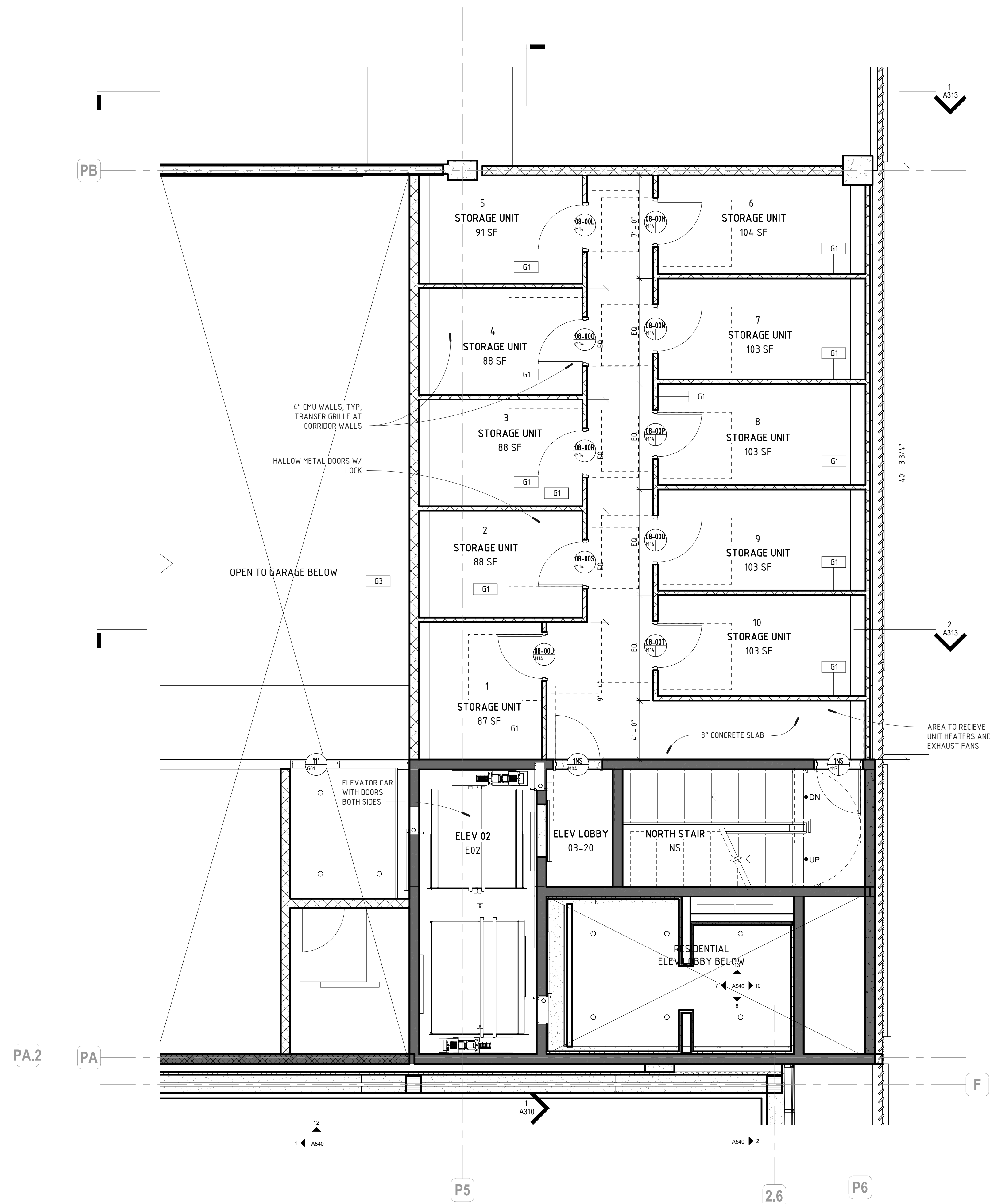
JDH ENGINEERING  
3000 IVANREST AVE SW,  
GRANDVILLE, MI 49418  
(616) 531-6020

**LANDSCAPE & CIVIL ENGINEER**

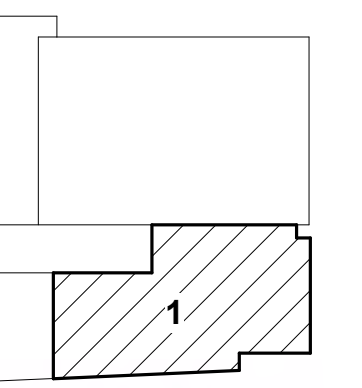
PEA INC.  
45 WEST GRAND RIVER AVE  
SUITE 501  
DETROIT, MI 48226  
313.769.5770

**MEP ENGINEER**

STRATEGIC ENERGY SOLUTIONS, INC.  
4000 WEST ELEVEN MILE ROAD  
BERKLEY, MI 48072  
248.399.1900



**1** GARAGE - LEVEL 1 HH MEZZ  
Scale: 1/4" = 1'-0"



ARCHITECT | ANDREW J. REILLY  
No. 1301066222

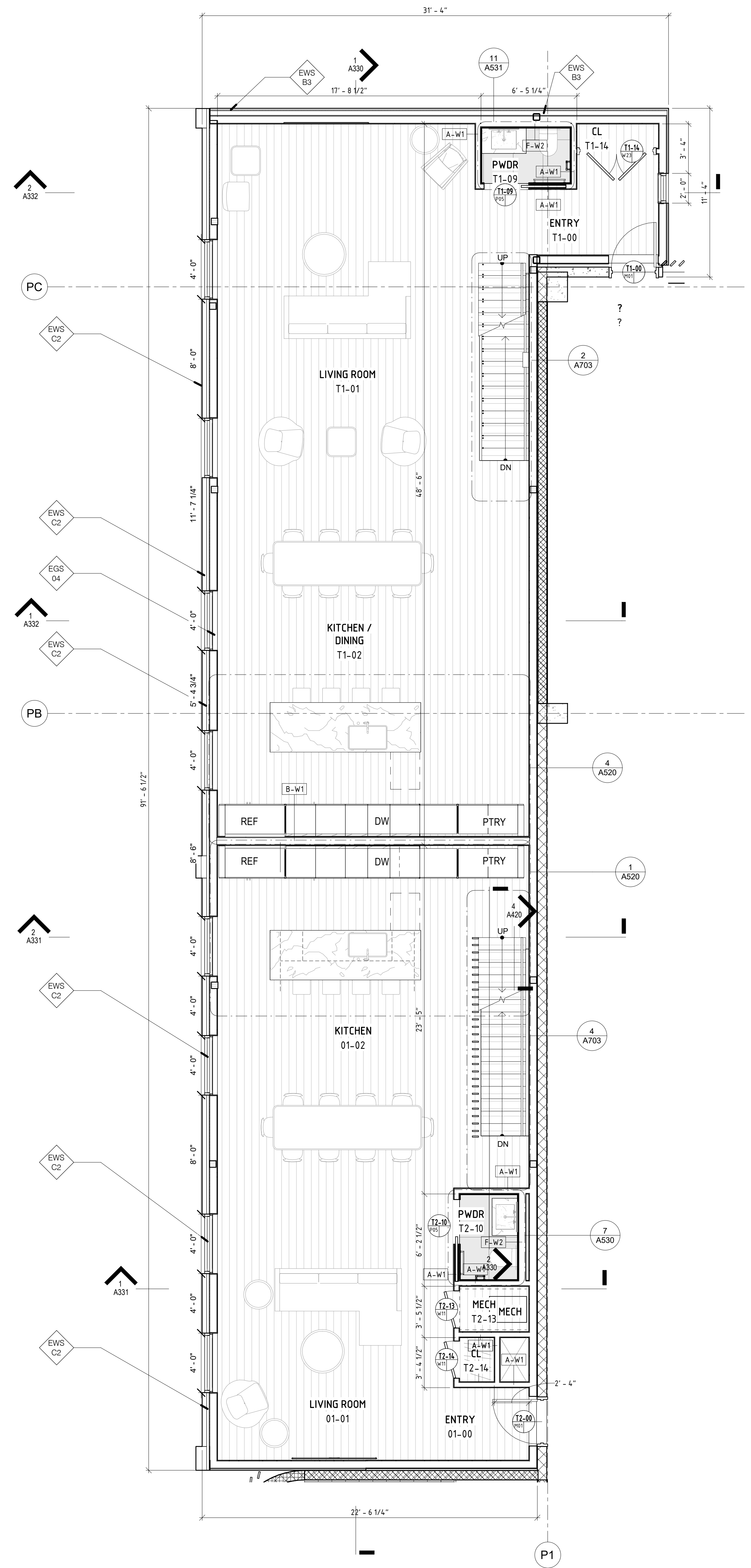
## OOMBRA ARCHITECTS

OOMBRA ARCHITECTS, LLC.  
PHILADELPHIA, PA  
WWW.OOMBRA.COM  
267.741.0007

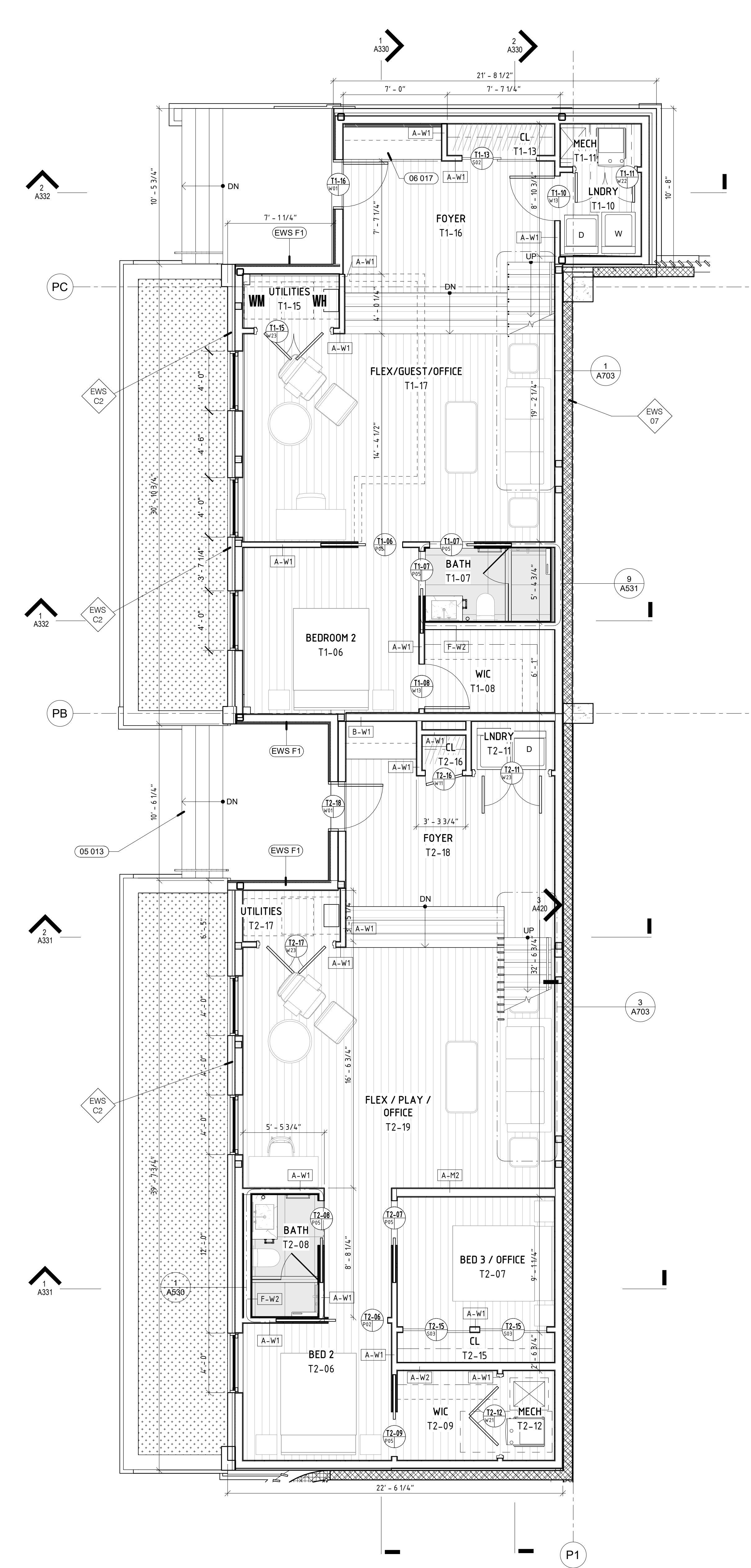
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**GARAGE MEZZANINE LEVEL  
FLOOR PLAN**

# A212



**2** TOWNHOME - LEVEL 2  
Scale: 1/4" = 1'-0"



**1** TOWNHOME - LEVEL 1  
Scale: 1/4" = 1'-0"

- KEYNOTES**
- 05 013 STAIRS WITH HARDWOOD FINISH TO MATCH ADJACENT FLOORING SPECIES, 2" WIDE x 3/4" TALL STL. HANDRAIL PROFILE
  - 06 017 3/4" BUILT-IN HARDWOOD SHELVING, RE: DTLs AND SPECS.
  - EGS 04 WOOD WINDOWS, TILT/TURN OPERATION, B.O.D. DURATHERM CORPORATION.
  - EWS 07
  - EWS B3 REFER TO ASSEMBLIES SHEET A802 FOR FULL DESCRIPTION - FLAT LOCK ZINC PANELS, FURRED OUT, RATING AS INDICATED ON PLANS.
  - EWS C2 REFER TO ASSEMBLIES SHEET A802 FOR FULL DESCRIPTION - BRICK.
  - EWS F1 ZINC PANEL, RE:A360

# 1003

OOMBRA PROJECT #

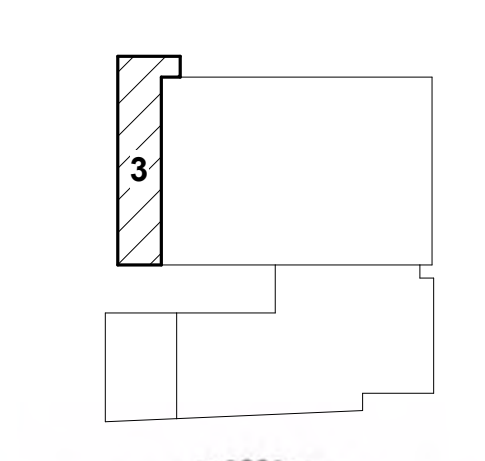
**2827 JOHN R STREET  
DETROIT MI 48201**

**OWNER**  
BRUSH PARK PROPERTIES, LLC  
79 ALFRED STREET  
DETROIT, MICHIGAN 48201  
313.578.1200

**STRUCTURAL ENGINEER**  
JDH ENGINEERING  
3000 IVANREST AVE SW,  
GRANDVILLE, MI 49418  
(616) 531-6020

**LANDSCAPE & CIVIL ENGINEER**  
PEA INC.  
45 WEST GRAND RIVER AVE  
SUITE 501  
DETROIT, MI 48226  
313.769.5770

**MEP ENGINEER**  
STRATEGIC ENERGY SOLUTIONS, INC.  
4000 WEST ELEVEN MILE ROAD  
BERKLEY, MI 48072  
248.399.1900



ARCHITECT | ANDREW J. REILLY  
No. 1301066222

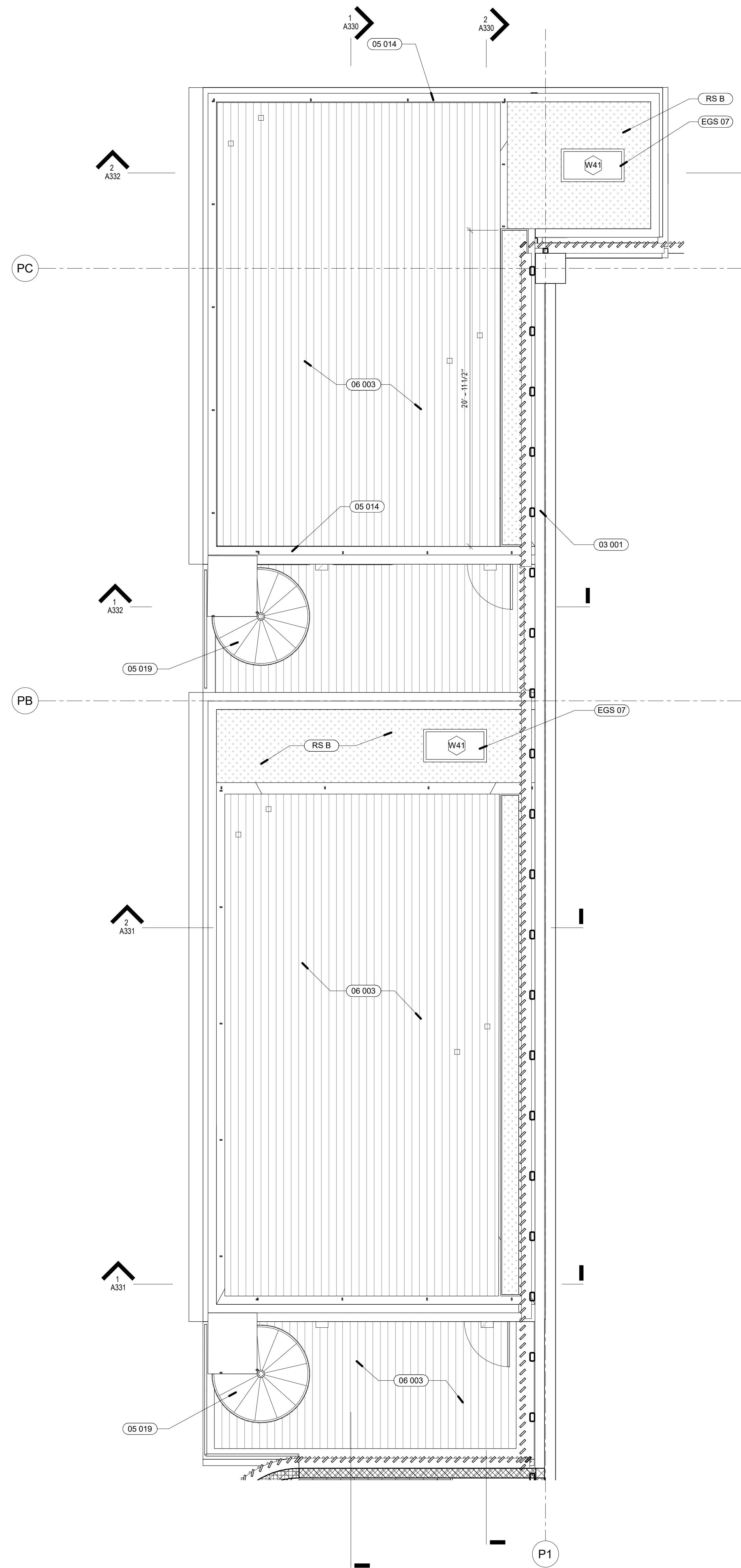
# OOMBRA ARCHITECTS

OOMBRA ARCHITECTS, LLC.  
PHILADELPHIA, PA  
WWW.OOMBRA.COM  
267.741.0007

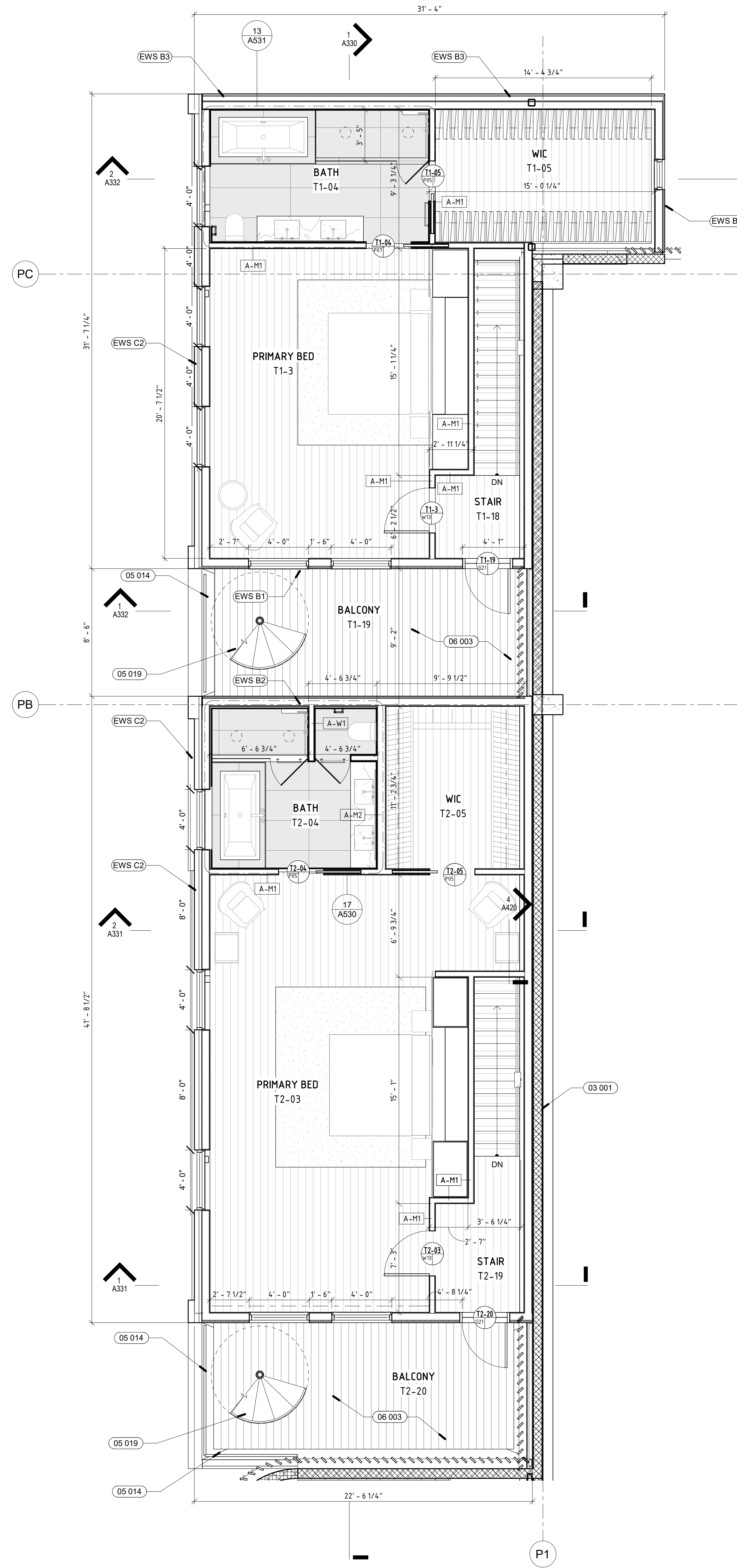
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**TOWNHOME PLANS**

# A220



**2** TOWNHOME - LEVEL 4 ROOF  
Scale: 1/4" = 1'-0"



**1** TOWNHOME - LEVEL 3  
Scale: 1/4" = 1'-0"

**KEYNOTES**

- 03 001 STRUCTURAL CONCRETE, RE: STRUCT. DWGS.
- 05 014 GALVANIZED STEEL BAR POST AND TOP RAIL WITH XTEND MESH INFILL BY CARL STAHL, MAX OPENING 4IN
- 05 019 STEEL SPIRAL STAIR WITH POWDER COATED FINISH, PICKETS AND SOLID PLATE CONT. STRINGER BAND, RE: SPEC.
- 06 003 2X2 IPE WOOD PAVER SYSTEM ON ADJUSTABLE PEDESTALS, B.O.D. BISON PAVER SYSTEM
- EGS 07 ALUMINUM SKYLIGHT, FIXED, B.O.D. SOLAR INNOVATIONS SERIES S15000 OR SIMILAR.
- EWS B1 REFER TO ASSEMBLIES SHEET A802 FOR FULL DESCRIPTION - FLAT LOCK ZINC PANELS.
- EWS B2 REFER TO ASSEMBLIES SHEET A802 FOR FULL DESCRIPTION - FLAT LOCK ZINC PANELS, RATING AS INDICATED ON PLANS.
- EWS B3 REFER TO ASSEMBLIES SHEET A802 FOR FULL DESCRIPTION - FLAT LOCK ZINC PANELS, FURRED OUT, RATING AS INDICATED ON PLANS.
- EWS C2 REFER TO ASSEMBLIES SHEET A802 FOR FULL DESCRIPTION - BRICK.
- RS B REFER TO ASSEMBLIES SHEET A802 FOR FULL DESCRIPTION - GREEN ROOF TRAY SYSTEM ON WOOD FRAMING WITH INSULATION, ROOFING MEMBRANE.

# 1003

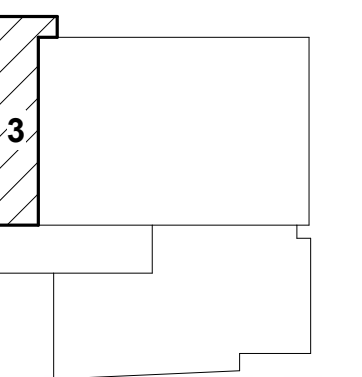
OOMBRA PROJECT #  
**2827 JOHN R STREET  
DETROIT MI 48201**

**OWNER**  
BRUSH PARK PROPERTIES, LLC  
79 ALFRED STREET  
DETROIT, MICHIGAN 48201  
313.578.1200

**STRUCTURAL ENGINEER**  
JDH ENGINEERING  
3000 IVANREST AVE SW,  
GRANDVILLE, MI 49418  
(616) 531-6020

**LANDSCAPE & CIVIL ENGINEER**  
PEA INC.  
45 WEST GRAND RIVER AVE  
SUITE 501  
DETROIT, MI 48226  
313.769.5770

**MEP ENGINEER**  
STRATEGIC ENERGY SOLUTIONS, INC.  
4000 WEST ELEVEN MILE ROAD  
BERKLEY, MI 48072  
248.399.1900



ARCHITECT | ANDREW J. REILLY  
No. 1301066222

## OOMBRA ARCHITECTS

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PHILADELPHIA, PA  
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267.741.0007

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TOWNHOME PLANS

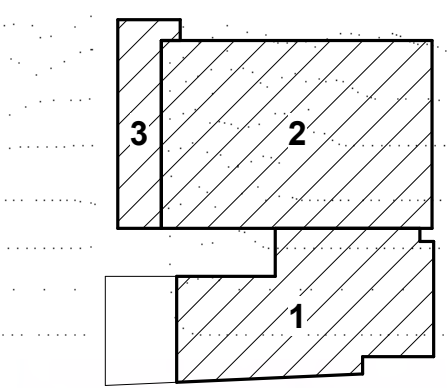
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**OWNER**  
BRUSH PARK PROPERTIES, LLC  
79 ALFRED STREET  
DETROIT, MICHIGAN 48201  
313.578.1200

**STRUCTURAL ENGINEER**  
JDH ENGINEERING  
3000 IVANREST AVE SW,  
GRANDVILLE, MI 49418  
(616) 531-6020

**LANDSCAPE & CIVIL ENGINEER**  
PEA INC.  
45 WEST GRAND RIVER AVE  
SUITE 501  
DETROIT, MI 48226  
313.769.5770

**MEP ENGINEER**  
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BERKLEY, MI 48072  
248.399.1900



ARCHITECT | ANDREW J. REILLY  
No. 1301066222

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PHILADELPHIA, PA  
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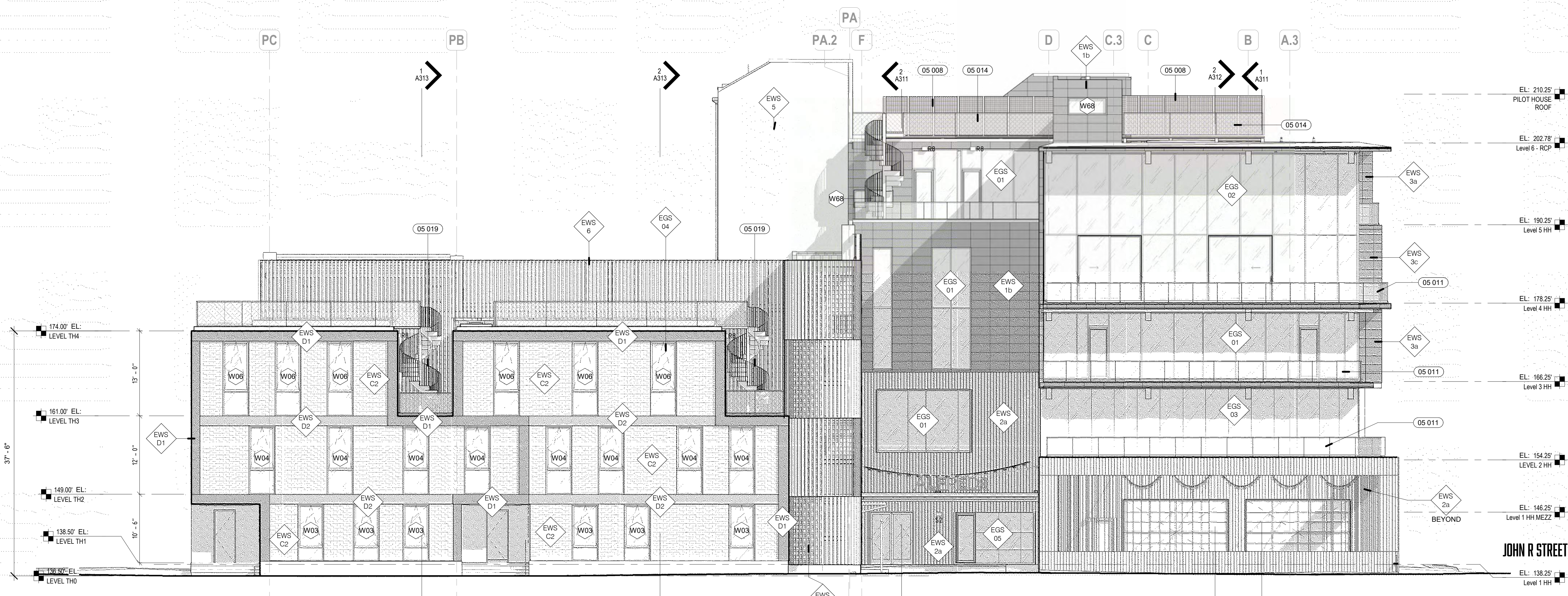
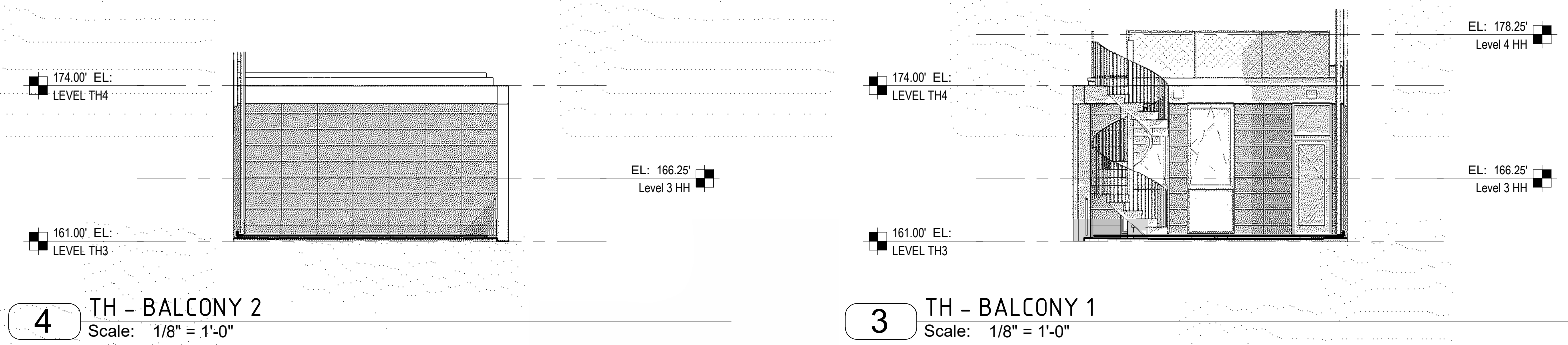
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**BUILDING ELEVATIONS**

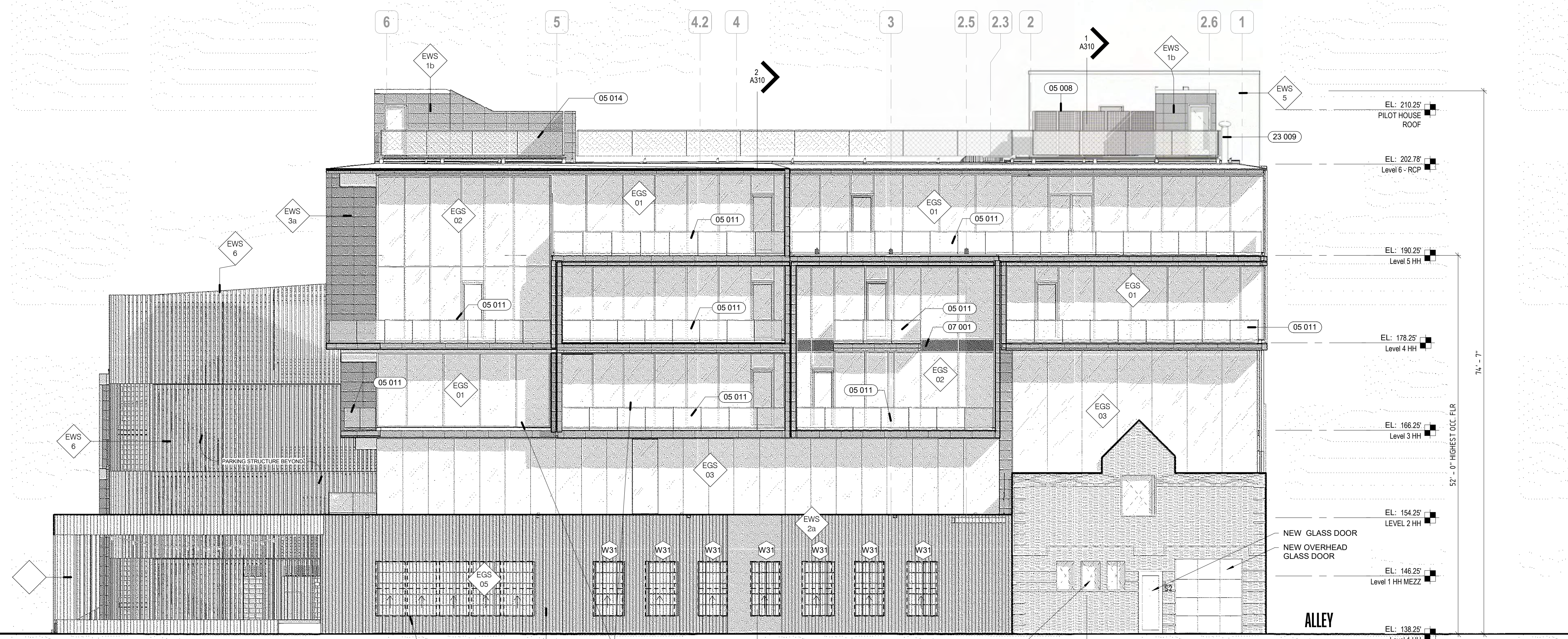
# A301

### KEYNOTES

- 05 008 GALVANIZED STEEL FENCE W/ GALVANIZED PERFORATED STEEL PLATE INFILL, INFILL TO BE PNT, COLOR BY ARCH.
- 05 011 1" TEMPERED LAMINATED GLASS w/DUPONT SENTRY GLASS IONOPLAST INTERLAYER IN STAINLESS STEEL SHOE WITH SHOE TRIM CAPPING
- 05 014 GALVANIZED STEEL BAR POST AND TOP RAIL WITH XTEND MESH INFILL BY CARL STAHL, MAX OPENING 4IN
- 05 019 STEEL SPIRAL STAIR WITH POWDER COATED FINISH, PICKETS AND SOLID PLATE CONT. STRINGER BAND, RE: SPEC.
- 07 001 METAL PANEL @ CURTAIN WALL SLAB EDGE
- 23 009 GYROFOCUS GAS FIREPLACE
- EGS 01 THERMALLY-BROKEN, INSULATED ALUMINUM STOREFRONT SYSTEM WITH LOW-E GLASS (B.O.D GUARDIAN GLASS SNX 51/23 ( SHG.23 / U.29) , FRITTED WHERE NOTED ON DRAWINGS. B.O.D. KAWNEER TRIFAB 601T.
- EGS 02 THERMALLY-BROKEN, INSULATED ALUMINUM CURTAINWALL SYSTEM WITH LOW-E GLASS (B.O.D GUARDIAN GLASS SNX 51/23 ( SHG.23 / U.29) , B.O.D. KAWNEER CURTAINWALL SYSTEM 1620UT.
- EGS 03 THERMALLY-BROKEN, INSULATED 2-SIDED SSG ALUMINUM CURTAINWALL SYSTEM WITH LOW-E GLASS. B.O.D. KAWNEER CURTAINWALL SYSTEM 1620 SSG.
- EGS 04 WOOD WINDOWS, TILT/TURN OPERATION. B.O.D. DURATHERM CORPORATION.
- EGS 05 MANUALLY OPERATED VERTICAL FOLDING DOOR B.O.D. RENILTA S-300.
- EWS 1b REFER TO ASSEMBLIES SHEET A801 FOR FULL DESCRIPTION - FLAT LOCK ZINC PANELS.
- EWS 2a REFER TO ASSEMBLIES SHEET A801 FOR FULL DESCRIPTION - 2x CHARRED WOOD BOARD & BATTEN CLADDING.
- EWS 3a REFER TO ASSEMBLIES SHEET A801 FOR FULL DESCRIPTION - FLAT LOCK ZINC PANELS.
- EWS 3c REFER TO ASSEMBLIES SHEET A801 FOR FULL DESCRIPTION - FLAT LOCK ZINC PANELS, SINGLE SIDE.
- EWS 5 CONCRETE, CAST IN PLACE, FIRE WALL W/ INTEGRAL ADMIXTURE FOR PERMANENT WATERPROOFING.
- EWS 6 2x6 CHARRED WOOD SCREEN, 2X6 METAL BATTEN ABOVE 40 FEET.
- EWS C2 REFER TO ASSEMBLIES SHEET A802 FOR FULL DESCRIPTION - BRICK.
- EWS D1 CAST STONE ON WOOD FRAMING, RE:A360.
- EWS D2 ZINC PANEL,RE:A360



**2 South Elevation**  
Scale: 1/8" = 1'-0"



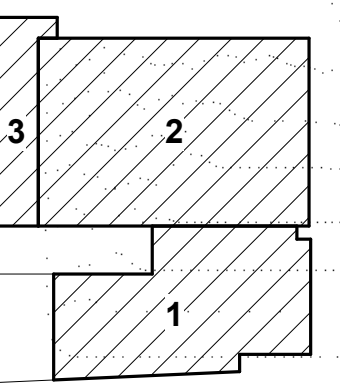
**1 East Elevation**  
Scale: 1/8" = 1'-0"

**OWNER**  
BRUSH PARK PROPERTIES, LLC  
79 ALFRED STREET  
DETROIT, MICHIGAN 48201  
313.578.1200

**STRUCTURAL ENGINEER**  
JDH ENGINEERING  
3000 IVANREST AVE SW,  
GRANDVILLE, MI 49418  
(616) 531-6020

**LANDSCAPE & CIVIL ENGINEER**  
PEA INC.  
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**MEP ENGINEER**  
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248.399.1900



ARCHITECT | ANDREW J. REILLY  
No. 1301066222

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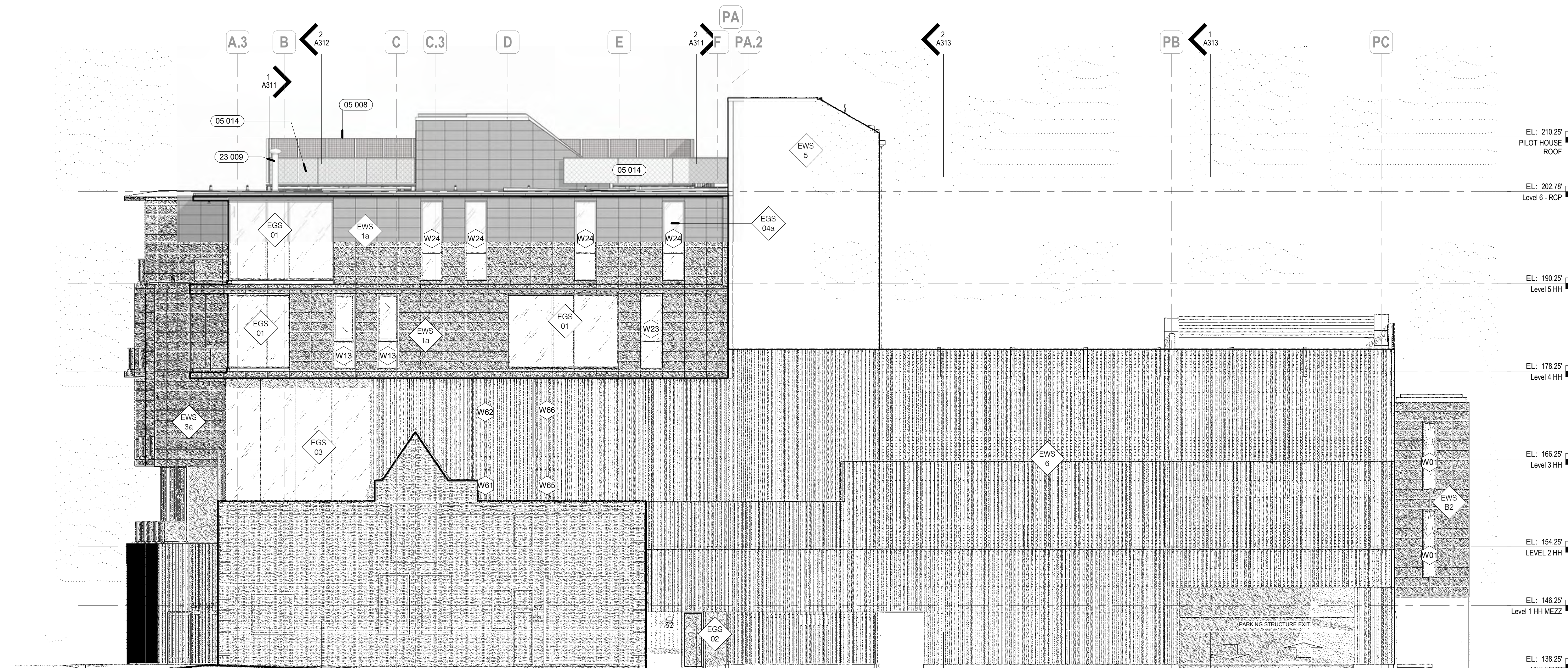
**BUILDING ELEVATIONS**

# A302

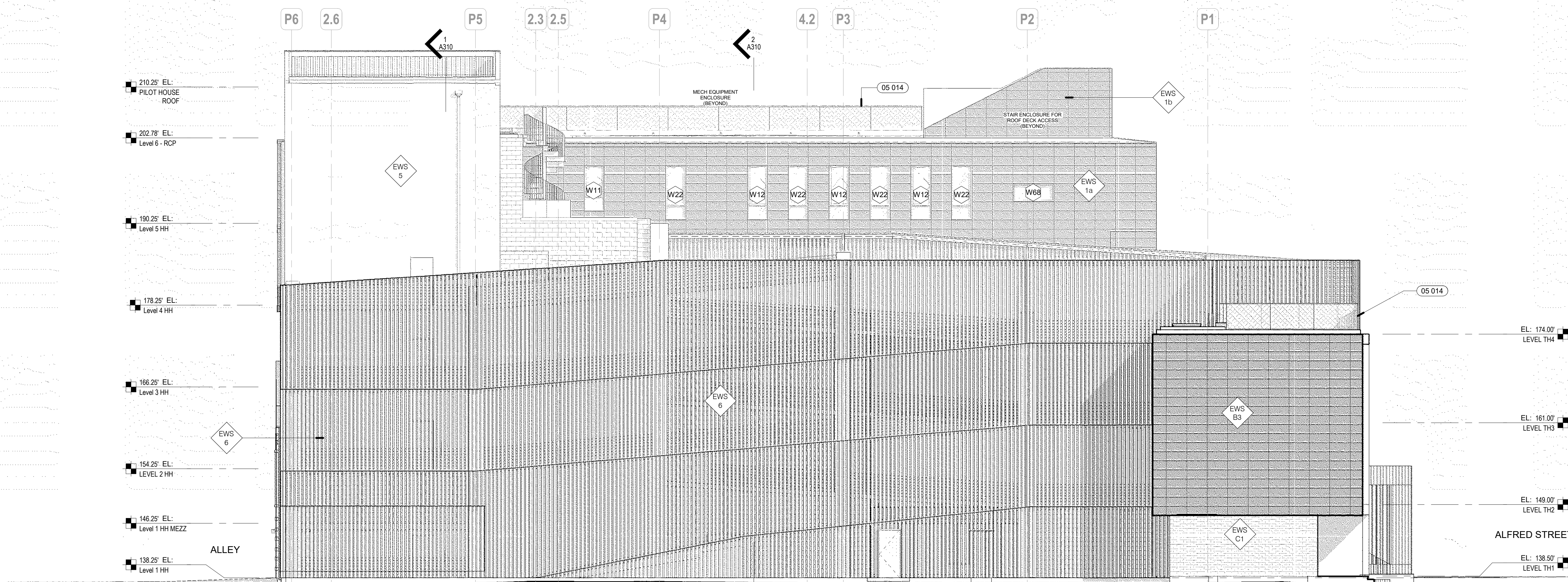
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**KEYNOTES**

- 05 008 GALVANIZED STEEL FENCE W/ GALVANIZED PERFORATED STEEL PLATE INFILL, INFILL TO BE PNT, COLOR BY ARCH.
- 05 014 GALVANIZED STEEL BAR POST AND TOP RAIL WITH XTEND MESH INFILL BY CARL STAHL, MAX OPENING 4IN
- 23 009 GYROFOCUS GAS FIREPLACE
- EGS 01 THERMALLY-BROKEN, INSULATED ALUMINUM STOREFRONT SYSTEM WITH LOW-E GLASS (B.O.D GUARDIAN GLASS SNX 51/23 ( SHG.23 / U.29) , FRITTED WHERE NOTED ON DRAWINGS. B.O.D. KAWNEER TRIFAB 6011T.
- EGS 02 THERMALLY-BROKEN, INSULATED ALUMINUM CURTAINWALL SYSTEM WITH LOW-E GLASS (B.O.D GUARDIAN GLASS SNX 51/23 ( SHG.23 / U.29) , B.O.D. KAWNEER CURTAINWALL SYSTEM 1620UT.
- EGS 03 THERMALLY-BROKEN, INSULATED 2-SIDED SSG ALUMINUM CURTAINWALL SYSTEM WITH LOW-E GLASS. B.O.D. KAWNEER CURTAINWALL SYSTEM 1620 SSG.
- EGS 04a ALUMINUM WINDOWS, KAWNEER NX-300 SERIES THERMAL WINDOWS INTEGRATED TO KAWNEER 601T.
- EWS 1a REFER TO ASSEMBLIES SHEET A801 FOR FULL DESCRIPTION - FLAT LOCK ZINC PANELS, RATING AS INDICATED ON PLANS.
- EWS 1b REFER TO ASSEMBLIES SHEET A801 FOR FULL DESCRIPTION - FLAT LOCK ZINC PANELS.
- EWS 3a REFER TO ASSEMBLIES SHEET A801 FOR FULL DESCRIPTION - FLAT LOCK ZINC PANELS.
- EWS 5 CONCRETE, CAST IN PLACE, FIRE WALL W/ INTEGRAL ADMIXTURE FOR PERMANENT WATERPROFFING.
- EWS 6 2x6 CHARRED WOOD SCREEN, 2X6 METAL BATTEN ABOVE 40 FEET.
- EWS B2 REFER TO ASSEMBLIES SHEET A802 FOR FULL DESCRIPTION - FLAT LOCK ZINC PANELS, RATING AS INDICATED ON PLANS.
- EWS B3 REFER TO ASSEMBLIES SHEET A802 FOR FULL DESCRIPTION - FLAT LOCK ZINC PANELS, FURRED OUT, RATING AS INDICATED ON PLANS.
- EWS C1 REFER TO ASSEMBLIES SHEET A802 FOR FULL DESCRIPTION - BRICK, RATING AS INDICATED ON PLANS.



**1 North Elevation**  
Scale: 1/8" = 1'-0"



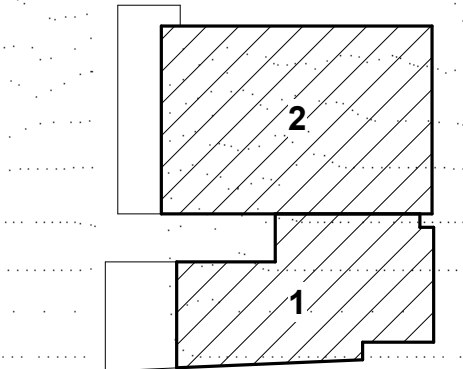
**2 West Elevation**  
Scale: 1/8" = 1'-0"

**OWNER**  
BRUSH PARK PROPERTIES, LLC  
79 ALFRED STREET  
DETROIT, MICHIGAN 48201  
313.578.1200

**STRUCTURAL ENGINEER**  
JDH ENGINEERING  
3000 IVANREST AVE SW,  
GRANDVILLE, MI 49418  
(616) 531-6020

**LANDSCAPE & CIVIL ENGINEER**  
PEA INC.  
45 WEST GRAND RIVER AVE  
SUITE 501  
DETROIT, MI 48226  
313.769.5770

**MEP ENGINEER**  
STRATEGIC ENERGY SOLUTIONS, INC.  
4000 WEST ELEVEN MILE ROAD  
BERKLEY, MI 48072  
248.399.1900



ARCHITECT | ANDREW J. REILLY  
No. 1301066222

# OOMBRA ARCHITECTS

OOMBRA ARCHITECTS, LLC.  
PHILADELPHIA, PA  
WWW.OOMBRA.COM  
267.741.0007

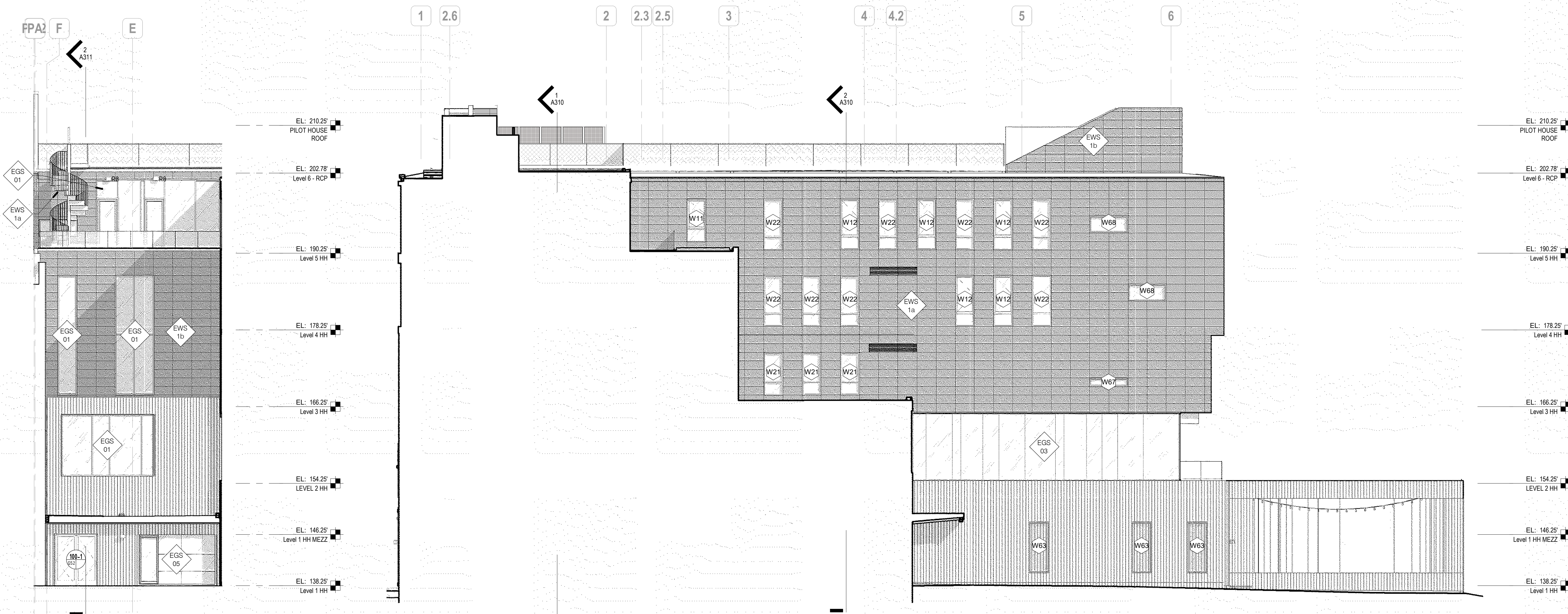
DRAWING ISSUE	DATE
ISSUED FOR PERMIT	10.29.2021
BOARD OF APPEALS SUBMISSION	03.24.2022
HDC REVISED APPLICATION	09.14.2022

**BUILDING ELEVATIONS**

# A303

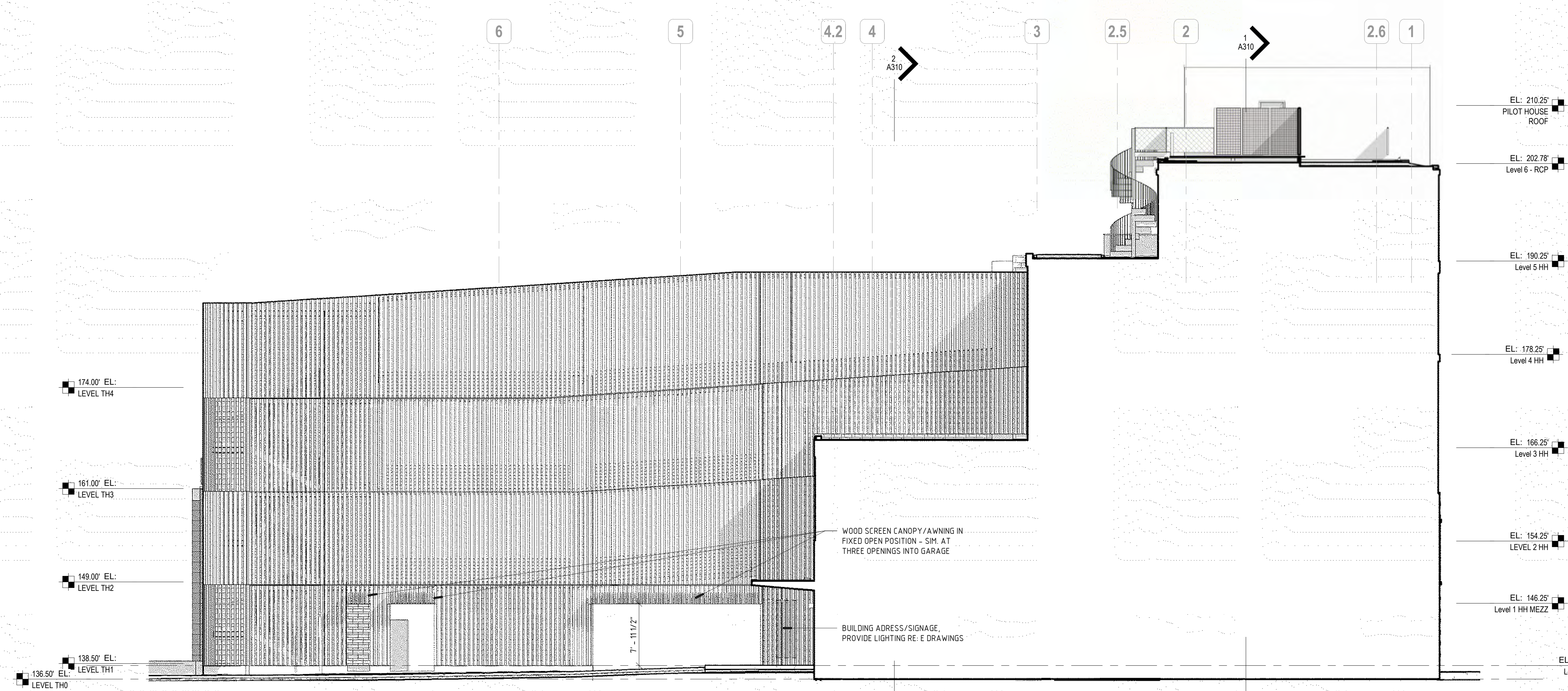
### KEYNOTES

- EGS 01 THERMALLY-BROKEN, INSULATED ALUMINUM STOREFRONT SYSTEM WITH LOW-E GLASS (B.O.D. GUARDIAN GLASS SNX 51/23 ( SHG.23 / U.29), FRITTED WHERE NOTED ON DRAWINGS. B.O.D. KAWNEER TRIFAB 601T.
- EGS 03 THERMALLY-BROKEN, INSULATED 2-SIDED SSG ALUMINUM CURTAINWALL SYSTEM WITH LOW-E GLASS, B.O.D. KAWNEER CURTAINWALL SYSTEM 1620 SSG.
- EGS 05 MANUALLY OPERATED VERTICAL FOLDING DOOR B.O.D. RENILTA S-300.
- EWS 1a REFER TO ASSEMBLIES SHEET A801 FOR FULL DESCRIPTION - FLAT LOCK ZINC PANELS, RATING AS INDICATED ON PLANS.
- EWS 1b REFER TO ASSEMBLIES SHEET A801 FOR FULL DESCRIPTION - FLAT LOCK ZINC PANELS.



3 Driveway Elevation - South  
Scale: 1/8" = 1'-0"

2 Driveway Elevation - West  
Scale: 1/8" = 1'-0"



1 Driveway Elevation - East  
Scale: 1/8" = 1'-0"