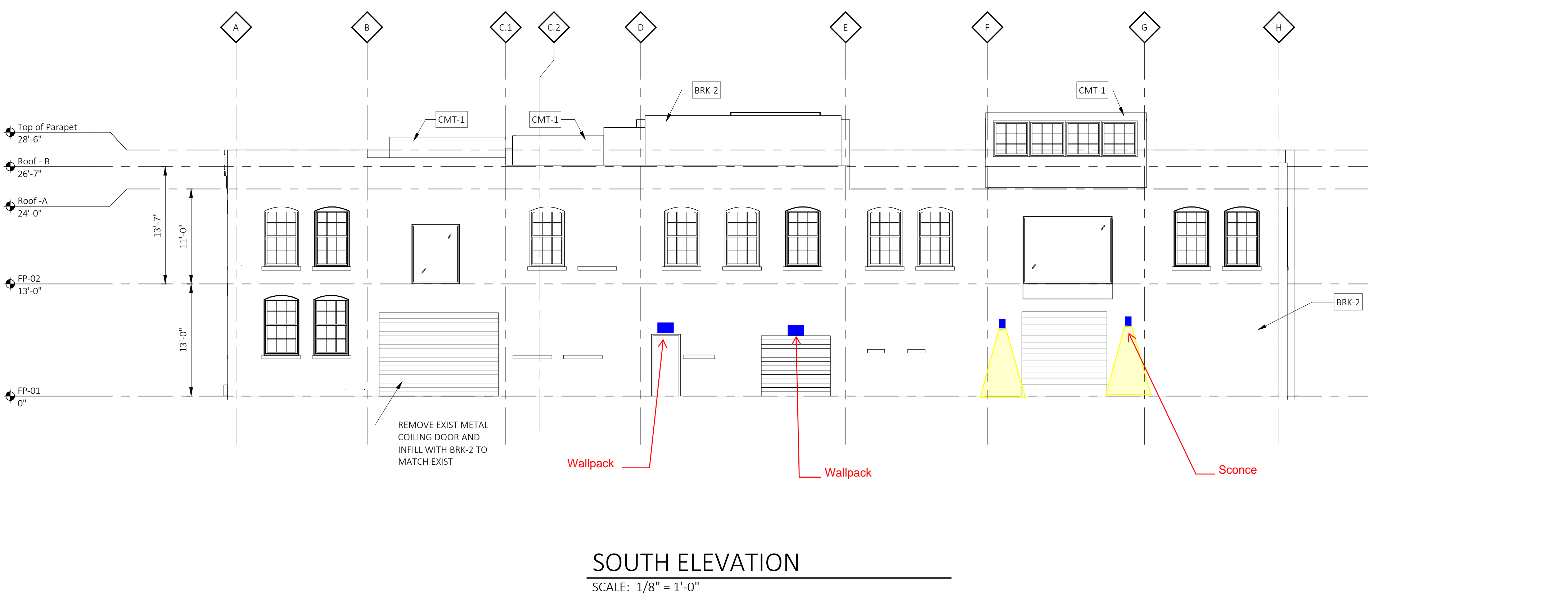
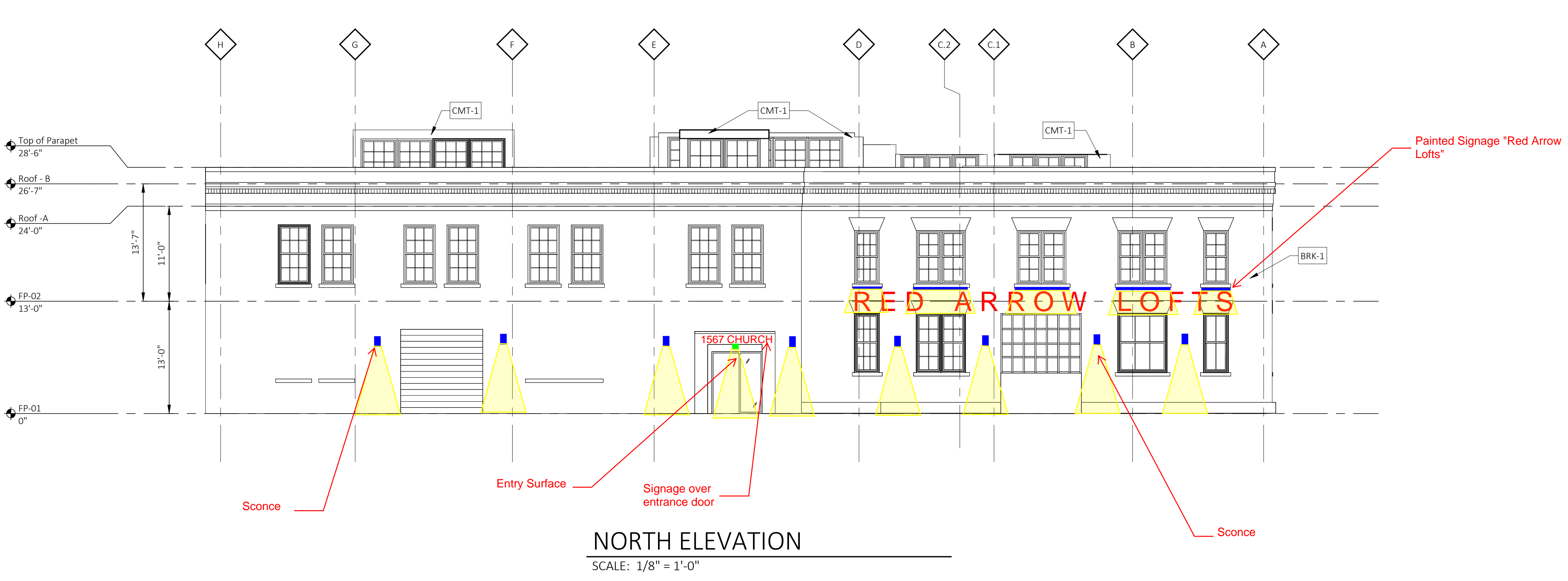


# PROPOSED EXTERIOR LIGHTING AND SIGNAGE



## GENERAL NOTES

- A REFER TO A600 SERIES FOR WINDOW AND DOOR SCHEDULE AND DETAILS.
- B REFER TO REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT INFORMATION.
- C REFER TO ROOF PLAN FOR PARAPET AND OVERHAND INFORMATION.
- D SEE ELECTRICAL DRAWINGS FOR ADDITIONAL LIGHTING REQUIREMENTS AND FIXTURE TYPES.
- E SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION AND CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE. PROVIDE CONTROL JOINTS AT ALL MASONRY REINTEGRANT CORNERS.
- F PROVIDE BACKING AND/OR STRUCTURAL SUPPORT AS REQUIRED FOR SIGNAGE AND LIGHTING.
- G EXPOSED STRUCTURAL STEEL SHALL BE GALVANIZED AND PAINTED UNLESS NOTED OTHERWISE.
- H APPLY SEALANT WHENEVER DISSIMILAR MATERIALS MEET.

## RESTORATION GENERAL NOTES

- A. MASONRY/STONE RESTORATION CONTRACTOR ("SUBCONTRACTOR") TO PROVIDE ALL LABOR, MATERIAL, EQUIPMENT, SUPERVISION, PERMITS AND ANY OTHER COSTS OR EXPENSES NECESSARY TO COMPLETE THE WORK. SUBCONTRACTOR JOB MOBILIZATION SHALL INCLUDE, BUT NOT BE LIMITED TO, ANY NECESSARY WORK STATION AND JOB TRAILER, MAST CLIMBING PLATFORMS, AERIAL LIFTS, SWING STAGES, BARRICADES AND WALK THRU SCAFFOLD AS NEEDED.
- B. BUILDING RESTORATION TO INCLUDE ALL TERMS, CONDITIONS AND SPECIFICATIONS OF ORIGINAL CONTRACT AND ANY ADDITIONAL WORK NECESSARY TO MEET THE SECRETARY OF THE INTERIOR STANDARDS FOR THE REHABILITATION OF HISTORIC PROPERTIES. THIS INCLUDES ALL WORK NECESSARY OVER AND ABOVE THAT SPECIFIED IN THE ARCHITECTURAL DRAWINGS AND OTHER CONSTRUCTION DOCUMENTS, INCLUDING ALL NOTES REGARDLESS OF TIME AND MATERIAL NECESSARY TO EXECUTE THIS WORK. ANY AREAS INDICATED WITHIN DRAWINGS ARE ONLY SUGGESTIVE IN NATURE. MASON TO MEET WITH ARCHITECT AND OWNER TO CONFIRM THE SCORE OF WORK.
- C. RESTORATION CONTRACTOR SHALL INSPECT ALL EXISTING MASONRY, INCLUDING BOTH SIDES OF PARAPET FULL HEIGHT, FOR STRUCTURAL STABILITY PRIOR TO BID. REINSPECT AFTER INITIAL CLEANING OF MASONRY.
- D. ALL ELEVATIONS SHALL UNDERGO COMPLETE BRICK, STONE, AND TERRA COTTA CLEANING FROM PARAPET TO GRADE. SEE MASONRY CLEANING SPECIFICATION SECTIONS FOR DETAILS ON APPROVED CLEANING PROCEDURES, PRODUCTS, AND MANUFACTURERS.
- E. CLEAN FACADE USING GENTLEST MEANS POSSIBLE TO ACHIEVE SATISFACTORY RESULTS WITHOUT CHANGING THE SURFACE OF THE MASONRY. PAY SPECIAL ATTENTION TO AREAS OF EXCESSIVE SOILING. CONTRACTOR SHALL CONDUCT TEST PATCHES TO ENSURE THE BEST AND MOST ECONOMICAL MEANS OF CLEANING. ALL MASONRY AND TERRA COTTA CLEANING SHALL MEET THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AS WELL AS ALL APPLICABLE NATIONAL PARK SERVICE TECHNICAL BRIEFS.
- F. SURFACES TO BE PRE-WET WITH CLEAN WATER. CLEANING SOLUTIONS TO NOT REMAIN ON SURFACES FOR MORE THAN 5 MINUTES FOLLOWED IMMEDIATELY BY LOW-PRESSURE FLOOD RINSE, UNLESS NOTED OTHERWISE IN MASONRY CLEANING SPECIFICATION. CLEANING IS TO BRING MASONRY / STONE UNIT AS CLOSE AS POSSIBLE TO ORIGINAL COLOR WITHOUT BURNING OR ABRASION.
- G. CLEAN ALL STONE THAT IS TO REMAIN & LET WEATHER FOR TWO WEEKS BEFORE ANY REPLACEMENT OR PATCHING IS TO OCCUR - REPLACEMENT STONE & PATCHED AREAS TO MATCH EXIST' CLEANED' COLOR.
- H. 100% OF MORTAR JOINTS TO BE VISUALLY INSPECTED. ALL MORTAR JOINTS DETERIORATED IN EXCESS OF 3/8 INCH BEYOND FACE OF MASONRY/STONE UNIT, OR EVIDENCING UNSOUNDNESS OF CRACKING WHETHER STRUCTURAL OR OTHERWISE SHALL BE REMOVED TO A DEPTH OF 1/2" MINIMUM. WRITTEN APPROVAL BY OWNER SHALL BE REQUIRED PRIOR TO COMMENCEMENT OF REPAIR BY SATISFACTORY SUBMISSION OF MOCK-UP OF PROPOSED MORTAR JOINT.
- I. NEW MORTAR APPLIED TO ALL OPEN JOINTS SHALL BE OF NO GREATER STRENGTH THAN ORIGINAL MORTAR OR MASONRY UNITS. MORTAR COLOR, TEXTURE, CONSISTENCY AND JOINT PROFILE WILL MATCH EXISTING AS CLOSE AS POSSIBLE.
- J. APPLY NEW, TWO COMPONENT URETHANE SEALANT AT ALL JOINTS WHERE DISSIMILAR MATERIALS MEET, AND ALL SKYWARD FACING JOINTS. BACKER ROD TO BE INSTALLED IN OPEN JOINT PRIOR TO SEALANT APPLICATION.
- K. NO ACCELERATORS OR OTHER ADMIXTURES SHALL BE USED WITHOUT PRIOR WRITTEN OWNER APPROVAL. ENCLOSURES AND HEAT SUFFICIENT TO PROTECT MORTAR FROM FREEZING PRIOR TO SET SHALL BE THE SOLE RESPONSIBILITY OF SUBCONTRACTOR.
- L. REPLACE/RESET LOOSE MASONRY UNITS AND REPOINT DAMAGED MORTAR JOINTS AS REQUIRED. IF NECESSARY, RECOMMEND FURTHER REHABILITATION TO ENSURE STABILITY OF EXTERIOR WALL AND PARAPET CONSTRUCTION. SEE MASONRY RESTORATION SPECIFICATIONS FOR DETAILS ON APPROVED RESTORATION PROCEDURES, PRODUCTS, AND MANUFACTURERS. ALL MASONRY RESTORATION WORK SHALL MEET THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AS WELL AS ALL APPLICABLE NATIONAL PARK SERVICE TECHNICAL BRIEFS.
- M. ALL MASONRY/STONE UNIT SHALL BE REPLACED WITH OWNER APPROVED MATERIAL WHEREIN SPALLING OR OTHER DETERIORATION ELIMINATED MORE THAN 5% OF THE MASONRY/STONE UNIT (MEASURED BY ORIGINAL BRICK OR STONE FACE AREA).
- N. INSPECT ALL TERRA COTTA UNITS FOR DAMAGE, SPALLING OR CRAZING.
- O. WHERE TERRA COTTA GLAZING HAS SPALLED AND THE CLAY SUBSTRATE IS IN GOOD CONDITION, COAT RAW CLAY WITH APPROVED BREATHABLE SEALER TO MATCH COLOR OF EXISTING GLAZING.
- P. WHERE TERRA COTTA UNITS HAVE SPALLED SIGNIFICANTLY, PATCH DAMAGED AREAS WITH APPROVED MASONRY REPAIR MORTAR AS REQUIRED BY DEPTH OF DAMAGED AREA. COAT PATCHED AREA WITH APPROVED BREATHABLE SEALER TO MATCH COLOR OF EXISTING GLAZING.
- Q. WHERE TERRA COTTA HAS DETERIORATED BEYOND REPAIR, REMOVE AFFECTED TERRA COTTA UNITS AND PROVIDE NEW TERRA COTTA UNITS TO MATCH EXISTING PROFILE, COLOR AND FINISH.
- R. SEE TERRA COTTA RESTORATION SPECIFICATIONS FOR APPROVED RESTORATION PROCEDURES, PRODUCTS, AND MANUFACTURERS. ALL TERRA COTTA RESTORATION WORK SHALL MEET THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AS WELL AS ALL APPLICABLE NATIONAL PARK SERVICE TECHNICAL BRIEFS.

## CONSTRUCTION KEYNOTES

## EXTERIOR ELEVATION MATERIAL LEGEND

- BRK-1 RED BRICK - EXISTING
- BRK-2 REDDISH BROWN BRICK - EXISTING
- CMT-1 FIBER CEMENT SIDING
- MTL-1 INSULATED METAL PANEL - BLACK
- BRICK TO MATCH BRK-1
- BRICK TO MATCH BRK-2



**KraemerDesignGroup**  
 1420 Broadway | Detroit, MI 48226 | 313.965.3381 | 313.965.3555  
 www.kraemerdsg.com

Architect  
 Consultant

**OXFORD PERENNIAL  
CORKTOWN PROPCO**  
 II, LLC  
 350 W. HUBBARD STREET,  
 SUITE 440,  
 CHICAGO, ILLINOIS

Owner  
**RED ARROW LOFTS**  
 1567 CHURCH STREET  
 DETROIT, MI

Project

Seal  
 THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE ARE THE PROPERTY OF KRAEMER DESIGN GROUP, LLC AND ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY REASON WITHOUT THE WRITTEN AUTHORIZATION OF KRAEMER DESIGN GROUP, LLC.

©COPYRIGHT 2022 KRAEMER DESIGN GROUP, LLC

100% SD 05-27-22

Revision Date

Date PERMIT DATE

Project Number 2022006

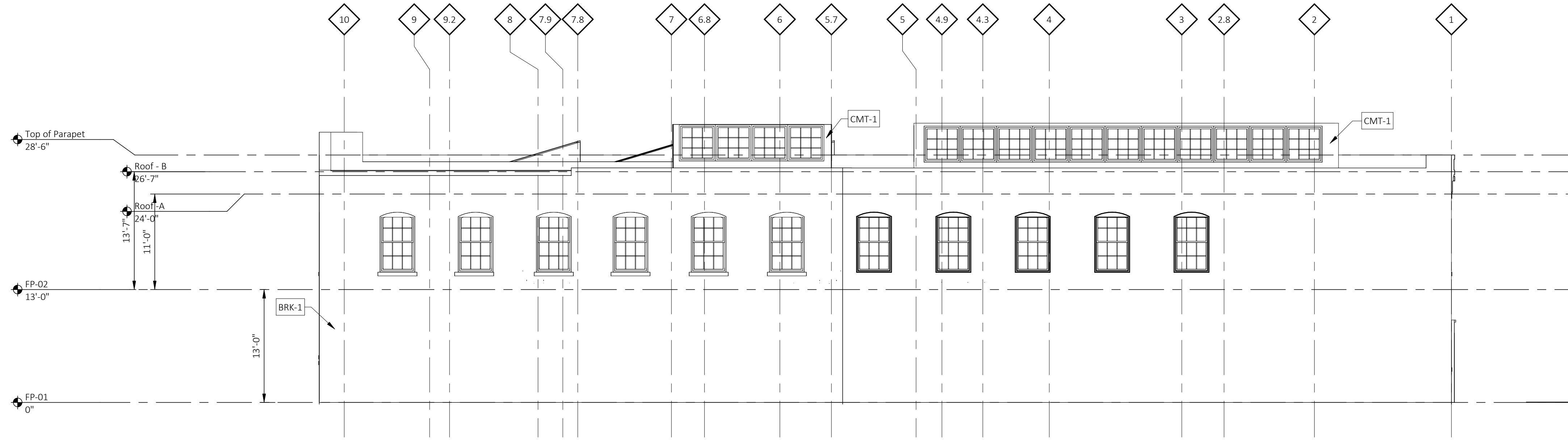
Sheet Title  
**EXTERIOR  
ELEVATIONS**

Sheet Number

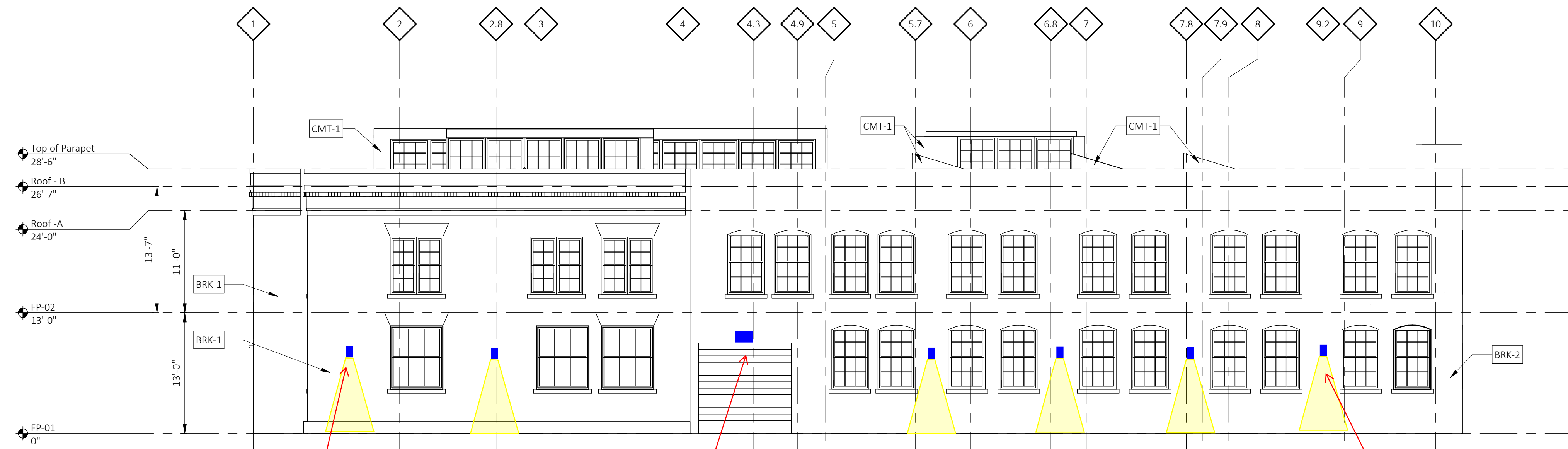
# A201

30 x 42 | PLOTTED ON 5/27/2022 2:34:17 PM | C:\Users\lillian.candela\Documents\REVIT FILES\2022006 1567 Church KDG ARCH V22\_lillian.candela.rvt

# PROPOSED EXTERIOR LIGHTING AND SIGNAGE



**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

## GENERAL NOTES

- A REFER TO A600 SERIES FOR WINDOW AND DOOR SCHEDULE AND DETAILS.
- B REFER TO REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT INFORMATION.
- C REFER TO ROOF PLAN FOR PARAPET AND OVERHAND INFORMATION.
- D SEE ELECTRICAL DRAWINGS FOR ADDITIONAL LIGHTING REQUIREMENTS AND FIXTURE TYPES.
- E SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION AND CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE. PROVIDE CONTROL JOINTS AT ALL MASONRY REINTEGRANT CORNERS.
- F PROVIDE BACKING AND/OR STRUCTURAL SUPPORT AS REQUIRED FOR SIGNAGE AND LIGHTING.
- G EXPOSED STRUCTURAL STEEL SHALL BE GALVANIZED AND PAINTED UNLESS NOTED OTHERWISE.
- H APPLY SEALANT WHENEVER DISSIMILAR MATERIALS MEET.

## RESTORATION GENERAL NOTES

- A. MASONRY/STONE RESTORATION CONTRACTOR ("SUBCONTRACTOR") TO PROVIDE ALL LABOR, MATERIAL, EQUIPMENT, SUPERVISION, PERMITS AND ANY OTHER COSTS OR EXPENSES NECESSARY TO COMPLETE THE WORK. SUBCONTRACTOR JOB MOBILIZATION SHALL INCLUDE, BUT NOT BE LIMITED TO, ANY NECESSARY WORK STATION AND JOB TRAILER, MAST CLIMBING PLATFORMS, AERIAL LIFTS, SWING STAGES, BARRICADES AND WALK THRU SCAFFOLD AS NEEDED.
- B. BUILDING RESTORATION TO INCLUDE ALL TERMS, CONDITIONS AND SPECIFICATIONS OF ORIGINAL CONTRACT AND ANY ADDITIONAL WORK NECESSARY TO MEET THE SECRETARY OF THE INTERIOR STANDARDS FOR THE REHABILITATION OF HISTORIC PROPERTIES. THIS INCLUDES ALL WORK NECESSARY OVER AND ABOVE THAT SPECIFIED IN THE ARCHITECTURAL DRAWINGS AND OTHER CONSTRUCTION DOCUMENTS, INCLUDING ALL NOTES REGARDLESS OF TIME AND MATERIAL NECESSARY TO EXECUTE THIS WORK. ANY AREAS INDICATED WITHIN DRAWINGS ARE ONLY SUGGESTIVE IN NATURE. MASON TO MEET WITH ARCHITECT AND OWNER TO CONFIRM THE SCOPE OF WORK.
- C. RESTORATION CONTRACTOR SHALL INSPECT ALL EXISTING MASONRY, INCLUDING BOTH SIDES OF PARAPET FULL HEIGHT, FOR STRUCTURAL STABILITY PRIOR TO BID. REINSPECT AFTER INITIAL CLEANING OF MASONRY.
- D. ALL ELEVATIONS SHALL UNDERGO COMPLETE BRICK, STONE, AND TERRA COTTA CLEANING FROM PARAPET TO GRADE. SEE MASONRY CLEANING SPECIFICATION SECTIONS FOR DETAILS ON APPROVED CLEANING PROCEDURES, PRODUCTS, AND MANUFACTURERS.
- E. CLEAN FACADE USING GENTLEST MEANS POSSIBLE TO ACHIEVE SATISFACTORY RESULTS WITHOUT CHANGING THE SURFACE OF THE MASONRY. PAY SPECIAL ATTENTION TO AREAS OF EXCESSIVE SOILING. CONTRACTOR SHALL CONDUCT TEST PATCHES TO ENSURE THE BEST AND MOST ECONOMICAL MEANS OF CLEANING. ALL MASONRY AND TERRA COTTA CLEANING SHALL MEET THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AS WELL AS ALL APPLICABLE NATIONAL PARK SERVICE TECHNICAL BRIEFS.
- F. SURFACES TO BE PRE-WET WITH CLEAN WATER. CLEANING SOLUTIONS TO NOT REMAIN ON SURFACES FOR MORE THAN 5 MINUTES FOLLOWED IMMEDIATELY BY LOW-PRESSURE FLOOD RINSE, UNLESS NOTED OTHERWISE IN MASONRY CLEANING SPECIFICATION. CLEANING IS TO BRING MASONRY / STONE UNIT AS CLOSE AS POSSIBLE TO ORIGINAL COLOR WITHOUT BURNING OR ABRASION.
- G. CLEAN ALL STONE THAT IS TO REMAIN & LET WEATHER FOR TWO WEEKS BEFORE ANY REPLACEMENT OR PATCHING IS TO OCCUR - REPLACEMENT STONE & PATCHED AREAS TO MATCH EXIST' CLEANED' COLOR.
- H. 100% OF MORTAR JOINTS TO BE VISUALLY INSPECTED. ALL MORTAR JOINTS DETERIORATED IN EXCESS OF 3/8 INCH BEYOND FACE OF MASONRY/STONE UNIT, OR EVIDENCING UNSOUNDNESS OF CRACKING WHETHER STRUCTURAL OR OTHERWISE SHALL BE REMOVED TO A DEPTH OF 1/2" MINIMUM. WRITTEN APPROVAL BY OWNER SHALL BE REQUIRED PRIOR TO COMMENCEMENT OF REPAIR BY SATISFACTORY SUBMISSION OF MOCK-UP OF PROPOSED MORTAR JOINT.
- I. NEW MORTAR APPLIED TO ALL OPEN JOINTS SHALL BE OF NO GREATER STRENGTH THAN ORIGINAL MORTAR OR MASONRY UNITS. MORTAR COLOR, TEXTURE, CONSISTENCY AND JOINT PROFILE WILL MATCH EXISTING AS CLOSE AS POSSIBLE.
- J. APPLY NEW, TWO COMPONENT URETHANE SEALANT AT ALL JOINTS WHERE DISSIMILAR MATERIALS MEET, AND ALL SKYWARD FACING JOINTS. BACKER ROD TO BE INSTALLED IN OPEN JOINT PRIOR TO SEALANT APPLICATION.
- K. NO ACCELERATORS OR OTHER ADMIXTURES SHALL BE USED WITHOUT PRIOR WRITTEN OWNER APPROVAL. ENCLOSURES AND HEAT SUFFICIENT TO PROTECT MORTAR FROM FREEZING PRIOR TO SET SHALL BE THE SOLE RESPONSIBILITY OF SUBCONTRACTOR.
- L. REPLACE/RESET LOOSE MASONRY UNITS AND REPOINT DAMAGED MORTAR JOINTS AS REQUIRED. IF NECESSARY, RECOMMEND FURTHER REHABILITATION TO ENSURE STABILITY OF EXTERIOR WALL AND PARAPET CONSTRUCTION. SEE MASONRY RESTORATION SPECIFICATIONS FOR DETAILS ON APPROVED RESTORATION PROCEDURES, PRODUCTS, AND MANUFACTURERS. ALL MASONRY RESTORATION WORK SHALL MEET THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AS WELL AS ALL APPLICABLE NATIONAL PARK SERVICE TECHNICAL BRIEFS.
- M. ALL MASONRY/STONE UNIT SHALL BE REPLACED WITH OWNER APPROVED MATERIAL WHEREIN SPALLING OR OTHER DETERIORATION ELIMINATED MORE THAN 5% OF THE MASONRY/STONE UNIT (MEASURED BY ORIGINAL BRICK OR STONE FACE AREA).
- N. INSPECT ALL TERRA COTTA UNITS FOR DAMAGE, SPALLING OR CRAZING.
- O. WHERE TERRA COTTA GLAZING HAS SPALLED AND THE CLAY SUBSTRATE IS IN GOOD CONDITION, COAT RAW CLAY WITH APPROVED BREATHABLE SEALER TO MATCH COLOR OF EXISTING GLAZING.
- P. WHERE TERRA COTTA UNITS HAVE SPALLED SIGNIFICANTLY, PATCH DAMAGED AREAS WITH APPROVED MASONRY REPAIR MORTAR AS REQUIRED BY DEPTH OF DAMAGED AREA. COAT PATCHED AREA WITH APPROVED BREATHABLE SEALER TO MATCH COLOR OF EXISTING GLAZING.
- Q. WHERE TERRA COTTA HAS DETERIORATED BEYOND REPAIR, REMOVE AFFECTED TERRA COTTA UNITS AND PROVIDE NEW TERRA COTTA UNITS TO MATCH EXISTING PROFILE, COLOR AND FINISH.
- R. SEE TERRA COTTA RESTORATION SPECIFICATIONS FOR APPROVED RESTORATION PROCEDURES, PRODUCTS, AND MANUFACTURERS. ALL TERRA COTTA RESTORATION WORK SHALL MEET THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AS WELL AS ALL APPLICABLE NATIONAL PARK SERVICE TECHNICAL BRIEFS.

## CONSTRUCTION KEYNOTES

## EXTERIOR ELEVATION MATERIAL LEGEND

BRK-1	RED BRICK - EXISTING
BRK-2	REDDISH BROWN BRICK - EXISTING
CMT-1	FIBER CEMENT SIDING
MTL-1	INSULATED METAL PANEL - BLACK
[Pattern]	BRICK TO MATCH BRK-1
[Pattern]	BRICK TO MATCH BRK-2

**KraemerDesignGroup**  
 1420 Broadway | Detroit, MI 48226 | 313.965.3381 | 313.965.3555  
 www.kraemerdsg.com  
 Architect

**OXFORD PERENNIAL  
CORKTOWN PROPCO**  
 II, LLC  
 350 W. HUBBARD STREET,  
 SUITE 440,  
 CHICAGO, ILLINOIS  
 Consultant

**RED ARROW LOFTS**  
 1567 CHURCH STREET  
 DETROIT, MI  
 Owner

Project

Seal

THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE ARE THE PROPERTY OF KRAEMER DESIGN GROUP, LLC AND ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY REASON WITHOUT THE WRITTEN AUTHORIZATION OF KRAEMER DESIGN GROUP, LLC.

©COPYRIGHT 2022 KRAEMER DESIGN GROUP, LLC

100% SD	05-27-22
Revision	Date
Date	PERMIT DATE
Project Number	2022006

Sheet Title  
**EXTERIOR  
ELEVATIONS**

Sheet Number  
**A202**



30 x 42 | PLOTTED ON 5/27/2022 2:38:41 PM | C:\Users\lillian.candela\Documents\REVIT FILES\2022006 1567 Church KDG ARCH V22\_lillian.candela.rvt