



DEPARTMENT OF  
**Planning &  
Development**

Coleman A. Young Municipal Center  
2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

Phone: 313.224.1339  
Fax: 313.224.1310  
www.detroitmi.gov/pdd

- APPROVED  
 APPROVED WITH CHANGES NOTED

- REVISE AND RESUBMIT  
 REJECTED

SUBMITTAL WAS REVIEWED FOR DESIGN CONFORMITY AND GENERAL CONFORMANCE TO CITY OF DETROIT DESIGN GUIDELINES. THE APPLICANT IS RESPONSIBLE FOR CONFIRMING AND CORRELATING DIMENSIONS AT JOBSITE FOR TOLERANCE, CLEARANCE, QUANTITIES, FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION, AS WELL AS COORDINATION OF THE WORK WITH OTHER TRADES AND FULL COMPLIANCE WITH FEDERAL, STATE AND LOCAL BUILDING CODES AND REGULATIONS.

## STAFF BRIEF

This document is the staff's comparison of the City of Detroit Design Review Guiding Principles, Design Guidelines for City of Detroit Zoning Ordinance and other applicable adopted area guidelines as applied to the proposed application. It is intended to provide guidance during the City Planning and Development Design Review of the proposed application.

**Date:** 01/07/2021

**Project:** SECOND AVENUE TOWNHOMES

**Design Review Meeting:** DESIGN REVIEW UPDATE 01/04/2021

**Address:** 3746 SECOND AVENUE

**Staff:** Russell Baltimore (baltimorer@detroitmi.gov), Julio Cedano (CedanoJ@detroitmi.gov)

**Year structure built:** NA

**Applicant:** Najim N. Saymuah, RA. nsaymuah@cdpaarchitects.com

**Project Scope Under Review:** New Construction

### Project Summary:

The proposed project is a new 4-Unit townhome development. The developer owns the adjacent existing historic home and plans to renovate and convert it to rental apartments. The project is located within the Willis-Selden Historic District on Second Avenue between Selden Street and Brainard Street.

### Design Review Guiding Principles:

- IN COMPLIANCE
- NOT IN COMPLIANCE
- NOT APPLICABLE
- MORE INFORMATION NEEDED

- Historic Preservation:** The intent of development is to preserve existing structures and compliment the urban fabric through a thoughtful and intentional approach to design.

- 🕒 **Activate the Public Realm:** All projects shall build upon the walkable environment, providing a transparent and interactive building frontage and ground level meant to intrigue pedestrians through design and active uses.
- ✓ **Appropriate Density:** Any new building shall be appropriate in scale with surroundings.
- 🕒 **Building Form and Material:** The site shall incorporate sound urban design and established development principles. The built environment shall provide interesting building typologies of varied architectural styles and compliment, not mimic, the nature of the existing urban fabric.
- 🚫 **Maintain/Integrate the Street Grid:** Many city blocks have been combined into superblocks or developments built facing inwards. The goal is for new development to be directly integrated into the existing street grid - not to create an isolated development site.
- ✓ **Street Frontage:** All new construction shall be designed along the front lot line of the property adjacent to the public right-of-way. Parking shall not be provided between the building frontage and the street edge.
- ✓ **Pedestrian Experience:** Where appropriate, alleyways will serve as the main point of automotive ingress and egress. Curb cuts onto public right-of-way will be minimized or obsolete in order to provide a safe, walkable, pedestrian oriented street design.
- 🕒 **Parking and Access:** All on-site parking shall be appropriately landscaped or be screened from view, preferably developing parking lot edges of the site with new construction in order to shield the parking from view.
- 🚫 **Buffering:** Expand the use of green belts and natural buffer zones to protect residential areas from commercial and industrial areas which are environmentally detrimental to nearby residential neighborhoods. Minimize and screen outdoor storage and work areas.

### Design Review notes:

Overall the PDD Design Review team is supportive of the approach to the project. Final PDD Design Review approval will be required for the sale of the City owned land. For final PDD Design Review approval, we need more information on the exterior material palette of the proposed structure, the conceptual renovation plan of the existing house, as well as overall site landscaping, paving and parking.

The next step for the applicant is to submit for a Preliminary Plan Review meeting with BSEED to gain their feedback on issues that fall outside of the scope of the PDD Design Review process:

<https://detroitmi.gov/departments/buildings-safety-engineering-and-environmental-department/bseed-divisions/development-resource-center/project-review-meetings>

Since this development is within the Willis-Selden Historic District, HDC approval will be necessary. The applicant is encouraged to contact the HDC to review their requirements for submission:

<https://detroitmi.gov/departments/planning-and-development-department/historic-district-commission-information#collapse-vbp-accordion-12731-1>

### General Notes:

- Adhere to zoning requirements (setbacks, use, parking, etc.);
- Clearly identify exterior cladding materials and scope;

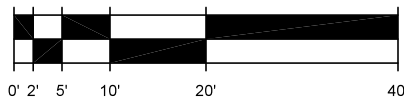
- Follow design standards for parking lots outlined in the zoning ordinance (including paving surfaces, screening, etc.);
- Clearly identify the overall parking strategy for the entire development (including the existing house as well as the new townhome development);
- Clearly identify the approach to landscape buffering and screening;
- Building design should express a clear architectural idea - creative solutions are encouraged!

SEE ATTACHED DESIGN SUBMITTAL PACKAGE MARK-UP FOR ADDITIONAL COMMENTS.

# SURVEY

OF LOT 2, BLOCK 91, OF THE "PLAT OF MILO A. SMITH'S SUBDIVISION OF LOTS NO. 7-8, BLOCK 88, LOTS NO. 1-2-3, BLOCK 90, LOTS NO. 14-15-16, BLOCK 91, LOTS NO. 17-18, BLOCK 92 CASS FARM", (LIBER 4, PLATS, PAGE 15, WAYNE COUNTY RECORDS),  
**CITY OF DETROIT, WAYNE COUNTY, MICHIGAN.**

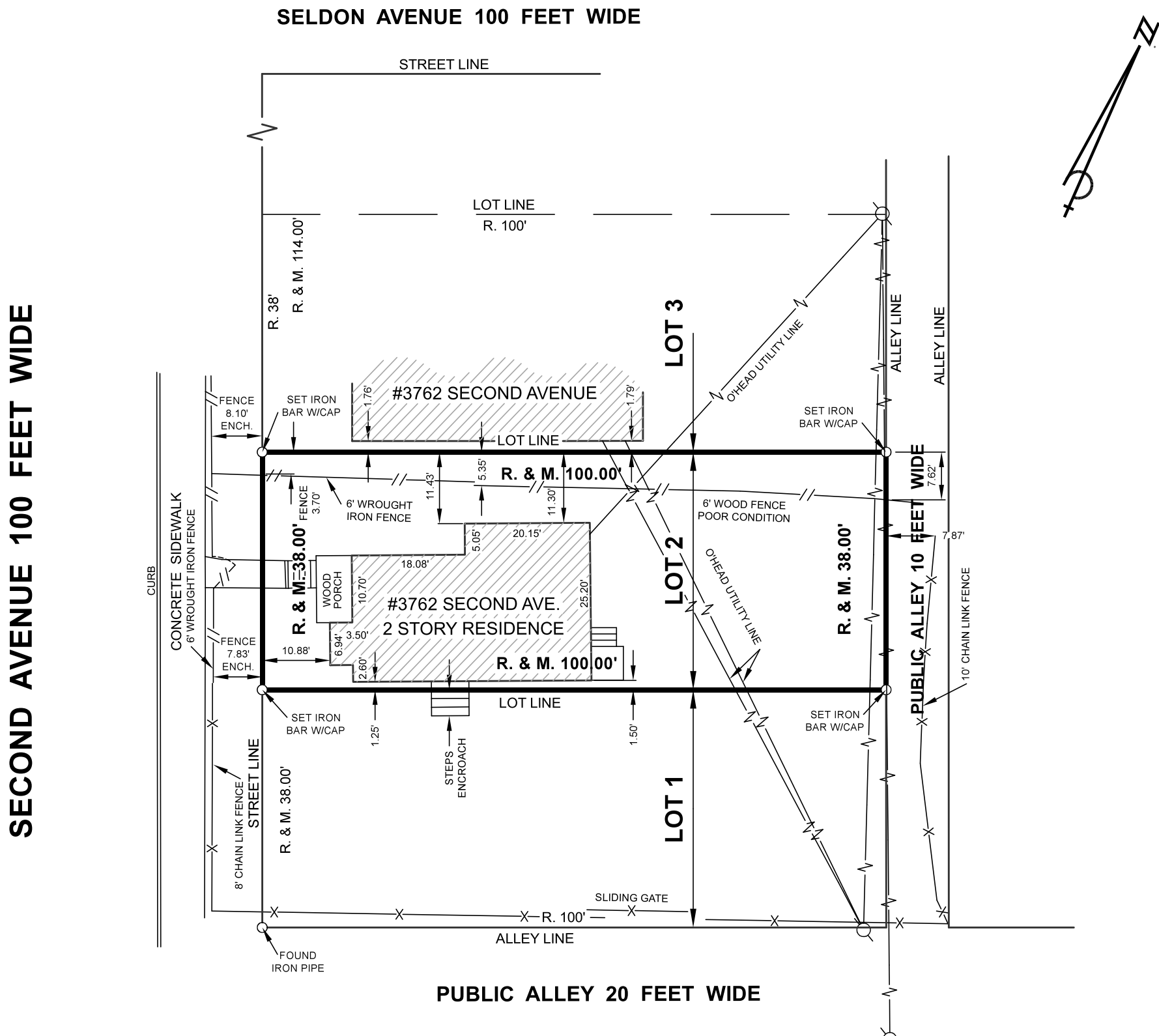
NOVEMBER 9, 2020



SCALE: 1" = 20'

SURVEY NO. 20488-2

FOR: MR. MOHAMED SOHOUBAH, R.P.H.



**THIS PROJECT IS WITHIN THE WILLIS-SELDEN HISTORIC DISTRICT:**  
<https://detroitmi.gov/sites/detroitmi.localhost/files/2018-08/Willis%20Selden%20Local%20HD%20Final%20Report.pdf>

**- PROPERTY DESCRIPTION -**

LOT 2, BLOCK 91, OF THE "PLAT OF MILO A. SMITH'S SUBDIVISION OF LOTS NO. 7-8, BLOCK 88, LOTS NO. 1-2-3 BLOCK 90, LOTS NO. 14-15-16, BLOCK 91, LOTS NO. 17-18, BLOCK 92 CASS FARM", CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, AS RECORDED IN LIBER 4 OF PLATS, ON PAGE 15, WAYNE COUNTY RECORDS.

**- SURVEY NOTES -**

THIS SURVEY IS WITHOUT THE BENEFIT OF A TITLE COMMITMENT, THEREFORE, EASEMENTS AND/OR ENCUMBRANCES CONTAINED THEREIN HAVE NOT BEEN SHOWN.

**- SURVEY LEGEND -**

- CALC. means Calculated
  - DESC. means Described
  - M. means Measured
  - R. means Recorded
  - ENCH. means Encroachment
- |               |                |
|---------------|----------------|
| 0.08 ft. = 1" | 0.58 ft. = 7"  |
| 0.17 ft. = 2" | 0.67 ft. = 8"  |
| 0.25 ft. = 3" | 0.75 ft. = 9"  |
| 0.33 ft. = 4" | 0.83 ft. = 10" |
| 0.42 ft. = 5" | 0.92 ft. = 11" |
| 0.50 ft. = 6" | 1.00 ft. = 12" |



**DAVID C. ADAMS & SON**  
**PROFESSIONAL LAND SURVEYORS, INC.**

IF THE SURVEYOR'S SIGNATURE IS NOT IN A CONTRASTING COLOR, THE PLAN IS A COPY THAT SHOULD BE ASSUMED TO CONTAIN UNAUTHORIZED ALTERATIONS.

by:   
**PAUL J. KRIETSCH**  
**PROFESSIONAL LAND SURVEYOR NO. 30086**



**David C. Adams & Son**  
 Professional Land Surveyors, Inc.

25517 Five Mile Road  
 Detroit, Michigan 48239

Tel: 313-538-1222  
 Fax: 313-538-8438

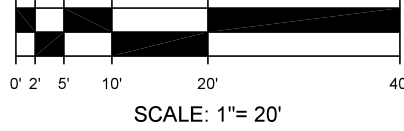
www.DCAsurveys.com



# SURVEY

OF LOT 1, BLOCK 91, OF THE "PLAT OF MILO A. SMITH'S SUBDIVISION OF LOTS NO. 7-8,  
BLOCK 88, LOTS NO. 1-2-3, BLOCK 90, LOTS NO. 14-15-16, BLOCK 91, LOTS NO. 17-18,  
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NOVEMBER 9, 2020

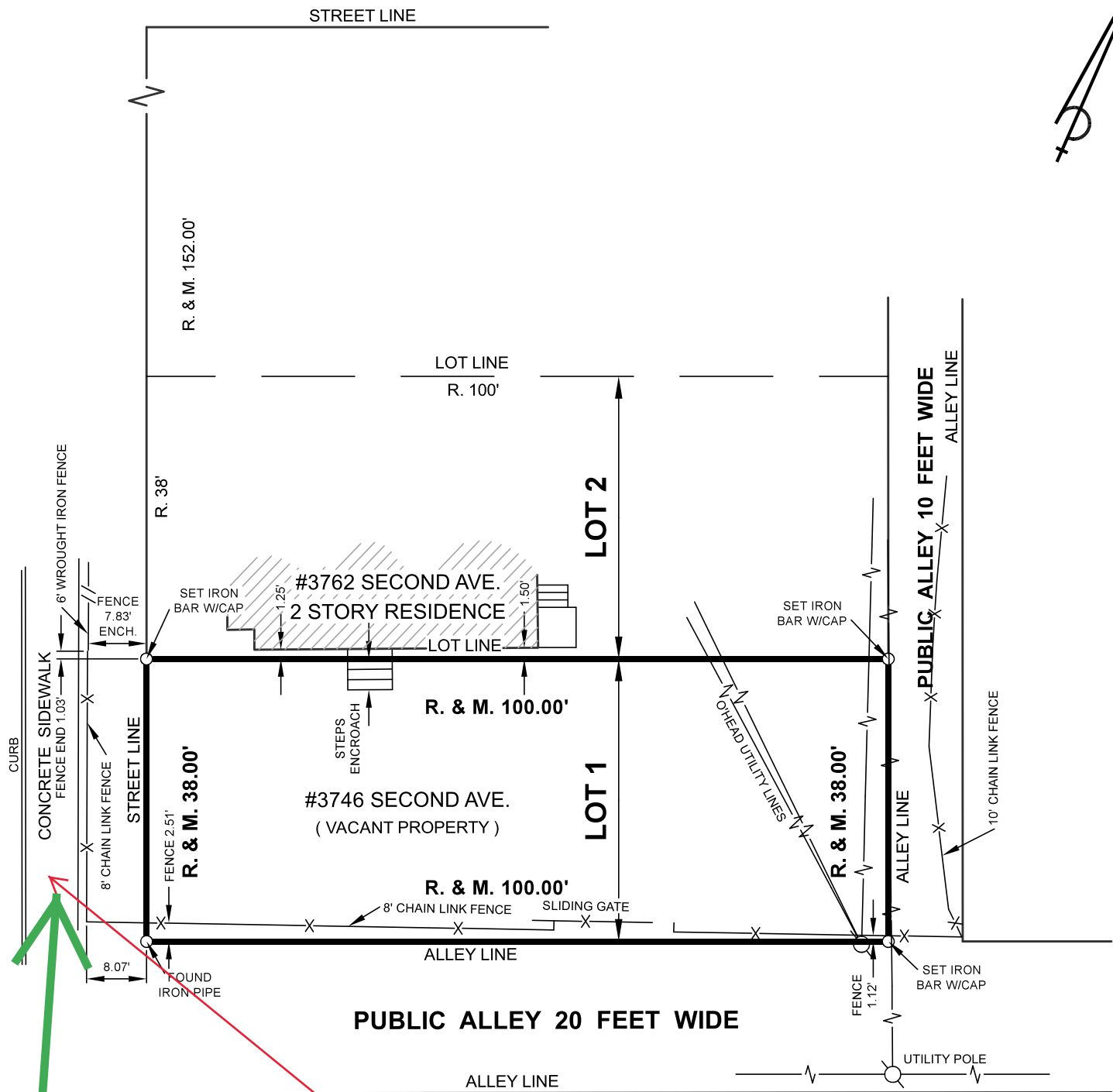


SURVEY NO. 20488-1

FOR: MR. MOHAMED SOHOUBAH, R.PH.

**SECOND AVENUE 100 FEET WIDE**

**SELDON AVENUE 100 FEET WIDE**



**CDPA: YES**

**WILL YOU BE MAINTAINING THE EXISTING FIRE HYDRANT?**

**- PROPERTY DESCRIPTION -**

LOT 1, BLOCK 91, OF THE "PLAT OF MILO A. SMITH'S SUBDIVISION OF LOTS NO. 7-8, BLOCK 88, LOTS NO. 1-2-3 BLOCK 90, LOTS NO. 14-15-16, BLOCK 91, LOTS NO. 17-18, BLOCK 92 CASS FARM", CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, AS RECORDED IN LIBER 4 OF PLATS, ON PAGE 15, WAYNE COUNTY RECORDS.

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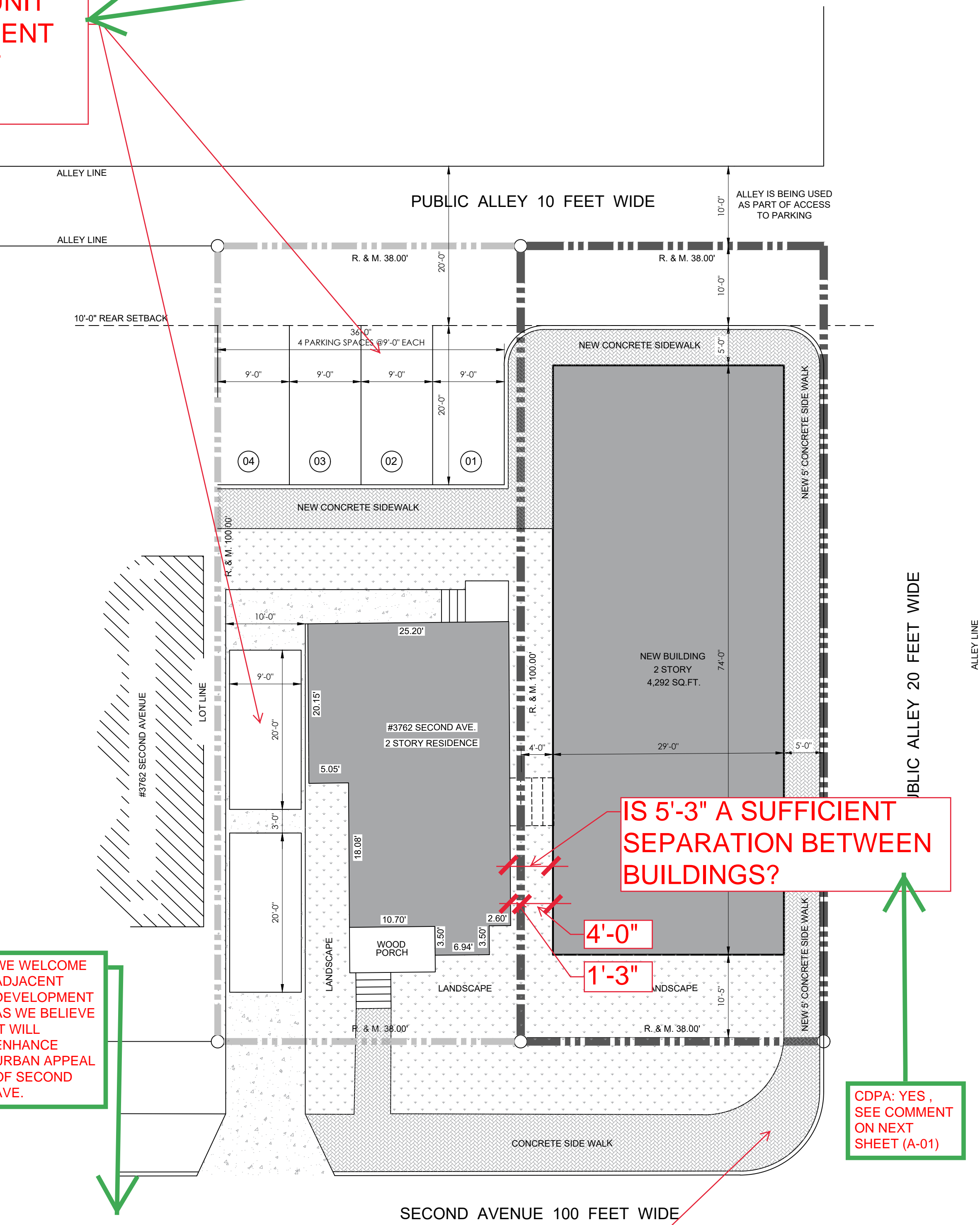
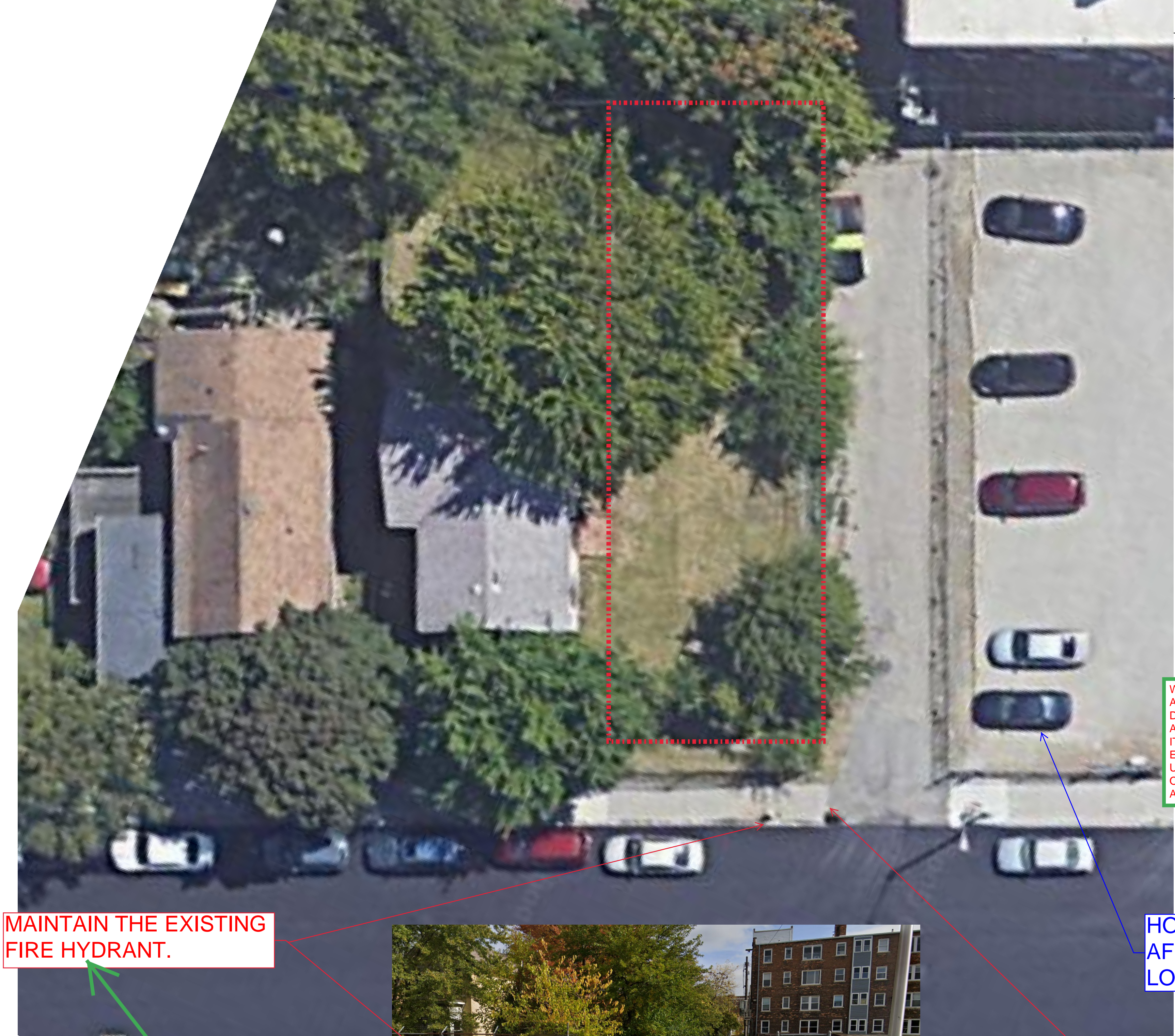
COMMENTS IN RED ARE REQUIRED CHANGES

COMMENTS IN BLUE ARE SUGGESTED CHANGES

COMMENTS IN PURPLE ARE PRECEDENT EXAMPLES

DOES THIS SATISFY THE PARKING REQUIREMENTS FOR THE EXISTING HOUSE AS WELL AS FOR THE NEW TOWNHOMES?  
ZONED SD2: MULTI-FAMILY = 1.25 PER UNIT, TOWNHOUSE = 1.5 PER UNIT  
YOU CAN PROVIDE A SHARED PARKING AGREEMENT WITH AN ADJACENT PARKING LOT AS LONG AS THEIR PARKING REQUIREMENTS ARE NOT ADVERSELY AFFECTED.

CDPA: SEE REVISED SITE PLAN EXPLORING SHARED PARKING AGREEMENT.



IS 5'-3" A SUFFICIENT SEPARATION BETWEEN BUILDINGS?

4'-0"

1'-3"

WE WELCOME ADJACENT DEVELOPMENT AS WE BELIEVE IT WILL ENHANCE URBAN APPEAL OF SECOND AVE.

CDPA: YES, SEE COMMENT ON NEXT SHEET (A-01)

HOW WILL YOUR DEVELOPMENT BE AFFECTED IF THE ADJACENT SURFACE LOT IS DEVELOPED IN THE FUTURE?

VERIFY THE ACCURACY OF THIS CONDITION

CDPA: SEE REVISED SITEPLAN, ATTACHED

MAINTAIN THE EXISTING FIRE HYDRANT.

CDPA: YES



Key Plan: NO SCALE

Project Name and Client:  
DETROIT APARTMENTS  
3752 SECOND AVE.  
DETROIT, MI. 48201  
  
MR. MOHAMMAD SOHOUBA  
DEARBORN, MI.

Seal:

Date Issued For

Drawn: A.D.  
Checked: N.S.  
Approved: N.S.

Sheet Title:  
ARCHITECTURAL SITE PLAN

Project Number: 18-006

Sheet Number: ASP-01



PROVIDE A CONCEPTUAL DESIGN PACKAGE FOR THE RENOVATION OF THE EXISTING STRUCTURE.

CDPA: CONCEPT FOR EXTERIOR RESTORATION OF EXISTING HOUSE IS ATTACHED.

WILL YOU BE UPGRADING THE ALLEY FOR PARKING ACCESS? YOU WILL NEED TO CONTACT DPW.

CDPA: YES, WE WILL WORK WITH DPW.

ARE THESE FIRE RATED WALLS? ARE THE EXISTING WINDOWS ALLOWABLE IN THIS FIRE WALL?

CDPA: YES WALLS ARE FIRE RATED AND OPENINGS ARE ALLOWED AS LONG AS A FIRE SHUTTER WITH FUSIBLE LINK PROVIDED AT TOP OF OPENING. PROPOSED OPENINGS WILL BE EQUIPPED ACCORDINGLY

THE BUILDING MAY BE AT 0 SETBACK ALONG ALLEY. BUT THE SIDEWALK MUST REMAIN WITHIN YOUR PROPERTY BOUNDARY.

IS THE EXISTING SIDE DOOR, STAIR & WINDOWS TO REMAIN? ALTERATIONS TO THE HISTORIC HOUSE WILL NEED HDC APPROVAL.

CDPA: STAIRS TO BE REMOVED. WINDOW TO REMAIN. SEE CONCEPT FOR EXTERIOR RESTORATION OF EXISTING HOUSE ATTACHED.

IS 5'-3" A SUFFICIENT SEPARATION BETWEEN BUILDINGS? DOES THIS SATISFY CODE REQUIREMENTS? DOES THE WALL ON THE HOUSE AS WELL AS THE WALL ON THE NEW BUILDING NEED TO BE FIRE RATED?

CDPA: YES, CODE ALLOWS WALL AT ZERO LOT LINE WITH APPROPRIATE FIRE RATING. WALL ON NEW BUILDING IS REQUIRED TO BE FIRE RATED NOT ON HOUSE. SEE MICHIGAN BUILDING CODE TABLE 602

MAINTAIN THE EXISTING FIRE HYDRANT

VERIFY THE ACCURACY OF THIS CONDITION

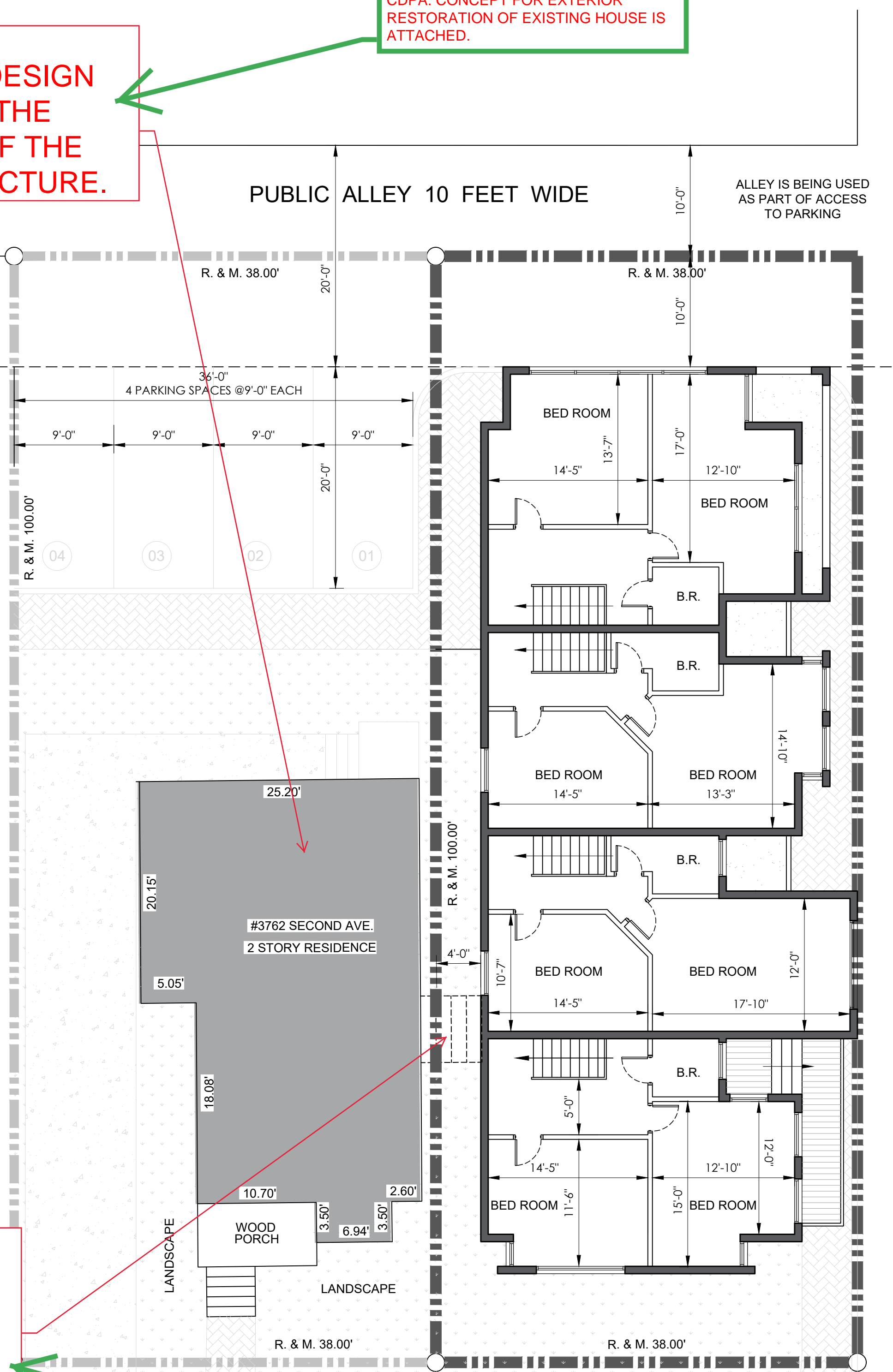
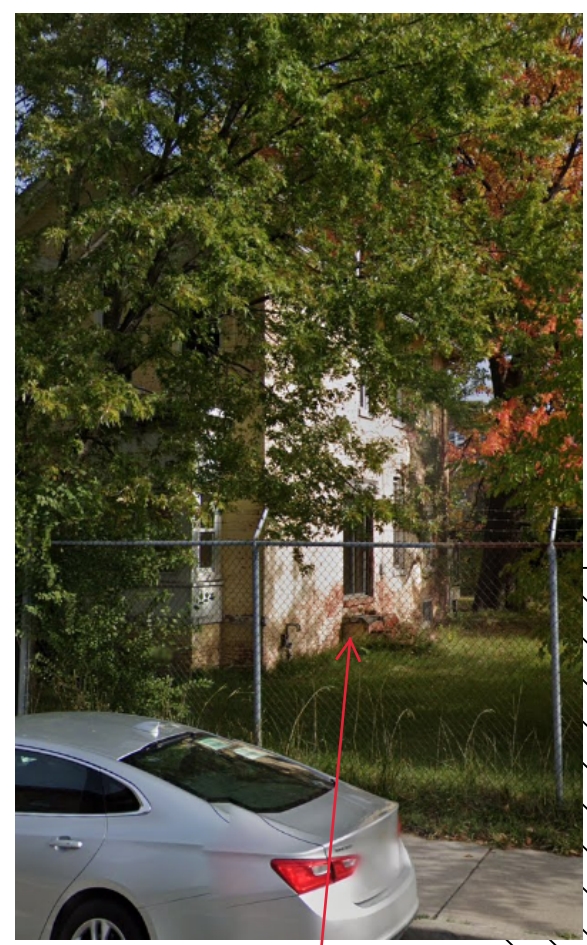
CDPA: SEE REVISED SITEPLAN, ATTACHED

CDPA: SIDEWALK IS WITHIN PROPERTY LINE

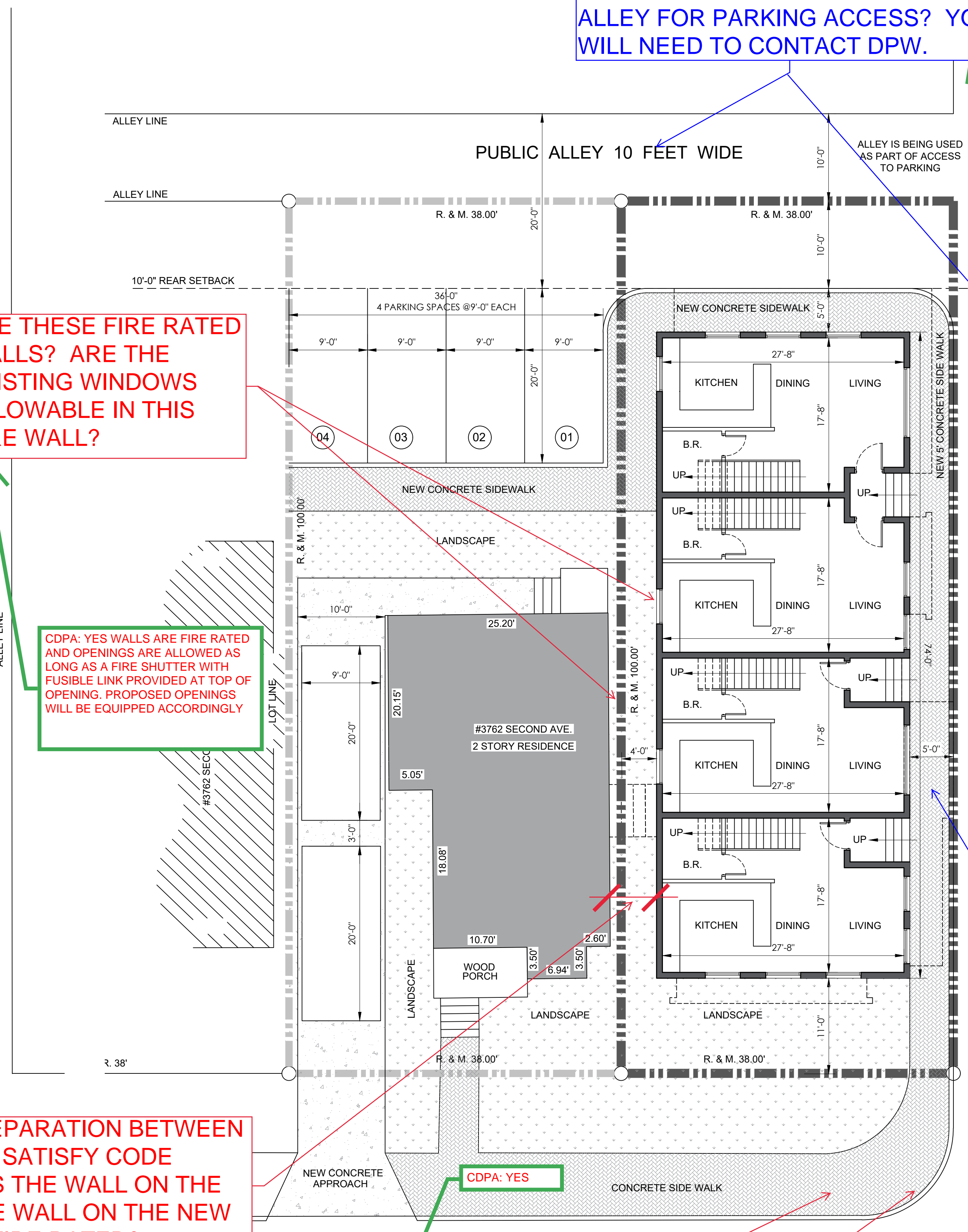
COMMENTS IN RED ARE REQUIRED CHANGES

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SECOND FLOOR PLAN  
 SCALE: 1/8" = 1'-0"



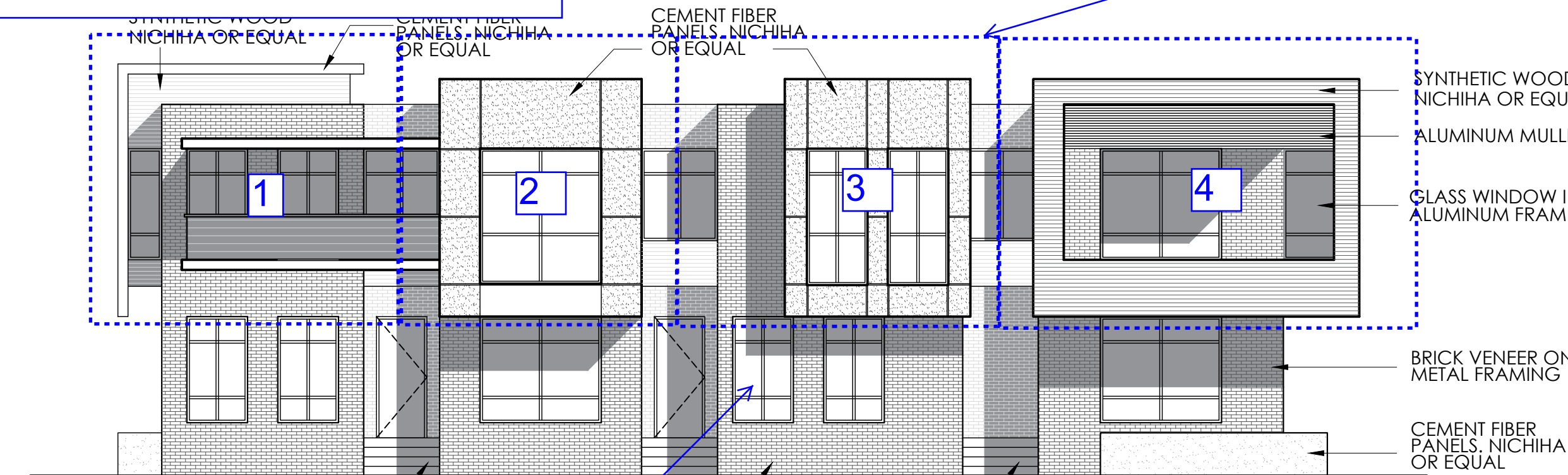
FIRST FLOOR PLAN  
 SCALE: 1/8" = 1'-0"



SHOULD YOU PROVIDE LIGHTING ALONG THE PROPOSED SIDEWALK IN THE ALLEY?

PROVIDE SOME UNIFORMITY AND RHYTHM TO THE FACADE. ONE OPTION IS TO MIRROR THE FACADE SO THAT IT IS BALANCED OR KEEP ONE OF THE UPPER FORMS AS THE CONTINUED LANGUAGE FOR THE UPPER LEVEL.

THERE ARE TOO MANY VARIATIONS ON THE UPPER LEVEL. CHOOSE ONE TO REPEAT OR SIMPLIFY.



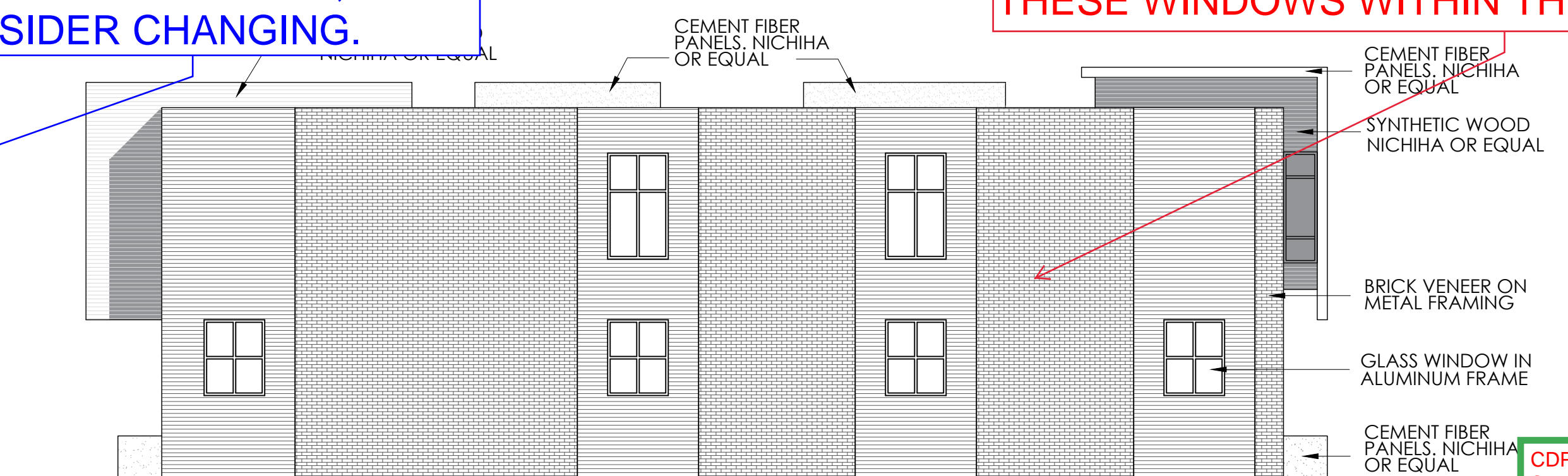
CDPA: SEE NEW BUILDING ELEVATIONS ATTACHED.

**cdpa**  
**ARCHITECTS +PLANNERS**  
 6 Parklane Blvd.  
 Suite 676  
 Dearborn, MI 48126  
 T. (313) 406-2175  
 F. (313) 406-2190  
 nsaymah@cdpaarchitects.com  
 www.cdpaarchitects.com

Key Plan: NO SCALE

THIS WINDOW PLACEMENT LOOKS UNBALANCED, CONSIDER CHANGING.

DUE TO THE PROXIMITY TO THE EXISTING HOUSE, DOES THIS WALL REQUIRE A FIRE RATING? ARE THESE WINDOWS WITHIN THE ALLOWABLE SIZE?

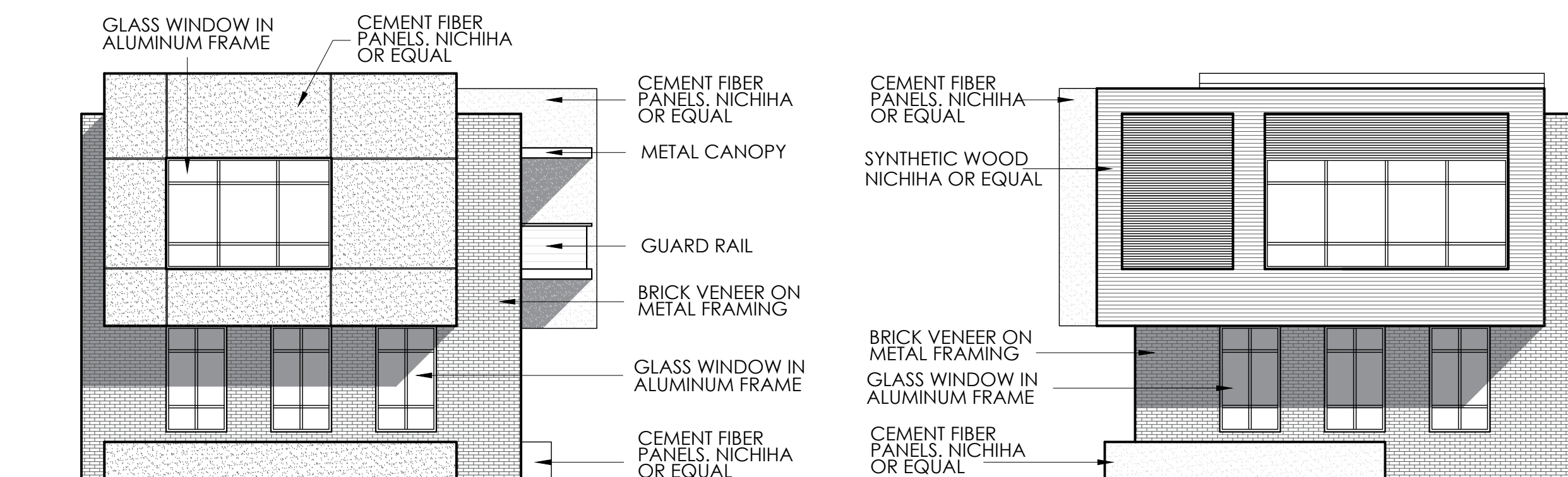


CDPA: YES, SEE CDPA REPLY TO COMMENT ON SHEET A-01

NORTH BUILDING ELEVATION  
 SCALE: 1/8" = 1'-0"

Project Name and Client:  
 DETROIT APARTMENTS  
 3752 SECOND AVE.  
 DETROIT, MI. 48201  
 MR. MOHAMMAD SOHUBA  
 DEARBORN, MI.

Seal:



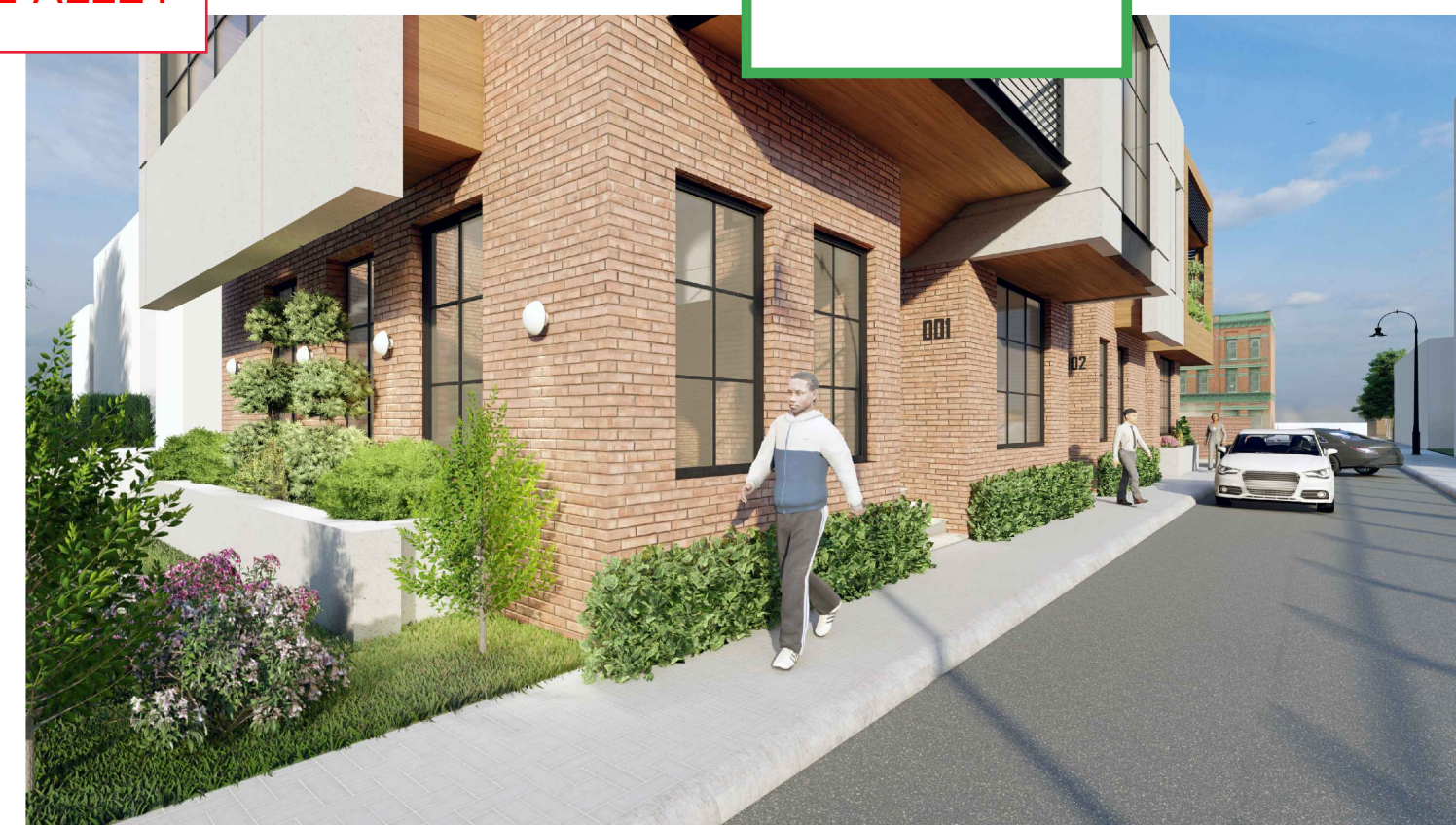
EAST BUILDING ELEVATION  
 SCALE: 1/8" = 1'-0"

WEST BUILDING ELEVATION  
 SCALE: 1/8" = 1'-0"

Date Issued For

PARKING IS NOT ALLOWED IN THE ALLEY

CDPA: CARS WILL NOT PARK IN THE ALLEY



CDPA:  
 1. SWATCHES ARE AVAILABLE, WHERE CAN WE DELIVER THEM TO? IN THE MEAN WHILE PLEASE FOLLOW THE LINKS BELOW FOR MATERIAL INFORMATION.  
<https://www.nichiha.com/product/vintage-wood>  
<https://www.nichiha.com/product/industrial-block>  
<https://www.meridianbrick.com/brick/colony-bay/>

2. WE WILL SEEK RECYCLABLE MATERIAL AND FINISHES.  
 3. GIVEN THE LIMITED AREA OF UNITS A 3 TON UNIT WILL SERVE EACH.  
 4. YES SOME WINDOWS ARE OPERABLE.  
 5. BOTH.

**GENERAL NOTES:**

1. PROVIDE MATERIAL SWATCHES FOR THE PROPOSED MATERIAL PALATTE WITH PRODUCT, MANUFACTURER, COLOR, TEXTURE AND FINISH.
2. WHAT SUSTAINABLE PRACTICES WILL BE UTILIZED IN THE DEVELOPMENT OF THIS PROJECT?
3. WHAT TYPE OF HVAC SYSTEM WILL BE USED? WILL IT REQUIRE PUNCTURES THROUGH THE EXTERIOR WALL OR ROOF?
4. ARE THE WINDOWS OPERABLE? IF SO, PLEASE IDENTIFY ON THE DRAWINGS.
5. ARE THESE UNITS FOR SALE OR FOR RENT?

COMMENTS IN RED ARE REQUIRED CHANGES

COMMENTS IN BLUE ARE SUGGESTED CHANGES

COMMENTS IN PURPLE ARE PRECEDENT EXAMPLES

Drawn: A.D.  
 Checked: N.S.  
 Approved: N.S.

Sheet Title:  
 BUILDING ELEVATIONS AND PERSPECTIVES

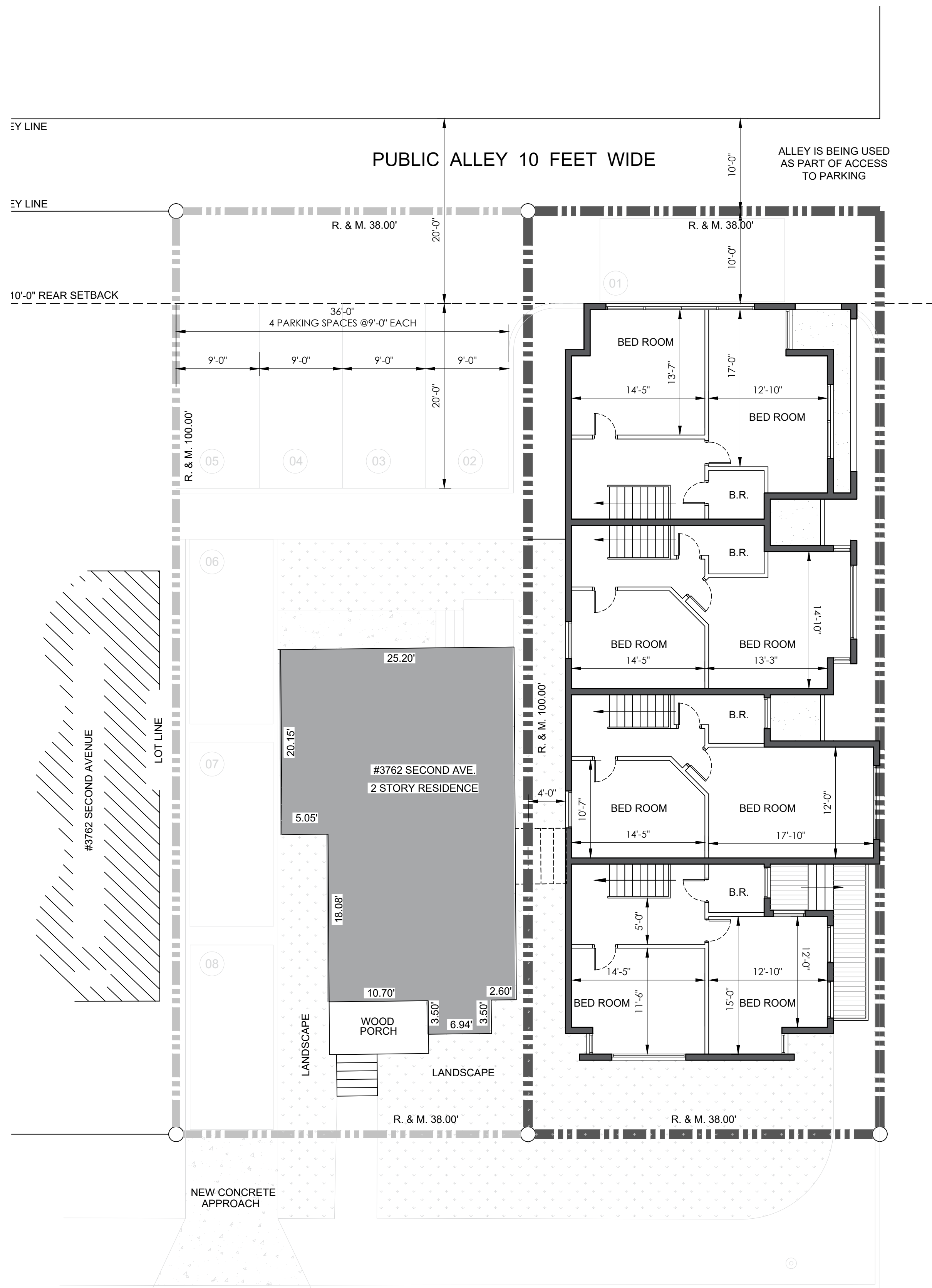
Project Number: 18-006

Sheet Number: A-02

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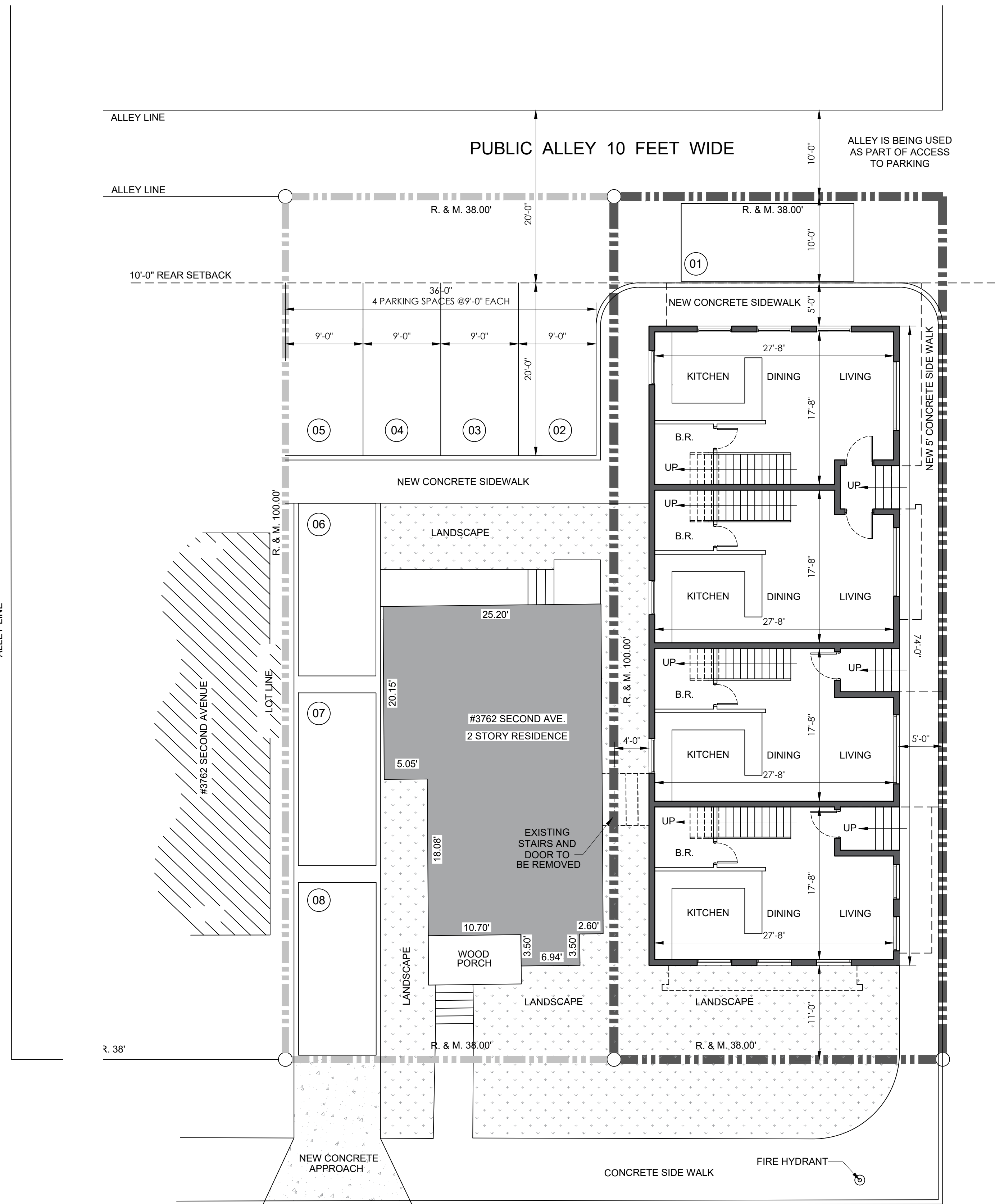






SECOND AVENUE 100 FEET WIDE

**SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



SECOND AVENUE 100 FEET WIDE

**FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

PUBLIC ALLEY 20 FEET WIDE

PUBLIC ALLEY 20 FEET WIDE









**LEGEND :**

01-REMOVE EXISTING PAINT AND EXPOSE ORIGINAL BRICK.

02-REMOVE GLASS DOOR AND REPLACE WITH NEW WINDOW W/ SILL AT 24" A.F.F. FILL NEW BRICK BLEOW SIMILAR TO EXISTING.

03-REPAIR AND RESTORE EXISTING WINDOWS.

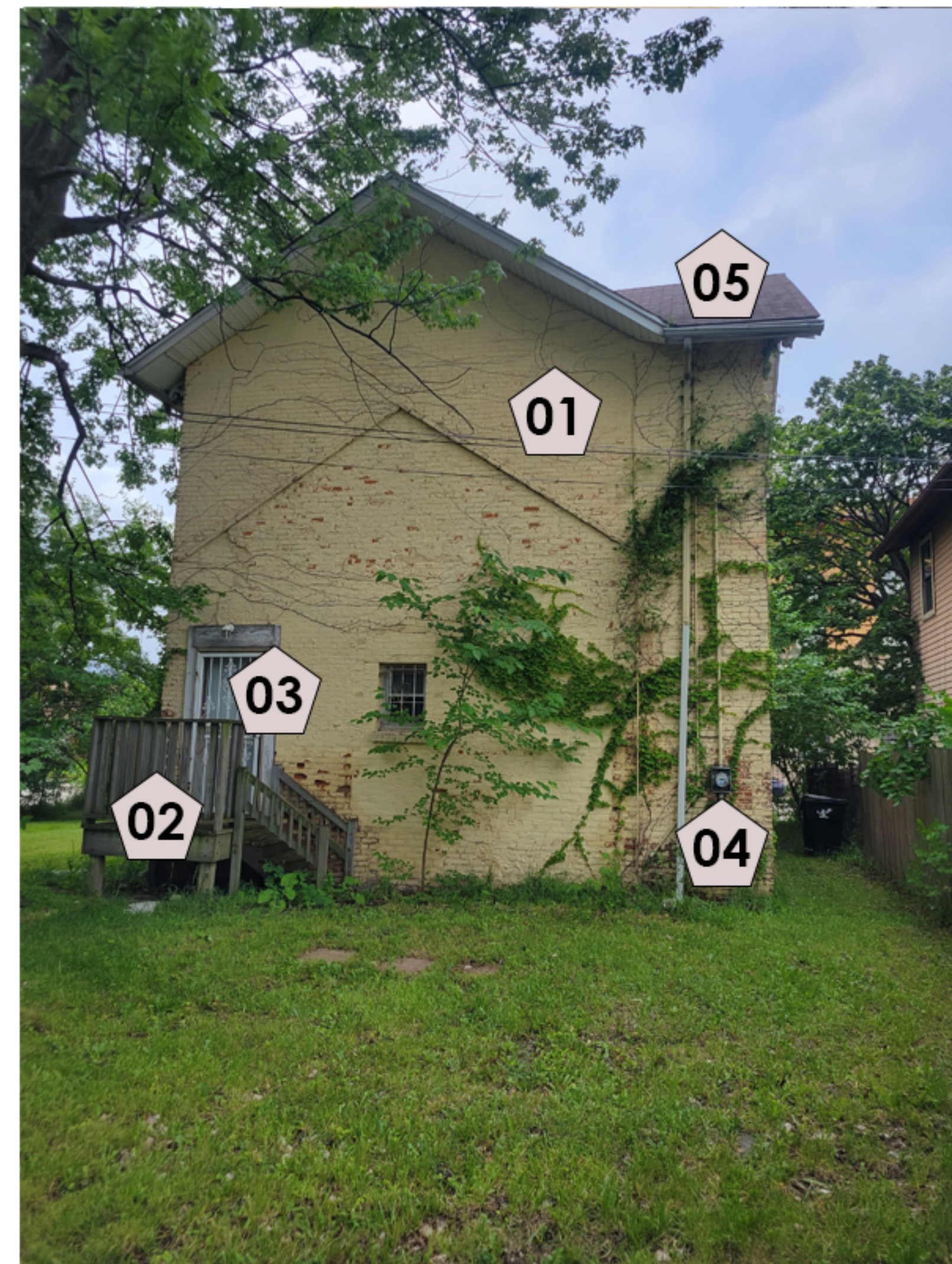
04-REPAIR AND RESTORE EXISTING WINDOWS.

05-CLEAN EXISTING SIDING AND PAINT. COLOR TBD.

06-REPAIR AND RESTORE EXISTING WINDOWS.

07-REPLACE EXISTING ROOFING AND GUTTER WITH NEW AT BAY WINDOW.

08-REMOVE EXISTING STAIRS.



**LEGEND :**

01-REMOVE EXISTING PAINT AND EXPOSE ORIGINAL BRICK.

02-REMOVE EXISTING WOOD STAIRS AND DECK. REBUILD WITH NEW SYNTHETIC WOOD STAIRS AND DECKING. INSTALL NEW RAILING SIMILAR TO PHOTO # 2 ON SHEET A-05.

03-REMOVE EXISTING DOOR AND REPLACE WITH NEW.

04-EXISTING ELECTRICAL METER TO REMAIN.

05- REMOVE EXISTING ROOFING, REPAIR DECK AS NECESSARY, INSTALL NEW ASPHALT SHINGLES WITH ARCHITECTURAL PROFILE, COLOR TBD.



**LEGEND :**

01-REMOVE EXISTING PAINT AND EXPOSE ORIGINAL BRICK.

02-REPAIR AND RESTORE EXISTING WINDOWS. REMOVE EXISTING STEEL SECURITY BARS.

03-MAINTAIN EXISTING IVY.



**LEGEND :**

01-REPAIR AND RESTORE EXISTING WINDOWS.

02-REPAIR AND RESTORE EXISTING WINDOWS.

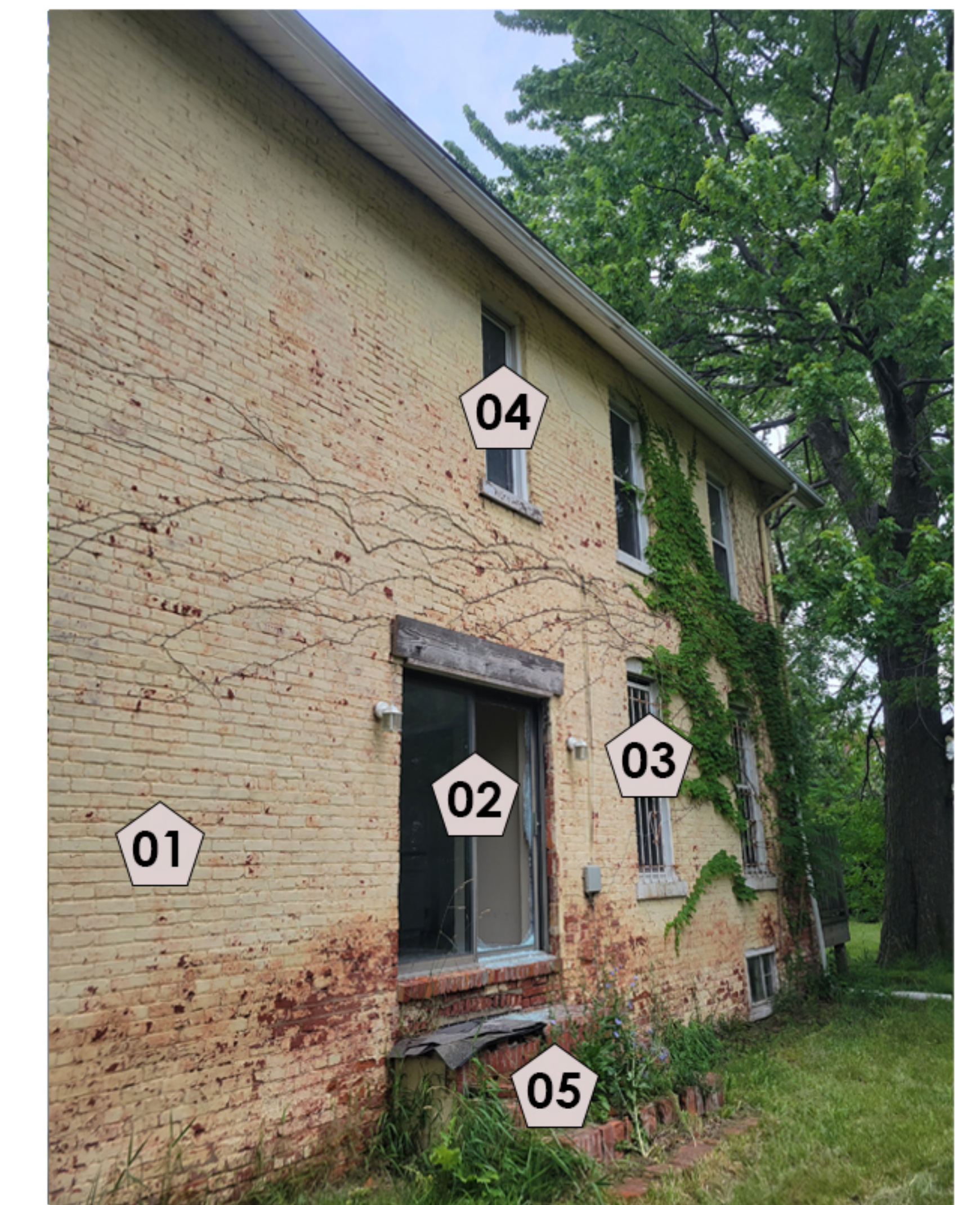
03-REMOVE GLASS DOOR AND REPLACE WITH NEW WINDOW W/ SILL AT 24" A.F.F. FILL NEW BRICK BLEOW SIMILAR TO EXISTING.

04-REPAIR AND RESTORE EXISTING WINDOWS.

05-REMOVE EXISTING PAINT AND EXPOSE ORIGINAL BRICK.

06-MAINTAIN EXISTING IVY.

07-REMOVE EXISTING DOWNSPOUT AND REPLACE WITH NEW.



**LEGEND :**

01-REMOVE EXISTING PAINT AND EXPOSE ORIGINAL BRICK.

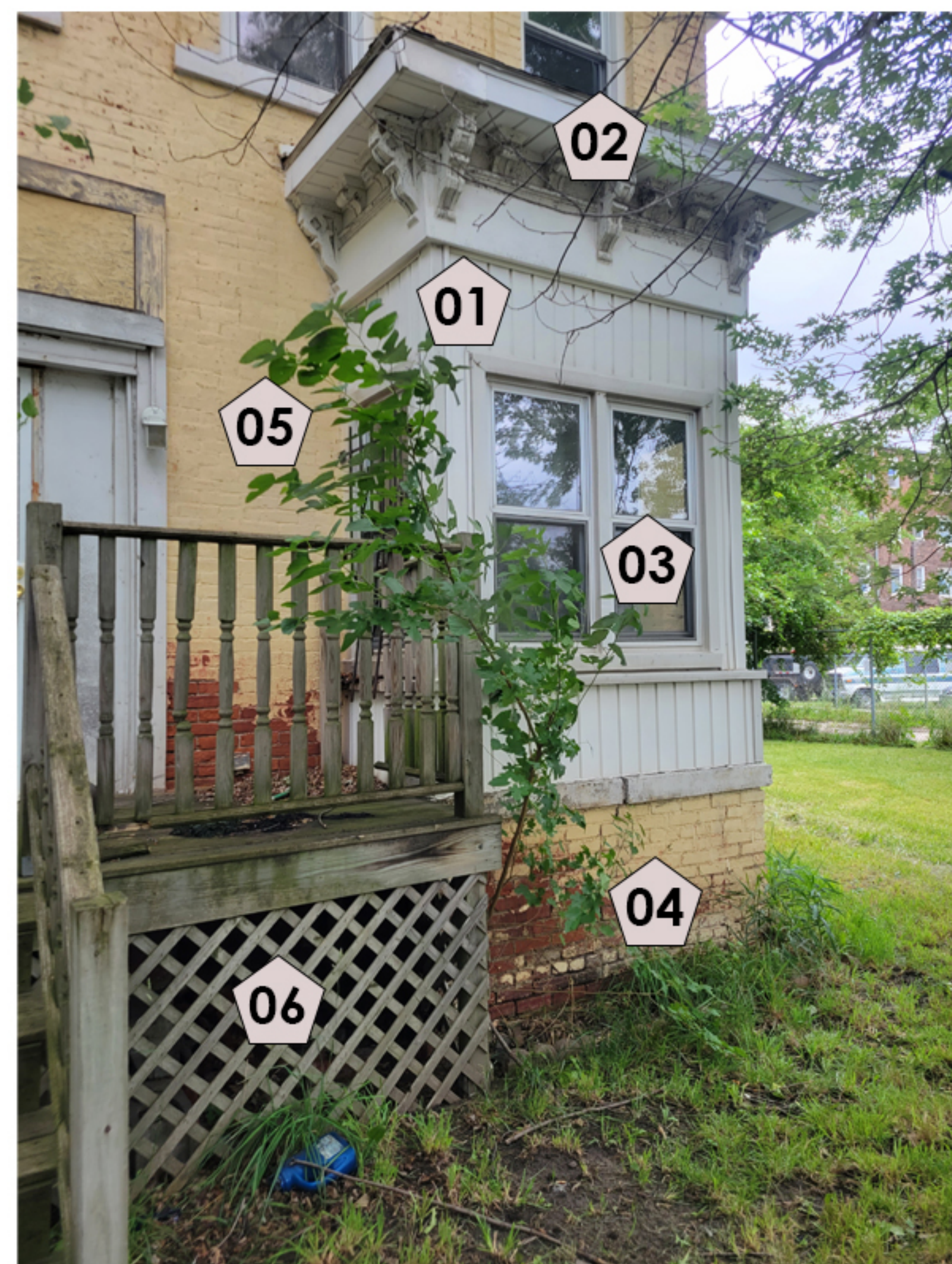
02-REMOVE GLASS DOOR AND REPLACE WITH NEW WINDOW W/ SILL AT 24" A.F.F. FILL NEW BRICK BLEOW SIMILAR TO EXISTING.

03-REPAIR AND RESTORE EXISTING WINDOWS.

04-REPAIR AND RESTORE EXISTING WINDOWS.

05-REMOVE EXISTING STAIRS.





**LEGEND :**

- 01-CLEAN EXISTING SIDING AND PAINT. COLOR TBD.
- 02-REPLACE EXISTING ROOFING AND GUTTER WITH NEW AT BAY WINDOW
- 03-REPAIR AND RESTORE EXISTING WINDOWS.
- 04-ORIGINAL BRICK COLOR.
- 05-REMOVE EXISTING PAINT AND EXPOSE ORIGINAL BRICK.
- 06-REMOVE EXISTING WOOD STAIRS AND DECK. REBUILD WITH NEW SYNTHETIC WOOD STAIRS AND DECKING. INSTALL NEW RAILING SIMILAR TO PHOTO # 2 ON SHEET A-05.



**LEGEND :**

- 01-REMOVE EXISTING WOOD STAIRS AND DECK. REBUILD WITH NEW SYNTHETIC WOOD STAIRS AND DECKING.
- 02-REMOVE EXISTING PLYWOOD AND INSTALL NEW SIDELIGHT AND DOOR.
- 03-INSTALL NEW RAILING SIMILAR TO PHOTO # 2 ON SHEET A-05.
- 04-REMOVE EXISTING PLYWOOD TRANSOM AND INSTALL NEW CORNICE SIMILAR TO PHOTO # 1 ON SHEET A-05.
- 05- REMOVE EXISTING PAINT AND EXPOSE ORIGINAL BRICK.



**LEGEND :**

- 01-REMOVE EXISTING WOOD STAIRS AND DECK. REBUILD WITH NEW SYNTHETIC WOOD STAIRS AND DECKING.
- 02-REMOVE EXISTING PLYWOOD AND INSTALL NEW SIDELIGHT AND DOOR.
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- 04-REMOVE EXISTING PLYWOOD TRANSOM AND INSTALL NEW CORNICE SIMILAR TO PHOTO # 2 ON SHEET A-05.
- 05-REPAIR AND RESTORE EXISTING WINDOWS.
- 06-CLEAN, REPAIR AND PAINT EXISTING CORNICE.
- 07-REMOVE EXISTING ROOFING, REPAIR DECK AS NECESSARY, INSTALL NEW ASPHALT SHINGLES WITH ARCHITECTURAL PROFILE, COLOR TBD.



**LEGEND :**

- 01-REMOVE EXISTING PAINT AND EXPOSE ORIGINAL BRICK.
- 02-REPAIR AND RESTORE EXISTING WINDOWS.
- 03-CLEAN EXISTING SIDING AND PAINT. COLOR TBD.
- 04-REMOVE EXISTING WOOD STAIRS AND DECK. REBUILD WITH NEW SYNTHETIC WOOD STAIRS AND DECKING. INSTALL NEW RAILING SIMILAR TO PHOTO # 2 ON SHEET A-05.



**LEGEND :**

- 01-REMOVE EXISTING PAINT AND EXPOSE ORIGINAL BRICK.
- 02-REMOVE EXISTING PLYWOOD AND INSTALL NEW SIDELIGHT AND DOOR.
- 03-REMOVE EXISTING PLYWOOD TRANSOM AND INSTALL NEW CORNICE SIMILAR TO PHOTO # 2 ON SHEET A-05.
- 04-REPAIR AND RESTORE EXISTING WINDOWS.
- 05-CLEAN,REPAIR AND PAINT EXISTING CORNICE.
- 06-REMOVE EXISTING ROOFING, REPAIR DECK AS NECESSARY, INSTALL NEW ASPHALT SHINGLES WITH ARCHITECTURAL PROFILE, COLOR TBD.





DECKING AND RAILING EXAMPLES



PHOTO # 2



PHOTO # 1