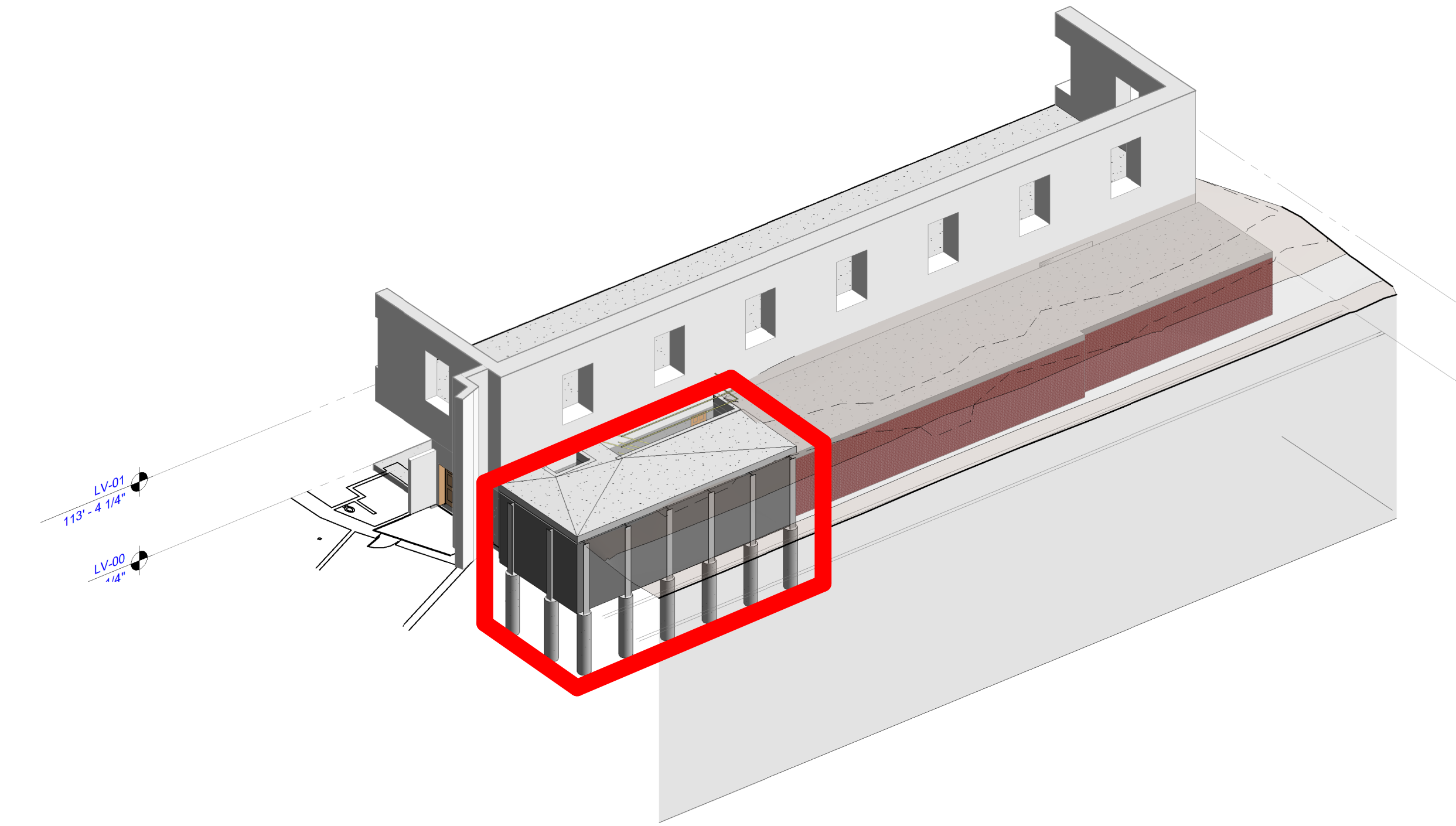


DAC - Bowling Abbey

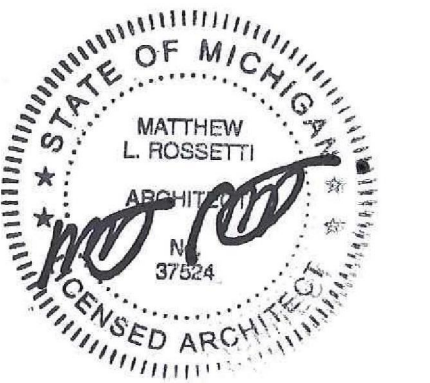
241 Madison St.
Detroit, MI 48226

ROS Project Number: 2021_028

Issued For: Basement Extension Permit



1 3D Orthographic View - Scope of Work
G-000 SCALE:



ARCHITECT OF RECORD / INTERIOR DESIGN:
ROSSETTI

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T: 313.463.5151
F: 313.463.5160
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F: 313.962.5068
CONTACT: Michael Marks
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SHEET INDEX - ARCHITECTURAL

"R" REVISED DRAWING, "N" NEW DRAWING

DELETED DRAWINGS: NONE

DWG #	DRAWING NAME	ISSUED FOR	DATE
G-000	Cover Sheet	Basement Extension Permit	01/21/22
DA-101	Demolition Plan	Basement Extension Permit	01/21/22
A-101	Floor Plan - Basement Level	Basement Extension Permit	01/21/22
A-102	Floor Plan - Street Level	Basement Extension Permit	01/21/22
A-103	Detail Plans & Sections	Basement Extension Permit	01/21/22

DRAWINGS: 5

SHEET INDEX - STRUCTURAL

"R" REVISED DRAWING, "N" NEW DRAWING

DELETED DRAWINGS: NONE

DWG #	DRAWING NAME	ISSUED FOR	DATE
S-001	Abbreviations and Symbols	Basement Extension Permit	01/21/22
S-002	General Structural Notes	Basement Extension Permit	01/21/22
S-003	Special Inspections	Basement Extension Permit	01/21/22
S-101	Foundation Plan	Basement Extension Permit	01/21/22
S-102	Level 2 Framing Plan	Basement Extension Permit	01/21/22
S-301	Sections and Details	Basement Extension Permit	01/21/22

DRAWINGS: 6

SHEET INDEX - CIVIL

"R" REVISED DRAWING, "N" NEW DRAWING

DELETED DRAWINGS: NONE

DWG #	DRAWING NAME	ISSUED FOR	DATE
C-100	Partial Topographic Survey - Existing	Basement Extension Permit	01/21/22
C-400	Site Plan	Basement Extension Permit	01/21/22

DRAWINGS: 2

ZONING

Zoning: B4 General Business District
District: Historic
By-Right Use: Commercial (26) Private Club
Front Setbacks: All other uses- None
Side Setbacks: All other uses- None
Rear Setbacks: All other uses- None
Height Restriction: per B4 = 35 feet / existing height @118'-0"

BUILDING CHARACTERISTICS

Existing building assumed IB- Assumed Construction Type

This level to be fully sprinklered

Height- 118 feet and 7 stories (no changes proposed)
Existing High Rise (no changes)

CODE SUMMARY

2015 Michigan Rehabilitation Code-

Chapter 3 Provisions for All Compliance Methods Section 301 Administration

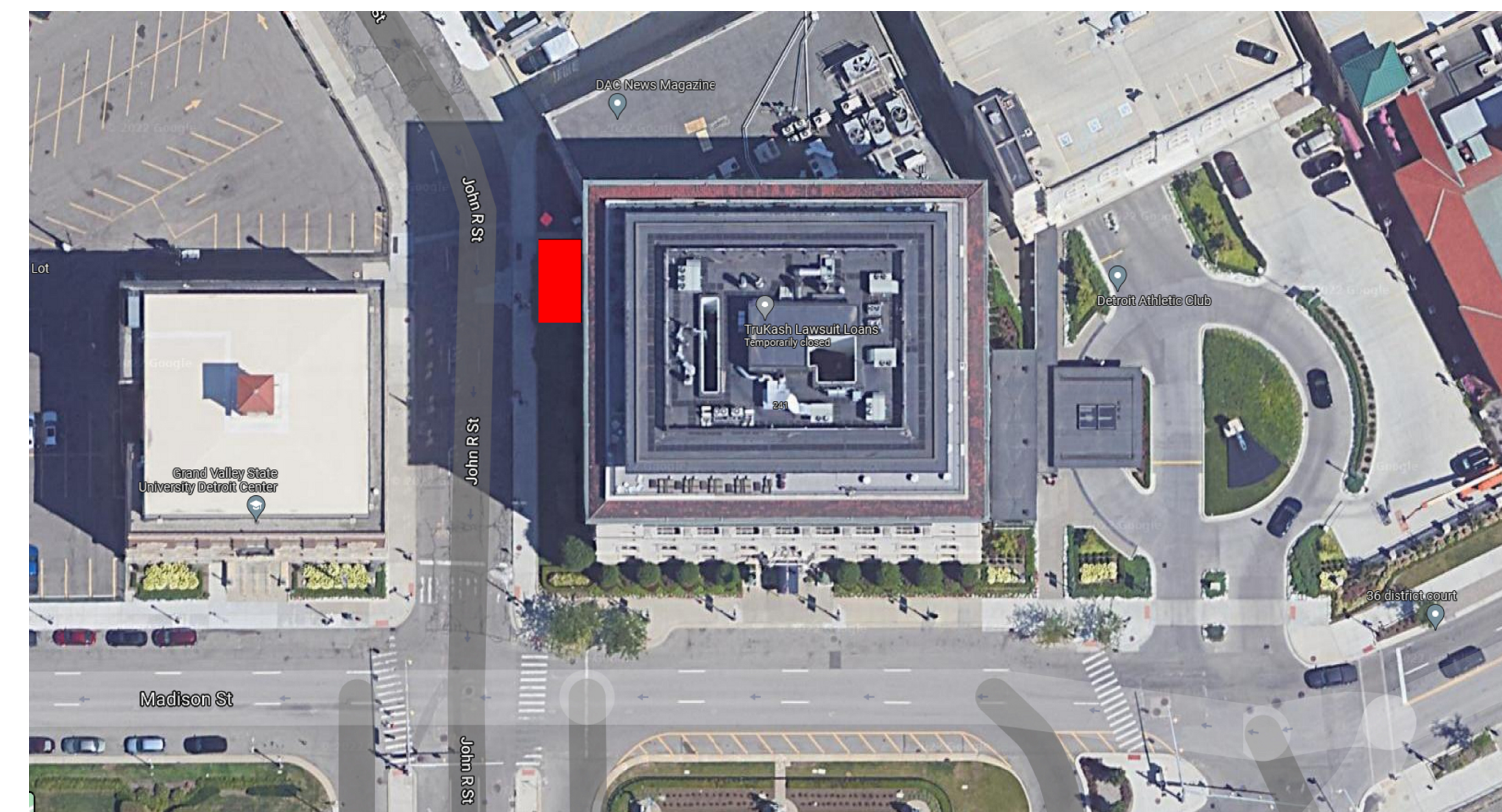
301.1 General
The alteration of an existing buildings shall comply with one of the methods listed in Sections 301.1.1 through 301.1.3 as selected by the applicant.

301.1.2 Work Area Compliance Method
Alterations complying with the applicable requirements of Chapters 5 through 13 of this code shall be considered in compliance with the provisions of this code

Chapter 5 Classifications of Work Section 504 Alteration-Level 2

504.1 Scope
Level 2 alterations include the reconfiguration of space, the addition or elimination of any door or window, the reconfiguration or extension of any system, or the installation of any additional equipment.

504.2 Application
Level 2 alterations shall comply with the provisions of Chapter 7 for Level 1 alterations as well as the provisions of Chapter 8.



LOCATION MAP NOT TO SCALE

ROSSETTI

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SHEET TITLE
Cover Sheet

PROJECT #
2021_028

SHEET #
G-000