

Historic District Commission Project Review

92 Forest

92. E Forest Avenue, Detroit, MI 48201

Historic District Commission

City of Detroit

Planning & Development Department

2 Woodward Avenue, Room 808, Detroit, MI 48226

Date: February 14, 2022

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PROJECT DESCRIPTION

92 E. FOREST
DETROIT, MI 48201

Conversion of former Church of the New Jerusalem into a 15 unit apartment building. The apartment project is to consist of (11) studio units and (4) one-bedroom units with a common mail room. The church consists of the original sanctuary with multiple additions. The church consists of two stories with a partial basement, the basement is proposed to be used as a utility room only and will have new exterior access. The exterior of 92 E. Forest is considered historic while the interior is not included in the designation. Exterior work to be included is designated in the following report for approval. Proposed interior modifications are shown for reference only.

WINDOWS AND ENTRY DOORS ARE NOT INCLUDED IN THIS SCOPE AND ARE SHOWN FOR REFERENCE ONLY. THEY WILL BE SUBMITTED IN A SEPARATE APPLICATION TO FOLLOW.

This submittal includes a variety of building modifications as well as site improvements.

The exterior changes proposed are as follows:

Building Modifications (continues on next page)

- Dismantle and rebuild the north (front) elevation stone entry with new foundational support and railing to meet code
- Remove existing front and side entry doors to evaluate existing jamb condition for new fabricated wood doors. Door design to be submitted in a separate application.
- Rebuild exterior ramp on west façade with new cladding and railing to meet code
- Add exterior staircase and basement entry door on west façade
- Removal of five windows on south façade
- Addition of one window on south façade
- Removal of four windows and two doors on east façade
- Addition of four doors and two windows on east façade
- Remove and rebuild center addition to be structurally sound
- Rebuild addition with additional head height on second floor and new terrace balcony
- Replace existing façade lighting with new fixtures (Refer to Section 5)

PROJECT DESCRIPTION

92 E. FOREST

DETROIT, MI 48201

Building Modifications (continued)

- Clean and repair existing masonry with HDC approved chemicals, new mortar to match existing where required
- Repair and replace in kind of existing gutter system
- Repair and replace in kind existing wood trim, eaves, and fascia.
To be painted white to match existing
- Removal of abandoned chimney
- Removal of abandoned exhaust system (exhaust caps and vents in roof and walls)
- Removal of exterior wall fan in rear addition
- Remove and replace membrane roofing in kind
- Remove and replace asphalt and slate shingles with GAF Timberline Slateline Shingles (Refer to Section 6)

Site Modifications

- Add new paved parking area with striping to meet Detroit Ordinance
- Add trash enclosure with concrete apron
- Add light poles at parking area and trash enclosure
- Add ornamental fencing and gates around parking area and side yard
Parking gate to be operable gate to match fencing
- Add monument identification sign in lieu of building mounted signage
(to be submitted by signage designer, location not identified)
- Add four exterior patio spaces and dog run
- Patio spaces to be exposed aggregate concrete finish
- Add new lawn and landscape (to be submitted in permit drawings)
- Add new storm system and catch basins in new parking lot
- Add exterior basement stairs with drain at bottom
- Remove and replace existing sidewalks
- Remove existing east concrete pad at rear doors
- Remove and replace existing curb and drive approach in East Forest and Alley

HDC APPLICATION

92 E. FOREST
DETROIT, MI 48201

Refer to the following pages for the HDC Application.

THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

DATE: 02.14.2022

PROPERTY INFORMATION

ADDRESS(ES): 86 & 92 E. Forest AKA: 92 E. Forest

PARCEL ID: 01001213, 01001214 HISTORIC DISTRICT: Sugar Hill District

SCOPE OF WORK: (Check ALL that apply) Windows/Doors Walls/Siding Painting Roof/Gutters/Chimney Porch/Deck/Balcony Addition
 Demolition Signage New Building Major Alteration (3+ scope items) Site Improvements (landscape, trees, fences, patios, etc.)

BRIEF PROJECT DESCRIPTION: Site and building improvements to become 15 unit apartment building.
Site and building improvements to become 15 unit apartment building.

APPLICANT IDENTIFICATION

Property Owner/Homeowner Contractor Tenant or Business Occupant Architect/Engineer/Consultant

NAME: Jeffrey Klatt COMPANY NAME: Krieger Klatt Architects

ADDRESS: 2120 E. 11 Mile Rd. CITY: Royal Oak STATE: MI ZIP: 48067

PHONE: 248.414.9270 MOBILE: 586.556.9910 EMAIL: jeff@kriegerklatt.com

PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB

- Completed Building Permit Application** (highlighted portions only)
- ePLANS Permit Number** (only applicable if you've already applied for permits through ePLANS)
- Current Photographs:** Including the front of the building & detailed photographs of the area(s) affected by the proposed work. All photographs must be labeled or captioned, e.g. "west wall", "second floor window," etc.
- Description of existing conditions** (including materials and design)
- Description of project** (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)
- Detailed scope of work** (formatted as bulleted list)
- Brochure/cut sheets** for proposed replacement material(s) and/or product(s), as applicable

NOTE:
Based on the scope of work, additional documentation may be required.
See www.detroitmi.gov/hdc for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEtED) to perform the work.

SUBMIT COMPLETED REQUESTS TO: HDC@DETROITMI.GOV

P2 - BUILDING PERMIT APPLICATION

Date: 02.14.2022

PROPERTY INFORMATION

Address: 86 & 92 E. Forest Floor: _____ Suite#: _____ Stories: _____
 AKA: 92 E. Forest Lot(s): 2 Subdivision: Sugar Hill
 Parcel ID#(s): 01001213, 01001214 Total Acres: 0.391 Lot Width: 110' Lot Depth: 155'
 Current Legal Use of Property: B4-H Proposed Use: B4-H (SLU2020-00141)
 Are there any existing buildings or structures on this parcel? Yes No

PROJECT INFORMATION

Permit Type: New Alteration Addition Demolition Correct Violations
 Foundation Only Change of Use Temporary Use Other: _____
 Revision to Original Permit #: _____ (Original permit has been issued and is active)

Description of Work (Describe in detail proposed work and use of property, attach work list)

Site improvements to parking lot; side and front entries, and side, rear, and front yards. Rebuild of structurally unstable addition, adding patio and terrace doors.

Rebuild front entry and side entry ramp. Replace outdated wall packs with new LED fixtures. Add monument signage in front yard to avoid wall penetrations.

MBC use change No MBC use change

Included Improvements (Check all applicable; these trade areas require separate permit applications)

HVAC/Mechanical Electrical Plumbing Fire Sprinkler System Fire Alarm

Structure Type

New Building Existing Structure Tenant Space Garage/Accessory Building
 Other: _____ Size of Structure to be Demolished (LxWxH) _____ cubic ft.

Construction involves changes to the floor plan? Yes No

(e.g. interior demolition or construction to new walls)

Use Group: R2 Type of Construction (per current MI Bldg Code Table 601) VB

Estimated Cost of Construction \$ _____ \$ _____
By Contractor By Department

Structure Use

Residential-Number of Units: 15 Office-Gross Floor Area _____ Industrial-Gross Floor Area _____
 Commercial-Gross Floor Area: _____ Institutional-Gross Floor Area _____ Other-Gross Floor Area _____

Proposed No. of Employees: _____ List materials to be stored in the building: _____

PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements (must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings, existing and proposed distances to lot lines. (Building Permit Application Continues on Next Page)

For Building Department Use Only

Intake By: _____ Date: _____ Fees Due: _____ DngBld? No

Permit Description: _____

Permit #:

Current Legal Land Use: _____ Proposed Use: _____

Permit#: _____ Date Permit Issued: _____ Permit Cost: \$ _____

Zoning District: _____ Zoning Grant(s): _____

Lots Combined? Yes No (attach zoning clearance)

Revised Cost (revised permit applications only) Old \$ _____ New \$ _____

Structural: _____ Date: _____ Notes: _____

Zoning: _____ Date: _____ Notes: _____

Other: _____ Date: _____ Notes: _____



IDENTIFICATION (All Fields Required)

Property Owner/Homeowner

Property Owner/Homeowner is Permit Applicant

Name: Neal Check Company Name: Raincheck Forest LLC
Address: 28715 Greenfield City: Southfield State: MI Zip: 48076
Phone: 2484405996 Mobile: N.A.
Driver's License #: C200626051858 Email: neal@soundcheckllc.com

Contractor

Contractor is Permit Applicant

Representative Name: Kevin Monahan Company Name: The Monahan Company
Address: 21321 Kelly Rd City: Eastpoint State: MI Zip: 48021
Phone: 586.774.3800 Mobile: 586.344.9072 Email: kevin@themonahanco.com
City of Detroit License #: LIC2005-00461 Expires 12.31.22

TENANT OR BUSINESS OCCUPANT

Tenant is Permit Applicant

Name: _____ Phone: _____ Email: _____

ARCHITECT/ENGINEER/CONSULTANT

Architect/Engineer/Consultant is Permit Applicant

Name: Jeffrey Klatt State Registration#: 1301056199 Expiration Date: 4-8-2023
Address: 2120 E 11 Mile Rd City: Royal Oak State: MI Zip: 48067
Phone: 248.414.9270 Mobile: 586.556.9910 Email: jeff@kriegerklatt.com , jessica@kriegerklatt.com

HOMEOWNER AFFIDAVIT (Only required for residential permits obtained by homeowner.)

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name: _____ Signature: _____ Date: _____
(Homeowner)

Subscribed and sworn to before me this _____ day of _____ 20 ____ A.D. _____ County, Michigan
Signature: _____ My Commission Expires: _____
(Notary Public)

PERMIT APPLICANT SIGNATURE

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. **I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be**

Print Name: Jeffrey Klatt Signature: Jeff Klatt Date: 02.14.2022
(Permit Applicant)

Digitally signed by Jeff Klatt
Date: 2022.02.14 16:27:10
-3292

Driver's License #: K430390275704 Expiration: 09-10-2025

Subscribed and sworn to before me this _____ day of _____ 20 ____ A.D. _____ County, Michigan
Signature: _____ My Commission Expires: _____
(Notary Public)

Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.

This application can also be completed online. Visit detroitmi.gov/bsecd/elaps for more information.



EXISTING CONDITION PHOTOGRAPHS

92 E. FOREST
DETROIT, MI 48201

Refer to the following pages for images of trim, entries, gutters, and ramp which are to be repaired or replaced in kind. Elevations are provided for context, windows and door design will be addressed in a separate submittal and are NOT included in this application.

North (Front) Façade (E. Forest Avenue)

- Pages 10-17

West Façade (Parking Lot)

- Pages 18-25

South Façade (Alley)

- Pages 26

East Façade

- Pages 26-28

North Facade

Front façade— Full View (Note plywood is still in place at upper section of windows). Stone surround to be repaired



North Facade

Detail at upper gable section (Note protective plywood still in place at upper portion of glazing)



North Facade

Detail at top of gable. Gable to be cleaned and restored in kind.



North Facade

Detail at top of stone surround, security bars to be removed from doors



North Facade

Aerial view of stone surround. Stone to be removed, repaired, and replaced .



North Facade

Detail view of cap at stone surround . Top to be re-enclosed.



North Facade

Detail at porch cap, steps and side walls. Stone to be removed, repaired, and replaced .



North Facade

Grade level view of stone entrance surround. Stone to be removed, repaired, and replaced.



North Facade

Aerial View of front entrance steps and landing, stone to be removed, repaired, and replaced .



West Facade

Full Image of West Façade, new basement entry, ramp repair.



West Facade

Full Image of West Facade , new site work , ramp repair.



West Facade

Detail at upper gable section, gutter and trim replaced in kind.



West Facade

Detail at upper gable section, gutter system and trim to be replaced in kind.



West Facade

Detail at upper gable section, gutter system and trim to be replaced in kind.



West Facade

Detail at gutter and trim board, to be replaced in kind



East Facade

Detail at roof edge



East Facade

Detail at ramp



West Facade

Enlarged detail at existing ramp, ramp to be rebuilt with new rail system.



West Facade

Detail at non-historic pedestrian door and ramp. Ramp to be brought up to code with new rail system, door to be replaced



South and West Facade

View of corner of façade from Alley



West Facade

Detail at Parged Addition



East Facade

Full view of facade



East Facade

Detail at Parged Addition



East Façade Trim and Gutter Detail

Existing wood trim and metal gutters to be replaced with exact replica. Wood is generally painted 1x6 trim. Gutters are white metal K-Style.



SITE RELATED IMPROVEMENTS

92 E. FOREST
DETROIT, MI 48201

The site plan in "Exhibit A" includes new fencing with matching gates, patio spaces, landscaping that will be designed to meet City of Detroit planting requirements, a new dumpster enclosure which will be parged to match the rear addition, new parking layout, exterior light poles, and other site improvements.

The following pages include new site lighting specifications as well as the new fence and railing system.

Parking Lot Pole Mounted Fixture

Page 30(See Site Plan in Appendix A for specific locations)

Parking Lot Pole

Pages 31-32 (See Site Plan in Appendix A for specific locations)

Proposed Fence, Gate and Railing

Page 33 (See Site Plan in Appendix A for specific locations)



Hudson HUDP1A Approval – Specification

Project: Order:
 Qty: Luminaire: Type:

Head module: Classic lantern styling, square section, injected molded cast aluminum A360.2 housing. An A360.2 aluminum decorative element is mechanically attached to the head module. An external suspension tenon post \varnothing 1.9" (4.8 cm) with a locking button 3 / 8-16 and adjustment screws (supplied with the suspension element) allows attachment to a support comprising a \varnothing 2 3/8" (6 cm) outside and a 0.154" (4 mm) wall. Mechanically secured, by a tool free latch to the optical module.

Optical Module: The Orion LED optical engine is mechanically assembled to the optical module. The optical module has integrated hinges and a stainless a-steel latch that allows tool-free access to the driver. The cast A360.2 aluminum heat sink/optical module is optimized to minimize LEDs operating temperature, increasing their longevity and efficiency. A white decorative plastic protection plate is mechanically assembled under the optical module. The high efficiency Orion LED optical engine is mechanically assembled on the heat sink. LED lifetime is 100,000 hours. It is based on the LM-80 test and extrapolated with TM-21. This data is calculated when 50% of the LEDs produce 70% of their initial luminous flux (L70). The minimum color rendering index (CRI) is 70. The optical acrylic lens are designed to illuminate only where needed while achieving excellent uniformity with maximum spacing. The optical acrylic lens are sealed to the LED board. The light distribution type according to IES is

Cage Module: The injected molded cast aluminum A360.2 cage module is mechanically assembled to the optical module for easy replacement. There is either **no lens (NL)**, a **clear tempered glass (FGC)** flat lens, or an acrylic globe (see other specification) used with the cast aluminum optical module.

Driver: Class 1 (100W to 120W) or Class 2 (20W to 80W) self-adjusting regulator.

Primary voltage of **Volts**, 50 / 60Hz, THD max 20%. High power factor of 90%. Operating temperature from -40°F (-40°C) to 130°F (55°C).

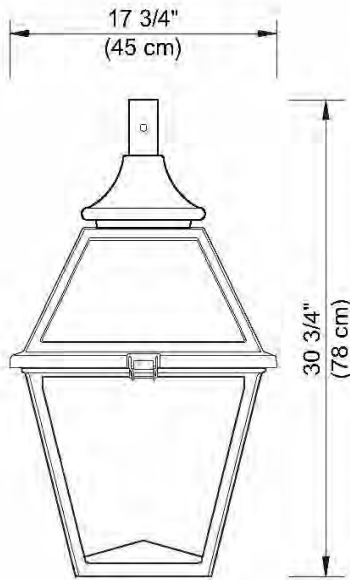
The driver provides 0-10 Volts output and is ROHS compliant. Complete with an 18-6 AWG three-pole connector block and a 10kA three-pole surge protector for Line-Ground, Line-Neutral and Neutral-Ground lines according to the IEEE / ANSI C62.41 2002 C standard.

Hardware: All exposed hardware is stainless steel.

Color: **Finish:** Textured or Smooth (SM) Durable polyester powder coating meets AAMA 2604 requirements (5 years exposure to all weather conditions). The finish meets ASTM G7, B117, D1654 and D2247 standards relative to salt spray and humidity resistance.

Cyclone recommends a textured finish for this product.

MG Marine grade pre-finish available as an option.



EPA: 1.50 ft² Weight: 27 lbs / 12 kg

Stamp/Approval:
 Name: Date:

Name: Page 1 of 2
 Date:



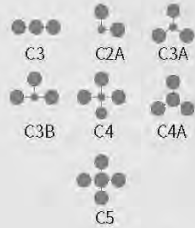
ARMS

This section showcases a vast assortment of mounting arm options. Whether classic, traditional or contemporary styling, Cyclone mounting arms bring versatility and flexibility to all types of projects.

STANDARD CONFIGURATIONS:

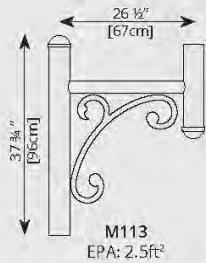
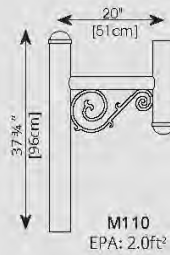
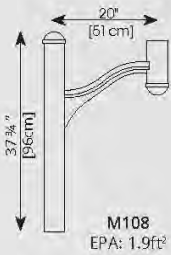
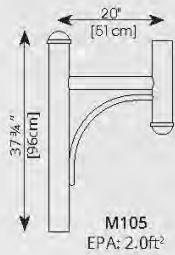
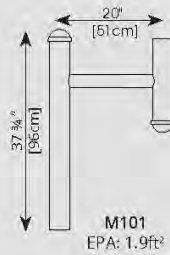
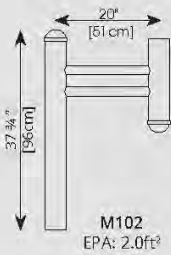
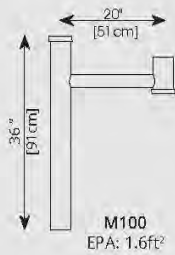


OTHER CONFIGURATIONS:
(CONSULT FACTORY)

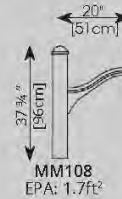
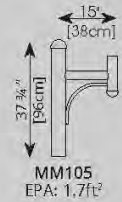
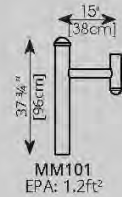


MODEL	CONFIGURATION	MOUNTING*	OPTIONS	VOLT**	COLOR	FINISH	MG
M1	C1	T40	PT ⁽²⁾	120	BK	TX	MG
MM1	C2	T42	PTL ⁽²⁾	208	DG	SM	
	W1	T12	PTDR ⁽²⁾	240	MA		
	WPB	T50 ⁽¹⁾	PX ⁽²⁾	277	SI ⁽⁴⁾		
		T52	PC ⁽³⁾	347	BZ		
		T15 ⁽¹⁾	NONE	480	BG		
		T556 ⁽¹⁾			GM		
					PG		
					WH		

*ONLY NECESSARY WITH C1&C2 CONFIGURATION
 **ONLY NECESSARY WITH PT/PTL/PC OPTION
⁽¹⁾ AVAILABLE FOR W1 ONLY
⁽²⁾ ONLY AVAILABLE WITH C1&C2 CONFIGURATION AND ONLY ONE OF THESE OPTIONS CAN BE CHOSEN
⁽³⁾ WOOD POLE BRACKET ONLY
⁽⁴⁾ AVAILABLE IN SMOOTH FINISH ONLY



POST-TOP MINI





OPTIONS

A wide range of options or accessories are available to complete your projects: from banner arms to plant support, decorations and ornaments, these accessories add a distinctive look to your endeavors. In order to adapt our projects to your needs and to facilitate installation, several electric options are also available.

FINISH

5mils/127microns polyester super durable powder coating. A wide variety of RAL colors are available in textured (TX) or smooth (SM) finish.

For projects in locations with high humidity, an anti-corrosive marine grade pre-finish is offered as an option.

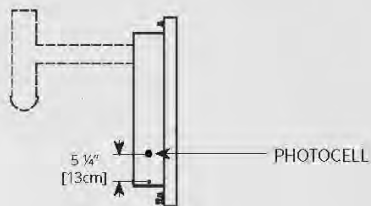


* Available in smooth finish

PC

BUTTON TYPE PHOTOELECTRIC CELL.
To be mounted on the the bracket.

**CONSULT FACTORY FOR MORE INFORMATION*

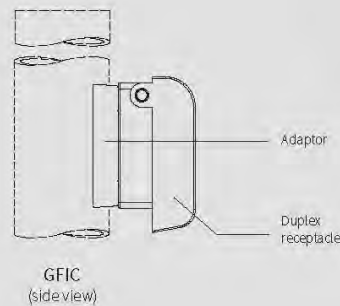


GFI

- GFI C1:** Duplex receptacle, ground fault current interrupter, 125 VAC (15A), complete with a lockable "In-Use" weatherproof cover.
- GFI C2:** Duplex receptacle, ground fault current interrupter, 125 VAC (20A), complete with a lockable "In-Use" weatherproof cover.

Hardware: Stainless steel screws.

**CONSULT FACTORY FOR MORE INFORMATION ON BRACKET POSITION AND ORIENTATION.*



Due to continuous improvement, Cyclone reserves the right to modify these specifications, design and materials of these products without prior notice.



Proposed Site Fencing and Railings

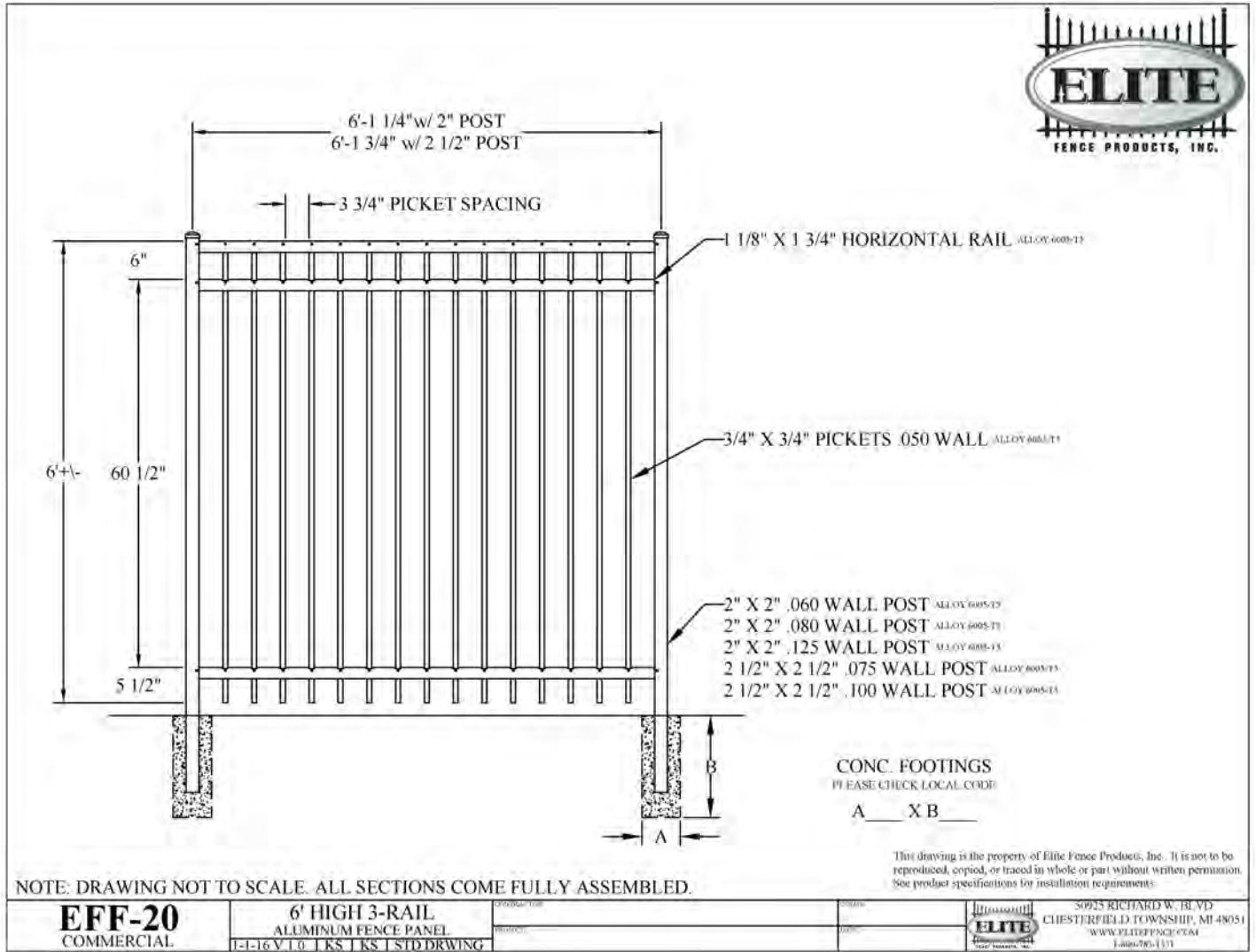


Image of Fencing Installation



BUILDING IMPROVEMENTS

92 E. FOREST
DETROIT, MI 48201

The following sheets indicate new building mounted lighting, and cut sheets for new patio doors as well as the new windows for the rebuilt addition portion, refer to Exhibit A for extent.

The Entry doors are to be fabricated from solid wood with vertical slats. From our research, we believe that the original main doors were solid wood arched doors that consumed the full height of the arch at the front entry. A similar door will be fabricated to match for the side entry door from the ADA entrance in the parking lot. The renderings in Exhibit A give a schematic representation of what we believe the original doors would have looked like.

Refer to "Exhibit A" for plans and elevations.

Entry Lantern Fixture

Page 35 (See Renderings in Appendix A for general design intent)

Entry In-Ground Wall Wash Fixture

Page 36 (See Renderings in Appendix A for general design intent)

Alcove Lighting Fixture

Page 37 (See Renderings in Appendix A for general design intent)

Patio Wall Mount Fixture

Page 38 (See Renderings in Appendix A for general design intent)

Wall Pack Fixture

Page 39 (See Renderings in Appendix A for general design intent)

Patio Sliding Door

Page 40 (See Renderings in Appendix A for general design intent)

Double Hung Window

Page 41 (See Renderings in Appendix A for general design intent)

Proposed Entry Lantern

GENERATION LIGHTING

OL1904BK: Large Lantern



Dimensions:

Width: 12 1/2" **Extends:** 17 1/4"
Height: 32" **Wire:** 8" (color/Black/White)
Weight: 25.25 lbs. **Connection:** Mounted To Box

Bulbs:

4 - Candelabra Torpedo 60w Max. 120v - Not included

Features:

-

Material List:

1 Body - Aluminum - Black

Safety Listing:

Safety Listed for Wet Locations

Instruction Sheets:

English (2019)

Collection: Castle

Featured in the decorative Castle collection

4 A19 Candelabra 60 watt light bulbs

The preferred brand choice of builders and electricians

cUL listed for wet locations

A great choice for your do-it-yourself project

UPC #:014817218817

Finish: Black (BK)

Shade / Glass / Diffuser Details:

Part	Material	Finish	Quantity	Item Number	Length	Width	Height	Diameter	Fitter Diameter	Shade Top Length	Shade Top Width	Shade Top Diameter
Shade	Glass	Clear Beveled	4			4 5/8	9 1/8					

Backplate / Canopy Details:

Type	Height / Length	Width	Depth	Diameter	Outlet Box Up	Outlet Box Down
Back Plate	18 9/16	7	1 5/8		9 11/16	

Shipping Information:

Package Type	Product #	Quantity	UPC	Length	Width	Height	Cube	Weight	Fr. Class	UPS Ship
Individual	OL1904BK	1	014817218817	20	15.25	35	6.178	24.8	175	Yes
NJ Pallet		12		48	40	68	75.556	297.6		No
NV Pallet		12		48	40	68	75.556	288		No

Generation Lighting reserves the right to revise the design of components of any product due to parts availability or change in safety listing standards without assuming any obligation or liability to modify any products previously manufactured and without notice. This literature depicts a product design that is the sole and exclusive property of Generation Lighting. In compliance with U.S. copyright and patent requirements, notification is hereby presented in this form that this literature, or the product it depicts, is not to be copied, altered or used in any manner without the express written consent of, or contrary to the best interests of Generation Lighting, a Visual Comfort & Co brand.

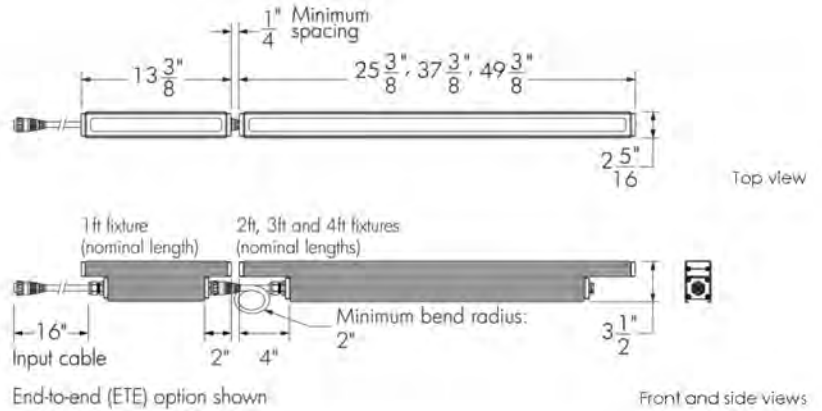
Proposed Front Wall Wash Specification Sheet

lumenfacade
LOG

WHITE AND STATIC COLORS

Project Name _____ Qty _____

Type _____ Catalog / Part Number _____

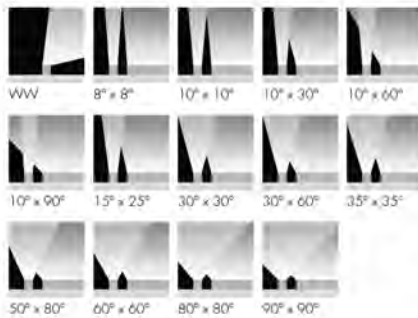


Photometric Summary

	Delivered output (lm)	Intensity (peak cd)
WW	3,592	5,159
8°x8°	4,045	77,896
10°x10°	3,830	38,346
10°x30°	3,885	30,056
10°x60°	3,984	17,736
10°x90°	3,576	7,897
15°x25°	3,880	24,730
30°x30°	3,765	14,726
30°x60°	3,848	5,106
35°x35°	3,921	9,999
50°x80°	3,767	3,449
60°x60°	3,435	3,007
80°x80°	3,881	2,530
90°x90°	3,588	1,886

Based on HO 4000K, 4ft [1219mm] configuration.
Photometric performance is measured in compliance with IESNA LM-79-08.

Optics



Description

The Lumenfacade is a high-performance linear LED luminaire for grazing or floodlighting exterior walls and facades. Featuring second generation LED technology, the luminaire is available in 12 in, 24 in, 36 in or 48 in sections, and can be configured with a wide number of options, including: optics for grazing or flood lighting; a choice of outputs (ASHRAE 5 W/ft, RO 8.5 W/ft or HO 15.25 W/ft); various color temperatures or static colors; various mounting options, finishes, accessories and controls. The Lumenfacade is also available with a unique asymmetric wallwash distribution, providing exceptional uniformity and brightness for walls and signage.

Features

Color and Color Temperature	2200K, 2700K, 3000K, 3500K, 4000K, Red, Green, Blue
Length (nominal)	12 in, 24 in, 36 in, 48 in
Optics	Asymmetric Wallwash, 8° x 8°, 10° x 10°, 10° x 30°, 10° x 60°, 10° x 90°, 15° x 25°, 30° x 30°, 30° x 60°, 35° x 35°, 50° x 80°, 60° x 60°, 80° x 80°, 90° x 90°
Options	End-to-end configuration (factory installed 16 in black input cable included), Corrosion-resistant coating for hostile environments, 3G ANSI C136.31-2010 Vibration Rating for bridge applications, CE (certification covers European Economic Area)
Power Consumption	5 W/ft (meets ASHRAE standards for linear lighting on building facades - not available for 12 in fixture lengths), 8.5 W/ft (RO version), 15.25 W/ft (HO version), Typically 20% higher for 12 in fixture lengths.
Warranty	5-year limited warranty
Performance	
Illuminance at Distance	Minimum 1 fc at 133 ft (HO 4000K, 48 in fixture, 10° x 60°, DMX/RDM)
Color Consistency	2 SDCM, 3 SDCM (2200K)

lumenpulse™

1220 Marie-Victorin Blvd., Longueuil, QC J4G 2H9 CA
info@lumenpulse.com www.lumenpulse.com

United States 617.307.5700 | Canada 1.877.937.3003 | 514.937.3003
www.lumenpulse.com/products/2097

F 514.937.6289

LMFG Inc. reserves the right to make changes to this product at any time without prior notice and such modification shall be effective immediately.
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SA - R72

1 / 14

Proposed Front Alcove Lighting

MP LIGHTING

L131

EXTERIOR | INTERIOR

Surface Mount Downlight | For ceilings, counters & cabinets

● Dry location



Performance

Wattage	Forward Current	Power Consumption Budget per fixture (including driver)	LED output (Source)	Fixture Output (Delivered)
7W (3x2.5W)	700mA	9W	770lm	240~266lm

Application

Environment	Wet, Damp, Dry Location approved. IP 54.
Mounting	Mounts with built-in surface-mount box (optional) or mounts to a 4" octagonal box (supplied by others)

Electrical

Electrical	Integral LED drivers (120V AC input, non-dimmable, constant current output). Consult factory for remote driver options.
Control	On/off control Other options (consult factory): TRIAC/MLV, DMX, DALI, Casambi, Power over Ethernet

Luminaire Construction

LED Light Source	W22S = CCT: 2200K, CRI (Ra): 80+, Colour Consistency: 3SDCM W27H = CCT: 2700K, CRI (Ra): 90+, Colour Consistency: 2SDCM W30H = CCT: 3000K, CRI (Ra): 90+, Colour Consistency: 2SDCM W35H = CCT: 3500K, CRI (Ra): 90+, Colour Consistency: 2SDCM W41H = CCT: 4100K, CRI (Ra): 90+, Colour Consistency: 3SDCM
Weight	0.84lbs (0.38kg)
Material	Fixture: machined marine-grade aluminum
Supplied with	Standard installation housing: Comes with an adapter plate, two #8-32 screws, and wire nuts.
Warranty & LED Life	5 years limited warranty Estimated useful life of LED is 50,000 hours.

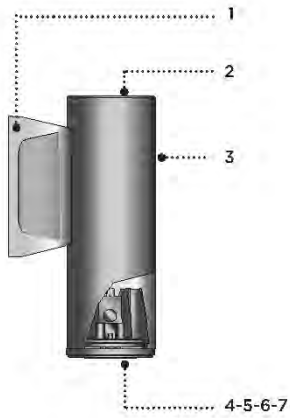


SY300 SERIES
SYRIOS - LED
3" WALL UP OR DOWN LIGHT

TYPE: _____ QUANTITY: _____ PROJECT: _____

CATALOG NUMBER:

FIXTURE SUFFIX REFLECTOR VOLTAGE FINISH OPTION OPTION OPTION



- 1- Cast aluminum driver housing, includes galvanized steel wall mount pressure plate.
- 2- Cast aluminum top cover.
- 3- Extruded aluminum cylindrical housing.
- 4- Fully sealed cast aluminum light assembly.
- 5- Sealed cast aluminum lens frame.
- 6- Clear tempered glass lens.
- 7- Faceted specular aluminum reflector.

All stainless steel hardware.

SY300



ADA Compliant

MATERIALS

Syrios LED is made of corrosion resistant 356 aluminum alloy with a copper (CU) content of less than 0.1%.

The main housing is made of seamless extruded aluminum, with an integrally sealed LED light module designed for optimal heat dissipation, and lighting performance.

Syrios LED SY300 series is standard with 29° optic. See options section for alternate selection.

ELECTRICAL

DRIVER Standard driver is 0-10V dimming-ready (dims to 10%) with: 120-277 multi-volt compatibility (50-60Hz), operating temperature range of -30°C/-22°F to 55°C/131°F, output over voltage protection, output over current protection and output short circuit protection with auto-recovery.

LED Standard 4000K/80CRI. Optional 2700K, 3000K & 3500K. Optional Amber LED for turtle sensitive areas. Wavelengths: 584.5nm to 597nm.

LIFE

60,000hrs L₇₀B₅₀ (based on IESNA TM-21 Test Method and LM-80 data).
Up to 95,000hrs L₇₀B₅₀ (calculated projection from LM-80 data).

FINISH

Five-stage preparation process including preheating of cast aluminum parts for air extraction, and an environmentally friendly alloy sealant. Polyester powder coating is applied through an electrostatic process and oven cured for long term finish.

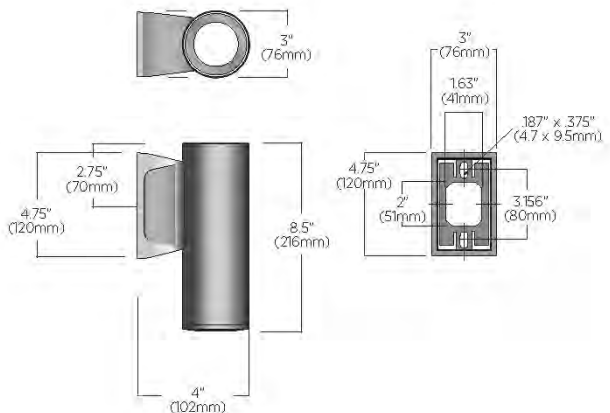
MOUNTING

Maximum weight: 2.5 lbs (1.1 kg)

The mounting plate is designed to fit on a 2X4" (51x102mm) rectangular electrical box using 3.156" (80mm) C/C mounting holes. Optional trimming plate for octagonal jbox (option MT4).

CERTIFICATION

Tested to UL1598 and CSA 22.2 #250. ETL listed wet location. Rated IP66.



Oct 2021 Rev 2

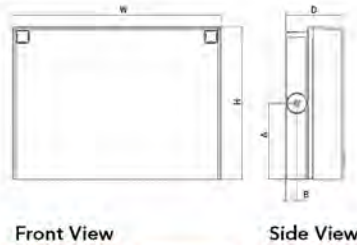


WPX LED Wall Packs



Category Number
Notes
Type

Specifications



Luminaire	Height (H)	Width (W)	Depth (D)	Side Conduit Location		Weight
				A	B	
WPX1	8.1" (20.6 cm)	11.1" (28.3 cm)	3.2" (8.1 cm)	4.0" (10.3 cm)	0.6" (1.6 cm)	6.1 lbs (2.8kg)
WPX2	9.1" (23.1 cm)	12.3" (31.1 cm)	4.1" (10.5 cm)	4.5" (11.5 cm)	0.7" (1.7 cm)	8.2 lbs (3.7kg)
WPX3	9.5" (24.1 cm)	13.0" (33.0 cm)	5.5" (13.7 cm)	4.7" (12.0 cm)	0.7" (1.7 cm)	11.0 lbs (5.0kg)

Introduction

The WPX LED wall packs are energy-efficient, cost-effective, and aesthetically appealing solutions for both HID wall pack replacement and new construction opportunities. Available in three sizes, the WPX family delivers 1,550 to 9,200 lumens with a wide, uniform distribution.

The WPX full cut-off solutions fully cover the footprint of the HID glass wall packs that they replace, providing a neat installation and an upgraded appearance. Reliable IP66 construction and excellent LED lumen maintenance ensure a long service life. Photocell and emergency egress battery options make WPX ideal for every wall mounted lighting application.

Ordering Information

EXAMPLE: WPX2 LED 40K MVOLT DDBXD

Series	Color Temperature	Voltage	Options	Finish
WPX1 LED P1	30K 3000K	MVOLT 120V-277V	(blank) None	DDBXD Dark bronze
WPX1 LED P2	40K 4000K	347 347V ¹	E4WH Emergency battery backup, CECC compliant (4W, 0°C min) ²	DWHXD White
WPX2 LED	50K 5000K		E14WC Emergency battery backup, CECC compliant (14W, -20°C min) ²	DBLXD Black
WPX3 LED			PE Photocell ³	Note: For other options, consult factory.

Note: The lumen output and input power shown in the ordering tree are average representations of all configuration options. Specific values are available on request.

NOTES

- All WPX wall packs come with 6kV surge protection standard, except WPX1 LED P1 package which comes with 2.5kV surge protection standard. Add SPD6KV option to get WPX1 LED P1 with 6kV surge protection. Sample nomenclature: WPX1 LED P1 40K MVOLT SPD6KV DDBXD
- Battery pack options only available on WPX1 and WPX2.
- Battery pack options not available with 347V and PE options.

FEATURES & SPECIFICATIONS

INTENDED USE

The WPX LED wall packs are designed to provide a cost-effective, energy-efficient solution for the one-for-one replacement of existing HID wall packs. The WPX1, WPX2 and WPX3 are ideal for replacing up to 150W, 250W, and 400W HID luminaires respectively. WPX luminaires deliver a uniform, wide distribution. WPX is rated for -40°C to 40°C.

CONSTRUCTION

WPX feature a die-cast aluminum main body with optimal thermal management that both enhances LED efficacy and extends component life. The luminaires are IP66 rated, and sealed against moisture or environmental contaminants.

ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs and LED lumen maintenance of 1,50/100,000 hours. Color temperature (CCT) options of 3000K, 4000K and 5000K with minimum CRI of 70. Electronic drivers ensure system power factor >90% and THD <20%. All luminaires have 6kV surge protection (Note: WPX1 LED P1 package comes with a standard surge protection rating of 2.5kV. It can be ordered with an optional 6kV surge protection). All photocell (PE) operate on MVOLT (120V - 277V) input.

Note: The standard WPX LED wall pack luminaires come with field-adjustable drive current feature. This feature allows tuning the output current of the LED drivers to adjust the lumen output (to dim the luminaire).

INSTALLATION

WPX can be mounted directly over a standard electrical junction box. Three 1/2 inch conduit ports on three sides allow for surface conduit wiring. A port on the back surface allows poke-through conduit wiring on surfaces that don't have an electrical junction box. Wiring can be made in the integral wiring compartment in all cases. WPX is only recommended for installations with LEDs facing downwards.

LISTINGS

CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations. IP66 Rated. DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.dlc.com to confirm which versions are qualified. International Dark Sky Association (IDA) Fixture Seal of Approval (PSA) is available for all products on this page utilizing 3000K color temperature only.

WARRANTY

5-year limited warranty. Complete warranty terms located at: [http://www.lithonia.com](#)

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.



Pinnacle Sliding Patio Door

Features and Benefits

- Wood parting stops and absence of screws provide a warm, clean look
- Integral nail fin on clad doors
- Heavy-duty interlock improves air and structural performance
- Standard two-point lock for added security
- One-piece, fiberglass pultruded sill minimizes cold conduction
- Aluminum jamb covers at the head and strike jambs hide exposed screws and provide a smoother, more attractive surface
- Doors slide on two tandem, heavy-duty, end-adjustable, ball bearing rollers for years of smooth, trouble-free operation
- Improved breakaway force of panel (10 lbs) and operating force (6 lbs) provide effortless operation
- Taller sill provides excellent water performance and design pressure ratings
- Foam-backed glazing bead prevents paint and stain from bleeding
- All stiles constructed of an LVL core for a stronger, straighter, more durable door
- Panel exterior matches Pinnacle product line with consistent depth from glass to face of the panel for a clean, complementary appearance
- Panels available in traditional French or contemporary narrow stile

Sizes

- Five standard heights: 6'8", 6'10", 8'0", 9'0" and 10'0" (9'0" and 10'0" doors available in clad French slider only)
- Custom sizes available

Glazing

- Windsor Glazing System provides 3/4" double pane insulated glass; Cardinal® LoE 366 glass standard; tinted, tempered, obscure and laminated glass available
- Interior stop glazed with silicone sealant
- Custom and special glass types available

Exterior Trim

- Clad doors available with WM 180 brickmould, Williamsburg or 3-1/2" flat casing; primed doors available with WM 180 brickmould, WM 180 brickmould with flange, Williamsburg, 3-1/2" flat, 4-1/2" backband, 5-1/2" flat or plantation casing
- All prime door trims are cellular PVC

Grilles

Windsor Divided Lite (WDL) = simulated divided lite

- 7/8" and 1-1/4" Perimeter Grille (*NOT available on radius doors*)
- 7/8" and 1-1/4" Stick Grille (*Radius swing doors only*)
- 3-4" and 1" Profiled Inner Grille
- 13/16" Flat Inner Grille
- 7/8" and 1-1/4" Ogee WDL
- 5/8", 7/8", 1-1/4" and 2" Short Putty WDL
- 5/8", 7/8", 1-1/4" and 2" Short Contemporary WDL
- 3-3/8" Simulated Mid Rail
- Standard and custom grille patterns available

Finishes

- Interior – Available in Clear Select Pine, Douglas Fir or Natural Alder
 - Primed: white or black
 - Painted: white, black or gray
 - Stained: 9 color options
- Exterior – Clad doors available in heavy-duty extruded aluminum cladding; primed doors offer an assortment of traditional cellular PVC trim options

Weatherstripping

- Flexible, weatherable PVC and foam seal at the head and jambs with a pile fin-seal weatherstripping at the interlocks; pile weatherstripping also used at the bottom of the operating panel and at the ends of the interlock

Clad Colors

All clad colors painted in-house with the highly durable AAMA 2604 standard finish, or upgrade to AAMA 2605 for the most challenging of environments

- 23 Standard Clad Colors available in 2604 and 2605 finish
- 20 Feature Clad Colors available in 2604 and 2605 finish (Custom color matching is also available)
- 7 Matte Clad Colors available in the 2604 finish only

Hardware

- Contemporary or Euro handle available in white, brushed chrome, polished chrome, satin nickel, antique nickel, brass*, antique brass*, faux bronze, oil rubbed bronze and black
- Flush mount handle available in satin nickel, faux bronze, black matte and oil rubbed bronze

Performance Ratings

For current performance ratings, visit our website at windsorwindows.com and click on "Professional Information" in the menu bar





Pinnacle Double Hung & Glide-by

Features and Benefits

- The warmth and beauty of Clear Select Pine, Douglas Fir or Natural Alder; can be painted or stained
- Clad units offer a strong, durable extruded aluminum sash and frame for low maintenance; primed units offer the traditional appearance of decorative cellular PVC trim
- Glass is replaceable in case of damage
- Both tape and silicone glazed, with interior wood stops for superior strength and seal
- EZ Tilt operation available for easy removal and replacement of sash (double hung only)



- Both sashes tilt in with compression or concealed jambliner for easy cleaning
- Recessed lock and keeper for a sleek appearance



- Block and tackle balance system for ease of operation
- Prime double hung units come standard with cellular PVC trim, blind stop and sill
- No-finger pull option for hardware application

Sizes

Available in hundreds of standard and custom sizes

Glazing

- Windsor Glazing System provides 3/4" double pane insulated glass; Cardinal® LoE 366 glass standard; tinted, tempered, obscure and laminated glass available
- Glazed with tape and silicone sealant
- Custom and special glass types available
- Preserve protective film optional

Exterior Trim

- Clad windows available with WM 180 brickmould, Williamsburg, or 3-1/2" flat casing; 3/8", 1-1/4", 2-1/4" subsills
- Primed windows available with WM 180 brickmould, WM 180 brickmould with flange, Williamsburg, 3-1/2" flat, 4-1/2" backband, 5-1/2" flat or plantation casing; double hung sill nose, 2" bull nose sill nose or belly sill nose
- All prime window trims, sill nose and outside stops are cellular PVC

Grilles

Windsor Divided Lite (WDL) = simulated divided lite

- 7/8" and 1-1/4" Perimeter Grille (*NOT available on radius double hung*)
- 7/8" and 1-1/4" Stick Grille
- 3/4" and 1" Profiled Inner Grille
- 13/16" Flat Inner Grille
- 7/8" and 1-1/4" Ogee WDL
- 5/8", 7/8", 1-1/4" and 2" Short Putty WDL
- 5/8", 7/8", 1-1/4" and 2" Short Contemporary WDL
- 2" Simulated Check Rail (*DH picture only*)
- Standard and custom grille patterns available

Finishes

- Interior – Available in Clear Select Pine, Douglas Fir or Natural Alder
 - Primed: white or black
 - Painted: white, black or gray
 - Stained: 9 color options
- Exterior – Clad windows feature heavy-duty extruded aluminum cladding on sash and frame; primed windows (*double hung only*) offer an assortment of traditional cellular PVC trim options

Clad Colors

All clad colors painted in-house with the highly durable AAMA 2604 standard finish, or upgrade to AAMA 2605 for the most challenging of environments

- 23 Standard Clad Colors available in 2604 and 2605 finish
- 20 Feature Clad Colors available in 2604 and 2605 finish (Custom color matching is also available)
- 7 Matte Clad Colors available in the 2604 finish only

Hardware

Double hung lock available in champagne, white, bronze and black; optional finishes in faux bronze, oil rubbed bronze, satin nickel and bright brass

Performance Ratings

For current performance ratings, visit our website at windsorwindows.com and click on "Professional Information" in the menu bar



ROOF REPLACEMENT EVALUATIONS

92 E. FOREST
DETROIT, MI 48201

The following includes the replacement evaluations, letter from roofing contractor, letter from the owner, and cut sheet of the new roof shingle.

Roof Replacement Application

Pages 43-47

Letter from the Owner

Page 48

Proposed Roof Cut Sheet and Photo (Shingle Shown is an Or Equal)

Pages 49-50



City of Detroit
Historic District Commission

APPLICATION FOR REPLACEMENT OF HISTORIC ROOFING

Instructions: Please complete this application and return with your written estimates, documentation, and completed City of Detroit Application for Building Permit No. 2 to Detroit Historic District Commission, 2 Woodward Ave, Suite 808, Detroit, Michigan 48226. **Please note that your application will not be processed until all the required information has been received.**

Property Location: 92 Forest
(Number) (Street)

Property Owner: Ranchek Forest LLC

Owner Address: 28715 Greenfield, Southfield MI 48076
(Street) (City) (State) (Zip)

Telephone: _____
(Home) 248 440 5996 (Business) 248 440 5991 (Fax)

Applicant: Refer to Application pages 4-6

Applicant Address: _____
(Street) (City) (State) (Zip)

Telephone: _____
(Home) (Business) (Fax)

Signature of Applicant: _____
(Date)

Application Deadline: Historic District Commission meets on the second Wednesday of each month. Application material must be **completed and submitted three (3) Mondays before each Commission meeting.**

Please use the enclosed criteria checklist as a guide to completing your application. Incomplete applications cannot be reviewed and will be returned to you for more information. If you have any questions or concerns, you may contact a Commission staff member at (313) 224-8907 or (313) 224-6543.

HDC Staff Use Only			
Date Received	App. #	Date Action Taken	Action

Submittal Criteria Checklist

- A completed City of Detroit Application for Building Permit #2;
- A brochure or other information giving the color, materials, and dimensions of the proposed replacement roofing;
- Copies of two (2) written estimates from different companies for repair of the existing roofing material;
- Copies of two (2) written estimates from different companies for replacement of the roof with material to match the original;
- Copies of two (2) written estimates from different companies for replacement of the roof with an alternative (synthetic) material;
- Copies of two (2) written estimates for the cost to replace the roof with asphalt shingles;
- Detailed photographs showing deterioration of the original roofing (if you cannot provide photos, Commission staff can take the photos by appointment at your request); and
- A letter from the owner or occupant stating why the siding must be replaced.

Copies of actual written estimates are REQUIRED

Repair Estimate #1 \$ Not repairable Company Name Esko Roofing
 Repair Estimate #2 \$ Not Repairable Company Name Rubber Baby Roofing
 Replacement to Match #1 \$ 370,000 Company Name Esko
 Replacement to Match #2 \$ 300,000 Company Name Rubber Baby
 Alternate Material Replace #1 \$ 250,000 Company Name Esko
 Alternate Material Replace #2 \$ 190,000 Company Name Rubber Baby
 Asphalt Shingles #1 \$ 130,000 Company Name Esko
 Asphalt Shingles #2 \$ 98,000 Company Name Rubber Baby
 Preferred Action: Cost \$ 98,000

Company Name Rubber Baby - dimensional shingles

Roof Evaluation

Esko Roofing & Sheet Metal, Inc.
14000 Simone
Shelby Twp, Michigan. 48315
Office: 586-532-1950
Fax: 586-532-1973



The Monahan Company
21321 Kelly Road
Eastpointe, MI 48021

Att: Mr. Kevin Monahan

Re: Church in Redesign
92 Forest
Detroit, MI 48124

Dear Mr. Monahan,

The purpose of this correspondence is to provide a brief roof evaluation of the property listed above.

For purposes of clarification, this building has a sloped slate roof system. During our visit from a visual perspective, we determined that the roof is in poor condition and at the end of its serviceability. We identified that the roof cannot be salvaged...

I hope this information is helpful. Please advise if you would like a detailed proposal. Should you have further questions, please do not hesitate to let me know.

Sincerely,

Steve Eskelinen

Steve Eskelinen

PROPOSAL

ESKO ROOFING & SHEET METAL, INC.

14000 SIMONE

SHELBY TWP, MI. 48315

Phone: (586) 532-1950 Fax: (586) 532-1973

Proposal: #5290

Date: 01/19/2022

Sheet no.

Proposal Submitted To: Kevin Monahan

Work to be performed at:

Name: Name: The Monahan Company
Street: 21321 Kelly Road
City: Eastpointe, MI 48021
Phone: 586-774-3800 Fax: 586-774-2530

Job Name: Building
Street: 92 Forest
City: Detroit, MI 48124
E-Mail: Kevin Monahan <kevin@themonahanco.com>

Base Bid: Budgetary quote for the following:

Remove existing asphalt and slate shingles and replace with the following:

Asphalt shingles	\$130,000.00
Synthetic Shingles	\$250,000.00
Slate Shingles	\$340,000.00

Any alteration or deviation from above specifications involving extra costs, will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado, and other necessary insurance upon above work. Workmen's Compensation and Public Liability Insurance on above work to be taken out by:

ESKO ROOFING & SHEET METAL, INC.

Respectfully submitted: Steve Eskelinen

Steve Eskelinen

Note: This proposal may be withdrawn by us if not Accepted within 30 days.

ACCEPTANCE OF PROPOSAL

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as Specified. Payment will be made as outlined above.

Date:

Signature

32677 Utica Road • Fraser, MI 48026 • (586) 293-6926 • FAX (586) 293-7663/ROOF



BID PROPOSAL

JOB: 92 E. Forest - Renovation

DATE: January 25, 2022

The Monahan Co.

21321 Kelly Rd.

Eastpointe, MI 48021

We at Rubber Baby Roofing, Inc. submit the following Bid Proposal; for your review and or acceptance.

Project: Renovations - 92 E. Forest Ave. Detroit, MI 48201

System: Shingle Roofing Systems - Complete Tear-off of all old Roofing.

Includes - ice shield, underlayment, drip edge, ridge-vent, all flashings.
clean & haul all debris. / some wood replacement.

Options: 1.) Asphalt Shingles ----- \$98,000.00

2.) Synthetic Slate Shingles ----- \$190,000.00

3.) Slate Shingles ----- \$300,000.00

Extras: Gutters & Downspouts / Aluminum Trim

******* Add-on Cost for Flat Roof Sections - New EPDM Rubber Roofing -- \$35,000.00.

Total Cost of Project: _____

Cost Breakdown: _____

Rubber Baby Roofing to furnish all labor, materials, insurances, supervision, expertise and installation of the system in a professional and timely manner. Timely manner contingent not only upon weather; but also the general contractor meeting all requirements for Rubber Baby Roofing to install the system correctly. Coordinating with Rubber Baby Roofing the other trades with the job so as to not want demand and expect Rubber Baby Roofing to waste it's time if areas of roof are not ready for installation. Payment to be made within the terms of the contract R. B. R. signs, but when terms are not held to by the general contractor/Owner a 1% per month charge after 60 days past due billing and draws will be imposed.

All changes to be in writing and no work will ever start until both parties have authorized signatures and both parties are in possession of the change order and acceptance, by all concerned.

Rubber Baby Roofing, Inc., respectfully submits the above proposal if any of the options or extras are desired they should be included as part of the original contract. Though they may be requested at a later time.

Please call or FAX our office at the numbers above.

Acceptance:

Rubber Baby Roofing, Inc.

Date: _____

Contractor/Owner: _____

Date: _____

Letter from the Owner

City Of Detroit Historic District Commission
2 Woodward Ave #808, Detroit, MI 48226

February 1, 2022

Re: 92 Forest

To Whom It May Concern:

Good day. I have been advised by two reputable roofing contractors as well as my General Contractor, that 100% of the roof at 92 Forest is beyond salvaging or repair.

Please feel free to reach out to me with any questions or concerns.

Sincerely,



Neal Check

RainCheck Forest LLC (DBA 92 Forest)

28715 Greenfield Rd

Southfield, MI 48076

248-866-7900

PRODUCT INFORMATION SHEET

Slateline® Shingles

The Look of Slate... At A Fraction Of The Cost



PRODUCT INFORMATION

"Slateline's bold shadow lines and tapered cut-outs create the appearance of depth and dimension."

Slateline® Value Collection Lifetime Designer Shingles Offer You These Great Benefits:

- **Affordable Luxury** . . . Slateline® Shingles are only a fraction of the cost of traditional slate or wood shakes
- **Sophisticated Design** . . . Artisan-crafted shapes combined with oversized tabs and a dimensional design result in a sophisticated beauty unmatched by typical shingles
- **Custom Color Palette** . . . Specially formulated color palette is designed to accentuate the shingle's natural appeal
- **High Performance** . . . Designed with Advanced Protection® Shingle Technology, which reduces the use of natural resources while providing excellent protection for your home (visit gaf.com/aps to learn more)
- **StainGuard® Protection** . . . Helps ensure the beauty of your roof against unsightly blue-green algae¹
- **Highest Fire Rating** . . . Class A fire rating from Underwriters Laboratories
- **Stays In Place** . . . Dura Grip™ Adhesive seals each shingle tightly and reduces the risk of shingle blow-off. Shingles warranted to withstand winds up to 130 mph (209 km/h)!²
- **The Ultimate Peace Of Mind** . . . Lifetime ltd. transferable warranty with Smart Choice® Protection (non-prorated material and installation labor coverage) for the first ten years³
- **Perfect Finishing Touch** . . . For the best look, use TimberTex® Premium Ridge Cap Shingles with StainGuard® protection⁴

¹See *GAF Shingle & Accessory Ltd. Warranty* for complete coverage and restrictions.

²This wind speed coverage requires special installation; see *GAF Shingle & Accessory Ltd. Warranty* for details.

³See *GAF Shingle & Accessory Ltd. Warranty* for complete coverage and restrictions. The word "Lifetime" refers to the length of coverage provided by the *GAF Shingle & Accessory Ltd. Warranty* and means as long as the original individual owner(s) of a single-family detached residence [or the second owner(s) in certain circumstances] owns the property where the shingles are installed. For owners/structures not meeting the above criteria, Lifetime coverage is not applicable.

⁴These products are not available in all areas. See www.gaf.com/ridgecapavailability for details.

COLORS/AVAILABILITY

- **COLORS:** Antique Slate, Emerald Green, English Gray, Royal Slate, and Weathered Slate
- **REGIONAL AVAILABILITY:** Northeast, Southeast, Southwest, and Central Areas

Proposed Roof Shingle (Or Equal)



EXTERIOR MATERIAL CLEANING AND REPAIR

92 E. FOREST
DETROIT, MI 48201

The following includes the HDC masonry cleaning guidelines and the parge coating evaluation letter. The final cleaning methods will be determined based on condition of the section of masonry as well as other environmental factors at the time of cleaning. All masonry repairs are to be executed to match current mortar type and strength.

HDC Masonry Cleaning Guidelines

Pages 52-58

Parging Conditions Letter

Page 59

Masonry Cleaning Guidelines

"The surface cleaning of structures shall be undertaken with the -gentlest means possible."1

The Historic District Commission generally approves of the inclusion of exterior masonry cleaning for the rehabilitation or restoration of an historic structure, provided that the cleaning technique used will not cause damage or permanent alteration to the historic structure. The natural weathering and discoloration of masonry materials, patina², is to be respected as the appearance achieved as a result of the original designers selection of exterior materials. The Commission discourages the use of any cleaning technique that would totally remove this natural patina from an original building material. The Commission does not discourage the removal of surface grime (airborne dirt and pollutants), or stains resulting from failure of drainage systems, graffiti, etc.

Definitions

-

- I. For the purposes of this policy, the term "masonry" is understood to include all brick, stone, stucco, terra cotta, ceramic tile and cement exterior finish materials.

- II. The term "cleaning technique" is meant to encompass all aspects of a masonry cleaning method including; type of cleaning agent, type of rinse, method and/or pressure of cleaning agent and rinse applications, and all other actions or precautions taken to insure the proper and safe utilization of a particular cleaning method.

- III. For the purposes of this policy, the term "abrasive cleaning" is meant to include all cleaning techniques that physically abrade the building surface to remove soils, discolorations, or coatings. Such techniques involve the use of certain materials which impact or abrade a masonry surface under pressure, or abrasive tools and equipment. The following materials are some examples of abrasive substances that are applied through a stream of high pressure water or air:

sand

ground slag or volcanic ash

crushed walnut or almond shells

rice husks

ground corncobs

ground coconut shells

crushed eggshells

silica flour

synthetic particles

glass beads

micro balloons baking soda

The use of water under high pressure can also be an abrasive material under certain circumstances.

The following are some examples of tools and equipment which are abrasive to masonry surfaces:

wire brushes

rotary wheels

power sanding disks

rotary or belt sanders

Masonry Cleaning

Purpose

-

The Historic District Commission sets forth this policy statement for the purpose of assisting property owners and building contractors in planning an appropriate rehabilitation of structures located within an historic district.

Building Permit Applications

-

The Historic District Commission shall review all building permit applications proposing the cleaning of a masonry surface as individual cases. No person should interpret any Commission approval of a cleaning technique for an individual structure as being precedent setting, thereby allowing the unrestricted use of that cleaning technique. Each building permit application for masonry cleaning shall be reviewed and decided on the basis of the cleaning technique proposed, and the type and condition of the exterior material to be cleaned.

In all cases where masonry cleaning is proposed, the following information is required as part of the application for a building permit:

A. The property owner shall submit an explanation as to the purpose for desiring to clean the masonry surface(s) of their building.

B. The property owner or building contractor shall submit a detailed written description of the cleaning technique to be used. This description is to include:

1. An exact description of the cleaning agent to be applied. If a chemical cleaner is proposed, then the proper nomenclature of the chemical must be specified (in addition to brand name). The pressure and/or method in which the cleaning agent will be applied must be specified.

2. If a rinse is called for, a description of the rinse, and the pressure and/or method in which the rinse will be applied, must be specified.

3. Pressure specifications are to be expressed in pounds per square inch (PSI) exerted at the nozzle of the instrument (wand).

Masonry Cleaning

C. An exact description and location of the exterior materials that are to be cleaned and photos of the existing condition are required. This description should include an analysis of the existing condition of the exterior materials to be cleaned (i.e. cracked, spalling, open joints, patched, etc.).

D. A test patch, located on a small area (maximum of 9 sq. feet in an inconspicuous spot, is required to be performed prior to processing of an application for masonry cleaning. This test patch is required regardless of the cleaning technique being proposed. Approval of a building permit application can only be obtained after this test area has been inspected by the Commission's staff, and the cleaning technique has been found to be non-detrimental to the structure.

In those cases where more than one type of material is to be cleaned, or where different textures exist on the same material, a test patch will be required for each of the materials and/or textured surfaces involved.

The Commission's staff shall review all submissions and shall only process an application once all of the above described information has been submitted and the staff has determined that the application sub-mission is complete.

Guidelines

-

Any proposal for masonry cleaning shall meet the following applicable conditions:

- A. Abrasive cleaning will not be permitted on exterior masonry surface.
- B. Chemical cleaning is permissible provided:
 1. That the cleaning contractor submit written guarantees stating that any damage that might be caused to adjacent glass, stone, brick, stucco, wood, paint, foundation plantings (landscaping) or other building or plant materials, shall be repaired in an appropriate manner as determined by the Historic District Commission. If the contractor gives financial remuneration to the property owner in lieu of making physical repairs, the property owner will then be responsible for making those repairs. A set time limit for completing these repairs may be given by the Commission.
 2. That the cleaning method proposed is not one that is known to cause damage to the type of material that is intended to be cleaned.

Masonry Cleaning

C. High pressure liquid cleaning will be permitted if it is shown (by means of a test patch) that the proposed amount of pressure will not cause abrasive damage to the materials it is to clean.

D. Any cleaning technique that involves the use of pressure applied water as a cleaning agent or rinse, shall not be scheduled for performance during periods of weather where freezing temperatures are prevalent. Scheduling of such work should allow at least two calendar weeks for the proper "drying out" of the cleaned masonry surfaces prior to the onset of freezing weather conditions.

Generally, wet cleaning should only take place between April 15 and November 1 of any given year.

E. Necessary masonry repairs (i.e. tuckpointing, stucco patching, crack repairs, etc.) are to be satisfactorily completed prior to cleaning the masonry surface. This measure will help safe-guard against possible damages that could be caused by the cleaning technique. A masonry surface must be in a state of good repair before cleaning is attempted.

F. In preparing to repaint masonry, stripping should only occur where the paint can be easily removed, without damaging the underlying masonry. In any other instance where paint stripping can not be performed without causing damage to the underlying masonry surface, repainting is the only appropriate solution.

Recommended Techniques

-

A. Abrasive cleaning will not be permitted for use on exterior masonry,

B. With the exception of certain detergents, chemical cleaning is not recommended for most stone and stucco surfaces. Some stone tends to be stained by chemical cleaners, while the fragile nature of stucco re-stricts the use of chemical cleaners to only those areas that are in good condition and not showing signs of deterioration. A water rinse is required whenever a chemical cleaner is to be used.

C. Stucco or stone surfaces are best cleaned by use of a mild detergent and a low pressure water rinse, or with the use of plain water applied at low pressure. This method can also be used on most masonry surfaces where harsher methods of masonry cleaning could cause damage to the masonry.

D. Where approved masonry cleaning techniques do not achieve the desired results on painted stucco, repainting is recommended.

E. High temperature water or steam cleaning can usually be used successfully on all masonry surfaces. Appropriate repairs should be made, where needed, on the masonry surface prior to employing this cleaning technique.

F. It is recommended that the required test patch be allowed to weather through a complete cycle of seasons (one year) in order to determine the long range effects of a cleaning technique.

F. Proper safety precautions should always be taken to protect equipment operators, surrounding building materials, surrounding landscape materials and the general public from the hazards inherent to the specific cleaning technique being used.

H. Paint stripping from masonry surfaces that were either painted originally, or early in the building's history, should not occur unless *removing damaged or deteriorated paint to the next sound layer* in preparation for repainting. Painting of masonry buildings was usually done to conform to the style influences of the period, or to assist in weather-proofing and protecting a poor quality masonry material. Either or both of these reasons is adequate cause to not permanently remove paint from the surface of a building.

I. A poultice can be used for spot stain removal. Made of a chemical specific for the type of stain or water and a binder such as fuller's earth or sawdust, a poultice is applied directly to the area. The stain is drawn into the poultice as it dries and pulls away from the wall.

Masonry Cleaning

For further Information:

The Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings, Standard #7

Preservation Briefs available from the National Park Service: #1 "The Cleaning and Waterproofing Coating of Masonry Buildings", #6 "Dangers of Abrasive Cleaning of Historic Buildings" and #38 "Removing Graffiti from Historic Masonry"

"Keeping it Clean" by Anne E. Grimmer, U.S. Department of the Interior. PRG Inc. Box 1768

Rockville, MD 20847-1767, (301)309-2222



SPECIALISTS IN RESTORATION OF STRUCTURES SINCE 1903

D. C. Byers Company

January 3, 2022

5715 Rivard Street
Detroit, MI 48211
(313) 875-0545
Fax (313) 875-6579

The Monahan Company
21321 Kelly Road
Eastpointe MI 48021
Mr. Kevin Monahan

Re: 92 Forest
Detroit MI

Dear Mr. Monahan,

Per your request, we have visited the above referenced site to review the exterior façade parging and to provide our opinion as to the integrity and repair procedures.

The parge coating appears to be a sand / cement mix with the possibility of added lime. A reinforcing heavy gauge mesh or WWF was used in conjunction with the parge coating for added strength at corners and possibly through-out the entire area. This is a common mix that has been used for many years as a protective coating and / or a specific designed appearance. If desired, a Petrographic Analysis (ASTM C856) can be performed to identify the exact mix design and proportion of the ingredients. This test will aid the mason contractor in the future when performing necessary repair of the parge coating.

Overall, the parge coating is still in relatively good condition with some exceptions. There are multiple locations where the coating is cracked and has broken bond with the existing structure. Other areas of concern are the number of cracks within the parging that can allow water within the system. This, combined with multiple freeze / thaw cycles will continue to deteriorate the parge coating and cause the need for additional repairs.

Please feel free to contact us if we can be of further assistance.

Respectfully,

Josh Bomia
Superintendent

An Equal Opportunity Employer

EXHIBIT A—DRAWING SET

92 E. FOREST
DETROIT, MI 48201

Refer to the following drawing set for additional information.

General Drawing Set

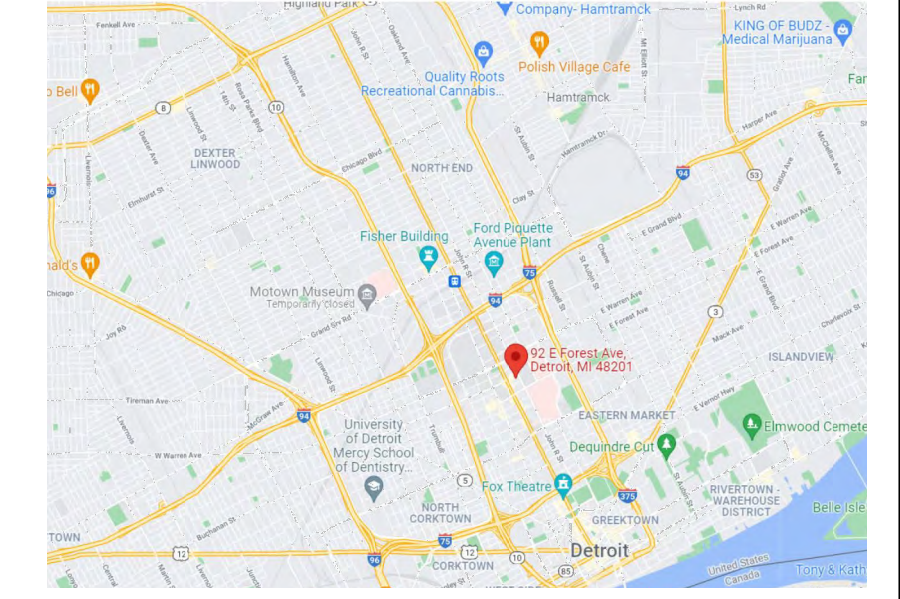
- Cover Sheet G.100

Civil Drawing Set

- Sugar Hill Apartments Plan of Existing Conditions 1
- Sugar Hill Apartments Grading and Sewer Plan 2
- Sugar Hill Apartments Sewer Profile and Details 3
- Sugar Hill Apartments Sewer Details 4

Architectural Drawing Set

- Demo Elevations D.200
- Demo Elevations D.201
- Demo Elevations D.202
- First Floor Plan A.100
- Second Floor Plan A.101
- Exterior Elevations A.200
- Exterior Elevations A.201
- Exterior Renderings A.300

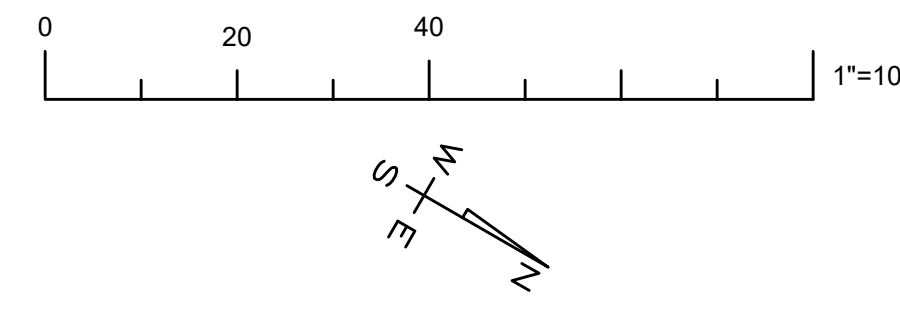
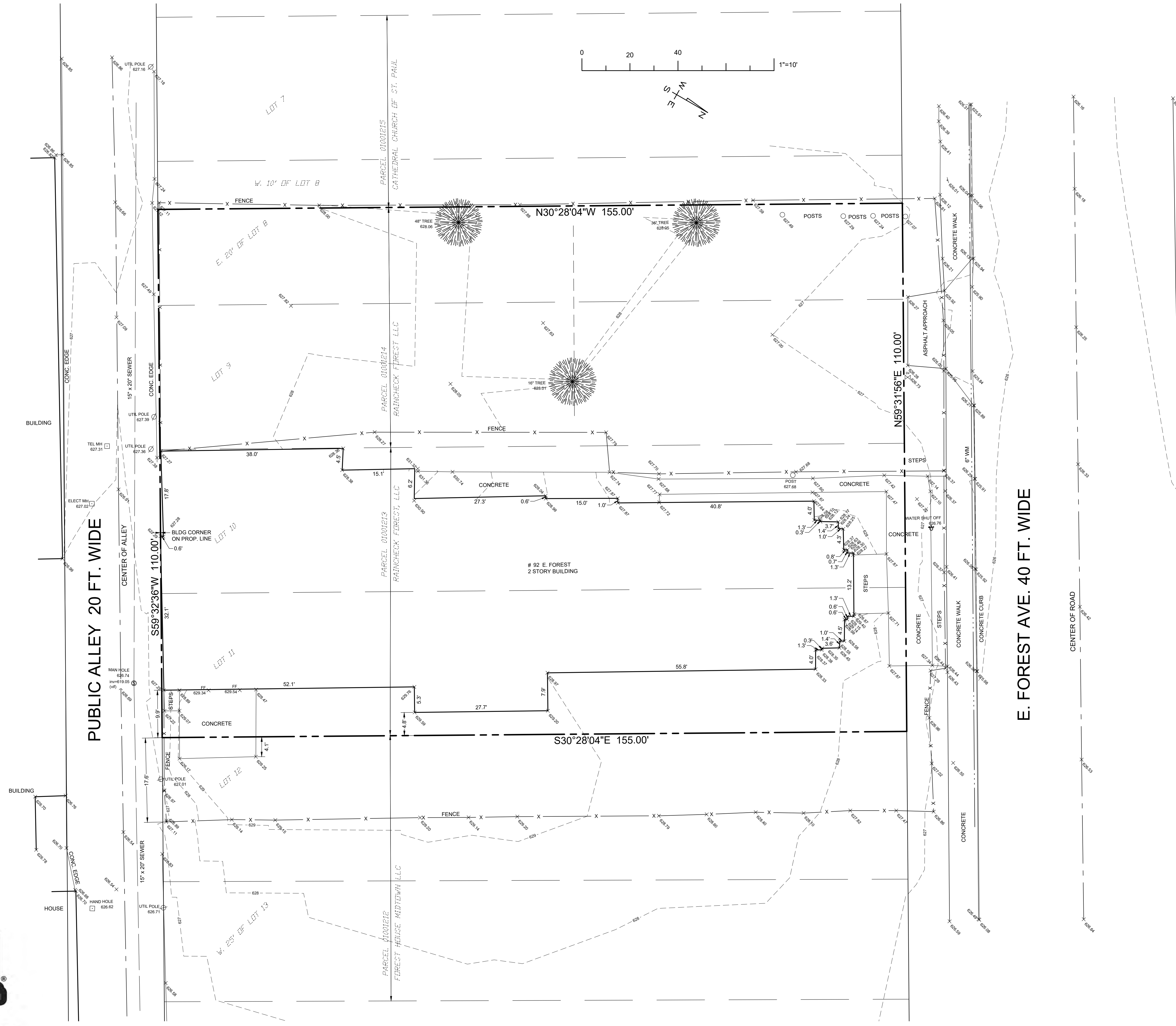


MASON BROWNS ASSOCIATES, LLC
 CIVIL ENGINEERS & SURVEYORS
 2708 BRIDLE ROAD
 BLOOMFIELD HILLS, MICHIGAN 48304
 (248) 225-9789 mason_brown@sbglobal.net

SUGAR HILL APARTMENTS
 PLAN OF EXISTING CONDITIONS

RAINCHECK FOREST, LLC
 28716 GREENFIELD RD.
 SOUTHFIELD, MI 48076 92 E. FOREST AVE.

DESIGN: --	REVISIONS:
DRAWN: mb	
CHECKED: MB	
FIELD CR: net	
SCALE:	
1"=10'	
DATE:	
11-30-2021	
JOB NO.	
21-054	
SHEET	
1	

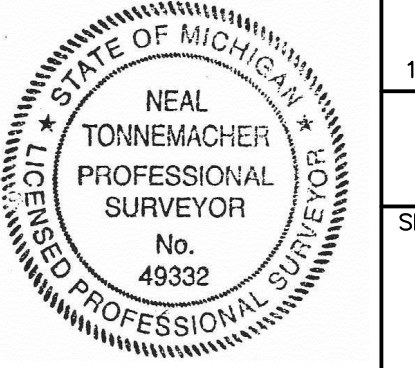


LEGAL DESCRIPTION (PER CITY ASSESSOR'S RECORDS)
 THE EAST 20 FEET OF LOT AND ALL OF LOTS 9, 10 & 11, "BROOK'S AND CARLISLE'S SUBDIVISION OF PARK LOTS 34 AND 35 AND PART OF LOT 33", AS RECORDED IN LIBER 1 OF PLATS, PAGE 245, WAYNE COUNTY RECORDS.

NOTE: NO TITLE COMMITMENT HAS BEEN RECEIVED, NO WARRANTY IS GIVEN AS TO OWNERSHIP OF LAND OR AS TO THE EXISTENCE OF ANY ENCUMBRANCES ON THE SITE.

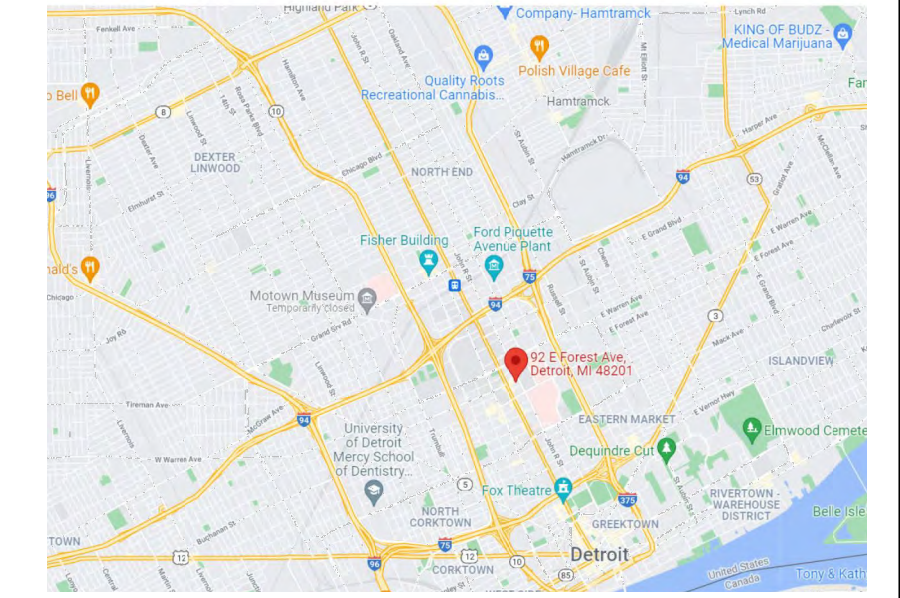
WE HEREBY CERTIFY THAT WE HAVE SURVEYED THE HEREON DESCRIBED SITE AND THAT ALL MEASUREMENTS AS SHOWN ON THE PLAN ARE CORRECT, AND THAT THERE ARE NO ENCROACHMENTS, UNLESS OTHERWISE SHOWN.

Neal Tonnmacher



2022-02-14 per client





MASON BROWNS ASSOCIATES, LLC
 CIVIL ENGINEERS & SURVEYORS
 2708 BRIDLE ROAD
 BLOOMFIELD HILLS, MICHIGAN 48304
 (248) 225-9789 mason_brown@mbaengineers.com

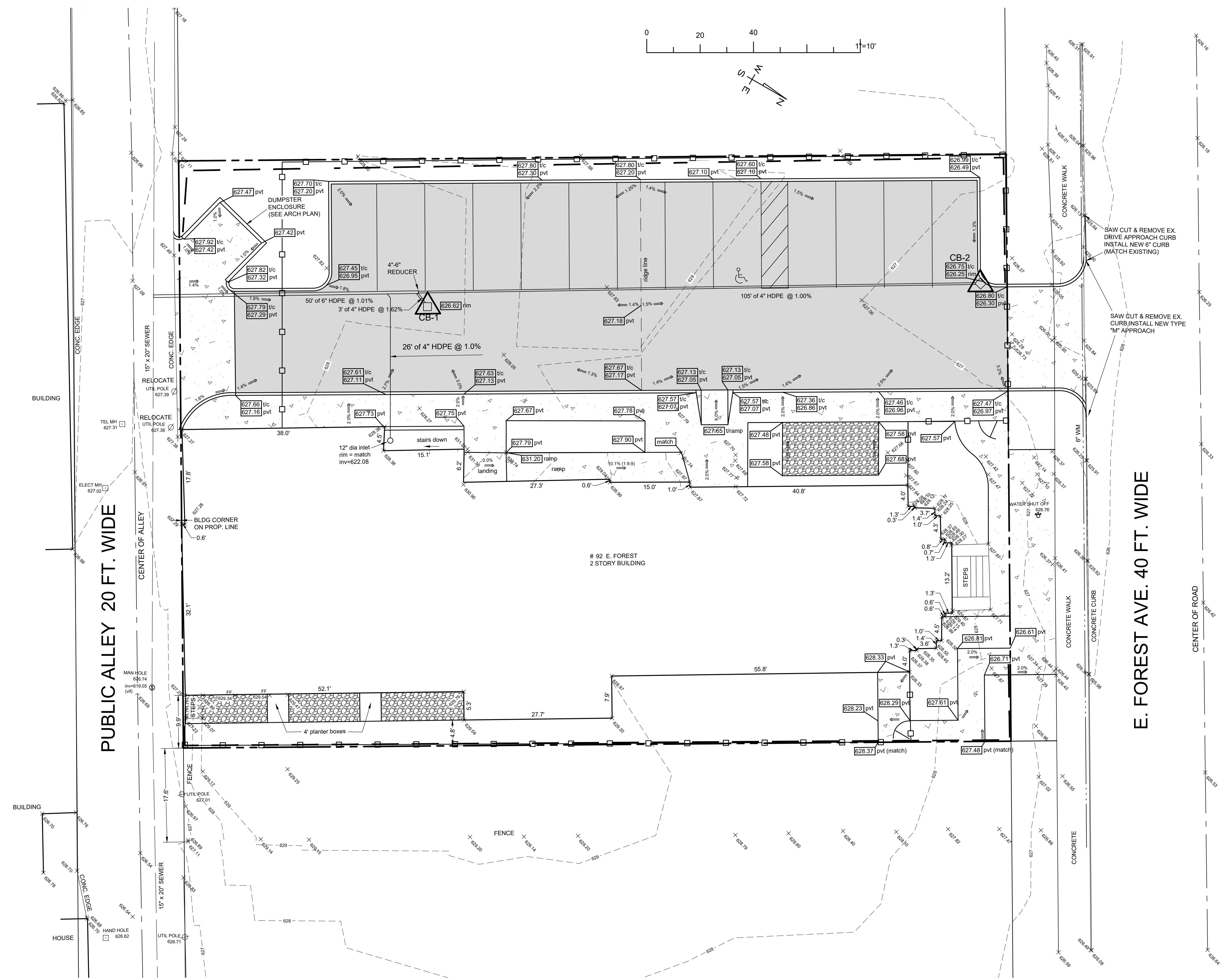
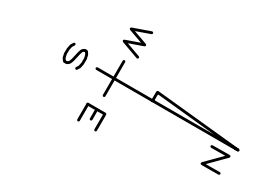
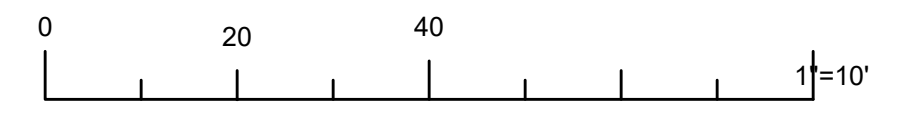
DETROIT, MI 48201

SUGAR HILL APARTMENTS
 GRADING AND SEWER PLAN

RAINCHECK FOREST, LLC
 SOUTHFIELD, MI 48076 92 E. FOREST AVE.
 28716 GREENFIELD RD.

DESIGN: --	REVISIONS:
DRAWN: mb	
CHECKED: mb	
FIELD CR: net	

SCALE:
 1"=10'
 DATE:
 01-07-2022
 JOB NO.
 21-054
 SHEET



SEWER DESIGN (DETROIT STANDARDS)

CB-2			
ROOF	0	X 100% =	0 SF
PAVEMENT	4,105	X 50% =	2,053 SF
LAWN	0	X 25% =	0 SF
SUBTOTAL			2,053 SF
ADD. SANIT.	0	X 100% =	0 SF
			SUBTOTAL
			2,053 SF
			TOTAL
			2,053 SF
USE: 4" @ 1.0%			
CB-1			
ROOF	0	X 100% =	0 SF
PAVEMENT	4,680	X 50% =	2,340 SF
LAWN	0	X 25% =	0 SF
SUBTOTAL			2,340 SF
ADD. SANIT.	0	X 100% =	0 SF
			SUBTOTAL
			2,340 SF
			TOTAL
			2,340 SF
USE: 4" @ 1.5%			
CB-1 TO TAP			
ROOF	0	X 100% =	0 SF
PAVEMENT	8,785	X 50% =	4,393 SF
LAWN	0	X 25% =	0 SF
SUBTOTAL			4,393 SF
ADD. SANIT.	0	X 100% =	0 SF
			SUBTOTAL
			4,393 SF
			TOTAL
			4,393 SF
USE: 6" @ 1.0%			

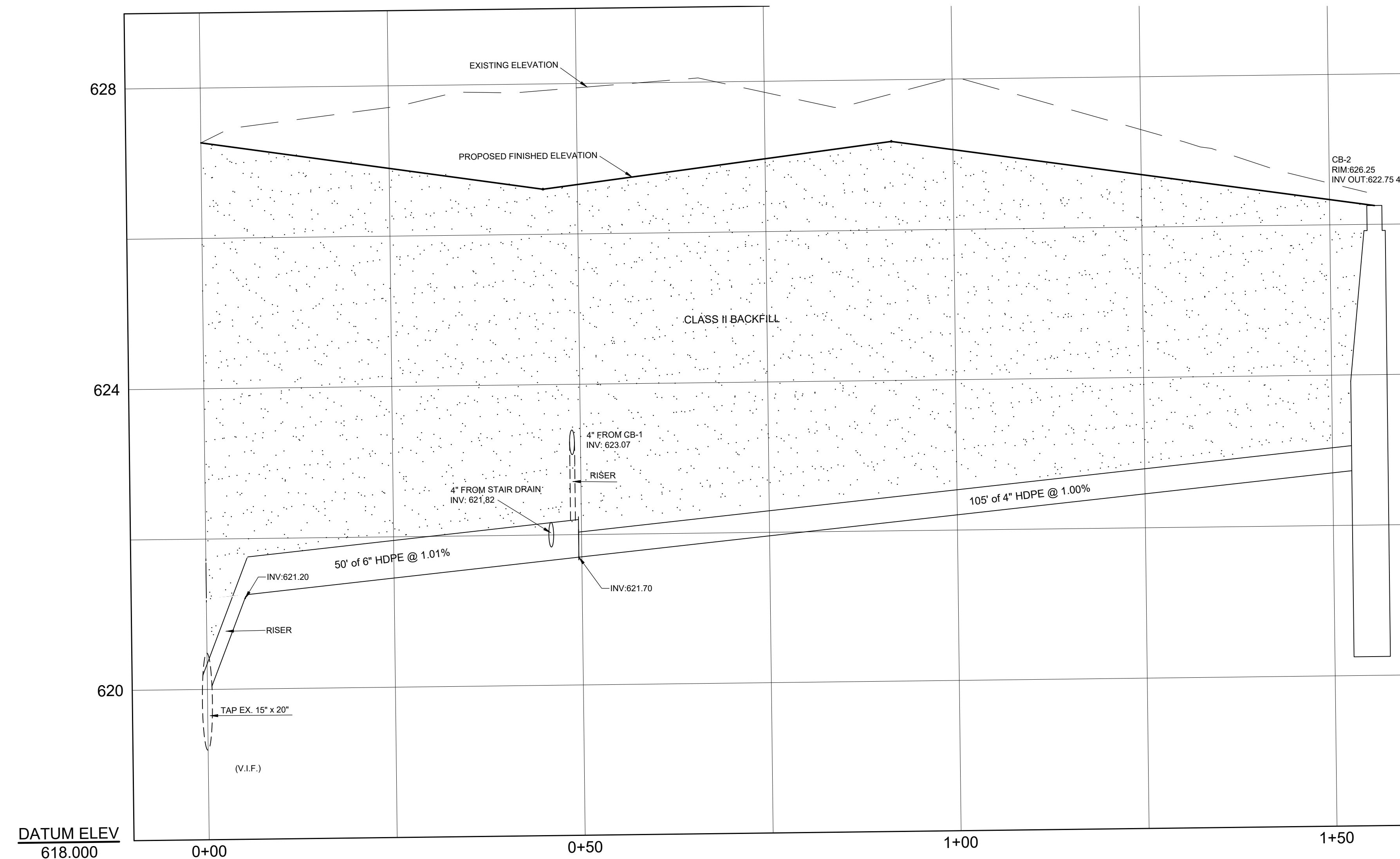
LEGEND

- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING ELEVATION CONTOUR
- PROPOSED ASPHALT SURFACE
- PROPOSED CONCRETE SURFACE
- EXPOSED AGGREG. CONC.
- SILT FENCE
- TEMP. INLET FILTER
- SECURITY FENCE - SEE ARCH PLANS FOR DETAILS



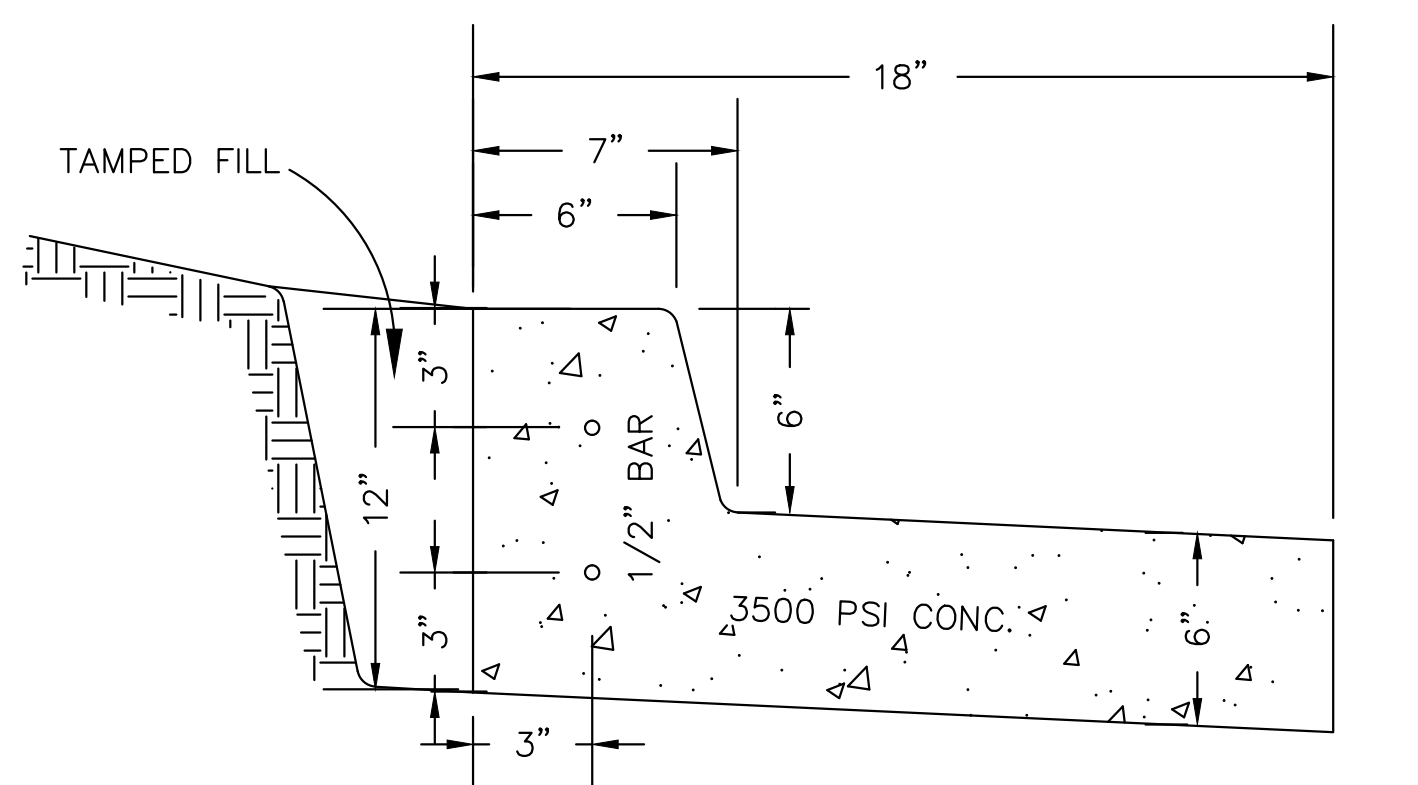
2022-02-14 per client



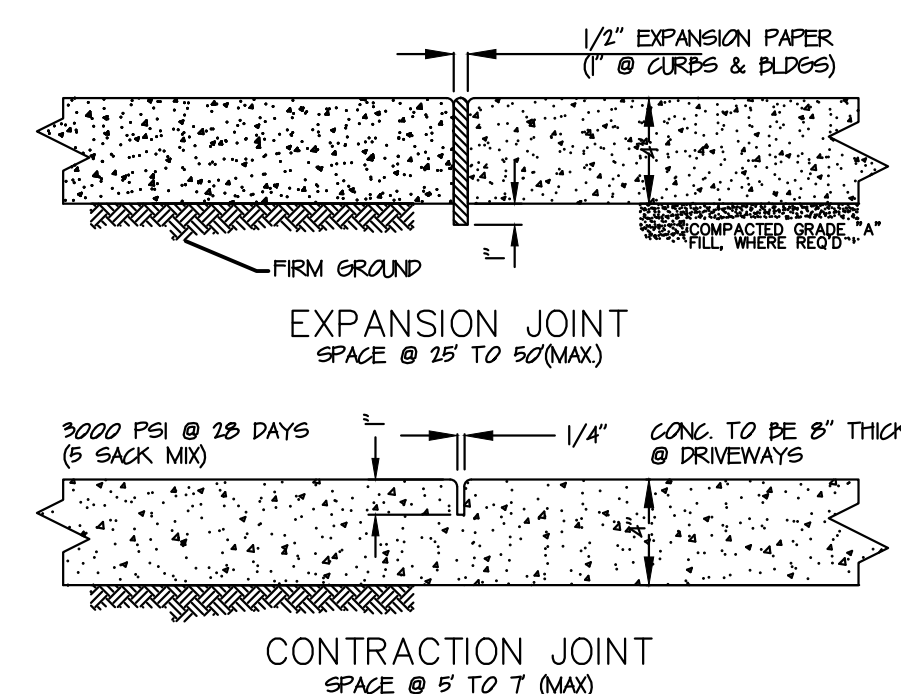


DATUM ELEV
618.000

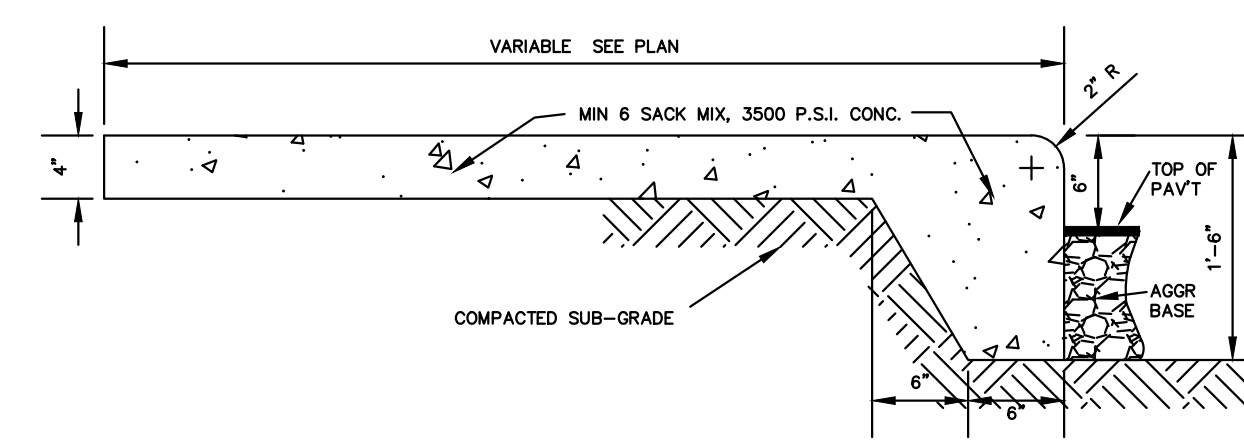
STORM SEWER PROFILE



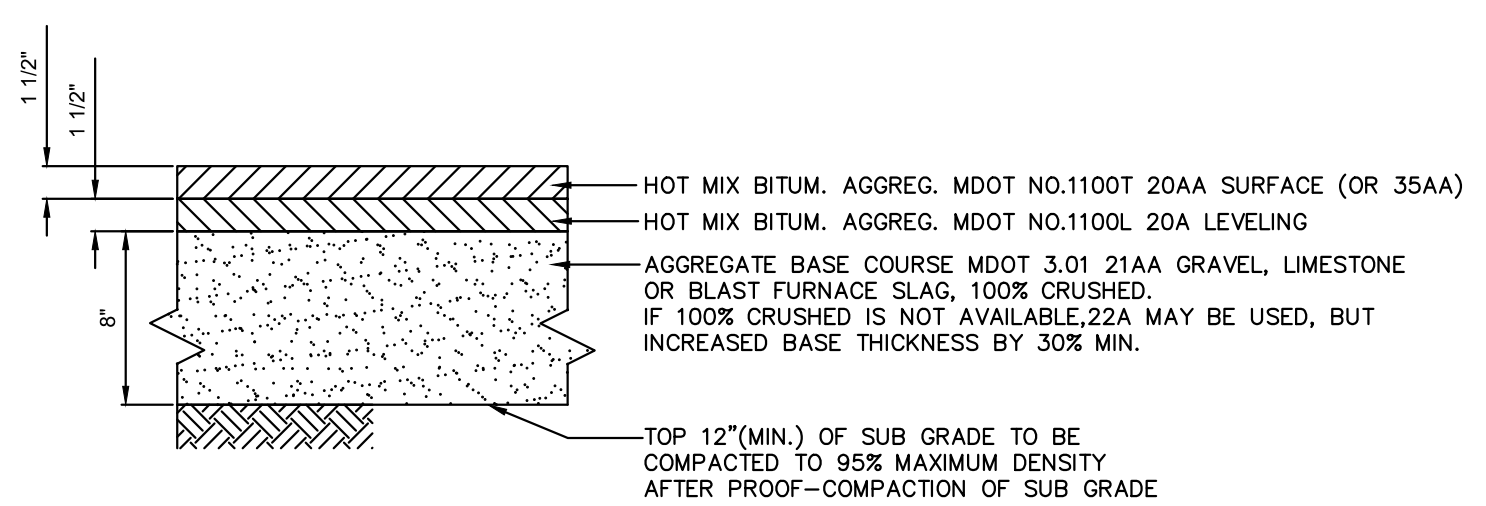
SPILL - OUT CURB & GUTTER



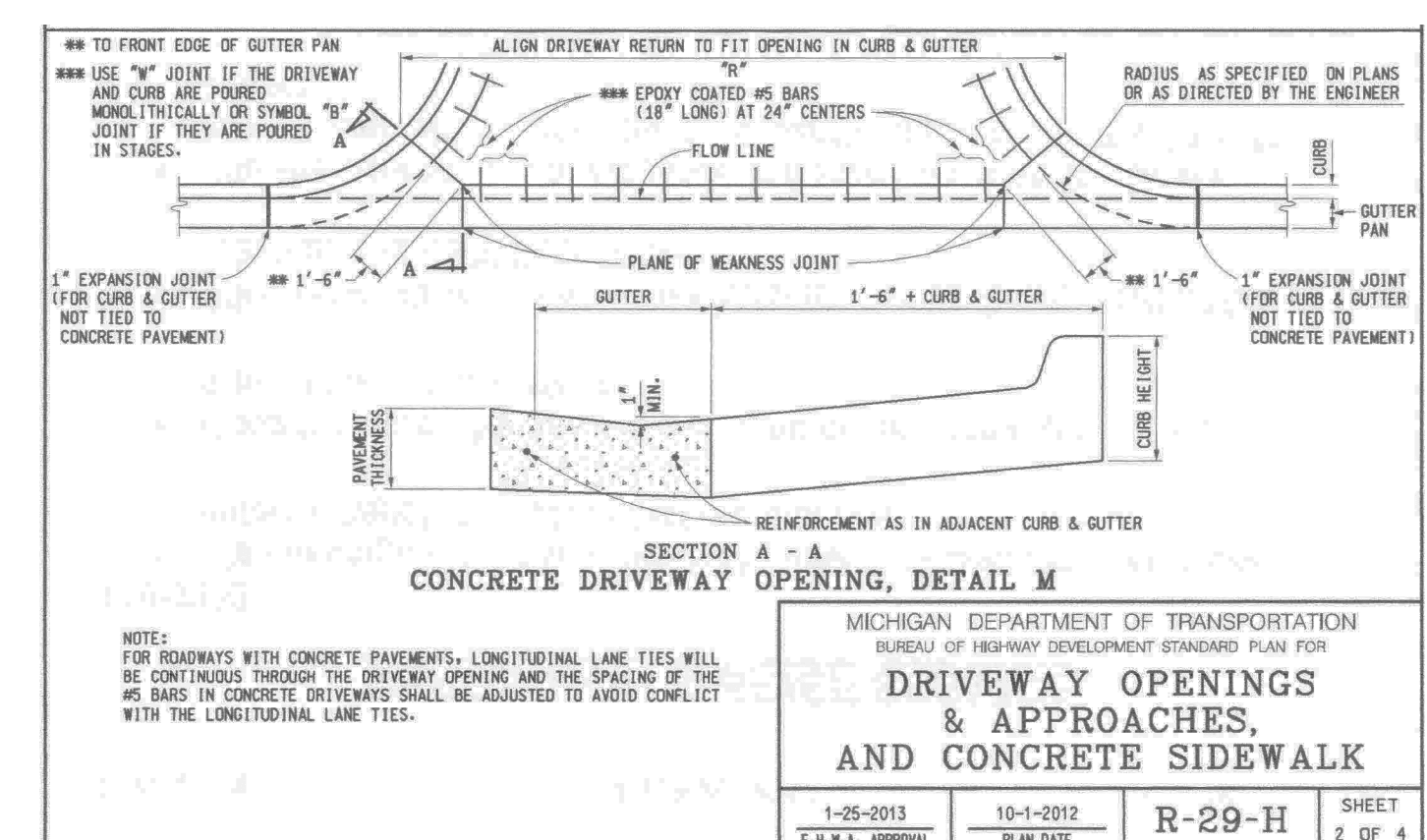
SIDEWALK DETAIL



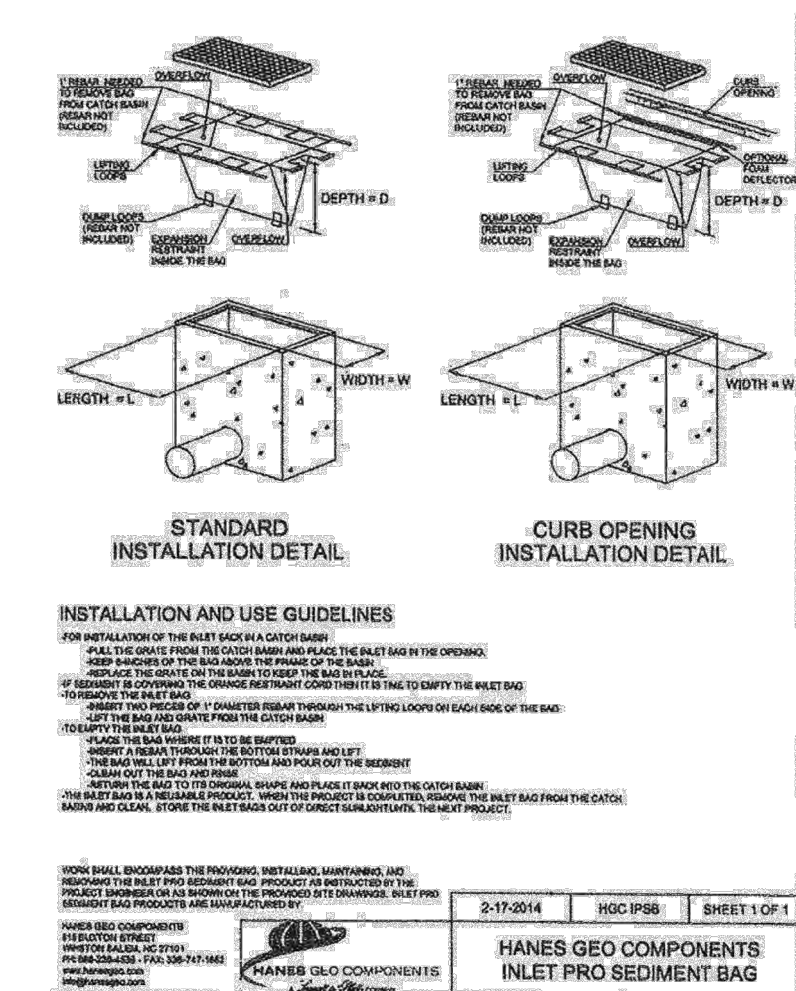
COMBINATION CURB & WALK



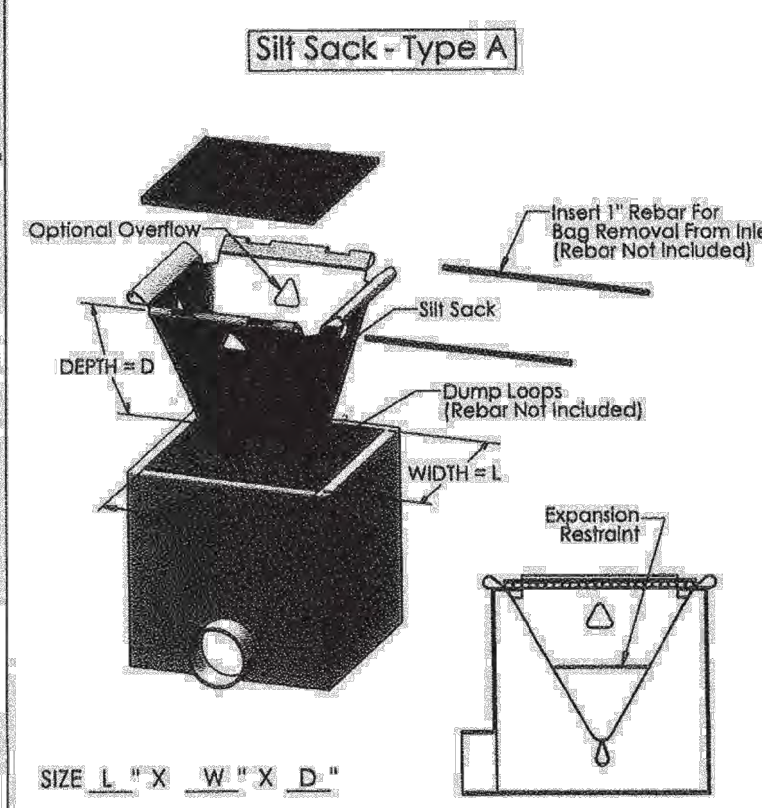
ASPHALT PAVING DETAIL



CONCRETE DRIVEWAY OPENING, DETAIL M



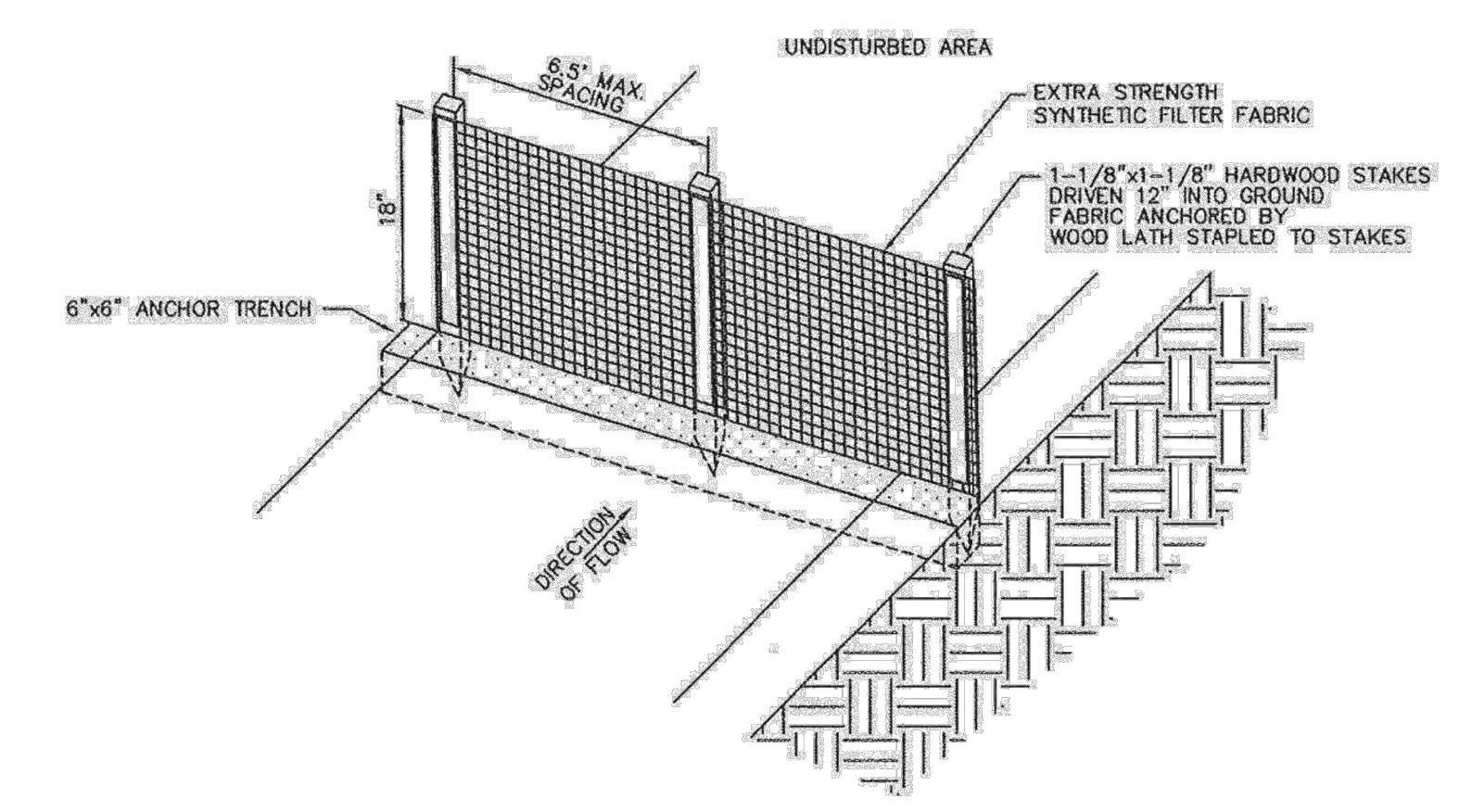
INSTALLATION AND USE GUIDELINES



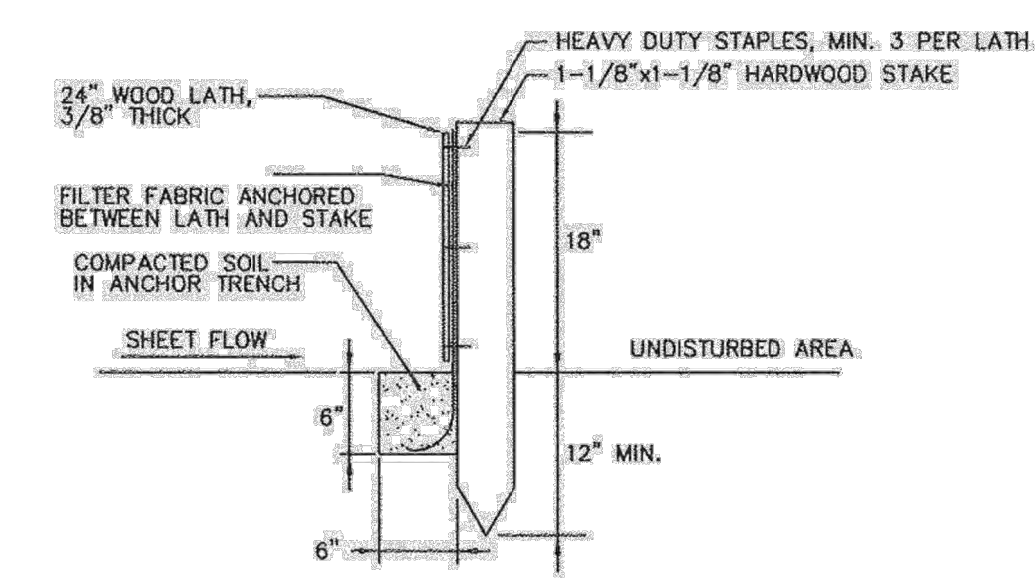
Silt Sack - Type A

CSI Geoturf

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(800) 621-7007 • (888) 208-5772 • (231) 943-4002
www.geoturf.com



SILT FENCE - PLAN VIEW



SILT FENCE - SECTIONAL VIEW

GEOTURF™ 24" SILT FENCE 6.5 FT. POST SPACING	
PREPARED BY CSI/GEOTURF, INC. 1500 ALLOY PARKWAY HIGHLAND, MI 48357	SHEET 11
DRAWN BY D.M.S.	DATE 8-2-2008
NOT TO SCALE	

CSI Geoturf

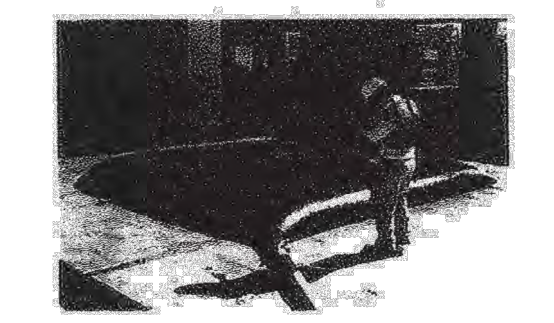
Down to Earth Solutions
Professional Construction, Turf, and Landscape Supplies
• CIVIL SITE IMPROVEMENTS • EROSION & SEDIMENT CONTROL • STORMWATER MANAGEMENT • LANDSCAPE ENHANCEMENTS

Geoturf® Filter Bag

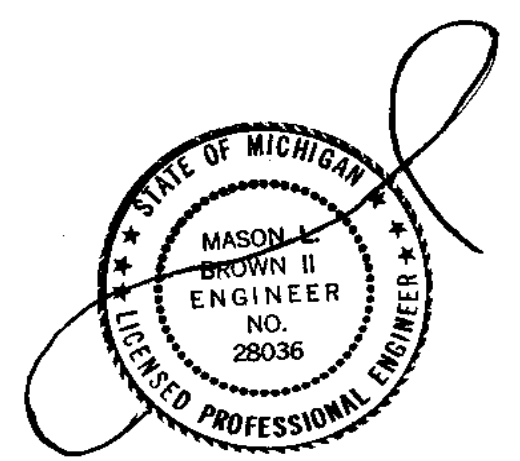
Whenever accumulated water on a construction site must be pumped, utilize filter bags to ensure the water is properly filtered of silt and sediment prior to discharge into receiving bodies. Filter bags are constructed of strong, high quality nonwoven geotextile filter fabric with a fill port to accommodate a pump discharge hose. The filter bags permit a controlled outflow of water, while retaining harmful pollutants.

Size	15' x 20' x 8"
Snout Size	6"
Holding Capacity	15 Cubic Yds.

Meets the requirements of MDOT Item 208
Erosion Control Filter Bag

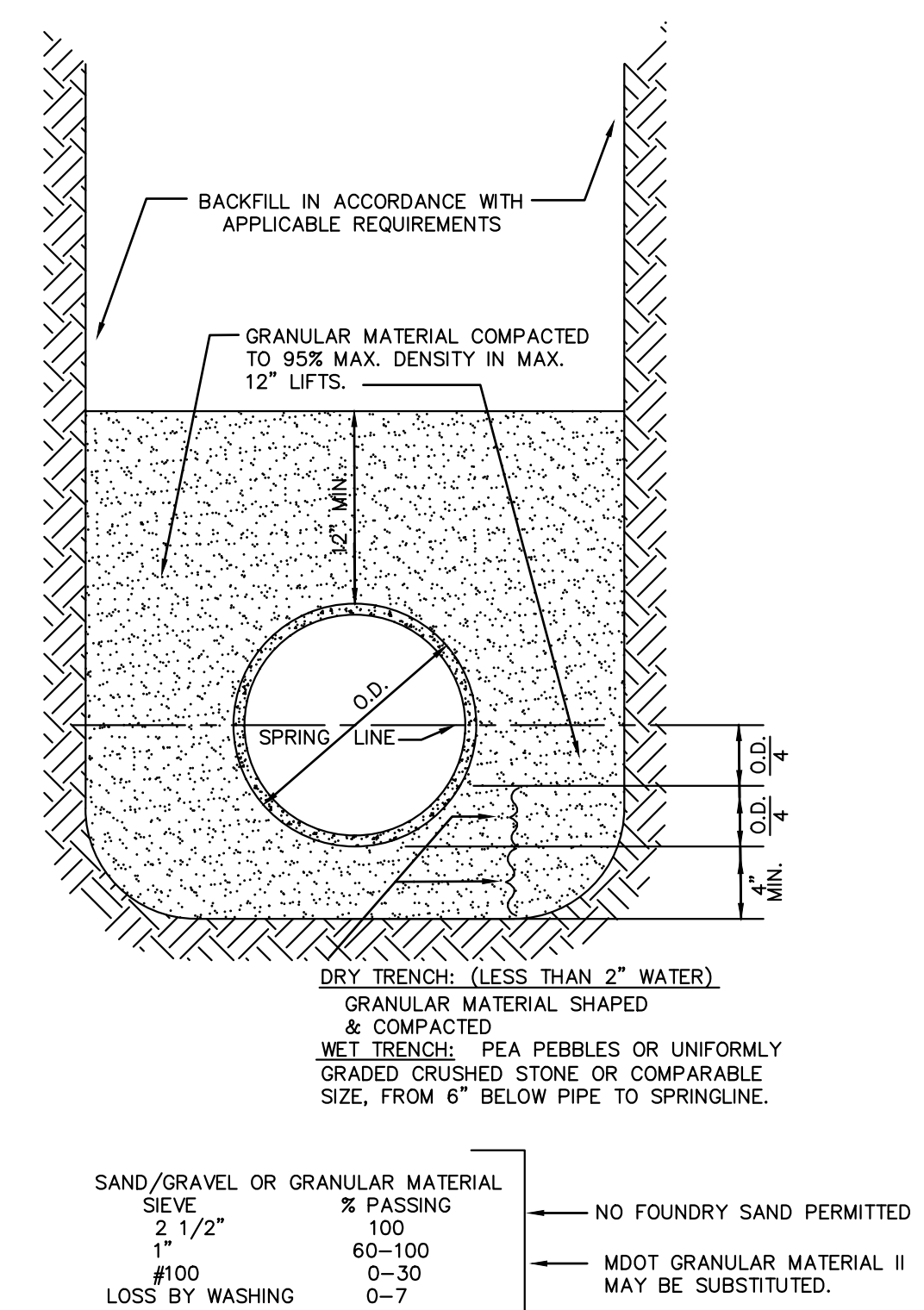
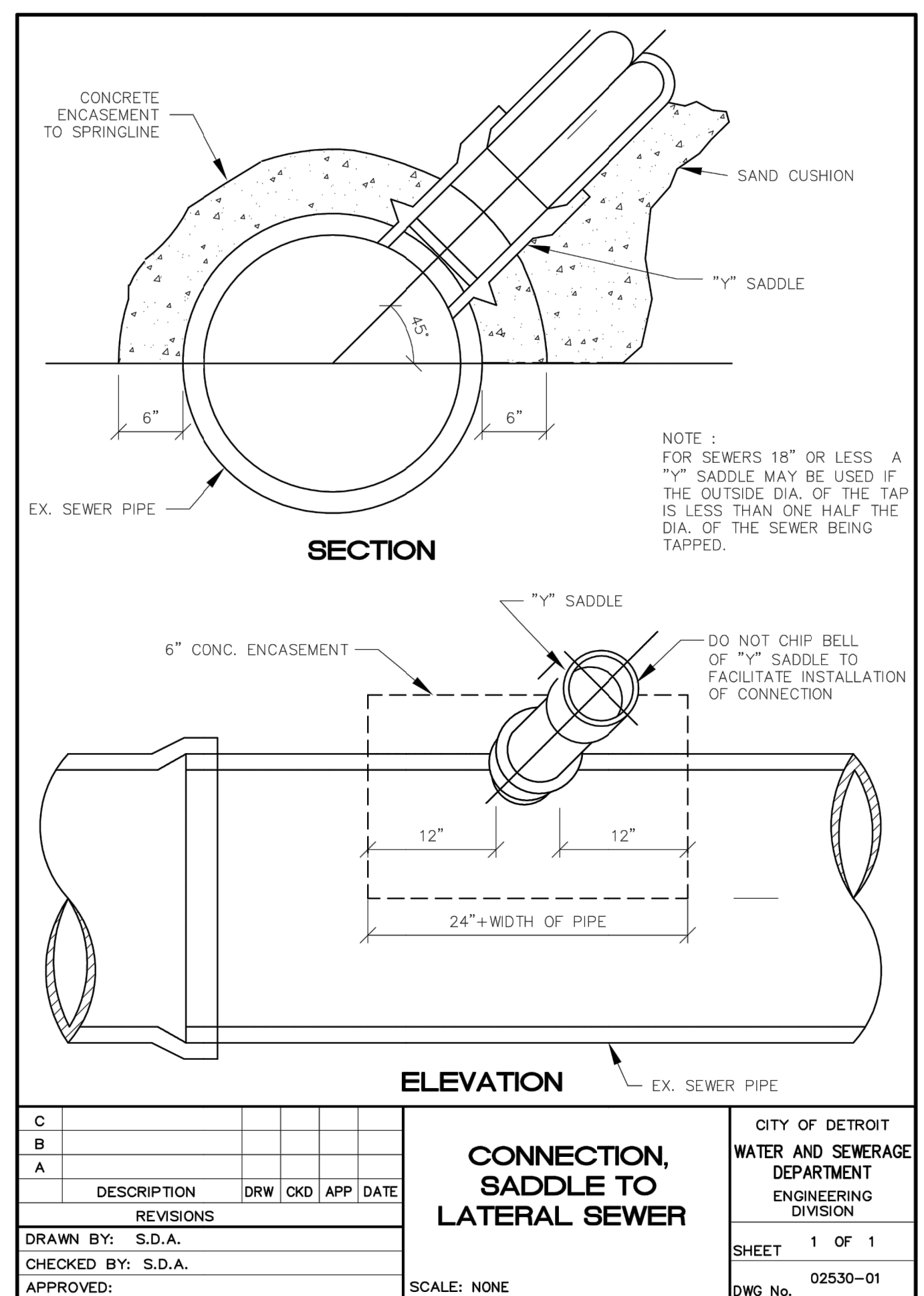
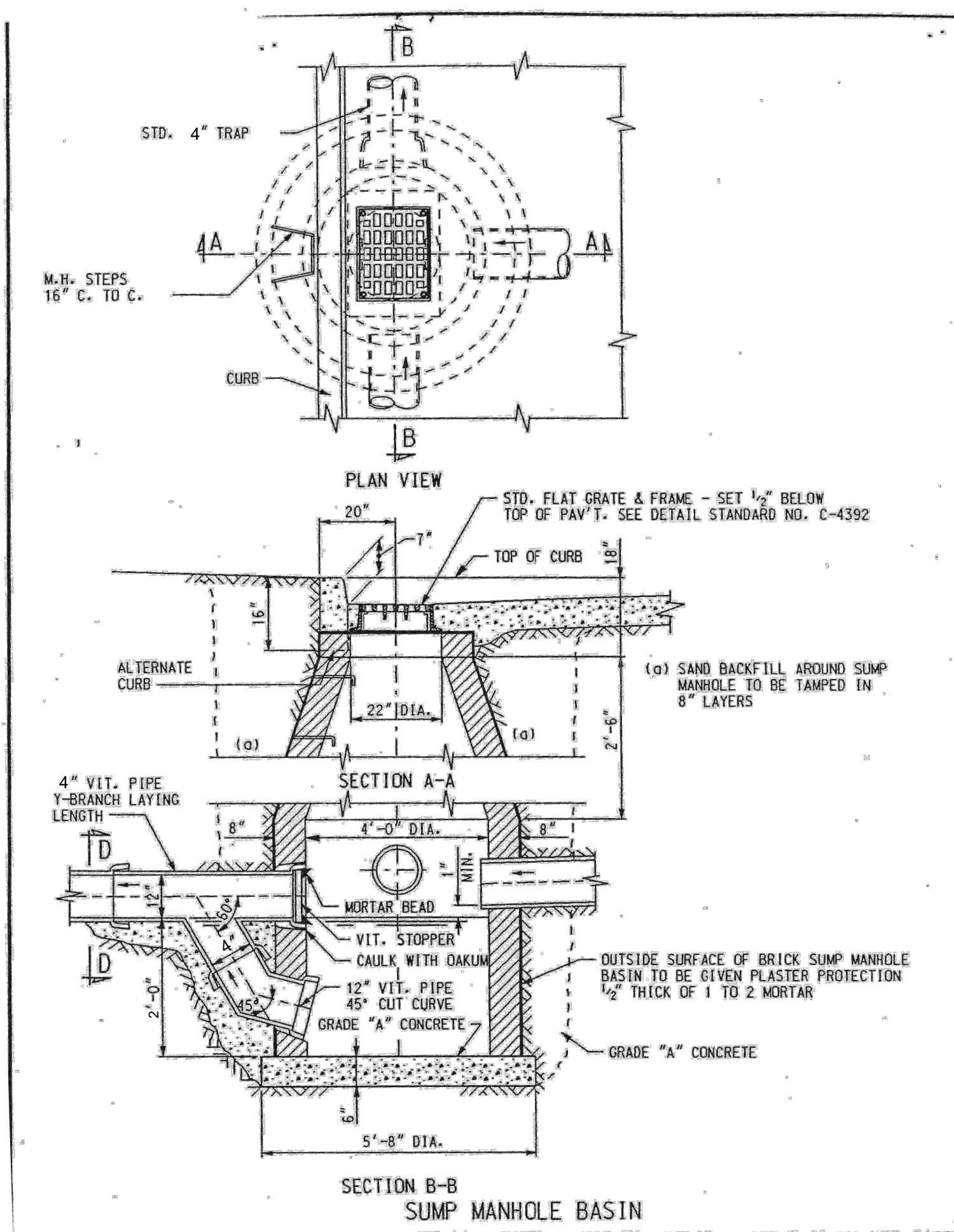


2022-02-14 per client



Know what's below.
Call before you dig.

MASON BROWNS ASSOCIATES, LLC CIVIL ENGINEERS & SURVEYORS 2708 BRIDLE ROAD BLOOMFIELD HILLS, MICHIGAN 48304 (248) 225-9789 mason_brown@sbglobal.net	SUGAR HILL APARTMENTS SEWER PROFILE & DETAILS	RAINCHECK FOREST, LLC	DETROIT, MI 48201	SOUTHFIELD, MI 48076 692 E. FOREST AVE. 28716 GREENFIELD RD.
DESIGN: ---	REVISIONS:	FIELD CHK: net	SCALE:	21-054.DWG
DRAWN: mb	CHECKED: MB	DATE:	1"=10'	01-07-2022
JOB NO.	21-054	SHEET	3	



STANDARD BEDDING FOR SEWER PIPE

C									
B									
A									
DESCRIPTION	DRW	CKD	APP	DATE					
REVISIONS									
DRAWN BY: S.D.A.					CITY OF DETROIT WATER AND SEWERAGE DEPARTMENT ENGINEERING DIVISION				
CHECKED BY: S.D.A.					SHEET 1 OF 1				
APPROVED:					SCALE: NONE DWG. No. 02530-01				

REVISOR: 03/02/2008 PLAN DATE: 12

PREPARED BY: BUREAU OF STREETS AND HIGHWAYS

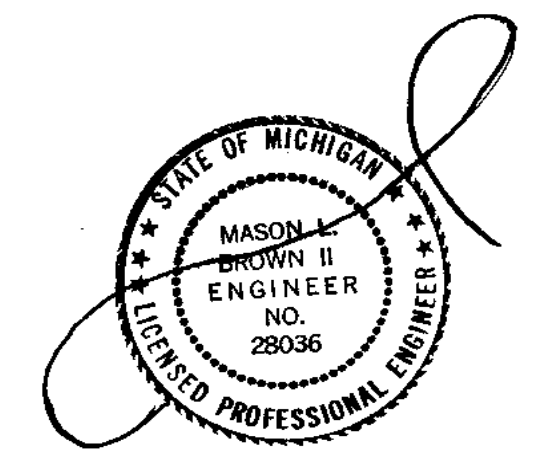
APPROVED: *Dadiu Haidar* ENGINEER OF STREETS

CITY OF DETROIT CITY ENGINEERING DIVISION, D.P.W. STANDARD PLAN FOR TYPICAL SUMP MANHOLE AND "L" TYPE CATCH BASIN

DRAWING NO. 12 DETAIL STANDARD NO. C-4389 SHEET 1 OF 3



2022-02-14 per client



Client:

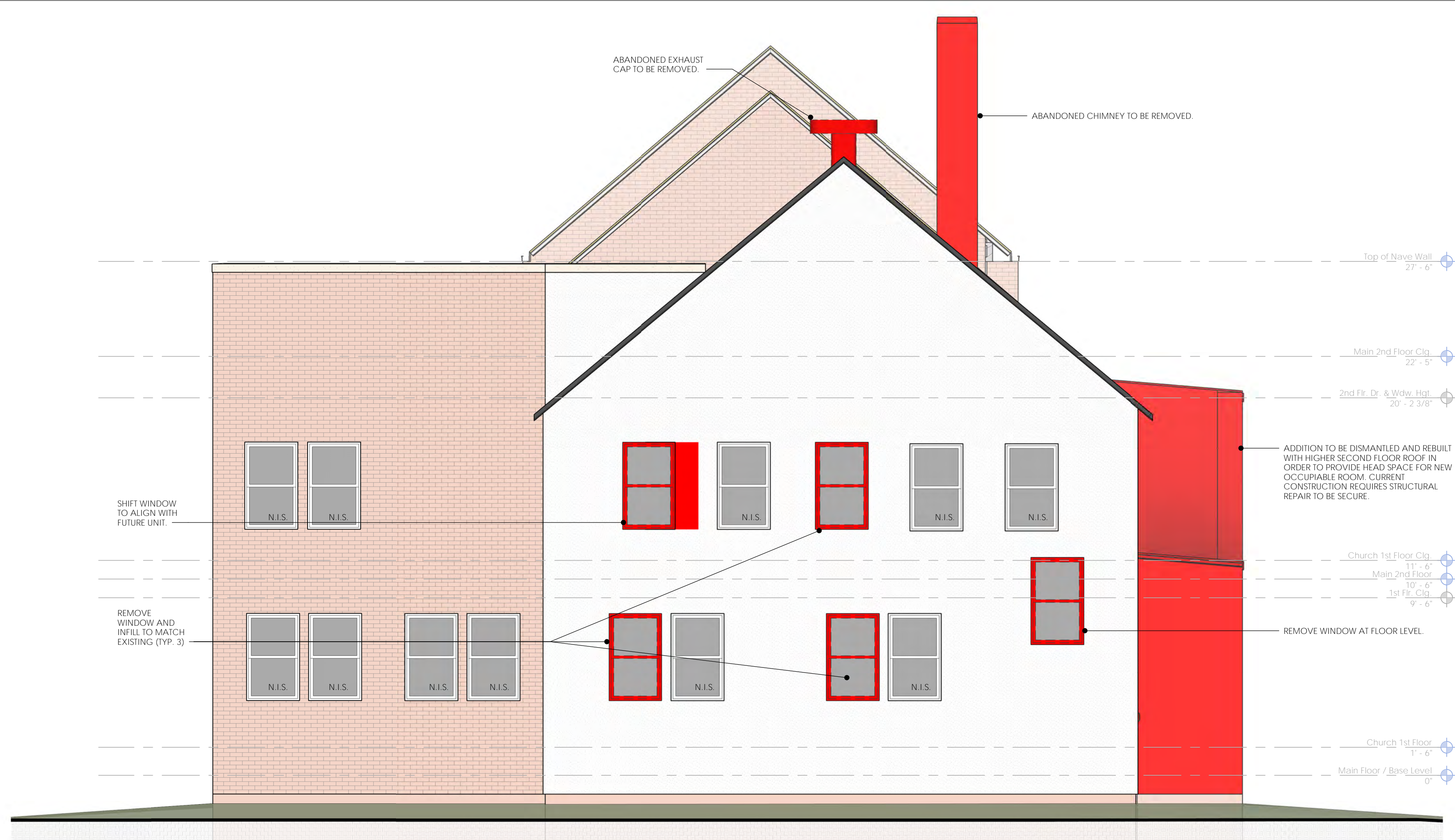
RainCheck Forest, LLC.
28715 Greenfield Rd.
Southfield, MI 48076

Project:

Exterior & Interior Renovation
92 E. Forest Avenue
Detroit, MI 48201

Issued:

08.31.2021	Interior Demolition Permit
10.04.2021	Demo Revision 1
12.22.2021	Blackberry Release
02.14.2022	HDC Submittal



2 Demo Rear (South) Elevation
1/4" = 1'-0"



1 Demo Front (North) Elevation
1/4" = 1'-0"



Seal:



Note:

Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:

Sheet Title:

Demolition Elevations

Project Number:

21-072

Sheet Number:

D.200

Client:

RainCheck Forest, LLC.
28715 Greenfield Rd.
Southfield, MI 48076

Project:

Exterior & Interior Renovation
92 E. Forest Avenue
Detroit, MI 48201

Issued:

Date	Description
08.31.2021	Interior Demolition Permit
10.22.2021	Schematic Design
10.04.2021	Demo Revision 1
12.22.2021	Blackberry Release
02.14.2022	HDC Submittal



1 Demo Left (East) Elevation (1 of 2)
1/4" = 1'-0"



2 Demo Left (East) Elevation (2 of 2)
1/4" = 1'-0"

Seal:



Note:

Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:

Sheet Title:

Demolition Elevations

Project Number:

21-072

Sheet Number:

D.201

