

HARDAWAY RESIDENCE

GARAGE | NEW CONSTRUCTION

235 E. BOSTON BLVD.
 DETROIT, MICHIGAN 48202

PROJECT:
 HARDAWAY GARAGE

235 E. BOSTON BLVD.
 DETROIT, MI 48202

SHEET TITLE:
 COVER SHEET

PROJECT NUMBER: 21.09.123

NOTE:
 THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE CORRECT DESIGN SIZE OF ALL STRUCTURAL MEMBERS, INCLUDING, BUT NOT LIMITED TO: BEAMS, JOISTS, LINTELS, POSTS, LUMBER AND STEEL.

IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND HAVE COMPLETE KNOWLEDGE OF THE DRAWINGS PRIOR TO THE COMMENCEMENT OF ANY WORK ON THE PROJECT SITE.

THESE PLANS ARE FOR ESTIMATING PURPOSES AND THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS.

NOTE:
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NOTE:
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VERIFY SCALES
 BAR IS ONE INCH ON ORIGINAL DRAWING

IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

CODE:
 DESIGNED IN ACCORDANCE WITH MICHIGAN RESIDENTIAL CODE 2015

DATE SIGNED: _____ LICENSE EXPIRATION: 17 DEC 2023

ISSUED FOR DATE:

11.08.2021: PRELIMINARY OWNER REVIEW

11.18.2021: PRELIMINARY OWNER REVIEW REVISIONS

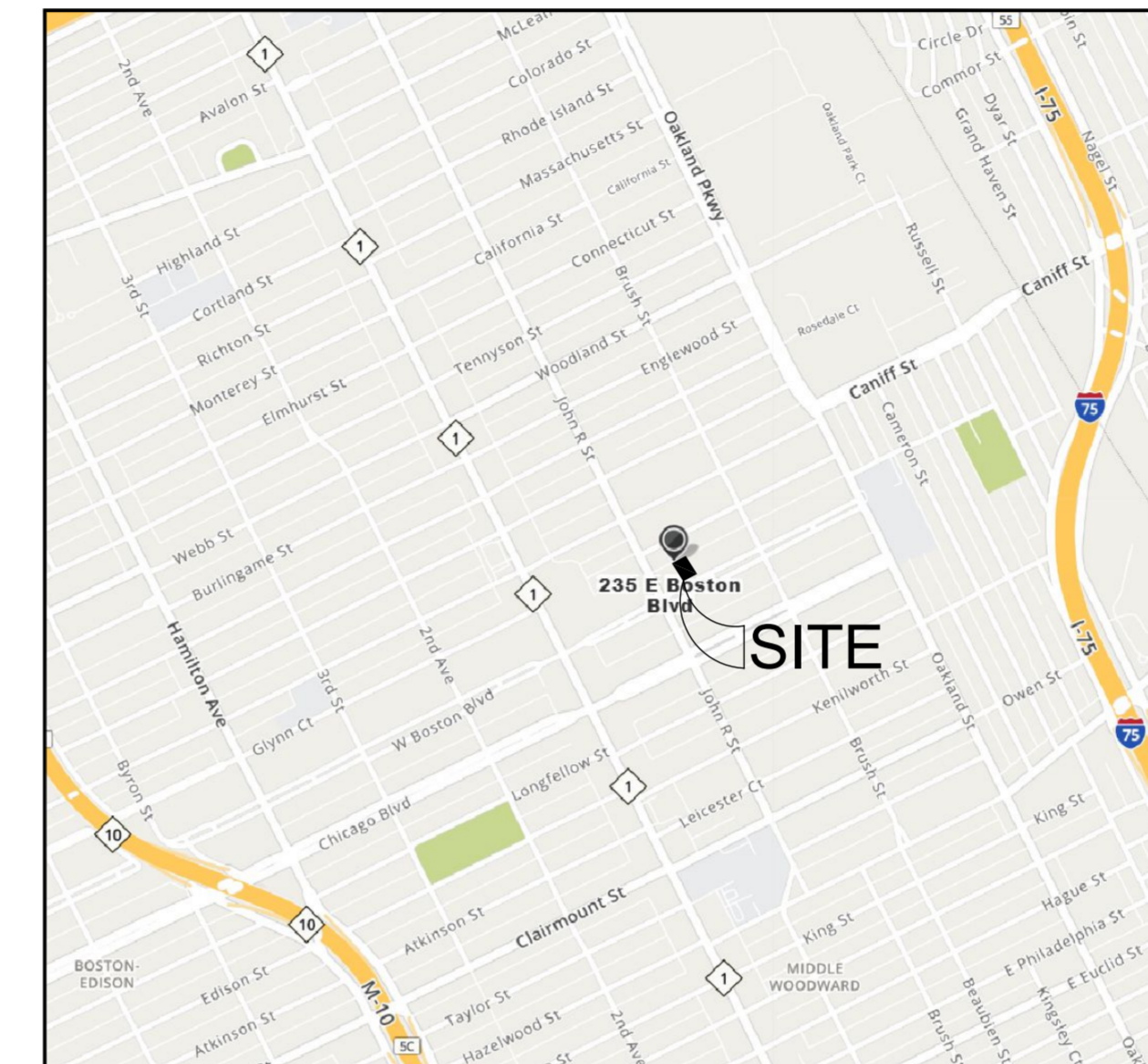
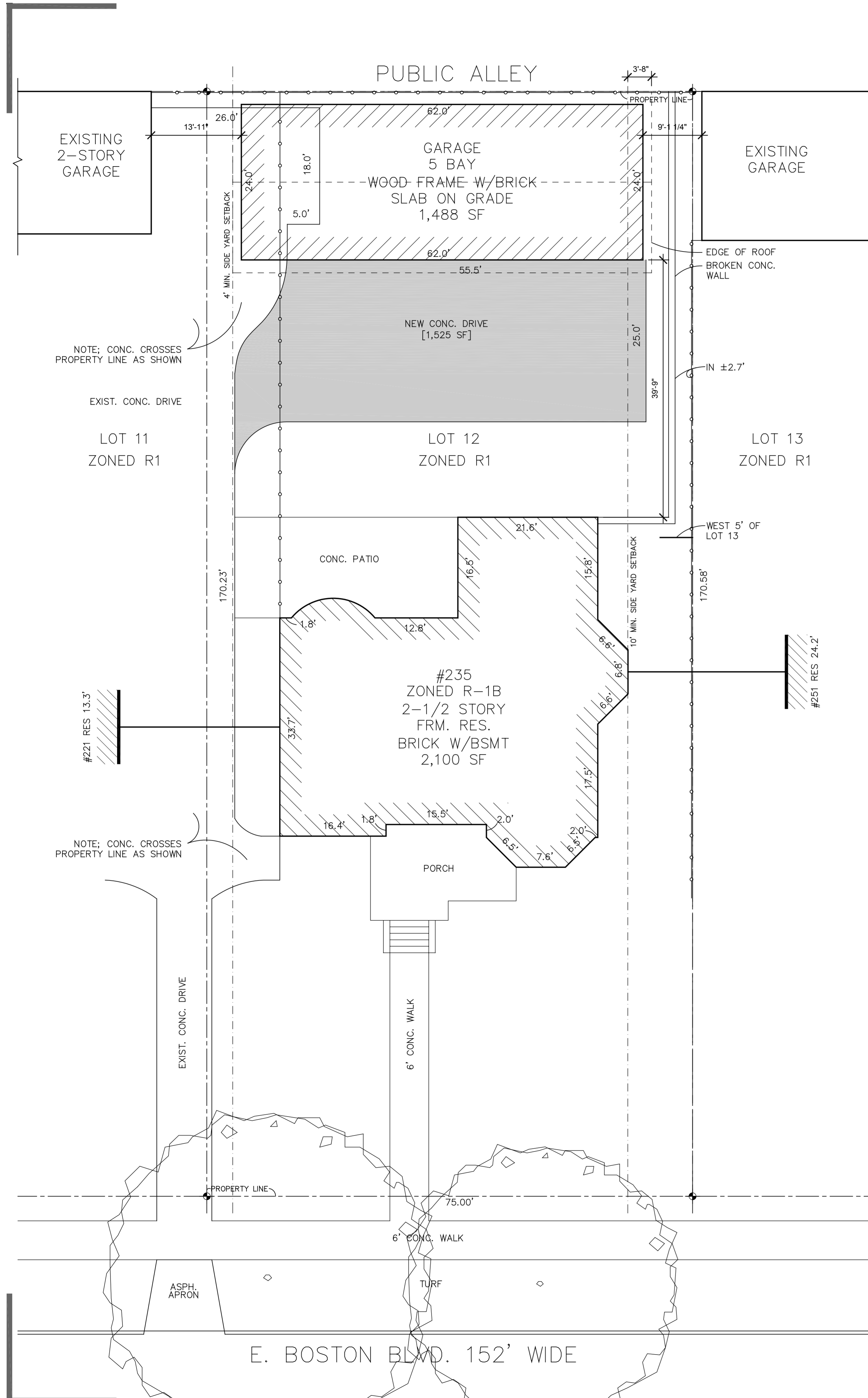
12.05.2021: PRELIMINARY OWNER REVIEW REVISIONS

01.12.2022: PRELIMINARY OWNER REVIEW REVISIONS

01.20.2022: PRELIMINARY OWNER REVIEW REVISIONS

02.10.2022: DHC REVIEW

DRAWING SHEET:



LOCATION MAP
 NO SCALE

THE PROJECT IS A PROPOSED NEW 1-STORY SLAB ON GRADE 5 BAY GARAGE.

EXTERIOR
 THE EXTERIOR SHALL INCLUDE NEW MATERIALS THAT ARE APPROPRIATE FOR THE AESTHETIC OF THE EXISTING HISTORICAL HOME AND MUST BE APPROVED BY THE DETROIT HISTORIC DISTRICT COMMISSION. THIS SHALL INCLUDE A MATCHING BRICK (AS CLOSE A MATCH AS POSSIBLE), SLATE SIDING, ASPHALT SHINGLES AND WOOD TRIM. ALL DOORS (INCLUDING GARAGE DOORS) AND WINDOWS SHALL CLOSELY MATCH EXISTING AND BE HISTORICALLY CORRECT.

INTERIOR
 THE GARAGE LEVEL WILL HAVE A CONCRETE FLOOR AND WILL FEATURE ONE BAY WITH A CAR LIFT. THE ALLEY (NORTH) WALL SHALL BE 8" CMU WITH FACE BRICK VENEER, THE OTHER 3 WALLS WILL BE 6" STUD FRAMING WITH BRICK VENEER. THE SECOND FLOOR STORAGE AREA SHALL BE ACCESSED BY A PULL DOWN ATTIC LADDER, FINISHED WITH DRYWALL AND PROPERLY SEPARATED FROM THE GARAGE FUNCTION BY FIRE-RATED CONSTRUCTION.

SITE
 SITE WORK SHALL INCLUDE PARTIAL DEMOLITION OF THE EXISTING DRIVEWAY, SOME FENCING AND ANY EXISTING FOOTINGS FROM THE ORIGINAL GARAGE (LONG SINCE DEMOLISHED). A NEW PARTIAL CONCRETE DRIVE SHALL BE POURED TO TIE INTO THE EXISTING AND PROVIDE ACCESS TO ALL NEW GARAGE DOORS.

THE EXTENSION OF MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS SHALL BE PERFORMED ON A DESIGN/BUILD BASIS. THESE CONTRACTORS SHALL BE RESPONSIBLE TO DESIGN AND OBTAIN THEIR RESPECTIVE PERMITS, AS REQUIRED BY THE CITY.

LEGAL TAX DESCRIPTION
 (PARCEL NUMBER 01003215)
 N BOSTON BLVD 12 W 5 FT 13 MCLAUGHLIN & OWENS L18 P28
 PLATS, W C R 1/125 75 X 170.4A NEZH CERT #2006-1880, NEZ
 PARCEL #27061880.

Roland F. Day II, AIA

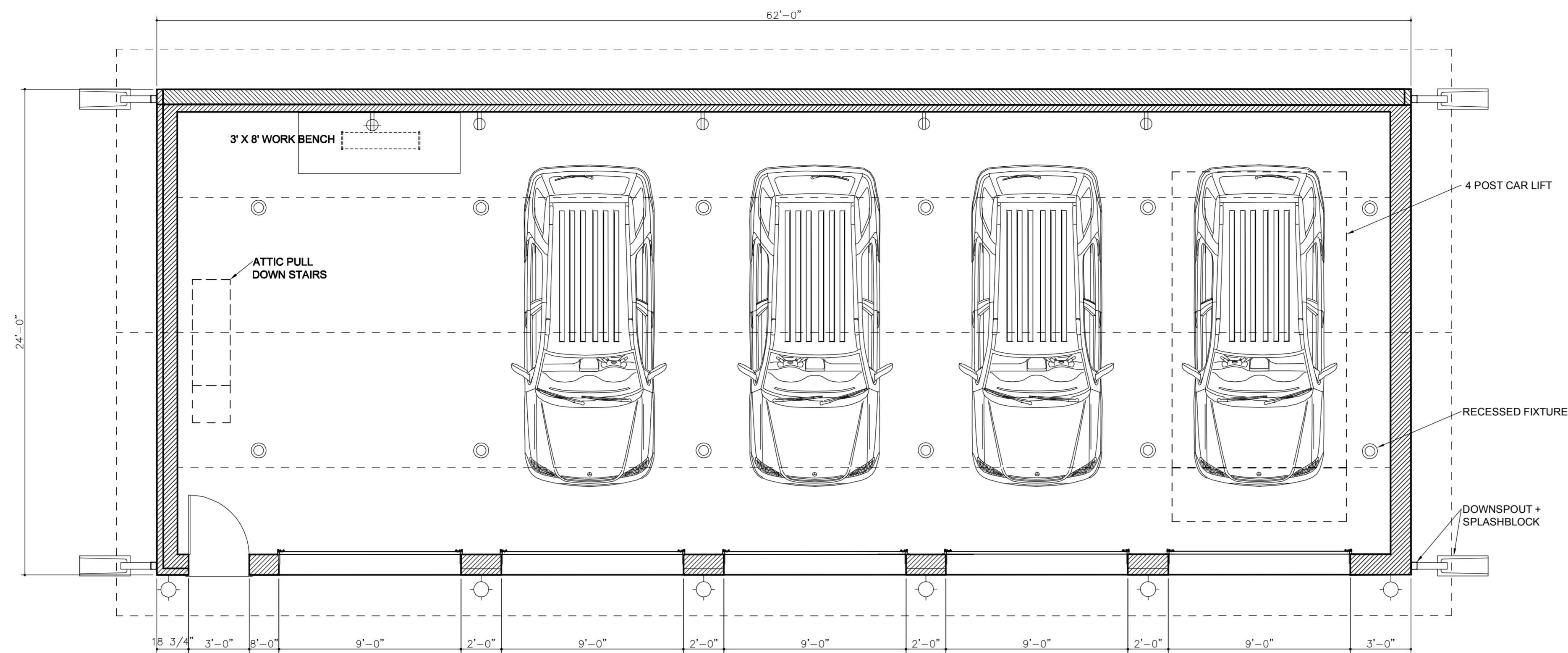
2512 W Grand Blvd
 Detroit, MI 48208
 313.407.0083

PROJECT:
HARDAWAY GARAGE

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SHEET TITLE:
FIRST + SECOND FLOOR PLANS

PROJECT NUMBER: 21.09.123



FIRST FLOOR - NEW WORK
 SCALE: 1/4" = 1'-0"

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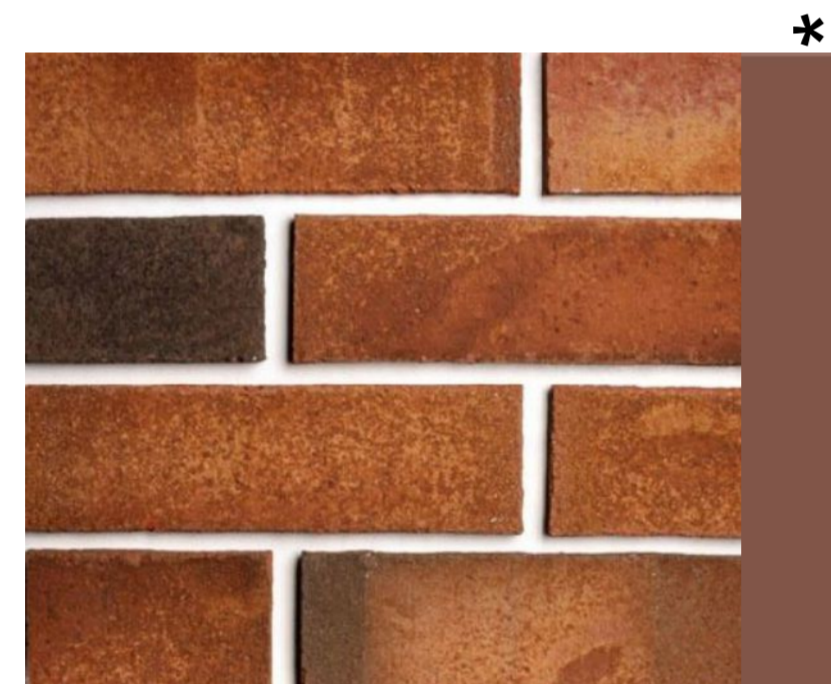
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BOWERSTON PLANT COMPANY, "OLDE CHEYENNE"
 4 IN MODULAR BRICK

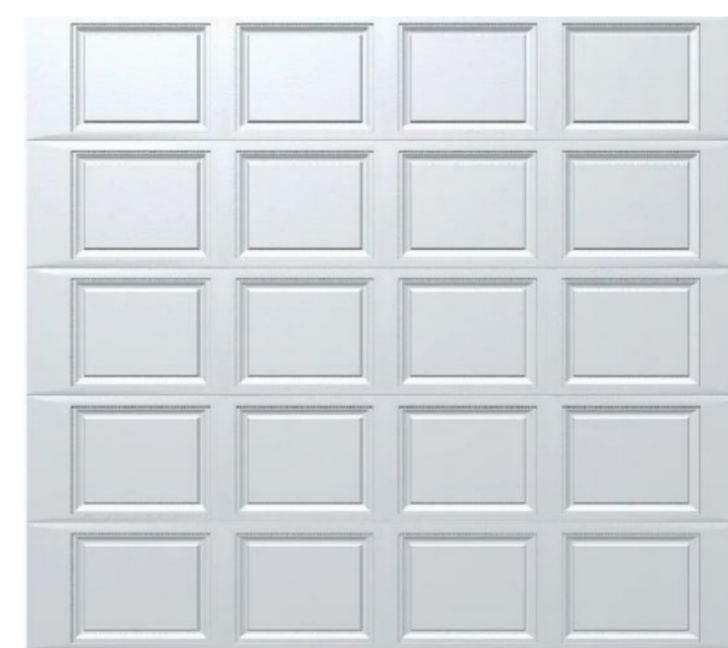
MORTAR - SOLOMON COLORS, 44A SERIES COLOR *



OWENS CORNING 3-TAB "AUTUMN BROWN"
 ROOF SUPREME SHINGLES



MAJESTIC NIAGARA SLATE, NATURAL-LOOKING, 5/8" THICK,
 SYNTHETIC SLATE ROOFING TILE, "SAGE GREEN"



9 FT X 8 FT GARAGE DOORS, IDEAL DOOR®
 TRADITIONAL 9' X 8' WHITE INSULATED GARAGE DOOR



MOTINI OUTDOOR WALL LANTERN
 WITH MOTION SENSOR



1-Panel Craftsman Primed Steel, 36 in. x 80 in.

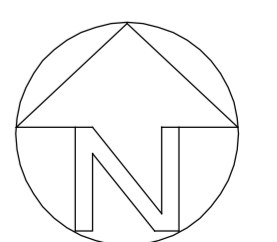


PELLA LIFESTYLE 31.5-IN X 53.5-IN X 4.5625
 WHITE ENDURACLAD DOUBLE HUNG WINDOW

MATERIALS

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DRAWING SHEET:

A1.00

Roland F. Day II, AIA

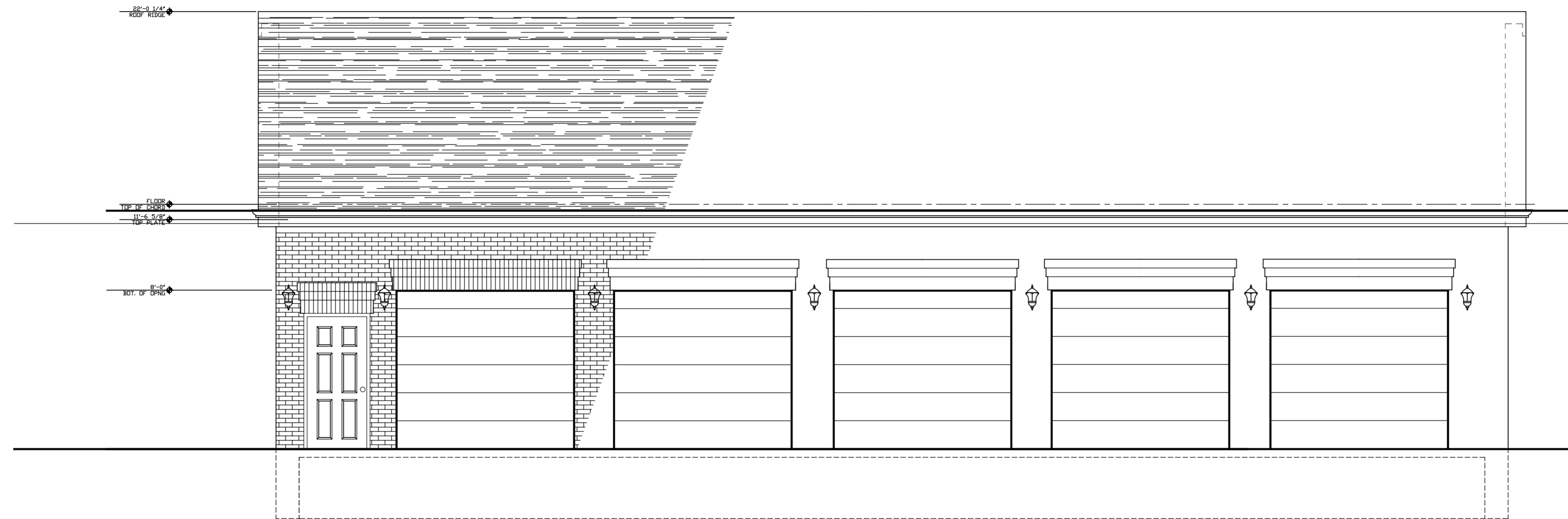
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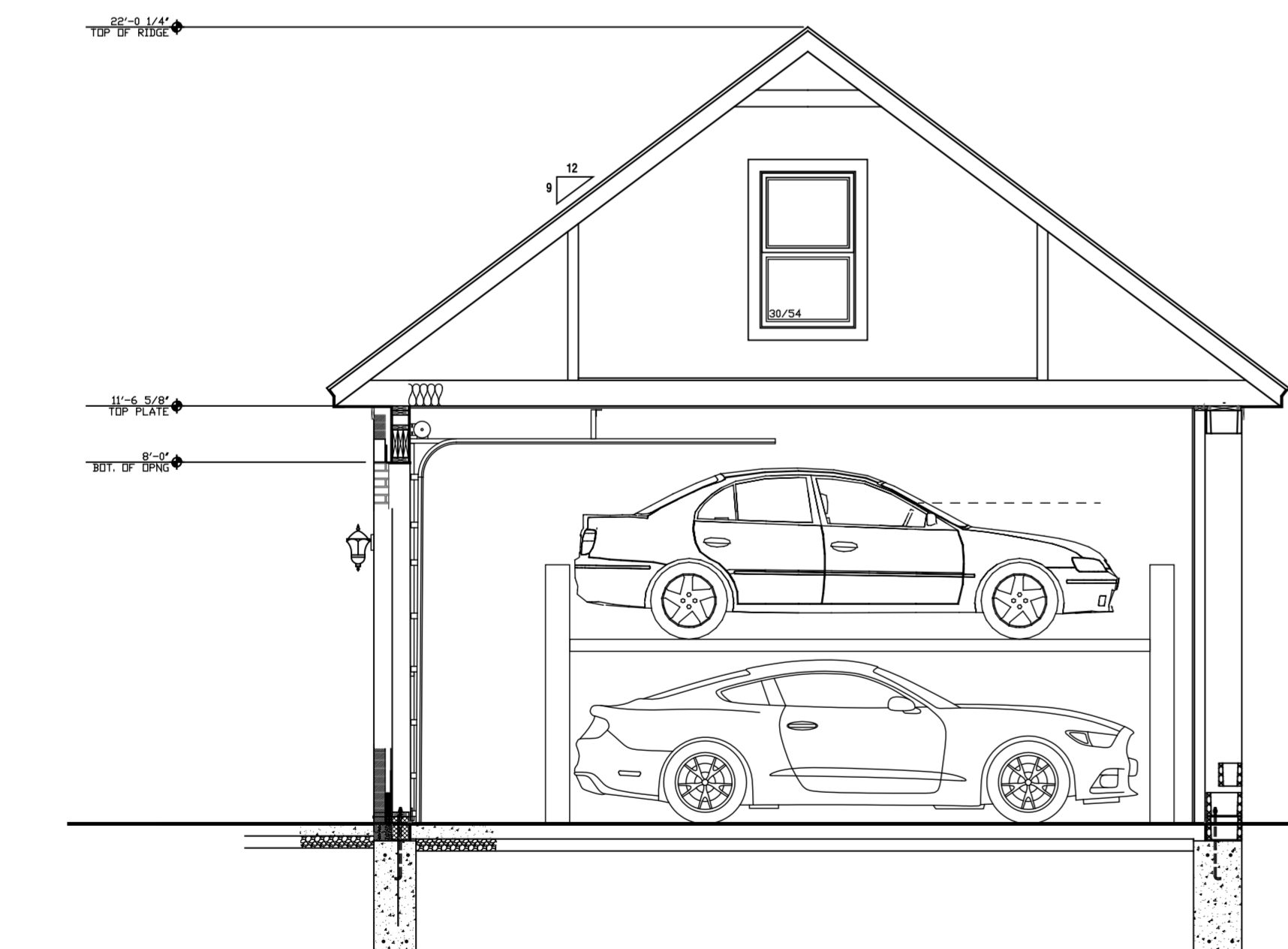
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SHEET TITLE:
ELEVATIONS

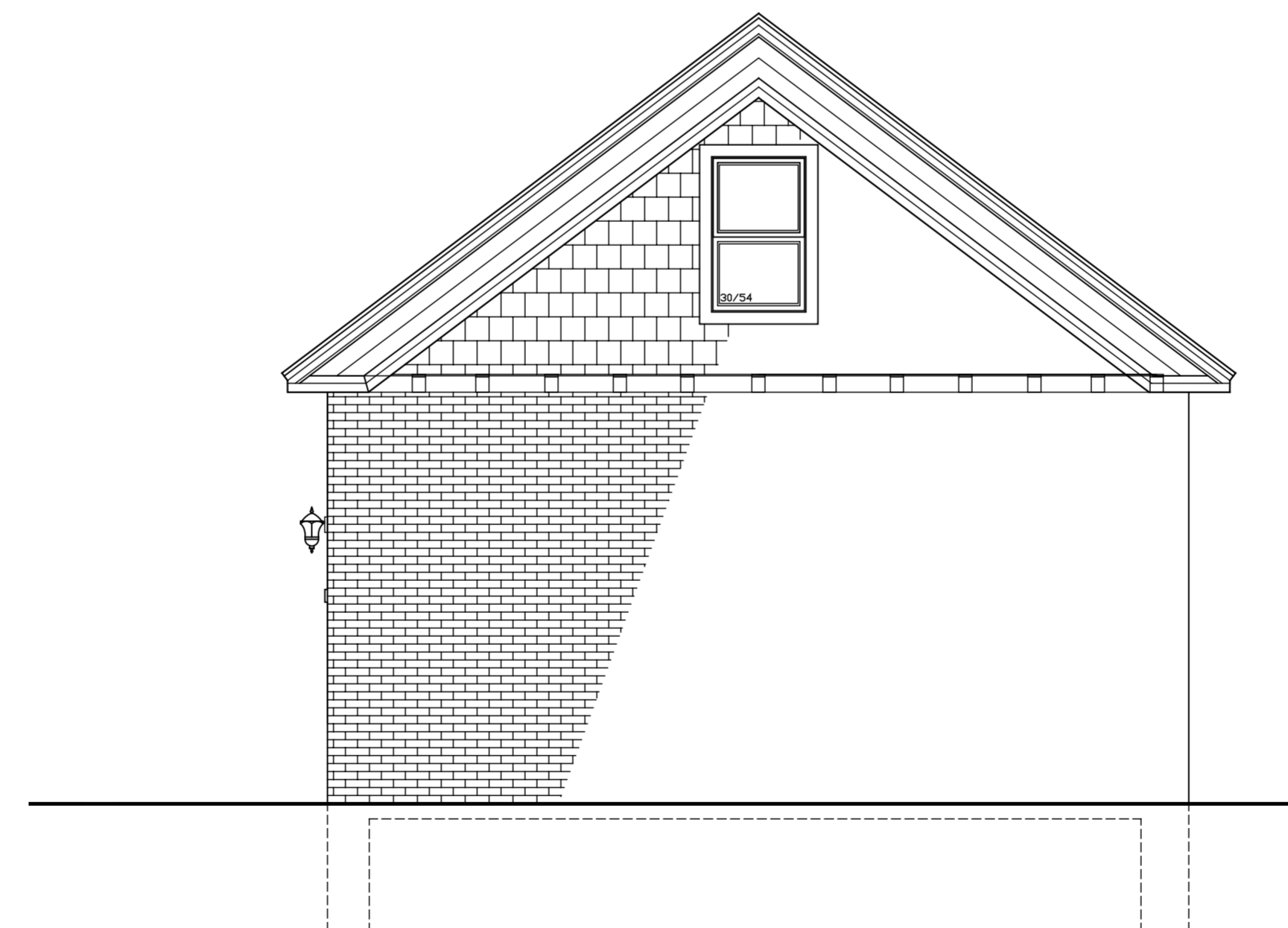
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WEST ELEVATION - NEW WORK
SCALE: 1/4" = 1'-0"



BUILDING SECTION - NEW WORK
SCALE: 1/4" = 1'-0"



END ELEVATION - NEW WORK
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