

9710 W Outer Dr

Existing Condition Photos



East Elevation



West & South Elevation



North Elevation



South Elevation

Current Design Description

A 3-story apartment structure with 10 residential units, constructed in 1940, brick on wood stud wall construction, shingle roof, stone corner details, stone details at palladian window, stone sills, wood detailing at front entry, steel and wood canopy at back entry, wood windows throughout with the exception of steel windows at bathrooms and the lowest level. The addition of a brick shed to house the gas meter was made at a later date.

9730 W Outer Dr

Existing Condition Photos



East & Courtyard South Elevation

Current Design Description

A 3-story apartment structure with 23 residential units, constructed in 1939, with front courtyard, brick wall construction, shingle roof, stone sills, stone band detail, stone keystone details, brick detailing at corners, wood detailing at front entry, and steel windows throughout, and bay windows at the back facade.



Courtyard East



Courtyard East & North Elevation



East Elevation - Southern Facade



East Elevation - Northern Facade

9730 W Outer Dr

Existing Condition Photos



West & North Elevation



North Elevation



South Elevation



West Elevation

Current Design Description

A 3-story apartment structure with 23 residential units, with front courtyard, brick wall construction, shingle roof, stone sills, stone band detail, brick detailing at corners, wood detailing at front entry, and steel windows throughout, and bay windows at the back facade.

Existing Conditions Detail Photos



Existing Fence

- Short runs of chain link fence go beyond the property line



Existing Downspouts

- Downspouts are in good condition and are tied into the City sewer; Paint is flaking off.
- Gutters need painting



Existing Canopy

- Existing tie back canopy is corroded and in need of repair/reconstruction
- Brick is discolored/damaged around door and canopy due to improper drainage

Existing Conditions Detail Photos



Existing 9730 Front Landing

- Existing landing is damaged and hazardous



Existing Vents in Masonry

- Existing vents in masonry are located in the kitchens in 9710
- Existing vents in masonry are also located at the mechanical room in 9710



Existing Conduit

- Conduit is building-mounted at the back of both buildings

Existing Conditions Detail Photos



Historic Woodwork & Fixture

- Existing historic woodwork at front entries of both buildings shows deterioration and is in need of repair/reconstruction and new paint to match existing
- Existing historic light is in fair condition, flaking paint and rust should be removed and fixture restored

Existing Utility Cap

- An existing utility cap is protruding up above the pavement where the front entry path meets the sidewalk and is a potential tripping hazard

Existing Conditions Detail Photos



Sill & Brick Discoloration

- Existing stone sills and masonry below are discolored and possibly water damaged
- Existing small windows in utility rooms appear to be added after original construction. The color of these bricks suggests that they were used in conjunction with the addition of the gas shed, and attempt to match the 'cleaned' color of the original bricks.



Existing Landscaping

- Existing shrubs line the front facades of both buildings as well as a section of the back facade of 9730, some being dead/dying
- Two coniferous trees and several deciduous trees dot the site at the perimeter of the parking lot and parking lot islands and line the street frontage
- An ornamental tree is adjacent to the 9730 front entry



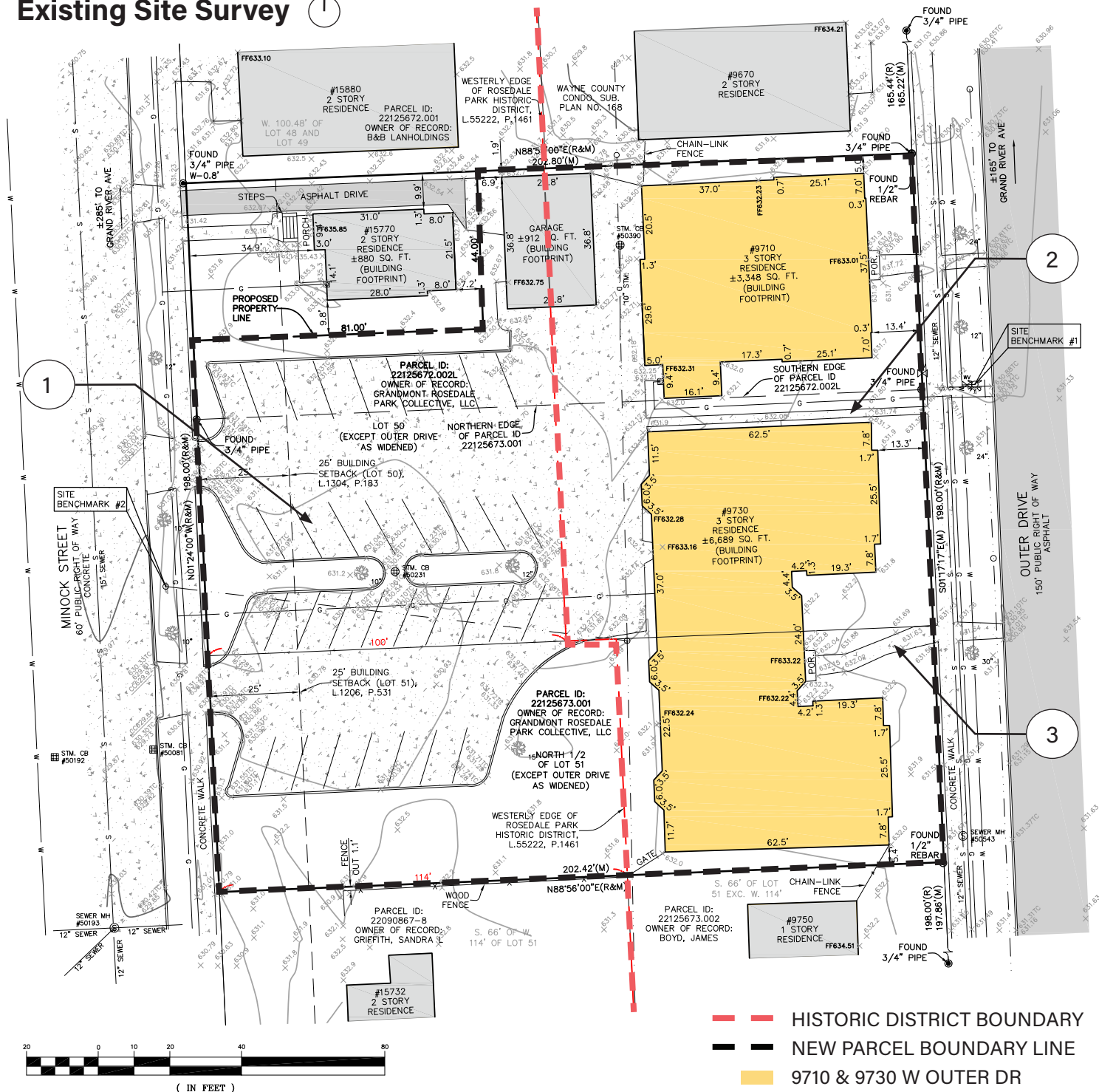
Existing Conditions Detail Photos

- Existing parking layout has two-directional one-way parking, and only accommodates 33 parking spaces. New residential unit count is 35.
- Existing path between buildings is only 2'-0" wide.
- Existing path and sidewalk near the front of 9730 W Outer Dr front entry is missing a section and heaving.



3

Existing Site Survey



- HISTORIC DISTRICT BOUNDARY
- NEW PARCEL BOUNDARY LINE
- 9710 & 9730 W OUTER DR

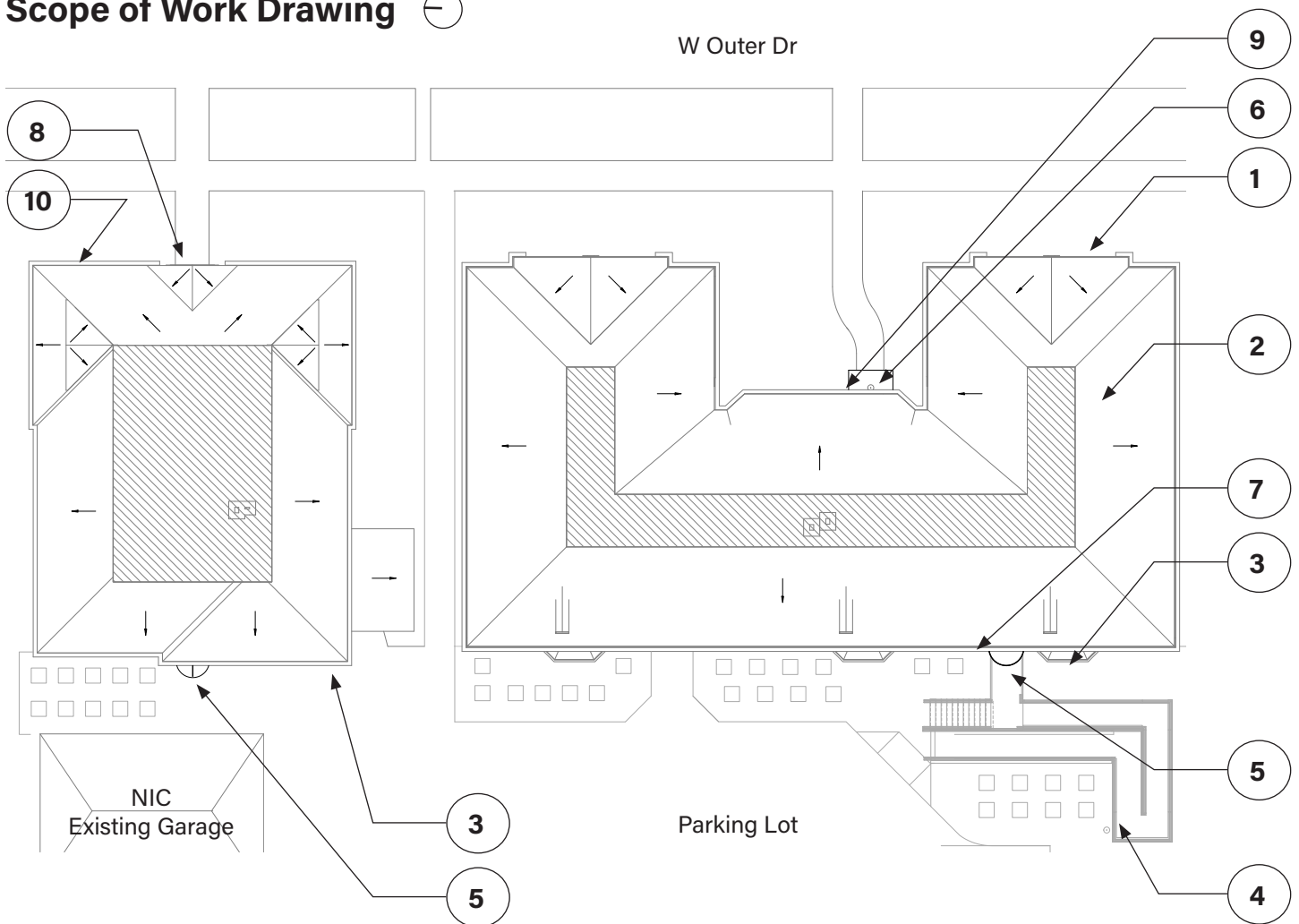
Description of Project_Permit Work List

This project a rehabilitation being undertaken by Grandmont Rosedale Park Collective. The goal of the project is to celebrate the historic presence, features, and use of the buildings, while updating systems, increasing functionality, and introducing accessibility.

The scope of work includes the following; notes pertain to both buildings U.N.O:

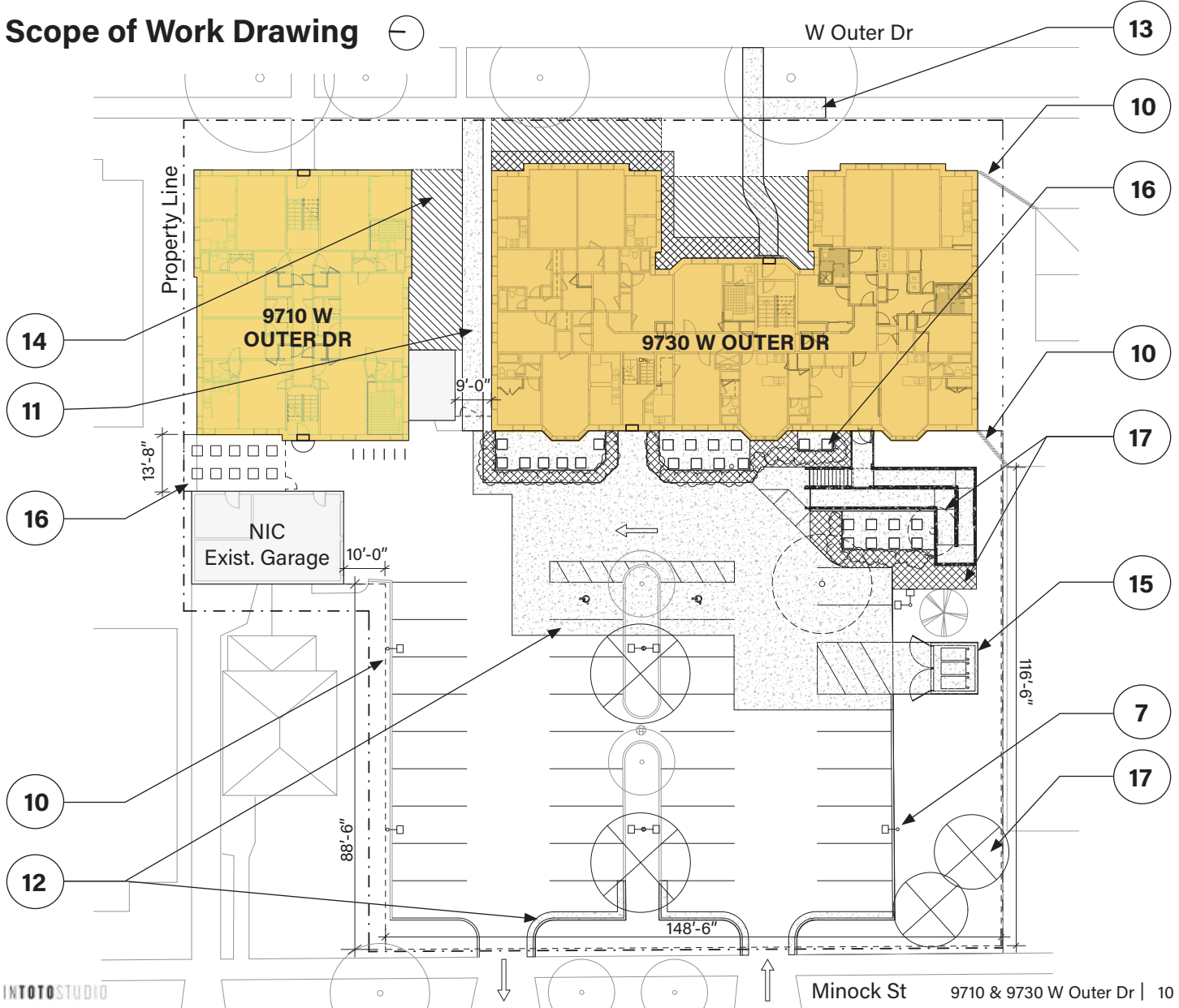
1. Restore the existing masonry (brick), utilizing repointing, tuckpointing, and cleaning as necessary
2. Replace the existing leaky (non-historic) asphalt shingle roof in kind
3. Replace the existing deteriorated wood and steel windows with double hung thermally-broken aluminum windows and install thermally-broken windows at new openings for new Level 00 units
4. Install new accessible ramp and railing at 9730 new accessible entry
5. Replace existing 9710 steel & wood canopy in kind, and install similar new canopy at new 9730 accessible entry; install downspout at both canopies for water mitigation
6. At 9730 front entry, remove & replace existing concrete landing in kind & restore historic light fixture
7. Replace all other light fixtures at entrances with new; install new exterior sconce at new accessible entry; remove building-mounted security lights; install new security lighting at parking lot & ramp
8. Repair existing historic woodwork at front entries of 9710 & 9730
9. Scrape and paint all exterior doors, wood features, and gutters; paint and install new 8"x8" brick vents per res. unit in brick facades (avoid front facade) where brick vent is not already existing

Scope of Work Drawing



Description of Project Cont_Permit Work List

10. Install new security fence at perimeter of parking lot and ramp with pedestrian swing gate and remote operated vehicular gates; existing sections of fence on-site to remain
11. Remove & replace narrow gray concrete pathway between buildings with accessible path (5'-0"W)
12. Re-stripe (to 90 degree spaces & (2) accessible spaces) and reconfigure curbs at existing parking lot to match unit count; remove and replace concrete as needed at parking lot to properly grade
13. Repair pathway and sidewalk near 9730 front entry; remedy utility cap trip hazard at 9710 front entry
14. Regrade site to slope away from buildings where necessary; remove existing landscaping in order to regrade and replace with similar
15. Construct new masonry dumpster enclosure to house (3) 2 yd dumpsters to serve both buildings
16. Install (35) condensing units at grade (1 per unit); install metal panel enclosure to secure and screen (10) condensing units to service 9710; install ACBandit (or similar) security cages at remaining condensing units and plant living screens around each condensing unit cluster
17. Restore any disturbed areas with lawn; remove (2) trees to accommodate ramp, install parking lot & site deciduous trees (Red Sunset Maple, Autumn Brilliance Serviceberry, American Hophornbeam); other new plantings (crosshatch) include shrubs (Annabelle Hydrangea, Kelseyi Dwarf Dogwood, Dense Yew, Hicks Yew) and perennials (Happy Returns Daylily, Pardon Me Daylily, Russian Sage)



Detailed Scope of Work

Existing Wood Window Replacement

See Appendix for Window Assessment from Blackberry



9710 W Outer Dr existing conditions, wood windows

9710 W Outer Dr Existing Wood Windows
Wood construction with steel lintels and stone sills, *highlighted in red*, save for bathroom and Level 00 windows of steel construction.

Cause for Replacement

- Some exterior sills are split, allowing water to enter the building envelope
- The majority of sills are fissured, causing dry rot and material breakdown
- The operability of the windows ranges from inconsistent to very difficult
- They use a tape balance system that is not readily replaced without potential damage to the master frame
- The jamb liner/weatherstrip is in poor conditions and is not a product that is available for replacement
- All windows require re-glazing with new glazing compound, and existing material is unable to be removed without damage to the sashes and breaking the glass
- The glazing compound is falling out and breaking down on all sashes
- The paint is peeling
- The caulking is failing and falling out
- The storm windows are in poor condition with many broken track guides and failing corner joinery, allowing water to get trapped on the exterior sills, and dry rot and decay in 30-40% of the openings
- A true restoration process is not able to be implemented for these windows. Painting and Glazing Repair can be done; however, this approach does not address the described window issues.

Replacement Method

- All existing window components to be removed and disposed of; abatement may be required. Wood blocking to be set in the jamb cavity to fill the weight box void.
- New windows to be set with exterior aluminum brickmould and sill components replicating historic exterior casework. New Double Hung or Single Hung windows would be set and fastened in place. Prior to this install all cavities would be insulated.
- Windows would be cleaned, adjusted, and the perimeter caulked at the masonry intersection. New casework would be installed and finished.

Cost Estimate Comparison (all windows)

- Replacement:
\$94k [wood] + \$45k [9710 steel] + \$261k [9730 steel]
+ \$19k [new openings] + \$10k [repair fixed decorative windows]
= **\$429,000** [total]
- Paint & Glazing Repair:
\$49.5k [wood] + \$37k [9710 steel] + \$165k [9730 steel]
+ \$19k [new openings] + \$10k [repair fixed decorative windows]
= **\$280,500** [total]

* Note: Cost estimate includes material, tax on material, labor (non-union, non-prevailing wage), employment cost, insurance, staging, shop drawings & supervision. Cost estimate does NOT include new casework or associated painting in replacement est; neither interior painting, balance repair, or new storms in painting & glazing repair

Detailed Scope of Work

Existing Steel Window Replacement

See Appendix for Window Assessment from Blackberry



9710 W Outer Dr existing conditions, steel windows

9710 & 9730 W Outer Dr Existing Steel Windows
Steel construction set in wood framed, masonry opening with stone sills, *highlighted in red*; include all bathroom, Level 00, & 9730 windows.

Cause for Replacement

- The weather stripping is rusted and the tape balancers are typically bent, crimped, or torn, making the operation and sash movement stiff and resistant
- There isn't a tight seal at the points of weatherstripping between the sash and master frame causing air infiltration and condensation, which has caused corrosion on the interior painted surfaces
- The exterior paint is worn, peeling, and/or allowing rust and corrosion to bleed thru to the surface
- The butt joint tubular steel framing has mild-to-heavy corrosion at the exterior sill, the sash, and frame joinery
- The storm windows have many broken track guides and failing corner joinery, trapping water on the exterior sill creating rust and corrosion
- The glazing compound is falling out and failing on all sashes
- The exterior perimeter caulking is failing and coming loose from the masonry
- The locks are bent/broken in over 80% of all windows
- These windows do not lend themselves to restoration, as the components are in poor condition and no replacement parts are available; leaving the sashes in place will not resolve the described issues

Replacement Method

- All existing window components to be removed and disposed of; abatement may be required. Wood blocking to be set in the jamb cavity.
- Repair fixed decorative windows in the common area stairs wells only.
- New windows to be set directly in the masonry openings and anchored to the wood blocking. Prior to this installation all voids would be insulated.
- Interior plaster returns to be repaired.
- Perimeter caulking to be applied on the interior and exterior, and windows to be cleaned and adjusted.

Cost Estimate Comparison (all windows)

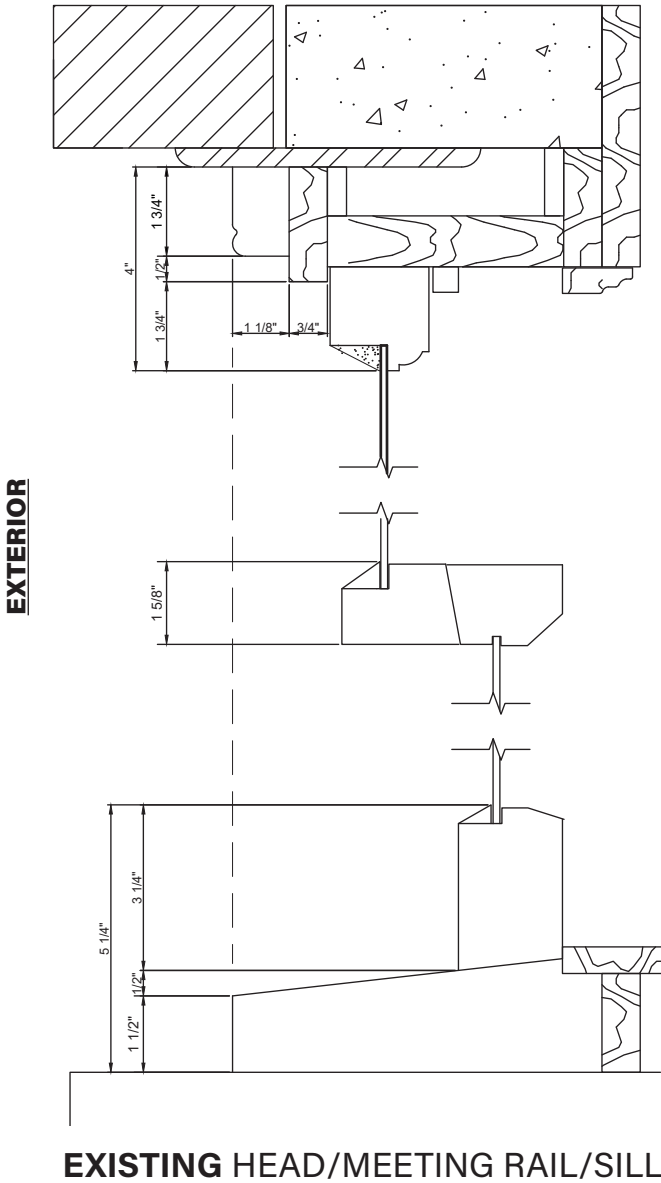
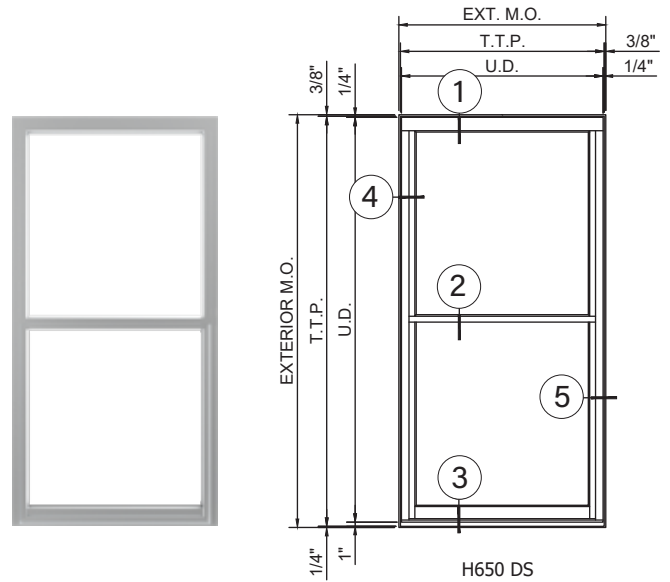
- Replacement:
\$94k [wood] + \$45k [9710 steel] + \$261k [9730 steel]
+ \$19k [new openings] + \$10k [repair fixed decorative windows]
= **\$429,000** [total]
- Paint & Glazing Repair:
\$49.5k [wood] + \$37k [9710 steel] + \$165k [9730 steel]
+ \$19k [new openings] + \$10k [repair fixed decorative windows]
= **\$280,500** [total]

* Note: Cost estimate includes material, tax on material, labor (non-union, non-prevailing wage), employment cost, insurance, staging, shop drawings & supervision. Cost estimate does NOT include new casework or associated painting in replacement est; neither interior painting, balance repair, or new storms for painting & glazing repair est.

Existing Wood Window Replacement

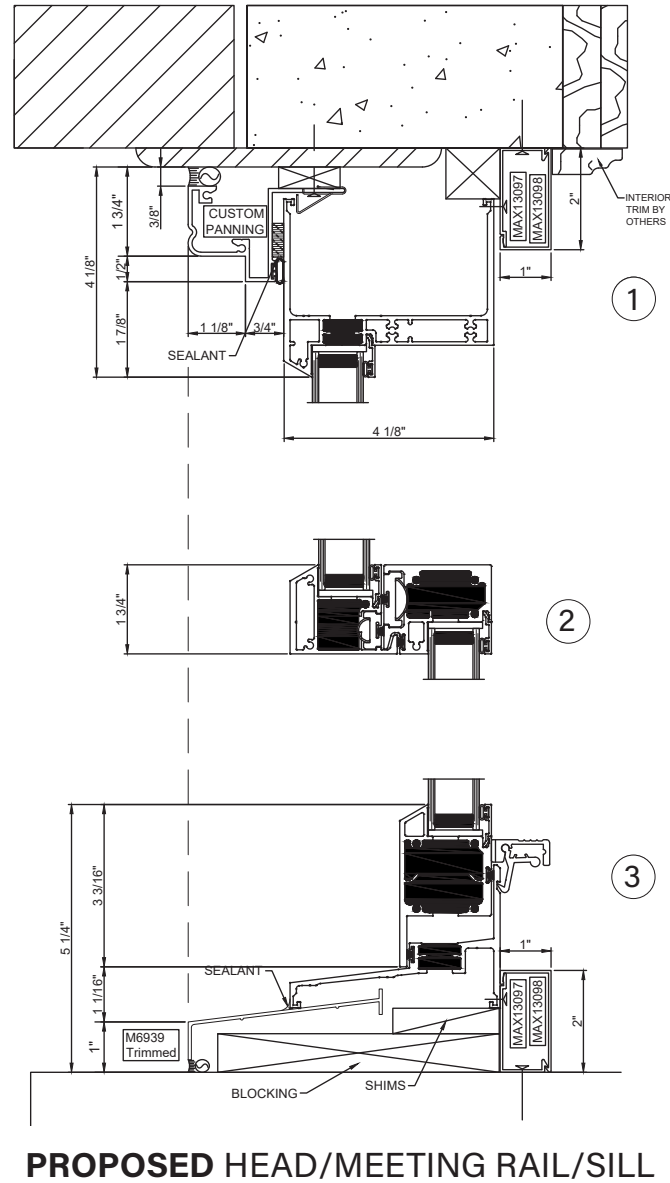
Existing & Proposed Details

Proposed wood window replacement: Quaker H650 DS, thermally-broken aluminum window with custom brick mould, muntins (3-part SDL, pattern to match existing) and mullions (where applicable). This approach will provide a well-functioning, energy efficient replication of the original windows.



EXTERIOR

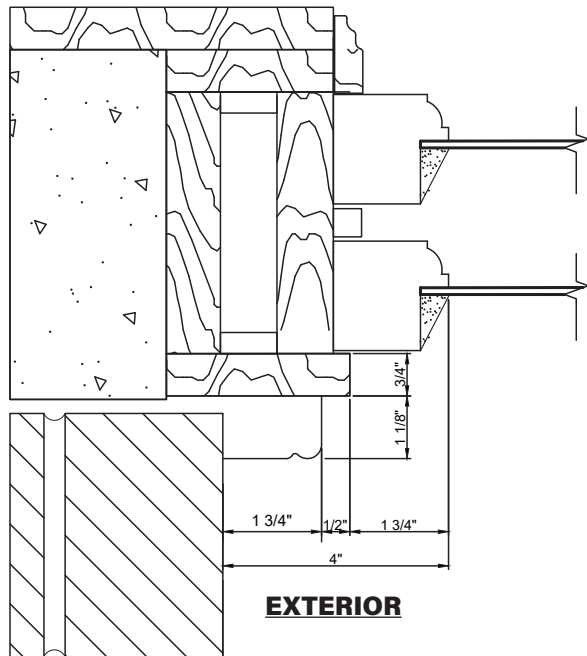
EXISTING HEAD/MEETING RAIL/SILL



PROPOSED HEAD/MEETING RAIL/SILL

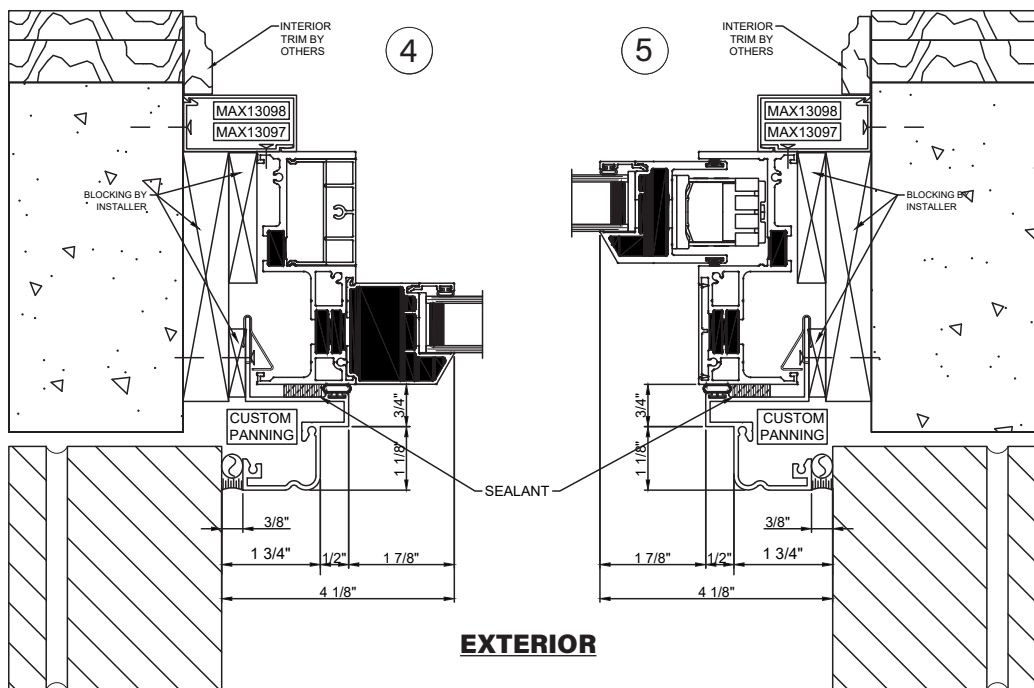
Existing Wood Window Replacement

Existing & Proposed Details Cont.



Exterior view, Quaker Series H650
(Asteri Apts, Utica NY)

EXISTING JAMB

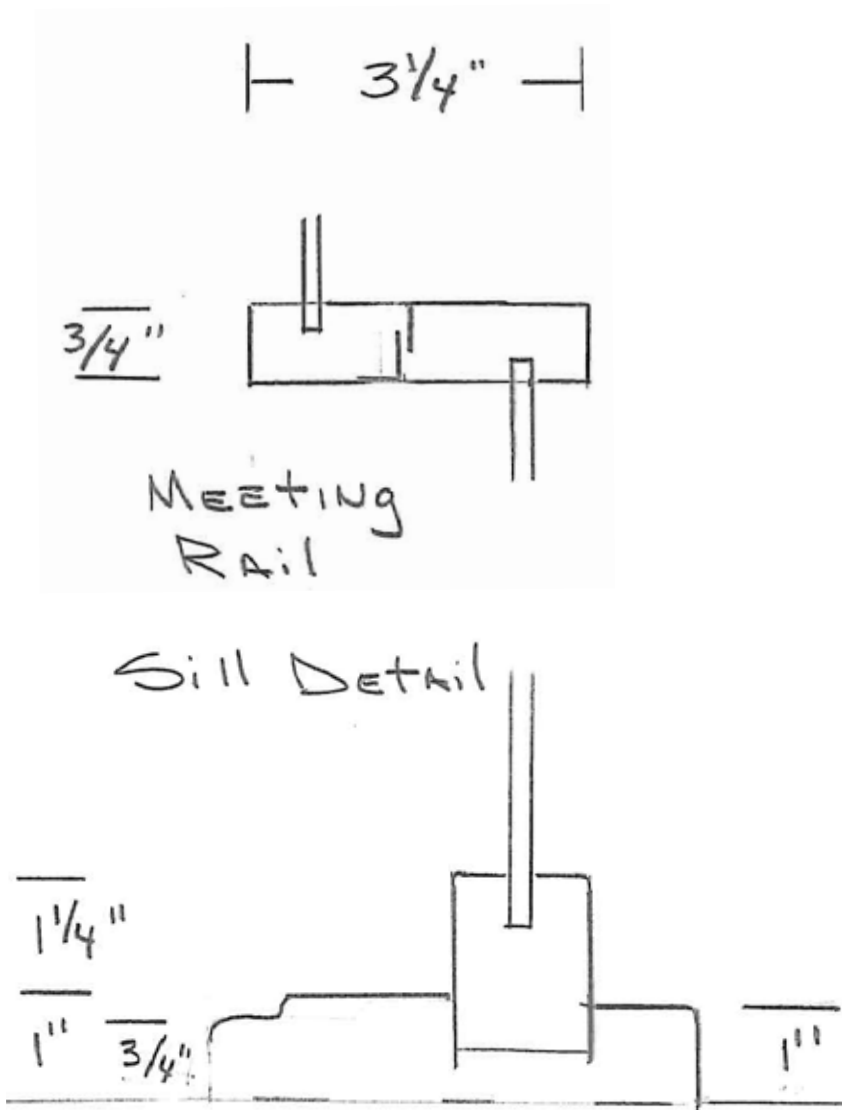


PROPOSED JAMB

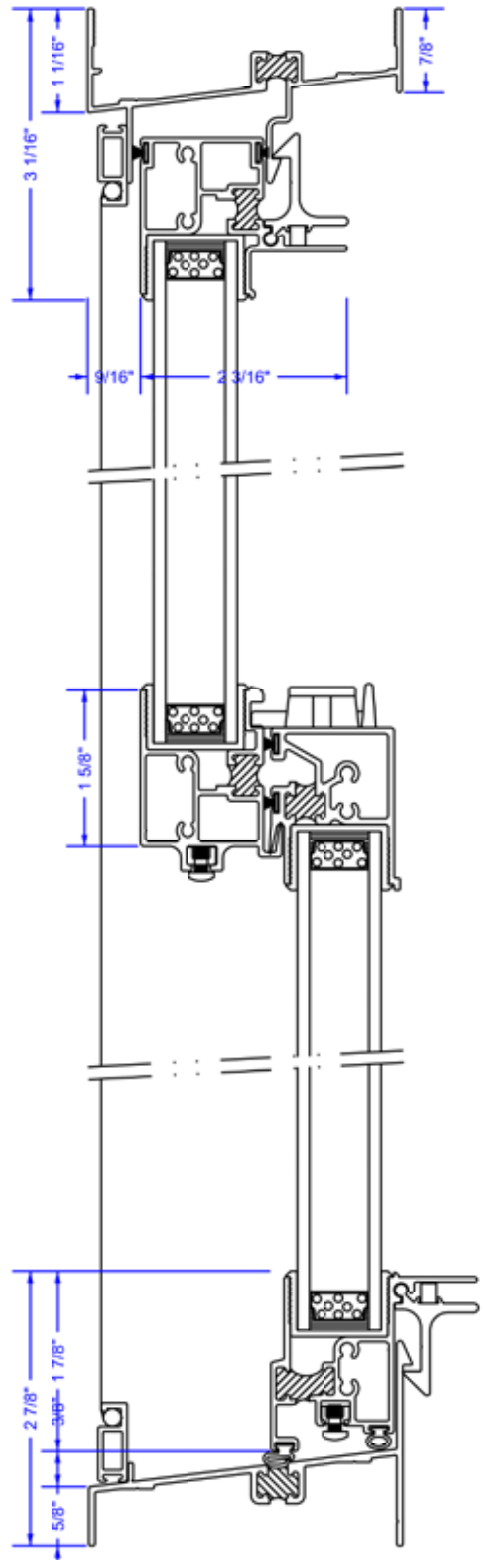
Existing Steel Window Replacement

Existing & Proposed Details

Proposed steel window replacement:
 Thermal Windows, Inc. Series 700 double hung
 thermally broken aluminum window with custom
 brick mould, muntins (3-part SDL, pattern to
 match existing) and mullions (where applicable).
 This approach will provide a well-functioning,
 energy efficient replacement of the original
 windows with the closest available profile to
 existing. See appendix.



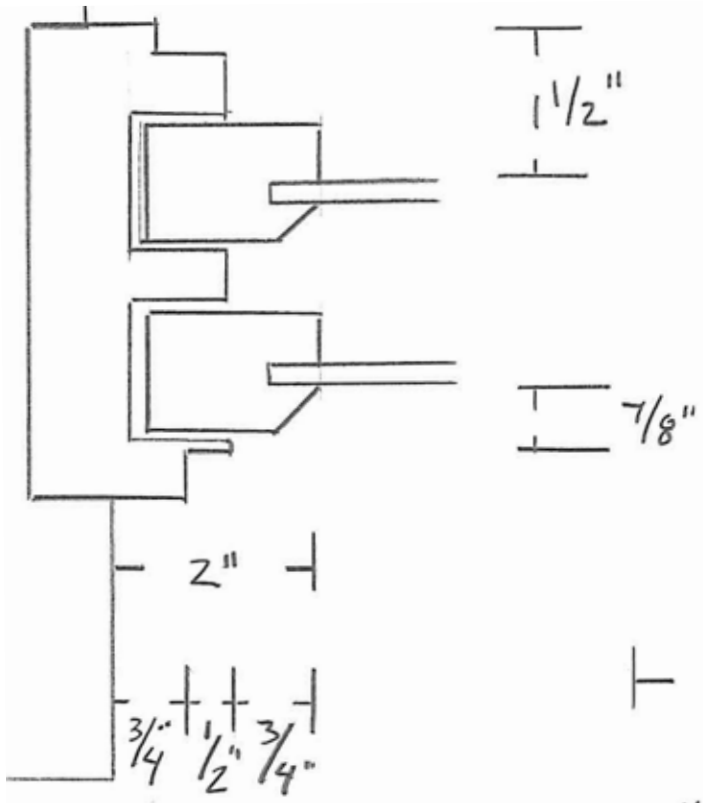
EXISTING HEAD/MEETING RAIL/SILL



PROPOSED HEAD/MEETING RAIL/SILL

Existing Steel Window Replacement

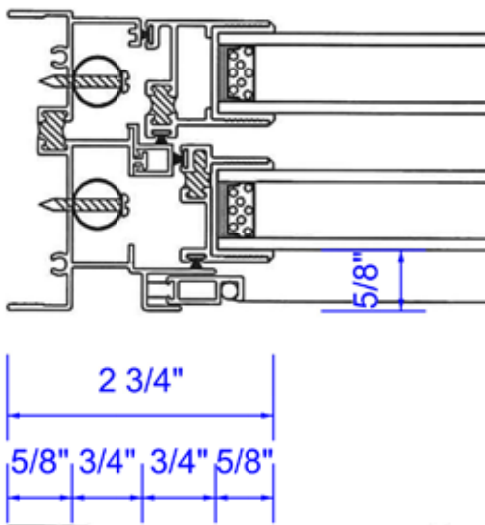
Existing & Proposed Details Cont.



EXISTING JAMB



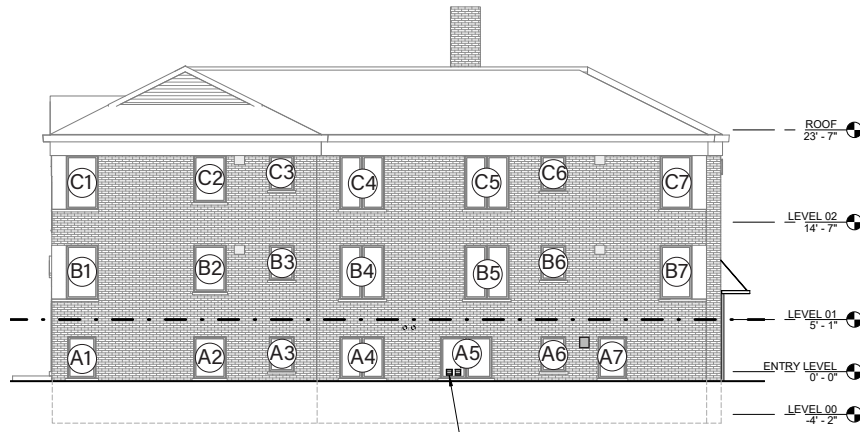
Exterior view, Thermal Windows Series 700
(Palace Apts, Tulsa OK)



PROPOSED JAMB

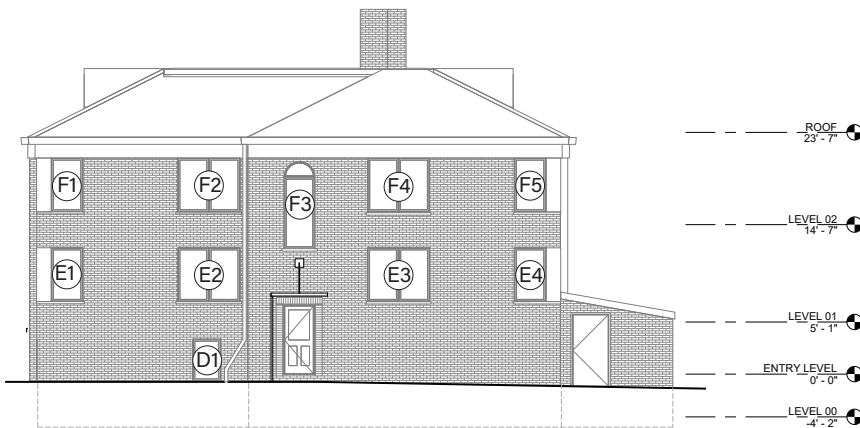
Window Replacement

9710 W Outer Dr Elevations - Existing + New



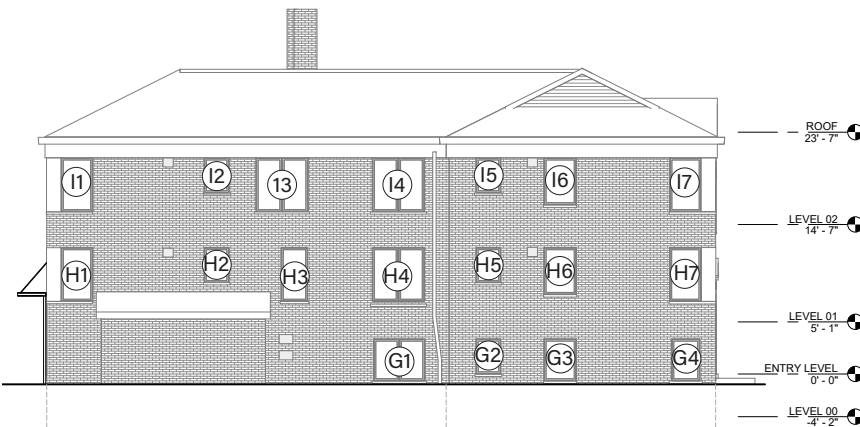
North Elevation

- All existing wood and steel windows to be replaced
- All window locations to remain as existing
- No new window openings
- New louvered dryer vents at A5 for new W/D at Laundry
- Existing brick vents to remain & new vent added for mech.



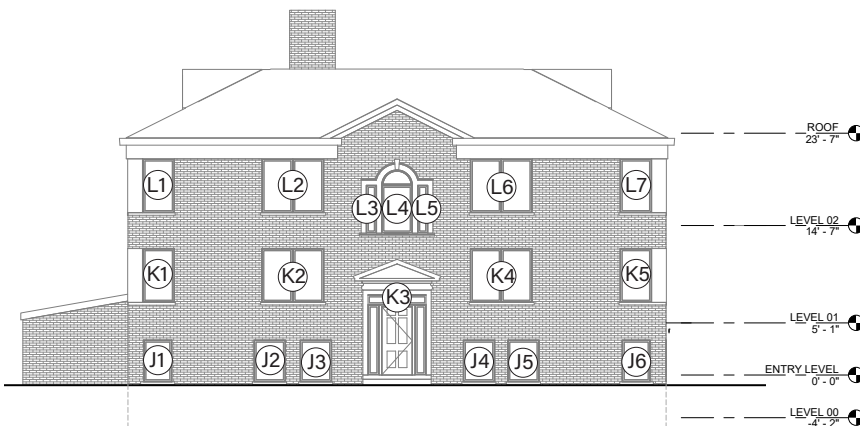
West Elevation

- All existing wood and steel windows to be replaced; exception: existing fixed steel window at stairwell to be repaired
- All window locations to remain as existing
- No new window openings



South Elevation

- All existing wood and steel windows to be replaced
- All window locations to remain as existing
- No new window openings
- Existing brick vents to remain

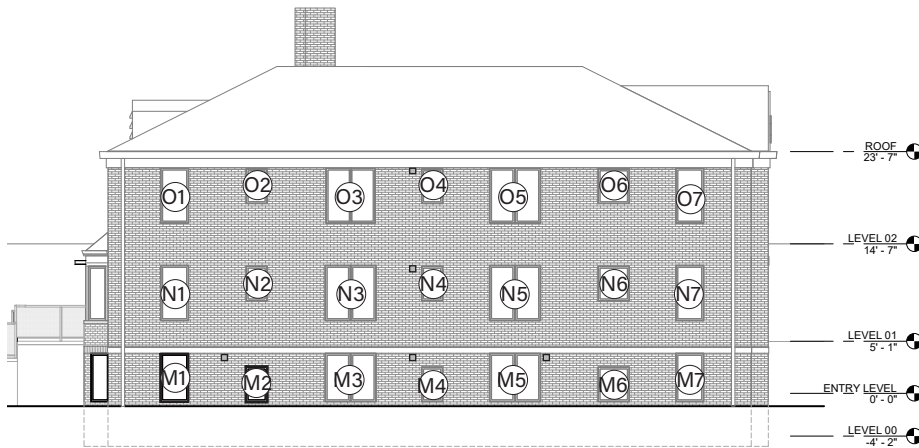


East Elevation

- All existing wood and steel windows to be replaced; exception: existing fixed steel window at stairwell to be repaired
- All window locations to remain as existing
- No new window openings

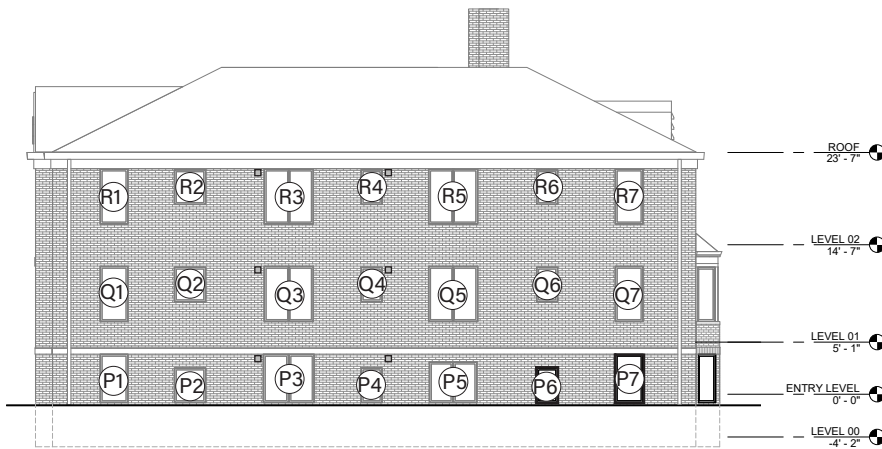
Window Replacement

9730 W Outer Dr Elevations - Existing + New



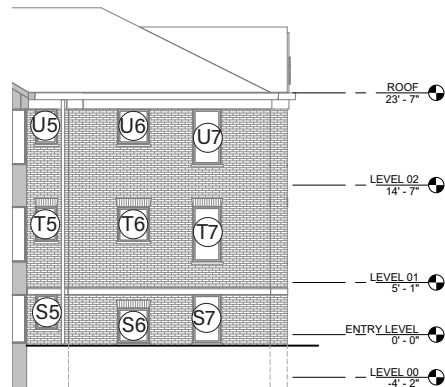
South Elevation

- All existing steel windows to be replaced & existing window locations to remain
- New window openings at M1 & M2 at existing masonry wall (see photos, pg 3) Remove existing masonry for openings
- New brick vents installed



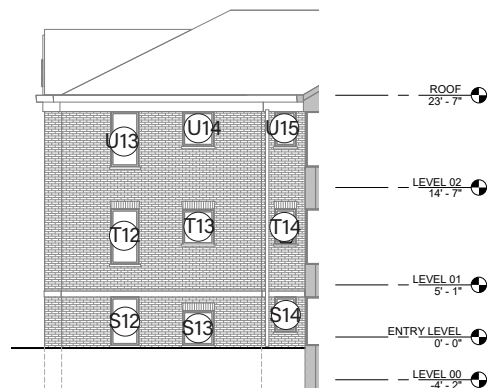
North Elevation

- All existing steel windows to be replaced & existing window locations to remain
- New window openings at P6 & P7 at exist. masonry wall (see photos, pg 3)
- Remove existing masonry to create openings
- New brick vents installed



South Courtyard Elevation

- All existing steel windows to be replaced & existing window locations to remain
- No new window openings

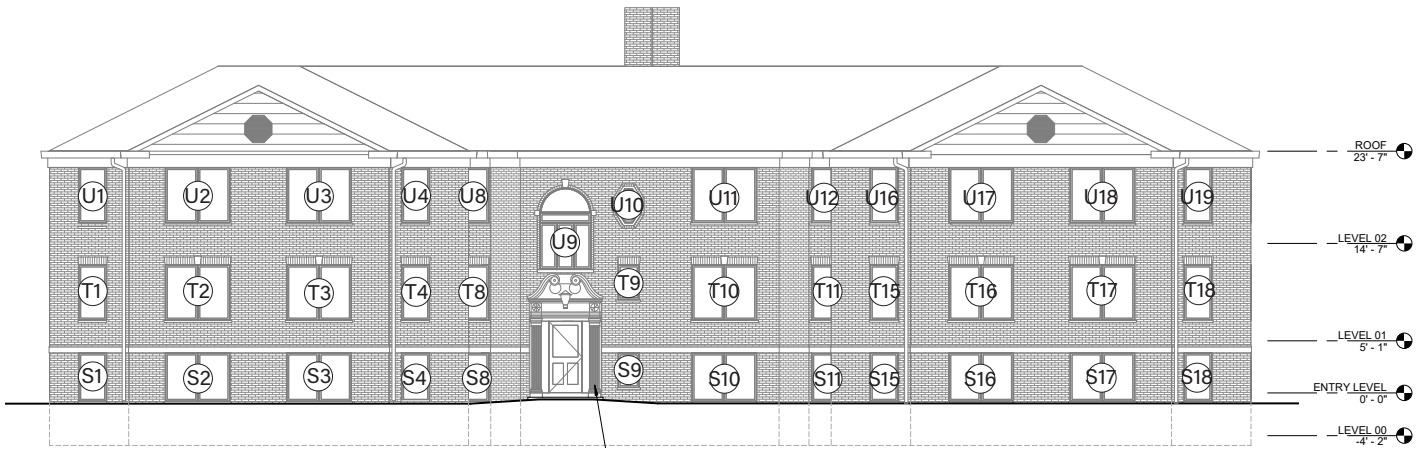


North Courtyard Elevation

- All existing steel windows to be replaced & existing window locations to remain
- No new window openings

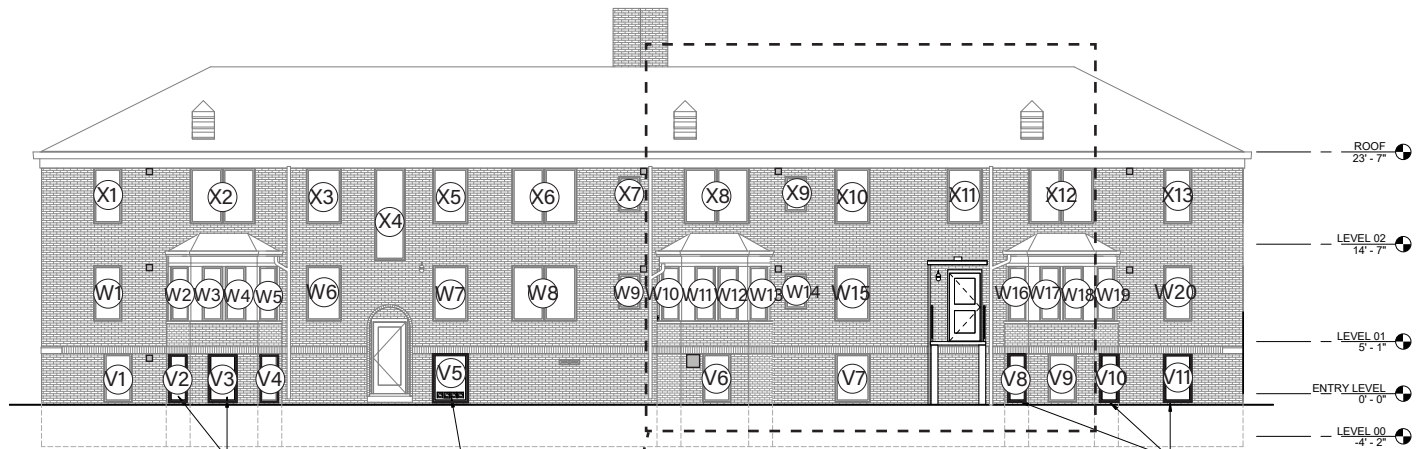
Window Replacement

9730 W Outer Dr Elevations - Existing + New



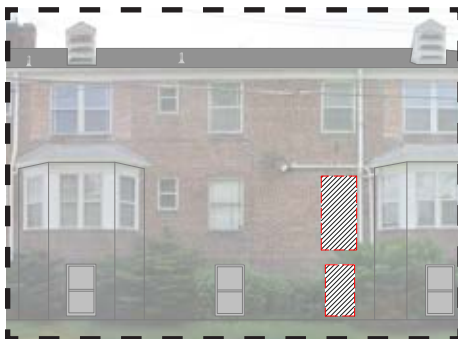
East Elevation

- All existing steel windows to be replaced; exception: existing fixed steel window at stairwell to be repaired
- No new window openings & existing window locations to remain



West Elevation

- All existing steel windows to be replaced; exception: existing fixed steel window at stairwell to be repaired
- Existing window locations to remain as existing, excluding (2) existing windows to be demolished for new accessible entry & ramp (see Demo Elevation & pg 1)
- New window openings at V2, V3, V4, V5, V8, V10, V11 & new door at existing masonry wall (see photos, pg 1)
- Remove existing masonry for openings
- New brick vents installed

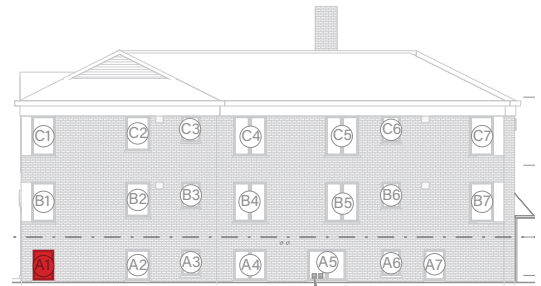


Demolition Elevation
@ New Accessible Entry

See Appendix for Structural Assessment

Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - North Elevation

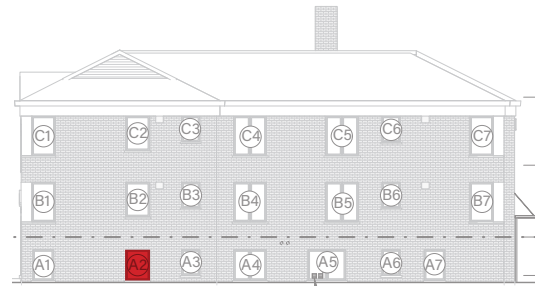
Window A1, Type D1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - North Elevation

Window A2, Type F1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - North Elevation

Window A3, Type G1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

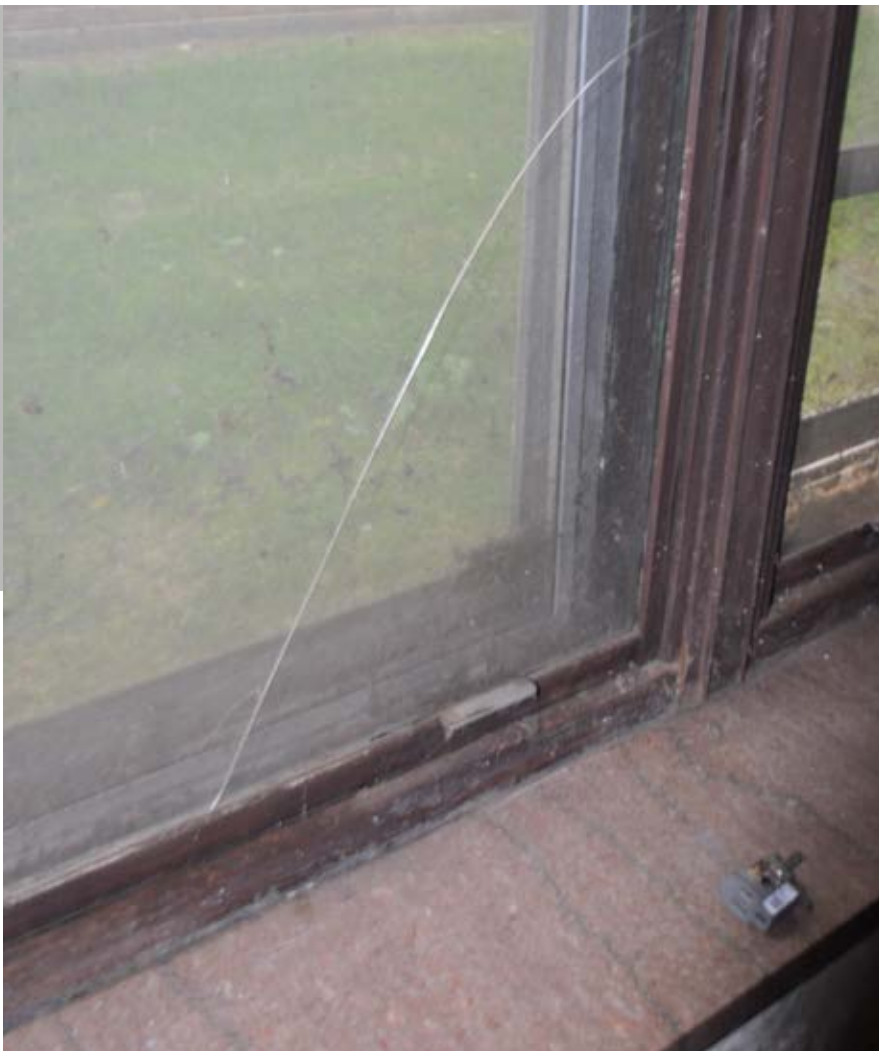


Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - North Elevation



Window A4, Type L1

- Broken Glass
- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



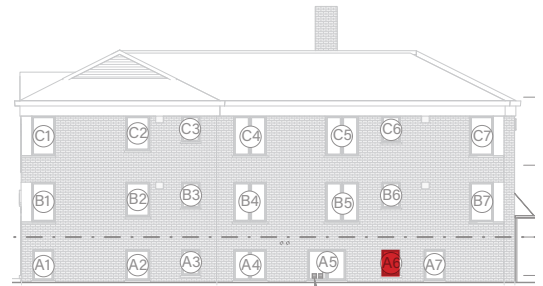
9710 W Outer Dr - North Elevation

Window A5, Type H1

- Broken Glass
- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



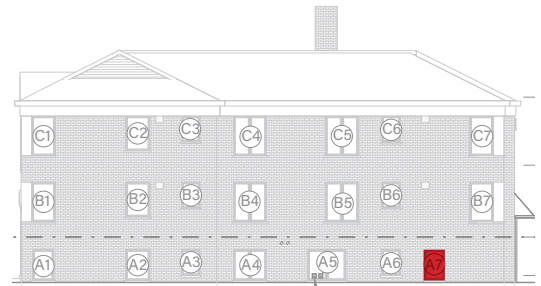
9710 W Outer Dr - North Elevation

Window A6, Type G1

- Broken Glass
- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



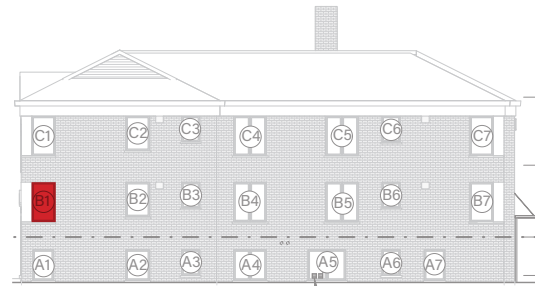
9710 W Outer Dr - North Elevation

Window A7, Type D2

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



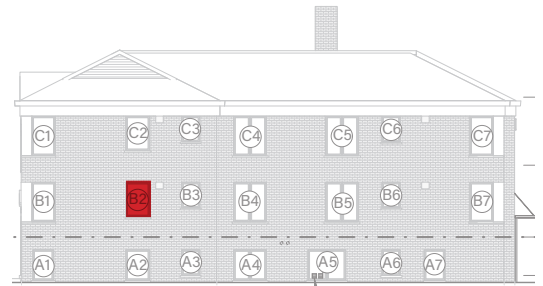
9710 W Outer Dr - North Elevation

Window B1, Type A1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - North Elevation

Window B2, Type E1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - North Elevation

Window B3, Type G1

- Broken Balance
- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



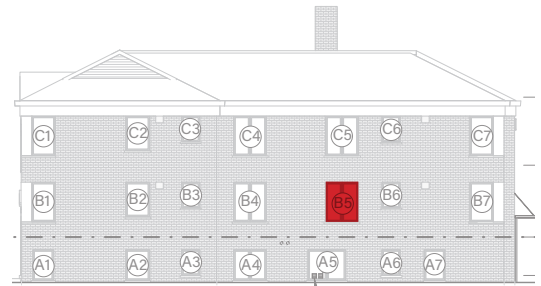
9710 W Outer Dr - North Elevation

Window B4, Type K1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



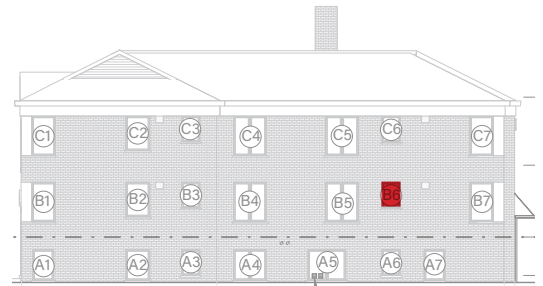
9710 W Outer Dr - North Elevation

Window B5, Type K1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



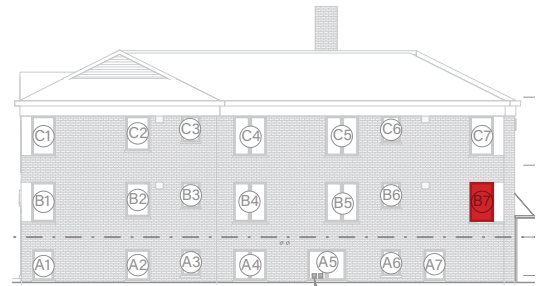
9710 W Outer Dr - North Elevation

Window B6, Type G1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



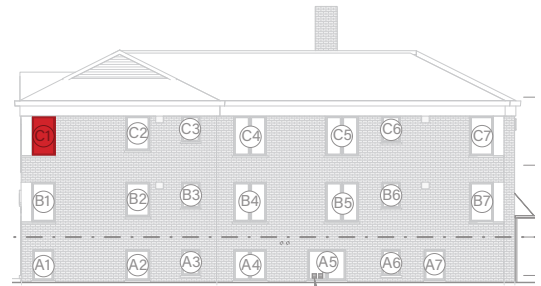
9710 W Outer Dr - North Elevation

Window B7, Type A1

- Badly Rotted
- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - North Elevation

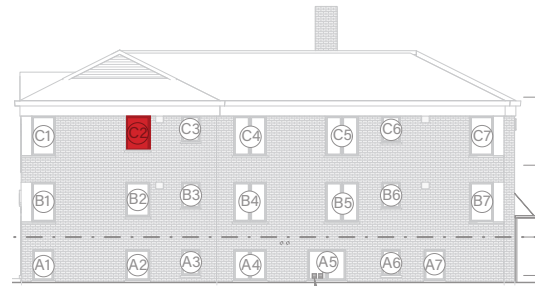
Window C1, Type A1

- Broken Glass
- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - North Elevation

Window C2, Type E1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



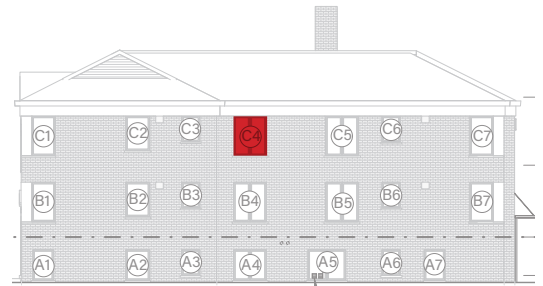
9710 W Outer Dr - North Elevation

Window C3, Type G1

- Broken Glass
- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



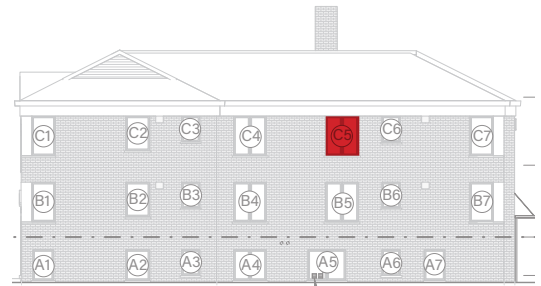
9710 W Outer Dr - North Elevation

Window C4, Type K1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - North Elevation

Window C5, Type K1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



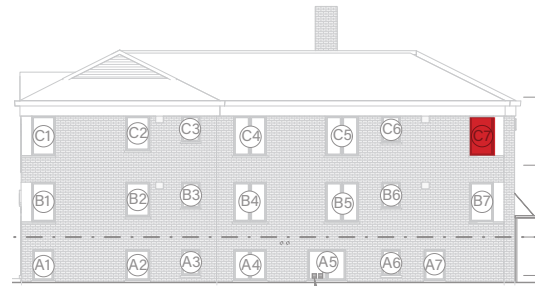
9710 W Outer Dr - North Elevation

Window C6, Type G1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - North Elevation

Window C7, Type A1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



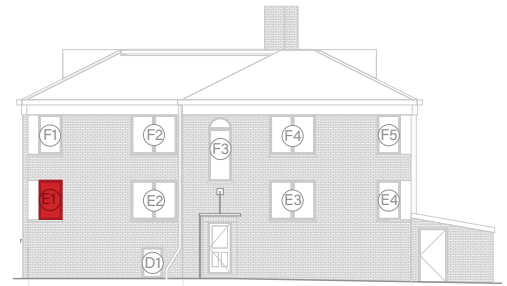
9710 W Outer Dr - West Elevation

Window D1, Type D1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



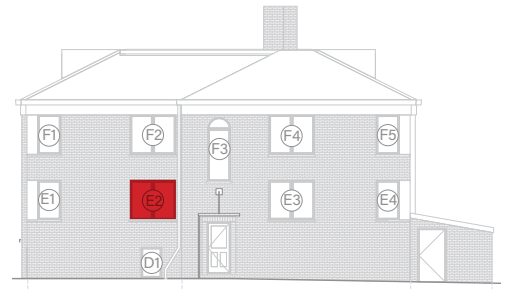
9710 W Outer Dr - West Elevation

Window E1, Type A1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



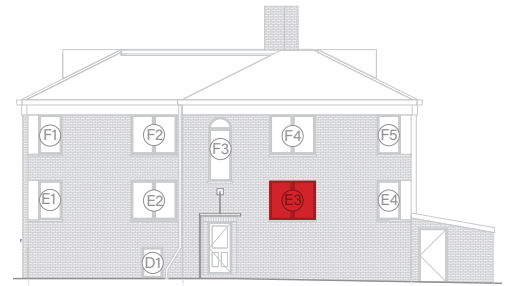
9710 W Outer Dr - West Elevation

Window E2, Type B1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - West Elevation

Window E3, Type B1

- Exterior Split Sill
- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



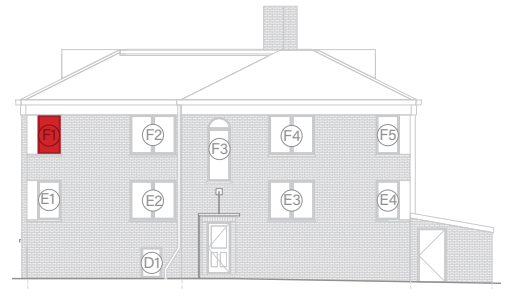
9710 W Outer Dr - West Elevation

Window E4, Type A1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



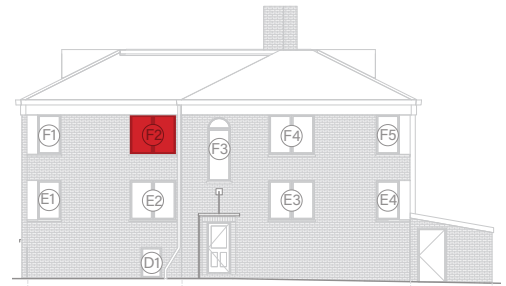
9710 W Outer Dr - West Elevation

Window F1, Type A1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



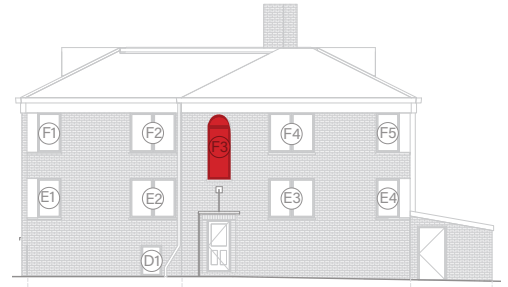
9710 W Outer Dr - West Elevation

Window F2, Type B1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Repair

Existing Conditions Detail Photos



9710 W Outer Dr - West Elevation

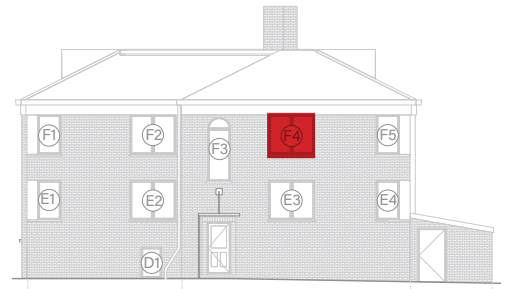
Window F3, Type S1

- Existing Fixed Window at Common Area Stairwell to be repaired
- See Appendix for Window Schedule & Measurements
- See Window Assessment & Survey by Blackberry in appendices for further details and information



Window Replacement

Existing Conditions Detail Photos



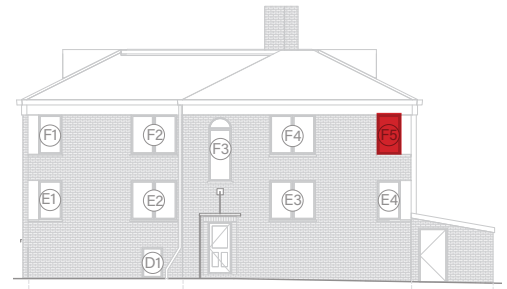
9710 W Outer Dr - West Elevation

Window F4, Type B1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



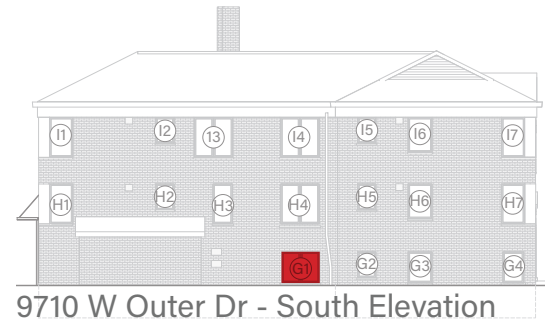
9710 W Outer Dr - West Elevation

Window F5, Type A1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



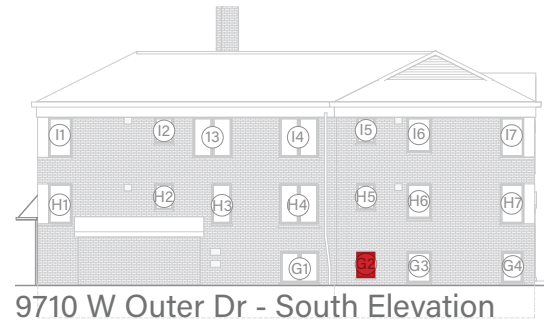
9710 W Outer Dr - South Elevation

Window G1, Type H1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - South Elevation

Window G2, Type G1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



Window G3, Type F2

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



Window G4, Type D1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - South Elevation

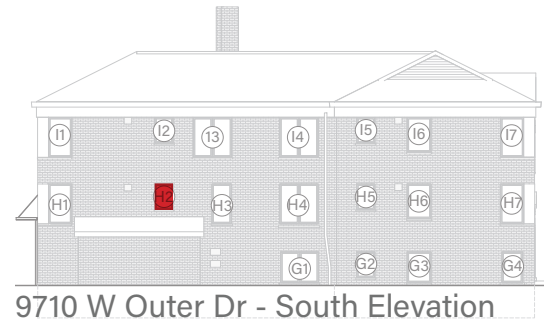
Window H1, Type A1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



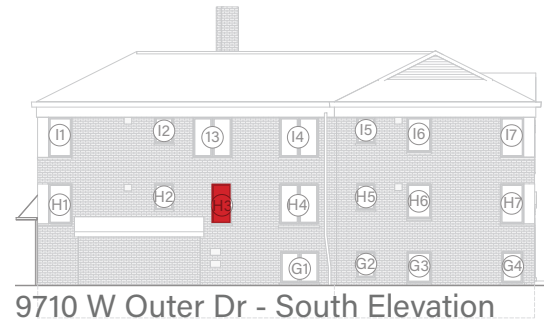
9710 W Outer Dr - South Elevation

Window H2, Type G1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



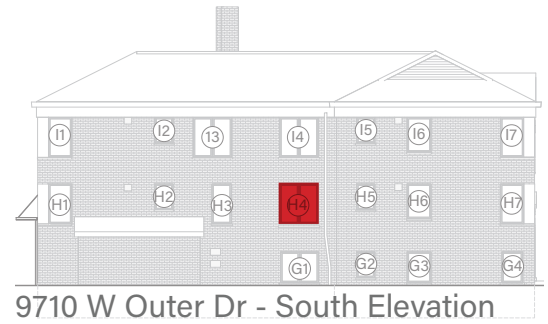
Window H3, Type J1

- Exterior Rotted Sill
- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - South Elevation

Window H4, Type I1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - South Elevation

Window I1, Type A1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - South Elevation

Window I2, Type G1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - South Elevation

Window I3, Type I1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - South Elevation

Window I4, Type I1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



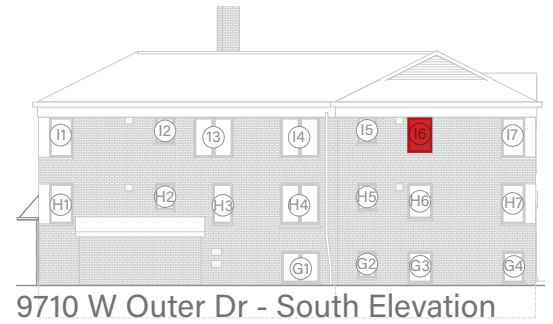
Window I5, Type G1

- Broken Glass
- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - South Elevation

Window I6, Type E2

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



Window 17, Type A1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation

Window J1, Type D1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation

Window J2, Type C1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation

Window J3, Type C1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation

Window J4, Type C1

- Badly Rotted
- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation

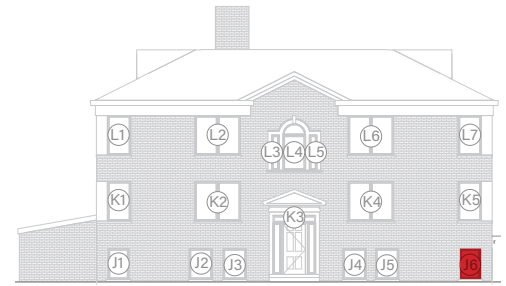
Window J5, Type C1

- Badly Rotted
- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation

Window J6, Type D1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation

Window K4, Type B1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation

Window K5, Type A1

- Broken Glass
- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation

Window L1, Type A1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



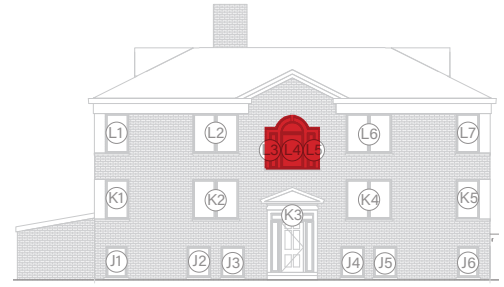
9710 W Outer Dr - East Elevation

Window L2, Type B1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Repair

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation



Window L3, Type S3

Window L4, Type S2

Window L5, Type S3

- Existing Fixed Window at Common Area Stairwell to be repaired
- See Appendix for Window Schedule & Measurements
- See Window Assessment & Survey by Blackberry in appendices for further details and information



Window Replacement

Existing Conditions Detail Photos



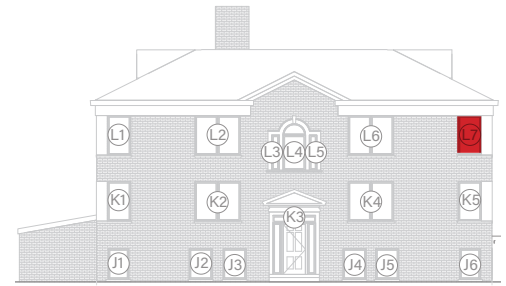
9710 W Outer Dr - East Elevation

Window L6, Type B1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation

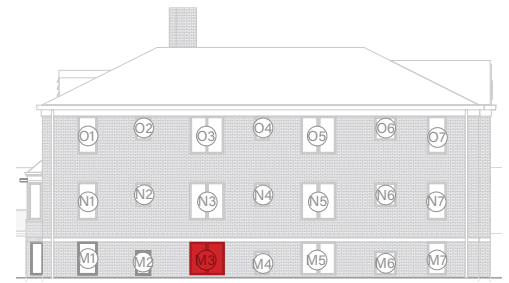
Window L7, Type A1

- Note: Extent of exterior deterioration, dry rot, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



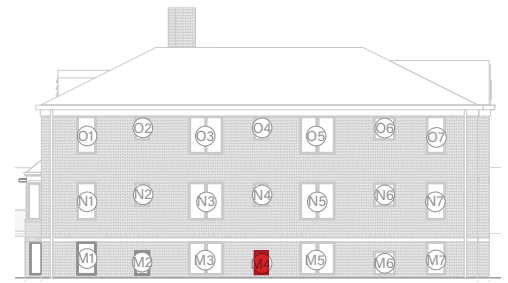
9730 W Outer Dr - South Elevation

Window M3, Type Y1

- Badly Corroded
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



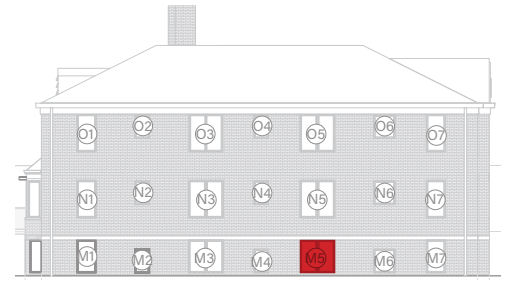
9730 W Outer Dr - South Elevation

Window M4, Type U2

- Badly Corroded
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



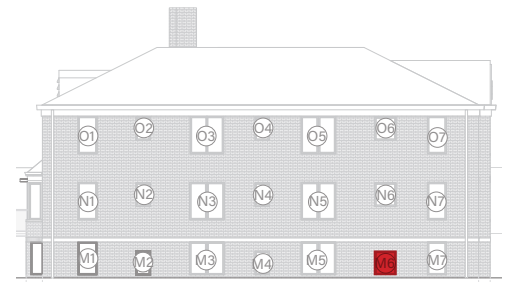
9730 W Outer Dr - South Elevation

Window M5, Type Y1

- Badly Corroded
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



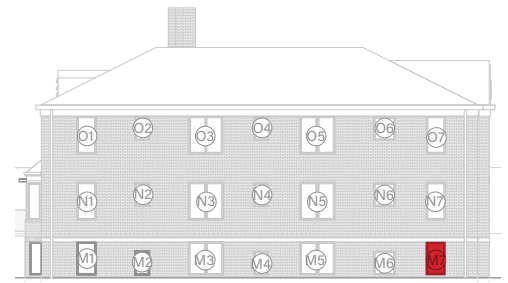
9730 W Outer Dr - South Elevation

Window M6, Type T2

- Badly Corroded
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - South Elevation

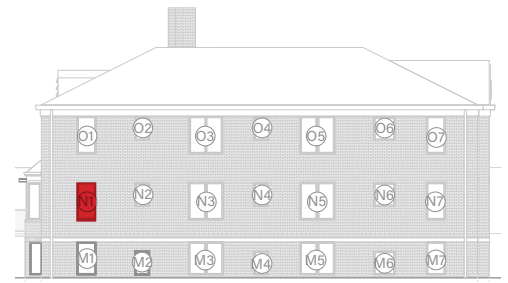
Window M7, Type M2

- Badly Corroded
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



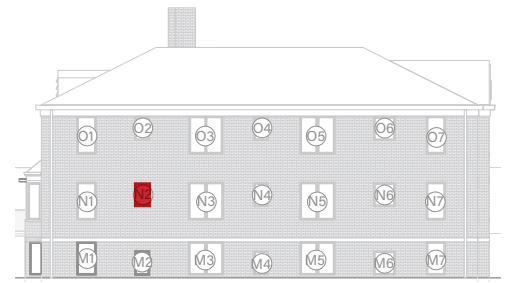
9730 W Outer Dr - South Elevation

Window N1, Type N2

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



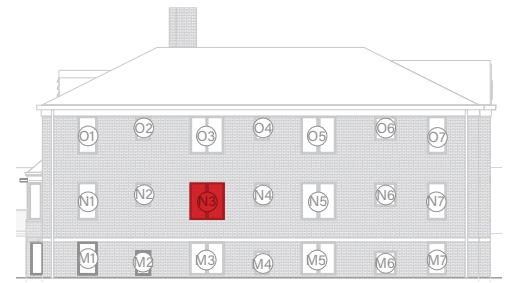
9730 W Outer Dr - South Elevation

Window N2, Type U2

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



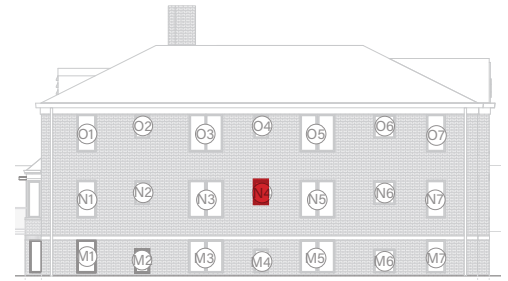
9730 W Outer Dr - South Elevation

Window N3, Type Z1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - South Elevation

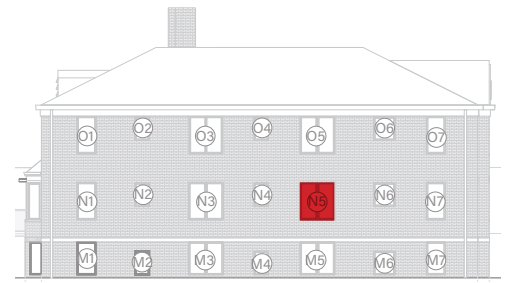
Window N4, Type U2

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



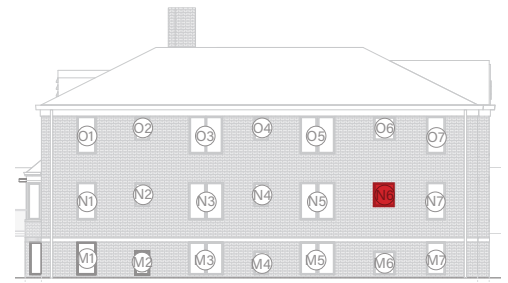
9730 W Outer Dr - South Elevation

Window N5, Type Z1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



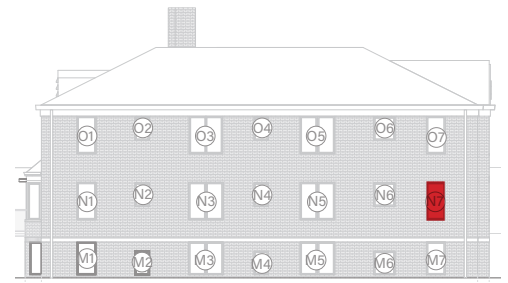
9730 W Outer Dr - South Elevation

Window N6, Type T2

- Broken Glass
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - South Elevation

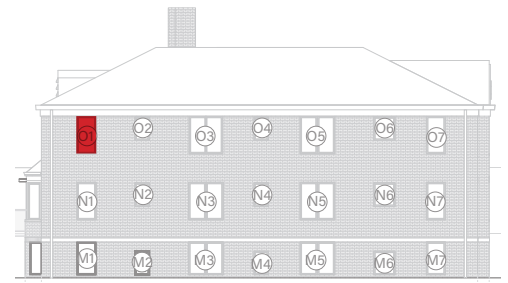
Window N7, Type N2

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - South Elevation

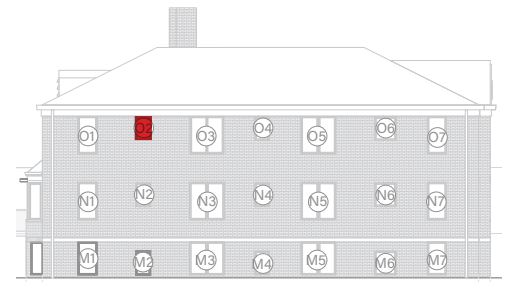
Window O1, Type N2

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



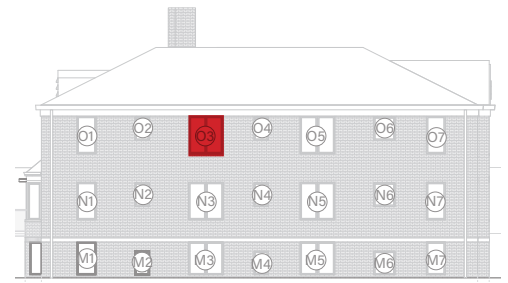
9730 W Outer Dr - South Elevation

Window O2, Type U2

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



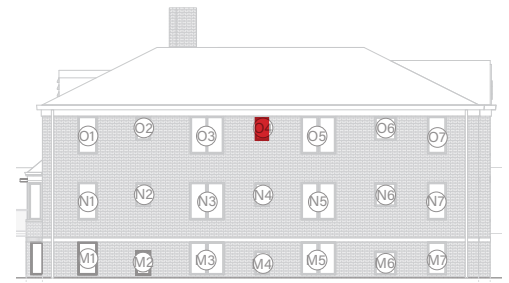
9730 W Outer Dr - South Elevation

Window O3, Type Z1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - South Elevation

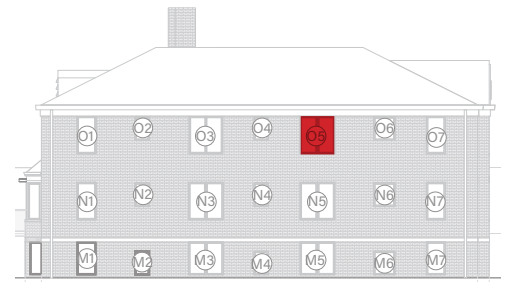
Window O4, Type U2

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



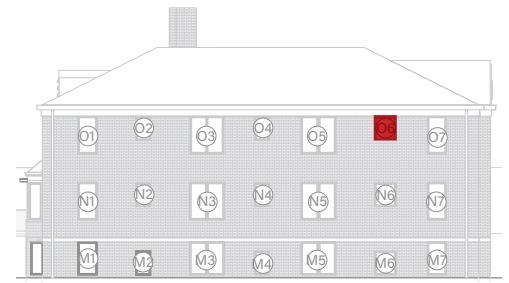
9730 W Outer Dr - South Elevation

Window O5, Type Z1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



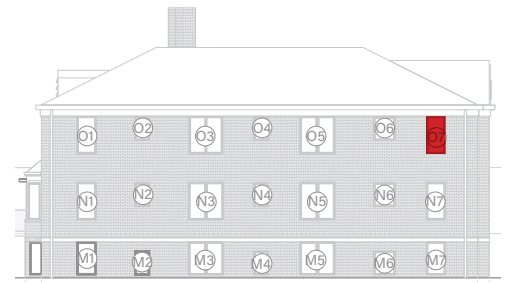
9730 W Outer Dr - South Elevation

Window O6, Type T2

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

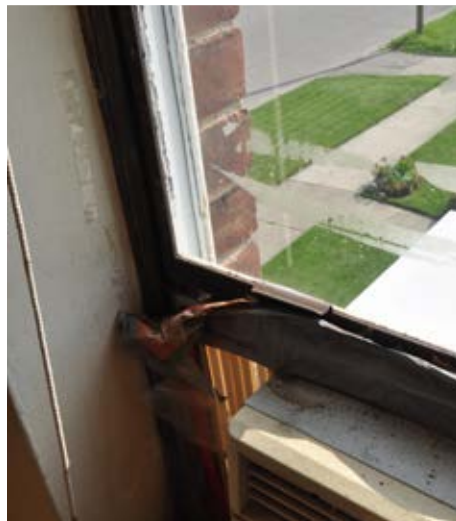
Existing Conditions Detail Photos



9730 W Outer Dr - South Elevation

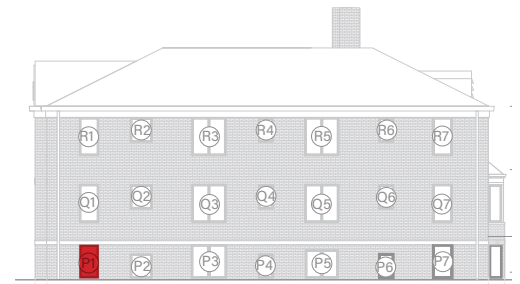
Window O7, Type N2

- Badly Corroded
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - North Elevation

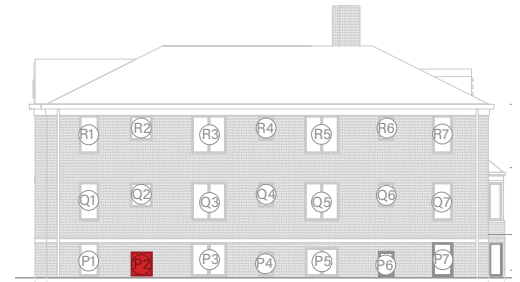
Window P1, Type M2

- Badly Corroded
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



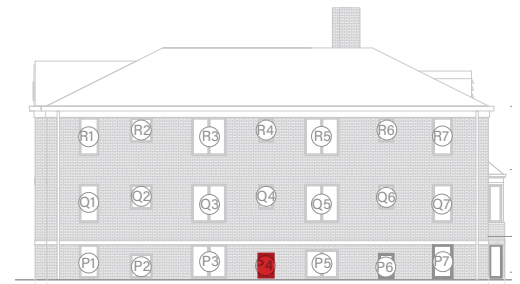
9730 W Outer Dr - North Elevation

Window P2, Type T2

- Badly Corroded
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - North Elevation

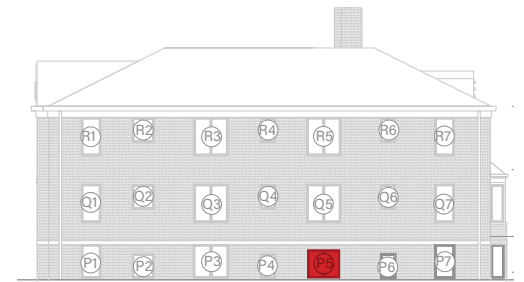
Window P4, Type U2

- Badly Corroded
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - North Elevation

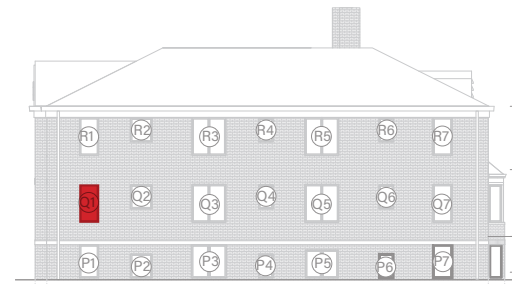
Window P5, Type Y1

- Badly Corroded
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



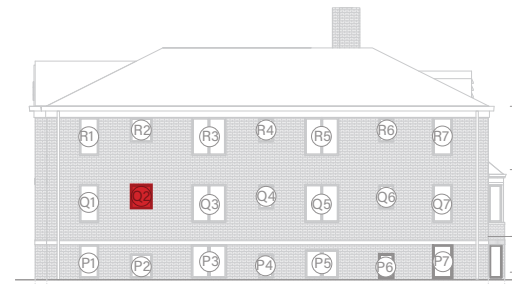
9730 W Outer Dr - North Elevation

Window Q1, Type N2

- Badly Corroded
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



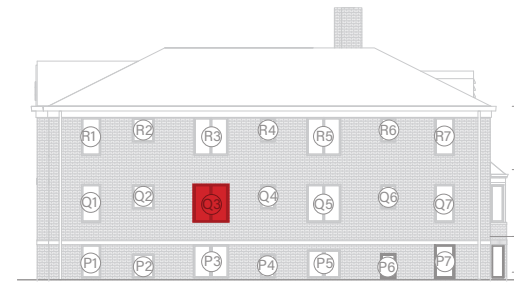
9730 W Outer Dr - North Elevation

Window Q2, Type T2

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



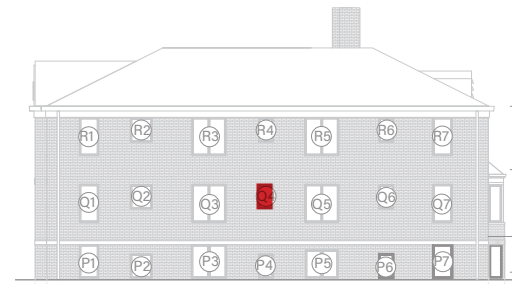
9730 W Outer Dr - North Elevation

Window Q3, Type Z1

- Badly Corroded
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



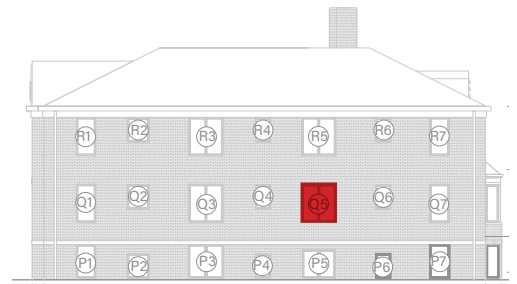
9730 W Outer Dr - North Elevation

Window Q4, Type U2

- Badly Corroded
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



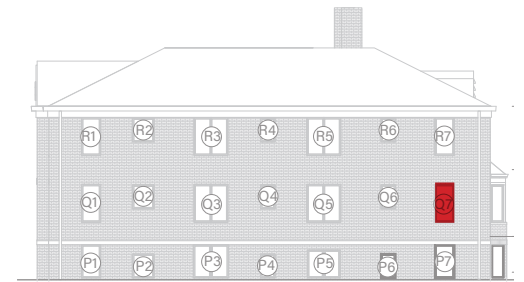
9730 W Outer Dr - North Elevation

Window Q5, Type Z1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - North Elevation

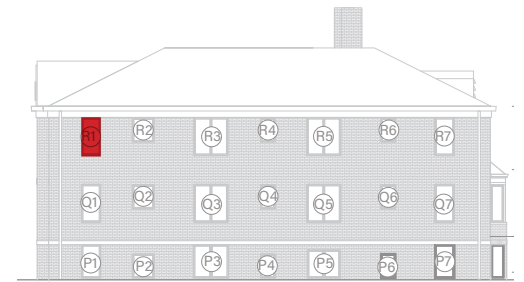
Window Q7, Type N2

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - North Elevation

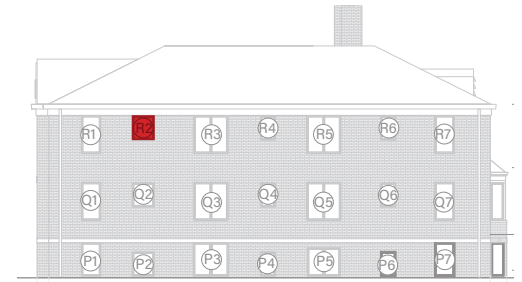
Window R1, Type N2

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - North Elevation

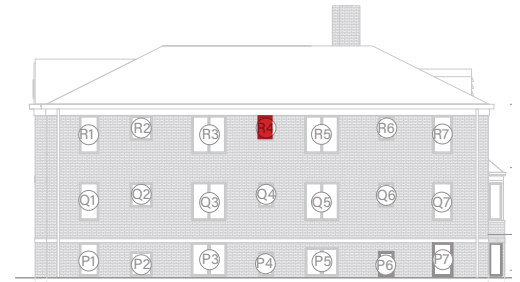
Window R2, Type T2

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - North Elevation

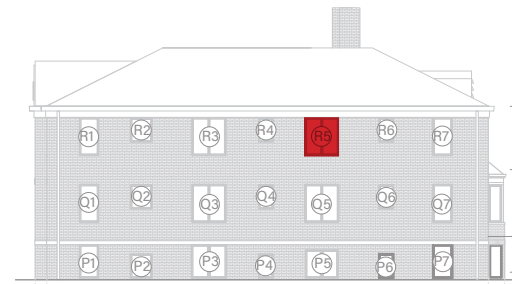
Window R4, Type U2

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - North Elevation

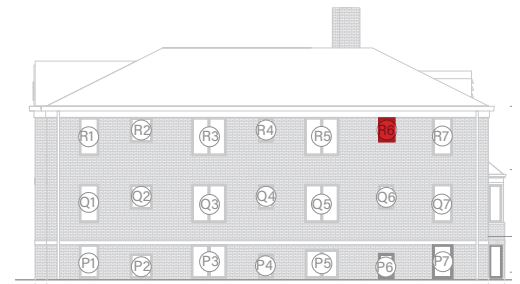
Window R5, Type Z1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - North Elevation

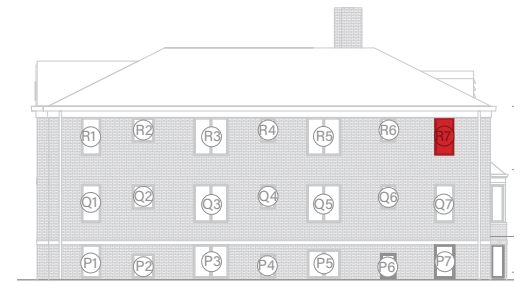
Window R6, Type U2

- Broken Glass
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - North Elevation

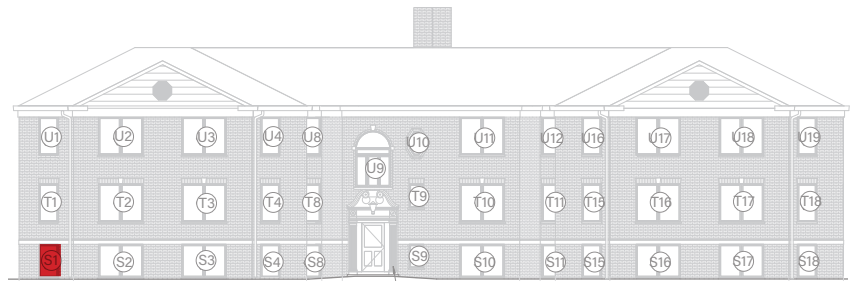
Window R7, Type N2

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - East Elevation



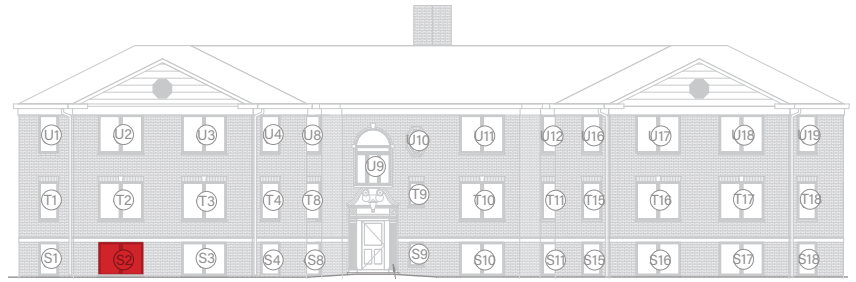
Window S1, Type M1

- Badly Corroded
- Broken Glass
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - East Elevation

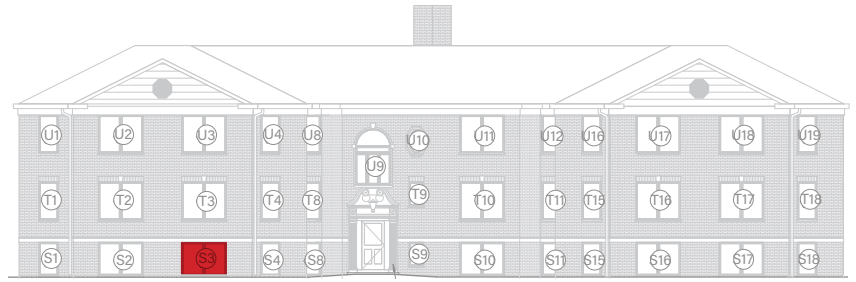


Window S2, Type O1

- Badly Corroded
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - East Elevation



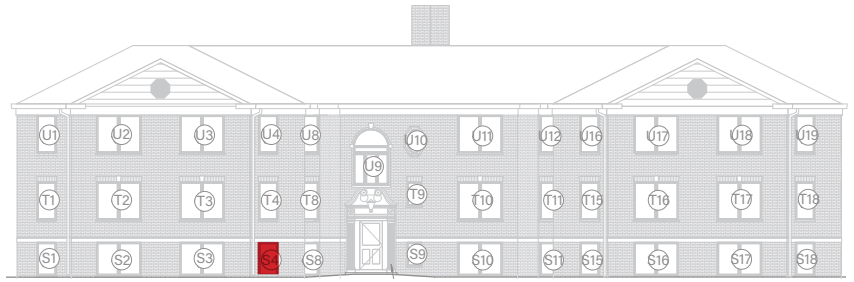
Window S3, Type O1

- Badly Corroded
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - East Elevation



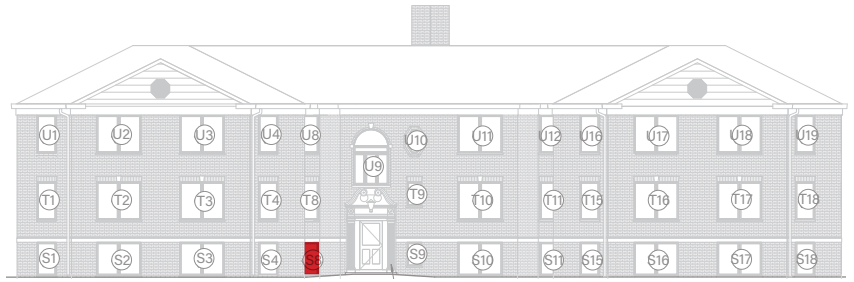
Window S4, Type M1

- Badly Corroded
- Water Infiltration
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - East Elevation



Window S8, Type Q1

- Badly Corroded
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - East Elevation



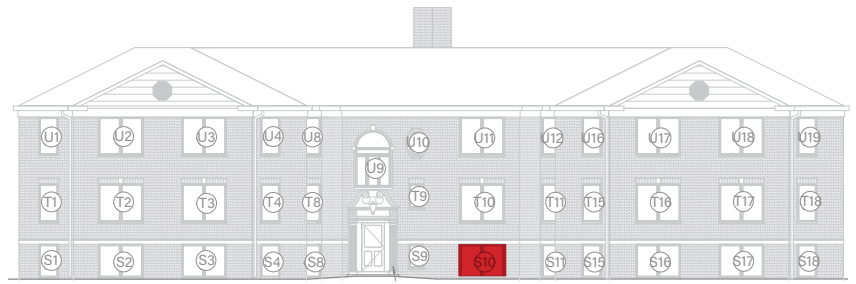
Window S9, Type U1

- Badly Corroded
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - East Elevation

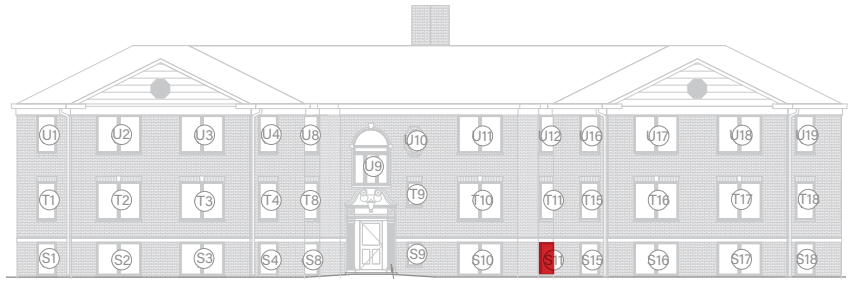


Window S10, Type O1

- Badly Corroded
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - East Elevation



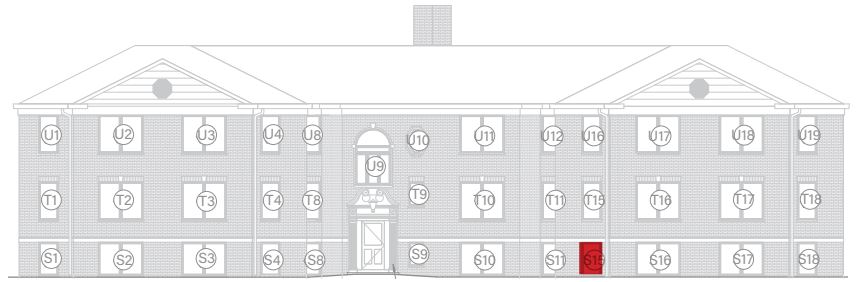
Window S11, Type O1

- Badly Corroded
- Broken Glass
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - East Elevation



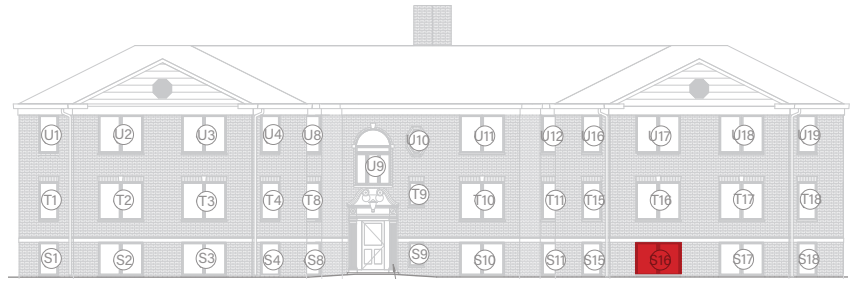
Window S15, Type M1

- Badly Corroded
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - East Elevation



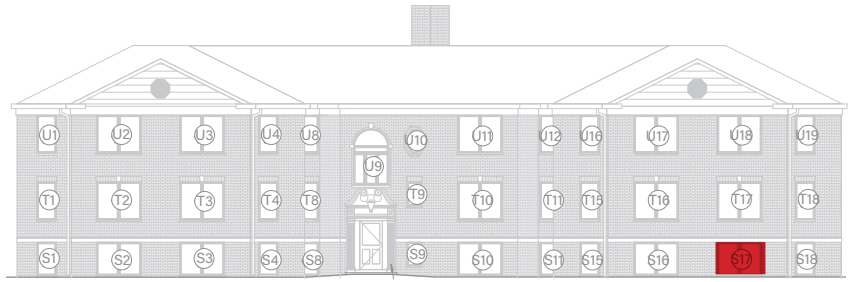
Window S16, TypeO1

- Badly Corroded
- Replacement window, not historic
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - East Elevation



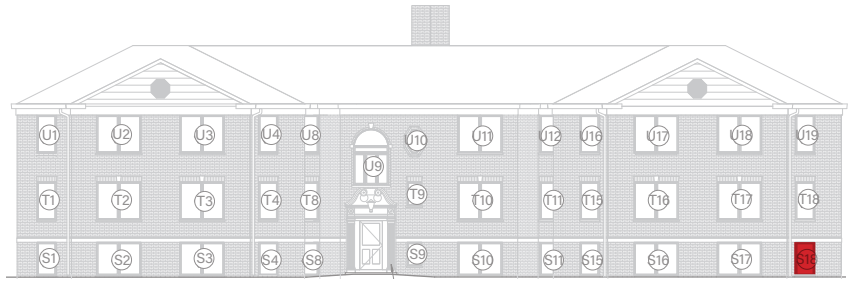
Window S17, Type O1

- Badly Corroded
- Broken Glass
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - East Elevation



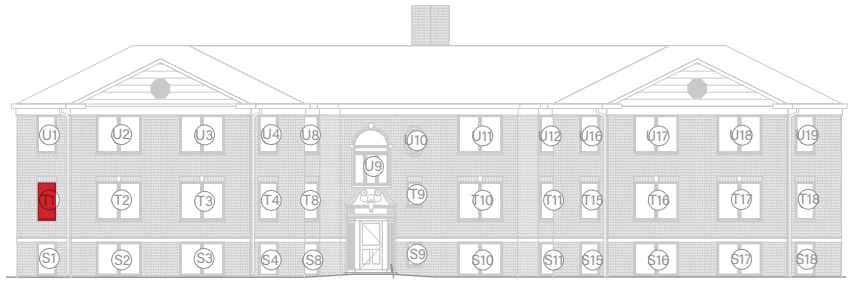
Window S18, Type M1

- Badly Corroded
- Broken Glass
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - East Elevation



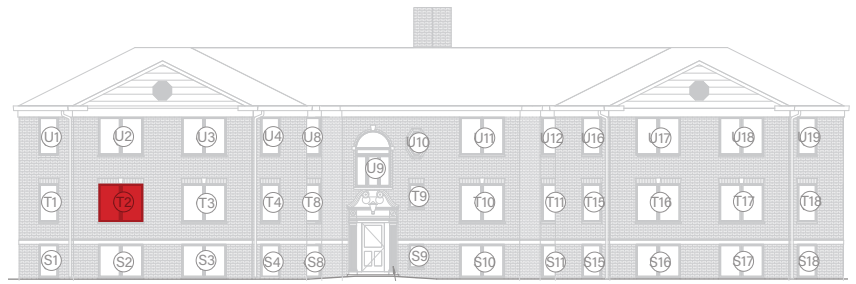
Window T1, Type N1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - East Elevation



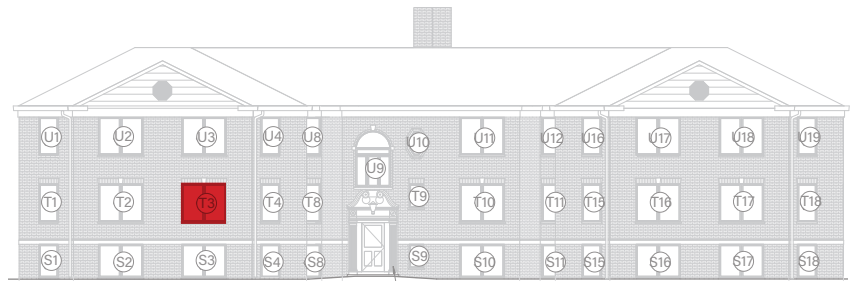
Window T2, Type P1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - East Elevation



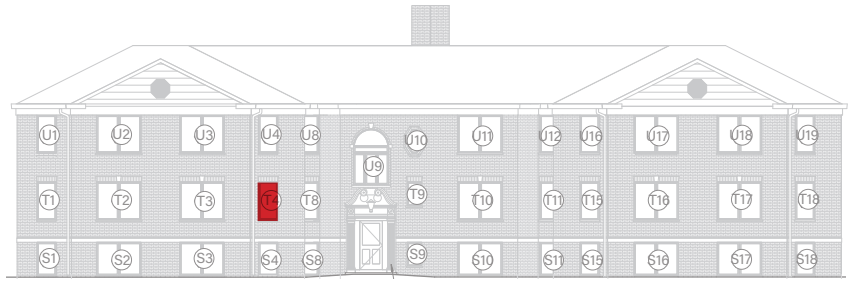
Window T3, Type P1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - East Elevation



Window T4, Type N1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - East Elevation



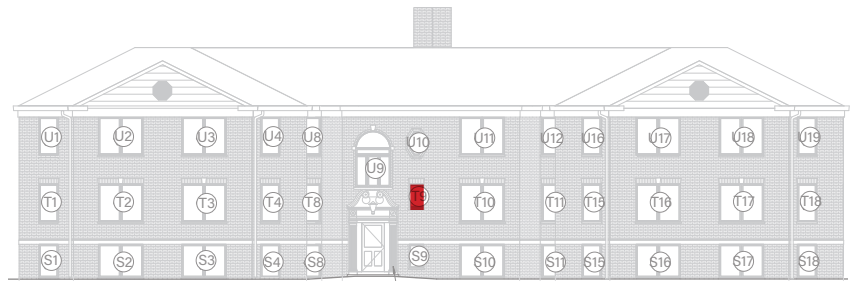
Window T8, Type R1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - East Elevation



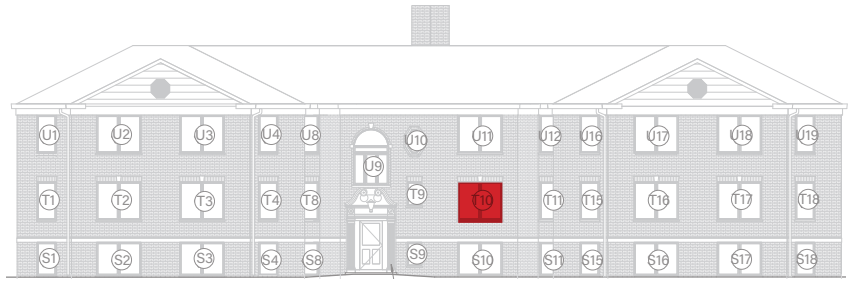
Window T9, Type U1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - East Elevation



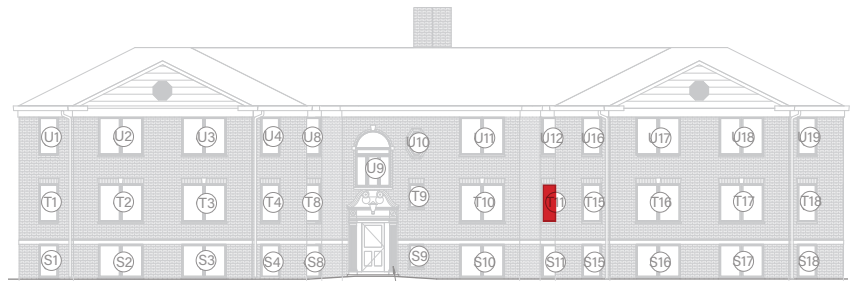
Window T10, Type P1

- Broken Glass
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - East Elevation



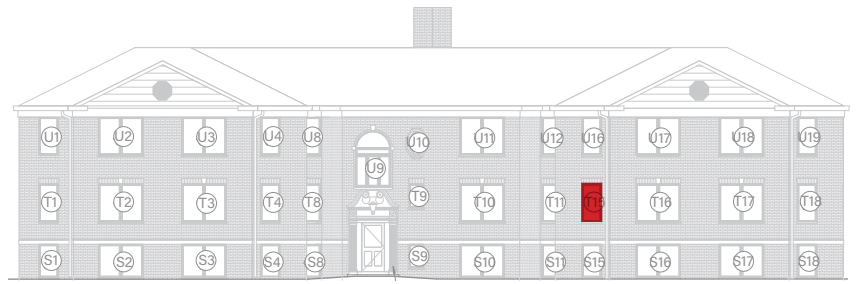
Window T11, Type R1

- Badly Corroded
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - East Elevation



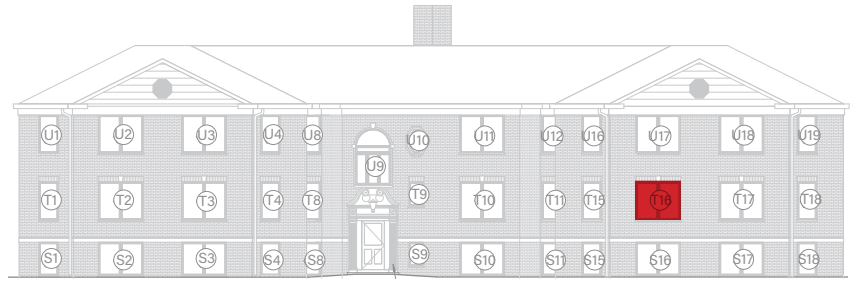
Window T15, Type N1

- Missing Hardware
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - East Elevation



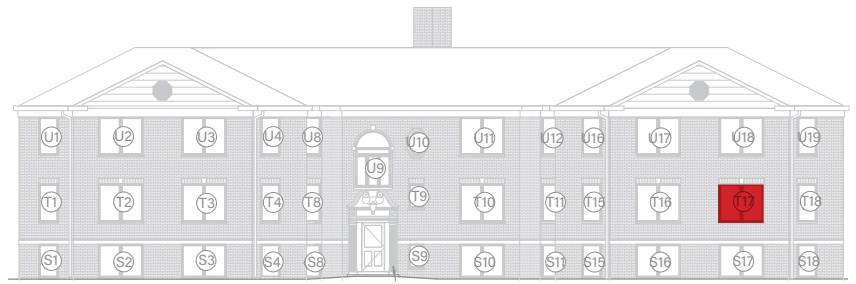
Window T16, Type P1

- Broken Glass
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - East Elevation



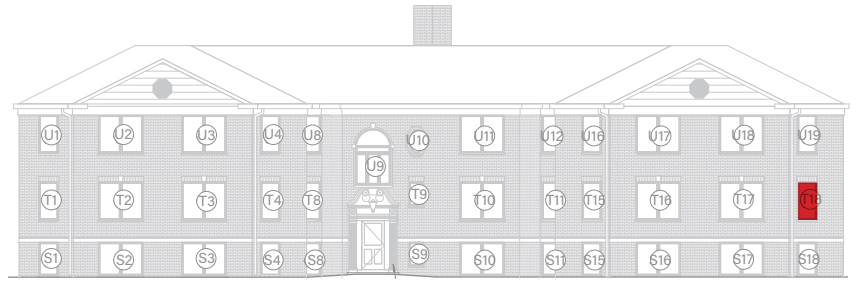
Window T17, Type P1

- Broken Glass
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - East Elevation



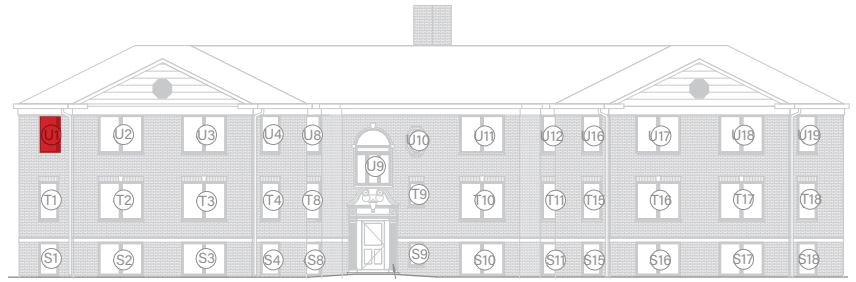
Window T18, Type N1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - East Elevation



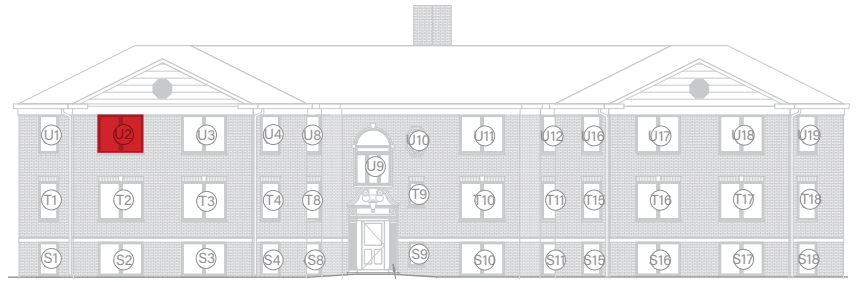
Window U1, Type N1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - East Elevation



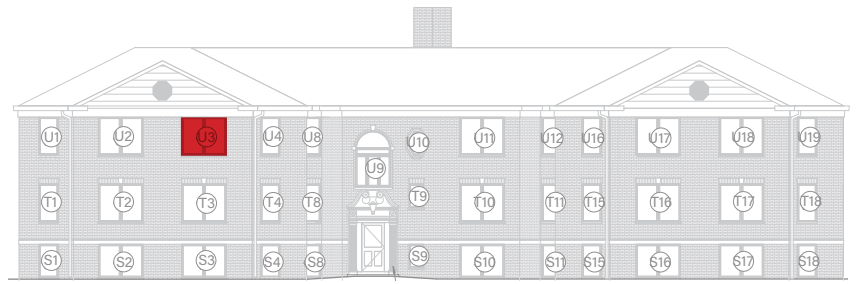
Window U2, Type P1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - East Elevation



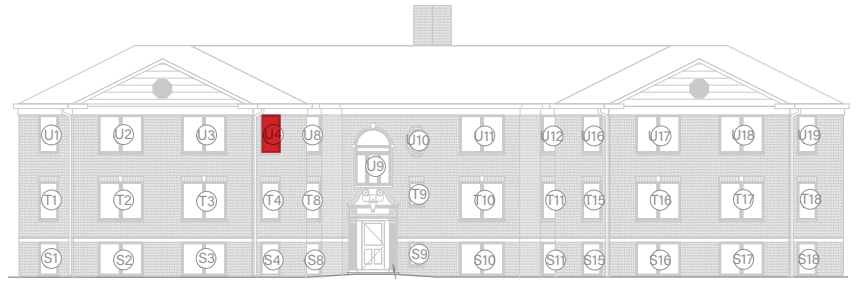
Window U3, Type P1

- Broken Glass
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos

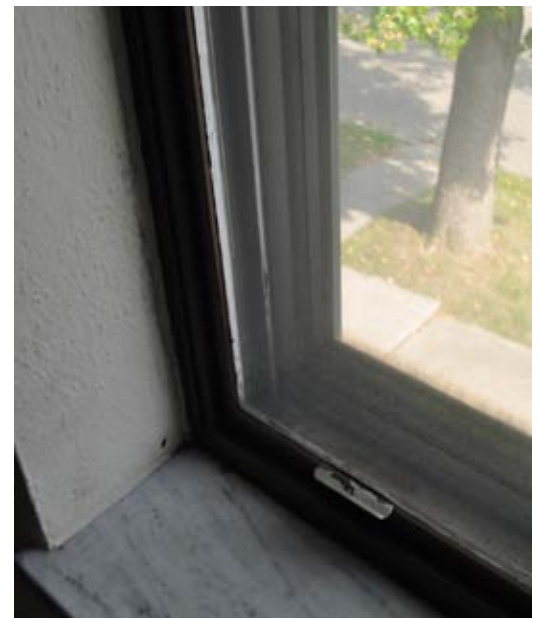


9730 W Outer Dr - East Elevation



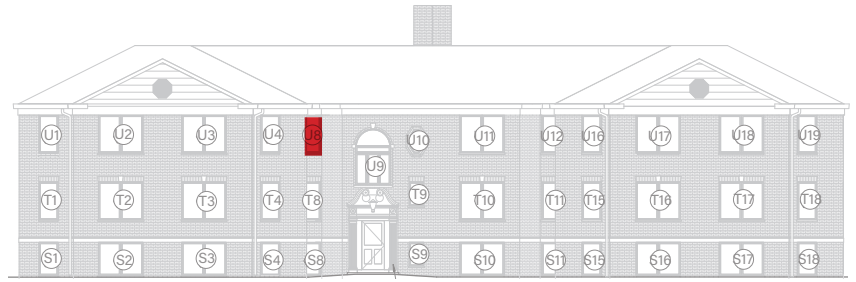
Window U4, Type N1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - East Elevation



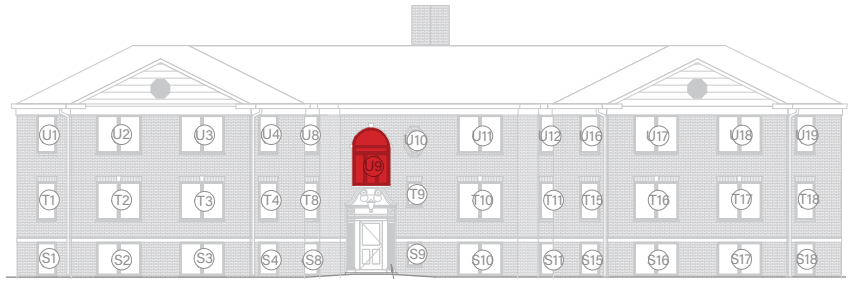
Window U8, Type R1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Repair

Existing Conditions Detail Photos



9730 W Outer Dr - East Elevation



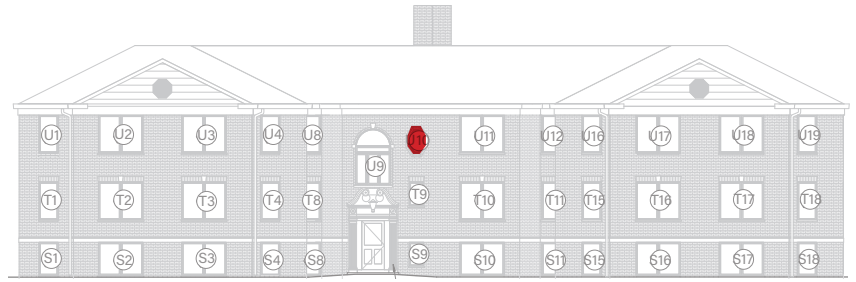
Window U9, Type S5

- Existing Fixed Window at Common Area Stairwell to be repaired
- See Appendix for Window Schedule & Measurements
- See Window Assessment & Survey by Blackberry in appendices for further details and information



Window Replacement

Existing Conditions Detail Photos

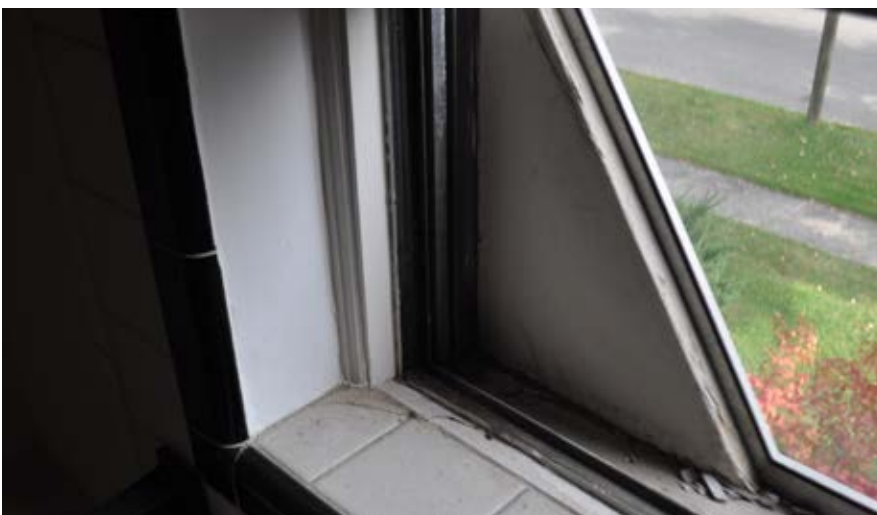


9730 W Outer Dr - East Elevation



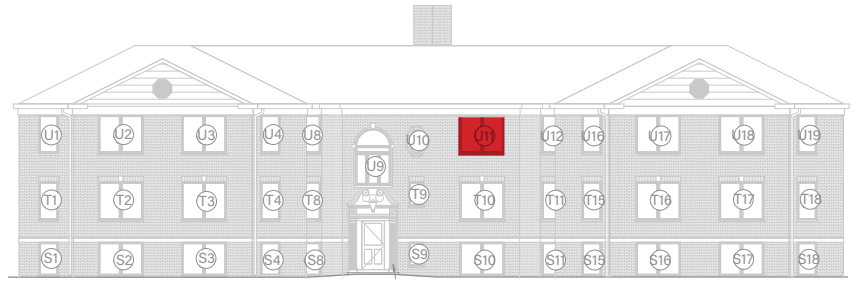
Window U10, Type S6

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - East Elevation



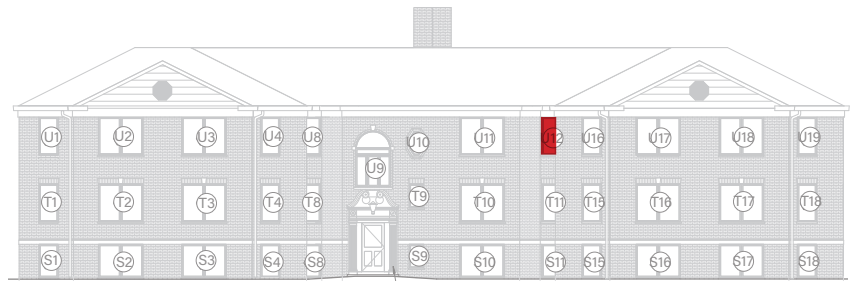
Window U11, Type P1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - East Elevation



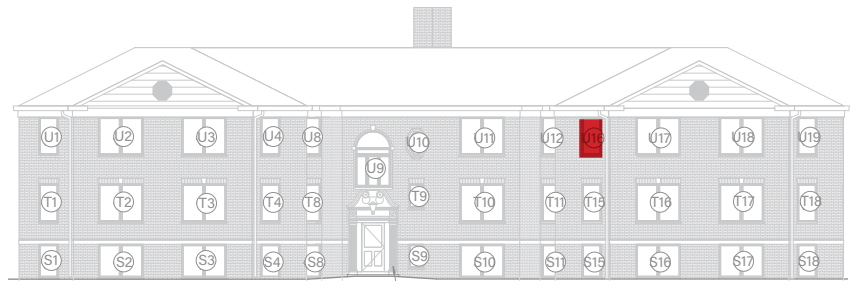
Window U12, Type R1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos

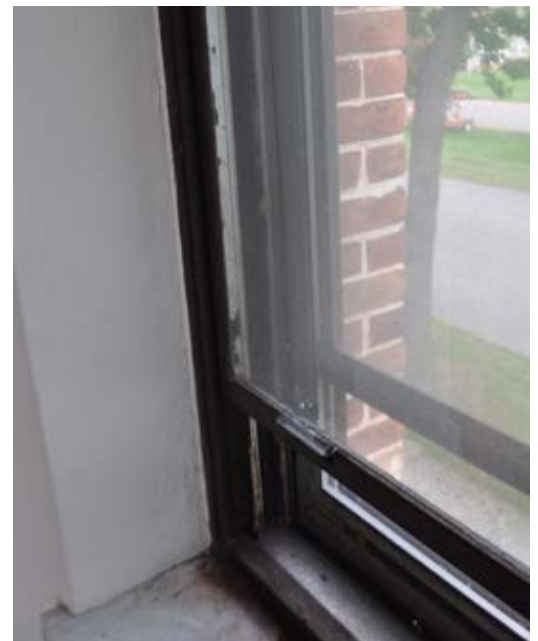


9730 W Outer Dr - East Elevation



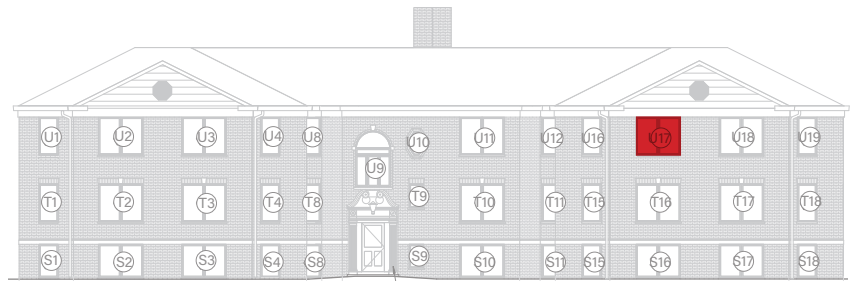
Window U16, Type N1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - East Elevation



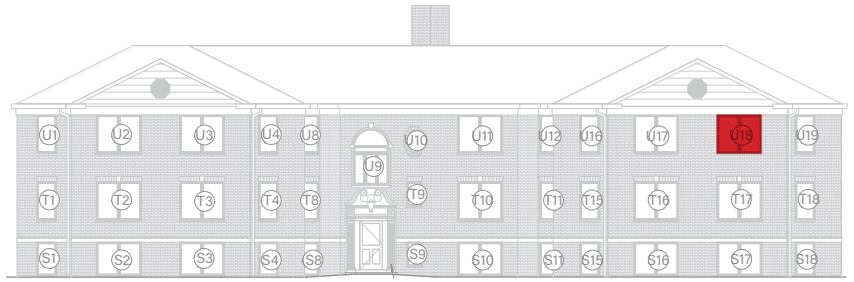
Window U17, Type P1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos

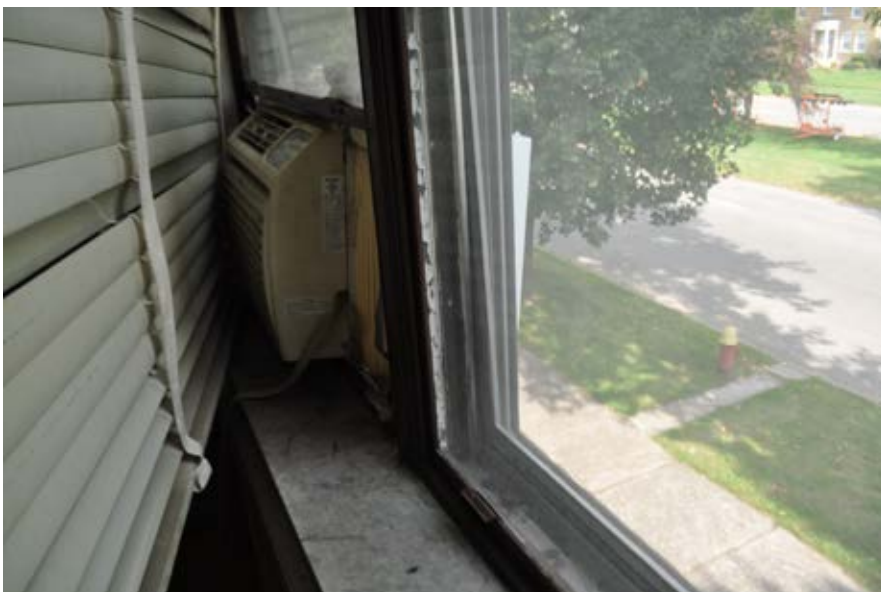


9730 W Outer Dr - East Elevation



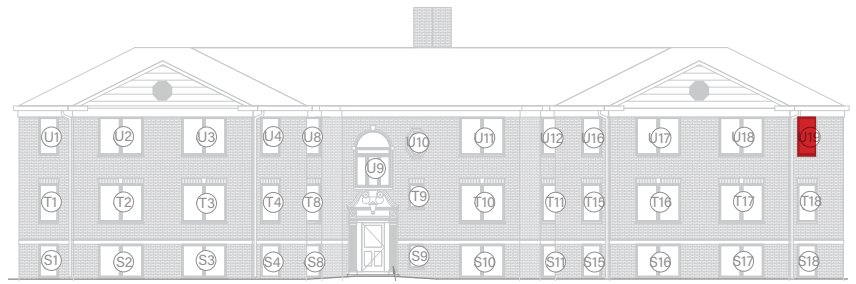
Window U18, Type P1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - East Elevation



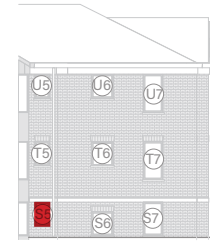
Window U19, Type N1

- Interior Rusted Balance Tape
- See Jamb Track
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - South Courtyard Elevation

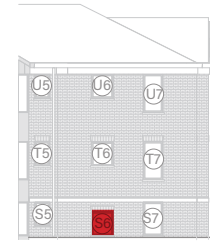
Window S5, Type U1

- Badly Corroded
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



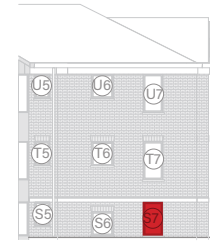
9730 W Outer Dr - South Courtyard Elevation

Window S6, Type T1

- Badly Corroded
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



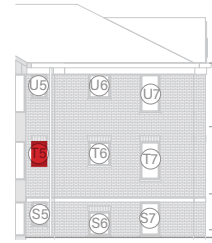
9730 W Outer Dr - South Courtyard Elevation

Window S7, Type M1

- Badly Corroded
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - South Courtyard Elevation

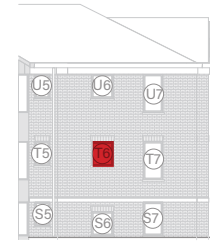
Window T5, Type U1

- Broken Glass
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



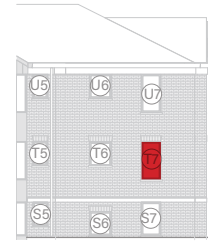
9730 W Outer Dr - South Courtyard Elevation

Window T6, Type T1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



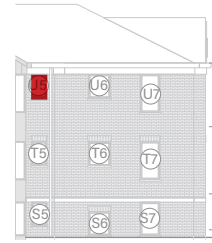
9730 W Outer Dr - South Courtyard Elevation

Window T7, Type N1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - South Courtyard
Elevation

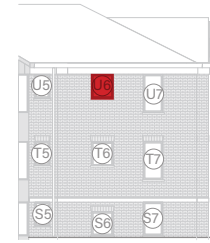
Window U5, Type U1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



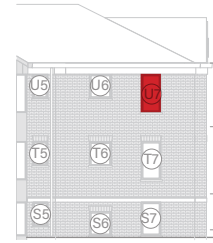
9730 W Outer Dr - South Courtyard Elevation

Window U6, Type T1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



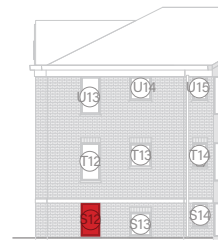
9730 W Outer Dr - South Courtyard Elevation

Window U7, Type N1

- Badly Corroded
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



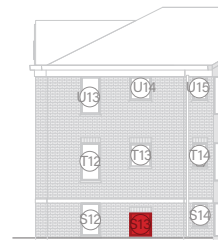
9730 W Outer Dr - North Courtyard Elevation

Window S12, Type M1

- Badly Corroded
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



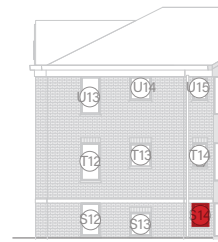
9730 W Outer Dr - North Courtyard Elevation

Window S13, Type T1

- Badly Corroded
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - North Courtyard Elevation

Window S14, Type U1

- Badly Corroded
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - North Courtyard Elevation

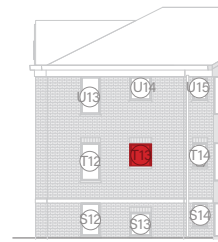
Window T12, Type N1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



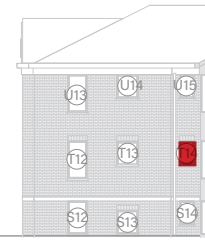
9730 W Outer Dr - North Courtyard Elevation

Window T13, Type T1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - North Courtyard
Elevation

Window T14, Type U1

- Broken Glass
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - North Courtyard Elevation

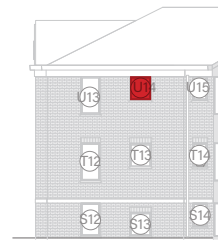
Window U13, Type N1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - North Courtyard Elevation

Window U14, Type T1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



9730 W Outer Dr - North Courtyard Elevation

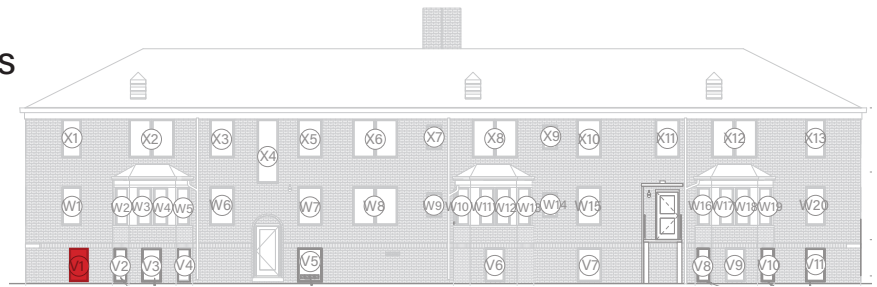
Window U15, Type U1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation



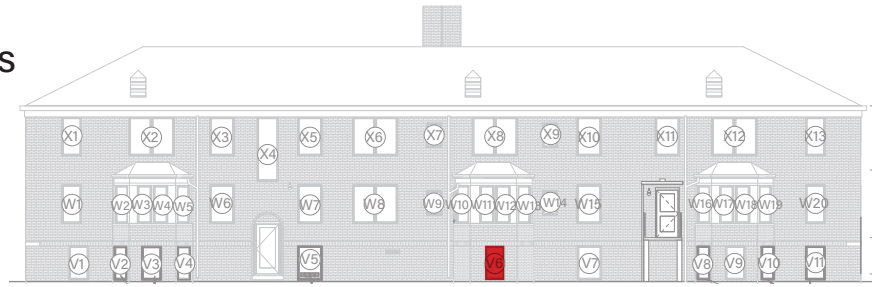
Window V1, Type M2

- Badly Corroded
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation



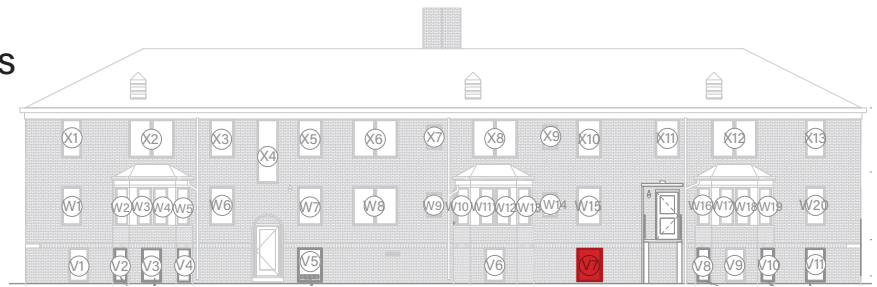
Window V6, Type M2

- Badly Corroded
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation

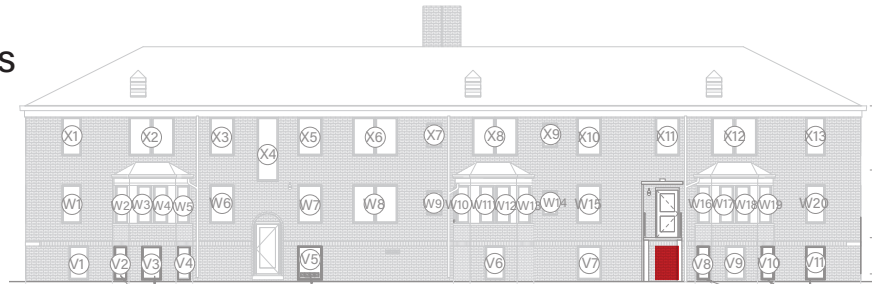
Window V7, Type Q2

- Badly Corroded
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation

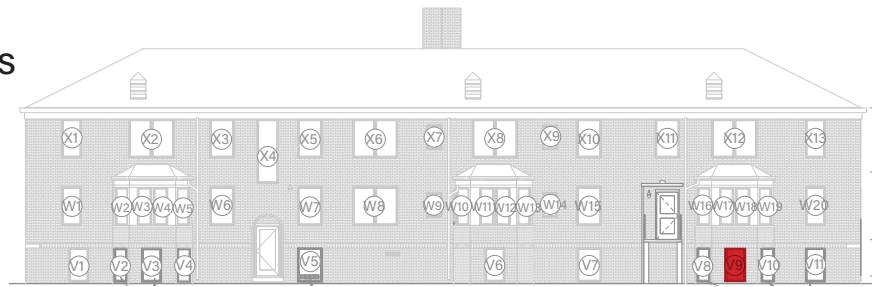
Window DEMO 01, Type Q2

- Badly Corroded
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation



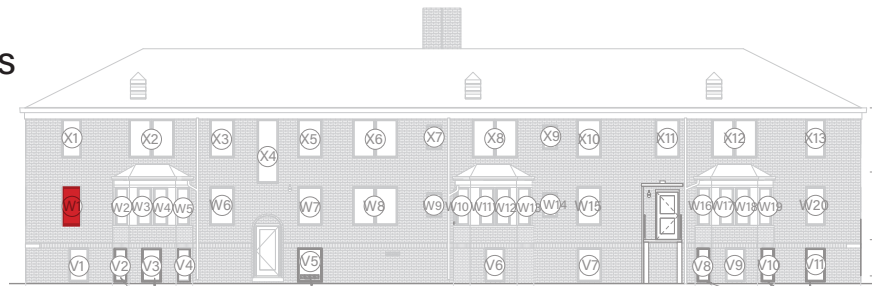
Window V9, Type M2

- Broken Glass
- Badly Corroded
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation



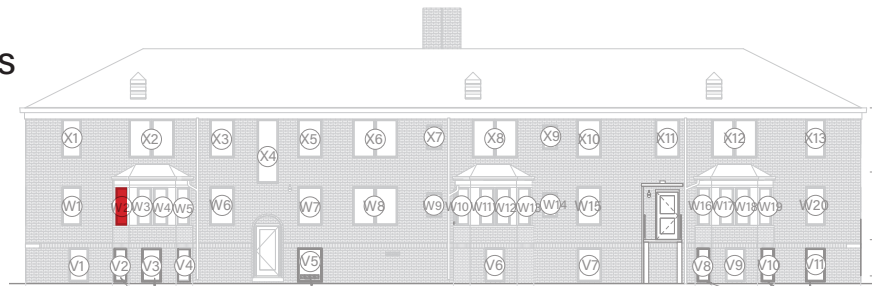
Window W1, Type N2

- Broken Glass
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos

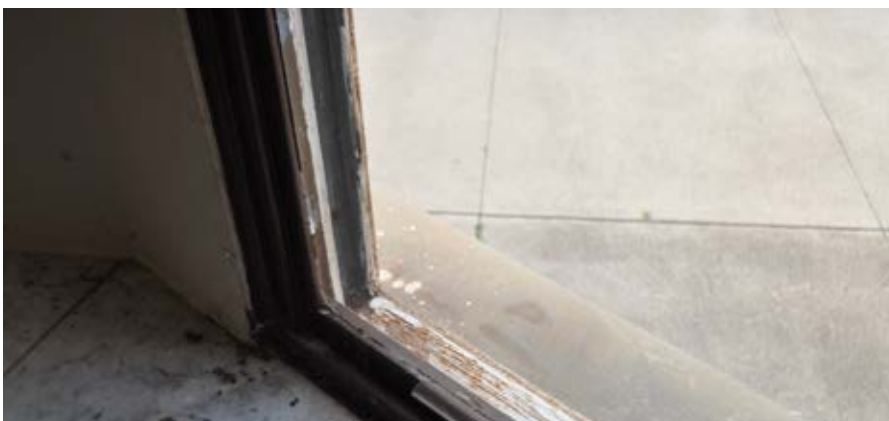


9710 W Outer Dr - East Elevation



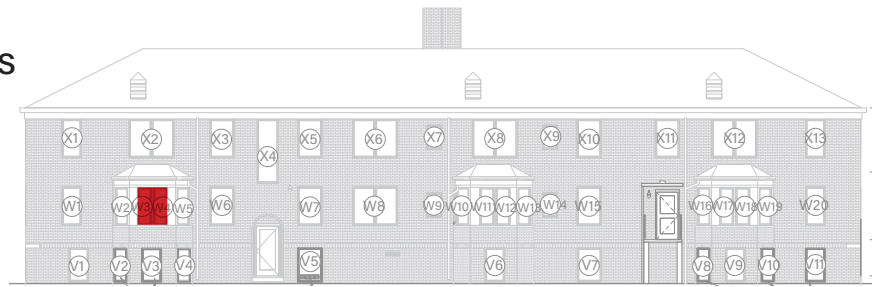
Window W2, Type V1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation



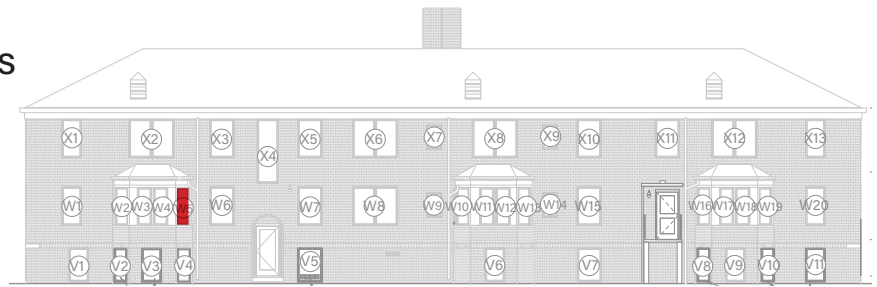
Window W3 & W4, Type X1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation



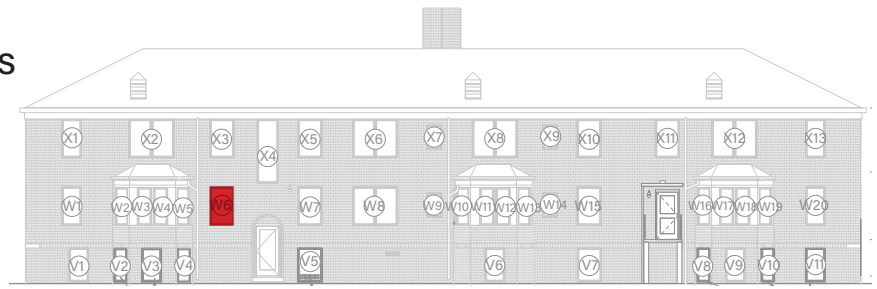
Window W5, Type V1

- Missing Balance
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation



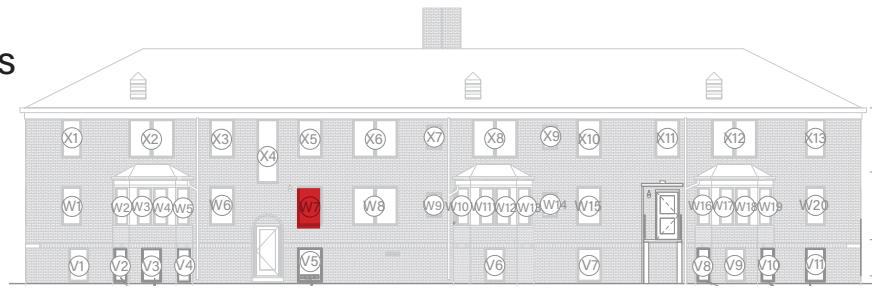
Window W6, Type R2

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation



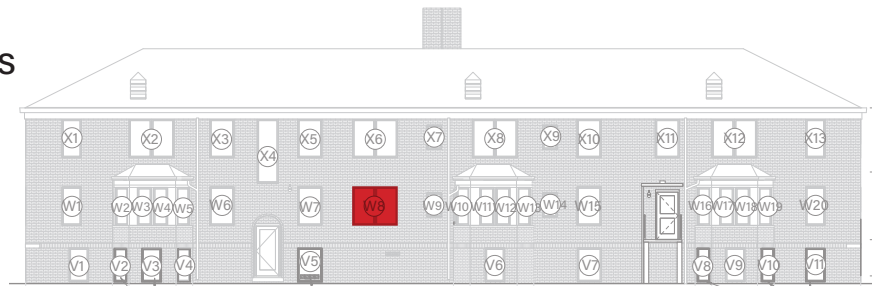
Window W7, Type R2

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation

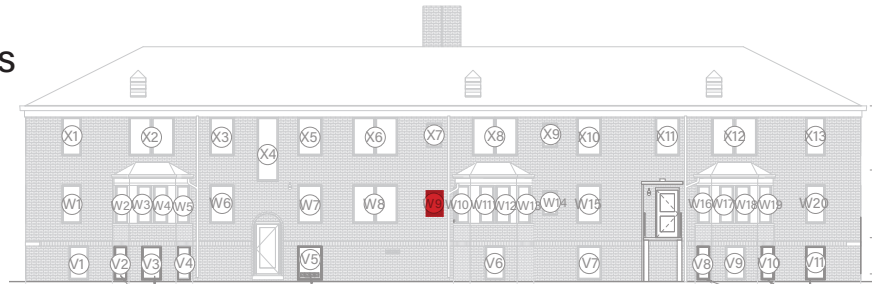


Window W8, Type P2

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements

Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation



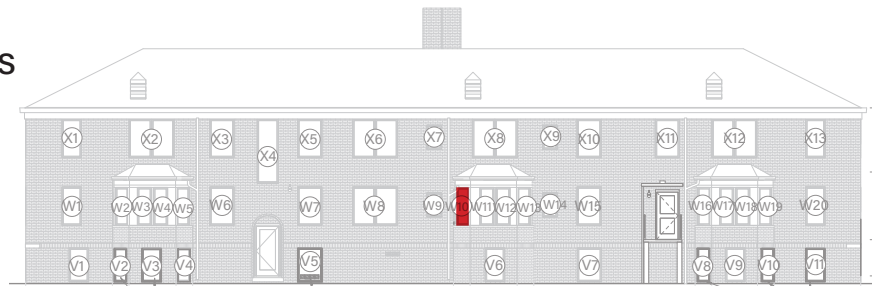
Window W9, Type U2

- Broken Glass
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation



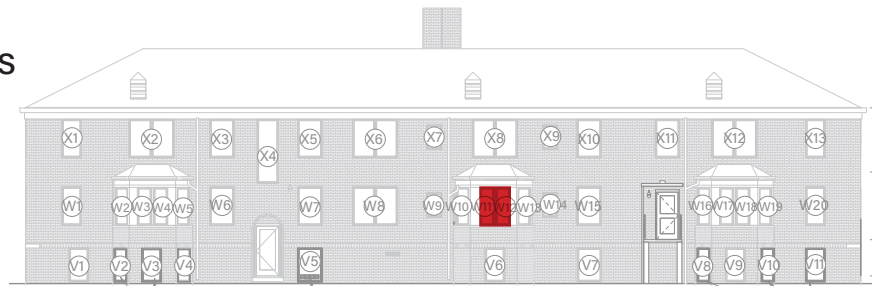
Window W10, Type V1

- Missing part of Sash Frame
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation

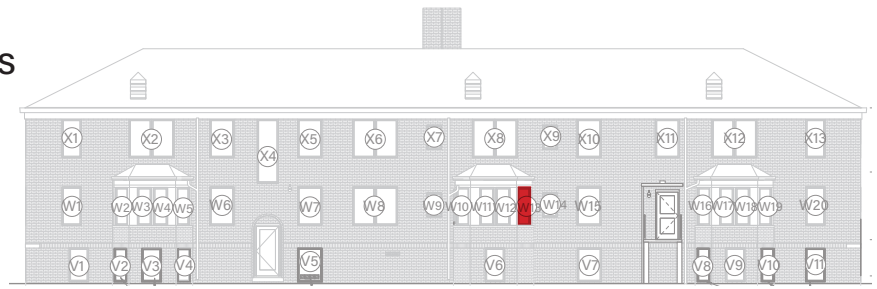
Window W11 & W12, Type X1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation



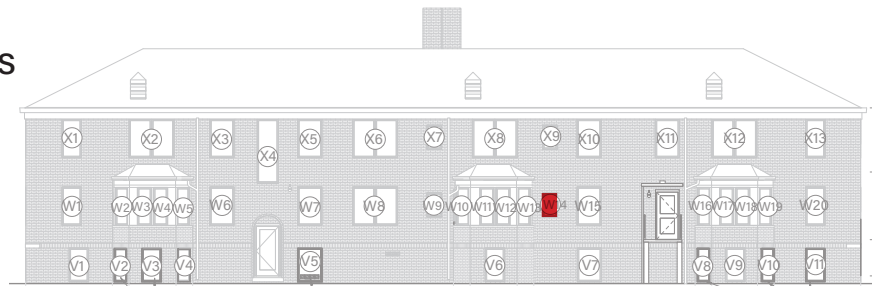
Window W13, Type V1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation



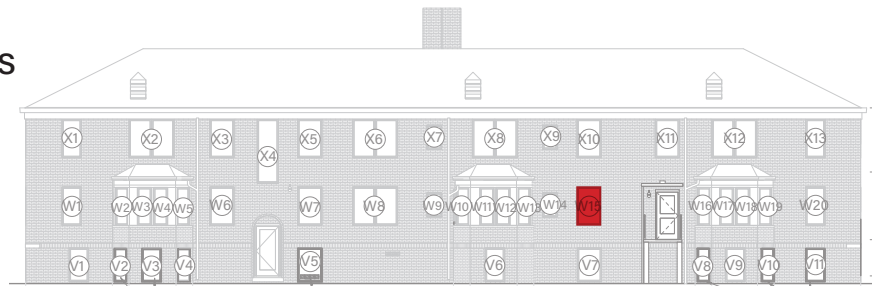
Window W14, Type U2

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation



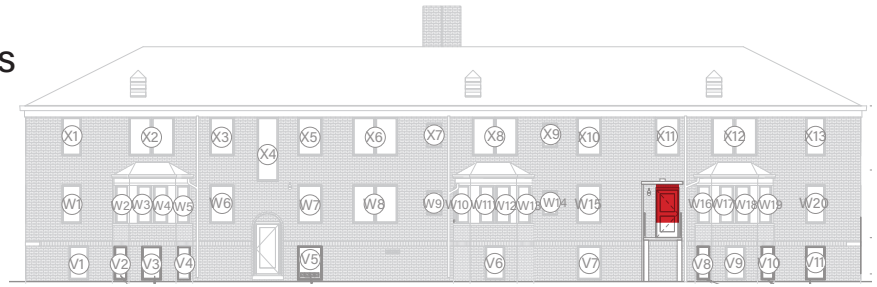
Window W15, Type R2

- Badly Corroded
- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation



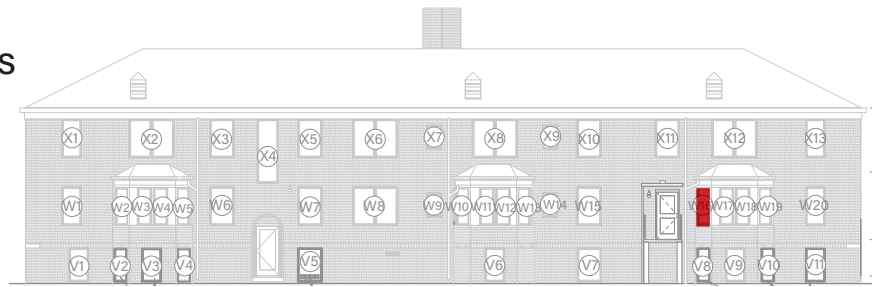
Window DEMO 02, Type R2

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation



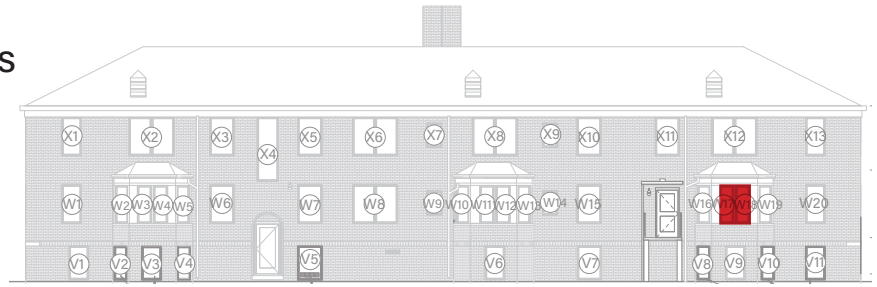
Window W16, Type V1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation



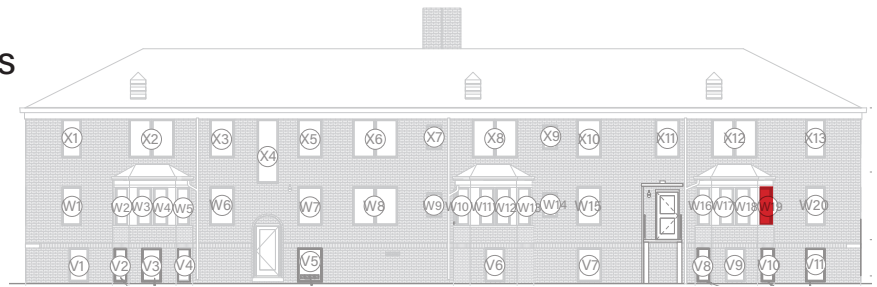
Window W17 & W18, Type X1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation



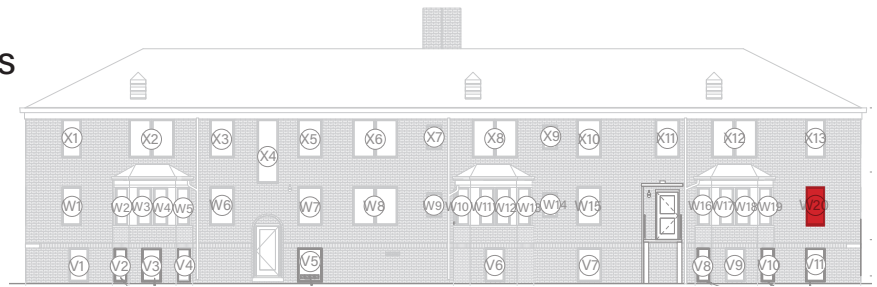
Window W19, Type V1

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation



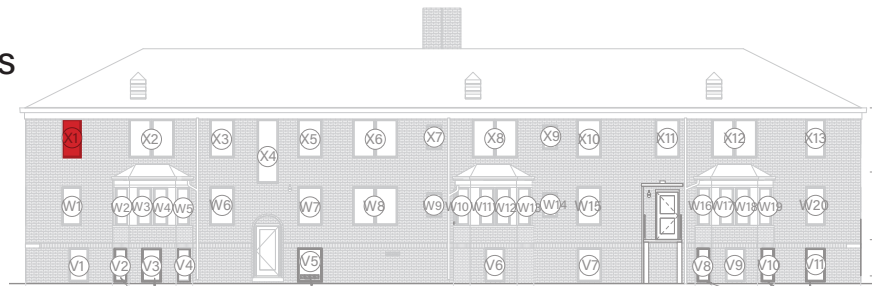
Window W20, Type N2

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation

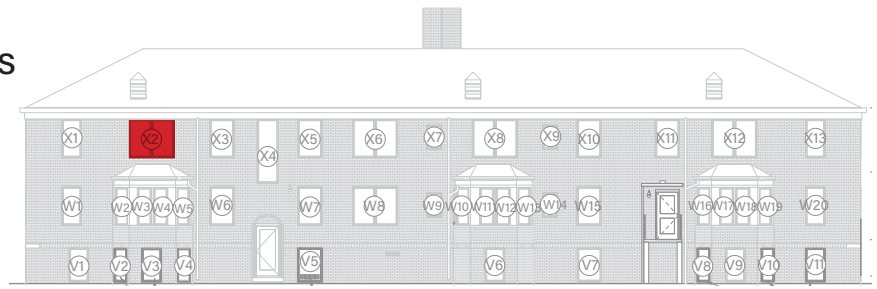
Window X1, Type N2

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation



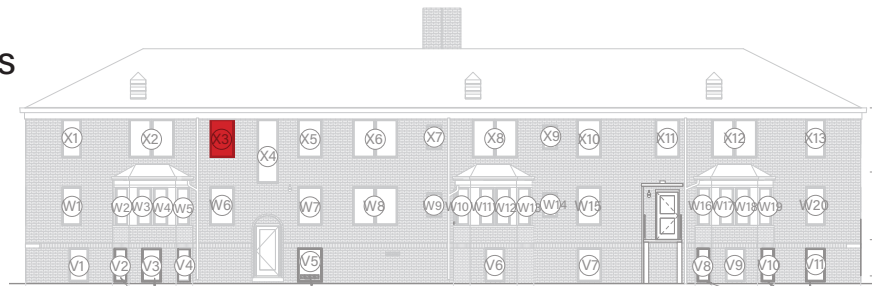
Window X2, Type P2

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation

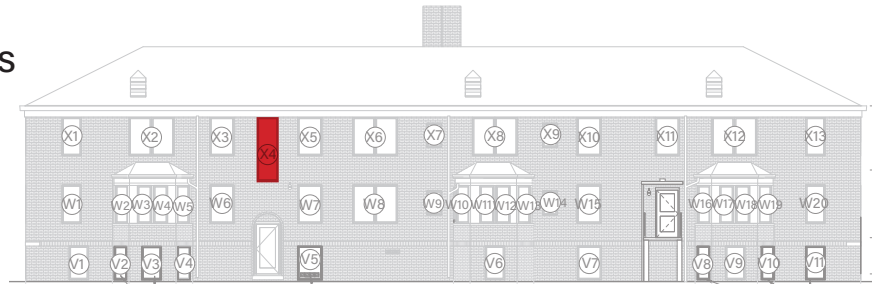
Window X3, Type R2

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Repair

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation

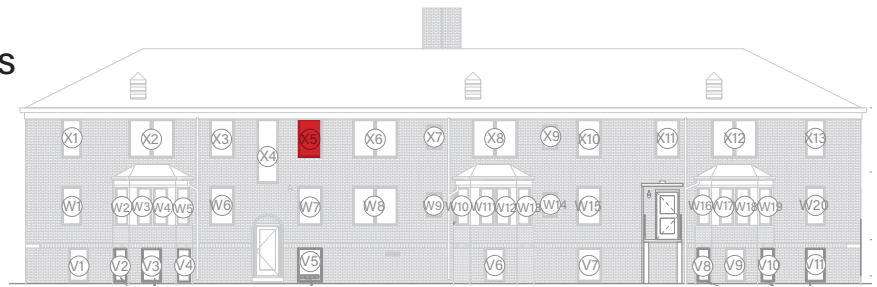
Window X4, Type S7

- Existing Fixed Window at Common Area Stairwell to be repaired
- See Appendix for Window Schedule & Measurements
- See Window Assessment & Survey by Blackberry in appendices for further details and information



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation

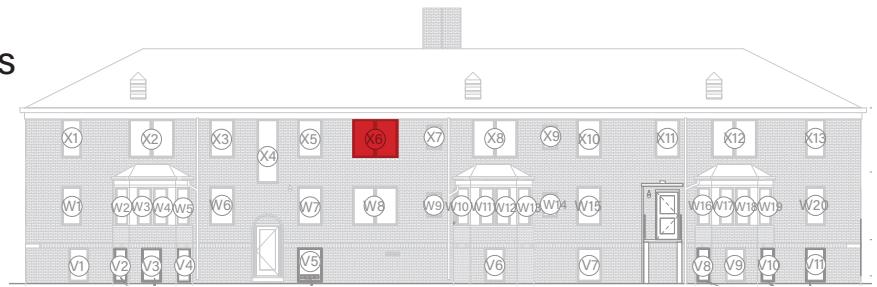
Window X5, Type R2

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation



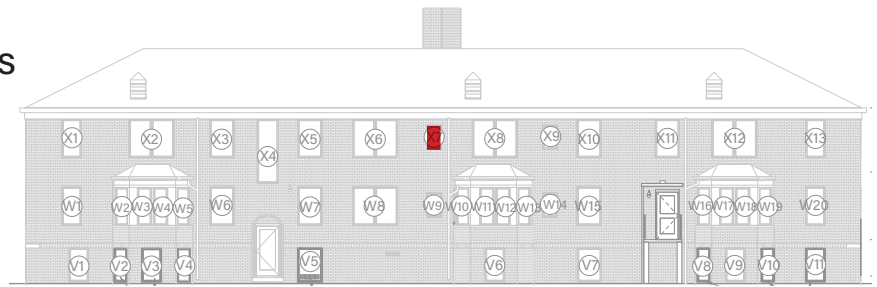
Window X6, Type P2

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation

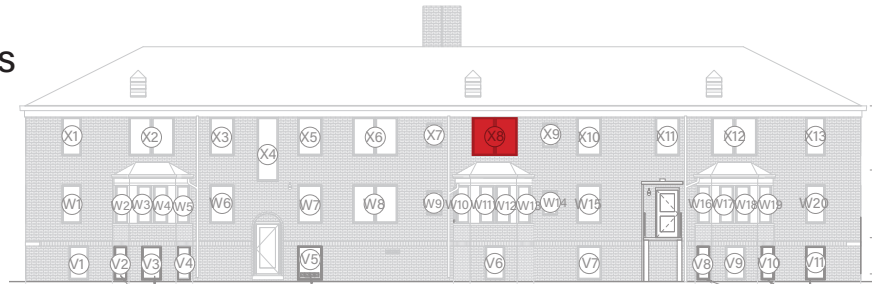
Window X7, Type U2

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation

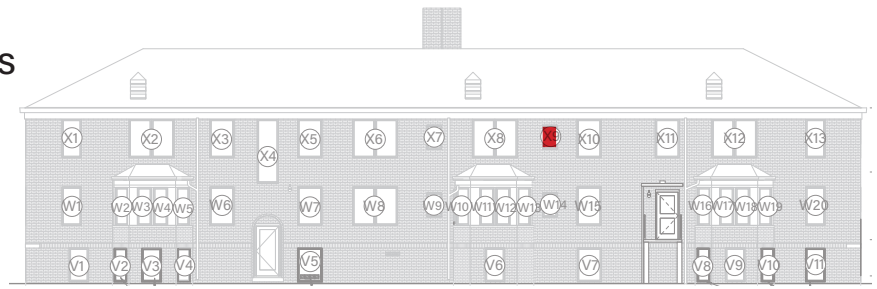
Window X8, Type P2

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation



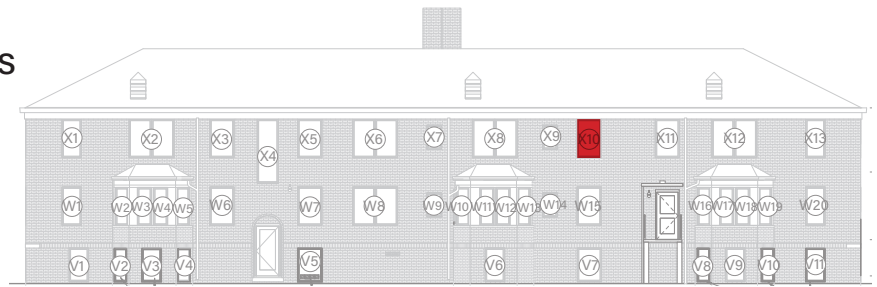
Window X9, Type U2

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation



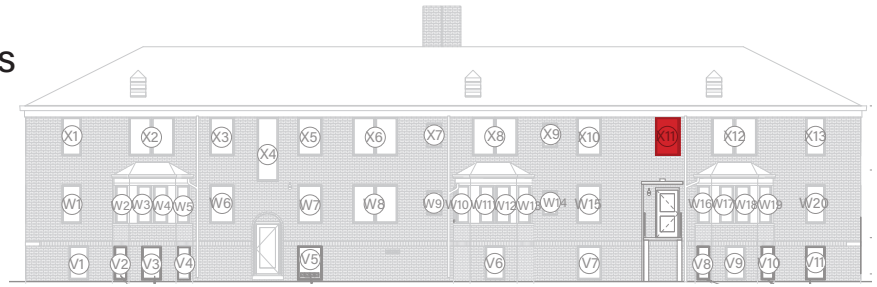
Window X10, Type R2

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation



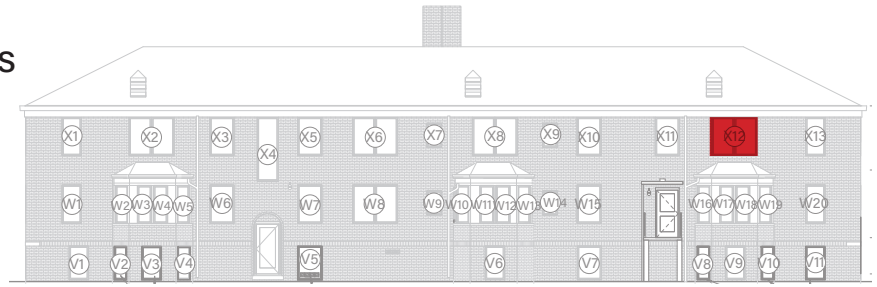
Window X11, Type R2

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation



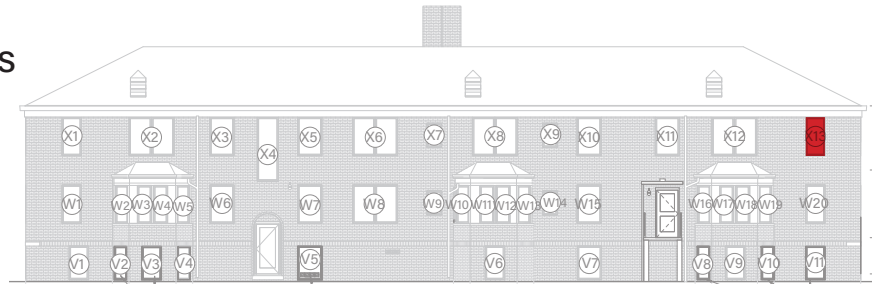
Window X12, Type P2

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Window Replacement

Existing Conditions Detail Photos



9710 W Outer Dr - East Elevation



Window X13, Type N2

- Note: Extent of exterior deterioration, corrosion, and loss of operability is not fully apparent in interior photos. Replacement parts for existing windows are unavailable, making restoration of thermal and operable functionality impossible, and long-term maintenance infeasible. Recommendation is for replacement, for quality of life of future tenants and for feasibility of long-term maintenance.
- See Window Assessment (Blackberry) in appendix for further detail and information, including further notes on deterioration beyond repair
- See Appendix for Window Schedule & Measurements



Detailed Scope of Work

Roof Replacement



Level 02 ceiling, water damage *proposed asphalt shingle type*

Shingle Roof Replacement

- Due to existing roof leaks in multiple locations and the age of the existing roof, the gray asphalt shingle roof will be replaced in kind
- See photo of one of several instances of water damage caused by roof leaks (left)
- See photo of existing roof color & materials (top)



Gutters

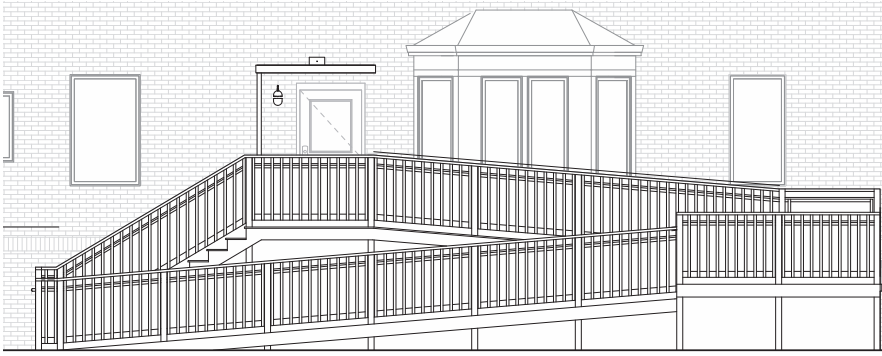
- Repair existing gutters where separating and replace fascia where deteriorated (see photo of existing condition, left)
- Clean and paint



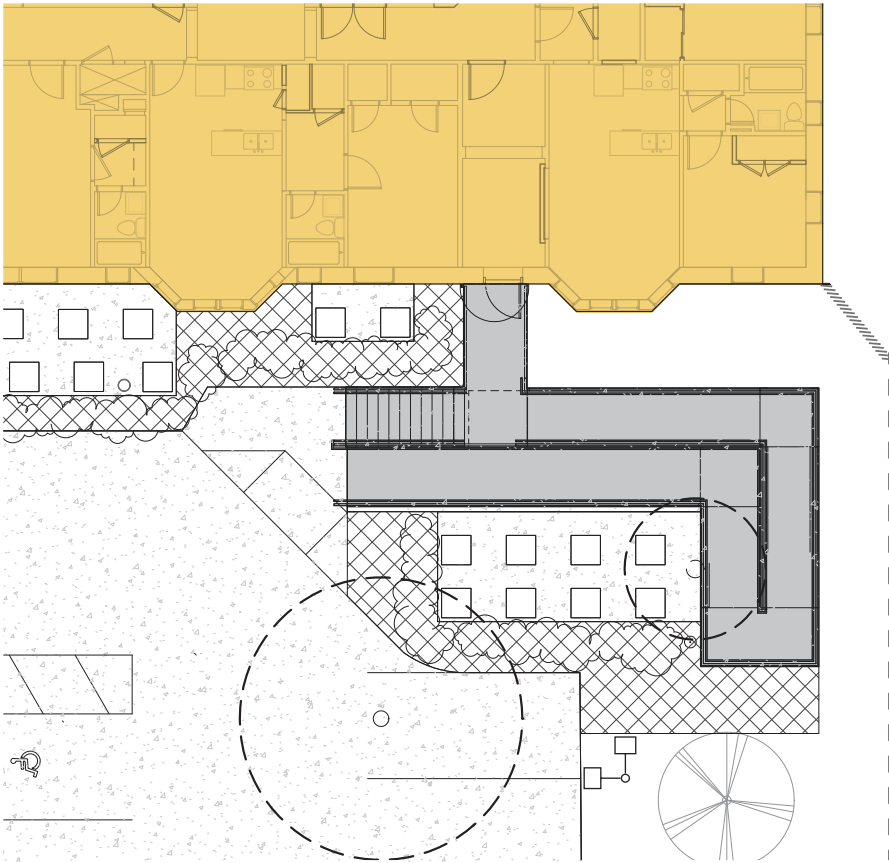
Dormers

- Repair existing dormers (see photo of existing condition, left)
- Scrape and paint

Detailed Scope of Work



proposed elevation



proposed plan

New Accessible Ramp

- New barrier free, wood construction ramp (highlighted in gray in plan) with wood railing and stair
- Railing verticals play contrastingly off of masonry horizontals of the historic buildings



proposed new canopy at 9730 W Outer Dr

Canopies

- Reconstruct existing tie back canopy at 9710 of like materials: flat metal canopy
- Construct new canopy of similar materials: flat metal canopy
- Install canopy into mortar joints
- Install & paint new aluminum downspouts at both canopies for proper drainage

Detailed Scope of Work

Exterior Light Fixtures



existing conditions



9730 Front Entry

- Fixture Restoration
- Rewire and replace bulb with 3000K LED



existing conditions



proposed

9710 Front Entry

- New fixture; original is missing
- Replace bulb with 3000K LED
- Proposed Product: Generation Lighting, 8753EN3-15 One Light Outdoor Wall Lantern, 9.3 Watt LED bulb, 800 Lumens, White Glass, Black Polycarbonate finish, Dimensions: 6"W X 7.25"H
- See appendix for cut sheet



existing conditions



proposed

9730 Back Entry

- New fixture at back entry door; original is missing
- Replace bulb with 3000K LED
- Proposed Product: Niveous LED Outdoor Flush-mount by dweLED, Small Option: 9.5 Watt (800 Lumens) 120 Volt Integrated LED: CRI: 90 Color Temp: 3000K Lifespan: 45000 hours, White Aluminum, Mouth Blown Etched Glass, Dimensions: 6"H, 6" Diameter, Weight 2.38Lbs
- See appendix for cut sheet

Detailed Scope of Work

Exterior Light Fixtures



existing conditions



proposed

9710 Back Entry

- New fixture; original is missing
- Replace bulb with 3000K LED
- Proposed Product: Generation Lighting, 8753EN3-15 One Light Outdoor Wall Lantern, 9.3 Watt LED bulb, 800 Lumens, White Glass, Black Polycarbonate finish, Dimensions: 6" W X 7.25" H
- See appendix for cut sheet



proposed sketch



proposed

New Accessible Entry

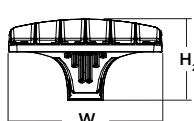
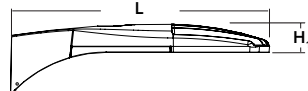
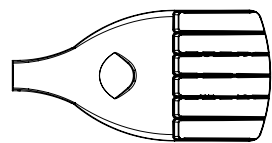
- New wall sconce at new entry
- Proposed Product: Generation Lighting, 8753EN3-15 One Light Outdoor Wall Lantern, 9.3 Watt, 3000K LED bulb, 800 Lumens, White Glass, Black Polycarbonate finish, Dimensions: 6" W X 7.25" H
- See appendix for cut sheet



existing conditions

Parking Lot Islands

- New LED Shoebox fixtures at perimeter of parking lot and positioned to light the ramp
- Proposed Product: D-Series Size 0 LED Area Luminaire, EPA: 0.95 sf, 16 lbs, Dimensions: 26" L x 13" W x 3" H - 7" H
- See appendix for cut sheet



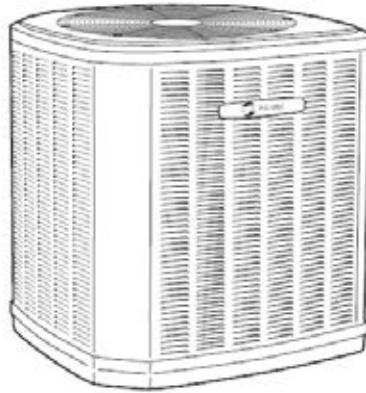
proposed

Detailed Scope of Work

Proposed Condensing Units, Screens, & Fences



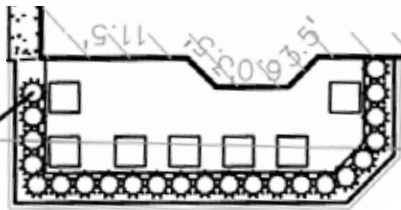
proposed security cage



proposed condensing unit



living screen, Hicks Yew



proposed cond. unit plan

Cond. Units & Security Cages

- Proposed one new air-to-air condensing unit per residential unit; air conditioning is not existing
- ACBandit security cages (pictured, left) or similar, bolt condensing units to concrete using steel straps to discourage theft
- See pgs 9&10 for location on-site

Living Screens

- Hicks Yew functions as living screens at perimeter of clusters of condensing units
- See pgs 9&10 for location on-site



proposed security fence

New Security Fence & Screened Enclosure

Install new security fence at perimeter of parking lot and ramp, abutting existing chain link fence (neighbor). Product: Riverdale Mills, WireWall, cut to 6'H, 10.5G Steel, Black PVC Coating, Welded Wire Mesh system

Install new 6'H metal panel enclosure to screen & secure & allow ventilation to (10) condensing units at 9710: McNICHOLS Wire Mesh, Carbon Steel, Cold Rolled, Mill Finish, Woven-Lockcrimp Weave, 1/2" x 1/2" Opening (Square), 0.120" (11 Gauge) Thick Wire Diameter, 65% Open Area, Hot Dip Galvanized, welded 2x2 HSS frame



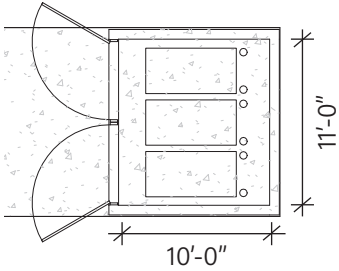
proposed screen panel effect

See scope of work drawing on pg 10 and Appendix for cut sheets.

Detailed Scope of Work



proposed CMU color



proposed enclosure plan



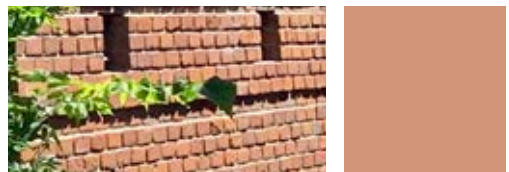
proposed gate

New Dumpster Enclosure

- New 6'H masonry dumpster enclosure with opaque doors on 6" concrete pad to house (3) 2-yard dumpsters
- Dumpster Enclosure Gates: Ametco, Shadow 100, double swing gates, electro-forged welded steel fencing, fixed louver design, 1 31/32" X 1/16" formed main bar & 5/32" round cross bar to provide 100% direct visual screening, includes posts, frame, hinges, panels, pad-lockable slide and cane bolts, Galvanized and Powder Coated Light Gray, Overall Dimensions: 11' X 6', 3.5 lbs
- Masonry to be Fendt 8x4x16 CMU, smooth finish, color 4076 (inspired by existing stone detail of buildings) mortar to be of like color

Exterior Paint

- Paint exterior woodwork, exterior doors, dormers, gutters, fascia, downspouts
- The selected dark blue hue enhances the buildings' presence, grounding and highlighting trim and detailing
- Color: Inkwell SW 6992



- Paint brick vents (see photo of brick color and existing recessed brick vents)
- Color: SW to match "cleaned" brick color



General Paint Specs

Primers: SW exterior grade All Surface Enamel Latex Primer - A41W01210
 Sherwin Williams (SW) Exterior Latex Wood Primer - B42W08141

Paint: SW Duration Exterior Acrylic Latex - K32W00251; Sheen: Satin

Surface preparation: Protect surfaces not to be painted; clean surfaces by removing dirt, existing paint, rust, and other foreign matter with rag or brush; clean steel and aluminum surfaces in accordance with SSPC SP1 (solvent cleaning). Completely dry surfaces before painting.

Application: Apply primer and paint per manufacturer's recommendations; apply one coat of primer on all unpainted surfaces and two paint finish coats on all surfaces; allow recommended dry time between coats; ensure coating is uniform and free from drips, runs, waves, brush marks or variation in color, texture, or finish.

Detailed Scope of Work

Brick Restoration & Cleaning

Exterior brick walls are generally in good condition: masonry is generally uncracked; mortar joints appear sound; no evidence of excessive repointing; bricks don't appear to be distressed. General cleaning of the brick is needed as well, evidenced by discoloration. The gentlest, least invasive means possible to be used to clean the existing brick. A 9' x 9' area to be tested with water and natural bristle brush cleaning first. Water or steam may be used. Extra low pressure (i.e. no more than 100 psi) to be used first. If this doesn't work, the pressure may be increased up to 400 psi. If these methods don't work, Prosoco EK Restoration Cleaner (Enviro Klean), a mild pH neutral detergent cleaner may be used. If this method doesn't work either, Prosoco Sure Klean, a mild acidic cleaner may be used, but only after successfully testing an area of brick and stone with this cleaner.



Tuckpointing

- Tuckpointing is needed in small areas throughout the brick facades of both buildings
- Examples of areas in need of tuckpointing_9710 W Outer Dr
- (see photos of existing conditions, left)



Repointing

- Repointing is required at 9730 at the chimney (see photo of existing condition, left)
- Repointing is required at water damaged section of masonry at 9710 back entry (see photo of existing condition, left)
- Mortar will match existing in strength, color, and profile

Appendix to Follow

- CUT SHEETS
- STRUCTURAL ASSESSMENT
- WINDOW ASSESSMENT, SCHEDULES & DETAILS