

# STANLEY'S

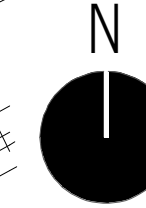
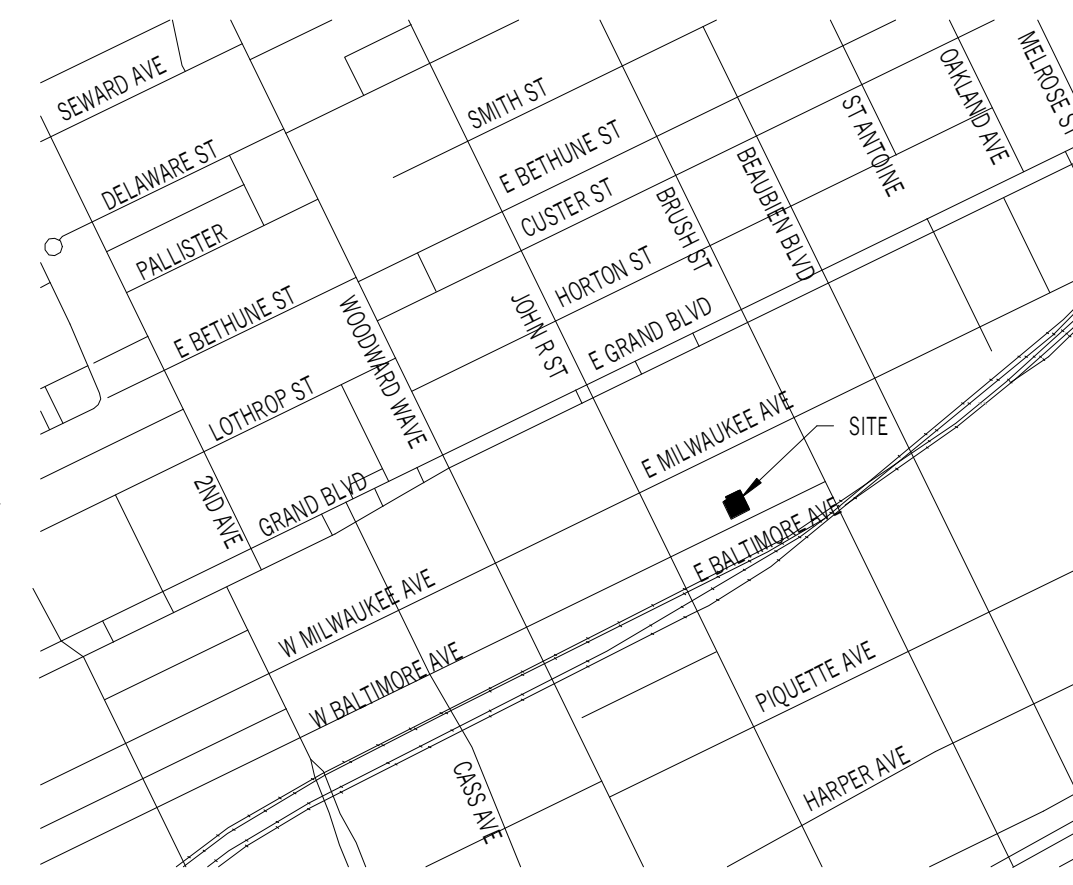
ARCHITECT  
ELISE DECHARD  
END STUDIO, LLC  
2000 BROOKLYN STREET  
DETROIT, MI 48226  
908.419.8398  
ELISE@E-N-D-STUDIO.COM

CLIENT  
PRIMUS LOCUS, LLC  
269 WALKER STREET #720  
DETROIT, MI 48207  
917.723.3660  
JEN@MEANREDPRODUCTIONS.COM

STRUCTURAL ENGINEER  
SILMAN  
32 OLD SLIP, 10TH FLOOR  
NEW YORK, NY 10005  
212.620.7970  
BRESLER@SILMAN.COM

CONSULTANT  
TBD

CONTRACTOR  
TBD



END STUDIO, LLC  
2000 Brooklyn Street  
Detroit, MI 48226  
313.626.7073  
e-n-d-studio.com

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE USED FOR OTHER PROJECTS, FOR REVISIONS TO THIS PROJECT OR COMPLETION OF THIS PROJECT BY OTHERS.

## PROJECT INFORMATION

OWNER: PRIMUS LOCUS, LLC  
ADDRESS: 249 EAST BALTIMORE AVE  
DETROIT, MI 48202  
PARCEL ID NUMBER: 01001845-50  
REGULATING BODY: CITY OF DETROIT  
ZONING: SD2 - SPECIAL DEVELOPMENT  
HISTORIC DISTRICT: STANLEY HONG'S MANNIA CAFE HISTORIC DISTRICT

## CODE COMPLIANCE

THE PROPOSED CONSTRUCTION IS IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL ORDINANCES

THE CONSTRUCTION SHOWN ON THIS DOCUMENT DOES NOT INFRINGE ON THE EXISTING LIFE SAFETY FOR THIS BUILDING. PERFORM ALL WORK IN ACCORDANCE WITH BUILDING CODES, LAWS AND ORDINANCES HAVING JURISDICTION ON THE PROJECT. ORDINANCES HAVING JURISDICTION ON THE PROJECT INCLUDE BUT ARE NOT LIMITED TO:

- 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS
- 2015 MICHIGAN BUILDING CODE
- 2015 MICHIGAN MECHANICAL CODE
- 2015 MICHIGAN PLUMBING CODE
- 2017 MICHIGAN ELECTRICAL CODE
- 2015 INTERNATIONAL ENERGY CODE
- 2009 ICC/NSI + MICHIGAN BARRIER FREE CODE
- 2015 INTERNATIONAL FIRE CODE

## SCOPE OF WORK

RENOVATION OF THE FORMER STANLEY HONG'S MANNIA CAFE INTO A NEW MUSIC VENUE WITH ACCOMPANYING SMALL LOUNGE, VENUE AND RESTAURANT.

THE WORK INCLUDES THE INTERIOR RENOVATION AND EXTERIOR IMPROVEMENTS TO THE HISTORIC STRUCTURE, A PARTIAL ROOFTOP ADDITION TO INCREASE INTERIOR CEILING HEIGHT OF THE ONE-STORY VENUE SPACE, AND A 1,818 SF ADDITION TO THE EAST.

EXTERIOR IMPROVEMENTS INCLUDE NEW DOORS AND WINDOWS, NEW ROOF, AND RESTORATION WORK AS NEEDED. INTERIOR IMPROVEMENTS WILL INCLUDE A NEW SLAB ON GRADE FLOOR SYSTEM, INTERIOR STRUCTURE, PARTITIONS, FIXTURES AND EQUIPMENT AS REQUIRED FOR THE NEW PROGRAM, FINISHES, AND NEW MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS THROUGHOUT.

THE ROOFTOP ADDITION WILL BE SUPPORTED WITH STEEL STRUCTURE AND CONCRETE MASONRY WALLS ON THE EAST AND NORTH TIED INTO THE BUILDING'S EXISTING STRUCTURAL SYSTEM, AND WILL HAVE A NEW ROOF AND INFILL FRAMED WALLS. THE GROUND LEVEL ADDITION WILL BE CONCRETE MASONRY CONSTRUCTION WITH A STEEL FRAMED ROOF.

## BUILDING INFORMATION

CONSTRUCTION TYPE: EXISTING: TYPE IIB, PROPOSED: TYPE IIIB  
FIRE PROTECTION: SPRINKLERED  
NUMBER OF BUILDINGS: 1  
NUMBER OF STORIES: 2  
BUILDING AREA: EXISTING: 7,120 SF, DEMO: 182 SF, 1ST FLOOR ADDITION: 2,266 SF, 2ND FLOOR & MEZZ: 1,352 SF, TOTAL: 10,556 SF  
ALTERATION TYPE: LEVEL 3

## OCCUPANCY

PREVIOUS USE GROUP: A-3 ASSEMBLY (ABANDONED)  
PROPOSED USE GROUP: A-2 ASSEMBLY  
OCCUPANT LOAD: 922 OCCUPANTS FOR VENUE & LOUNGE, 33 OCCUPANTS FOR RESTAURANT, 955 TOTAL, SEE SHEET G-000

## ZONING

### INTENSITY & DIMENSIONAL STANDARDS

MAX. BUILDING HEIGHT: 45'  
MAX. LOT COVERAGE: N/A  
MIN. LOT WIDTH: N/A  
MIN. LOT AREA: N/A  
MIN. FRONT SETBACK: NOT REQ'D  
MAX. FRONT SETBACK: 20' OR AVG. OF ADJ. BUILDINGS  
MIN. SIDE SETBACK: N/A  
MIN. REAR SETBACK: NOT REQ'D

### EXISTING

LOT WIDTH: 180'  
LOT DEPTH: 105'  
LOT AREA: 18,900  
BUILDING FOOTPRINT: 7,120 SF  
LOT COVERAGE: 37.7%

### PROPOSED

BUILDING FOOTPRINT: 9,200 SF  
LOT COVERAGE: 48.7%  
FRONT SETBACK: 6'-1" (EXISTING), 16'-3" (ADDITION)  
REAR SETBACK: 0'  
SIDE SETBACK: 83'-5" (WEST), 0" (EAST)

## PARKING

### VENUE

3 FOR THE FIRST 1,000 SF & 1 PER 100 SF OVER 1,000

PER SEC. 50-14-49: MAY BE MULTIPLIED BY A FACTOR OF .75 FOR BUILDINGS WITHIN 0.5 MILES OF A PUBLIC TRANSIT STOP

## SHEET LIST

#	SHEET NAME	SD HDC 10/18/21
TITLE		
T-000	TITLE SHEET	●
GENERAL		
G-000	CODE REVIEW	●
G-001	GENERAL NOTES	●
DEMOLITION		
D-100	DEMOLITION PLAN	●
ARCHITECTURE		
A-101	FIRST FLOOR PLAN	●
A-300	EXTERIOR ELEVATIONS	●
A-301	EXTERIOR ELEVATIONS	●
A-400	BUILDING SECTIONS	●

PER SEC. 50-14-153 (C): PDD MAY GRANT A WAIVER FOR THE FIRST 3,000 SF OF PEDESTRIAN ORIENTED RETAIL, SERVICE, OR COMMERCIAL, USE IN ZONES SD1/SD2.

9,570 SF (LOUNGE AND VENUE) - 3000SF = 6,570 SF - 1000 (3 SPOTS) = 5,570 SF / 100 SF = 55.7 (56 SPOTS)

56 + 3 = 59 SPOTS X .75 = 44.25 (44 SPOTS)

PARKING REQ'D VENUE: 44 SPOTS  
MAX. DISTANCE: 100 OR 1320 FT (SEC. 50-14-7)

### RESTAURANT

3 FOR THE FIRST 500 SF & 1 PER 100 SF OVER 500

PER SEC. 50-14-49: MAY BE MULTIPLIED BY A FACTOR OF .75 FOR BUILDINGS WITHIN 0.5 MILES OF A PUBLIC TRANSIT STOP

986 SF (RESTAURANT) - 500 (3 SPOTS) = 486 SF / 100 SF = 4.86 (5 SPOTS)

5 + 3 = 8 SPOTS X .75 = 6 SPOTS

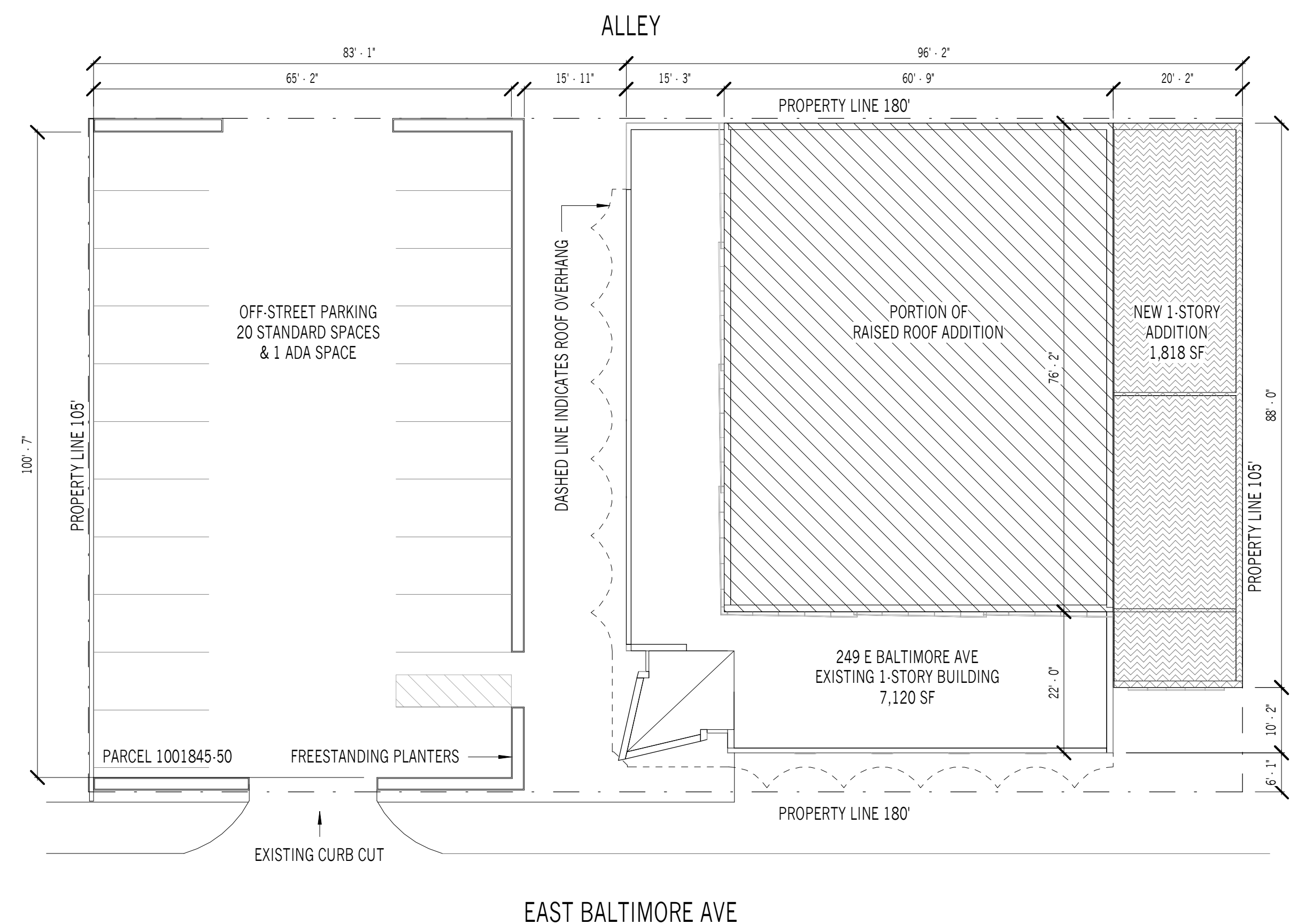
PARKING REQ'D REST: 6 SPOTS

**PARKING TOTAL REQUIRED**  
50 SPOTS, INCL. 2 ADA

MAX. DISTANCE PROVIDED ON SITE: 100 OR 1320 FT\*\* \*\*\*  
21 TOTAL - 19 STANDARD SPOTS, 2 ADA

\*\*DETROIT CITY CODE SEC. 50-14-7. IN ZONE, SD2 PARKING DISTANCE MAY BE INCREASED TO 1,320 SF IF "DISTRICT APPROACH" IS USED

\*\*\*DETROIT CITY CODE SEC. 50-14-162. VALET PARKING MAY SATISFY OFF-STREET PARKING REQUIREMENTS WITHOUT THE NEED FOR AN ALTERNATIVE PARKING PLAN.



01 SITE PLAN  
SCALE: 1/16" = 1'-0"

STANLEY'S  
249 EAST BALTIMORE AVE  
DETROIT, MI 48202

NO. ISSUE/REV. DATE

NOTE: NOT FOR CONSTRUCTION PURPOSES

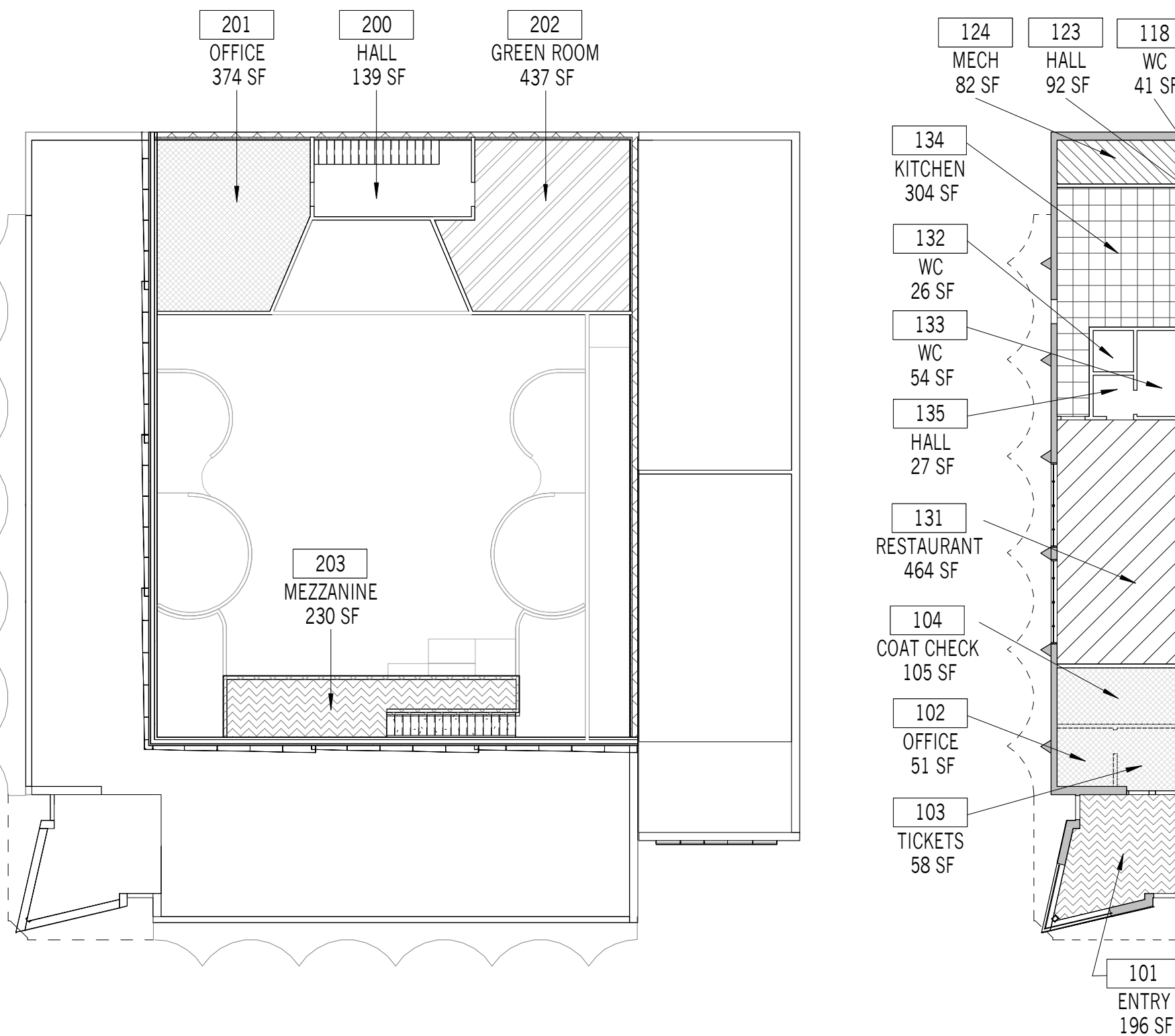
TITLE SHEET

T-000



**OCCUPANCY LOAD**

ROOM #	ROOM NAME	FUNCTION OF SPACE	AREA	LOAD FACTOR	OCC LOAD
<b>VENUE</b>					
101	ENTRY	ASSEMBLY - STANDING SPACE	196 SF	5 SF	40
102	OFFICE	BUSINESS	51 SF	100 SF	1
103	TICKETS	BUSINESS	58 SF	100 SF	1
104	COAT CHECK	BUSINESS	105 SF	100 SF	2
105	RAISED VENUE FLR	ASSEMBLY - STANDING SPACE	953 SF	5 SF	191
106	VENUE FLOOR	ASSEMBLY - STANDING SPACE	1568 SF	5 SF	314
107	VIP AREA	ASSEMBLY - STANDING SPACE	117 SF	5 SF	24
108	VIP AREA	ASSEMBLY - STANDING SPACE	153 SF	5 SF	31
109	VIP AREA	ASSEMBLY - STANDING SPACE	116 SF	5 SF	24
110	VIP AREA	ASSEMBLY - STANDING SPACE	153 SF	5 SF	31
111	BAR	COMMERCIAL KITCHEN	362 SF	200 SF	2
112	STORAGE	ACCESSORY STORAGE	102 SF	300 SF	1
113	MAIN STAGE	STAGE	389 SF	15 SF	26
114	A/V BOOTH	BUSINESS	40 SF	100 SF	1
115	WING	BUSINESS	74 SF	100 SF	1
116	WING	BUSINESS	130 SF	100 SF	2
117	GREEN ROOM	ASSEMBLY - UNCONCENTRATED	164 SF	15 SF	11
118	WC		41 SF		
119	WC/SHOWER		52 SF		
120	HALL		236 SF		
121	HALL		114 SF		
122	HALL		230 SF		
123	HALL		92 SF		
124	MECH	ACCESSORY MECHANICAL	82 SF	300 SF	1
125	WC		684 SF		
200	HALL		139 SF		
201	OFFICE	BUSINESS	374 SF	100 SF	4
202	GREEN ROOM	ASSEMBLY - UNCONCENTRATED	437 SF	15 SF	30
203	MEZZANINE	ASSEMBLY - STANDING SPACE	230 SF	5 SF	46
<b>RESTAURANT</b>					
131	RESTAURANT	ASSEMBLY - UNCONCENTRATED	464 SF	15 SF	31
132	WC		26 SF		
133	WC		54 SF		
134	KITCHEN	COMMERCIAL KITCHEN	304 SF	200 SF	2
135	HALL		27 SF		
<b>LOUNGE</b>					
126	JANITOR'S		25 SF		
127	LOUNGE	ASSEMBLY - STANDING SPACE	669 SF	5 SF	134
128	BAR	COMMERCIAL KITCHEN	183 SF	200 SF	1
129	STORAGE	ACCESSORY STORAGE	70 SF		
130	HALL		122 SF		
<b>VENUE FIRST FLOOR</b>			6,262 SF		704
<b>VENUE MEZZANINE</b>			237 SF		48
<b>VENUE SECOND FLOOR</b>			950 SF		34
<b>TOTAL VENUE</b>			7,449 SF		786
<b>TOTAL LOUNGE</b>			1,069 SF		135
<b>TOTAL RESTAURANT</b>			875 SF		33
<b>GRAND TOTAL</b>			9,393 SF		954



**04** SECOND FLOOR - OCCUPANCY PLAN  
SCALE: 1/16" = 1'-0"

**CODE REVIEW: CONSTRUCTION TYPE & FIRE RESISTANCE**

**CONSTRUCTION TYPE (MBC SECTION 602)**  
TYPE III-B

ALLOWABLE HEIGHT AND AREA* (MBC CH. 5)	REQUIRED	COMPLIANCE
ALLOWABLE HEIGHT	75' (S)	50' (EX. TOWER)
ALLOWABLE STORIES	3 (S)	2
ALLOWABLE AREA	28,500 SF	8,089 SF

**FIRE RESISTANCE RATING REQUIREMENTS**

BUILDING ELEMENTS (MBC TABLE 601):	REQUIRED	COMPLIANCE
PRIMARY STRUCTURAL FRAME	0 HOUR	
BEARING WALLS - EXTERIOR	2 HOUR	
BEARING WALLS - INTERIOR	0 HOUR	
NONBEARING INTERIOR WALLS & PARTITIONS	0 HOUR	
FLOOR CONSTRUCTION	0 HOUR	
ROOF CONSTRUCTION	0 HOUR	

**EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE (MBC TABLE 602):**

X < 5	1 HOUR
5 ≤ X < 10	1 HOUR
10 ≤ X < 30	0 HOUR
X ≥ 30	0 HOUR

**MAX. AREA OF EXTERIOR OPENINGS (MBC TABLE 705.8):**

X < 3	UNPROTECTED, SP.	PROTECTED
3 ≤ X < 5	15%	15%
5 ≤ X < 10	25%	25%
10 ≤ X < 15	45%	45%
15 ≤ X < 20	75%	75%
20 ≤ X < 25	NO LIMIT	NO LIMIT
25 ≤ X < 30	NO LIMIT	NO LIMIT
X ≥ 30	NO LIMIT	NO LIMIT

CORRIDORS (MBC TABLE 1020.1)	REQUIRED	COMPLIANCE
CORRIDORS (>30 OCC, SPRINKLERED)	0 HOUR	YES

**FIRE SEPARATION REQUIREMENTS (MBC TABLE 508.4)**

NONE REQUIRED BETWEEN SEPARATE A-ASSEMBLY OCCUPANCIES

B-BUSINESS USE OF OFFICE IS ACCESSORY OCCUPANCY - NO SEPARATION REQUIRED

**PLUMBING FIXTURES**

	FIXTURE TYPE	OCC. COUNT	QUANTITY REQUIRED	PROVIDED
<b>VENUE &amp; LOUNGE</b>				
A-2	MALE WC	921	1 PER 40	23
	FEMALE WC			19
	LAVATORIES		1 PER 75	12
	DRINKING FOUNTAIN		1 PER 500*	0*
	SERVICE SINK		1 SERVICE SINK	1
<b>RESTAURANT</b>				
A-2	MALE WC	33+45 OUTDOOR SEATS	1 PER 75	2
	FEMALE WC			2
	LAVATORIES		1 PER 200	1
	DRINKING FOUNTAIN		1 PER 500*	0*
	SERVICE SINK		1 SERVICE SINK	1

\* DRINKING WATER WILL BE PROVIDED FOR FREE (MICHIGAN PLUMBING CODE SEC. 410.4)

**INTERIOR FINISHES (MBC TABLE 803.11)**

VERTICAL EXITS & PASSAGEWAYS	B (S)
CORRIDORS & ENCLOSURES	B (S)
ROOMS AND ENCLOSED SPACES	C (S)

**CODE REVIEW: FIRE PROTECTION**

**FIRE PROTECTION**

PER MBC 903.2.1.2: GROUP A-2: AN AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED FOR FIRE AREAS CONTAINING GROUP A-2 OCCUPANCIES AND INTERVENING FLOORS OF THE BUILDING WHERE ONE OF THE FOLLOWING CONDITIONS EXISTS:

- THE FIRE AREA EXCEEDS 5,000 SQUARE FEET (464.5 M2). - YES
- THE FIRE AREA HAS AN OCCUPANT LOAD OF 100 OR MORE. - YES
- THE FIRE AREA IS LOCATED ON A FLOOR OTHER THAN A LEVEL OF EXIT DISCHARGE. - YES

AUTOMATIC SPRINKLER SYSTEM REQ'D? REQUIRED

**STANDPIPES**

PER MBC SEC. 905.3.2: GROUP A. CLASS I AUTOMATIC WET STANDPIPES SHALL BE PROVIDED IN NONSPRINKLERED GROUP A BUILDINGS HAVING AN OCCUPANT LOAD EXCEEDING 1,000 PERSONS.

STANDPIPES NOT REQUIRED

**PORTABLE FIRE EXTINGUISHERS (MBC SEC. 906.1)**

IN GROUP A, PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:

WITHIN 30' OF COMMERCIAL COOKING EQUIPMENT	COMPLIES
IN AREAS WHERE COMBUSTIBLE LIQUIDS ARE STORED	COMPLIES
ON EACH FLOOR OF STRUCTURES UNDER CONSTRUCTION	COMPLIES

**FIRE ALARM AND DETECTION SYSTEMS (MBC SEC. 907.2.1)**

IN GROUP A, FIRE ALARM SHALL BE INSTALLED WHERE OCC. LOAD ≥ 300

**CODE REVIEW: EGRESS**

EGRESS REQUIREMENTS	REQUIRED	COMPLIANCE
---------------------	----------	------------

VENUE - EXITS REQUIRED (MBC SEC 1006.2.1)	3	5 - COMPLIES
DISTANCE BETWEEN (MBS SEC. 1007.1)	1/3 DIAG.(S)	COMPLIES
DOOR SWING IN (MBC SEC 1010.1.2.1)	DIR. OF TRAVEL	Y - COMPLIES
PANIC HARDWARE REQUIRED (MBC SEC. 1010.1.10)	YES	Y - COMPLIES

LOUNGE - EXITS REQUIRED (MBC SEC 1006.2.1)	2	2 - COMPLIES
DISTANCE BETWEEN (MBS SEC. 1007.1)	1/3 DIAG.(S)	COMPLIES
DOOR SWING IN (MBC SEC 1010.1.2.1)	DIR. OF TRAVEL	Y - COMPLIES
PANIC HARDWARE REQUIRED (MBC SEC. 1010.1.10)	YES	Y - COMPLIES

RESTAURANT - EXITS REQUIRED (MBC SEC 1006.2.1)	1	1 - COMPLIES
DISTANCE BETWEEN (MBS SEC. 1007.1)	N/A	N/A
DOOR SWING IN (MBC SEC 1010.1.2.1)	N/A	N/A
PANIC HARDWARE REQUIRED (MBC SEC. 1010.1.10)	NOT REQ'D	N/A

EXIT ACCESS DISTANCE	REQUIRED	COMPLIANCE
MAX. COMMON PATH OF TRAVEL (MBC TABLE 1006.2.1)	75'	COMPLIES
MAXIMUM TRAVEL DISTANCE (MBC TABLE 1017.2)	250' (S)	COMPLIES
DEAD END CORRIDOR LENGTH (MRCB SEC 805.6)	35'	COMPLIES
TRAVEL DIST. STORIES W/ ONE EXIT (MBC TABLE 1006.3.2(2))	75'	COMPLIES

EGRESS WIDTH (MBC SEC. 1005.3.2)	REQUIRED	COMPLIANCE
----------------------------------	----------	------------

VENUE - STAIRWAYS @ 0.3" *OCC	93.5" (2/5 EXITS)	104" - COMPLIES
VENUE - DOORS @ 0.2" * OCC	155.8" (5 EXITS)	180" - COMPLIES
VENUE - HALLWAYS @ 0.2" * OCC	62.3" (2/5 EXITS)	104" - COMPLIES

LOUNGE - DOORS @ 0.2" * OCC	27" (2 EXITS)	72" - COMPLIES
LOUNGE - HALLWAYS @ 0.2" * OCC	13.5" (1/2 EXITS)	60" - COMPLIES

RESTAURANT - DOORS @ 0.2" * OCC	6.6' (1 EXIT)	72" - COMPLIES
---------------------------------	---------------	----------------

**DISTANCE BETWEEN EXITS (MBC SEC. 1007.1)**

VENUE - 1/3 MAX. DIAG. (S)	129' 10" / 3 = 43'-3"	85'-5" - COMPLIES
LOUNGE - 1/3 MAX. DIAG. (S)	53'-4" / 3 = 17'-8"	21'-4" - COMPLIES
RESTAURANT	N/A - 1 EXIT	N/A

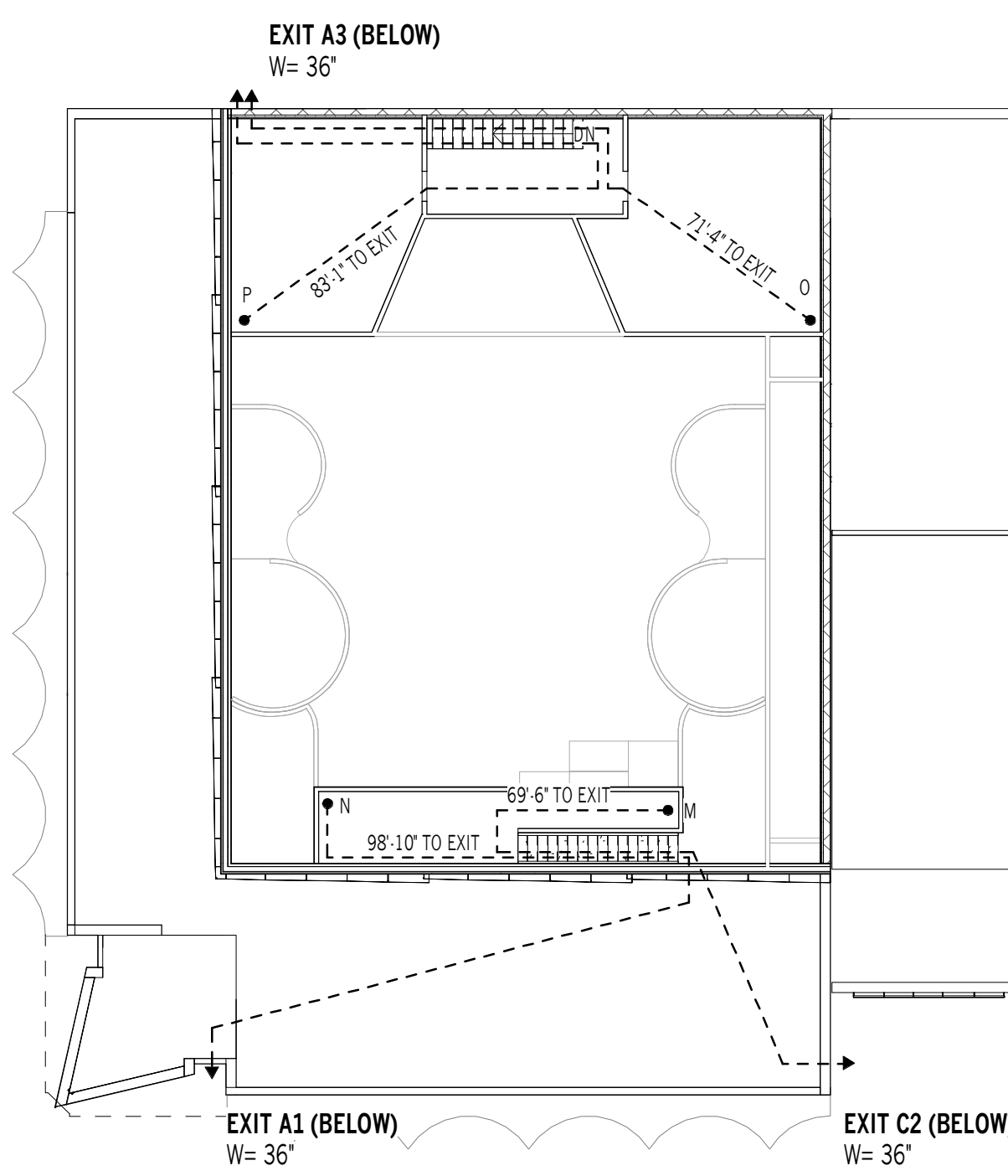
**EGRESS THROUGH INTERVENING SPACES**

PER MBC SECTION 1016.2 - 2. EGRESS FROM A ROOM OR SPACE SHALL NOT PASS THROUGH ADJOINING OR INTERVENING ROOMS OR AREAS, EXCEPT WHERE SUCH ADJOINING ROOMS OR AREAS AND THE AREA SERVED ARE ACCESSORY TO ONE OR THE OTHER, ARE NOT A GROUP H OCCUPANCY AND PROVIDE A DISCERNIBLE PATH OF EGRESS TRAVEL TO AN EXIT.

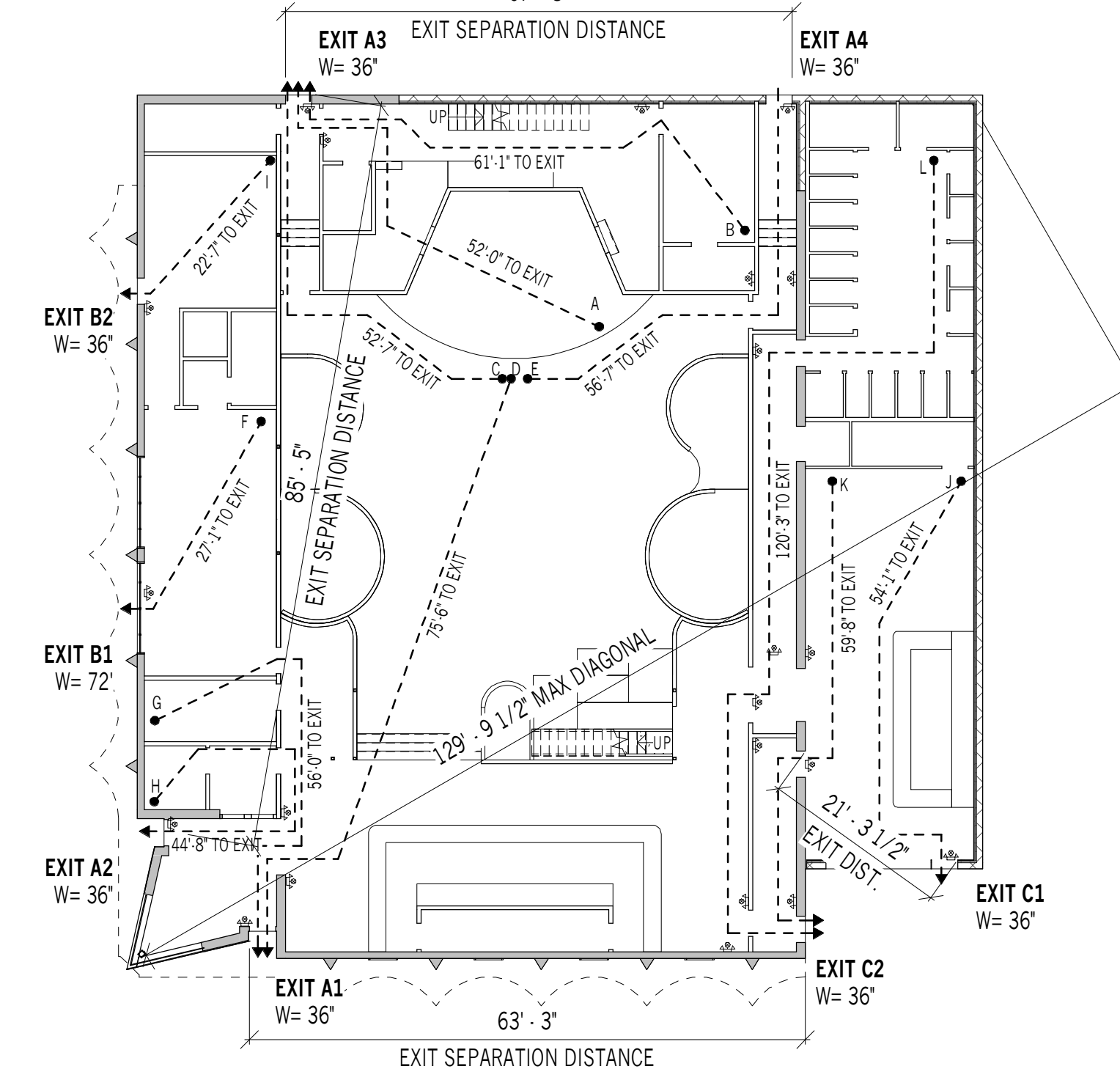
COMPLIES

**ACCESSIBLE ENTRANCES & EXITS**

ACCESS. ENTRY (MBC SEC 1105.1) - VENUE	REQUIRED	COMPLIANCE
ACCESS. ENTRY (MBC SEC 1105.1) - LOUNGE	60%	2/2 - COMPLIES
ACCESS. ENTRY (MBC SEC 1105.1) - RESTAURANT	60%	1/1 - COMPLIES
ACCESS. EXITS (MBC SEC 1009.1) - VENUE	2*	2 - COMPLIES
ACCESS. EXITS (MBC SEC 1009.1) - LOUNGE	2	2 - COMPLIES
ACCESS. EXITS (MBC SEC 1009.1) - RESTAURANT	1*	1 - COMPLIES



**02** SECOND FLOOR - EGRESS & LIFE SAFETY PLAN  
SCALE: 1/16" = 1'-0"



**01** FIRST FLOOR - EGRESS & LIFE SAFETY PLAN  
SCALE: 1/16" = 1'-0"



END STUDIO, LLC  
2000 Brooklyn Street  
Detroit, MI 48226  
313.626.7073  
e-n-d-studio.com

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE USED FOR OTHER PROJECTS, FOR REVISIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS.

**STANLEY'S**  
249 EAST BALTIMORE AVE  
DETROIT, MI 48202


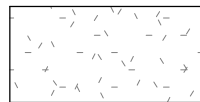
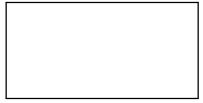
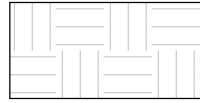


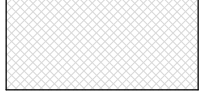


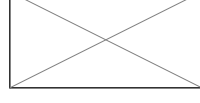

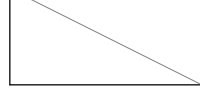
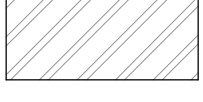
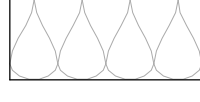

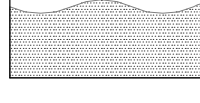
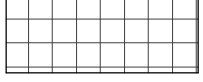
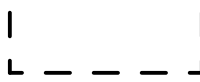
NO. ISSUE/REV. DATE

NOTE: NOT FOR CONSTRUCTION PURPOSES


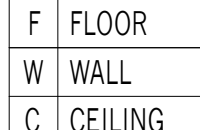
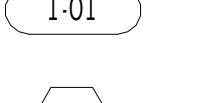

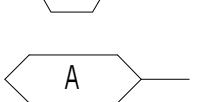

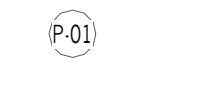

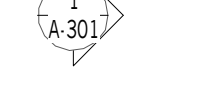
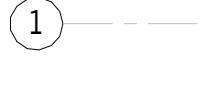
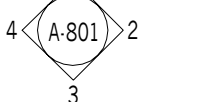



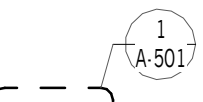
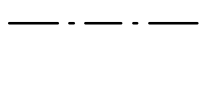
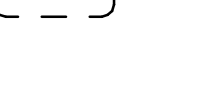
CODE REVIEW

G-000

**MATERIAL KEY**

	EXISTING WALL TO REMAIN		DRYWALL / PLASTER
	NEW WALL CONSTRUCTION		EARTH / SOIL
	CAST IN PLACE CONCRETE		PLYWOOD
	CONCRETE MASONRY UNIT (CMU)		WOOD
	BRICK MASONRY		WOOD - DIMENSIONAL LUMBER
	CRUSHED STONE		WOOD - BLOCKING
	STEEL		BATT INSULATION
	ALUMINUM		SPRAY FOAM INSULATION
	RIGID INSULATION		DEMO WALL

























**DRAWING SYMBOL KEY**

	ROOM TAG		FINISH TAG
	DOOR TAG		REVISION TAG
	WINDOW TAG		STRUCTURAL GRID LINE
	WALL TYPE		ELEVATION MARKER
	PLUMBING/EQUIP TAG		LOT LINE
	EXTERIOR ELEVATION		SETBACK
	INTERIOR ELEVATION(S)		ONE HOUR WALL
	SECTION		TWO HOUR WALL
	DETAIL CALL OUT		


**ABBREVIATIONS**

ABV ABOVE	COL COLUMN	ENCL ENCLOSURE	GC GENERAL CONTRACTOR	INT INTERIOR	MFR MANUFACTURER	PLUM PLUMBING	SF SQUARE FOOT	W/O WITHOUT
ACOUS ACOUSTICAL	CONC CONCRETE	ENG ENGINEER	GLZ GLAZING		MH MANHOLE	PLY PLYWOOD	SHT SHEET	WAT WATER
ACC ACCESSORY	CONST CONSTRUCTION	EQ EQUAL	GR GRADE	JBOX JUNCTION BOX	MIN MINIMUM	PNT PAINT	SIM SIMILAR	WC WATER CLOSET
ACCES ACCESSIBLE	CONT CONTINUOUS	EQUIP EQUIPMENT	GUT GUTTER	JC JANITORS CLOSET	MIR MIRROR	POL POLISHED	SPEC SPECIFICATION	WD WOOD
ADA AMERICANS WITH DISABILITIES ACT	COORD COORDINATE	EST ESTIMATE(D)	GWB GYPSUM WALL BOARD	JST JOIST	MISC MISCELLANEOUS	PRTN PARTITION	SQ SQUARE	WP WATERPROOFING
ADD ADDITIONAL	CORR CORRIDOR	EXH EXHAUST		JNT JOINT	MMR MOISTURE & MOLD RESISTANT	PSF POUNDS PER SQUARE FOOT	SS STAINLESS STEEL	WPT WORKING POINT
ADJ ADJACENT	CPT CARPET	EXP JT EXPANSION JOINT	H/C HANDICAPPED		MO MASONRY OPENING	PT PRESSURE TREATED	STD STANDARD	WT WEIGHT
AFF ABOVE FINISHED FLOOR	CTR CENTER	EXIST EXISTING	HALG HALOGEN	KIT KITCHEN	MTL METAL	PTD PAINTED	STL STEEL	
ALT ALTERNATE	CW COLD WATER	EXT EXTERIOR	HB HOSE BIB		MUL MULLION		STR STAIR	&, + AND @ AT
ALW ALLOW			HC HOLLOW CORE	L LENGTH			STRUC STRUCTURE	
ALWB ALLOWABLE	DBL DOUBLE	F&I FURNISH AND INSTALL	HD HEAD	LAM LAMINATE	NFC NOT FOR CONSTRUCTION	QUAL QUALITY	SUP SUPPLY	
ALUM ALUMINUM	DEMO DEMOLITION	FAB FABRICATE	HDF HIGH DENSITY FIBER BOARD	LAV LAVATORY	NIC NOT IN CONTRACT	QTY QUANTITY	SUSP SUSPENDED	
ANOD ANODIZED	DIA DIAMETER	FBO FURNISH BY OWNER		LBS POUNDS	NO NUMBER		SYM SYMMETRICAL	
ARCH ARCHITECT	DEG DEGREE	FLDR FLOOR DRAIN	HWDR HARDWARE	LF LINEAR FEET	NOM NOMINAL		SYST SYSTEM	
ASMB ASSEMBLY	DIM DIMENSION	FIN FINISH(ED)	HM HOLLOW METAL	LN LINEAR	NTS NOT TO SCALE			
	DW DRYWALL	FLG FLOORING	HR HORIZONTAL	LT LIGHT			UL UNDERWRITERS LABORATORY	
	DISP DISPENSER	FLR FLOOR	HT HOUR		OC ON CENTER		UON UNLESS OTHERWISE NOTED	
BLDG BUILDING	DN DOWN	FLUOR FLUORESCENT	HT HEIGHT	MACH MACHINE	OD OUTSIDE DIAMETER			
BLT-IN BUILT-IN	DR DOOR	FND FOUNDATION	HVAC HEATING, VENTILATION & AIR CONDITIONING	MAS MASONRY	OPNG OPENING			
BTW BETWEEN	DSPT DOWNSPOUT	FP FIRE PROOFING		MAX MAXIMUM	OPP OPPOSITE			
B/W BETWEEN	DTL DETAIL	FO FACE OF	HW HOT WATER	MC MECHANICAL	OPT OPTION(AL)			
	DWG DRAWING	FT FOOT/FEET	HWB HOT WATER HEATER	CONTRACTOR CONTRACTOR	OZ OUNCE			
		FTG FOOTING		MDF MEDIUM DENSITY FIBER BOARD				
CAB CABINET	EA EACH			ID INSIDE DIAMETER	PH PENTHOUSE		VNL VINYL	
CEM CEMENT	EC ELECTRICAL CONTRACTOR			IN INCH	PL PROPERTY LINE		VERT VERTICAL	
CIP CAST IN PLACE	EL ELEVATION	GA GAUGE		INCAND INCANDESCENT	PLAS PLASTIC		VEST VESTIBULE	
CL CENTER LINE	ELEC ELECTRICAL	GALV GALVANIZED		INSUL INSULATION			VIF VERIFY IN FIELD	
CLG CEILING	ELEV ELEVATOR	GAR GARAGE						
CLO CLOSET								
CMU CONCRETE MASONRY UNIT								
















**POWER & DATA KEY**

SYMBOL	DESCRIPTION
	DUPLEX
	DUPLEX - SPECIFIC MOUNTING HT.
	DUPLEX - GFCI
	DUPLEX - WATERPROOF
	DUPLEX - SWITCHED
	DENOTES EXISTING
	QUADPLEX
	DUPLEX IN FLOOR / COUNTER
	DUPLEX IN CEILING
	SWITCH
	DIMMER SWITCH
	THREE-WAY SWITCH
	THREE-WAY DIMMER SWITCH
	JAMB SWITCH
	SWITCH WITH OCC. SENSOR
	TELEPHONE
	DATA
	TELEPHONE & DATA
	TELEVISION
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	SPEAKER LOCATION
	SPEAKER INPUT
	CAMERA






**MECHANICAL KEY**

SYMBOL	DESCRIPTION
	EXHAUST FAN
	FLOOR/CLNG SUPPLY REGISTER
	FLOOR/CLNG RETURN GRILLE
	WALL/HORIZ. SUPPLY REGISTER
	WALL/HORIZ. RETURN REGISTER
	CEILING GRID SUPPLY REGISTER
	CEILING GRID RETURN GRILLED
	ROUND SUPPLY REGISTER



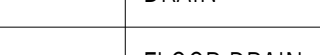
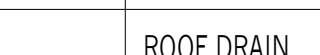


**LIGHTING KEY**

SYMBOL	DESCRIPTION
	RECESSED FIXTURE
	WALL MOUNTED SCNCE
	PENDANT FIXTURE
	FLUSH MOUNT FIXTURE
	LED STRIP LIGHT
	TRACK LIGHT
	LINEAR LENSED FIXTURE
	TROFFER FIXTURE
	MOTION SENSOR FLOOD LIGHT
	EXTERIOR FLOOD LIGHT
	DENOTES WET-RATED FIXTURE
	DENOTES EXISTING FIXTURE
	CEILING FAN
	REC. LIGHT VENT FAN COMBO
	EMERGENCY LIGHTING

**LIFE SAFETY KEY**

SYMBOL	DESCRIPTION
	EXIT SIGN W/ ONE LIGHT
	EXIT SIGN W/ DIR. ARROW
	EXIT SIGN W/ TWO LIGHTS
	EXIT SIGN W/ EMERGENCY LTG
	PORTABLE FIRE EXTINGUISHER

**PLUMBING KEY**

SYMBOL	DESCRIPTION
	COLD WATER
	HOT WATER
	DRAIN
	FLOOR DRAIN
	ROOF DRAIN
	FLOOR DRAIN

**GENERAL NOTES**

- THIS APPLICATION IS BEING FILED FOR THE INTERIOR RENOVATION OF AN EXISTING COMMERCIAL SPACE.
- CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, INCIDENTALS, AND ANY OTHER ITEMS REQUIRED FOR THE COMPLETION OF THE WORK AS SHOWN IN THE CONTRACT DOCUMENTS, UNLESS OTHERWISE NOTED.
- ALL WORK SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND LAWS, AND ANY OTHER APPLICABLE REGULATIONS INCLUDING FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND BEST TRADE PRACTICES.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING AGENCIES.
- NOTIFY ARCHITECT FOR CLARIFICATION IN CASE OF ANY DISCREPANCIES, CONFLICTS, OR OMISSIONS IN THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS. AN ADDENDUM TO THE CONTRACT DOCUMENTS WILL BE PROVIDED AS NECESSARY.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS SHOWN ON PLANS AT THE JOB SITE BEFORE COMMENCING ANY WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT.
- DIMENSIONING RULES:
  - DIMENSIONS ARE TAKEN FROM FACE OF FINISHED SURFACE TO FACE OF FINISHES SURFACE, UNLESS OTHERWISE NOTED.
  - DIMENSIONS MARKED "VERIFY", "VERIFY IN FIELD" OR "VIF" SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND DISCUSSED WITH THE ARCHITECT IF DISCREPANCIES ARISE.
  - DIMENSIONS MARKED "CLEAR" OR "CLR" OR "HOLD" MUST BE PRECISELY MAINTAINED
  - DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL BY ARCHITECT UNLESS MARKED "+/-"
  - DO NOT SCALE DRAWINGS. NOTIFY ARCHITECT FOR CLARIFICATION IF WRITTEN DIMENSION IS NOT SHOWN IN DRAWINGS.
- CONTRACTOR SHALL LAY OUT THEIR OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES.
- ABBREVIATIONS ON THE DRAWINGS ARE AS NOTED IN THE KEY. NOTIFY ARCHITECT OF ANY ABBREVIATIONS IN QUESTION.
- MAINTAIN A FREE AND SAFE PASSAGE TO AND FROM CONSTRUCTION AREA AND ADJACENT BUILDING AREAS AT ALL TIME. REQUIRED EXITS SHOULD NOT BE BLOCKED AT ANY TIME.
- SUBMIT SHOP DRAWINGS, MOCK UPS, SAMPLES, AND OTHER REQUIRED SUBMITTALS IN A TIMELY FASHION AND ALLOW ARCHITECT SUFFICIENT TIME, MINIMUM OF (5) WORKING DAYS, FOR REVIEW PRIOR TO FABRICATION OR ORDER PLACEMENT.

**DEMOLITION NOTES**

- DEMOLITION SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES, ORDINANCES, AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY, AND ENVIRONMENTAL PROTECTION.
- ALL EXISTING WALLS, GLAZING, AND OTHER WORK TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE PROVIDE BRACING OR SHORING AS REQUIRED TO SUPPORT THE STRUCTURE DURING DEMOLITION. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REQUIRED REPAIRS WITHOUT ADDITIONAL COST TO THE OWNER. REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.
- COORDINATE DEMOLITION REQUIRED TO PERFORM NEW WORK WITH CONTRACT DOCUMENTS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- REMOVE ABANDONED HVAC EQUIPMENT, DUCTWORK, ELECTRICAL, AND PLUMBING BACK TO THEIR PRIMARY SOURCE OR AS DIRECTED. DISCONNECT, CAP, AND IDENTIFY ALL UTILITIES IN AREAS OF DEMOLITION. MAINTAIN UTILITIES TO ALL OCCUPIED AREAS OF THE BUILDING AND COORDINATE TEMPORARY DISRUPTION WITH OWNER AND ANY OTHER AFFECTED PARTIES.
- CAREFULLY REMOVE, PROTECT, AND STORE FOR REINSTALLATION OR SALVAGE ALL: LIGHT FIXTURES, PLUMBING FIXTURES, DOORS, FIRE SAFETY & EMERGENCY FIXTURES.
- PROVIDE ENCLOSURE AND PROTECTION AS REQUIRED TO CONTAIN SPREAD OF ALL DUST, FUMES, ETC. PRODUCED DURING DEMOLITION AND CONSTRUCTION.
- REMOVE AND LEGALLY DISPOSE OF ALL DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OR CONSTRUCTION. IN OCCUPIED AREAS, CLEAN AND DISPOSE OF MATERIALS DAILY.
- REMOVE TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE AREAS AND SITE BROOM SWEEPED, ORDERLY, AND IN CONDITION ACCEPTABLE FOR CONSTRUCTION.

**PLAN NOTES**

- LAYOUT PARTITIONS AS NOTED ON DRAWING. CUT AND FIT COMPONENTS OF EXISTING WORK AS REQUIRED TO INSTALL NEW WORK. ALL NEW FINISHES ARE TO ALIGN FLUSH WITH EXISTING FINISHES WITHOUT EVIDENCE OF ADDITION. WHERE NEW GYPSUM BOARD ALIGNS WITH EXISTING PLASTER. ALIGN THE PARTITION STUD TO CREATE FLUSH SURFACE.
- TYPICAL DETAILS ARE KEYED AND NOTED "TYPICAL AND ARE USUALLY REPRESENTATIVE OF TYPICAL CONDITIONS THROUGHOUT. IN CASE OF QUESTION OR DISCREPANCY, NOTIFY ARCHITECT.
- PROVIDE EXTRA STUD FOR SWITCH OR POWER OUTLETS AS REQUIRED. REINFORCE DOOR AND WINDOW JAMBS WITH EXTRA STUD AS REQUIRED.
- PROVIDE FIRE DAMPERS AT ALL DUCT PENETRATIONS THROUGH FIRE RATED ASSEMBLIES.
- ALL FIRE RATED DOORS AND WINDOWS SHALL BE LABELED AS REQUIRED BY CODE. TEMPERED GLASS TO BE INSTALLED WITH MANUFACTURER'S SEAL IN BOTTOM CORNER.

**FINISH NOTES**

- FINISHES SHALL BE CONTINUOUS THROUGHOUT UNLESS OTHERWISE NOTED. APPLY FINISHES AND COVERINGS SO SURFACE IS DIVIDED WITH A MINIMUM NUMBER OF SEAMS AND EQUAL WIDTH PANELS, UNLESS OTHERWISE NOTED.
- ALL FINISH MATERIALS SHALL BE INSTALLED IN STRICT CONFORMANCE WITH MANUFACTURER'S INSTRUCTIONS AND ALL APPLICABLE CODES AND REGULATIONS.
- PROVIDE LEVELING COMPOUND AS REQUIRED SO THAT FLOORING TRANSITIONS ARE SMOOTH FROM ONE SURFACE TO THE NEXT. FEATHER TRANSITIONS AT 1" PER 20" MAXIMUM. ALL TRANSITIONS BETWEEN FLOOR FINISHES TO BE LOCATED DIRECTLY UNDER CENTER OF DOOR, UNLESS OTHERWISE NOTED. PROVIDE TRANSITION STRIPS AS REQUIRED, COORDINATE FINISH & LOCATION WITH ARCHITECT.

**RCP, MECHANICAL, ELECTRICAL, AND PLUMBING NOTES**

- UNLESS OTHERWISE NOTED, ALL MECHANICAL, ELECTRICAL, AND PLUMBING FIXTURES SHALL BE LOCATED AS SHOWN IN THE TYPICAL MOUNTING RULES DIAGRAM. ACCESS PANELS SHALL BE PROVIDED AS REQUIRED BY CODE AND PER MANUFACTURER'S INSTRUCTIONS FOR MAINTENANCE AND REPAIRS.
- IF EXISTING LOCATIONS DO NOT CONFLICT WITH CODE OR MAXIMUM/MINIMUM REACH HEIGHTS, RECEPTACLES SHOULD BE MOUNTED TO MATCH THE HEIGHT AND ORIENTATION OF EXISTING RECEPTACLES IN ROOM. SWITCHES TO BE MOUNTED TO MATCH THE HEIGHT OF EXISTING SWITCHES IN ROOM. IF NO REFERENCE EXISTS, ALL RECEPTACLES & LIGHT FIXTURES SHALL BE MOUNTED AT THE HEIGHTS SPECIFIED IN THE TYPICAL MOUNTING RULES DIAGRAM, UNLESS OTHERWISE NOTED.
- SWITCHES, FIXTURES, AND RECEPTACLES SHOWN ADJACENT ON PLAN WITH DIMENSION ONLY TO ONE OF THEM SHOULD BE GANGED IN BANKS. SWITCHES, FIXTURES, AND RECEPTACLES WITH DISSIMILAR MOUNTING HEIGHTS SHOWN ADJACENT ON PLAN SHALL BE STACKED VERTICALLY.
- EXISTING OUTLETS, FIXTURES, AND SWITCHES NOT SHOWN ON PLAN TO REMAIN AND BE REUSED.
- ALL APPLIANCE-SPECIFIC OUTLETS TO BE COORDINATED WITH APPLIANCE SELECTION.
- OUTLETS AND SWITCHES SHOULD NOT BE INSTALLED BACK-TO-BACK WITHOUT SEPARATING STUD OR INSULATION.
- PROVIDE GFCI OUTLETS AND WET-RATED FIXTURES IN ALL WET AREAS, OUTDOOR AREAS, AND ANY OTHER LOCATION REQUIRED BY CODE.
- ALL SWITCH PLATES AND OUTLETS COVERS, ETC., SHOULD BE INSTALLED AFTER PAINTING AND WALL COVERINGS ARE INSTALLED. PROTECTIVE COVERINGS ON ALL FIXTURES SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED. DAMAGED FIXTURES SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
- PROVIDE EMERGENCY LIGHTING AND EXIT SIGNAGE AS REQUIRED BY CODE.
- COORDINATE LIGHT FIXTURE AND MECHANICAL REGISTER LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION. IF ANY CONFLICT OCCURS BETWEEN THE WORK OF SEPARATE TRADES OR BETWEEN DRAWINGS AND EXISTING CONDITIONS, COORDINATE WITH ARCHITECT IN FIELD.
- WHERE ACOUSTICAL TILES ARE REQUIRED TO BE CUT, CUT TO MAINTAIN A SHARP AND NEAT EDGE. INSTALL ALL LIGHTS, REGISTERS, SIGNAGE, AND OTHER FIXTURES AND EQUIPMENT IN THE CENTER OF TILE UNLESS OTHERWISE NOTED.



END STUDIO, LLC  
 2000 Brooklyn Street  
 Detroit, MI 48226  
 313.626.7073  
 e-n-d-studio.com

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE USED FOR OTHER PROJECTS, FOR REVISIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS.

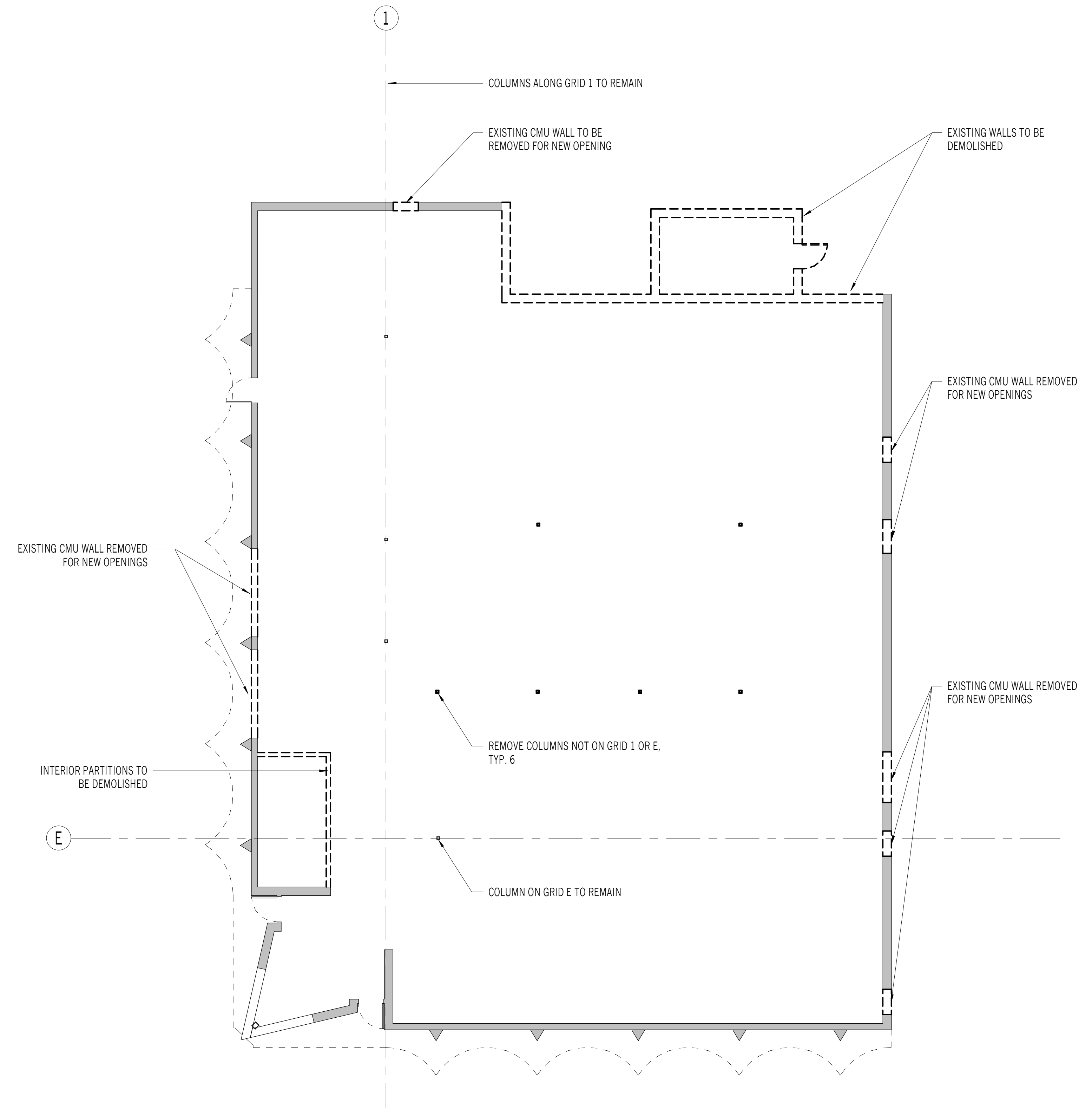
STANLEY'S  
 249 EAST BALTIMORE AVE  
 DETROIT, MI 48202

NO. ISSUE/REV. DATE

NOTE: NOT FOR CONSTRUCTION PURPOSES

GENERAL NOTES

G-001



01 FIRST FLOOR DEMOLITION PLAN  
SCALE: 1/8" = 1'-0"

STANLEY'S  
249 EAST BALTIMORE AVE  
DETROIT, MI 48202

NO. ISSUE/REV. DATE

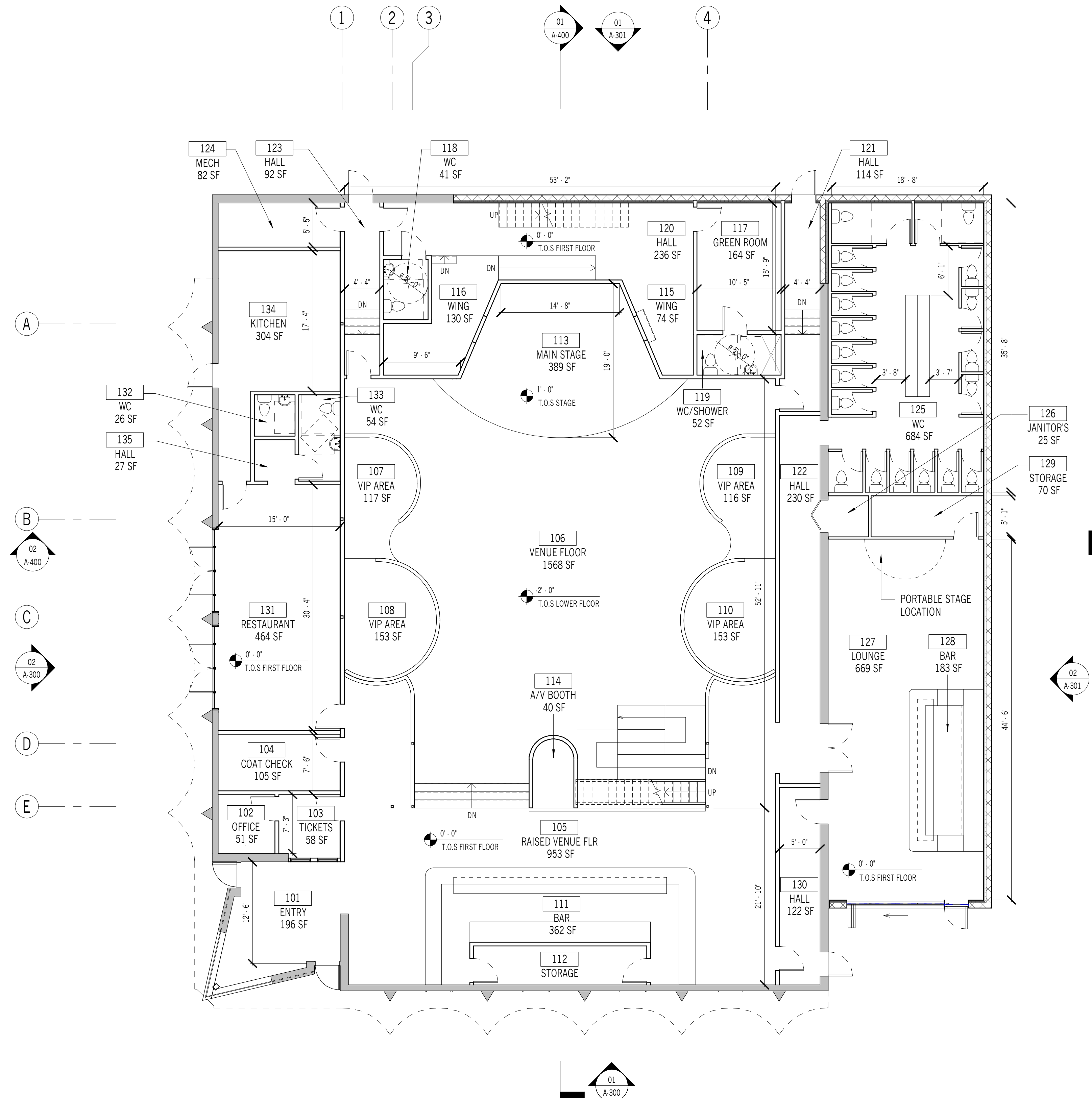
NO.	ISSUE/REV.	DATE

NOTE: NOT FOR CONSTRUCTION PURPOSES

DEMOLITION PLAN

D-100





**01** FIRST FLOOR PLAN  
 SCALE: 1/8" = 1'-0"

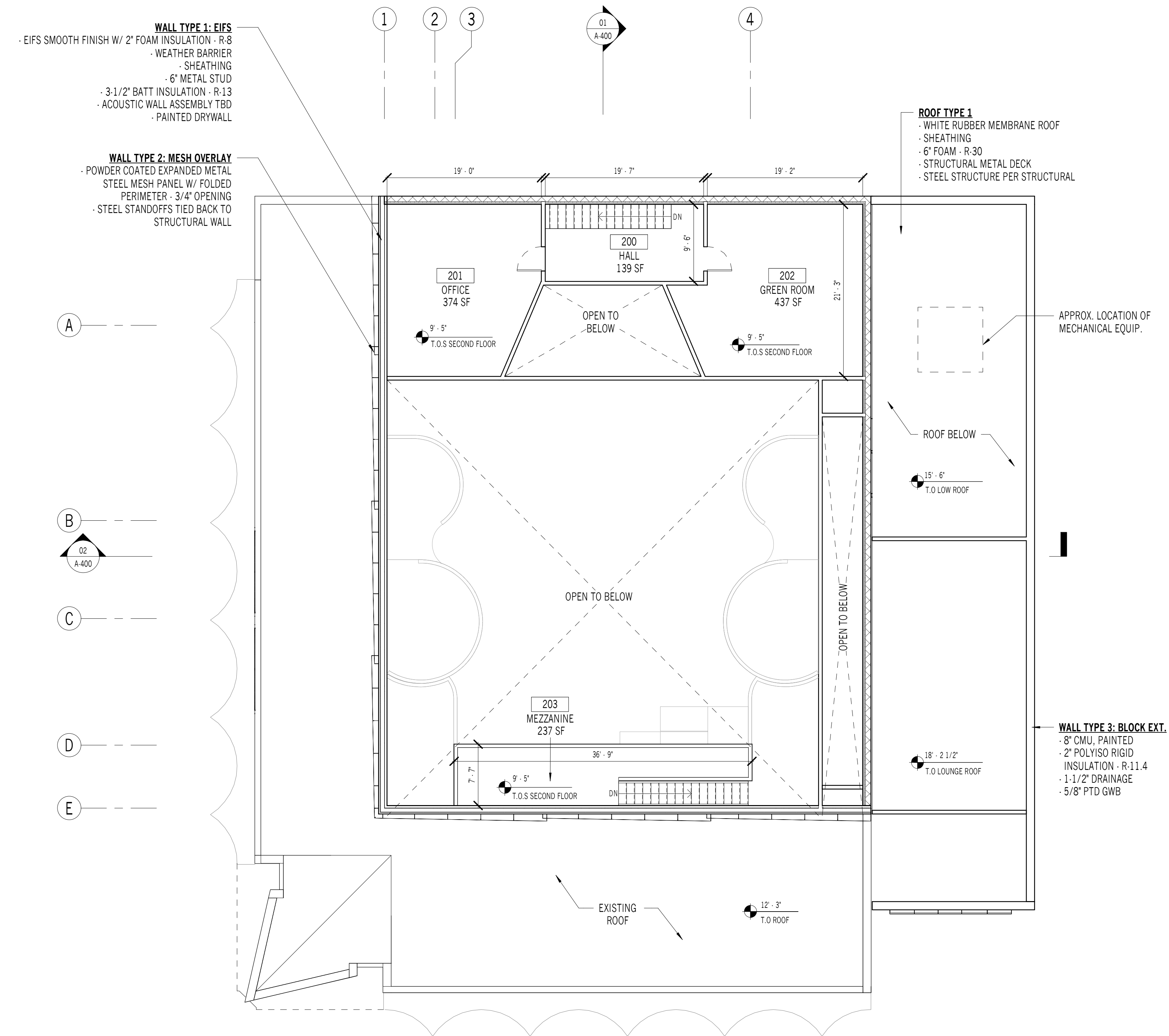
**STANLEY'S**  
 249 EAST BALTIMORE AVE  
 DETROIT, MI 48202

NO.	ISSUE/REV.	DATE

**NOTE:** NOT FOR CONSTRUCTION PURPOSES

**FIRST FLOOR PLAN**

**A-101**



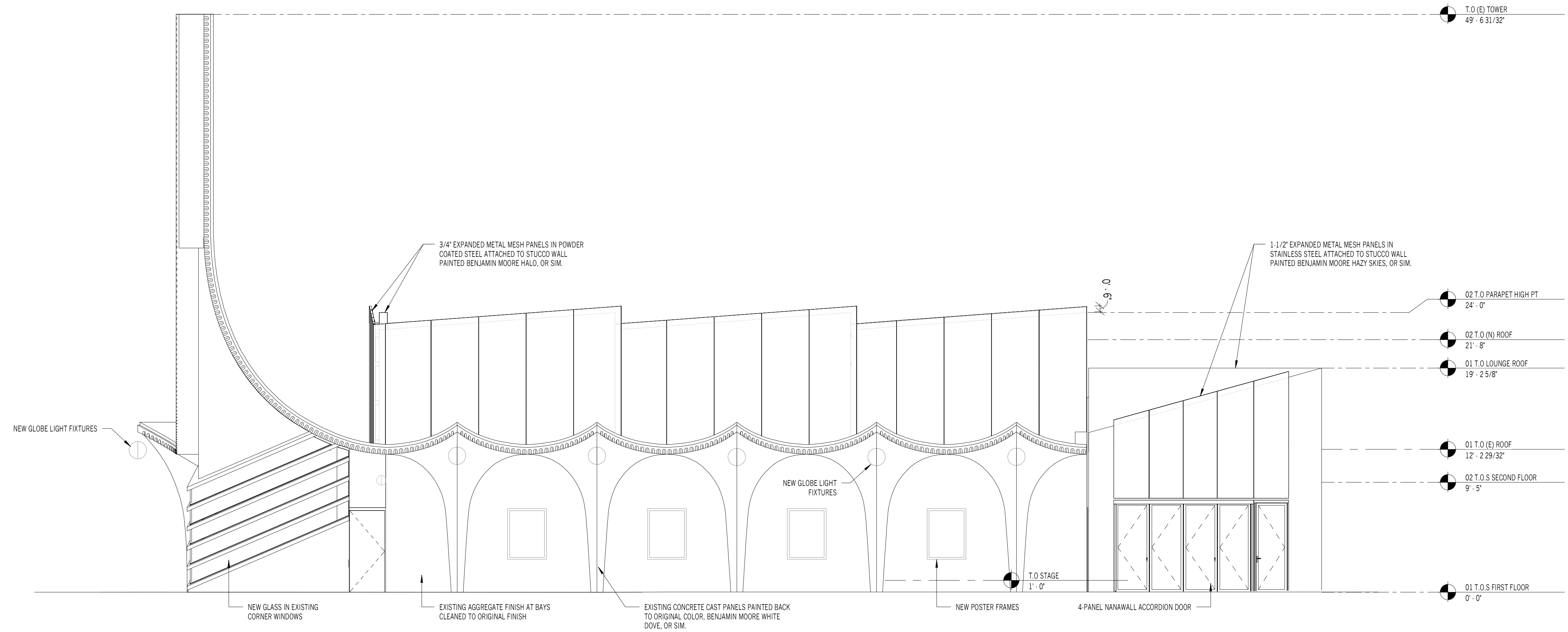
**01** SECOND FLOOR PLAN  
 SCALE: 1/8" = 1'-0"

**STANLEY'S**  
 249 EAST BALTIMORE AVE  
 DETROIT, MI 48202

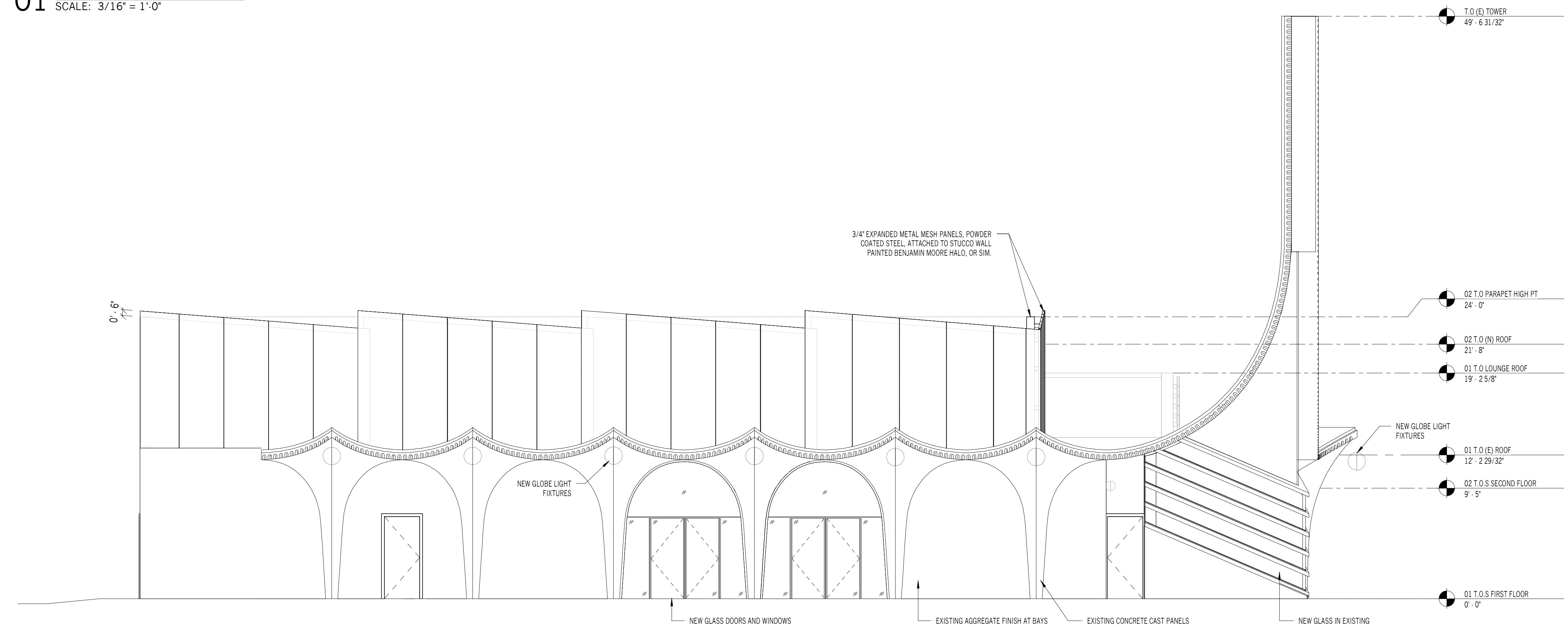
NO.	ISSUE/REV.	DATE

**NOTE:** NOT FOR CONSTRUCTION PURPOSES

SECOND FLOOR PLAN



**01** SOUTH ELEVATION  
 SCALE: 3/16" = 1'-0"



**02** WEST ELEVATION  
 SCALE: 3/16" = 1'-0"

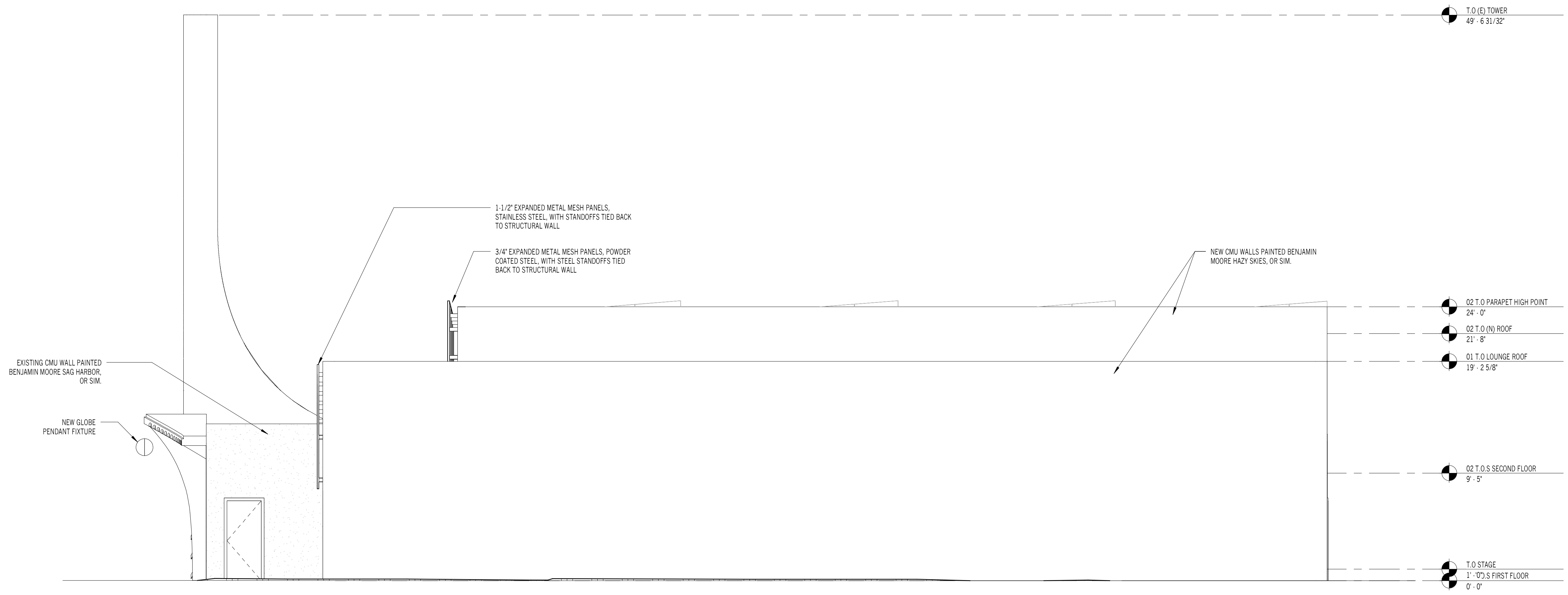
**STANLEY'S**  
 249 EAST BALTIMORE AVE  
 DETROIT, MI 48202

NO. ISSUE/REV. DATE

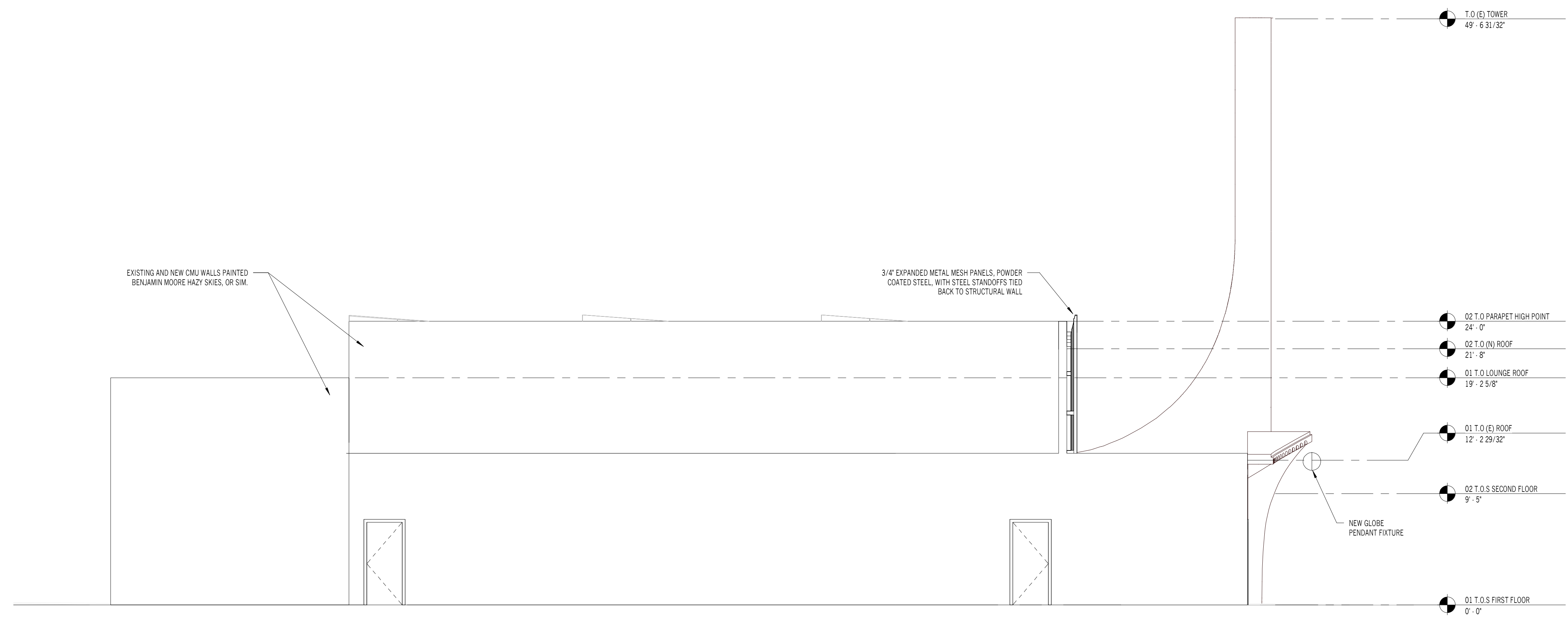
NOTE: NOT FOR CONSTRUCTION PURPOSES

EXTERIOR ELEVATIONS

A-300



**02 EAST ELEVATION**  
 SCALE: 3/16" = 1'-0"



**01 NORTH ELEVATION**  
 SCALE: 3/16" = 1'-0"

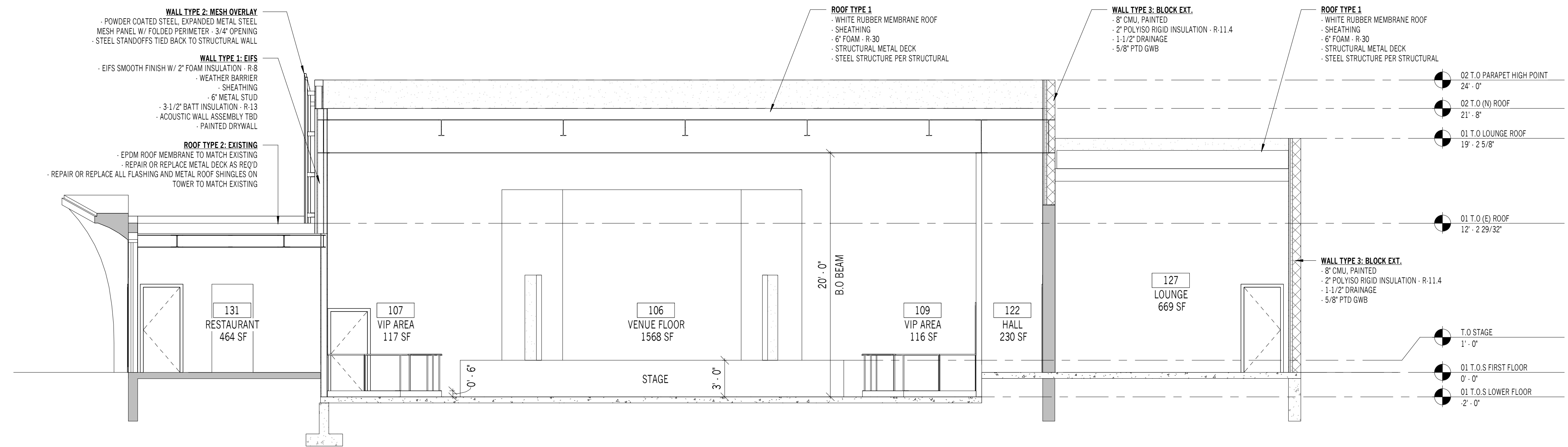
**STANLEY'S**  
 249 EAST BALTIMORE AVE  
 DETROIT, MI 48202

NO. ISSUE/REV. DATE

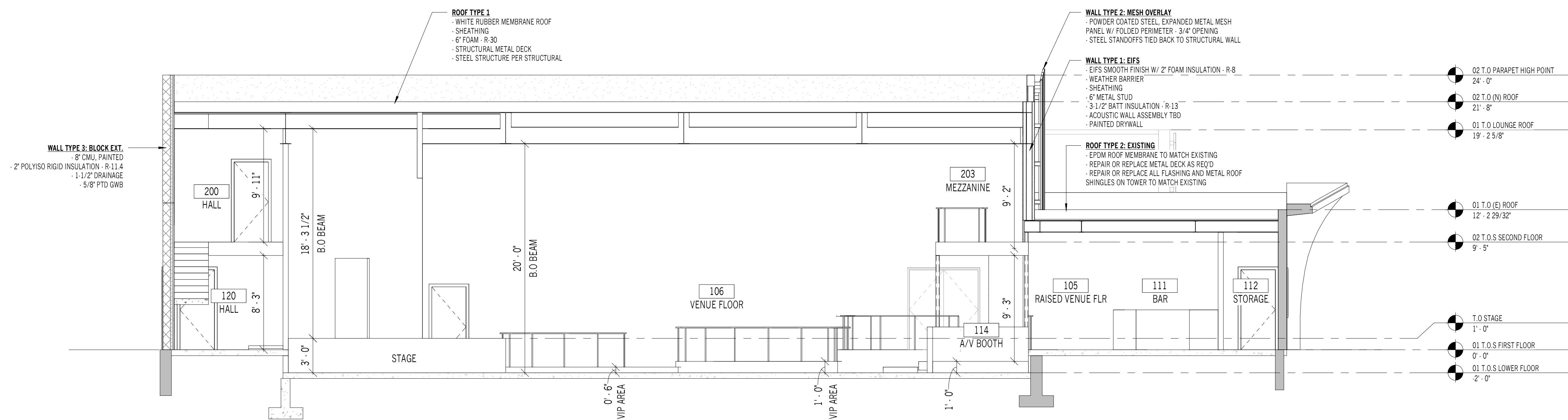
**NOTE:** NOT FOR CONSTRUCTION PURPOSES

**EXTERIOR ELEVATIONS**





**02** SECTION  
 SCALE: 3/16" = 1'-0"



**01** SECTION  
 SCALE: 3/16" = 1'-0"