

RENOVATIONS FOR:

PROJECT PEERLESS

603 E. MILWAUKEE ST.
DETROIT, MI 48202

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GENERAL CONSTRUCTION LEGEND

WALL CONSTRUCTION LEGEND CAN BE FOUND ON SHEET A104.1.

ARCHITECT

DS ARCHITECTS, INC.
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CLARKSTON, MI 48346
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EMAIL: DEREK@DSARCHITECTS.COM

DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE:

DEREK SŁUPKA (LICENSE #1301031412)
DS ARCHITECTS, INC. (1-248-605-2030)

CONTRACTOR

K CUSTOM
ATTN: KERMIT BALL
1509 SUNSET BLVD.
ROYAL OAK, MI 48067
CELL: 1-248-688-7194
EMAIL: KERMITBALL@ICLOUD.COM

COMMERCIAL CODES CURRENTLY IN EFFECT

MRCEB (MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS 2015) - PRESCRIPTIVE COMPLIANCE METHOD, ALTERATIONS LEVEL 3
ICC/ANSI A117.1, 2009 & MICHIGAN BARRIER FREE DESIGN LAW OF PUBLIC ACT 1 OF 1966 AS AMENDED
MPC 2015 (MICHIGAN PLUMBING CODE 2015)
MMC 2015 (MICHIGAN MECHANICAL CODE 2015)
FUEL GAS: IFGC 2015 (INTERNATIONAL FUEL GAS CODE 2015)
2017 NATIONAL ELECTRICAL CODE WITH PART 8 AMENDMENTS
MICHIGAN UNIFORM ENERGY CODE 2015 - CHAPTER 13 OF THE MICHIGAN BUILDING CODE & MEC 2015 (MICHIGAN ENERGY CODE 2015) - CHAPTERS 4 & MICHIGAN ENERGY CODE, PART 10a, RULES (ANSI/ASHRAE 90.1-2013)

DEFERRED SUBMITTAL INFORMATION

"THESE CONSTRUCTION DOCUMENTS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS AND/OR CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL."

DEFERRED SUBMITTAL ITEMS:

1. AUTOMATIC SPRINKLER SYSTEM
2. FIRE ALARM

SPECIAL INSPECTIONS

1. NONE.

GENERAL LIGHT FIXTURE LEGEND

○	PENDENT LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
⊙	PENDANT LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
⊕	SCONCE LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
⊗	CHANDELIER LIGHT OR ACCENT FIXTURE. SEE ELECTRICAL DRAWINGS.
-----	UNDER CABINET TASK LIGHTING STRIP. SEE ELECTRICAL DRAWINGS.
⚡	SINGLE POLE SWITCH MOUNTED AT 4'-0" A.F.F. UNLESS NOTED OTHERWISE. SEE ELECTRICAL DRAWINGS.
⚡M	NEW MOTION SENSOR SWITCH (WHITE) MOUNTED AT 4'-0" A.F.F. UNLESS NOTED OTHERWISE. SEE ELECTRICAL DRAWINGS.
⊞	CEILING MOUNTED EXHAUST FAN. EXHAUST TO OUTSIDE. SEE ELECTRICAL DRAWINGS.

GENERAL NOTES & SPECIFICATIONS

DEMOLITION:

ON ALL WALLS TO BE DEMOLISHED, ABANDON ALL EXISTING ELECTRICAL OR DATA/COMMUNICATIONS OUTLETS, WIRE AND ALL RELATED CONDUIT BACK TO NEAREST BASE BUILDING JUNCTION BOX.

CONSTRUCTION:

DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. ALL DIMENSIONS ON FLOOR PLAN ARE TO FACE OF GYPSUM BOARD UNLESS NOTED OTHERWISE.

CONTRACTOR(S) SHALL VERIFY ALL EXISTING FIELD CONDITIONS AND DIMENSIONS WITH RESPECT TO THE WORK DESCRIBED IN THESE DOCUMENTS. REPORT ANY INCONSISTENCIES TO DS ARCHITECTS, INC. PRIOR TO BEGINNING ANY WORK OR FABRICATION.

CONTRACTOR(S) SHALL PROVIDE ALL NECESSARY LABOR, MATERIALS AND EQUIPMENT FOR THE WORK DESCRIBED IN THESE DOCUMENTS UNLESS CLEARLY NOTED "NOT IN CONTRACT" (N.I.C.). EXISTING WORK ADJACENT TO, OR IN THE AREA OF NEW WORK SHALL BE PROTECTED BY ALL SUITABLE MEANS NECESSARY TO PREVENT OR MINIMIZE DAMAGE. WHERE EXISTING WORK IS TO BE REMOVED OR ALTERED, RESTORE ADJACENT FINISH TO ORIGINAL CONDITION. EXTEND/REFINISH ALL FRAMES, BASE AND TRIM WHERE CUTTING HAS EXPOSED ANY UNFINISHED SURFACES. REPAIR ANY DAMAGE TO EXISTING WORK AND RESTORE TO ORIGINAL CONDITION.

LOCATE PARTITIONS AT DIMENSIONS SHOWN ON DRAWINGS - NOTIFY DS ARCHITECTS, INC. OF ANY DISCREPANCIES WITH LOCATIONS INDICATED ON LAYOUT. SECURELY ATTACH RUNNERS TO FLOOR AND CEILING GRID WITH SUITABLE FASTENERS. ANCHOR RUNNER ENDS AT DOOR FRAMES, ANCHOR ALL STUDS ADJACENT TO DOOR AND SIDELITE FRAMES, PARTITION INTERSECTIONS, AND CORNERS TO FLOOR AND CEILING RUNNERS. PROVIDE BRACING ABOVE CEILING AT DOOR FRAMES AND WALL-HUNG MILLWORK. SECURE INTERMEDIATE STUDS WITH USS METAL LOCK FASTENER OR EQUIVALENT.

THE BUILDING OWNER SHALL HAVE THE "RIGHT OF FIRST REFUSAL" OF ANY SALVAGED ITEMS. IF THE OWNER DOES NOT EXERCISE THAT RIGHT THEN DISPOSE OF ALL DISCARDED ITEMS IN A LEGAL, OFF SITE, MANNER.

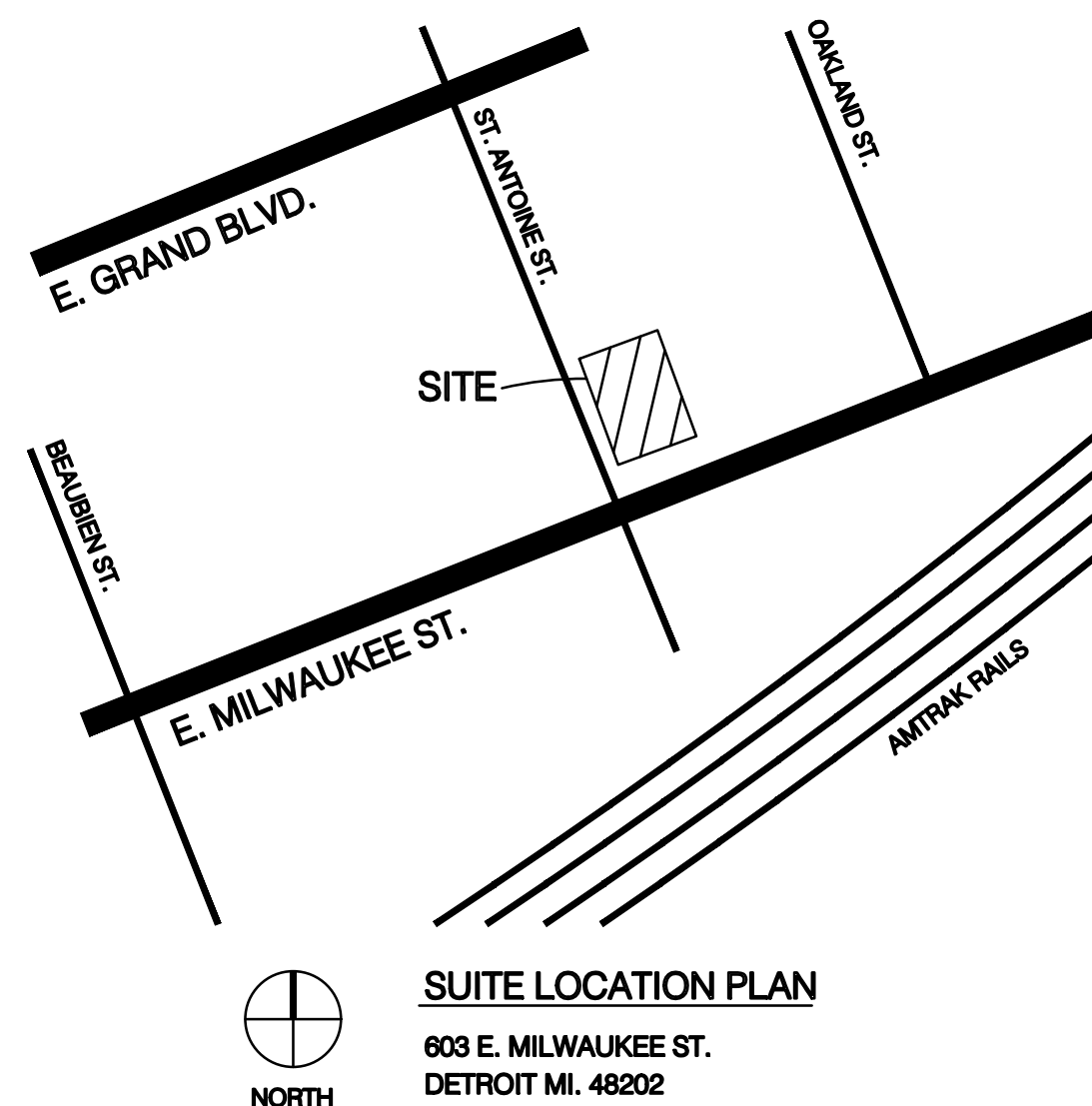
DOORS NOT INDICATED BY DOOR NUMBER DESIGNATION ARE EXISTING. PAINT AND FINISH RECESS AT DOOR STRIKES/KEEPERS WHERE BARE WOOD HAS BEEN EXPOSED BY BORING OR OTHER HARDWARE PREP. SEAL ALL EDGES OF DOOR INCLUDING TOP AND BOTTOM. WOOD DOORS AND FRAMES SHALL CONFORM TO QUALITY STANDARDS OF THE ARCHITECTURAL WOODWORK INSTITUTE (AWI).

ALL DOOR SIZE DIMENSIONS GIVEN ARE APPROXIMATE. DOOR SUPPLIER SHALL FIELD VERIFY EXACT REQUIREMENTS.

ALL INTERIOR ROOM FINISHES TO MEET CLASS C FLAME SPREAD, 76-200 MAX.

CONTRACTORS SHALL KEEP WORK AREAS AND ADJACENT PUBLIC CORRIDORS AND FACILITIES FREE OF DEBRIS. MATERIALS STORED ON SITE ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE STORED IN A LOCATION APPROVED BY THE LANDLORD. NO PERSONAL RADIOS SHALL BE ALLOWED IN OCCUPIED BUILDINGS.

LOCATION PLAN

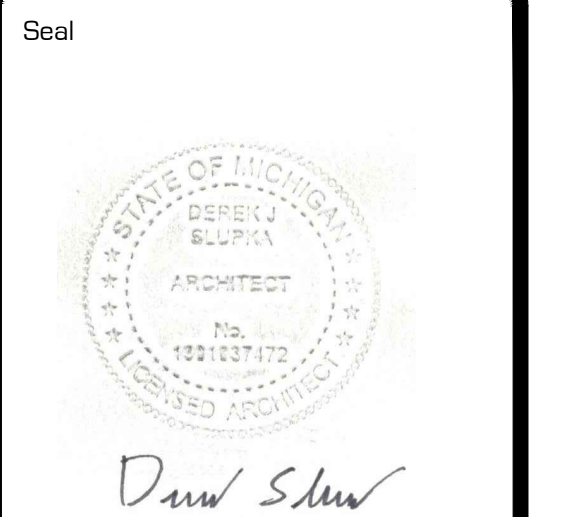


ALTERNATES

NONE.



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Project **PROJECT PEERLESS**

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title

LEGEND SHEET

Project Number

20-40-159

Drawn

ALM

Checked

DJS

Scale

N/A

Dwg.

PEERLESS - CDS

Issued for	Date	By
DESIGN DEVELOPMT.	5-28-21	DJS
OWNER REVIEW	8-20-21	DJS
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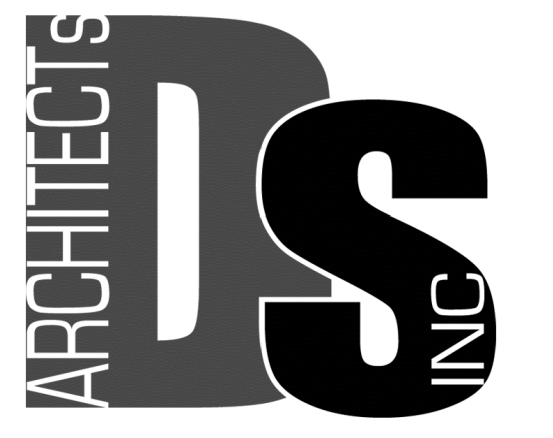
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BUILDING DATA / CODE COMPLIANCE		BUILDING DATA / CODE COMPLIANCE	
GENERAL INFORMATION	PROJECT DESCRIPTION:	CONVERT AN EXISTING WAREHOUSE BUILDING INTO RESIDENTIAL APARTMENTS.	
	PROJECT DESCRIPTION:	MULTIPLE RESIDENTIAL APARTMENTS.	
	PROJECT ADDRESS:	603 E. MILWAUKEE ST. DETROIT MI 48202	
	PROJECT TOTAL AREA:	11,778 SF (TOTAL BUILDING S.F.)	246 SF (UNIT E-LOWER LEVEL) 5,140 SF (FIRST FLOOR) 5,742 SF (SECOND FLOOR)
	PROJECT SCOPE:	THESE DOCUMENTS ARE APPLYING FOR A BUILDING PERMIT FOR THE MODIFICATIONS OF THE INTERIOR BUILD OUT.	
	BUILDING CODE: Chapter 1	THE FOLLOWING DATA AND COMPLIANCE DETERMINATION IS BASED ON THE MRCEB (MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS 2015) - PRESCRIPTIVE COMPLIANCE METHOD, ALTERATIONS LEVEL 3.	
	BARRIER FREE:	ICC/ANSI A117.1. 2009 & MICHIGAN BARRIER FREE DESIGN LAW OF PUBLIC ACT 1 OF 1966 AS AMENDED	
	COMMERCIAL PLUMBING:	MPC 2015 (MICHIGAN PLUMBING CODE 2015)	
	COMMERCIAL MECHANICAL:	MMC 2015 (MICHIGAN MECHANICAL CODE 2015)	
	MECHANICAL CODE:	FUEL GAS: IFGC 2015 (INTERNATIONAL FUEL GAS CODE 2015)	
COMMERCIAL ELECTRICAL:	2017 NATIONAL ELECTRICAL CODE WITH PART 8 AMENDMENTS		
COMMERCIAL ENERGY CODE:	MICHIGAN UNIFORM ENERGY CODE 2015 - CHAPTER 13 OF THE MICHIGAN BUILDING CODE & MEC 2015 (MICHIGAN ENERGY CODE 2015) - CHAPTERS 4 & MICHIGAN ENERGY CODE, PART 10a. RULES (ANSI/ASHRAE 90.1-2013)		
PROJECT USE GROUP: Chapter 3	"R2" RESIDENTIAL		
CONSTRUCTION TYPE: Chapter 6	5B		
FIRE PROTECTION: Chapter 9	AUTOMATIC SPRINKLER SYSTEM		
HEIGHT AND AREA	HEIGHT AND AREA: Chapter 5	BASED LIMITATIONS (TABULAR) FOR HEIGHT AND AREA per Table 504.3 & 504.4 & 506.2 based on Construction Type of 5B, R-2 occupancies HEIGHT: 60'-0" STORIES: 3 STORIES ALLOWABLE AREA: 21,000 SQ. FT.	
	HEIGHT AND AREA COMPLIANCE:	BUILDING CRITERIA: BUILDING HEIGHT/ STORIES: USE GROUP "R2" (RESIDENTIAL)	EXISTING STRUCTURE: 3B' - 4'+/- STORIES: 2 STORIES EXISTING AREA: 11,778 SQ. FT. COMPLIANCE: YES
OCCUPANCY LOAD	MEANS OF EGRESS: Chapter 10 / Table 1004.1.2	OCCUPANCY LOAD DETERMINATION	
	FIRST FLOOR: BY USE:	FLOOR AREA:	CODE REQUIREMENTS: OCCUPANCY:
	UNIT A UNIT B UNIT C UNIT D UNIT E UNIT F LOBBY/STAIRS FIRST FLOOR TOTAL	885 GROSS SQ. FT. 861 GROSS SQ. FT. 849 GROSS SQ. FT. 848 GROSS SQ. FT. 1,357 GROSS SQ. FT. 581 GROSS SQ. FT. 555 GROSS SQ. FT. 6,036 SQ. FT.	1 / 200 GROSS 1 / 200 GROSS 1 / 200 GROSS 1 / 200 GROSS 1 / 200 GROSS 1 / 200 GROSS 1 / 200 GROSS
SECOND FLOOR: BY USE:	FLOOR AREA:	CODE REQUIREMENTS: OCCUPANCY:	
RESIDENTIAL TOTAL BUILDING:	5,742 GROSS SQ. FT.	1 / 200 GROSS	29 OCCUPANTS 62 OCCUPANTS
EGRESS WIDTH	EGRESS WIDTH: Chapter 10 / Section 1005.1 / Table 1020.2 Chapter 10 / Section 1005.3.1 / Section 1011.2	OCCUPANCY:	CODE REQUIREMENTS: WIDTH REQUIRED: WIDTH PROVIDED: COMPLIANCE:
	FIRST FLOOR: DOORS: CORRIDORS:	33 OCCUPANTS 33 OCCUPANTS	0.2" PER OCCUPANT 0.2" PER OCCUPANT
SECOND FLOOR: DOORS: CORRIDORS:	29 OCCUPANTS 29 OCCUPANTS	0.2" PER OCCUPANT 0.2" PER OCCUPANT	5.8" 5.8" 72.0" 42.0" YES YES

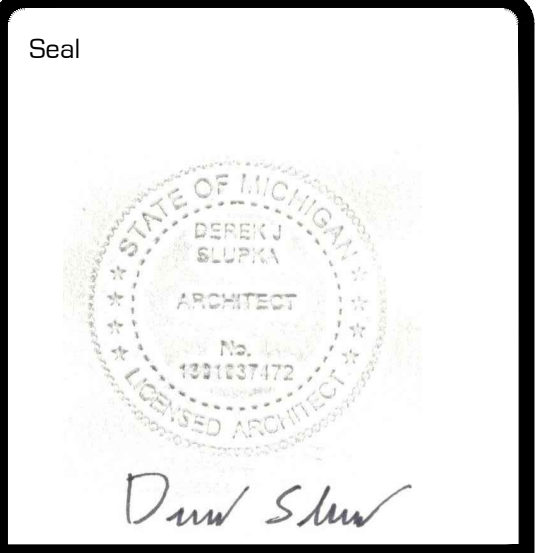
EGRESS TRAVEL

EXITS

VERTICAL EXITS



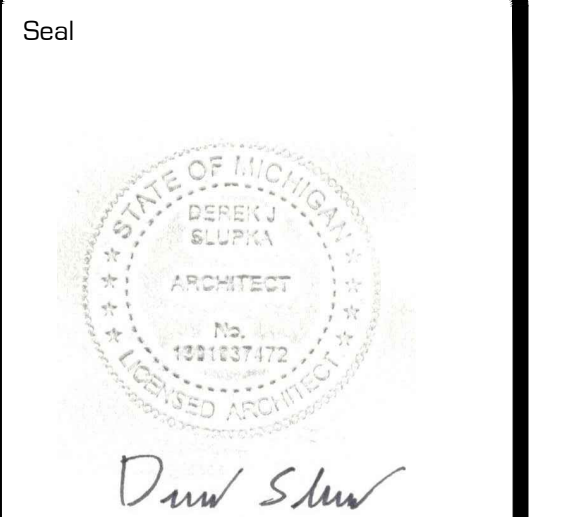
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PROJECT PEERLESS

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title	
CODE DATA	
Project Number	20-40-159
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Scale	N/A
Dwg.	PEERLESS - CDS
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Project
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603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
FIRST FLOOR CODE COMPLIANCE PLAN

Project Number
20-40-159

Drawn ALM

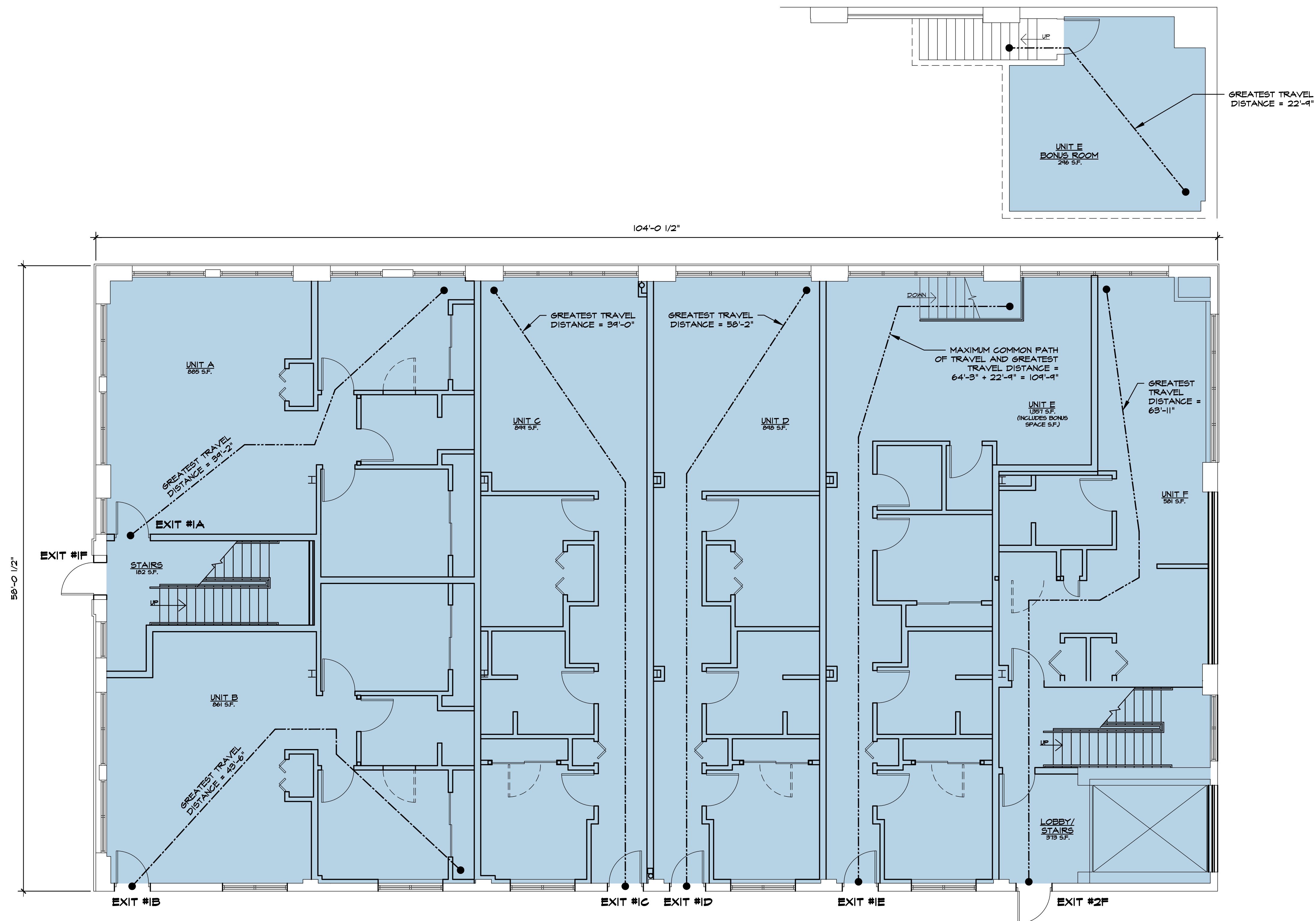
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Scale 3/16"=1'-0"

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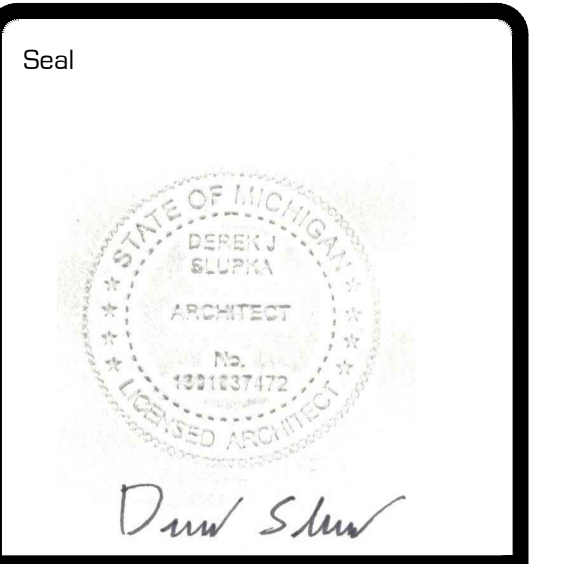
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FIRST FLOOR
CODE COMPLIANCE PLAN

3/16" = 1'-0"





Project
PROJECT PEERLESS
603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
SECOND FLOOR CODE COMPLIANCE PLAN

Project Number
20-40-159

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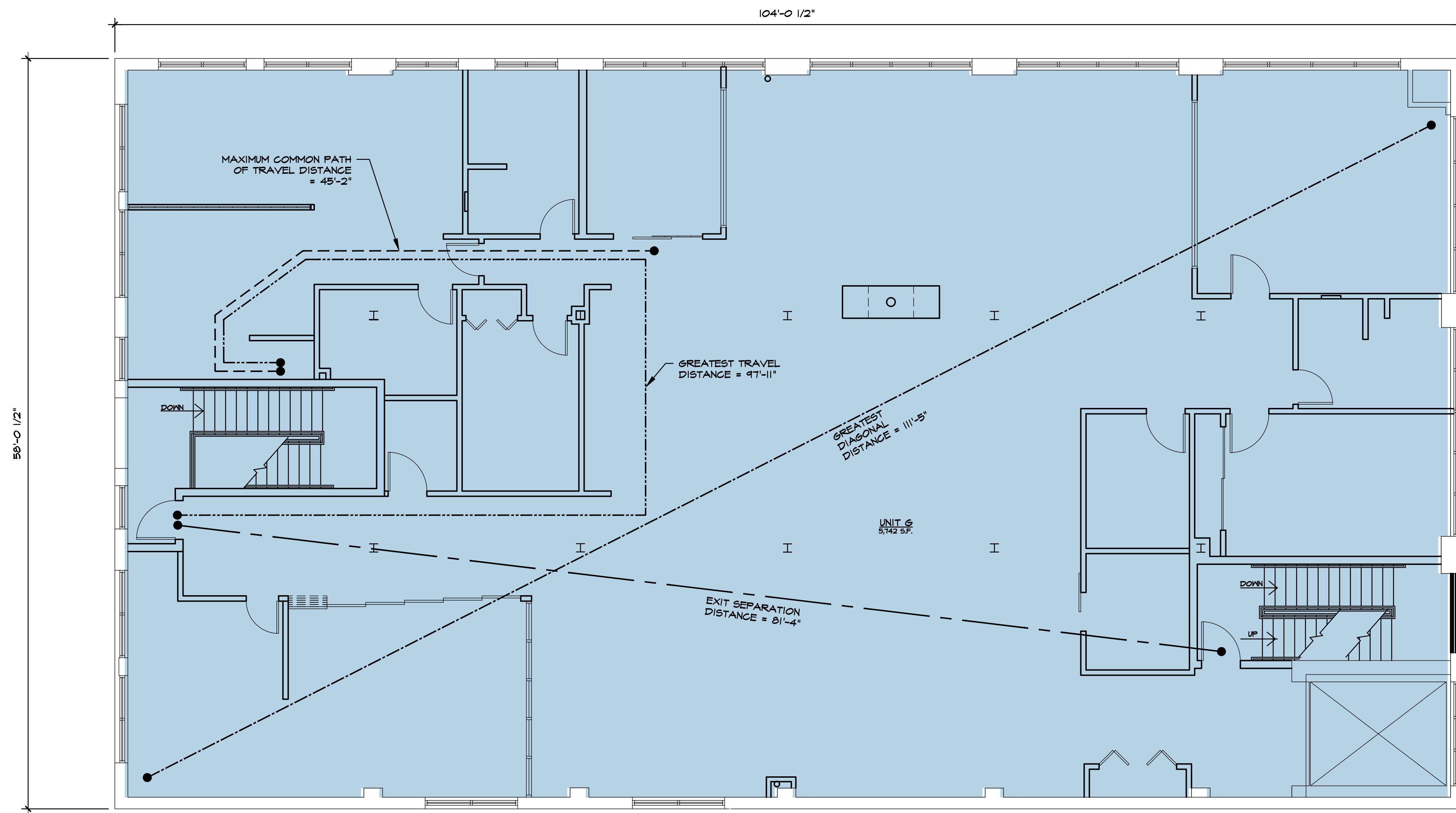
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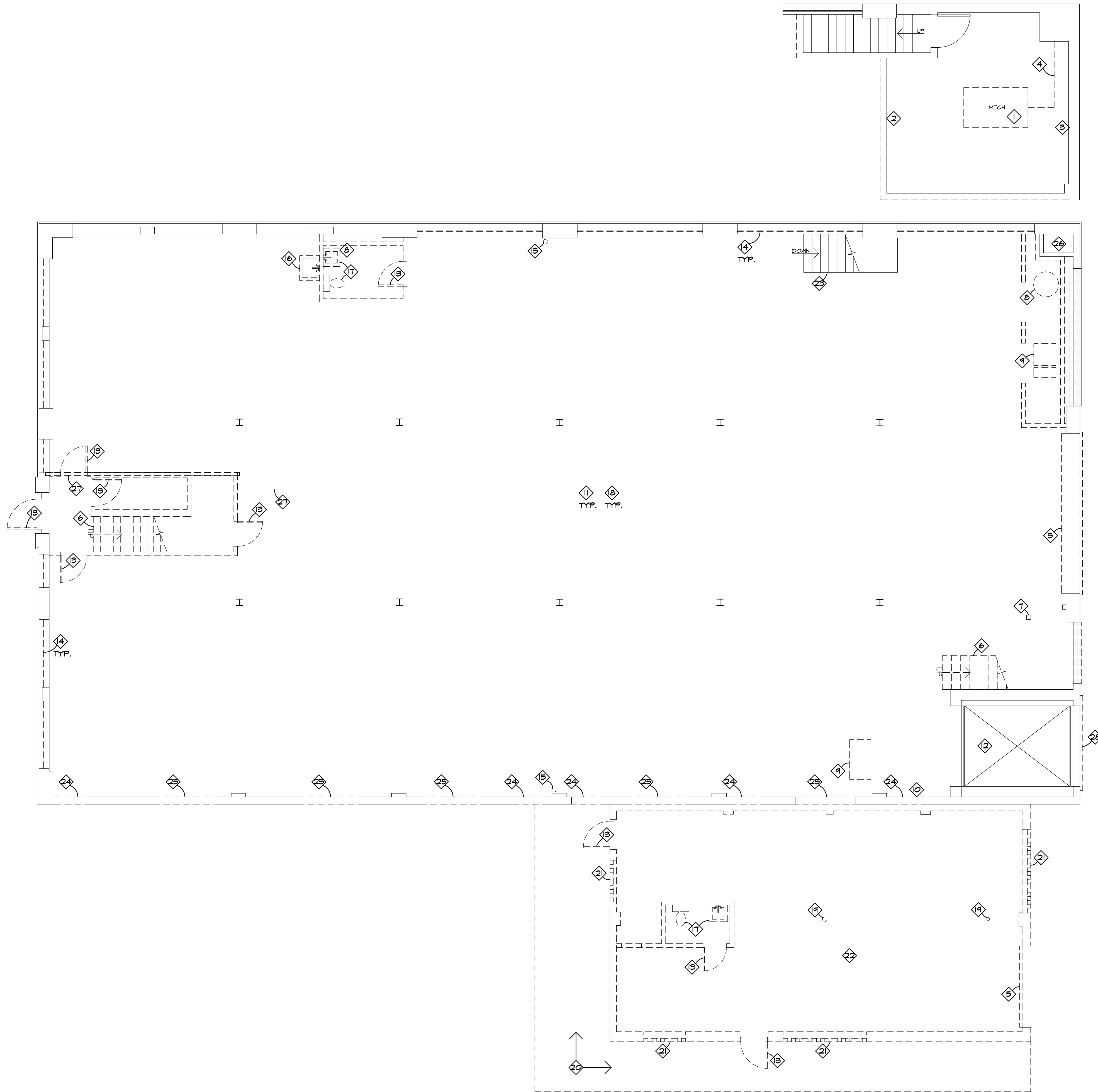
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RESIDENTIAL = 200 GROSS
TOTAL S.F. = 5,742 S.F.
TOTAL OCCUPANTS = 21

TOTAL OCCUPANTS = 21

SECOND FLOOR
CODE COMPLIANCE PLAN
3/16" = 1'-0"

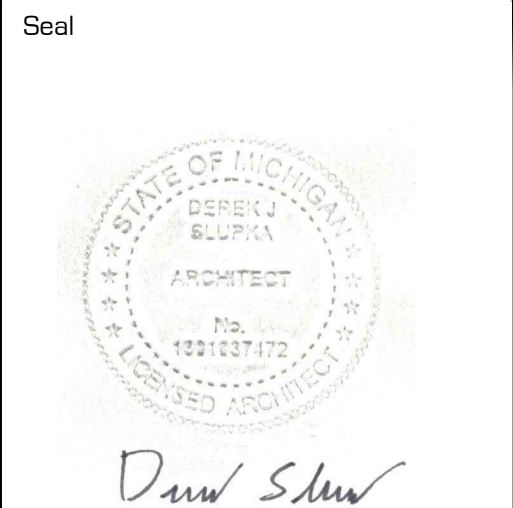


DEMOLITION NOTES

- 1 REMOVE AND DISPOSE OF EXISTING MECHANICAL EQUIPMENT.
- 2 REMOVE AND DISPOSE OF EXISTING PIPE. CAP OFF AS REQUIRED.
- 3 REMOVE AND RELOCATE EXISTING GAS METER. SEE MECHANICAL DRAWINGS.
- 4 REMOVE AND DISPOSE OF EXISTING FLUE PIPE.
- 5 REMOVE AND DISPOSE OF EXISTING OVERHEAD DOOR, HARDWARE, AND FRAME FOR NEW WINDOW.
- 6 REMOVE AND DISPOSE OF WOODEN STAIRS, LANDING AND RAILING.
- 7 REMOVE EXISTING STAIR POST.
- 8 REMOVE AND DISPOSE OF EXISTING WATER HEATER.
- 9 REMOVE AND DISPOSE OF EXISTING MECHANICAL EQUIPMENT.
- 10 EXISTING ELECTRICAL EQUIPMENT TO BE REMOVED AND RELOCATED. SEE ELECTRICAL DRAWINGS.
- 11 REMOVE ALL EXISTING HVAC AND MECHANICAL DUCTS THROUGHOUT.
- 12 EXISTING ELEVATOR, CAB, DOORS AND SHAFT TO REMAIN.
- 13 REMOVE AND DISPOSE OF EXISTING DOOR, TRIM AND HARDWARE.
- 14 REMOVE AND SALVAGE ALL EXISTING WINDOWS FOR OWNER (TYPICAL THROUGHOUT).
- 15 REMOVE EXISTING ROOF DRAIN.
- 16 REMOVE AND DISPOSE OF EXISTING WALL HUNG JANITOR'S SINK. TERMINATE PLUMBING AS REQUIRED.
- 17 REMOVE AND DISPOSE OF EXISTING TOILET AND SINK. TERMINATE PLUMBING AS REQUIRED.
- 18 REMOVE AND DISPOSE OF EXISTING HIGH-BAY LIGHTING. TYPICAL THROUGHOUT.
- 19 REMOVE EXISTING STEEL COLUMN AND CONCRETE FOOTINGS.
- 20 REMOVE EXISTING CONCRETE SLAB AND SIDEWALK.
- 21 DASHED LINES INDICATE WALLS, DOORS, ROOF AND FOUNDATION TO BE REMOVED AND DISPOSED.
- 22 REMOVE EXISTING CONCRETE SLAB FROM INDICATED DEMOLISHED BUILDING.
- 23 EXISTING CONCRETE STAIRS TO REMAIN. REMOVE AND DISPOSE EXISTING DOOR COVERING STAIRS.
- 24 REMOVE AND DISPOSE OF REQUIRED PORTION OF EXISTING MASONRY WALL FOR NEW DOOR. SEE FLOOR PLAN ON SHEET A103.
- 25 REMOVE AND DISPOSE OF REQUIRED PORTION OF EXISTING MASONRY WALL FOR NEW WINDOW. SEE FLOOR PLAN ON SHEET A103.
- 26 EXISTING TO REMAIN CHIMNEY.
- 27 REMOVE AND DISPOSE OF INDICATED WARPED/NOTCHED STRUCTURAL WOOD BEAM. REPLACE WITH NEW TO MATCH EXISTING. REFER TO FLOOR PLAN ON SHEET A103.
- 28 REMOVE AND DISPOSE OF EXISTING ROLL UP DOOR IN ELEVATOR SHAFT.



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Project **PROJECT PEERLESS**

603 E. MILWAUKEE ST.
 DETROIT, MI 48202

Drawing Title
**FIRST FLOOR
 DEMOLITION PLAN**

Project Number
20-40-159

Drawn
 ALM

Checked
 DJS

Scale
 3/16" = 1'-0"

Dwg.
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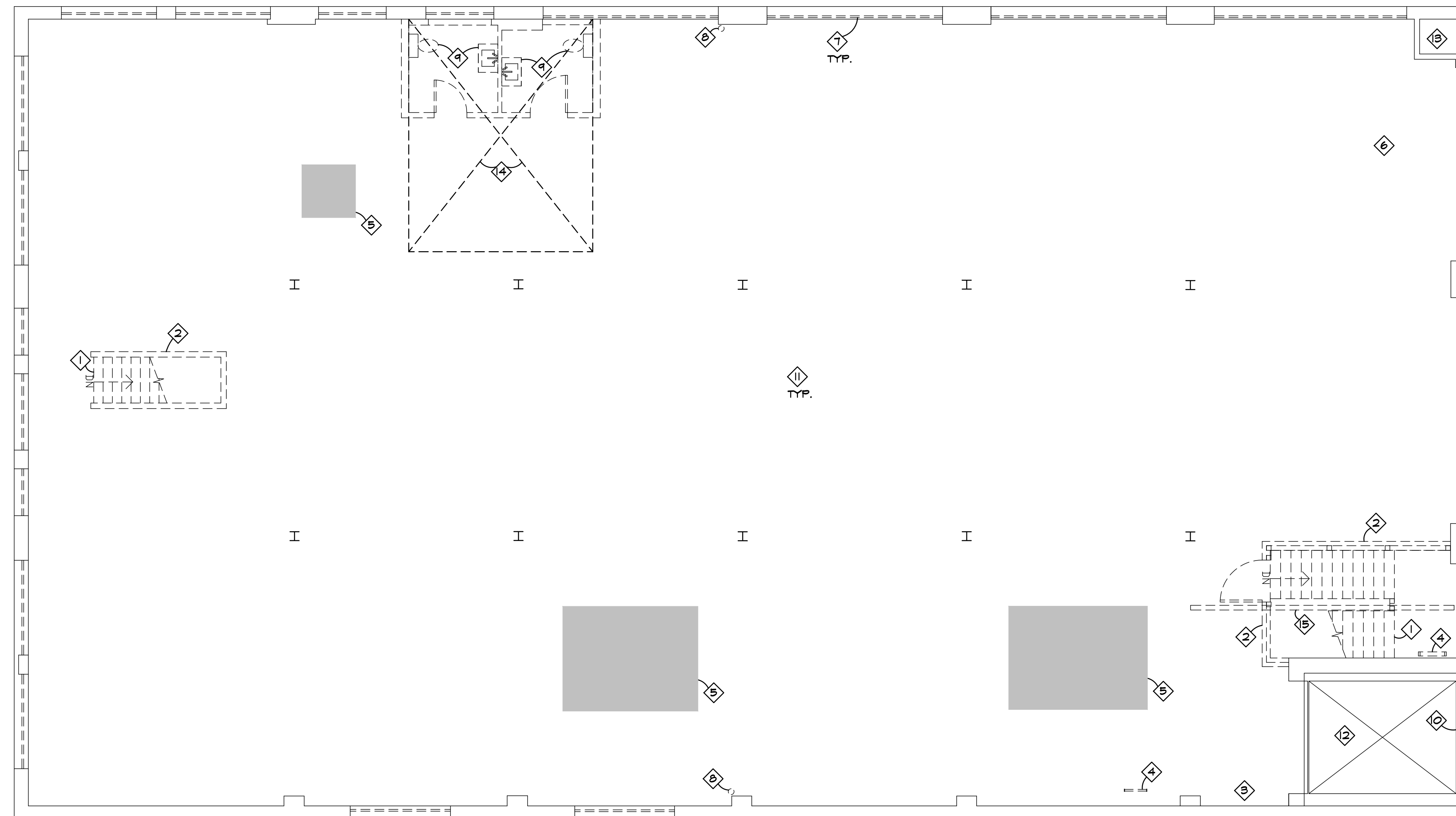
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FIRST FLOOR
DEMOLITION PLAN
 3/16" = 1'-0"

DEMOLITION NOTES

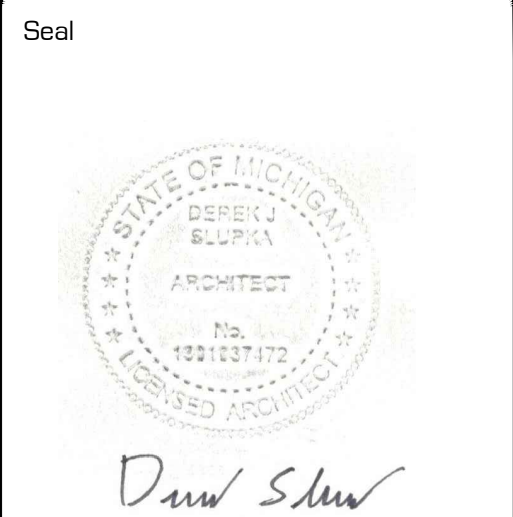
- 1 REMOVE AND DISPOSE OF WOODEN STAIRS, LANDING AND RAILINGS.
- 2 REMOVE EXISTING WALL AROUND STAIRS.
- 3 EXISTING ELECTRICAL EQUIPMENT TO BE REMOVED AND RELOCATED (NOT SHOWN). SEE ELECTRICAL DRAWINGS.
- 4 EXISTING ROOF ACCESS LADDERS AND HATCHES TO BE REMOVED AND DISPOSED OF.
- 5 SHADED AREA REPRESENTS TO REMOVE AND DISPOSE OF EXISTING SKYLIGHTS (REFER TO ROOF PLAN ON SHEET A104). PROVIDE NEW ROOF DECKING TO MATCH EXISTING, INSULATION ON ROOFING AND NEW ROOFING MEMBRANE TO MATCH EXISTING.
- 6 REMOVE CEILING HUNG TEMPORARY HEATER (NOT SHOWN).
- 7 REMOVE AND SALVAGE ALL EXISTING WINDOWS FOR OWNER (TYPICAL THROUGHOUT).
- 8 REMOVE EXISTING ROOF DRAIN.
- 9 REMOVE AND DISPOSE OF EXISTING TOILET, AND SINK. TERMINATE PLUMBING AS REQUIRED.
- 10 REMOVE AND DISPOSE OF EXISTING WINDOWS IN ELEVATOR SHAFT.
- 11 REMOVE AND DISPOSE OF EXISTING PENDANT LIGHTING. TYPICAL THROUGHOUT.
- 12 EXISTING ELEVATOR, CAB, DOORS AND SHAFT TO REMAIN.
- 13 EXISTING TO REMAIN CHIMNEY.
- 14 INDICATED 'X' AREA TO HAVE CONCRETE FLOORING REMOVED AS REQUIRED TO ACCEPT NEW FLOORING.
- 15 STRUCTURAL ROOF BEAM TO BE REMOVED AS REQUIRED.



SECOND FLOOR
DEMOLITION PLAN
3/16" = 1'-0"



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603 E. MILWAUKEE ST.
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Drawing Title
**SECOND FLOOR
DEMOLITION PLAN**

Project Number
20-40-159

Drawn ALM

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Scale 3/16"=1'-0"

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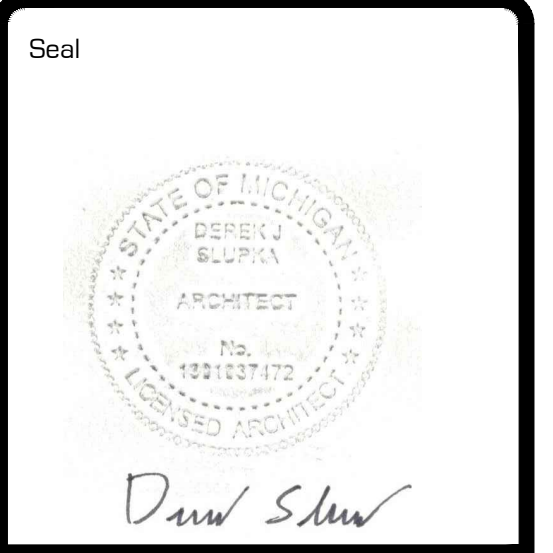
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CONSTRUCTION NOTES

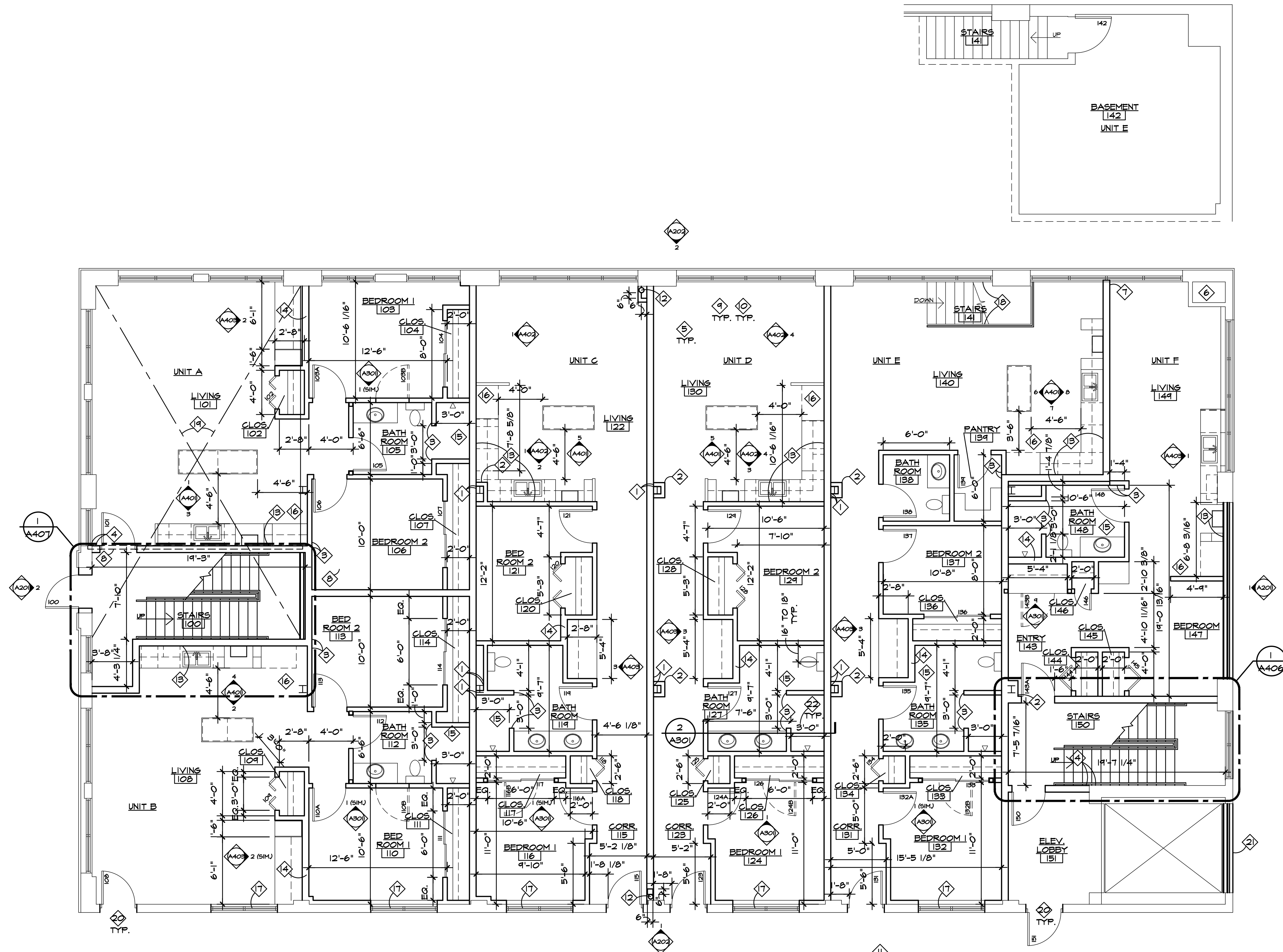
- 1 INDICATED NEW WALL TO ALIGN WITH INDICATED COLUMN AS SHOWN.
- 2 PROVIDE ONE (1) LAYER 5/8" TH. GYPSUM BOARD OVER NEW 3 5/8" METAL STUDS AROUND STRUCTURAL COLUMN TO RUN FROM FLOOR TO DECK ABOVE.
- 3 ALIGN SURFACES OF BOTH NEW INDICATED FINISHES.
- 4 ALIGN SURFACE OF NEW FINISH WITH SURFACE OF EXISTING INDICATED FINISH.
- 5 PREPARE ALL NEW WALLS FOR NEW FINISH (TYPICAL THROUGHOUT).
- 6 EXISTING TO REMAIN CHIMNEY.
- 7 CENTERLINE OF WALL TO ALIGN WITH CENTERLINE OF MILLION. SEE DETAIL NO. 4 ON SHEET A501.
- 8 WARPED/NOTCHED STRUCTURAL WOOD BEAM WAS REMOVED AND DISPOSED OF. PROVIDE NEW TO MATCH EXISTING AS REQUIRED.
- 9 VERIFY LOCATION OF ALL FIRE EXTINGUISHERS WITH OWNER PRIOR TO INSTALLATION TO AVOID FURNITURE CONFLICTS (TYPICAL THROUGHOUT).
- 10 ALL MILLWORK THROUGHOUT WILL BE PROVIDED BY G.C.'S MILLWORKER. REFER TO MILLWORKER'S DRAWINGS FOR DETAILS. ALL MILLWORK IS SHOWN FOR REFERENCE ONLY AND IS NOT EXACT.
- 11 FILL EXISTING PIT AS REQUIRED. SEE CIVIL DRAWINGS.
- 12 NEW ROOF DRAIN. REFER TO PLUMBING DRAWINGS.
- 13 PROVIDE WOOD BLOCKING IN WALL AS REQUIRED FOR UPPER CABINET INSTALLATION.
- 14 INDICATED (THICKER) WALL TO ACCEPT CLOTHES DRYER MECHANICAL VENT. SEE MECHANICAL DRAWINGS.
- 15 PROVIDE WOOD BLOCKING IN WALL AS REQUIRED IN PREPARATION FOR POSSIBLE FUTURE TOILET GRAB BARS AND/OR SHOWER BENCH AND GRAB BARS INSTALLATION.
- 16 PROVIDE 1/4" WATER LINE WITH BACKFLOW PREVENTER FOR REFRIGERATOR. SEE ELEVATION.
- 17 NEW CASEMENT FIXED WINDOW 6'-0" X 3'-11 1/8" TO BE INSTALLED AT 12'-0" TO TOP OF WINDOW.
- 18 PROVIDE 1 1/2" DIAMETER METAL HAND RAIL ON EACH SIDE OF STEPS. PAINT FINISH.
- 19 INDICATED 'X' AREA TO RECEIVE APPROXIMATELY 2 1/4" OF CONCRETE INFILL TO LEVEL CONCRETE FLOOR WITH ADJACENT CONCRETE FLOOR.
- 20 PROVIDE NEW STEEL LINTELS OVER NEW EXTERIOR DOORS AS REQUIRED. TYPICAL.
- 21 FILL WALL TO MATCH EXISTING BRICK. SEE WALL CONSTRUCTION LEGEND ON SHEET A1041.
- 22 INDICATED SHOWER DIMENSION SHALL BE 36" HOLD FROM FACE OF TILE TO FACE OF TILE. TYPICAL THROUGHOUT.



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PROJECT PEERLESS
 Project Number: **20-40-159**
 Drawing Title: **FIRST FLOOR FLOOR PLAN**
 Drawn: ALM
 Checked: DJS
 Scale: 3/16" = 1'-0"
 Dwg.: PEERLESS - CDS
 Issued for: DESIGN DEVELOPMT. 5-28-21 DJS
 OWNER REVIEW 8-20-21 DJS
 PERMIT 10-13-21 DJS
 Sheet Number: **A103**
 of 28
 603 E. MILWAUKEE ST.
 DETROIT, MI 48202



FIRST FLOOR
FLOOR PLAN
 3/16" = 1'-0"

WALL CONSTRUCTION LEGEND NOTES

- ◇ INDICATED (THICKER) WALL TO ACCEPT CLOTHES DRYER MECHANICAL VENT. SEE MECHANICAL DRAWINGS.
- ◇ EXISTING TO REMAIN CHIMNEY.
- ◇ CONTRACTOR SHALL PROVIDE LIGHT GAUGE FRAMING SHOP DRAWINGS FOR ALL HVAC MEZZANINE PLATFORMS. SHOP DRAWINGS SHALL BE PREPARED BY A LICENSED STRUCTURAL ENGINEER IN THE STATE OF MICHIGAN. TYPICAL.



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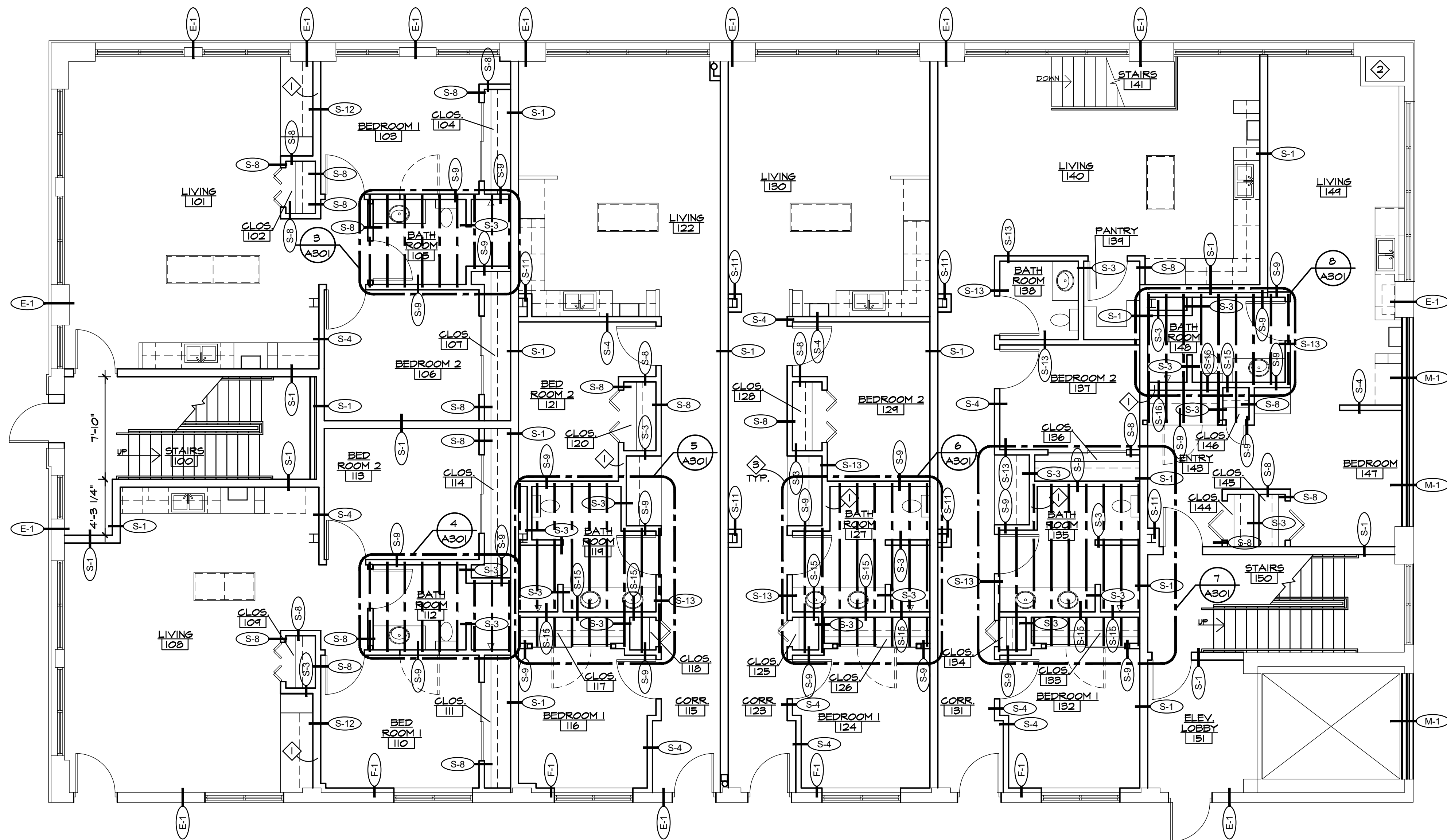
Derek S. Shaw

PROJECT PEERLESS

603 E. MILWAUKEE ST.
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Drawing Title		
FIRST FLOOR WALL CONSTRUCTION PLAN		
Project Number		
20-40-159		
Drawn	ALM	
Checked	DJS	
Scale	3/16" = 1'-0"	
Dwg.	PEERLESS - CDS	
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28



FIRST FLOOR
WALL CONSTRUCTION PLAN
 3/16" = 1'-0"

WALL CONSTRUCTION LEGEND

WALL ID	DETAIL NO.	WALL DESCRIPTION	UL#	FIRE RATING	WALL HEIGHT (DIMS.)	STUD SIZE	STUD O.C.	STUD GAUGE	GYPSSUM THICKNESS	INSULATION THICKNESS	NOTES	WALL ID	DETAIL NO.	WALL DESCRIPTION	UL#	FIRE RATING	WALL HEIGHT (DIMS.)	STUD SIZE	STUD O.C.	STUD GAUGE	GYPSSUM THICKNESS	INSULATION THICKNESS	NOTES
E-1	-	EXISTING CMU WALL	-	-	-	-	-	-	-	-	-	S-11	-	METAL STUD TO 12'-10" A.F.F. WITH GYPSUM BOARD ON EACH SIDE	-	-	TO 12'-10" A.F.F. GYP. BD. CEILING	3 5/8"	16"	20	5/8"	-	-
F-1	3/A501	PERIMETER WALL FURRING	-	-	TO DECK; 15'-7" A.F.F.	3 5/8"	16"	18	5/8"	3 1/2"	-	S-12	-	METAL STUD TO FIRST FLOOR DECK AT 15'-7" A.F.F. WITH GYPSUM BOARD ON EACH SIDE WITH INSULATION	-	-	TO DECK AT 15'-7" A.F.F.; BOTH SIDES; GYP. BD. UP TO 13'-4" FOR ADJACENT 12'-10" A.F.F. GYP. BD. CEIL. (SEE SHEET A105)	6"	16"	18	5/8"	5 1/2"	-
M-1	5/A501	EXTERIOR SIDE: NEW BRICK TO MATCH EXISTING. TOOTH INTO EXISTING WHERE APPLICABLE. INTERIOR SIDE: 5/8" GYP. BD. OVER 3 5/8" METAL STUDS WITH 3 1/2" FIBERGLASS INSULATION OVER 5/8" SHEATHING WITH WATER RESISTIVE BARRIER AND 2" AIR GAP BETWEEN SHEATHING AND BACKSIDE OF MASONRY METAL STUD AND GYPSUM BOARD WALL	-	-	-	3 5/8"	16"	16	5/8"	3 1/2"	-	S-13	-	METAL STUD TO FIRST FLOOR DECK AT 15'-7" A.F.F. WITH GYPSUM BOARD ON EACH SIDE WITH INSULATION	-	-	TO DECK AT 15'-7" A.F.F.; ONE SIDE; GYP. BD. UP TO 13'-4" FOR ADJACENT 12'-10" A.F.F. GYP. BD. CEIL. OTHER SIDE, UP TO 8'-6" FOR ADJACENT 8'-0" A.F.F. GYP. BD. CEIL. (SEE SHEET A105)	3 5/8"	16"	18	5/8"	3 1/2"	-
S-1	-	METAL STUD AND GYPSUM BOARD WALL	U411	1 HOUR	TO DECK AT 15'-7" A.F.F. ON 1ST FLR. AND 13'-11 1/2" ON 2ND FLR.	6"	16"	18	5/8"	5 1/2"	-	S-14	-	METAL STUD AND GYPSUM BOARD WALL	-	-	TO DECK AT 13'-11 1/2" ON 2ND FLR.	6"	16"	20	5/8"	5 1/2"	-
S-2	-	METAL STUD AND GYPSUM BOARD WALL	-	-	TO DECK 13'-11 1/2" A.F.F.	3 5/8"	16"	20	5/8"	3 1/2"	-	S-15	-	METAL STUD TO 8'-0" A.F.F. WITH GYPSUM BOARD ON EACH SIDE	-	-	TO 8'-0" A.F.F. GYP. BD. CEILING	3 5/8"	16"	16	5/8"	-	STUDS BELOW MEZZANINE TO BE CONSTRUCTED WITH CLARK DIETRICH 16 GAUGE METAL STUDS #3625162-54.
S-3	-	METAL STUD TO 8'-0" A.F.F. WITH GYPSUM BOARD ON EACH SIDE	-	-	TO 8'-0" A.F.F. GYP. BD. CEILING	3 5/8"	16"	25	5/8"	-	-	S-16	-	METAL STUD TO 8'-0" A.F.F. WITH GYPSUM BOARD ON EACH SIDE	-	-	TO 8'-0" A.F.F. GYP. BD. CEILING	6"	16"	16	5/8"	-	STUDS BELOW MEZZANINE TO BE CONSTRUCTED WITH CLARK DIETRICH 16 GAUGE METAL STUDS #6009162-54.
S-4	-	METAL STUD AND GYPSUM BOARD WALL	-	-	TO DECK AT 15'-7" A.F.F. BOTH SIDES GYP. BD. UP TO 13'-4" A.F.F. FOR ADJACENT 12'-10" A.F.F. GYP. BD. CEILING	3 5/8"	16"	18	5/8"	3 1/2"	-	S-17	-	METAL STUD TO SECOND FLOOR DECK AT 13'-11 1/2" A.F.F. WITH GYPSUM BOARD ON EACH SIDE WITH INSULATION	-	-	TO DECK AT 13'-11 1/2" A.F.F.; ONE SIDE (OUTSIDE OF ROOM); GYP. BD. UP TO 13'-11 1/2"; INSIDE OF ROOM: UP TO 9'-6" FOR ADJACENT 9'-0" A.F.F. GYP. BD. CEIL. (SEE SHEET A106)	3 5/8"	16"	20	5/8"	3 1/2"	-
S-5	1/A501	METAL STUD AND GYPSUM BOARD WALL ABOVE AND BELOW REUSED EXTERIOR GLASS WINDOWS	-	-	TO DECK 13'-11 1/2" A.F.F.	3 5/8"	16"	20	5/8"	-	-	S-18	-	METAL STUD TO SECOND FLOOR DECK AT 13'-11 1/2" A.F.F. WITH GYPSUM BOARD ON EACH SIDE	-	-	TO DECK AT 13'-11 1/2" A.F.F.; ONE SIDE (OUTSIDE OF ROOM); GYP. BD. UP TO 13'-11 1/2"; INSIDE OF ROOM: UP TO 9'-6" FOR ADJACENT 9'-0" A.F.F. GYP. BD. CEIL. (SEE SHEET A106)	3 5/8"	16"	20	5/8"	5/8"	-
S-6	-	METAL STUD AND GYPSUM BOARD SOFFIT ABOVE REUSED, SALVAGED EXTERIOR GLASS WINDOWS	-	-	TO DECK 13'-11 1/2" A.F.F.	3 5/8"	16"	20	5/8"	3 1/2"	-	S-19	-	METAL STUD TO SECOND FLOOR DECK AT 13'-11 1/2" A.F.F. WITH GYPSUM BOARD ON EACH SIDE UP TO 9'-6"	-	-	TO DECK AT 13'-11 1/2" A.F.F.; ONE SIDE (OUTSIDE OF ROOM); GYP. BD. UP TO 13'-11 1/2"; INSIDE OF ROOM: UP TO 9'-6" FOR ADJACENT 9'-0" A.F.F. GYP. BD. CEIL. (SEE SHEET A106)	3 5/8"	16"	20	5/8"	5/8"	-
S-7	2/A501	3/4 HIGH METAL STUD AND GYPSUM BOARD WALL	-	-	FLOOR TO 1'-" A.F.F. (T.B.D.)	3 5/8"	16"	20	5/8"	-	-	S-20	-	METAL STUD TO SECOND FLOOR DECK AT 13'-11 1/2" A.F.F. WITH GYPSUM BOARD ON ONE SIDE UP TO 9'-6"	-	-	METAL STUD TO SECOND FLOOR DECK AT 13'-11 1/2" A.F.F. WITH GYPSUM BOARD ON ONE SIDE UP TO 9'-6"	3 5/8"	16"	20	5/8"	5/8"	-
S-8	-	METAL STUD TO FIRST FLOOR DECK AT 15'-7" A.F.F. WITH GYPSUM BOARD ON EACH SIDE	-	-	TO DECK AT 15'-7" A.F.F.; ONE SIDE; GYP. BD. UP TO 13'-4" FOR ADJACENT 12'-10" A.F.F. GYP. BD. CEIL. OTHER SIDE, UP TO 8'-6" FOR ADJACENT 8'-0" A.F.F. GYP. BD. CEIL. (SEE SHEET A105)	3 5/8"	16"	18	5/8"	-	-	S-21	-	METAL STUD UP TO 8'-0" A.F.F. WITH GYPSUM BOARD ON BOTH SIDES	-	-	METAL STUD TO 8'-0" A.F.F. WITH GYPSUM BOARD ON BOTH SIDES	3 5/8"	16"	20	5/8"	5/8"	-
S-9	-	METAL STUD TO DECK AT 15'-7" A.F.F. WITH GYPSUM BOARD ON EACH SIDE WITH INSULATION	-	-	TO DECK AT 15'-7" A.F.F.; ONE SIDE; GYP. BD. UP TO 13'-4" FOR ADJACENT 12'-10" A.F.F. GYP. BD. CEIL. OTHER SIDE, UP TO 8'-6" FOR ADJACENT 8'-0" A.F.F. GYP. BD. CEIL. (SEE SHEET A105)	3 5/8"	16"	16	5/8"	3 1/2"	STUDS BELOW MEZZANINE TO BE CONSTRUCTED WITH CLARK DIETRICH 16 GAUGE METAL STUDS #3625162-54. STUDS ABOVE MEZZANINE TO BE CONSTRUCTED WITH 3 5/8" METAL STUDS, 25 GAUGE, 16" O.C.	S-10	-	METAL STUD AND GYPSUM BOARD WALL	-	-	TO DECK 13'-11 1/2" A.F.F.	3 5/8"	16"	20	5/8"	5/8"	-

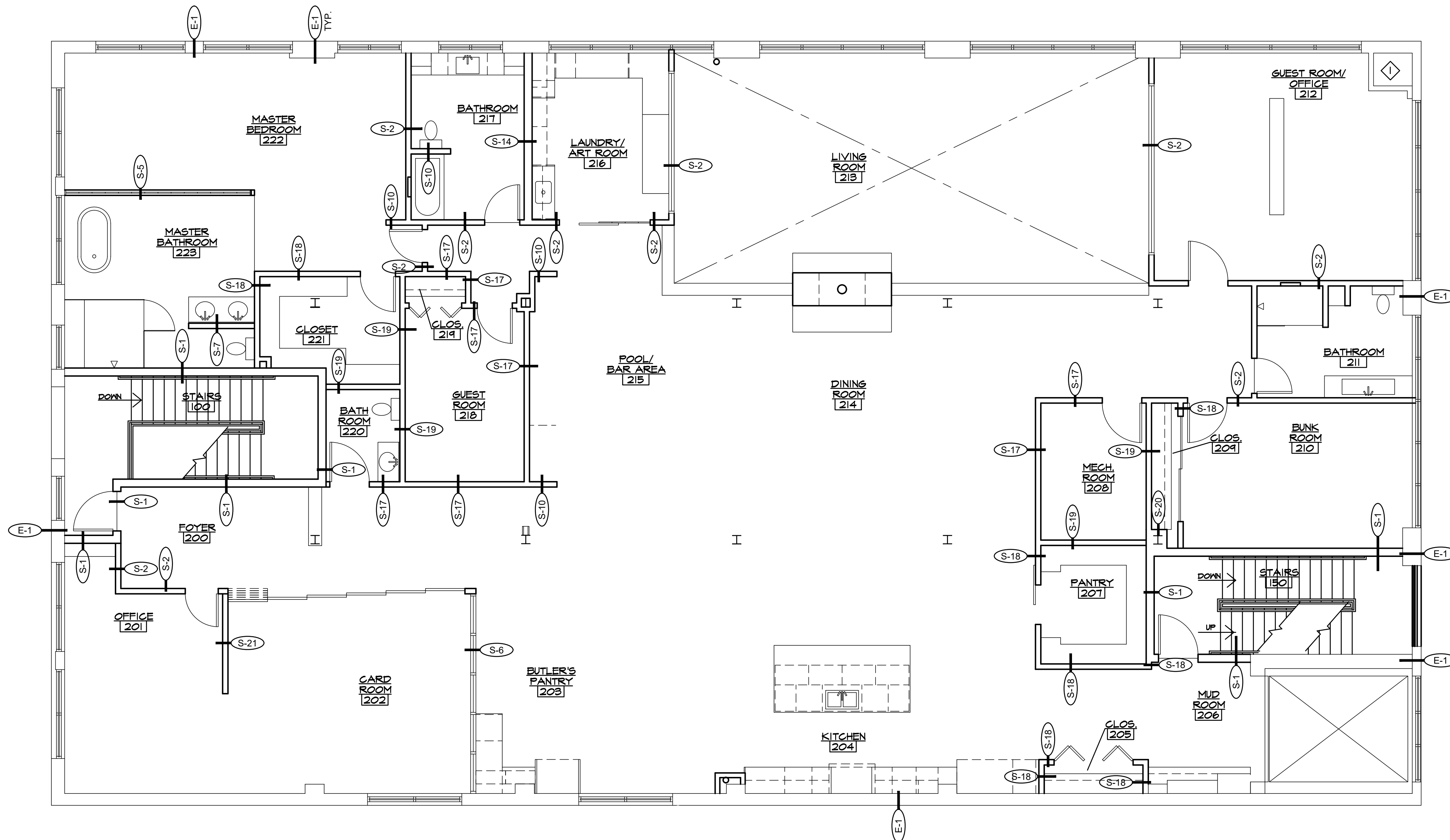


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WALL CONSTRUCTION LEGEND NOTES

◊ EXISTING TO REMAIN CHIMNEY.



SECOND FLOOR
WALL CONSTRUCTION PLAN
3/16" = 1'-0"

Project **PROJECT PEERLESS**

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
SECOND FLOOR WALL CONSTRUCTION PLAN AND WALL CONSTRUCTION LEGEND

Project Number
20-40-159

Drawn
ALM

Checked
DJS

Scale
3/16" = 1'-0"

Dwg.
PEERLESS - CDS

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CEILING NOTES

- 1 INDICATED ROOM TO RECEIVE NEW FINISHED GYPSUM BOARD CEILING AT 8'-0" A.F.F. PAINT P-3.
- 2 INDICATED ROOM TO RECEIVE NEW FINISHED GYPSUM BOARD CEILING AT 12'-10" A.F.F. PAINT P-3. SEE DETAIL NO. 6 ON SHEET A501.
- 3 PROVIDE NEW GYPSUM BOARD SOFFIT AT 12'-4" A.F.F. TO UNDERSIDE.
- 4 PROVIDE NEW GYPSUM BOARD SOFFIT AT 11'-0" A.F.F. TO UNDERSIDE.



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Project **PROJECT PEERLESS**

603 E. MILWAUKEE ST.
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Drawing Title
FIRST FLOOR REFLECTED CEILING PLAN

Project Number
20-40-159

Drawn ALM

Checked DJS

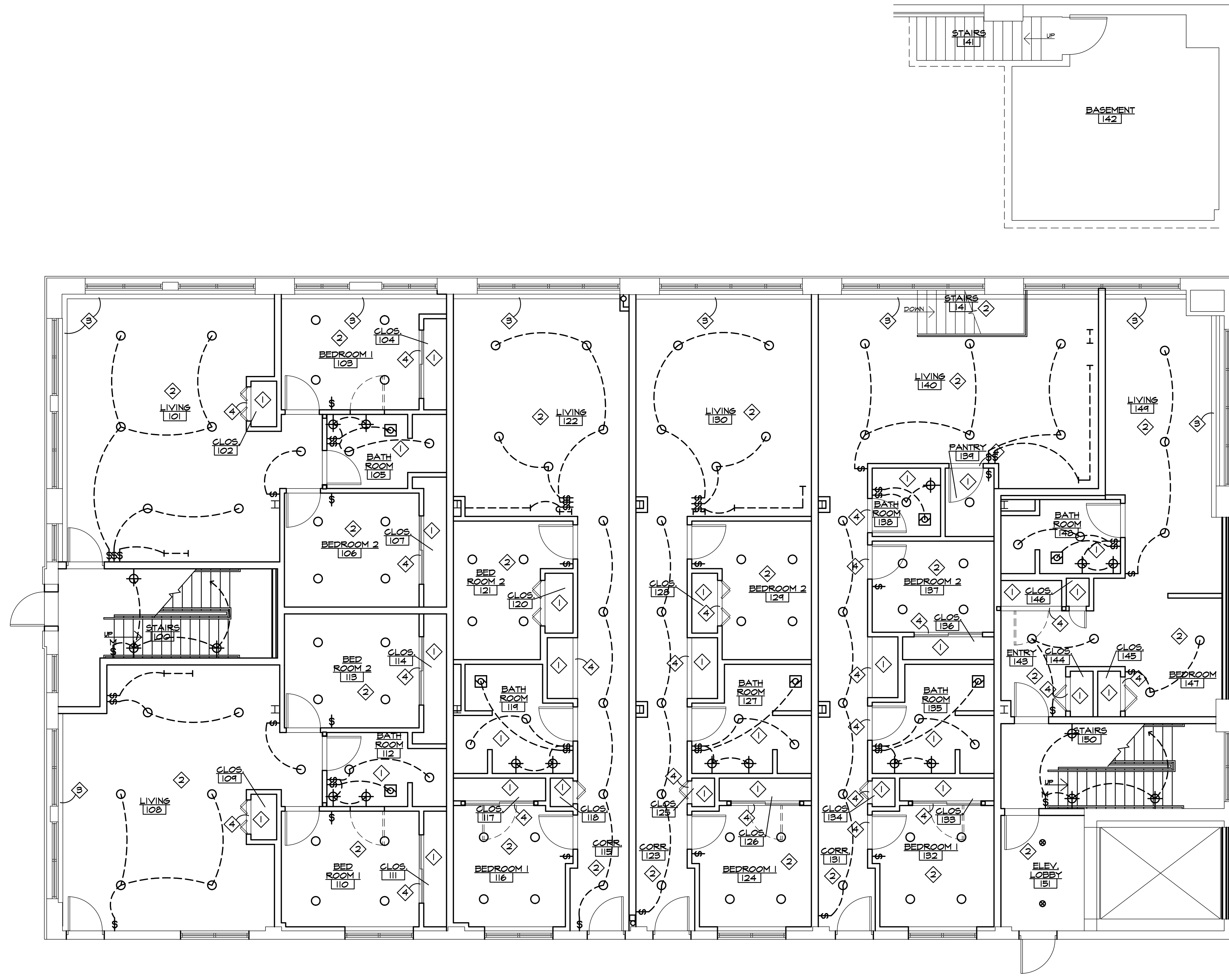
Scale 3/16" = 1'-0"

Dwg. PEERLESS - CDS

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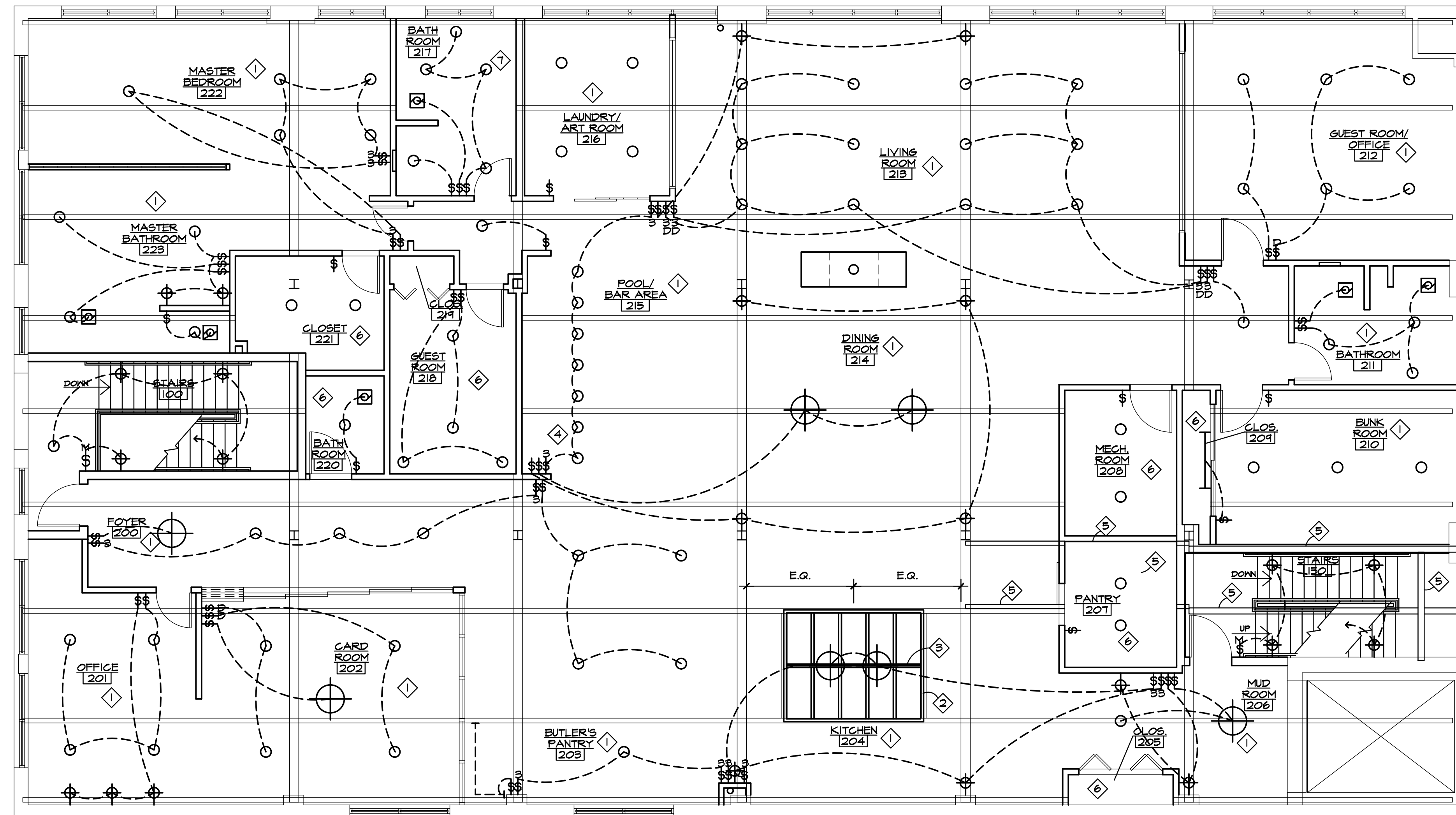
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FIRST FLOOR
REFLECTED CEILING PLAN
 3/16" = 1'-0"

CEILING NOTES

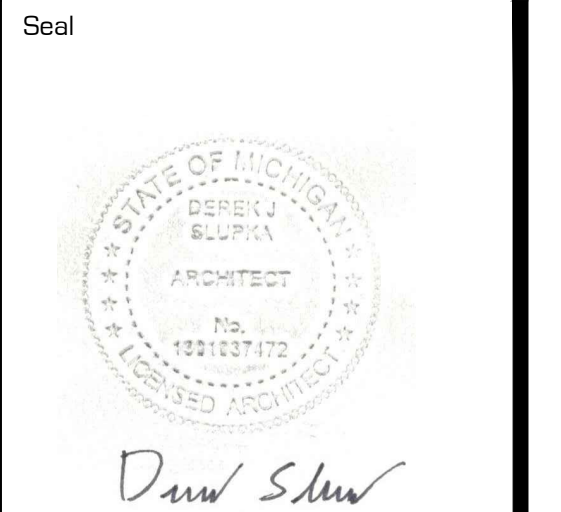
- 1 INDICATED ROOM TO HAVE OPEN AND EXPOSED EXISTING DECK AT 15'-7 7/8" +/- A.F.F.
- 2 NEW SKYLIGHTS. SEE ROOF PLAN ON SHEET A110, NOTE NO. 1.
- 3 PROVIDE NEW WOOD BEAM TO MATCH EXISTING WOOD BEAMS. PROVIDE NEW METAL BEAM HANGING BY 'SIMPSON STRONG-TIE' OR EQUAL. EXACT BEAM LOCATION SHALL BE DETERMINED BY SKYLIGHT MANUFACTURER'S SHOP DRAWINGS.
- 4 EXACT LIGHT PLACEMENT FOR SEVEN (7) BAR LIGHT FIXTURES TO BE DETERMINED UPON OVERALL SIZE OF OWNER PROVIDED BAR MILLWORK.
- 5 NEW FRAMING MEMBERS. SEE DETAIL NO. 10 ON SHEET A301.
- 6 INDICATED ENTIRE ROOM TO HAVE GYPSUM BOARD CEILING AT 9'-0" A.F.F.
- 7 INDICATED ENTIRE ROOM TO HAVE GYPSUM BOARD CEILING AT 13'-0" A.F.F.



SECOND FLOOR
REFLECTED CEILING PLAN
3/16" = 1'-0"



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Drawing Title
**SECOND FLOOR
REFLECTED CEILING PLAN**

Project Number
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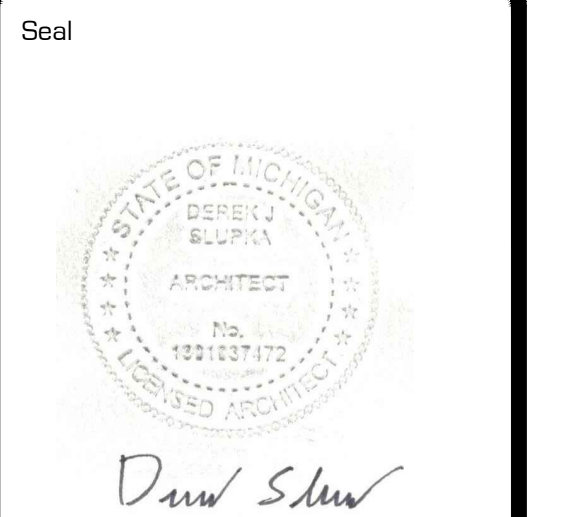
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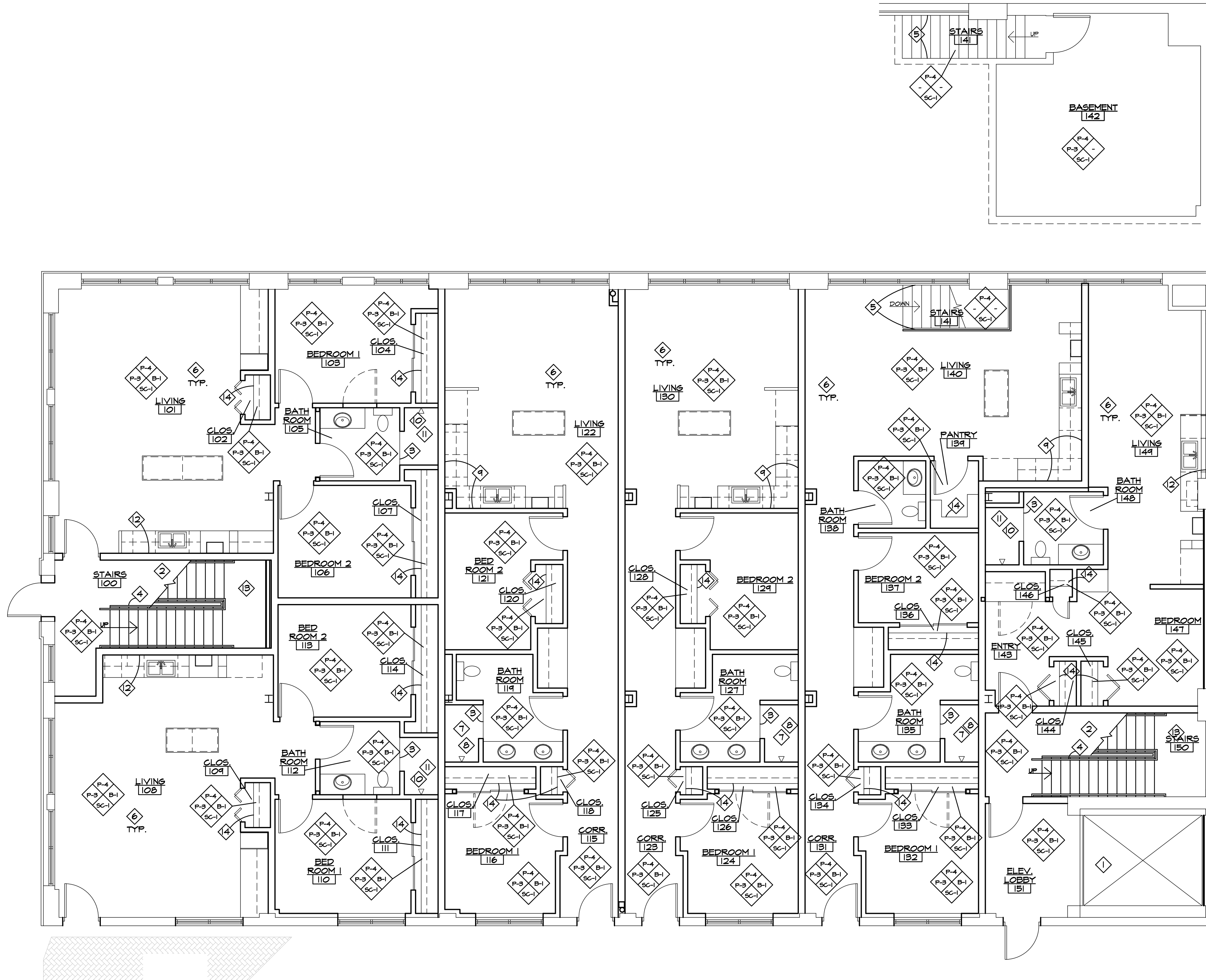
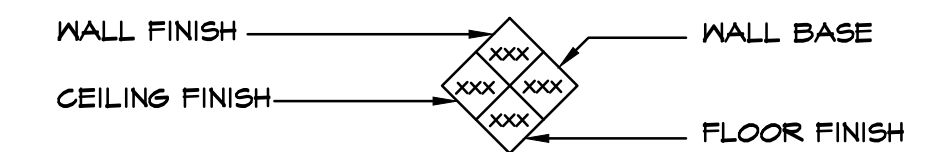
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FINISH NOTES

- 1 EXISTING ELEVATOR SHAFT, CAB AND DOORS TO REMAIN.
- 2 PAINT STAIRWELL WALLS FROM FIRST FLOOR TO ROOF LEVEL.
- 3 PROVIDE CONCRETE TO TILE 'SCHLUTER' EDGE ANGLE ALONG EDGE OF TILE. FINISH T.B.D.
- 4 PREP FOR NEW PAINT ON STAIRWELL RAILINGS AND GUARD. PAINT P-6. TYPICAL. PAINT FROM FIRST FLOOR TO ROOF LEVEL.
- 5 PREP FOR NEW PAINT ON RAILINGS. PAINT P-6. TYPICAL.
- 6 PAINT GYPSUM BOARD CEILING P-3. TYPICAL THROUGHOUT IN ALL UNITS.
- 7 ALL WALLS IN SHOWER TO BE FT-2.
- 8 FLOOR IN SHOWER TO BE FT-3.
- 9 BACK SPLASH IN KITCHEN TO BE FT-1. SEE MILLWORK ELEVATIONS SHEET NO. A401 AND A402.
- 10 ALL WALLS IN SHOWER TO BE FT-5.
- 11 FLOOR IN SHOWER TO BE FT-6.
- 12 BACK SPLASH IN KITCHEN TO BE FT-4. SEE MILLWORK ELEVATIONS SHEET NO. A401 AND A402.
- 13 PROVIDE RUBBER FLOOR (SR-1) ON TREAD, RISER, AND LANDINGS ON STAIRS. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- 14 SHELVING MATERIAL TO BE DETERMINED.

FINISH KEY



FIRST FLOOR
FINISH PLAN
3/16" = 1'-0"

Project **PROJECT PEERLESS**

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
FIRST FLOOR FINISH PLAN

Project Number
20-40-159

Drawn ALM

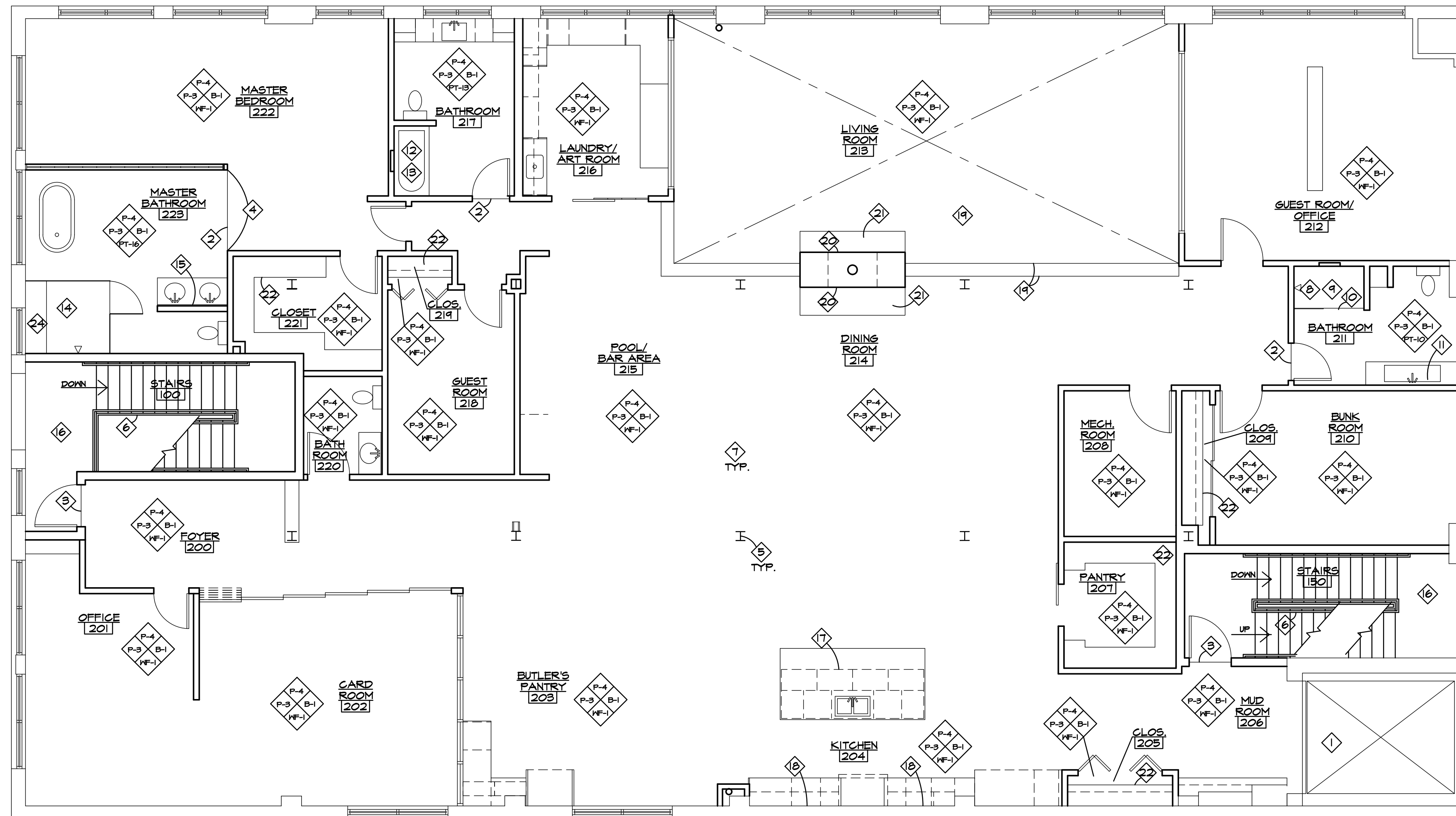
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Scale 3/16"=1'-0"

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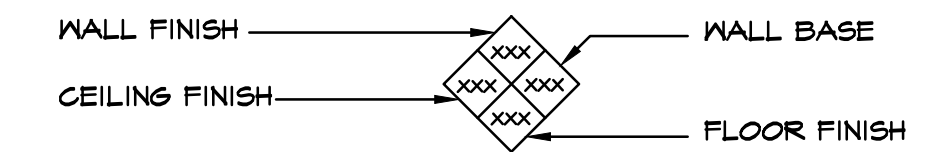


SECOND FLOOR
FINISH PLAN
 3/16" = 1'-0" 

FINISH NOTES

- 1 EXISTING ELEVATOR SHAFT, CAB AND DOORS TO REMAIN.
- 2 PROVIDE WOOD TO TILE 'SCHLUTER' EDGE ANGLE ALONG EDGE OF TILE. FINISH T.B.D. CENTER UNDER DOOR IN CLOSED POSITION.
- 3 PROVIDE RUBBER TO WOOD TRANSITION STRIP. FINISH AND MATERIAL T.B.D. CENTER UNDER DOOR IN CLOSED POSITION.
- 4 FLOOR TRANSITION LINE ALIGNED WITH CORNER OF WALL.
- 5 PREP COLUMNS FOR NEW PAINT P-5. TYPICAL.
- 6 PREP FOR NEW PAINT ON STAIRWELL RAILINGS AND GUARD. PAINT P-6. TYPICAL. PAINT FROM FIRST FLOOR TO ROOF LEVEL.
- 7 PAINT WOOD PLANK CEILING P-3. TYPICAL.
- 8 ALL WALLS IN SHOWER TO BE FT-II.
- 9 FLOOR IN SHOWER TO BE FT-12.
- 10 PROVIDE A SCHLUTER TRANSITION STRIP BETWEEN SHOWER TILE FLOOR (FT-12) AND BATHROOM TILE FLOOR (FT-10). FINISH MATTE BLACK.
- 11 BACK SPLASH (FT-11) TO RUN FROM TOP OF COUNTER TO 4 COURSES OF TILE.
- 12 ACCENT WALL IN SHOWER TO BE FT-14. VERTICAL STA/SOLDIER COURSE PATTERN. START AT 5'-0" A.F.F. TO 3 COURSES OF TILE.
- 13 WALLS IN SHOWER TO BE FT-15. HORIZONTAL STACK PATTERN (FLOOR TO APPROXIMATELY 5'-0" A.F.F.).
- 14 ALL WALLS AND FLOOR IN SHOWER TO BE FT-18.
- 15 BACK SPLASH (FT-17) TO RUN FROM FLOOR TO TOP OF WALL.
- 16 PROVIDE RUBBER FLOOR (SR-1) ON TREAD, RISER, AND LANDINGS ON STAIRS. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- 17 PORCELAIN TILE (PT-8) ON EAST SIDE OF ISLAND UNDER COUNTERTOP.
- 18 PORCELAIN TILE (PT-7) BACK SPLASH IN KITCHEN#204. SEE ELEVATION NO. 4 ON SHEET A403
- 19 RAISED PLATFORM IN LIVING ROOM #213 TO HAVE WOOD FLOORING (WF-1) ON FLOOR, RISER, AND TREAD.
- 20 FIRE PLACE TILE TO BE FT-4. SEE ELEVATION NO. 1, 2, AND 3 ON SHEET NO. A405
- 21 HEARTH SURROUND MATERIAL TO BE PEMABIG TILE (FT-4).
- 22 SHELVING MATERIAL TO BE DETERMINED.
- 23 BENCH SEAT AND SIDES IN SHOWER TO BE FT-18.

FINISH KEY



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Project **PROJECT PEERLESS**

603 E. MILWAUKEE ST.
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Drawing Title
SECOND FLOOR FINISH PLAN

Project Number
20-40-159

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Checked DJS

Scale 3/16"=1'-0"

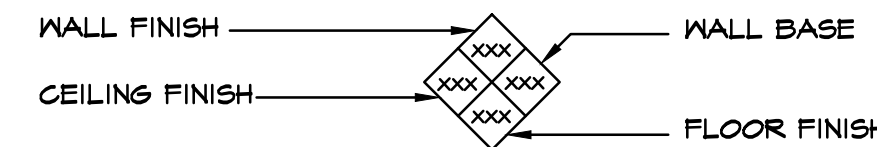
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FINISH KEY



FLOOR

FINISH LEGEND

1ST / 2ND	B-1	BASE "T.B.D." STYLE: T.B.D. COLOR: T.B.D.
1ST / 2ND	P-1	PAINT (DOORS) "T.B.D." FINISH: T.B.D. COLOR: T.B.D.
1ST / 2ND	P-2	PAINT (FRAMES) "T.B.D." FINISH: T.B.D. COLOR: T.B.D.
1ST / 2ND	P-3	PAINT (CEILING) "T.B.D." FINISH: T.B.D. COLOR: T.B.D.
1ST / 2ND	P-4	PAINT (WALLS) "T.B.D." FINISH: T.B.D. COLOR: T.B.D.
1ST / 2ND	P-5	PAINT (COLUMNS) "T.B.D." FINISH: T.B.D. COLOR: T.B.D.
1ST / 2ND	P-6	PAINT (RAILINGS) "T.B.D." FINISH: T.B.D. COLOR: T.B.D.
1ST	PT-1	PORCELAIN TILE (UNITS C,D,E KITCHEN BS) 'BEAVER TILE & STONE' COLLECTION: OLIMPIA OCEANI COLOR: GREEN SIZE: 2.5" X 10" PATTERN: HORIZONTAL STACK 18" HIGH GROUT: TEC 949 SILVERADO GROUT SIZE: T.B.D. BY DESIGNER
1ST	PT-2	PORCELAIN TILE (UNITS C,D,E SHOWER WALLS) 'BEAVER TILE & STONE' COLLECTION: OLIMPIA OCEANI COLOR: SMOKE SIZE: 2.5" X 10" PATTERN: VERTICAL STACK / SOLDIER COURSE GROUT: TEC 949 SILVERADO GROUT SIZE: T.B.D. BY DESIGNER
1ST	PT-3	PORCELAIN TILE (UNITS C,D,E FLOOR) 'BEAVER TILE & STONE' COLLECTION: ROCA 2" HEX MOSAIC COLOR: WHITE SIZE: 12" X 12" SHEET PATTERN: - GROUT: TEC 934 SLATE GRAY GROUT SIZE: T.B.D. BY DESIGNER
1ST	PT-4	PORCELAIN TILE (UNITS A,B,F KITCHEN BS) 'BEAVER TILE & STONE' COLLECTION: OLIMPIA OCEANI COLOR: SMOKE SIZE: 2.5" X 10" PATTERN: HORIZONTAL STACK 18" HIGH FULL HEIGHT BEHIND HOOD GROUT: TEC 949 SILVERADO GROUT SIZE: T.B.D. BY DESIGNER
1ST	PT-5	PORCELAIN TILE (UNITS A,B,F SHOWER WALLS) 'BEAVER TILE & STONE' COLLECTION: OLIMPIA OCEANI COLOR: GREEN SIZE: 2.5" X 10" PATTERN: VERTICAL STACK / SOLDIER COURSE GROUT: TEC 949 SILVERADO GROUT SIZE: T.B.D. BY DESIGNER
1ST	PT-6	PORCELAIN TILE (UNITS A,B,F FLOOR) 'BEAVER TILE & STONE' COLLECTION: ROCA 2" HEX MOSAIC COLOR: WHITE SIZE: 12" X 12" SHEET PATTERN: - GROUT: TEC 934 SLATE GRAY GROUT SIZE: T.B.D. BY DESIGNER
2ND	PT-7	PORCELAIN TILE (KITCHEN BACK SPLASH) 'SENESEE CERAMIC TILE' COLLECTION: MARABELLA COLOR: - SIZE: 8" X 8" GROUT: TEC POWER GROUT 909 STERLING GROUT SIZE: T.B.D. BY DESIGNER
2ND	PT-8	PORCELAIN TILE (ISLAND FACE) 'CIOT' STYLE: EPOQUE OVAL COLOR: GREY / TAUPE SIZE: 8" X 8" PATTERN: STACKED GRID GROUT: TEC POWER GROUT 909 STERLING GROUT SIZE: T.B.D. BY DESIGNER
2ND	PT-9	PORCELAIN TILE (FIRE PLACE SURROUND) 'PENABIC' STYLE: CUSTOM BLEND COLOR: SHADOW, GELADON, IRID, MATTE SIZE: 4" X 4" GROUT: TEC 909 STERLING GROUT SIZE: T.B.D. BY DESIGNER
2ND	PT-10	PORCELAIN TILE (GUEST BATH #1 FLOOR) 'CIOT' STYLE: BOHEMIA COLOR: HANNA HEX SIZE: 8" X 10" GROUT: TEC 949 SILVERADO GROUT SIZE: T.B.D. BY DESIGNER

FLOOR

FINISH LEGEND

2ND	PT-11	PORCELAIN TILE (GUEST BATH #1 BACKSPLASH/SHOWER WALLS) 'CIOT' STYLE: LUME COLOR: BLUE SIZE: 2.5" X 9.5" PATTERN: HORIZONTAL STACK GROUT: TEC 909 STERLING GROUT SIZE: T.B.D. BY DESIGNER
2ND	PT-12	PORCELAIN TILE (GUEST BATH #1 FLOOR) 'BEAVER TILE & STONE' STYLE: SOMERTILE HUDSON PENNY COLOR: MINT SIZE: 12" X 12.625" SHEET GROUT: TEC 909 STERLING GROUT SIZE: T.B.D. BY DESIGNER
2ND	PT-13	PORCELAIN TILE (GUEST BATH #2 FLOOR) 'MSI' STYLE: AZUL SCALLOP COLOR: BLUE SIZE: 8.5" X 10" SHEET GROUT: TEC 949 SILVERADO GROUT SIZE: T.B.D. BY DESIGNER
2ND	PT-14	PORCELAIN TILE (GUEST BATH #2 SHOWER WALLS ACCENT) 'CIOT' STYLE: LUME COLOR: BLUE SIZE: 2.5" X 9.5" PATTERN: VERTICAL STACK/SOLDIER COURSE START AT 5'-0" A.F.F. (REFERENCE CONCEPT RENDERING) GROUT: TEC 949 SILVERADO GROUT SIZE: T.B.D. BY DESIGNER
2ND	PT-15	PORCELAIN TILE (GUEST BATH #2 SHOWER WALLS) 'BEAVER TILE & STONE' STYLE: OLIMPIA OCEANI COLOR: AQUA SIZE: 2.5" X 10" PATTERN: HORIZONTAL STACK (FLOOR TO APPROX. 5'-0" A.F.F.) GROUT: TEC 949 SILVERADO GROUT SIZE: T.B.D. BY DESIGNER
2ND	PT-16	PORCELAIN TILE (MASTER BATH FLOOR) 'DAL TILE' STYLE: BEE HIVE MEDLEY COLOR: BLUE SIZE: 8.5" X 10" GROUT: TEC 908 DOVE GRAY GROUT SIZE: T.B.D. BY DESIGNER
2ND	PT-17	PORCELAIN TILE (MASTER BATH BACKSPLASH) 'VIRGINIA TILE' STYLE: MOM USA- MESTIZAJE COLOR: COTTO CHATEAU ANTIQUE MATTE SIZE: 7" X 7" NOTE: VARIED PATTERNS - DESIGNER TO APPROVE BLEND ON SITE PRIOR TO INSTALL, GRID PATTERN. GROUT: TEC 908 BIRCH GROUT SIZE: T.B.D. BY DESIGNER
2ND	PT-18	PORCELAIN TILE (MASTER BATH SHOWER WALLS / FLOOR) 'HOME DEPOT' STYLE: IVY HILL - ALEXANDRIA COLOR: DENIM BLUE HEXAGON SIZE: 6" GROUT: TEC 908 DOVE GRAY GROUT SIZE: T.B.D. BY DESIGNER
1ST	SC-1	SEALED CONCRETE "T.B.D." COLOR: T.B.D. FINISH: T.B.D.
1ST / 2ND	SR-1	STAIR RISER AND TREAD 'ROPPE' COLOR: T.B.D. MATERIAL: RUBBER
2ND	WF-1	WOOD FLOOR 'LUMBER LIQUIDATORS' STYLE: WINCHESTER OAK MBW07 SIZE: 9/16" X 7.5" X (10.7 X 14.8")L COLOR: BLONDE INSTALLATION: REFER TO MANUFACTURERS INSTALLATION INSTRUCTIONS

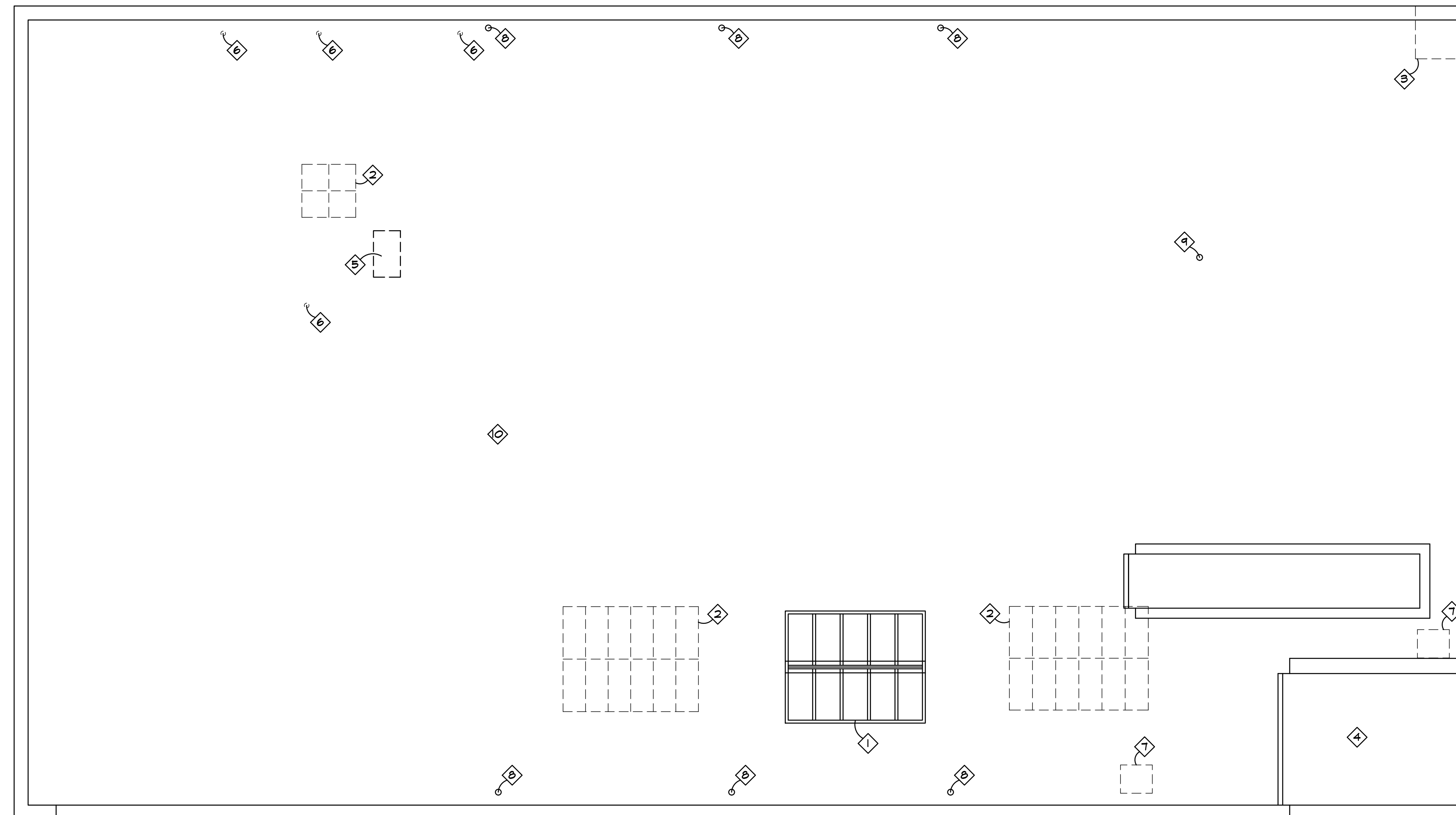


7300 DIXIE HWY. #600
CLARKSTON, MI 48346
PHONE 248.605.2030
FAX 248.605.2030
WEB DSARCHITECTS.COM

Seal	
<p>David Shaw</p>	
PROJECT PEERLESS	
603 E. MILWAUKEE ST. DETROIT, MI 48202	
Drawing Title	
FINISH LEGEND	
Project Number	
20-40-159	
Drawn	
ALM	
Checked	
DJS	
Scale	
N/A	
Dwg. PEERLESS - CDS	
Issued for	Date By
DESIGN DEVELOPMT.	5-28-21 DJS
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ROOF NOTES

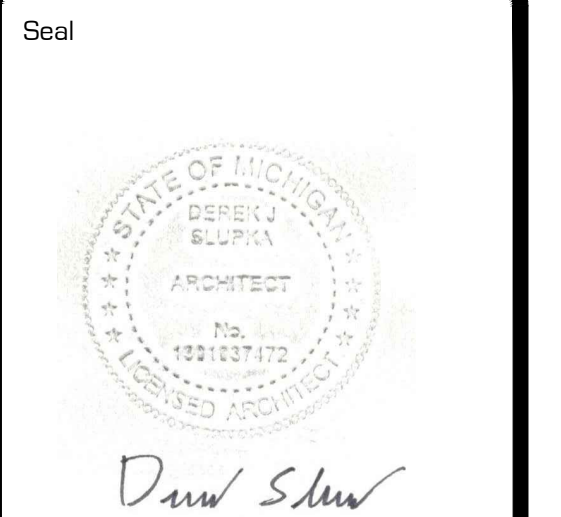
- ① PROVIDE NEW 8' X 10' PREMANUFACTURED ALUMINUM SKYLIGHT ASSEMBLY WITH INSULATED GLASS BY MASCOVELUX MODEL C8D6 950 SERIES LT DOUBLE PITCH WITH GLASS ALONG SILL. PROVIDE NEW ROOF CURB PER MANUFACTURERS INSTRUCTIONS. PROVIDE AND INSTALL BEAM (SIZE, STYLE AND TYPE TO BE DETERMINED BY DESIGNER), RUNNING NORTH AND SOUTH, ALONG AT BASE OF SKYLIGHTS TO SUPPORT TWO (2) HANGING LIGHT FIXTURES.
- ② REMOVE AND DISPOSE OF EXISTING SKYLIGHTS.
- ③ REMOVE AND DISPOSE OF EXISTING BRICK MASONRY CHIMNEY. PROVIDE NEW ROOF DECKING TO MATCH EXISTING, INSULATION ON ROOFING AND NEW ROOFING MEMBRANE TO MATCH EXISTING.
- ④ EXISTING ROOFTOP ELEVATOR MACHINE ROOM.
- ⑤ REMOVE AND DISPOSE OF INDICATED ROOFTOP CONDENSING UNIT.
- ⑥ REMOVE AND DISPOSE OF EXISTING ROOFTOP PLUMBING STACK.
- ⑦ REMOVE AND DISPOSE OF EXISTING ROOFTOP ACCESS LADDER HATCH. PROVIDE NEW ROOF DECKING TO MATCH EXISTING, INSULATION ON ROOFING AND NEW ROOFING MEMBRANE TO MATCH EXISTING.
- ⑧ REMOVE EXISTING ROOF DRAIN AND PROVIDE NEW 4" ROOF DRAIN AS REQUIRED.
- ⑨ APPROXIMATE LOCATION OF EXISTING FURNACE FLUE TO BE REMOVED AND DISPOSED OF. PROVIDE NEW ROOF DECKING TO MATCH EXISTING, INSULATION ON ROOFING AND NEW ROOFING MEMBRANE TO MATCH EXISTING.
- ⑩ PROVIDE NEW 2" LAYER OF POLYISO OVER ENTIRE EXISTING TO REMAIN ROOFTOP MEMBRANE AND PROVIDE NEW THERMOPLASTIC POLYOLEFIN (TPO), COLOR GRAY. PROVIDE NEW METAL COPING WITH KYNAR FINISH, COLOR T.B.D., AS REQUIRED.



ROOF PLAN
3/16" = 1'-0"



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Project
PROJECT PEERLESS

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
ROOF PLAN

Project Number
20-40-159

Drawn ALM

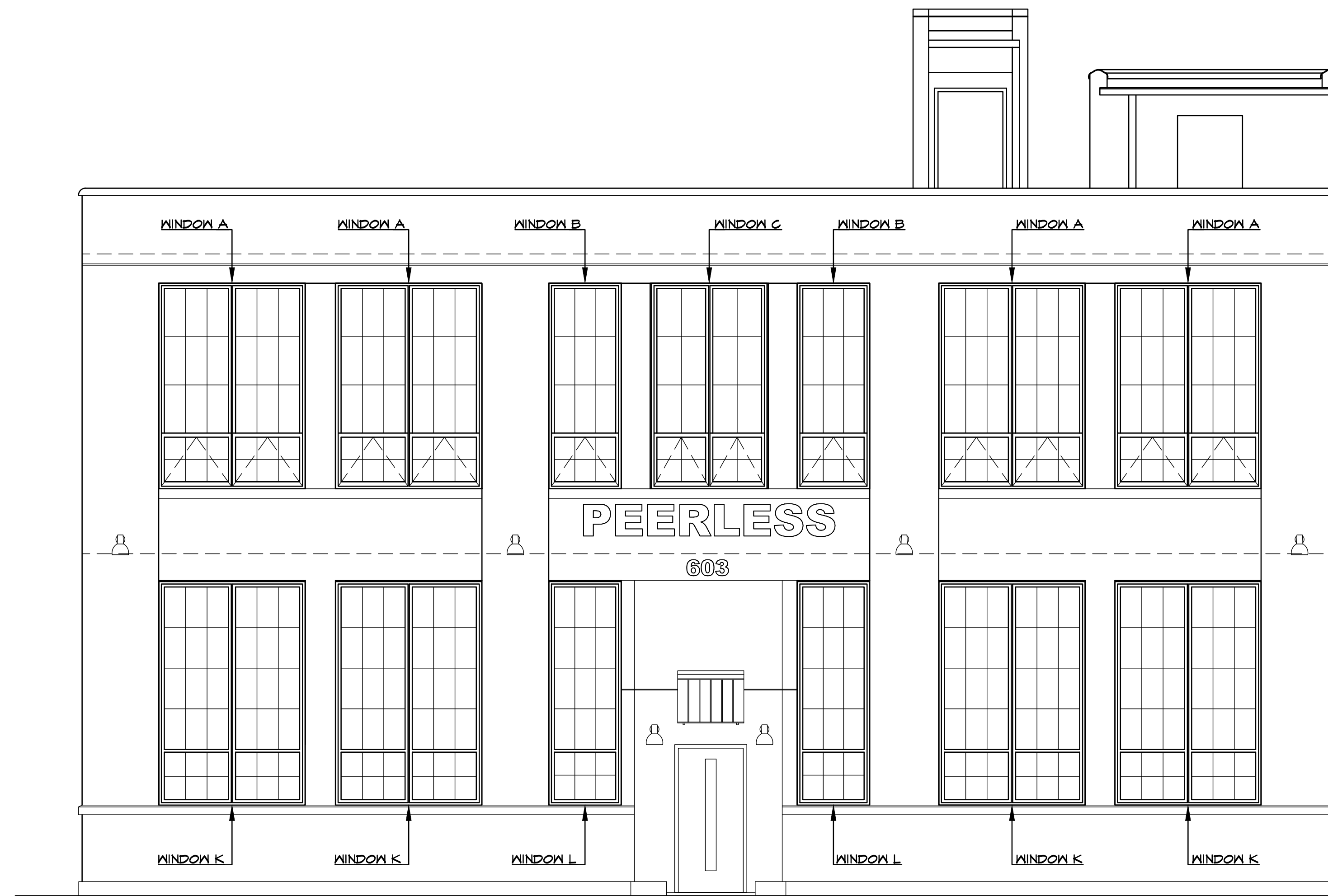
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Scale 3/16"=1'-0"

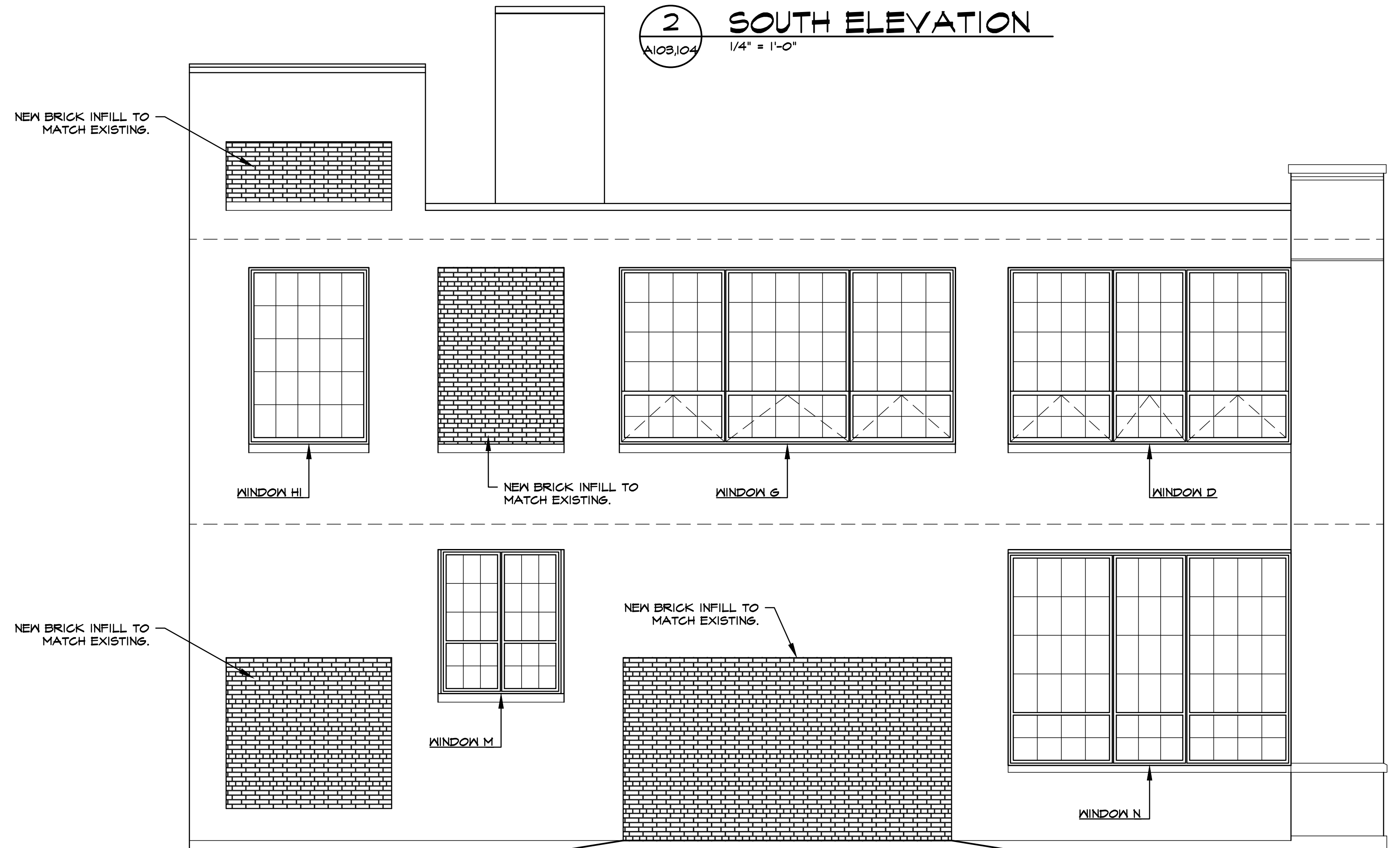
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2 SOUTH ELEVATION
A103,104 1/4" = 1'-0"



1 NORTH ELEVATION
A103,104 1/4" = 1'-0"



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Seal



Derek Stuebel

Project **PROJECT PEERLESS**

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
EXTERIOR ELEVATIONS

Project Number
20-40-159

Drawn ALM

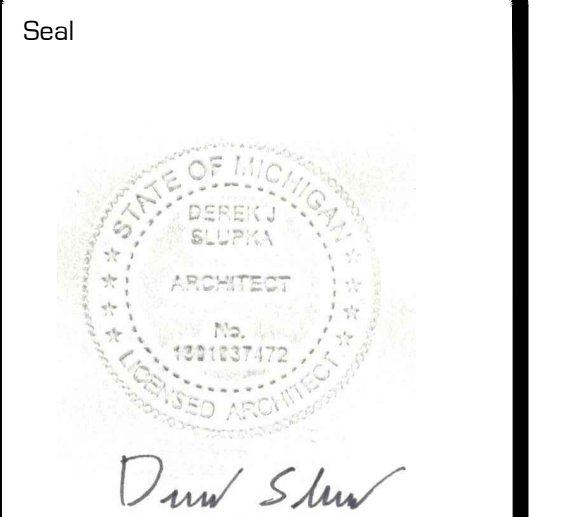
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Dwg. PEERLESS - CDS

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Derek S. Stew

Project
PROJECT PEERLESS

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
EXTERIOR ELEVATIONS

Project Number
20-40-159

Drawn ALM

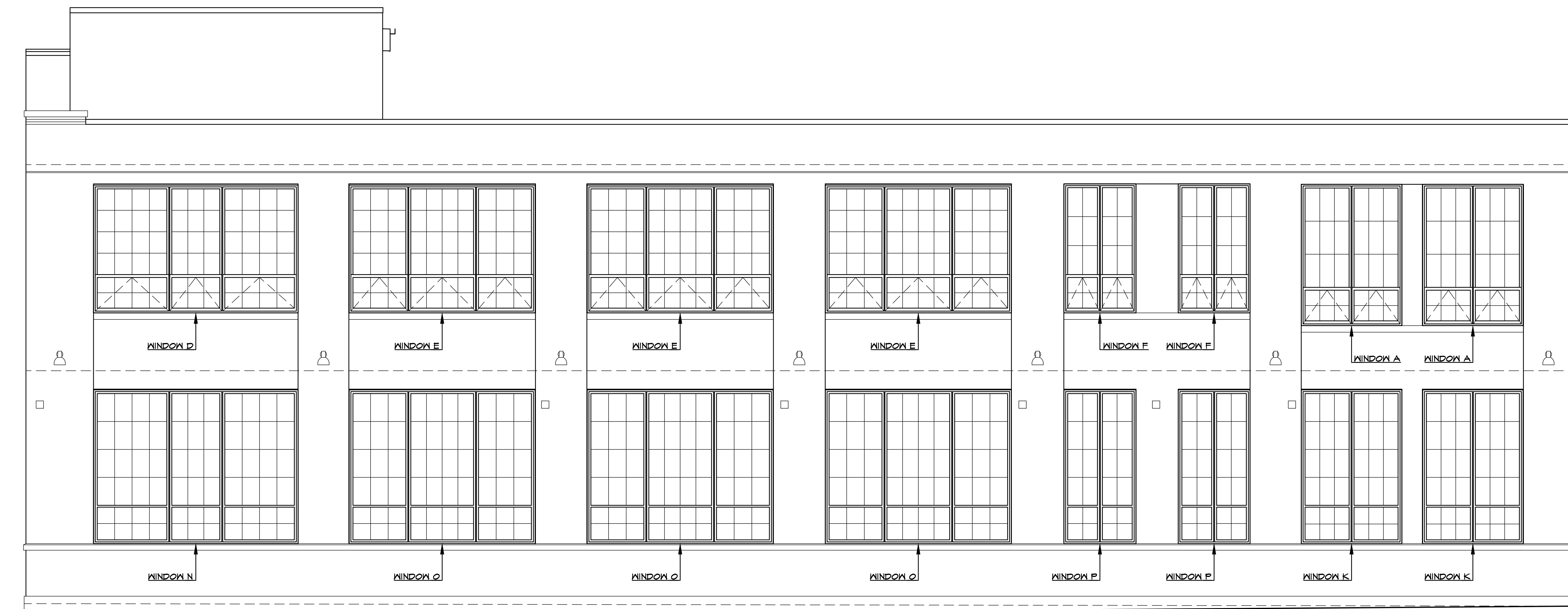
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Scale 1/4" = 1'-0"

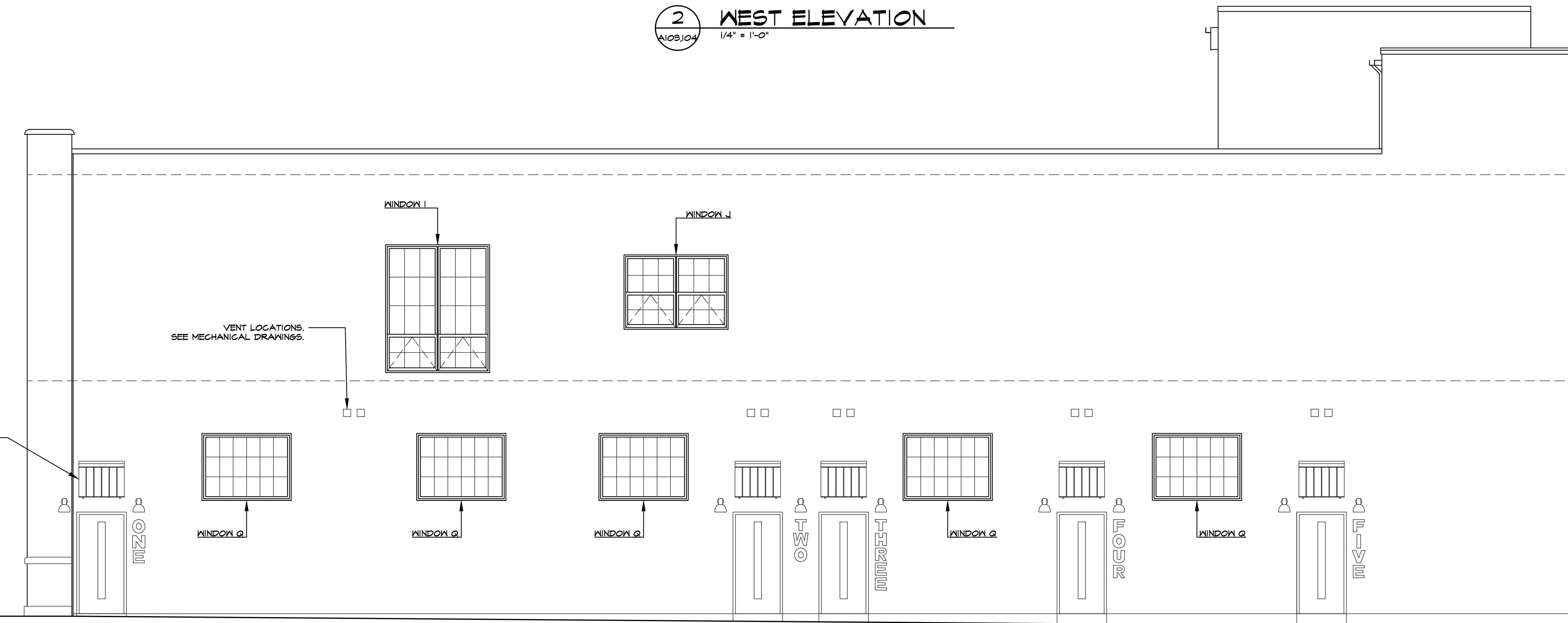
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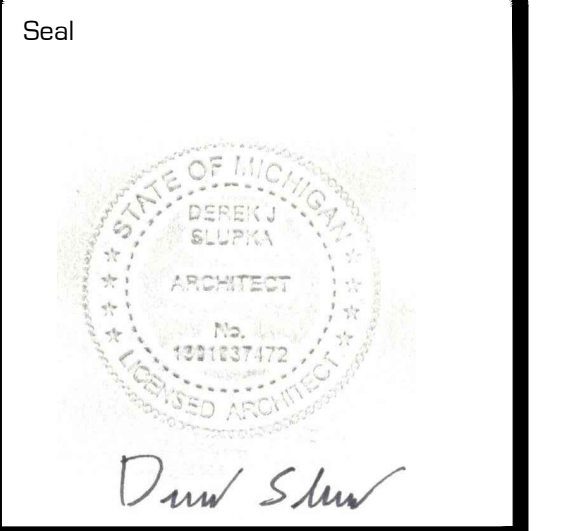
2 WEST ELEVATION
A103,104 1/4" = 1'-0"



1 EAST ELEVATION
A103,104 1/4" = 1'-0"

NEW 'AMTECH' AWNING
3'-0 1/16" X 2'-0" H X 3'-0" D
BY 'GLOBAL INDUSTRIAL'
OR EQUAL. FINISH BLACK.
TYPICAL.

VENT LOCATIONS.
SEE MECHANICAL DRAWINGS.



Project
PROJECT PEERLESS

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
FRAMING ELEVATIONS / ENLARGED PLANS / DETAILS

Project Number
20-40-159

Drawn ALM

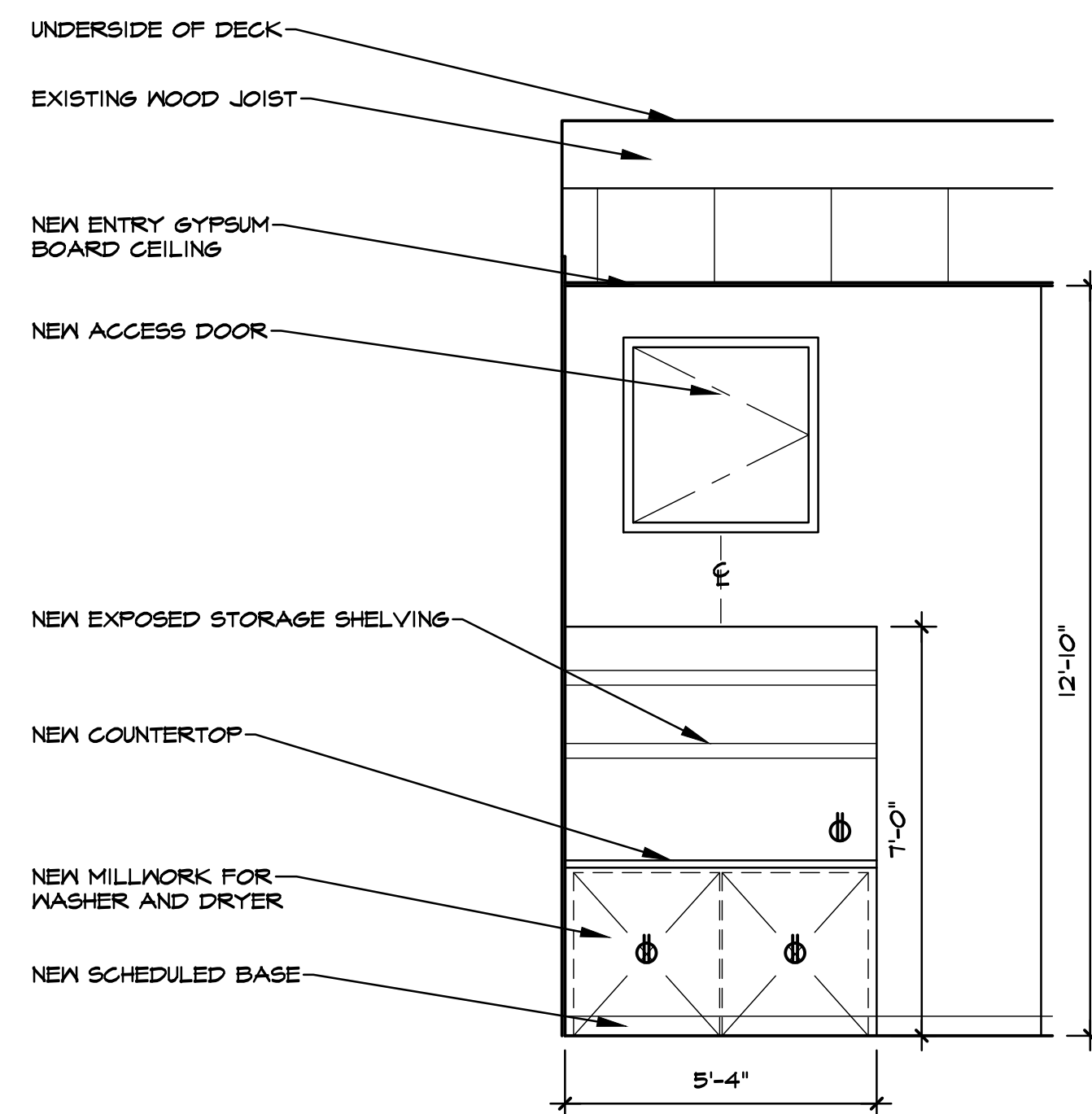
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Scale AS NOTED

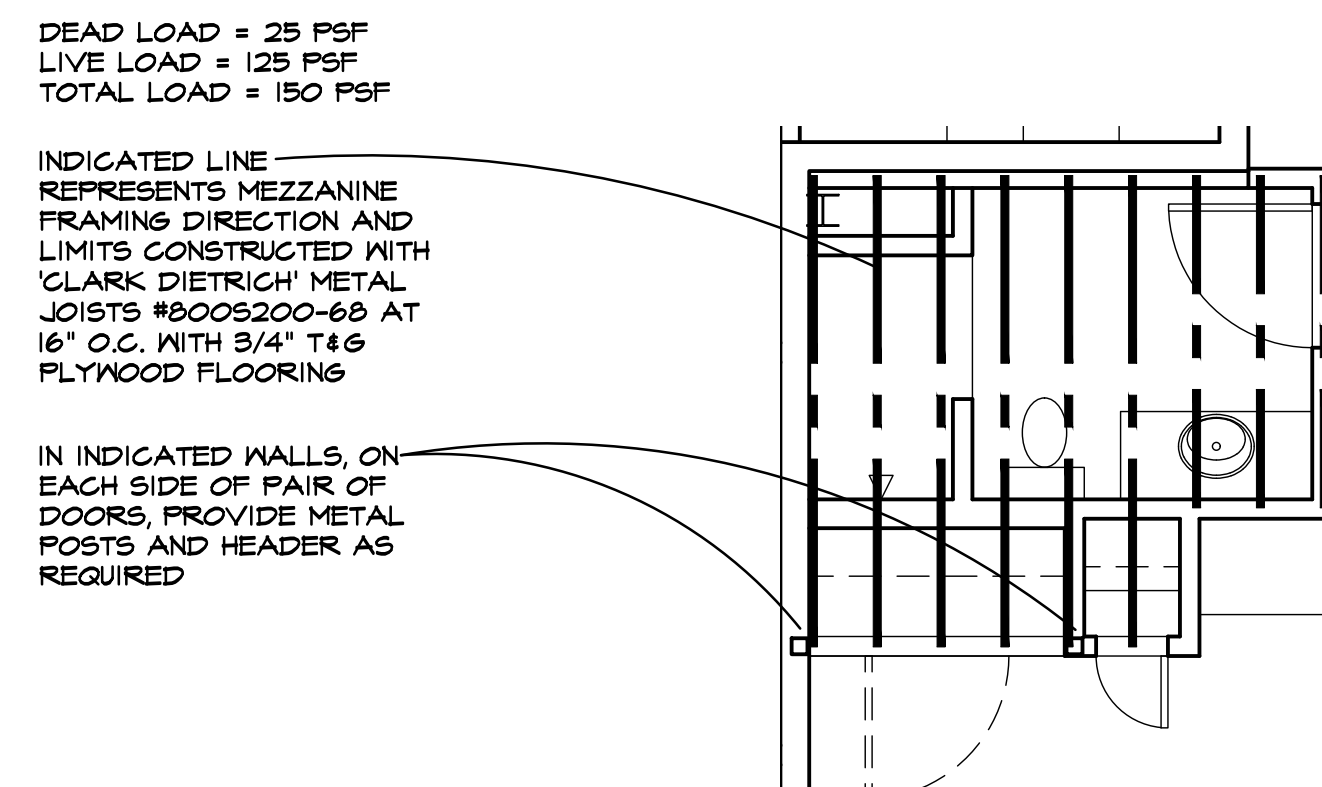
Dwg. PEERLESS - CDS

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PERMIT	10-13-21	DJS

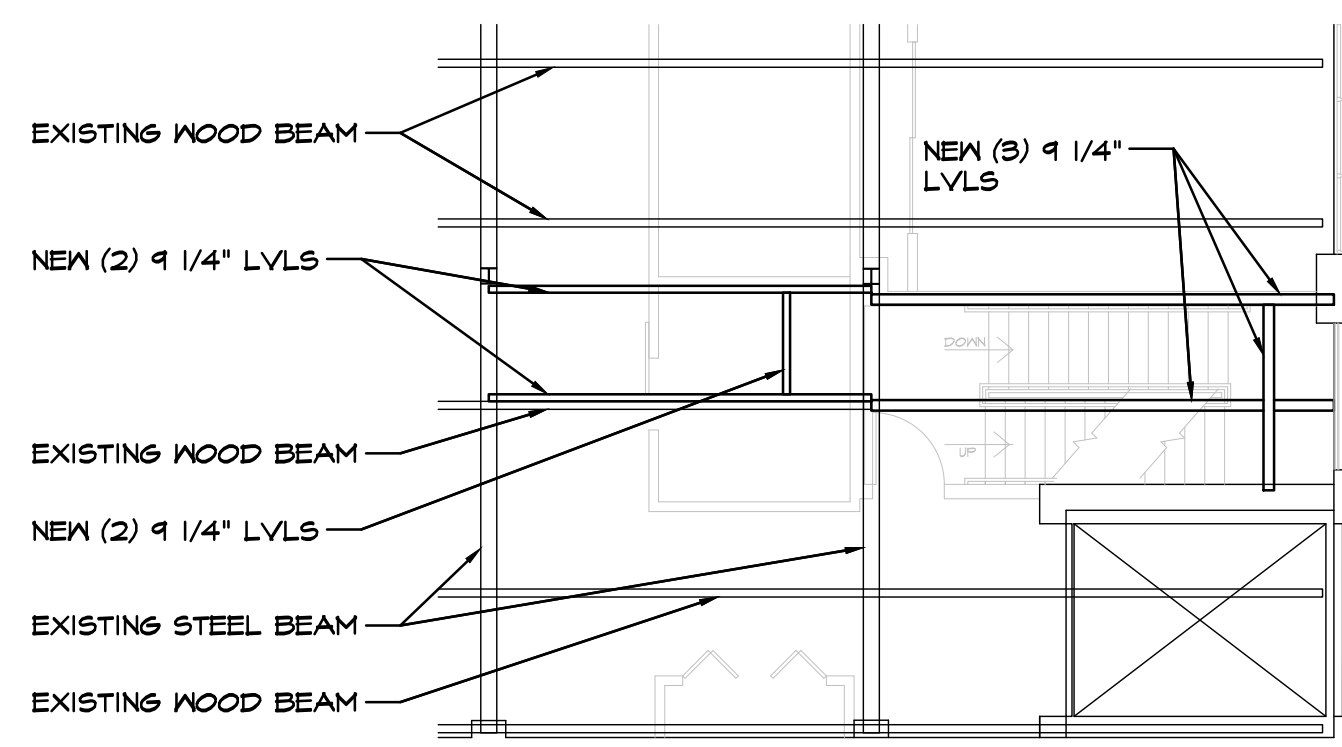
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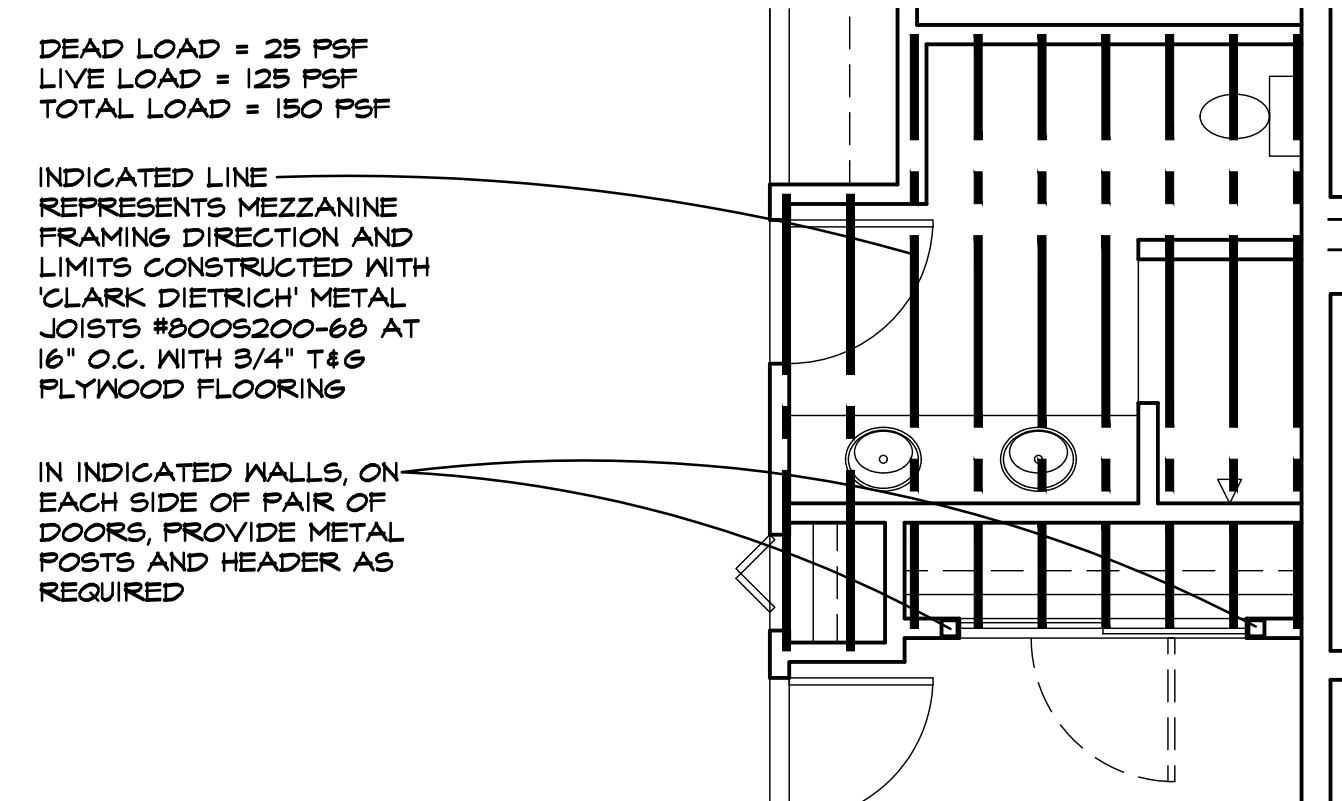
9 ENTRY #143 - (UNIT 'F'; WASHER/DRYER UNITS)
A103 3/8" = 1'-0"



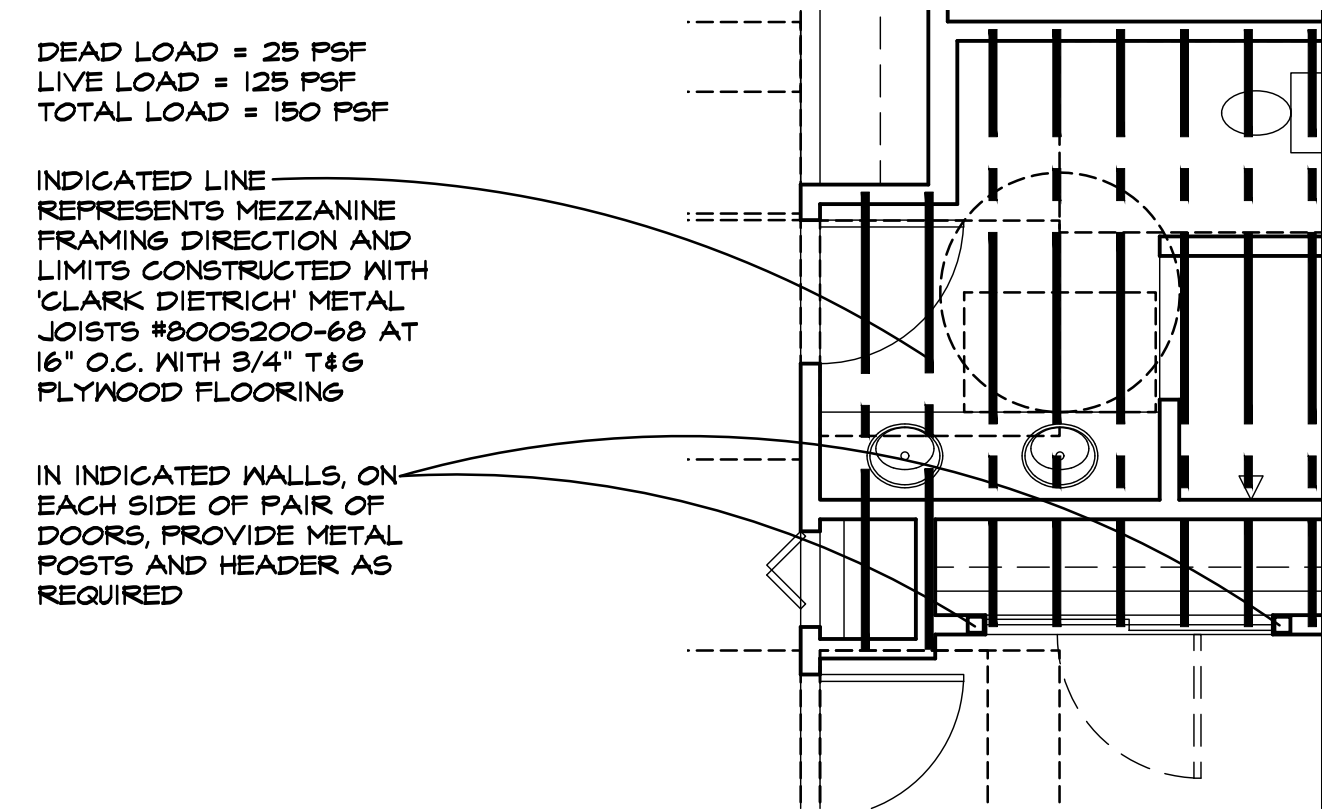
8 ENLARGED PLAN (UNIT 'F')
A103.1 1/4" = 1'-0"



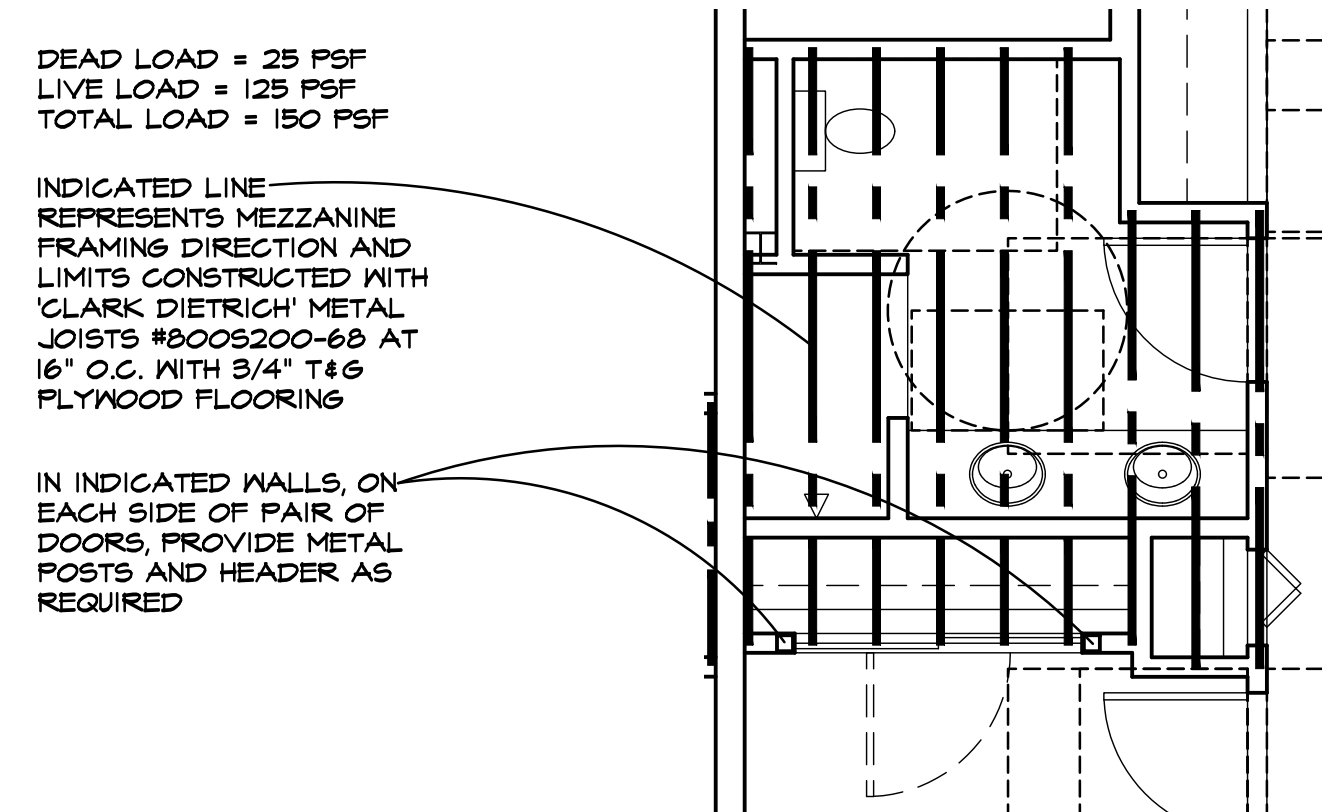
10 2ND FLOOR ROOF FRAMING
A106 1/8" = 1'-0"



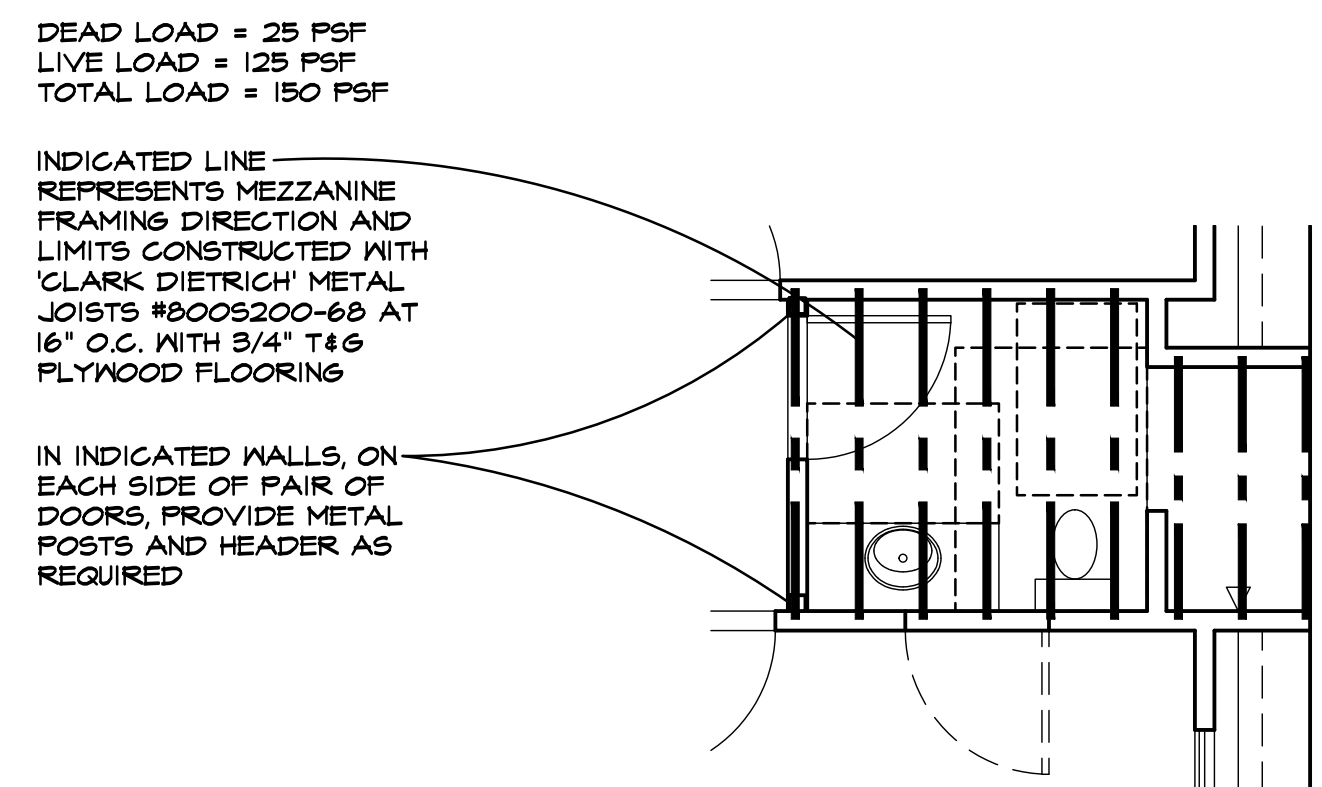
7 ENLARGED PLAN (UNIT 'E')
A103.1 1/4" = 1'-0"



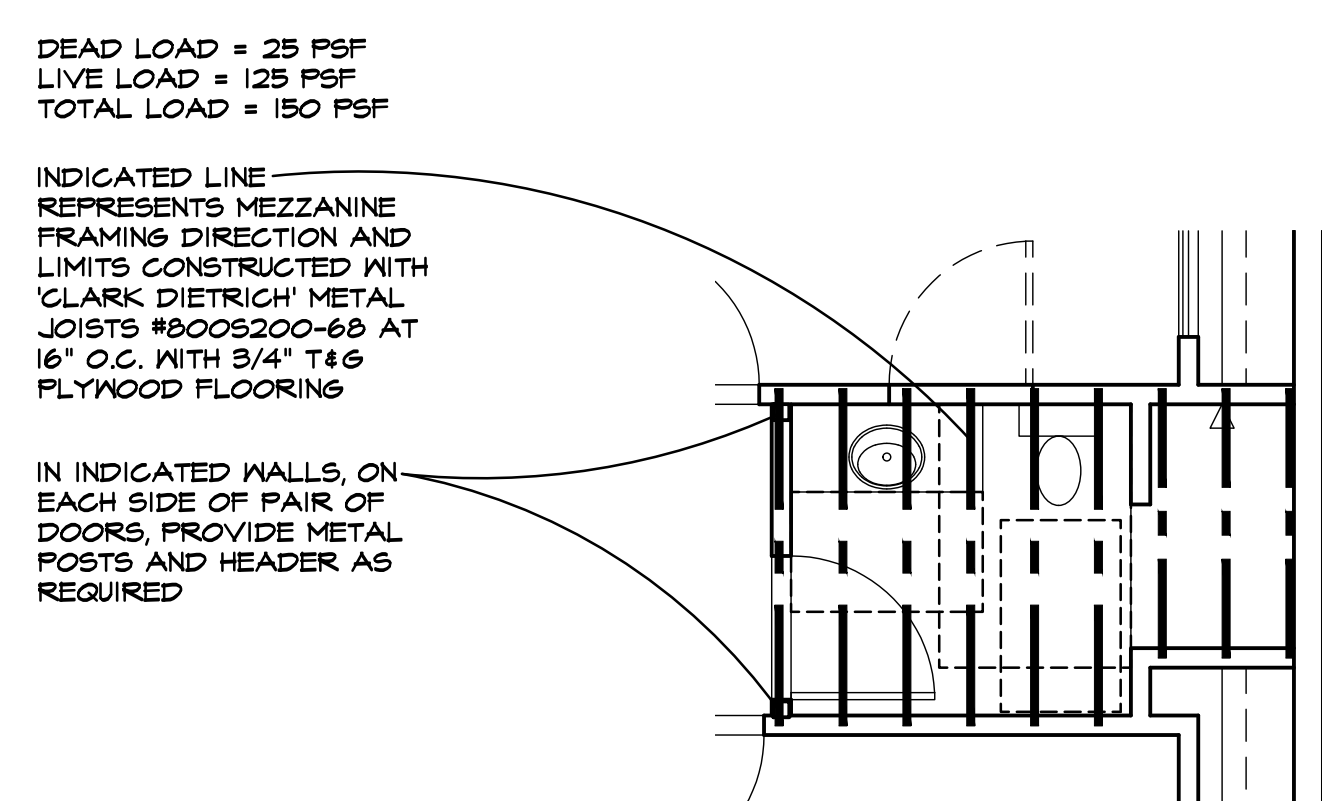
6 ENLARGED PLAN (UNIT 'D')
A103.1 1/4" = 1'-0"



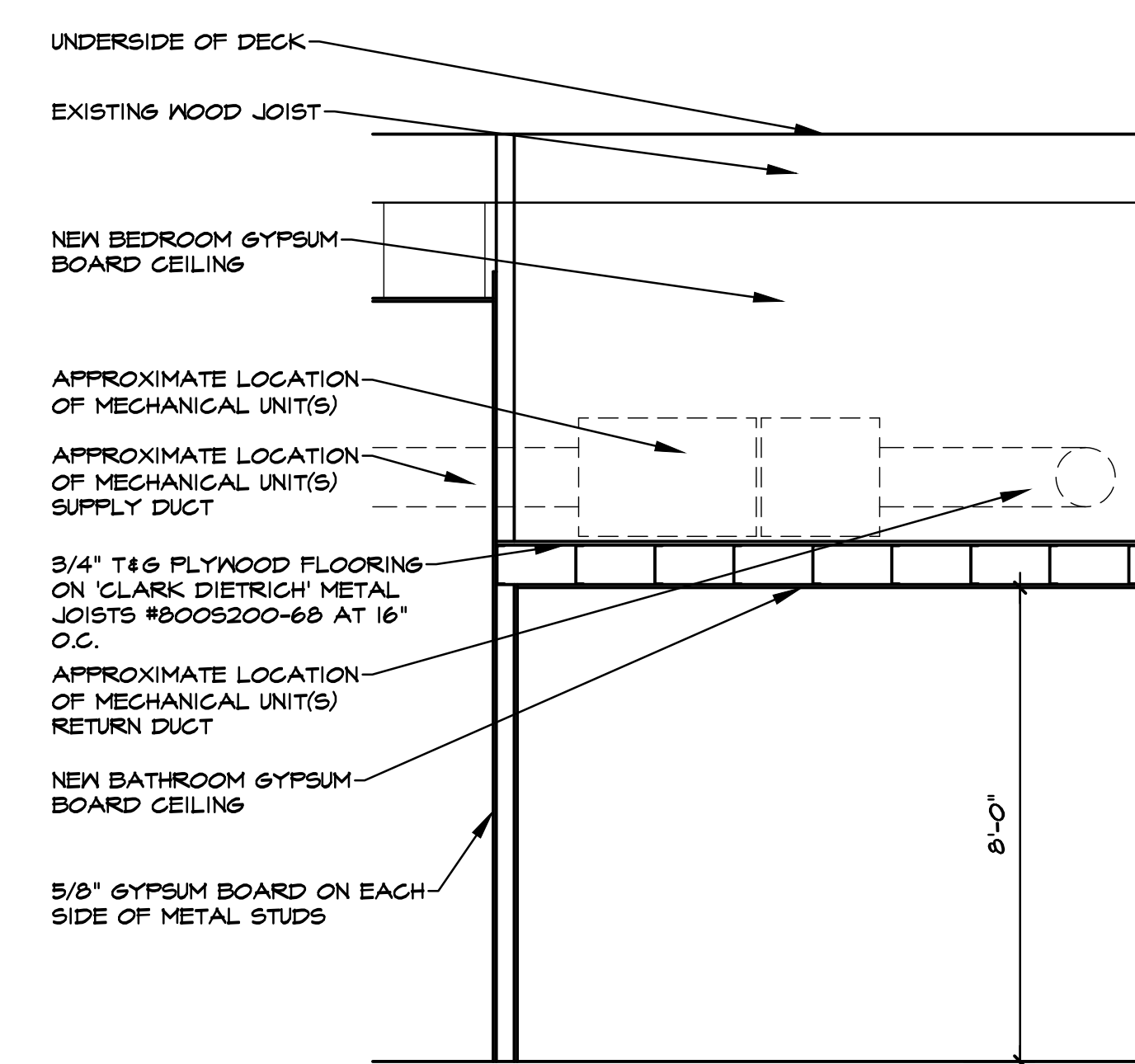
5 ENLARGED PLAN (UNIT 'C')
A103.1 1/4" = 1'-0"



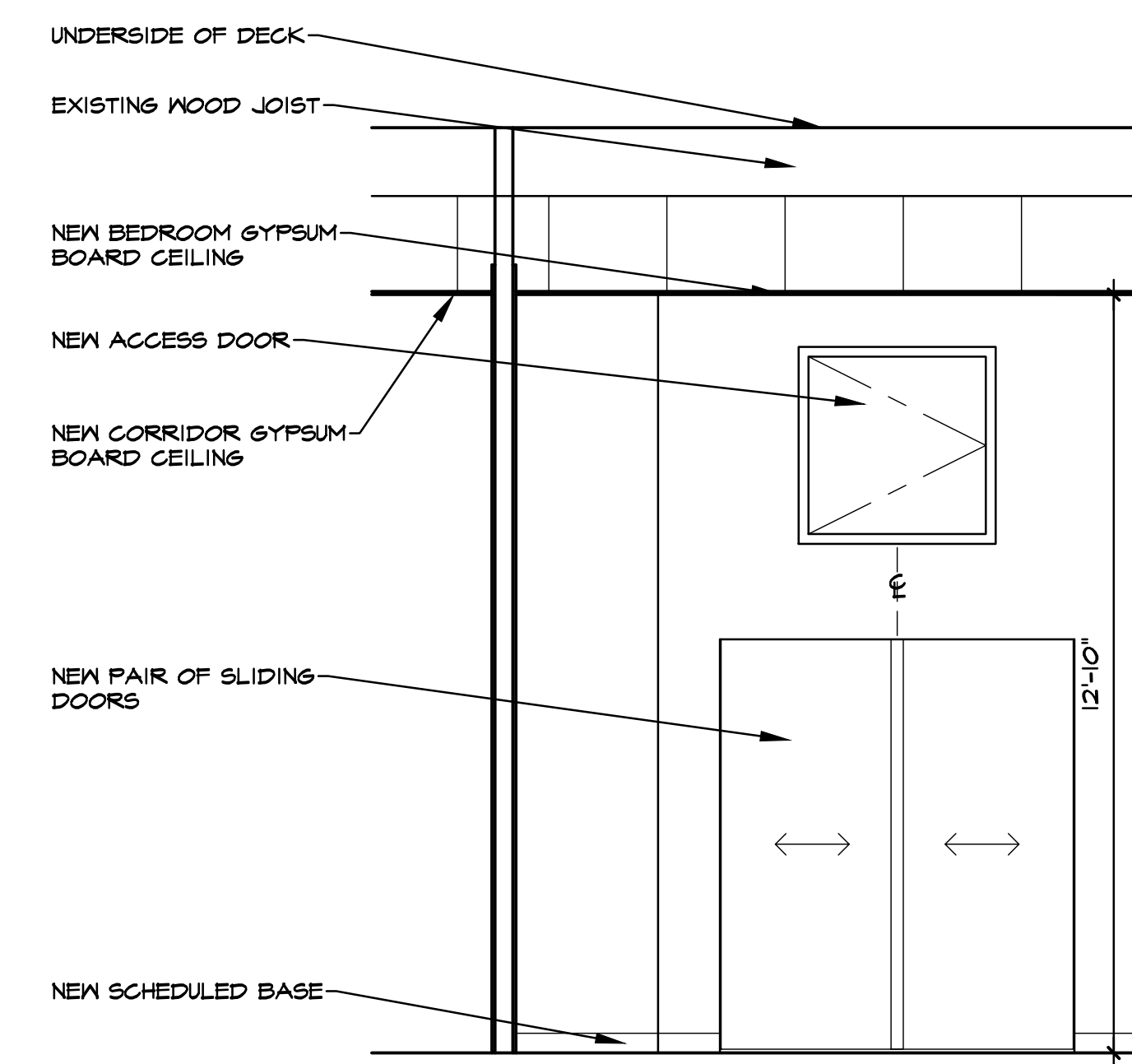
4 ENLARGED PLAN (UNIT 'B')
A103.1 1/4" = 1'-0"



3 ENLARGED PLAN (UNIT 'A')
A103.1 1/4" = 1'-0"

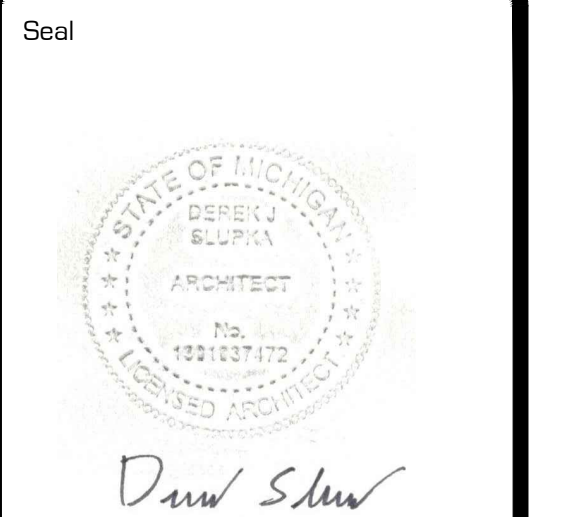


2 BATHROOM #127 - WEST VIEW
A103 3/8" = 1'-0"



1 BEDROOM #124 - WEST VIEW
A103 3/8" = 1'-0"

NOTE: CONTRACTOR SHALL PROVIDE STEEL STUD SHOP DRAWINGS FOR ALL MEZZANINE AREAS FOR ARCHITECT'S APPROVAL PRIOR TO ANY WORK BEING PERFORMED.



Project **PROJECT PEERLESS**

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
INTERIOR ELEVATIONS

Project Number
20-40-159

Drawn ALM

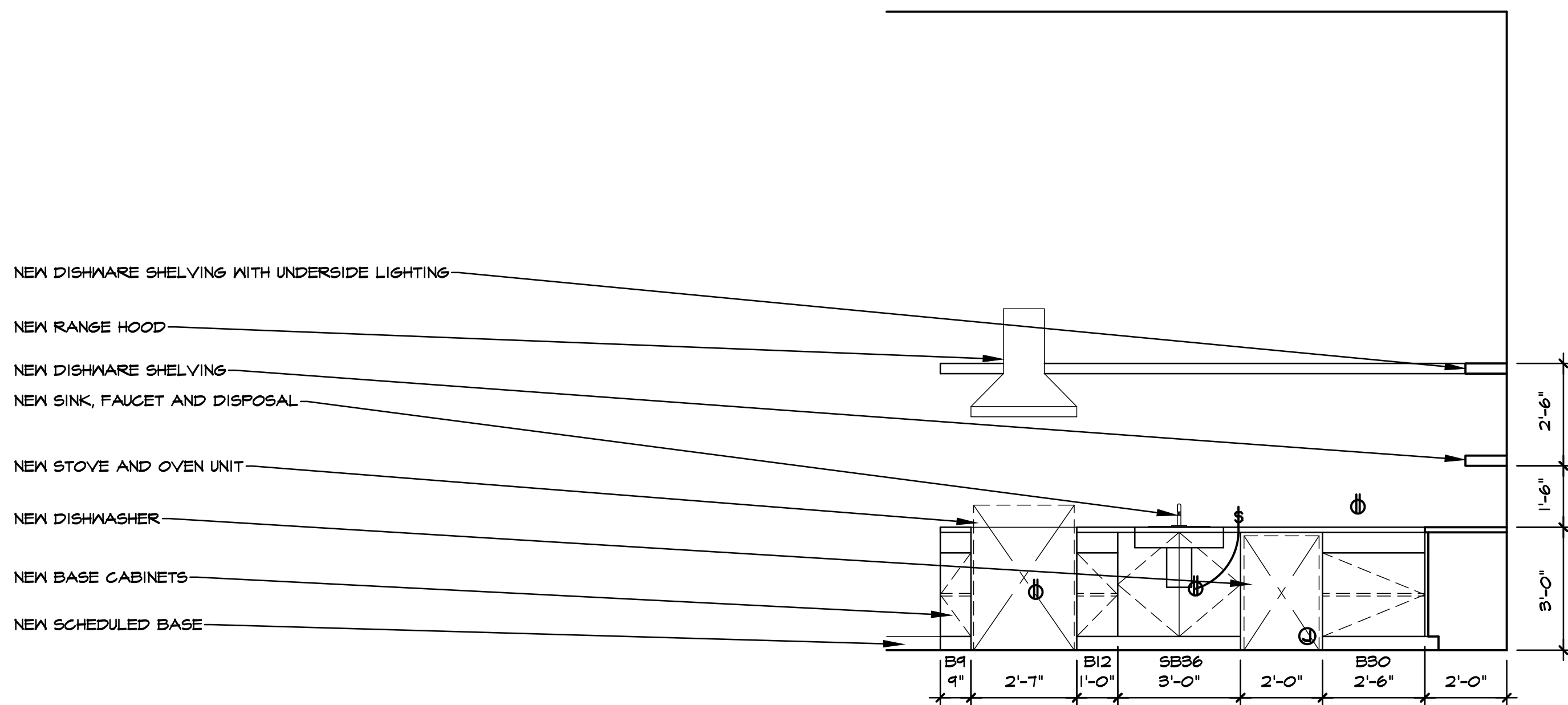
Checked DJS

Scale 3/8" = 1'-0"

Dwg. PEERLESS - CDS

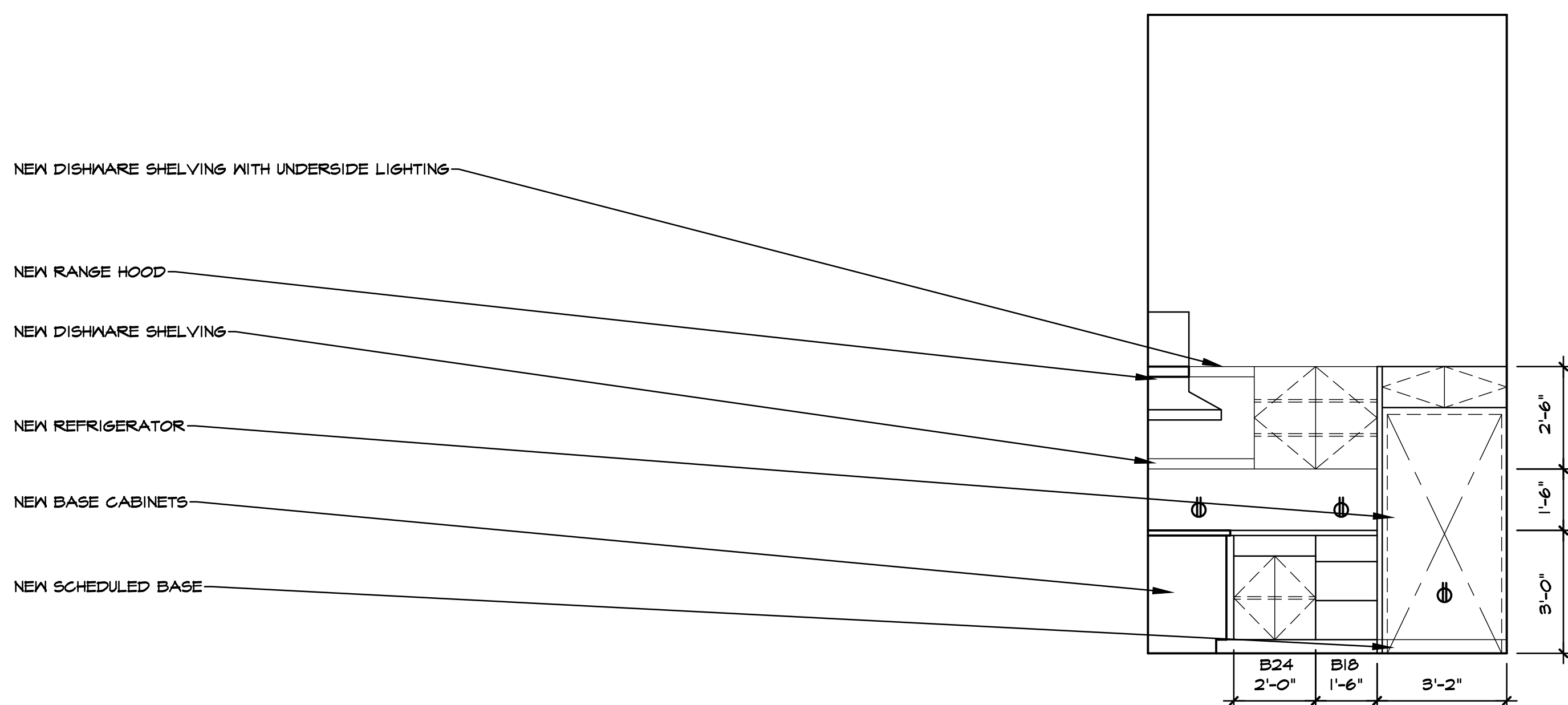
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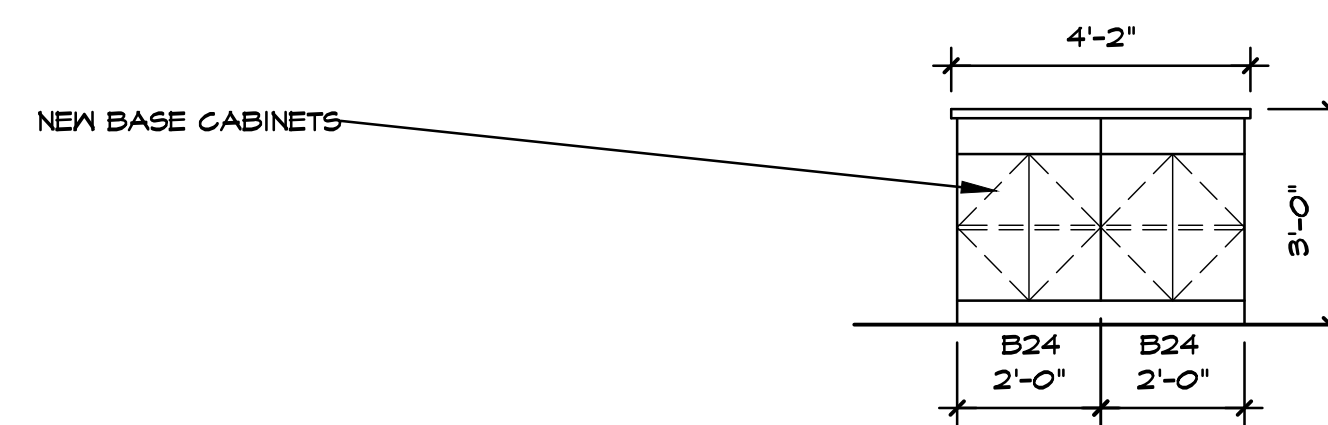
8 LIVING #140 - NORTH VIEW

A103 3/8" = 1'-0"



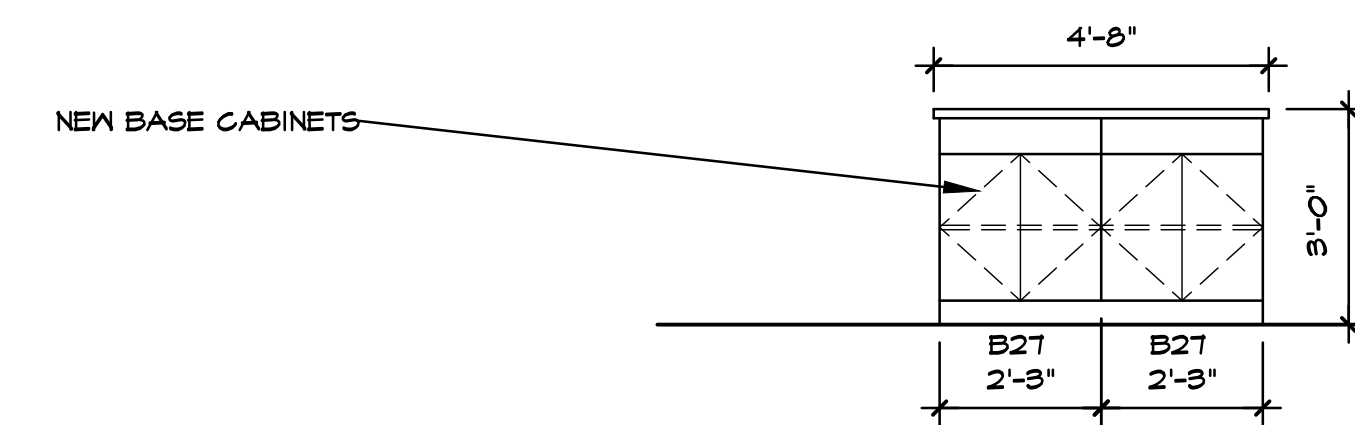
7 LIVING #140 - EAST VIEW

A103 3/8" = 1'-0"



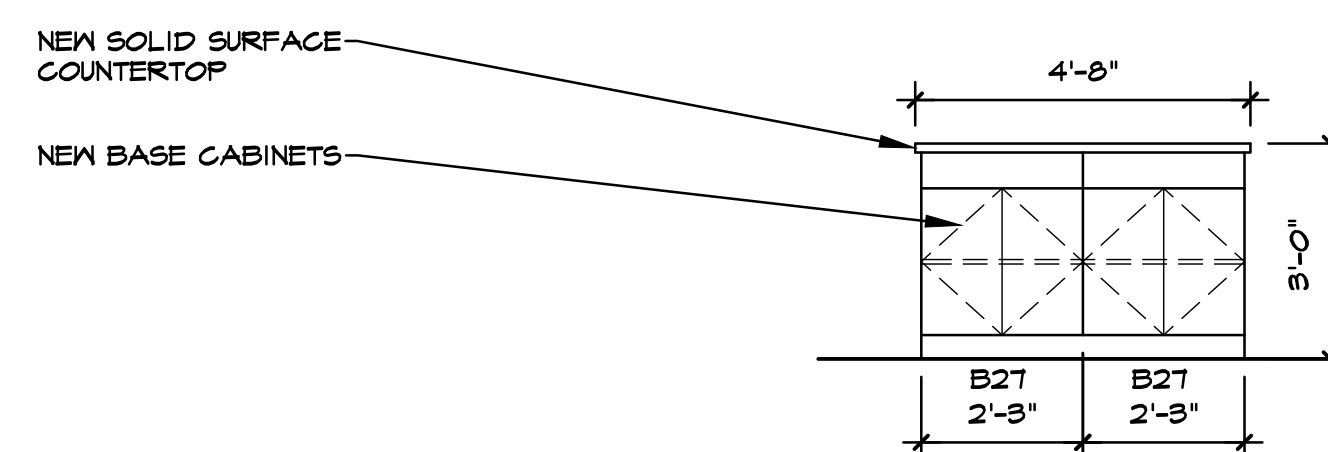
6 LIVING #140 - SOUTH VIEW

A103 3/8" = 1'-0"



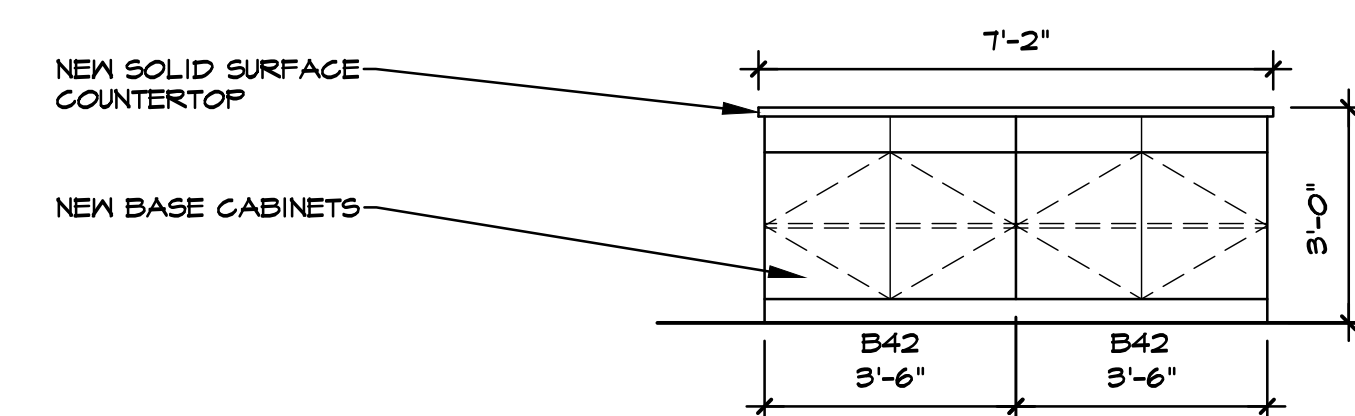
2 LIVING #108 - EAST VIEW

A103 3/8" = 1'-0"



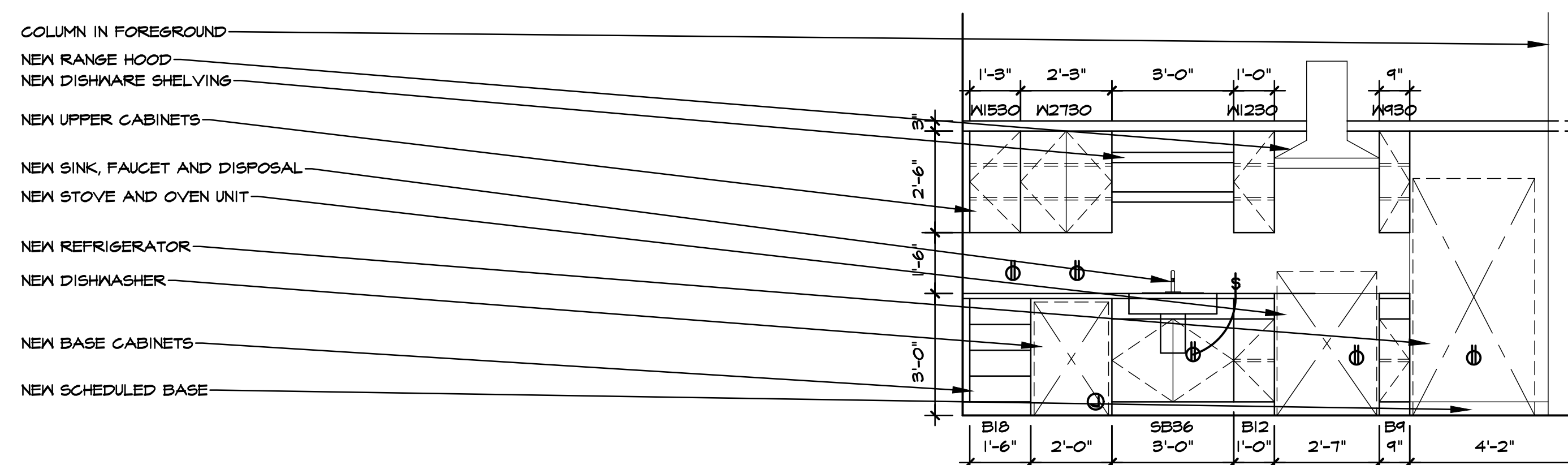
5 LIVING #22 & #30 - WEST VIEW

A103 3/8" = 1'-0"



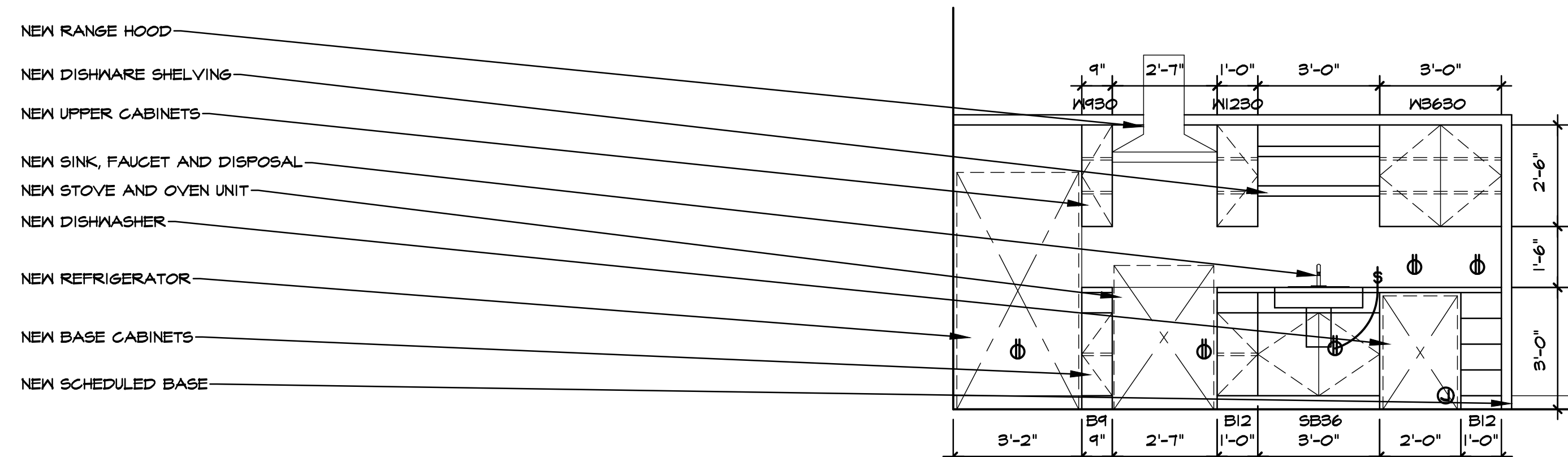
1 LIVING #101 - WEST VIEW

A103 3/8" = 1'-0"



4 LIVING #108 - WEST VIEW

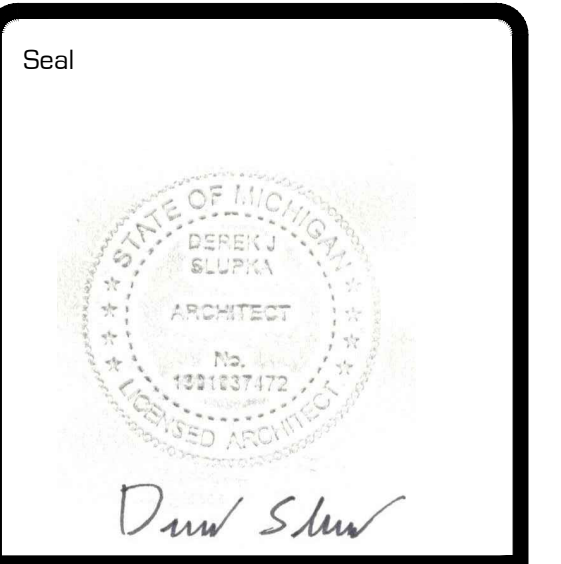
A103 3/8" = 1'-0"



3 LIVING #101 - EAST VIEW

A103 3/8" = 1'-0"

NOTE: ALL INTERIOR ELEVATIONS ON THIS SHEET ARE SHOWN FOR DIAGRAMMATIC REFERENCE ONLY. REFER TO LATEST MILLWORKER'S DRAWINGS FOR MOST CURRENT AND UPDATED MILLWORK LAYOUT, ELEVATIONS AND DESIGN REQUIREMENTS.



Project **PROJECT PEERLESS**
603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
INTERIOR ELEVATIONS

Project Number
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Drawn ALM
Checked DJS

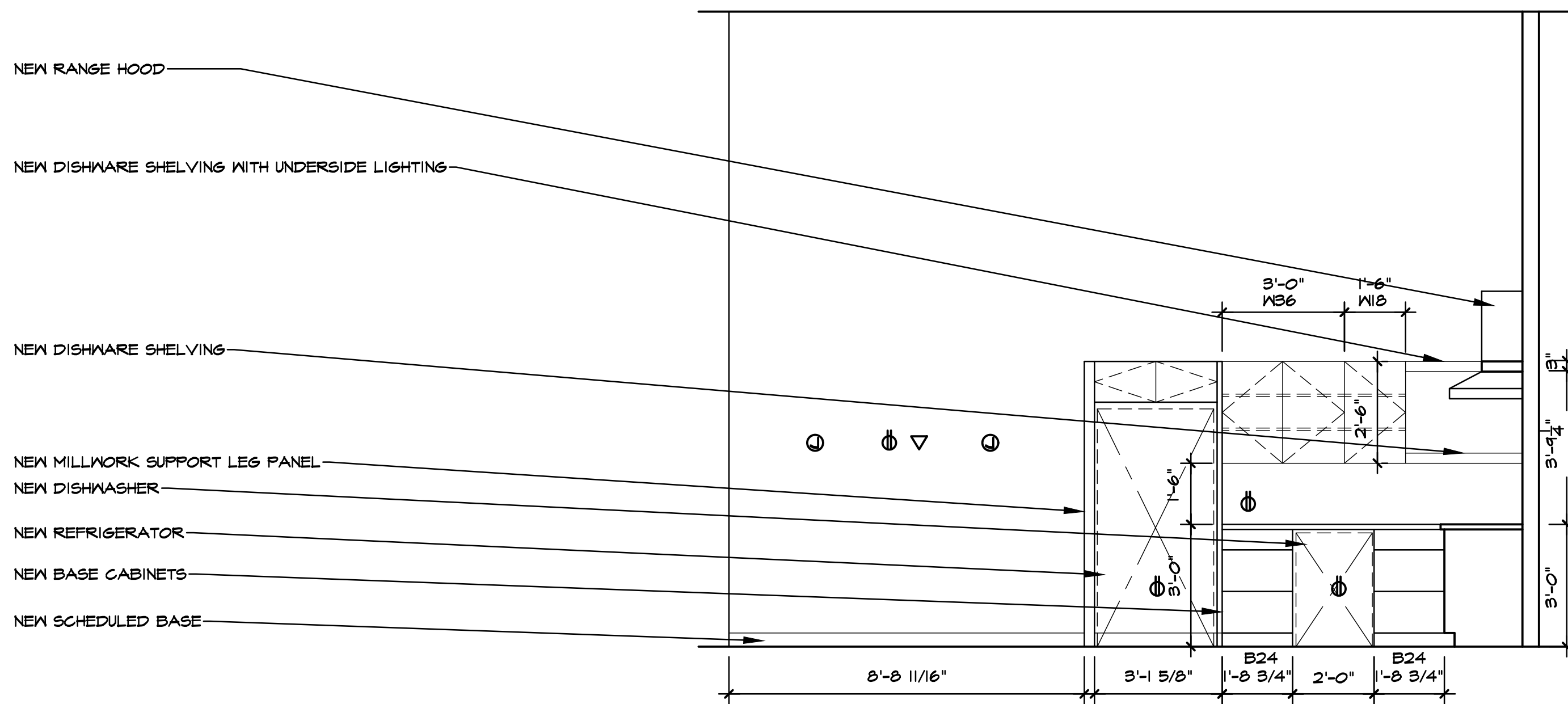
Scale 3/8" = 1'-0"

Dwg. PEERLESS - CDS

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DESIGN DEVELOPMT.	5-28-21	DJS
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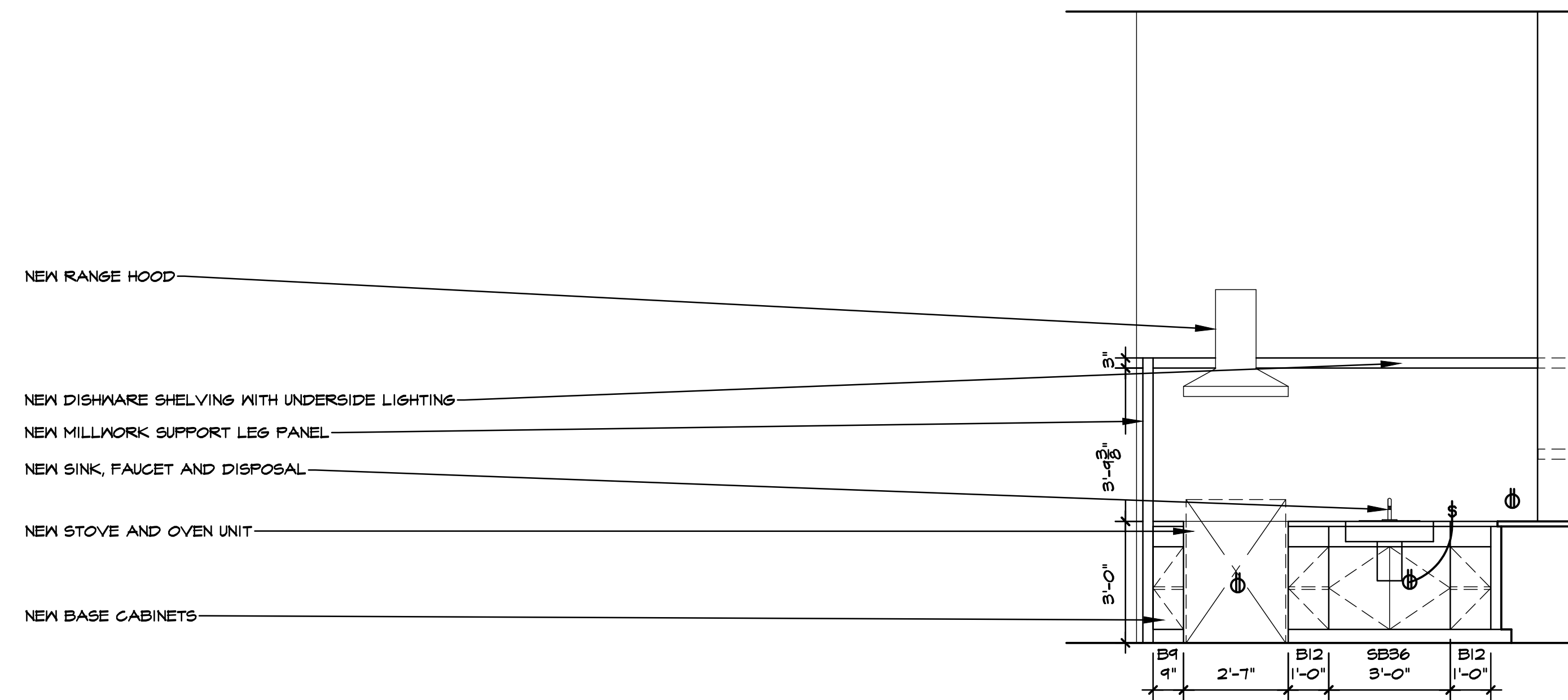
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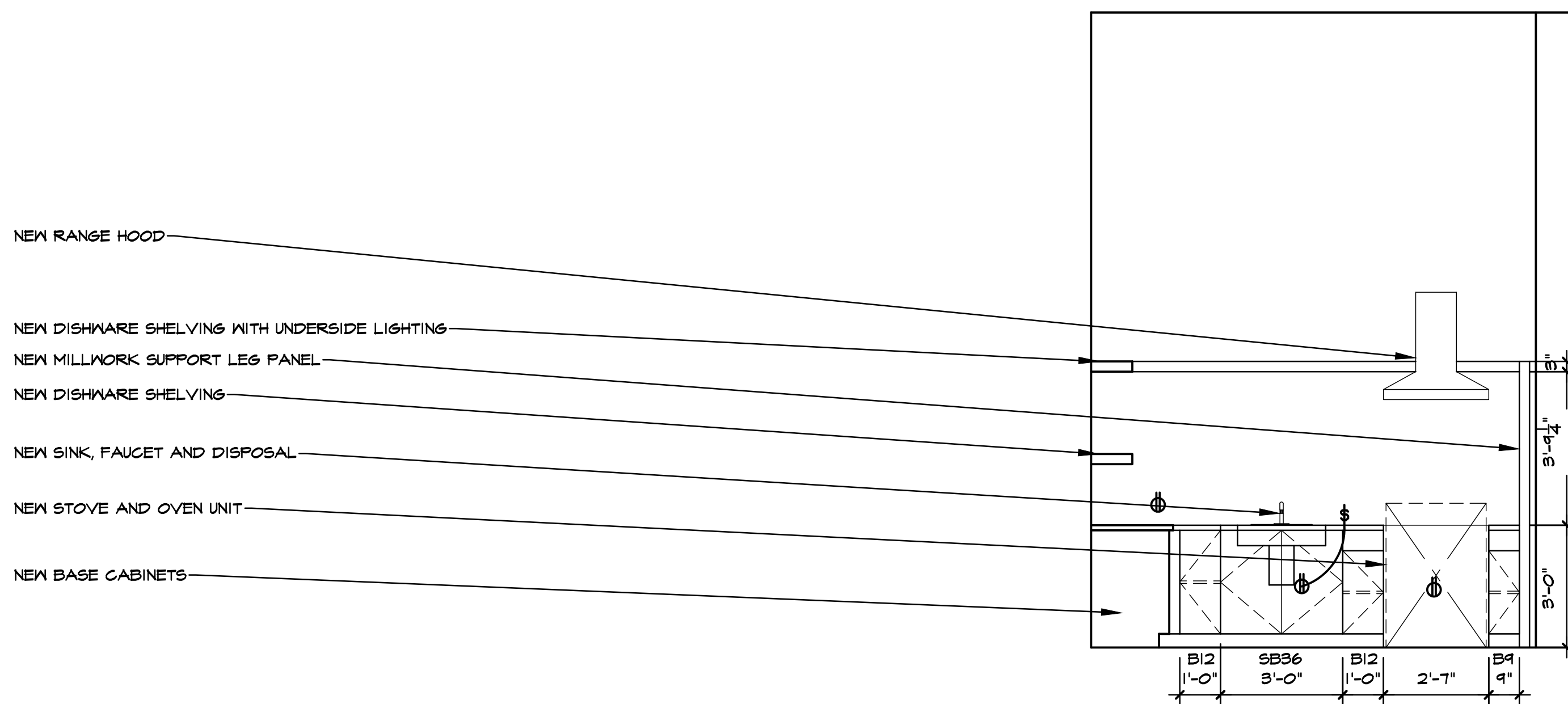
4 LIVING #130 - NORTH VIEW

A103 3/8" = 1'-0"



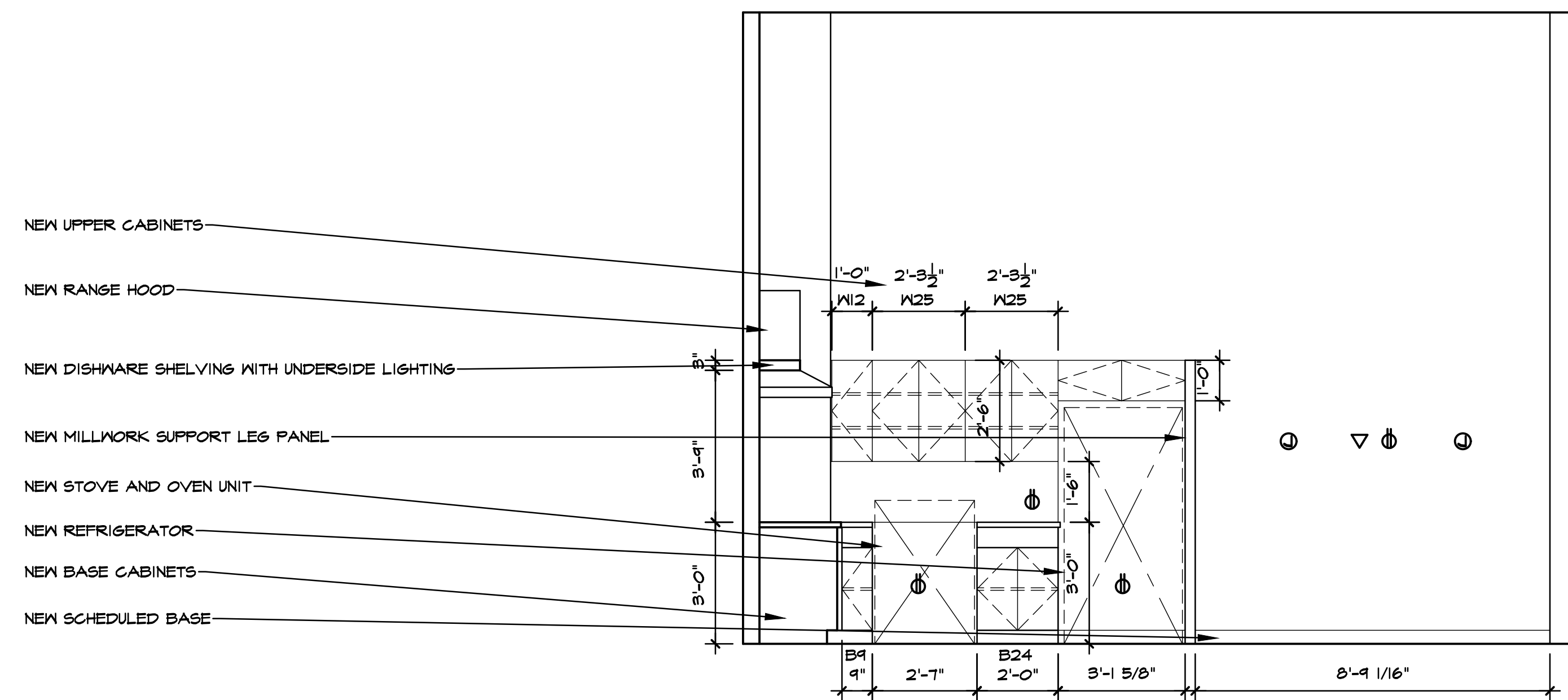
2 LIVING #122 - EAST VIEW

A103 3/8" = 1'-0"



3 LIVING #130 - EAST VIEW

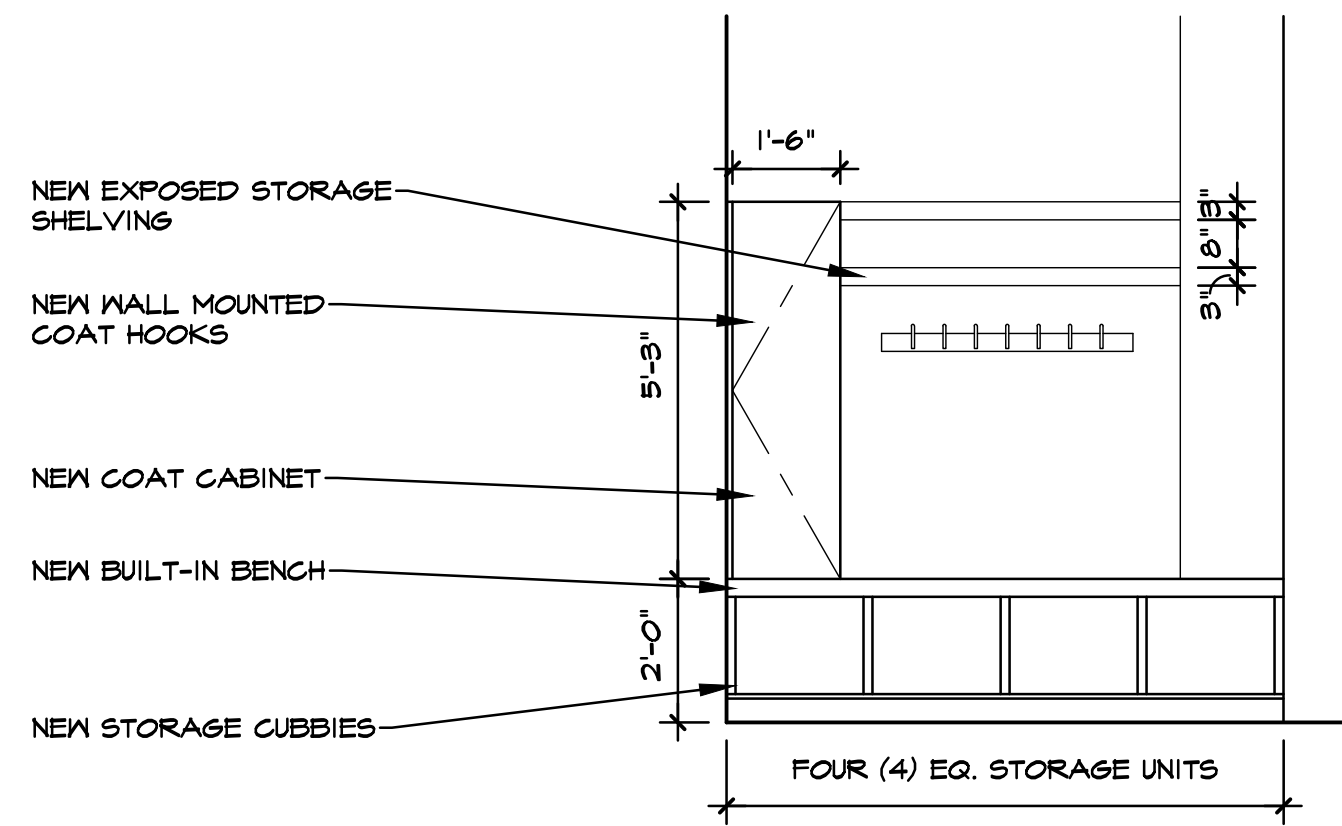
A103 3/8" = 1'-0"



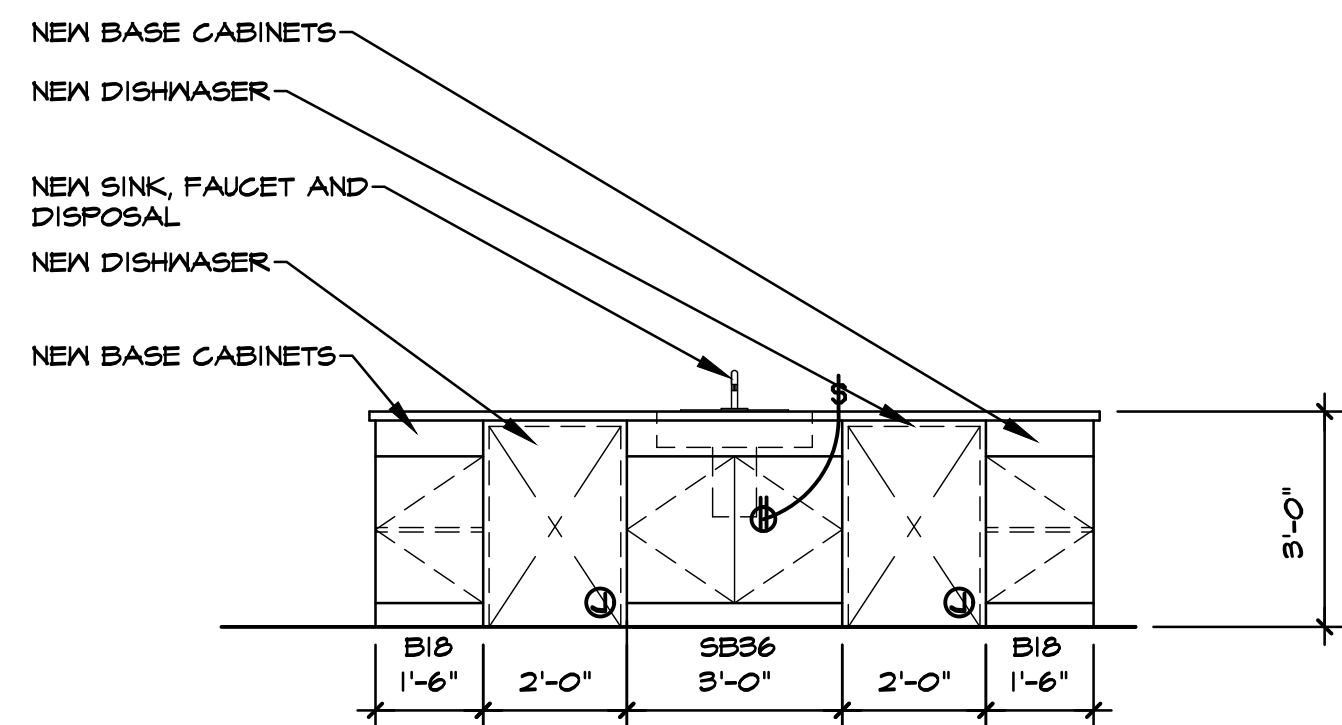
1 LIVING #122 - SOUTH VIEW

A103 3/8" = 1'-0"

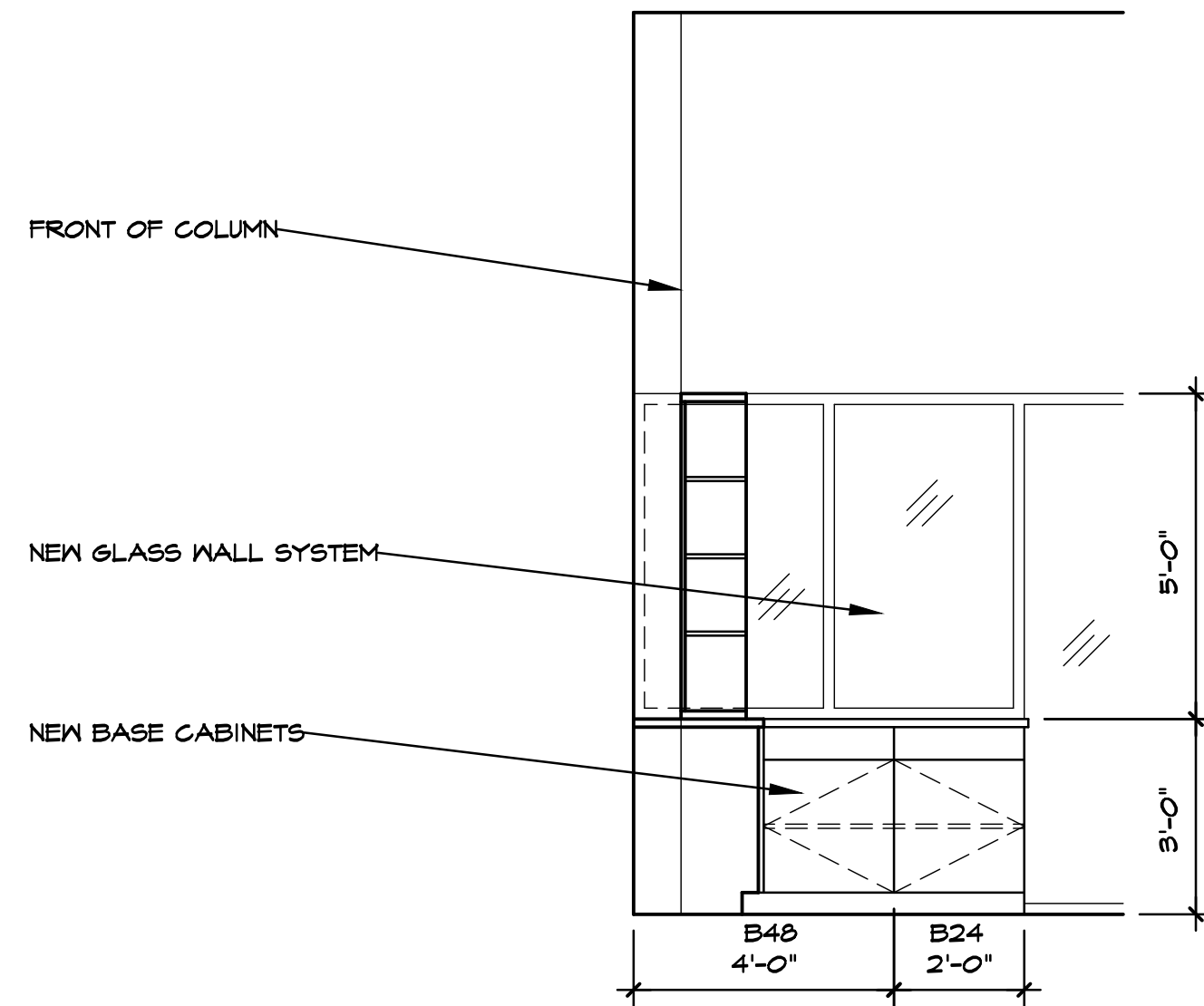
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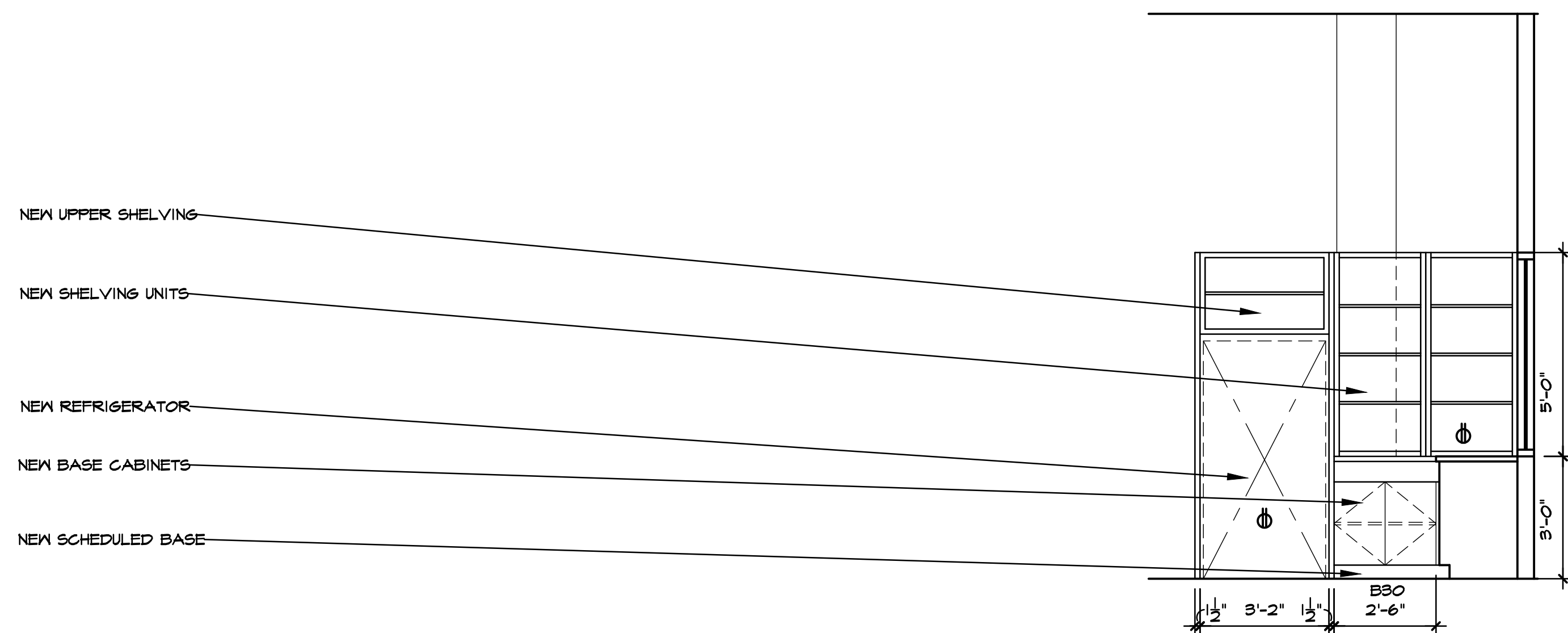
8 MUD ROOM #206 - EAST VIEW
A104 3/8" = 1'-0"



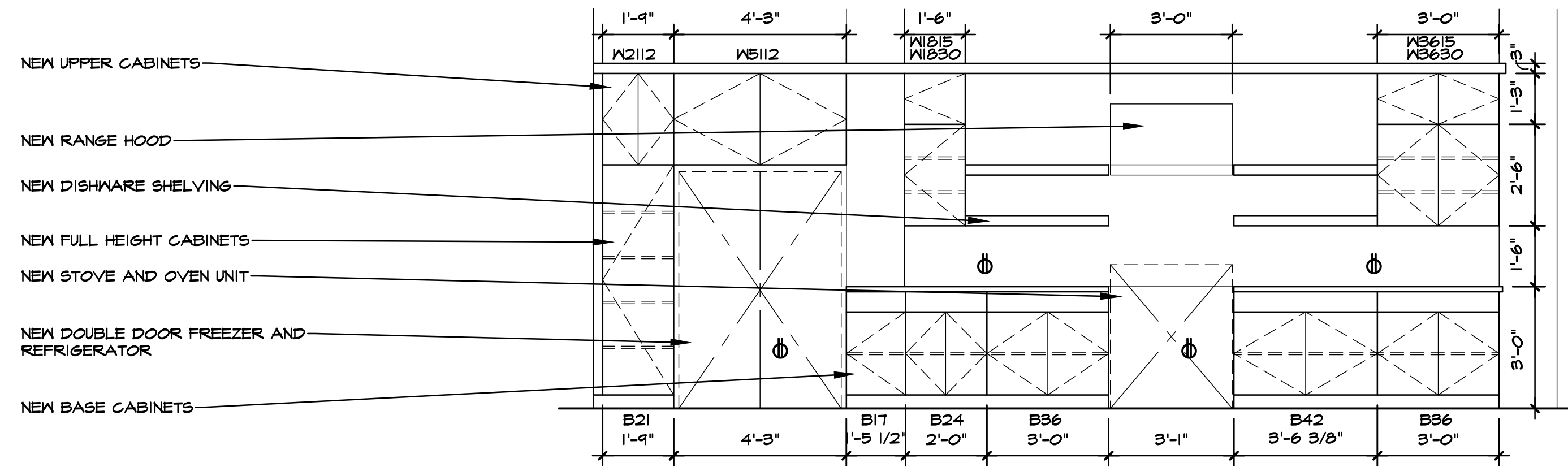
7 KITCHEN #208 - WEST VIEW
A104 3/8" = 1'-0"



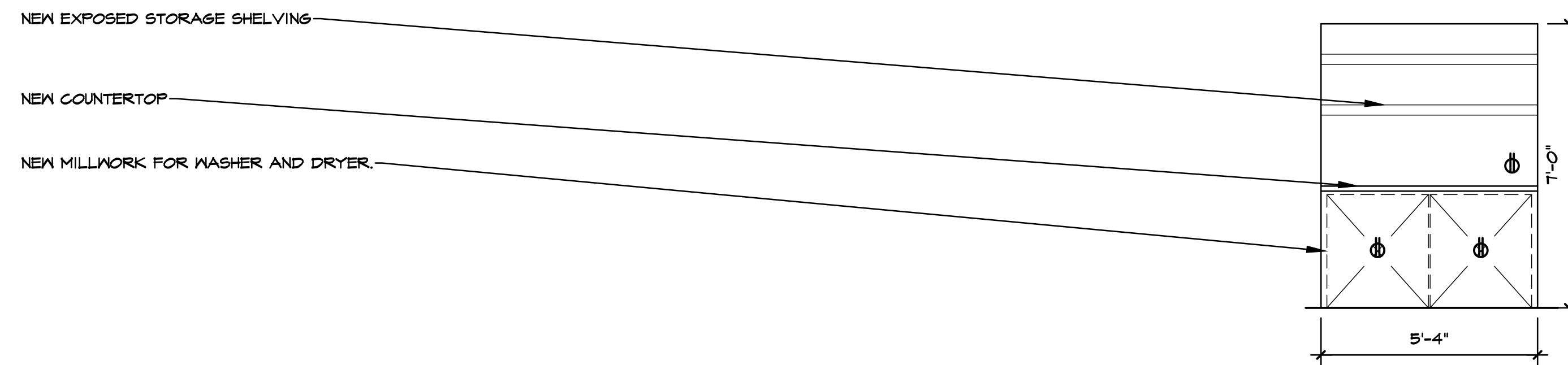
6 BUTLER'S PANTRY #203 - SOUTH VIEW
A104 3/8" = 1'-0"



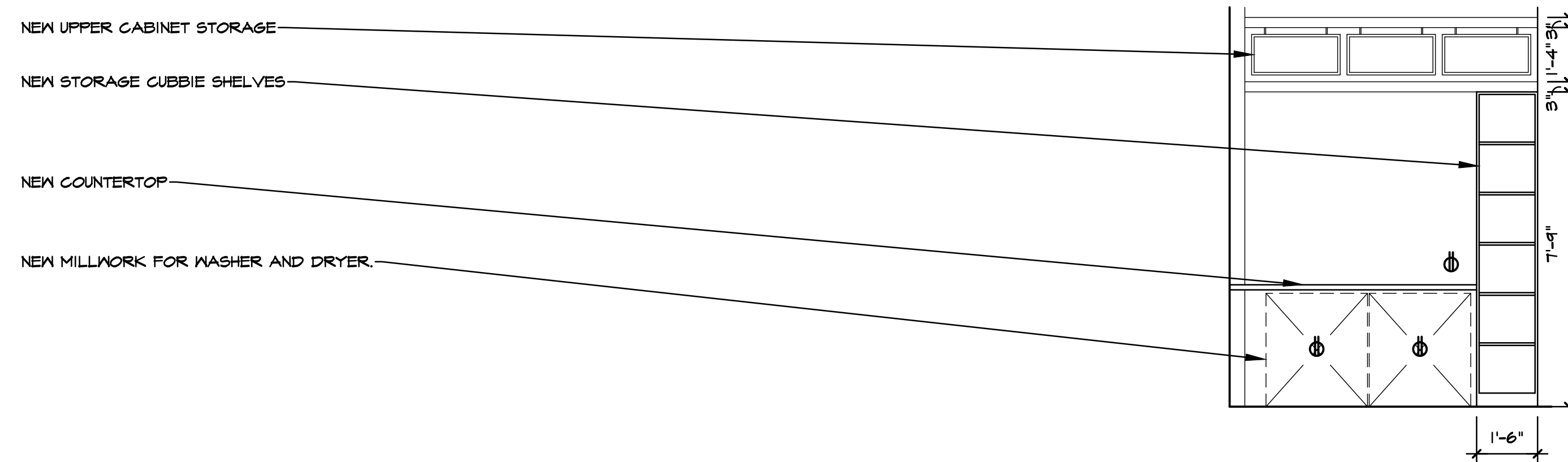
5 BUTLER'S PANTRY #203 - EAST VIEW
A104 3/8" = 1'-0"



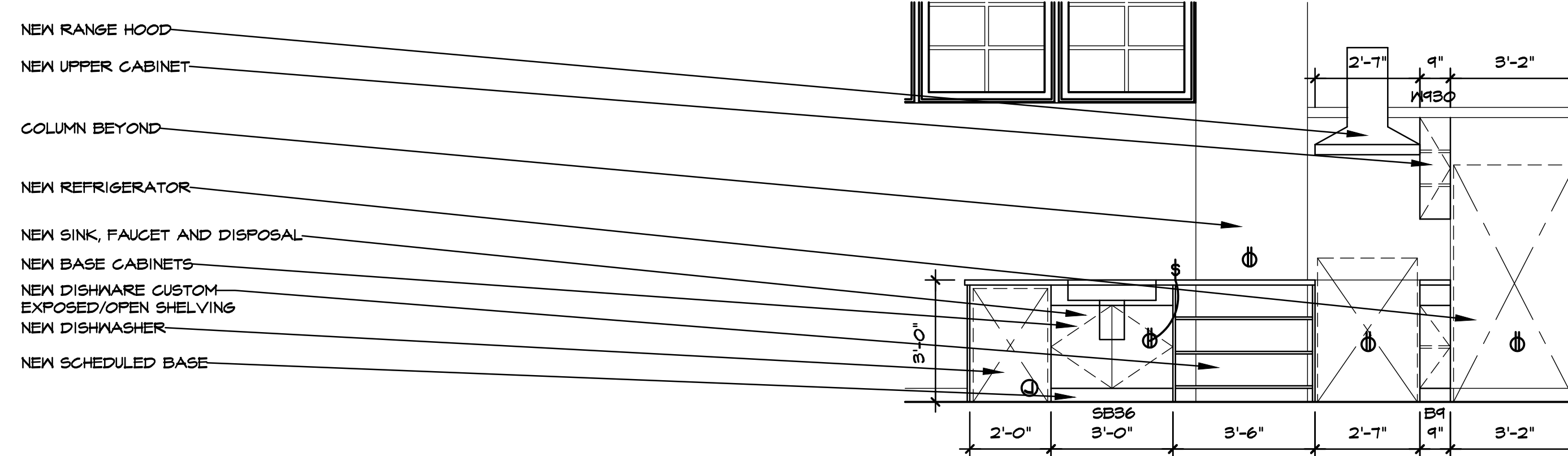
4 KITCHEN #204 - EAST VIEW
A104 3/8" = 1'-0"



3 CORR. #115, 123 AND 131 - (WASHER/DRYER UNITS)
A103 3/8" = 1'-0"



2 LIVING #101 & #108 (WASHER/DRYER UNITS) - NORTH VIEW
A103 3/8" = 1'-0"

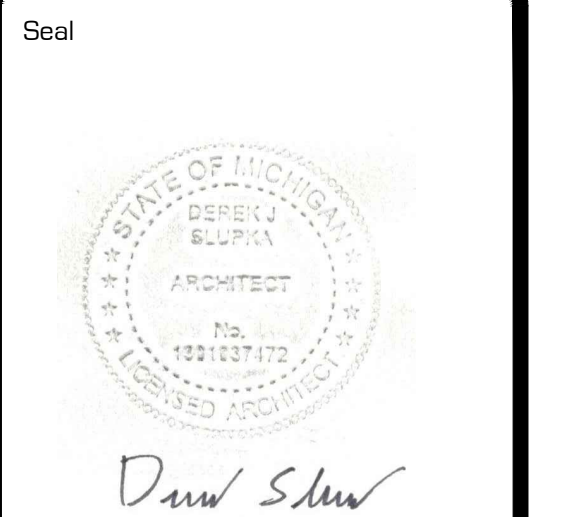


1 LIVING #149 - NORTH VIEW
A103 3/8" = 1'-0"

NOTE: ALL INTERIOR ELEVATIONS ON THIS SHEET ARE SHOWN FOR DIAGRAMMATIC REFERENCE ONLY. REFER TO LATEST MILLWORKER'S DRAWINGS FOR MOST CURRENT AND UPDATED MILLWORK LAYOUT, ELEVATIONS AND DESIGN REQUIREMENTS.



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Project **PROJECT PEERLESS**

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
INTERIOR ELEVATIONS

Project Number
20-40-159

Drawn ALM

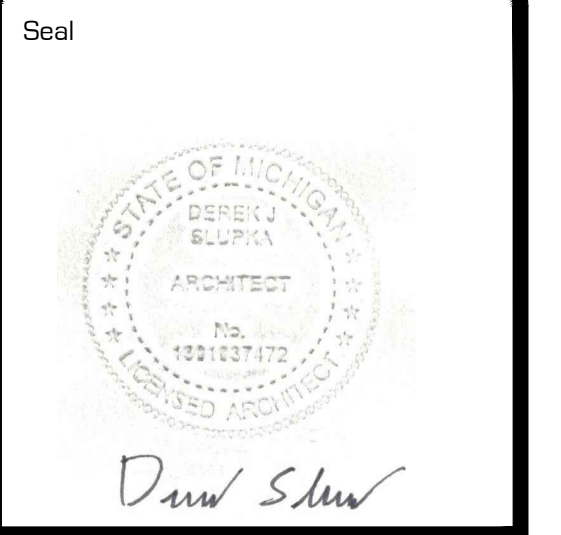
Checked DJS

Scale 3/8" = 1'-0"

Dwg. PEERLESS - CDS

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DESIGN DEVELOPMT.	5-28-21	DJS
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Derek Sauer

Project
PROJECT PEERLESS

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
INTERIOR ELEVATIONS

Project Number
20-40-159

Drawn ALM

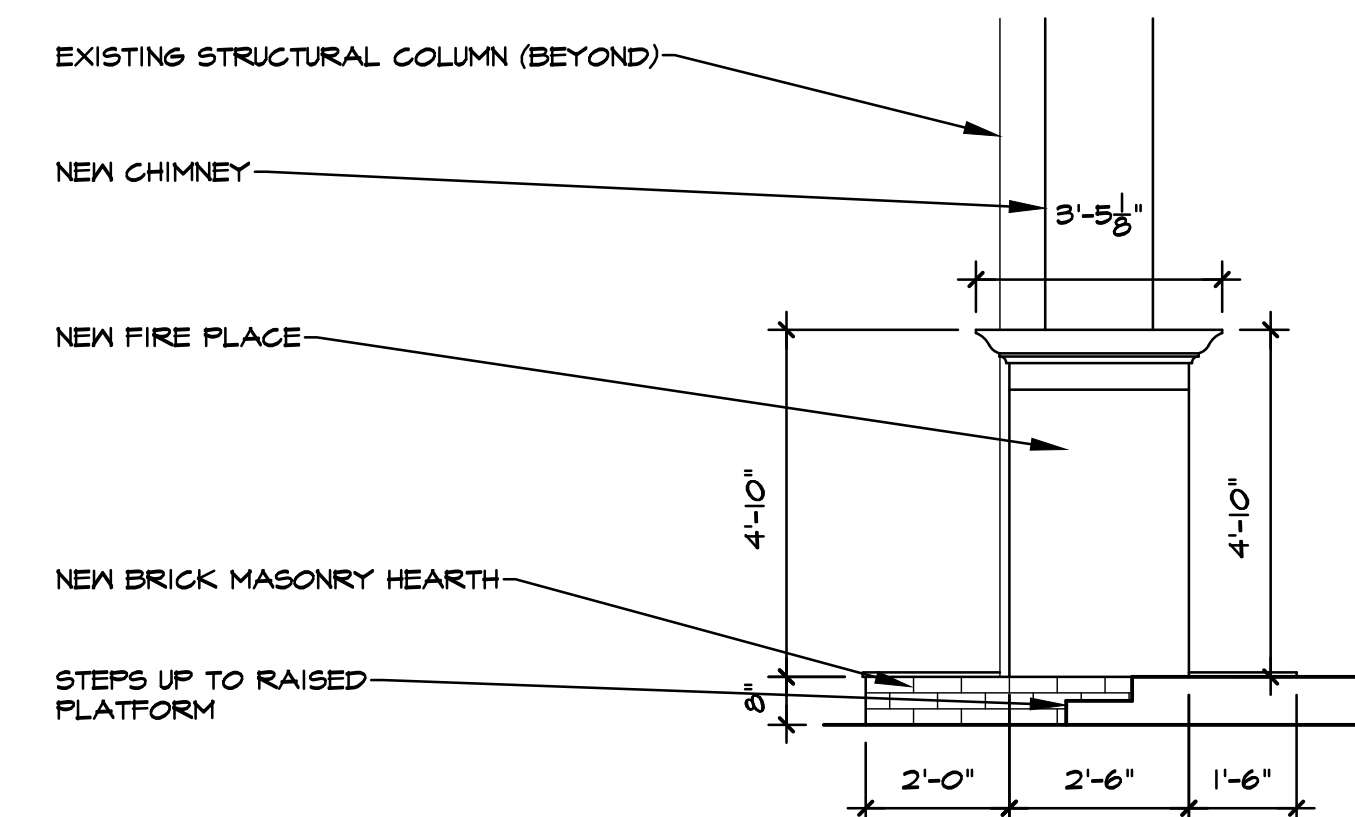
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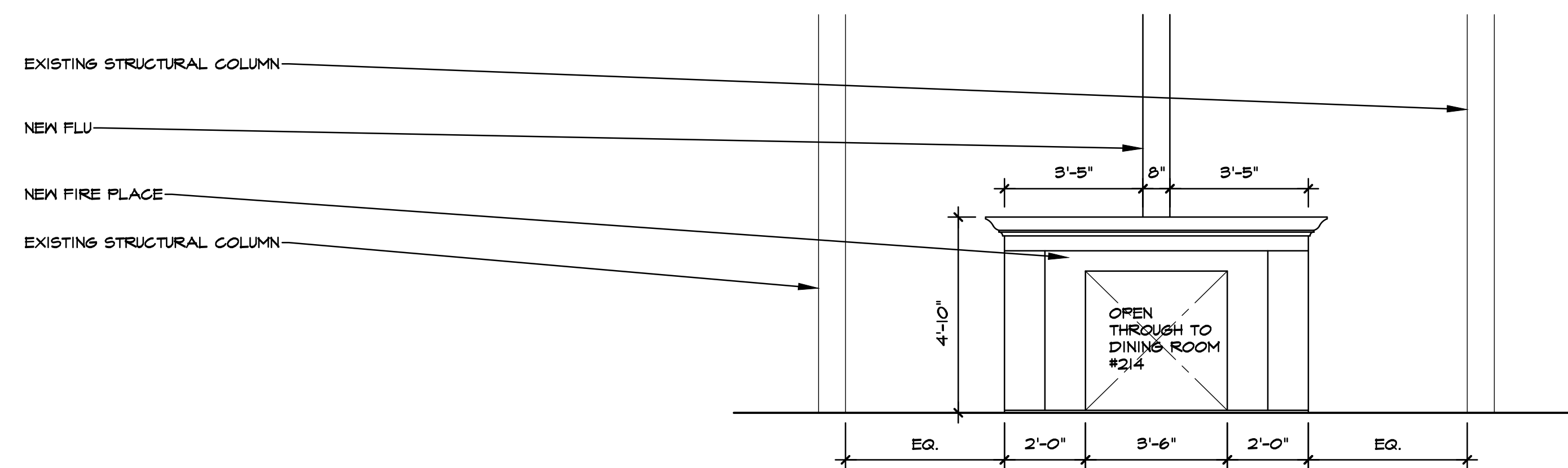
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DESIGN DEVELOPMT.	5-28-21	DJS
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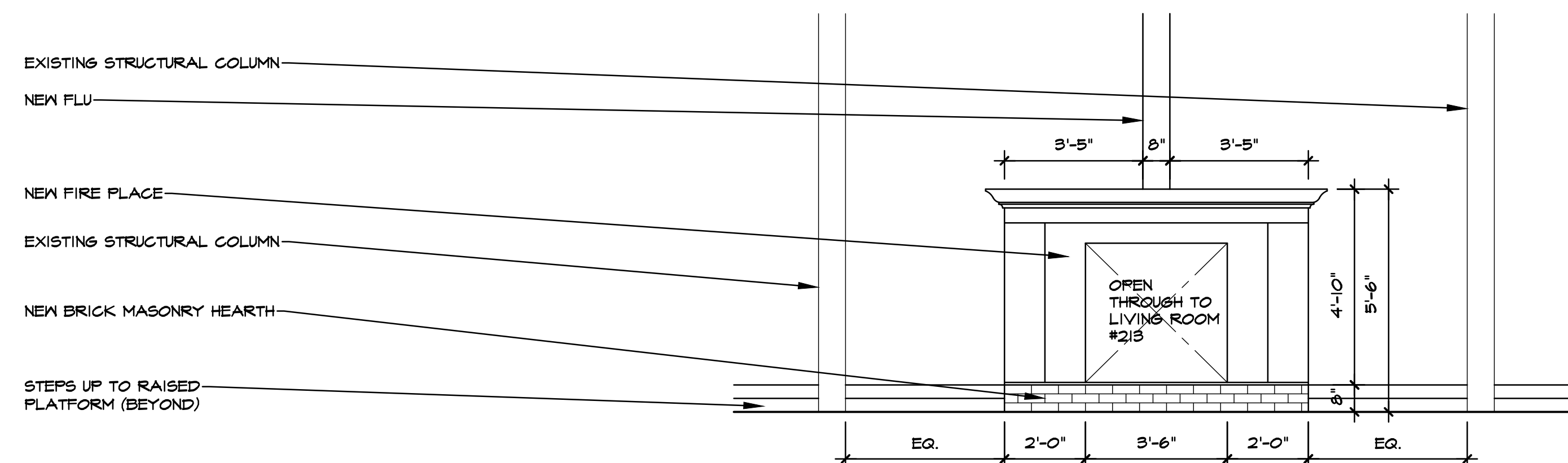
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3 DINING ROOM #214/LIVING ROOM #213 - SOUTH VIEW
A104 3/8" = 1'-0"

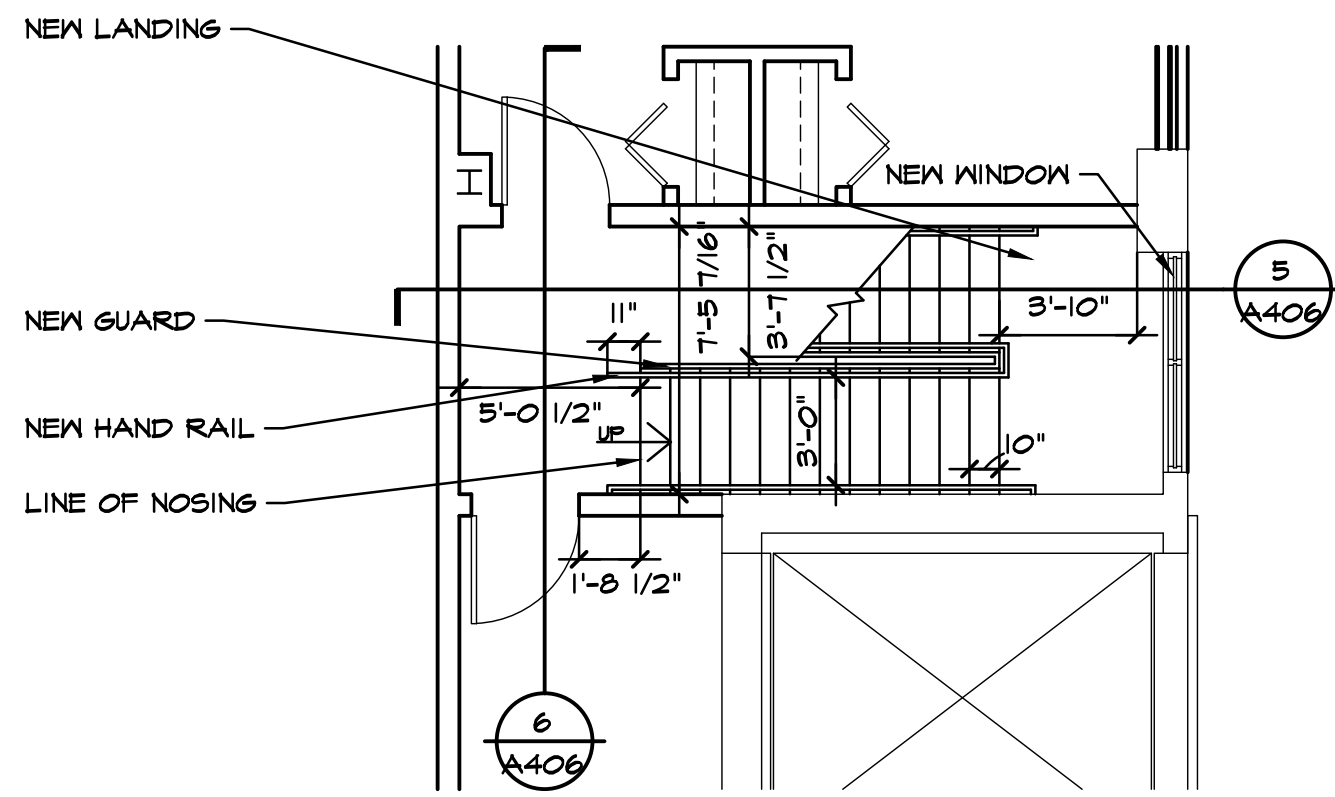


2 LIVING ROOM #213 - EAST VIEW
A104 3/8" = 1'-0"

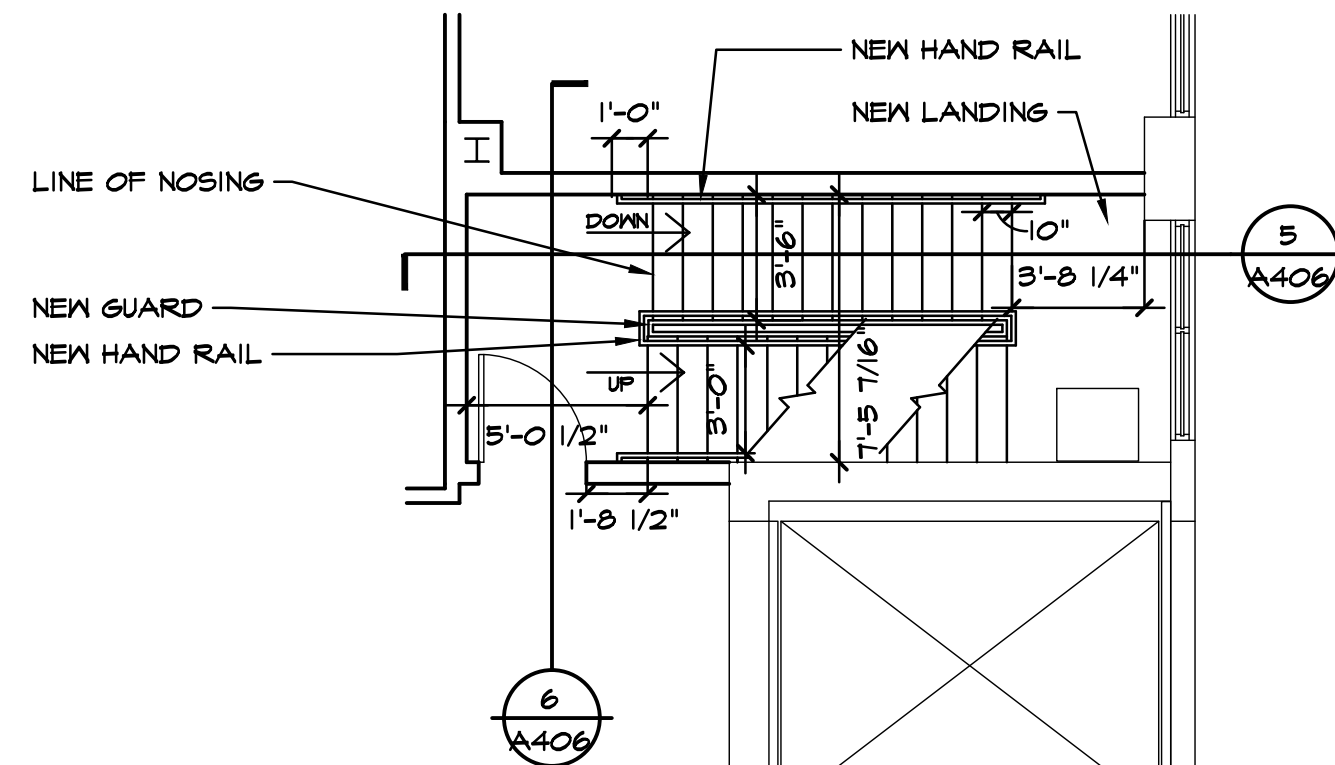


1 DINING ROOM #214 - WEST VIEW
A104 3/8" = 1'-0"

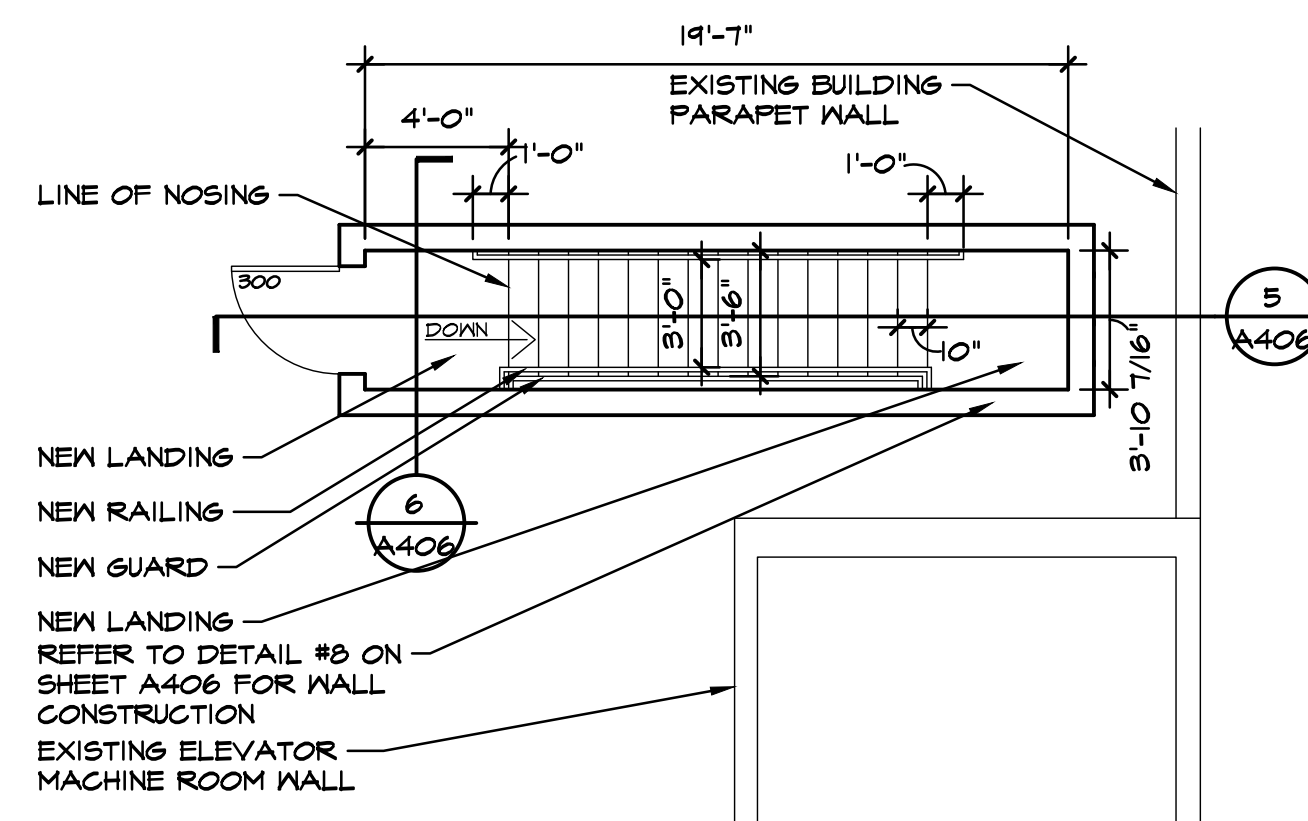
NOTE: ALL INTERIOR ELEVATIONS ON THIS SHEET ARE SHOWN FOR DIAGRAMMATIC REFERENCE ONLY. REFER TO LATEST MILLWORKER'S DRAWINGS FOR MOST CURRENT AND UPDATED MILLWORK LAYOUT, ELEVATIONS AND DESIGN REQUIREMENTS.



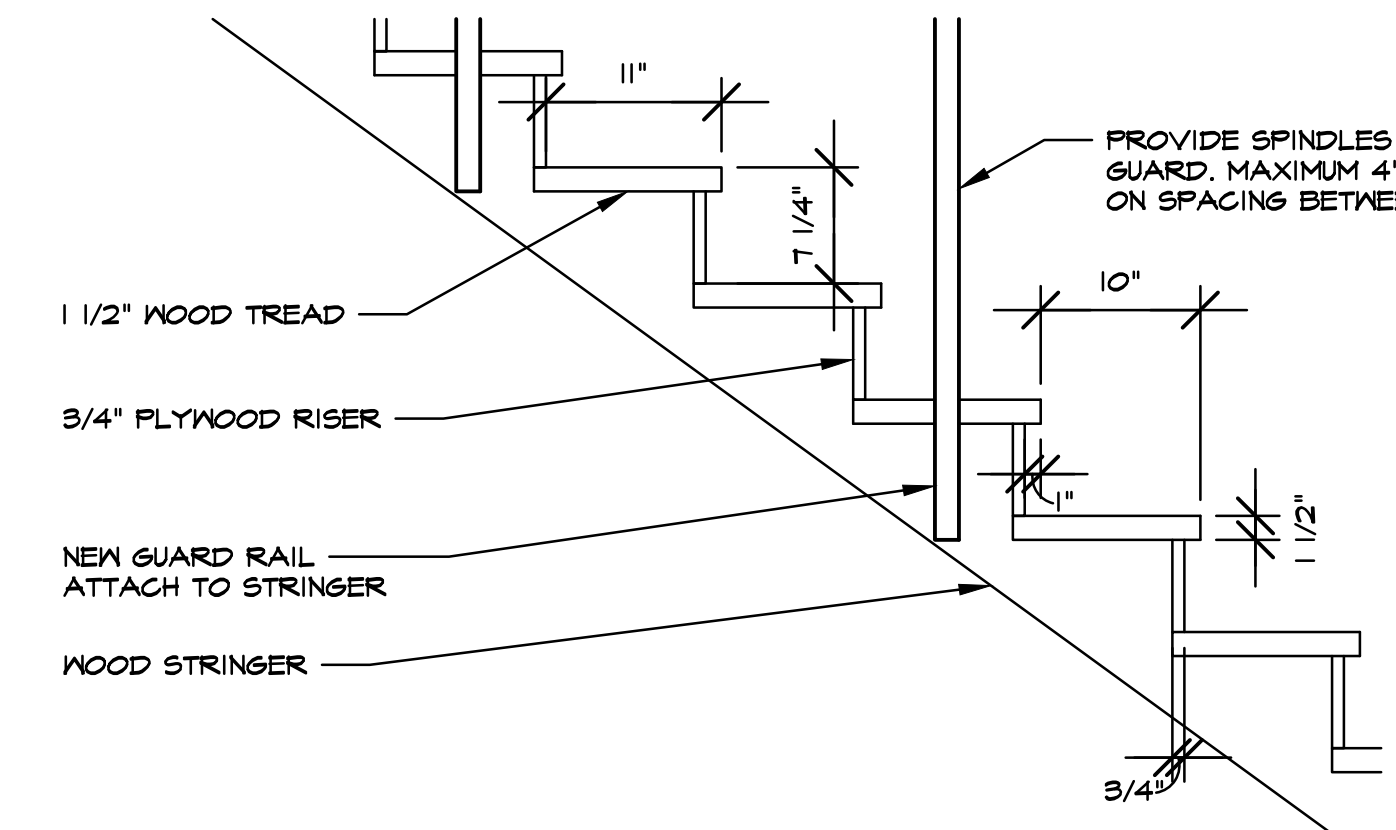
1 STAIRS #150 PLAN 1ST FLOOR
A103 3/16" = 1'-0"



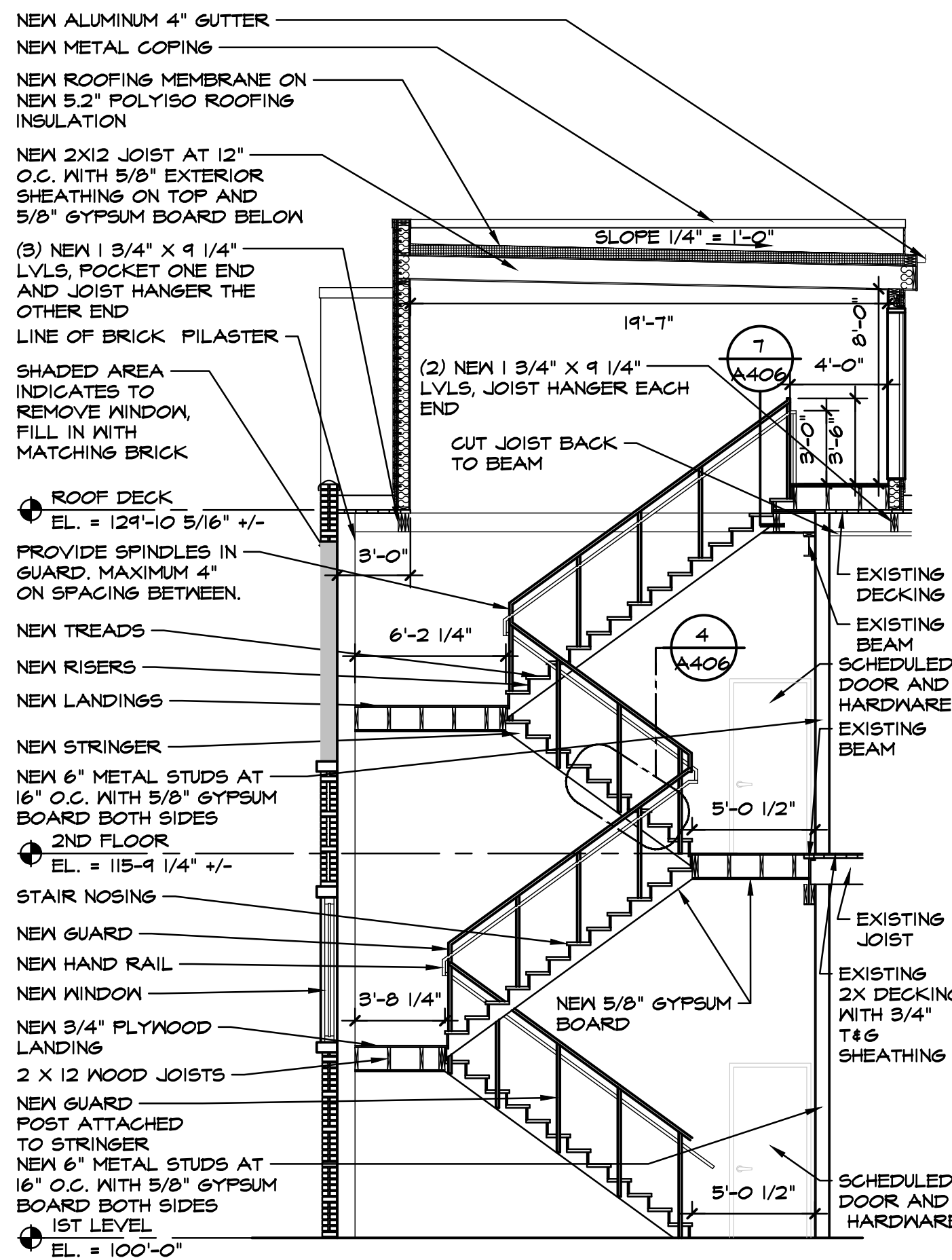
2 STAIRS #150 PLAN 2ND FLOOR
A104 3/16" = 1'-0"



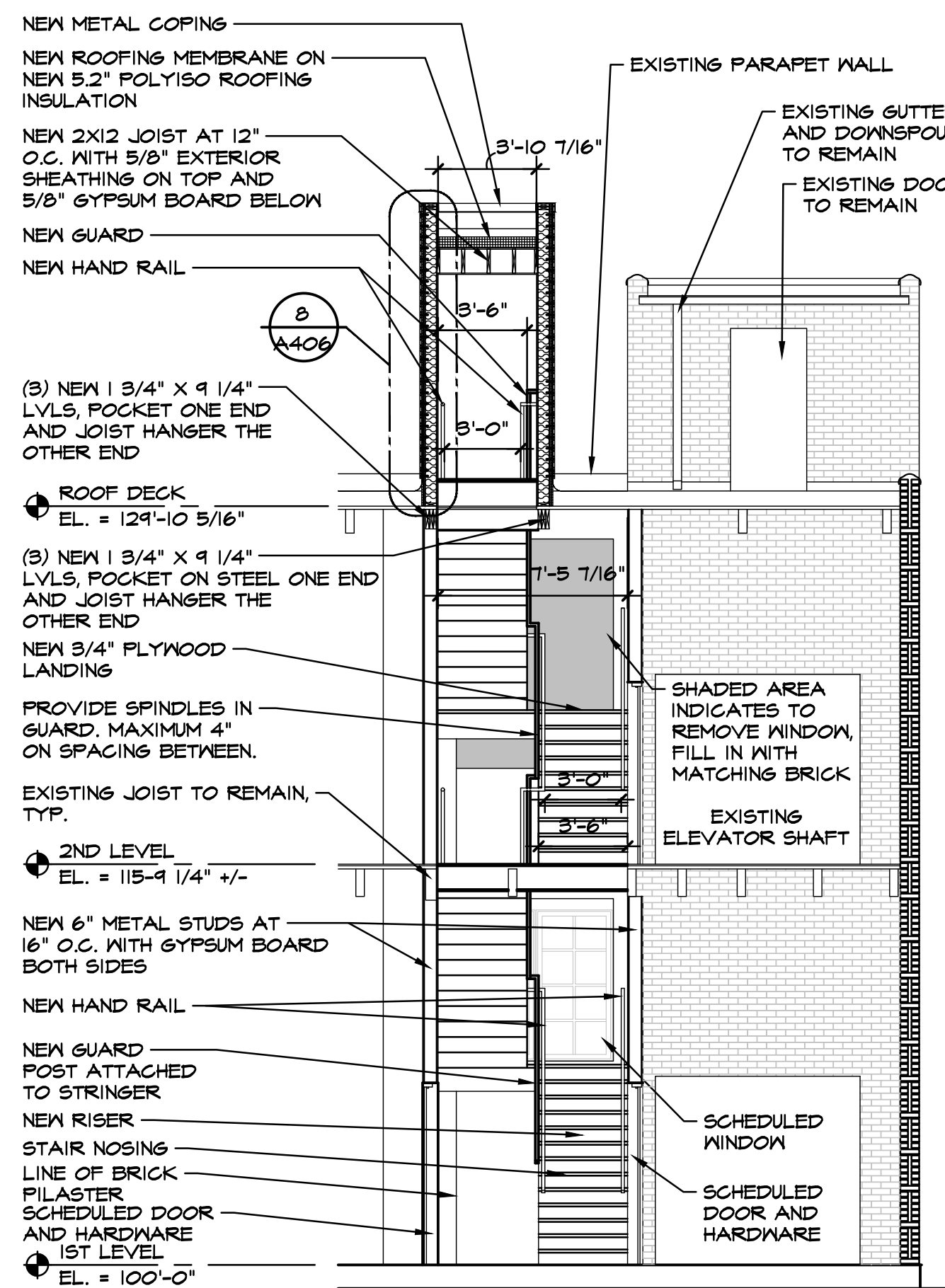
3 STAIRS #150 PLAN ROOF LEVEL
A104 3/16" = 1'-0"



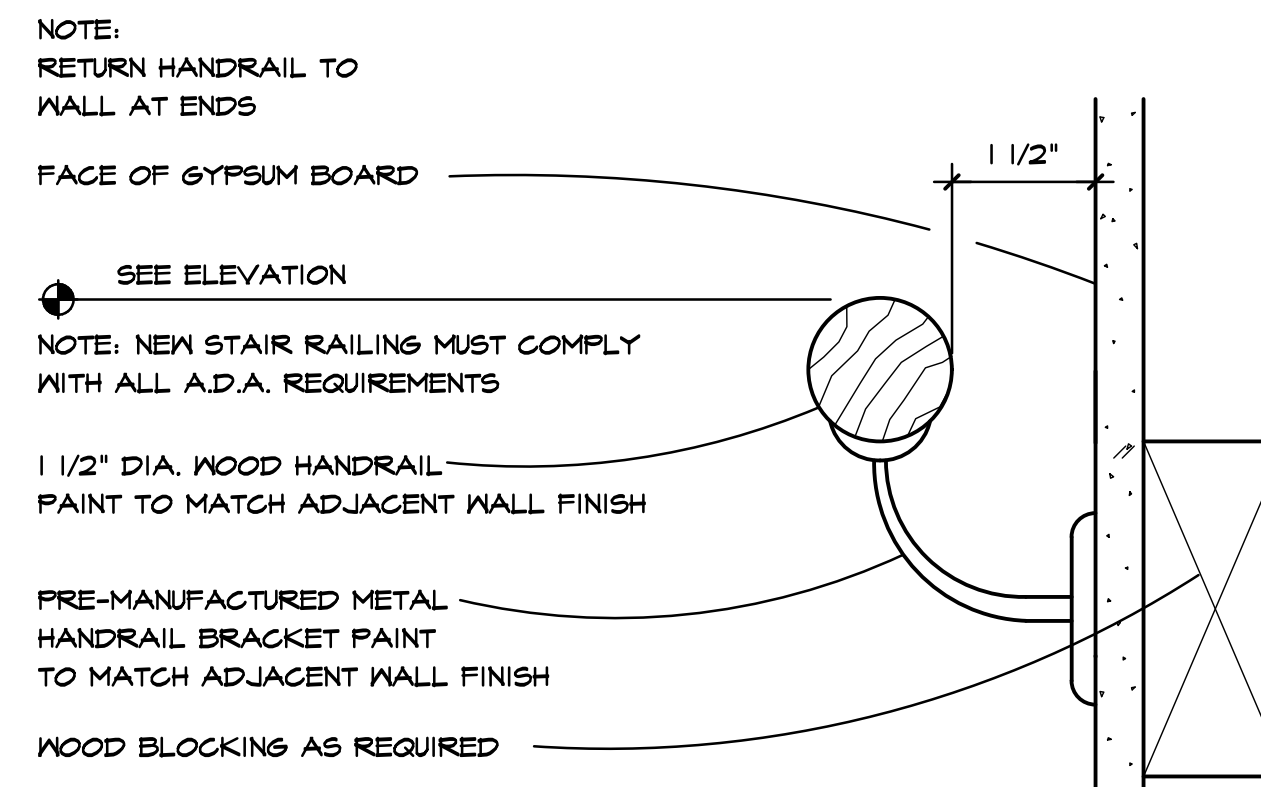
4 TREAD DETAIL- STAIRS #150 1ST FLIGHT
A406 1" = 1'-0"



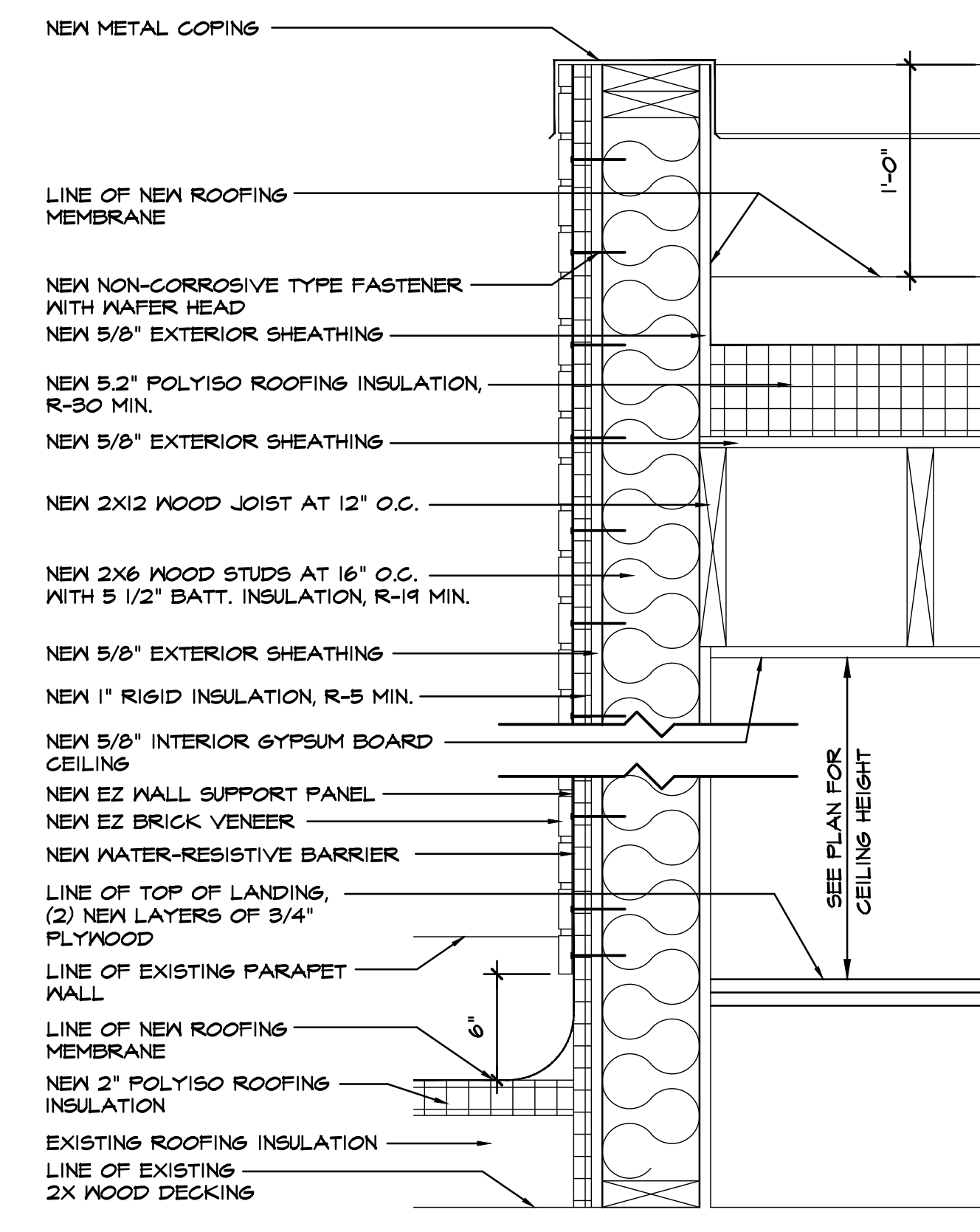
5 STAIRS #150 SECTION
A406 3/16" = 1'-0"



6 STAIRS #150 SECTION
A406 3/16" = 1'-0"



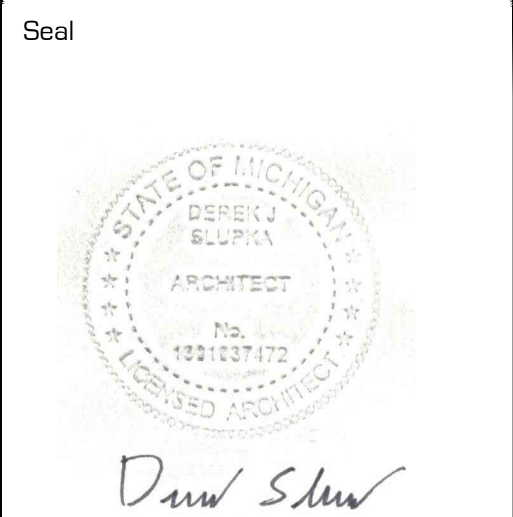
7 HANDRAIL SECTION
A406 6" = 1'-0"



8 ENLARGED PENTHOUSE WALL SECTION
A406 1 1/2" = 1'-0"



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Stair Sections / Stair Plans

Project Number
20-40-159

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Checked DJS

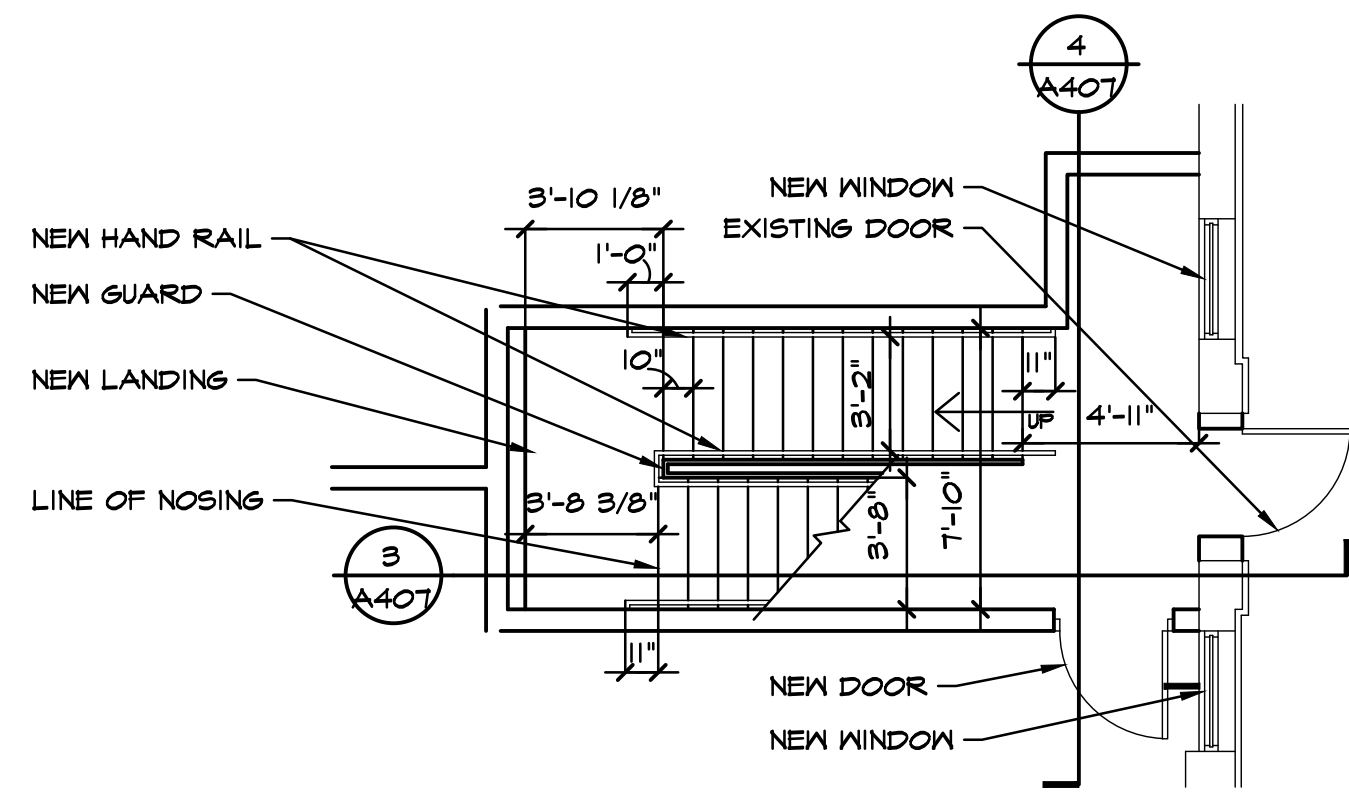
Scale AS NOTED

Dwg. PEERLESS - CDS

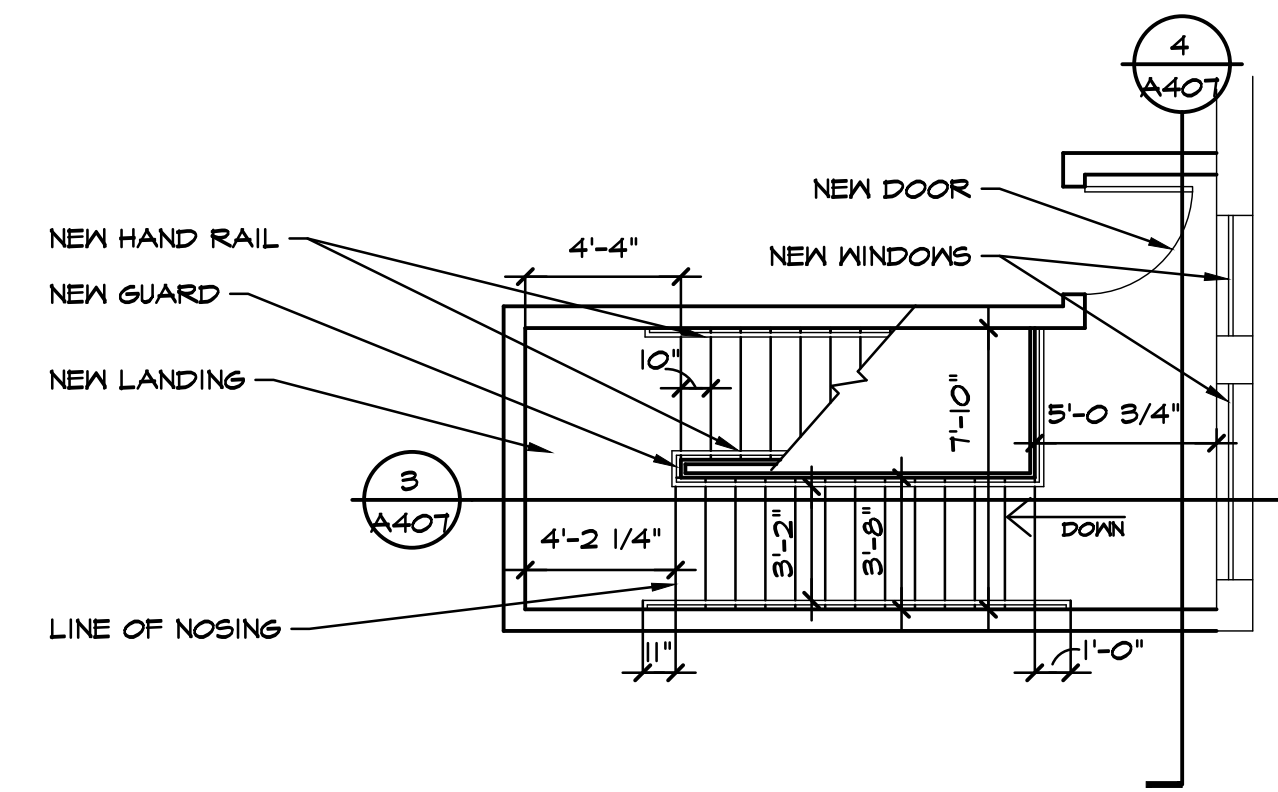
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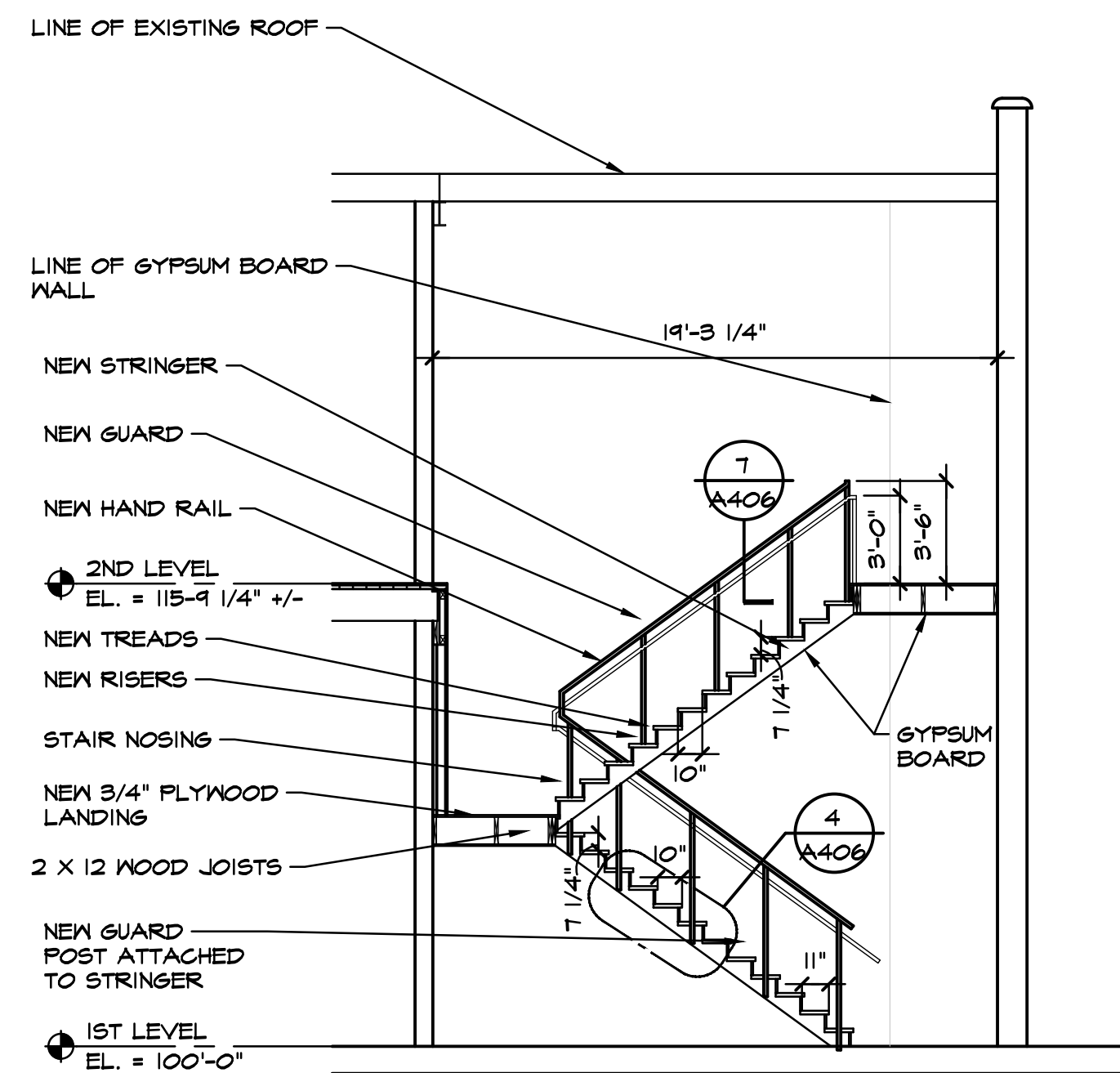
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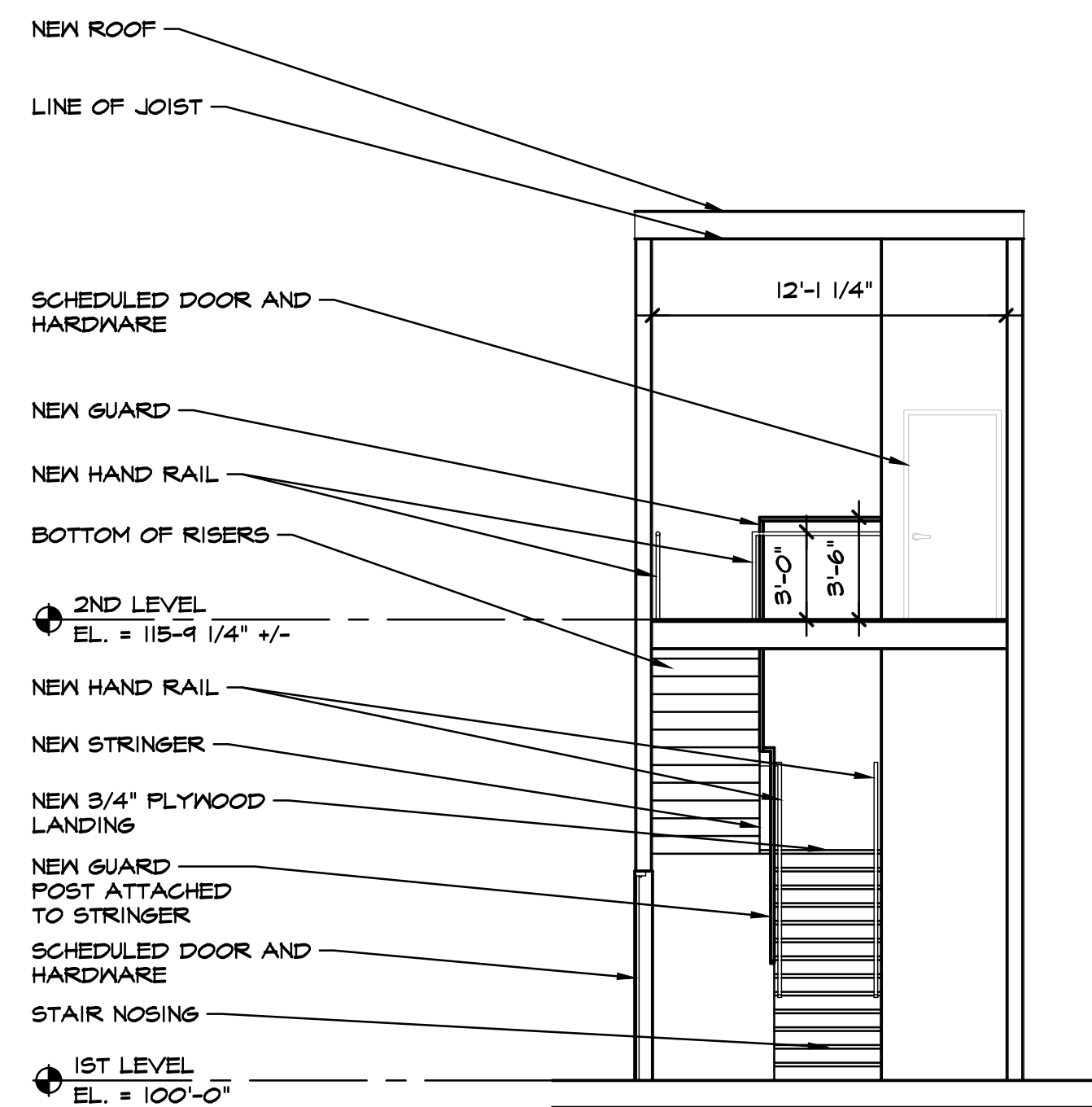
1 STAIRS #100 PLAN 1ST FLOOR
 A103 3/16" = 1'-0"



2 ENLARGED STAIRS #100 PLAN 2ND FLOOR
 A104 3/16" = 1'-0"



3 STAIRS #100 SECTION
 A407 3/16" = 1'-0"



4 STAIRS #100 SECTION
 A407 3/16" = 1'-0"



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Derek S. Peerless

Project **PROJECT PEERLESS**

603 E. MILWAUKEE ST.
 DETROIT, MI 48202

Drawing Title
STAIR SECTIONS / STAIR PLANS

Project Number
20-40-159

Drawn
 ALM

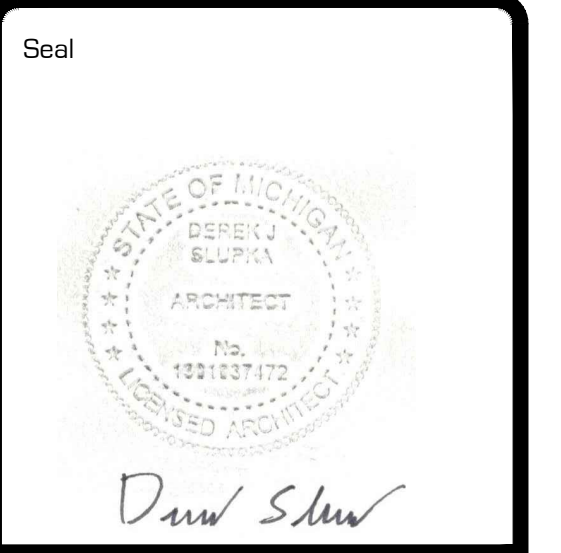
Checked
 DJS

Scale
 3/16" = 1'-0"

Dwg.
 PEERLESS - CDS

Issued for	Date	By
DESIGN DEVELOPMT.	5-28-21	DJS
OWNER REVIEW	8-20-21	DJS
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Project **PROJECT PEERLESS**

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
WALL DETAILS

Project Number
20-40-159

Drawn ALM

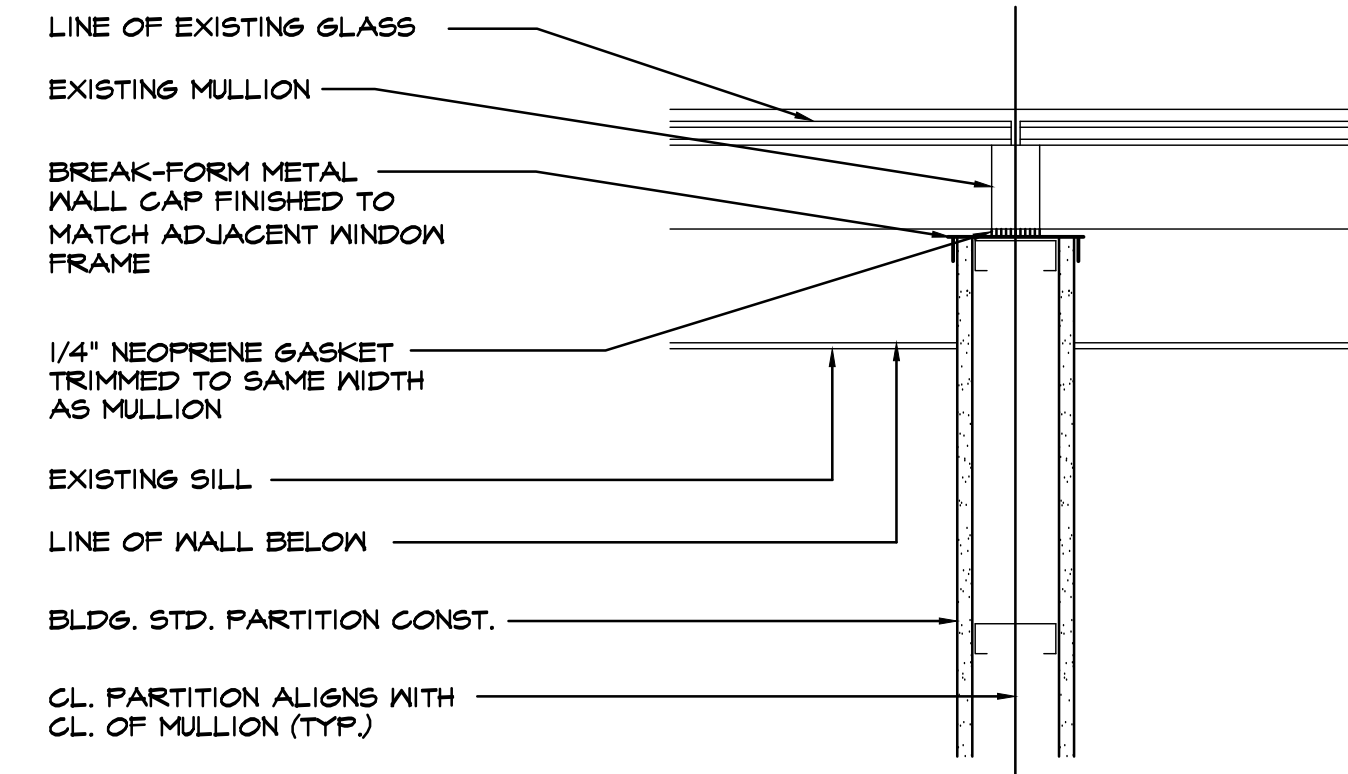
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Scale AS NOTED

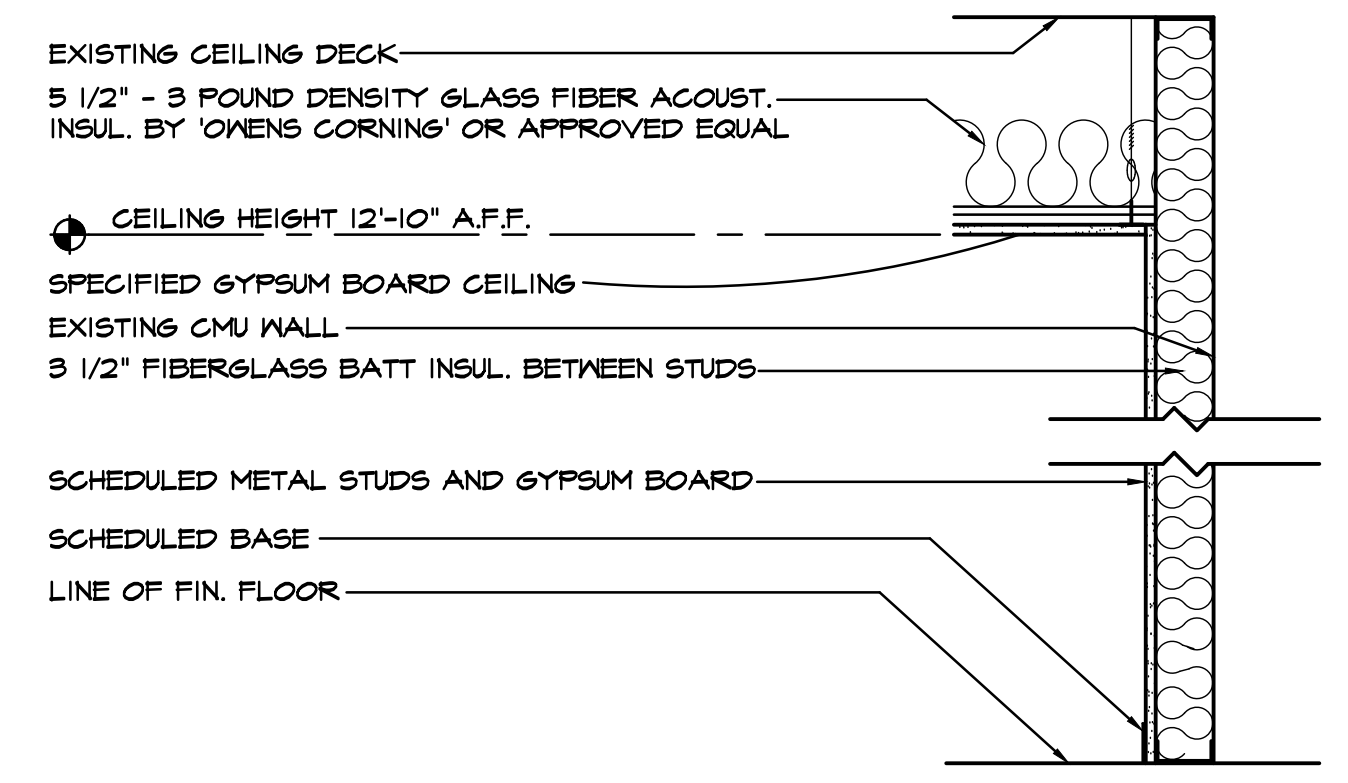
Dwg. PEERLESS - CDS

Issued for	Date	By
DESIGN DEVELOPMT.	5-28-21	DJS
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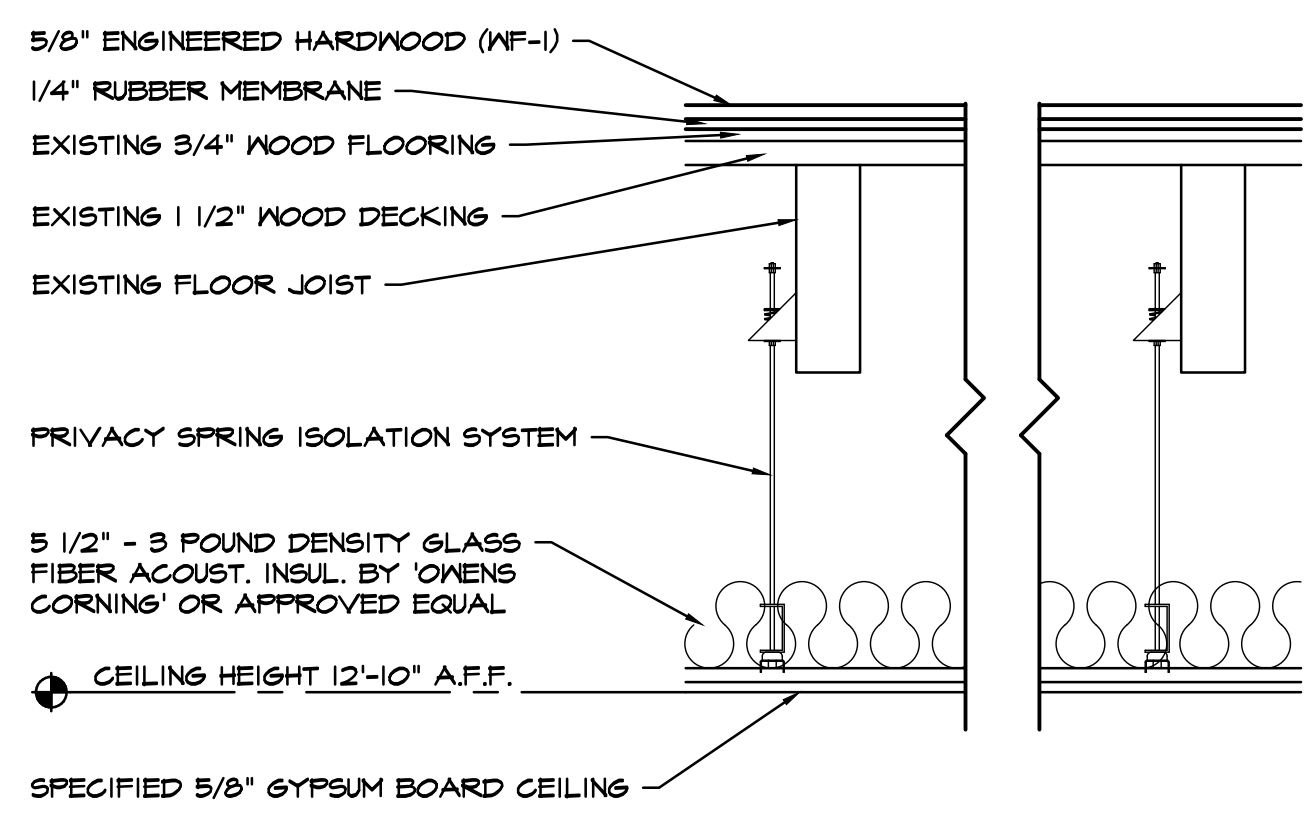
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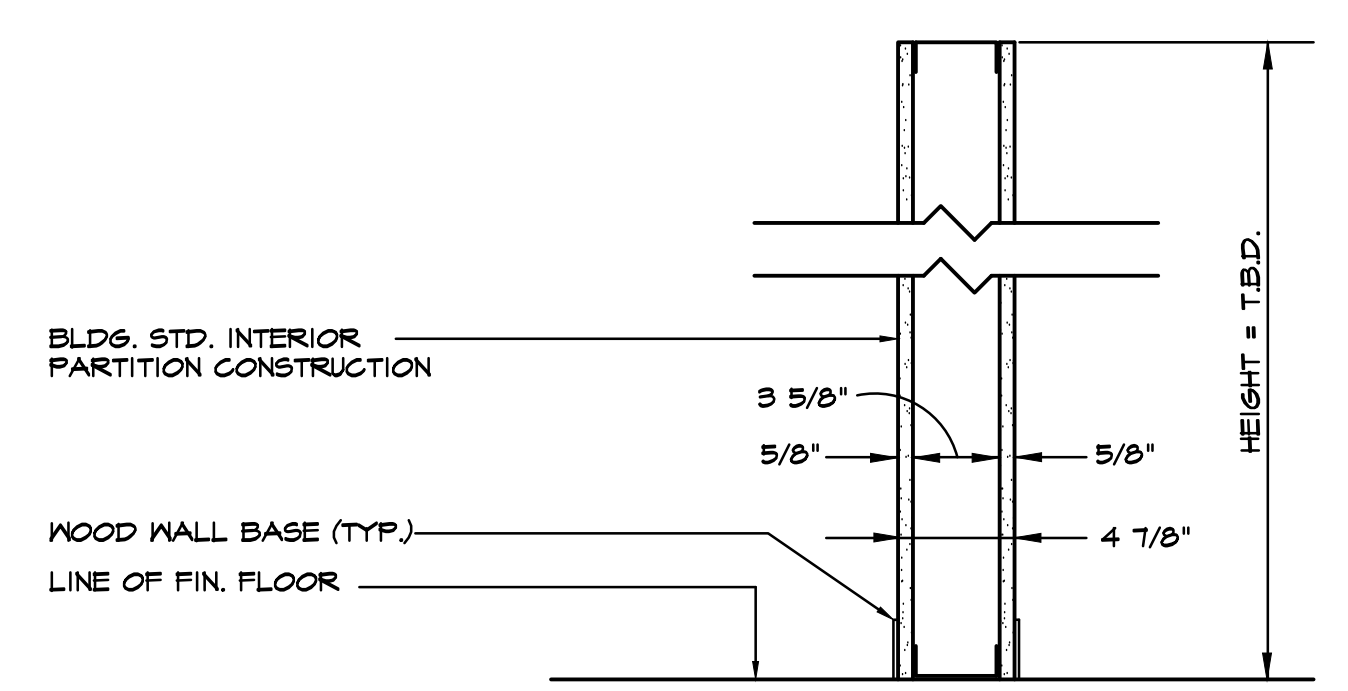
4 PARTITION AT MULLION
A103 1/2" = 1'-0"



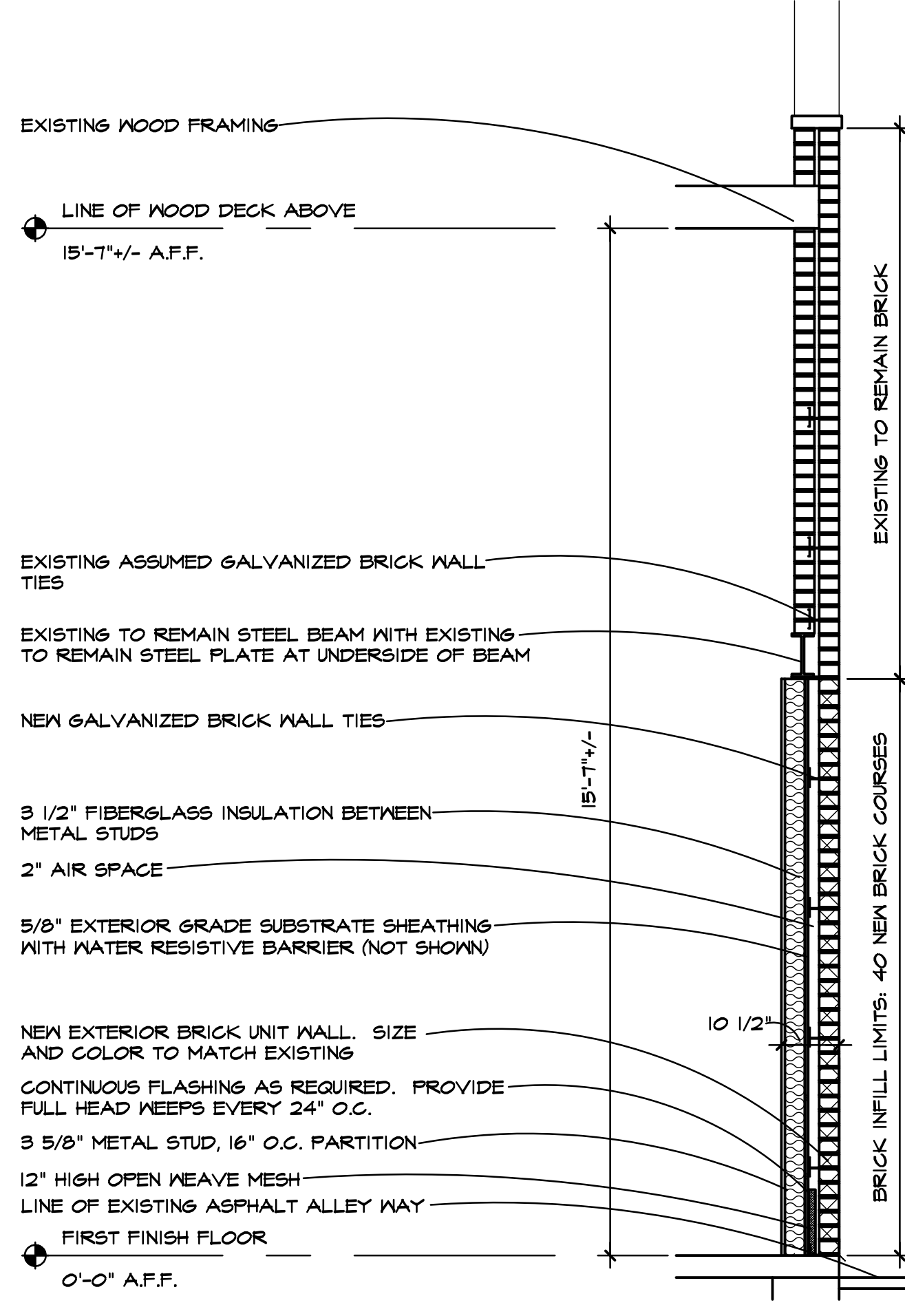
3 INTERIOR PARTITION
A104 1" = 1'-0"



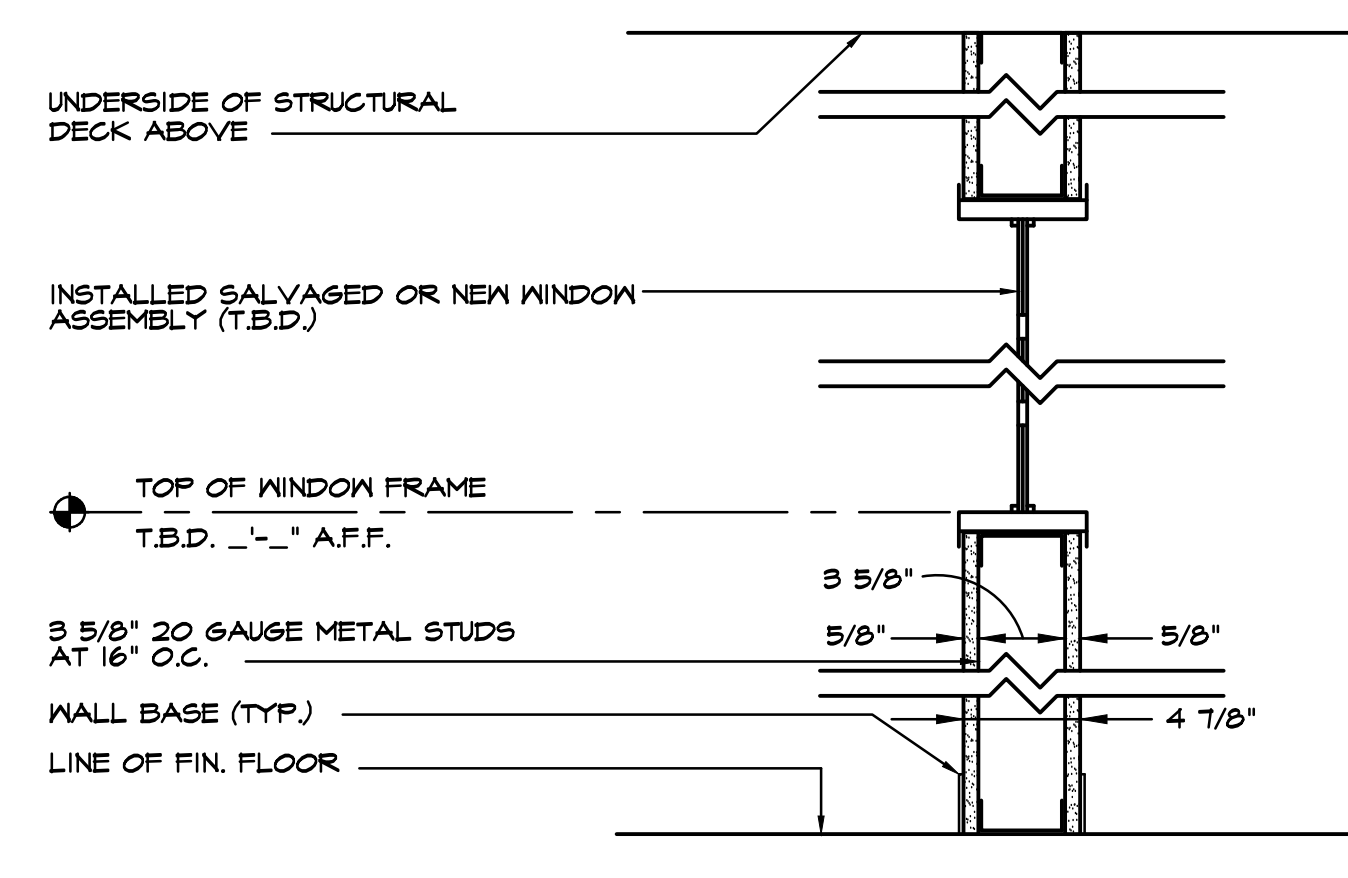
6 GYPSUM BOARD CEILING
A103 1" = 1'-0"



2 INTERIOR PARTITION
A104 1/2" = 1'-0"



5 WALL SECTION
A104 1/2" = 1'-0"



1 INTERIOR PARTITION
A104 1/2" = 1'-0"

DOOR SCHEDULE

DOOR NO.	OPEN. SIZE	DOOR TYPE / FINISH	FRAME TYPE / FINISH	DOOR	FRAME	LATCH	HINGES	CLOSER	DOOR STOP	NOTES
100	3'-0" X 7'-0" (VERIFY IN FIELD)	METAL	METAL	D1	F1	L1	H1	C1	-	N5
101	3'-0" X 7'-0"	METAL	METAL	D5	F3	L1	H1	C1	SI	N5
102	(2) 18" BIFOLD	WOOD	WOOD	D2	-	L2	H2	-	-	-
103A	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
103B	3'-0" X 3'-0"	METAL	METAL	D6	F4	L5	H5	-	-	N2
104	(2) 3'-0" X 7'-0" (SLIDING)	WOOD	WOOD	D4	-	L4	H4	-	-	-
105	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
106	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
107	(2) 3'-0" X 7'-0" (SLIDING)	WOOD	WOOD	D4	-	L4	H4	-	-	-
108	3'-0" X 7'-0"	METAL	METAL	D1	F1	L1	H1	C1	SI	N5
109	(2) 18" BIFOLD	WOOD	WOOD	D2	-	L2	H2	-	-	-
110	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
110B	3'-0" X 3'-0"	METAL	METAL	D6	F4	L5	H5	-	-	N2
111	(2) 3'-0" X 7'-0" (SLIDING)	WOOD	WOOD	D4	-	L4	H4	-	-	-
112	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
113	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
114	(2) 3'-0" X 7'-0" (SLIDING)	WOOD	WOOD	D4	-	L4	H4	-	-	-
115	3'-0" X 7'-0"	METAL	METAL	D1	F1	L1	H1	C1	SI	N5
116	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
116B	3'-0" X 3'-0"	METAL	METAL	D6	F4	L5	H5	-	-	N2
117	(2) 3'-0" X 7'-0" (SLIDING)	WOOD	WOOD	D4	-	L4	H4	-	-	-
118	(1) 24" BIFOLD	WOOD	WOOD	D2	-	L2	H2	-	-	-
119	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
120	(2) 24" BIFOLD	WOOD	WOOD	D2	-	L2	H2	-	-	-
121	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
123	3'-0" X 7'-0"	METAL	METAL	D1	F1	L1	H1	C1	SI	N5
124A	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
124B	3'-0" X 3'-0"	METAL	METAL	D6	F4	L5	H5	-	-	N2
125	(1) 24" BIFOLD	WOOD	WOOD	D2	-	L2	H2	-	-	-
126	(2) 3'-0" X 7'-0" (SLIDING)	WOOD	WOOD	D4	-	L4	H4	-	-	-
127	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
128	(2) 24" BIFOLD	WOOD	WOOD	D2	-	L2	H2	-	-	-
129	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
131	3'-0" X 7'-0"	METAL	METAL	D1	F1	L1	H1	C1	SI	N5
132A	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
132B	3'-0" X 3'-0"	METAL	METAL	D6	F4	L5	H5	-	-	N2
133	(2) 3'-0" X 7'-0" (SLIDING)	WOOD	WOOD	D4	-	L4	H4	-	-	-
134	(1) 24" BIFOLD	WOOD	WOOD	D2	-	L2	H2	-	-	-
135	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
136	(2) 3'-0" X 7'-0" (SLIDING)	WOOD	WOOD	D4	-	L4	H4	-	-	-
137	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
138	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
139	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
142	3'-0" X 7'-0" (VERIFY IN FIELD)	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
143A	3'-0" X 7'-0"	METAL	METAL	D5	F3	L1	H1	C1	SI	N5
143B	3'-0" X 3'-0"	METAL	METAL	D6	F4	L5	H5	-	-	N2
144	(1) 36" BIFOLD	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
145	(1) 36" BIFOLD	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
146	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
148	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
150	3'-0" X 7'-0"	METAL	METAL	D5	F3	L1	H1	C1	SI	N5
151	3'-0" X 7'-0"	METAL	METAL	D1	F1	L1	H1	C1	SI	N5
200	3'-0" X 7'-0"	METAL	METAL	D5	F3	L1	H1	C1	SI	N5
201	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
202	GLASS SLIDING DOOR SYSTEM	WOOD	WOOD	D7	D7	D7	D7	-	D7	-
205	(2) 36" BIFOLD	WOOD	WOOD	D2	-	L2	H2	-	-	-
206	3'-0" X 7'-0"	METAL	METAL	D5	F3	L1	H1	C1	SI	N5
207	3'-0" X 7'-0" SLIDING BARN DOOR	WOOD	WOOD	D3	-	L2	H4	C1	SI	NT
208	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
209	(2) 4'-0" X 7'-0" (SLIDING)	WOOD	WOOD	D4	-	L4	H4	-	-	-
210	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
211	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
212	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
216	3'-0" X 7'-0" (SLIDING)	GLASS	-	D8	-	L7	H4	-	-	-
217	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
218	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
219	(2) 24" BIFOLD	WOOD	WOOD	D2	-	L2	H2	-	-	-
220	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
221	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
222	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
300	3'-0" X 7'-0"	METAL	METAL	D1	F1	L1	H1	C1	SI	-

DOOR LEGEND

GENERAL NOTES

G1. ALL DOOR SIZE DIMENSIONS GIVEN ARE APPROXIMATE. DOOR SUPPLIER SHALL FIELD VERIFY EXACT REQUIREMENTS.

EXISTING

E1. EXISTING TO REMAIN.

DOORS

D1. NEW INSULATED STEEL DOOR WITH 6" X 62" FROSTED LITE WITH INSULATED GLASS BY 'STEELCRAFT' OR EQUAL.

D2. NEW SOLID CORE WOOD BI-FOLD DOOR. PAINT P-1.

D3. NEW SOLID CORE, 1 3/4" WOOD DOOR. PAINT P-1.

D4. NEW SOLID CORE WOOD SLIDING DOOR. PAINT P-1.

D5. NEW FLUSH STEEL DOOR BY 'STEELCRAFT' OR EQUAL. WITH PRIME FINISH AND 1-HOUR RATINGS. FINISH T.B.D.

D6. NEW 3'-0" X 3'-0" LOCKABLE METAL ACCESS DOOR IN GYPSUM BOARD ABOVE TO ACCESS MECHANICAL EQUIPMENT ABOVE BATHROOM AS REQUIRED. PAINT TO MATCH ADJACENT WALL FINISH. REFER TO ELEVATION. FINISH T.B.D.

D7. NEW 'MARVIN' ULTIMATE MULTI SLIDE DOOR SYSTEM CONTAINING SIX (6) CUSTOM SIZED 1/4" CLEAR TEMPERED GLASS FRAMED DOORS, COLOR T.B.D. WITH PULLS AND NO LOCK.

D8. NEW WOOD SLIDING GLASS DOOR WITH FULL LITE IN DOOR. FINISH T.B.D.

FRAMES

F1. HOLLOW METAL FRAME WITH 2" FACE EDGE GROUTED SOLID WITH PRIME FINISH.

F2. NEW WOOD FRAME AND WOOD CASING. PAINT P-2.

F3. NEW HOLLOW METAL FRAME. PRIME FINISH. PROVIDE 1-HOUR RATINGS.

F4. NEW 3'-0" X 3'-0" LOCKABLE METAL ACCESS DOOR IN GYPSUM BOARD ABOVE TO ACCESS MECHANICAL EQUIPMENT ABOVE BATHROOM AS REQUIRED. PAINT TO MATCH ADJACENT WALL FINISH. REFER TO ELEVATION.

LATCHSET/LOCKSET

L1. NEW MORTISE LOCKSET WITH LEVER HANDLE, AND INTERCHANGEABLE CORE.

L2. NEW 4" WIRE PULL. FINISH T.B.D.

L3. NEW LEVER PRIVACY LOCK SET.

L4. NEW METAL RECESSED FINGER DOOR PULL. FINISH T.B.D.

L5. NEW 3'-0" X 3'-0" LOCKABLE METAL ACCESS DOOR IN GYPSUM BOARD ABOVE TO ACCESS MECHANICAL EQUIPMENT ABOVE BATHROOM AS REQUIRED. PAINT TO MATCH ADJACENT WALL FINISH. REFER TO ELEVATION.

L6. NEW PASSAGE LEVER SET.

L7. NEW DOOR PULL TO BE SELECTED BY OWNER.

HINGES

H1. NEW 1 1/2" PAIR OF BALL BEARING HINGES WITH NON-REMOVABLE PINS. FINISH T.B.D.

H2. MANUFACTURER'S RECOMMENDED HEAVY DUTY BI-FOLD HARDWARE.

H3. NEW 1 1/2" PAIR BALL BEARING HINGES. FINISH T.B.D.

H4. NEW MANUFACTURER'S RECOMMENDED HEAVY DUTY SLIDING DOOR HARDWARE.

H5. NEW 3'-0" X 3'-0" LOCKABLE METAL ACCESS DOOR IN GYPSUM BOARD ABOVE TO ACCESS MECHANICAL EQUIPMENT ABOVE BATHROOM AS REQUIRED. PAINT TO MATCH ADJACENT WALL FINISH. REFER TO ELEVATION.

CLOSERS

C1. NEW CLOSER BY 'LGN' OR EQUAL. FINISH T.B.D.

DOOR STOPS

S1. NEW WALL STOP BY 'ROCKWOOD' OR EQUAL. FINISH T.B.D.

S2. NEW FLOOR STOP BY 'ROCKWOOD' OR EQUAL. FINISH T.B.D.

NOTES

N1. PAINT DOOR AND FRAME P-3 ON TENANT SIDE ONLY. STAIRWAY SIDE TO REMAIN.

N2. NEW 3'-0" X 3'-0" LOCKABLE METAL ACCESS DOOR TO ACCESS MECHANICAL EQUIPMENT ABOVE BATHROOM AS REQUIRED. PAINT TO MATCH ADJACENT WALL FINISH. REFER TO ELEVATION.

N3. NEW 1/2" CLEAR TEMPERED BUTT GLASS SYSTEM IN 1" CHANNEL AT THE FLOOR AND HEAD. FINISH US26D.

N4. PAINT DOOR AND FRAME ON BOTH SIDES P-3.

N5. NEW DOOR PEEP AT 54" A.F.F. FINISH T.B.D.

N6. NEW THRESHOLD AND WEATHER STRIPPING.

N7. PAINT DOOR CHALKBOARD PAINT.



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Seal

David Shaw

Project

PROJECT PEERLESS

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title

DOOR SCHEDULE

Project Number

20-40-159

Drawn

ALM

Checked

DJS

Scale

N/A

Dwg.

PEERLESS - CDS

Issued for	Date	By
DESIGN DEVELOPMT.	5-28-21	DJS
OWNER REVIEW	8-20-21	DJS
PERMIT	10-13-21	DJS

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A601

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