

FORREST HOME



END STUDIO, LLC
 1533 Merrick Street
 Detroit, MI 48208
 908.419.8398
 e-n-d-studio.com

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ARCHITECT
 ELISE DECHARD
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 DETROIT, MI 48208
 908.419.8398
 ELISE@E-N-D-STUDIO.COM

CONTRACTOR
 TBD

STRUCTURAL ENGINEER
 TBD



PROJECT INFORMATION

OWNER: TOM & SHERRIE FORREST
 ADDRESS: 1694 BAGLEY ST. DETROIT, MI 48216
 PARCEL ID NUMBER: 08000377
 REGULATING BODY: CITY OF DETROIT
 CODE: 2015 MICHIGAN RESIDENTIAL CODE
 ZONING: B2 - LOCAL BUSINESS AND RESIDENTIAL
 HISTORIC DISTRICT: CORKTOWN
 SUBDIVISION: LUTHER BEECHERS

ZONING REVIEW

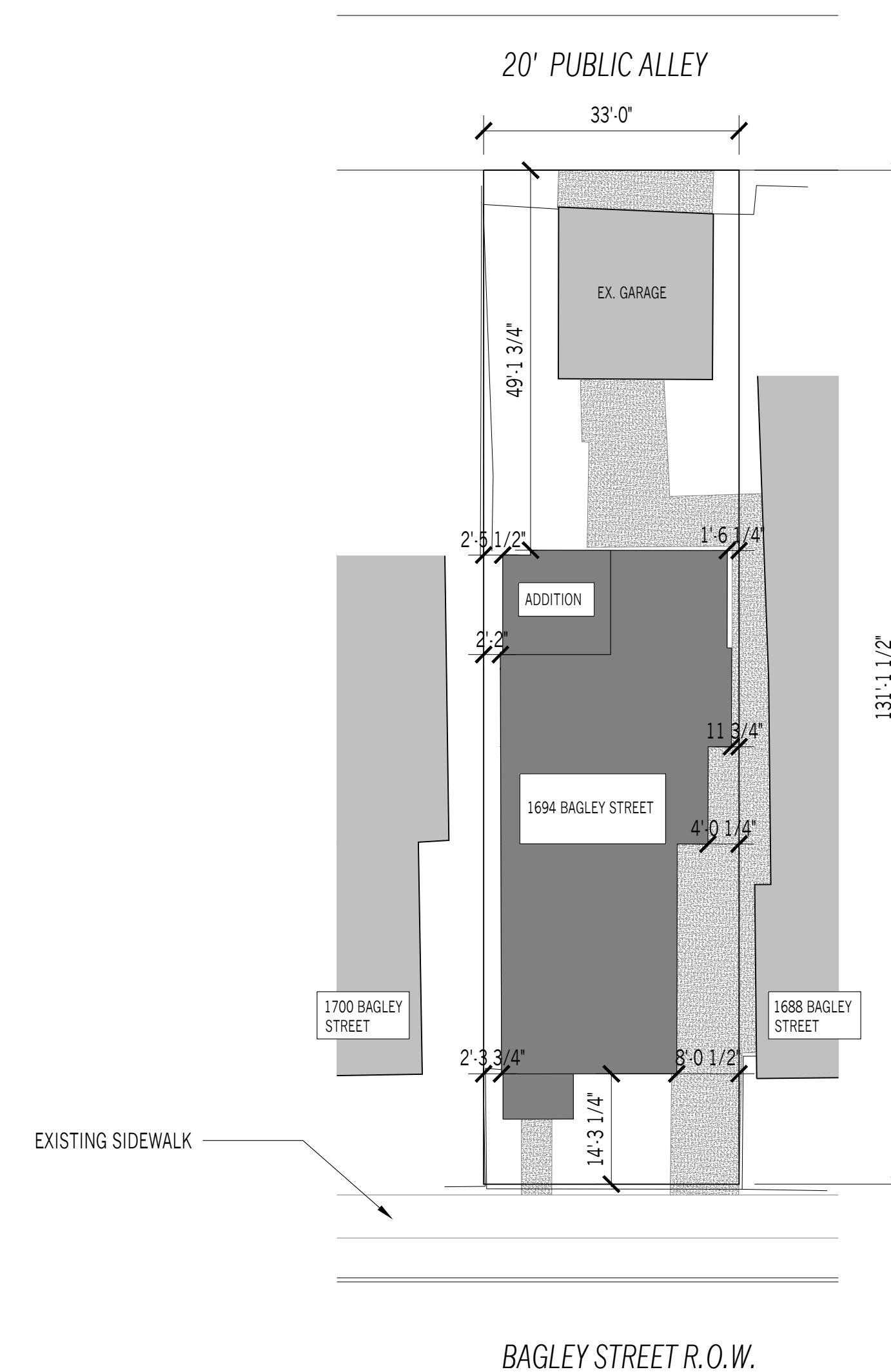
PRIMARY STRUCTURE REGULATIONS
 MAX. BUILDING HEIGHT 35'
 MAX. STORIES NOT LISTED
 MAX. LOT COVERAGE NOT LISTED
 MIN. LOT WIDTH 55'-0"
 MIN. LOT AREA 6,000 SF
 FRONT YARD SETBACK 20'
 REAR YARD SETBACK 30'
 SIDE YARD SETBACK 6'-7 3/4" (FORMULA A)
 CAN BE REDUCED TO 3' MIN., 10' COMBINED PER DETROIT ZONING SEC. 50-13-24.

EXISTING
 USE TWO-FAMILY RESIDENTIAL
 LOT SIZE 4,327 SF
 LOT WIDTH 33'-0"
 LOT DEPTH 131'-2"
 EX. HOUSE FOOTPRINT 1,810 SF
 EX. ACCESSORY FOOTPRINT 435 SF
 TOTAL FOOTPRINT 2,245 SF
 LOT COVERAGE 52% - N/A
 FRONT YARD SETBACK 14'-4"
 REAR YARD SETBACK 49'-1 3/4"
 SIDE YARD SETBACK 1'-0" TO 8'-0" EAST / 2'-0" TO 2'-5" WEST
 EX. HOUSE AREA 1,806 SF
 EX. BUILDING HEIGHT 19'-8"
 STORIES 1

PROPOSED
 USE TWO-FAMILY RESIDENTIAL
 EX. HOUSE FOOTPRINT 1,628 SF
 ADDITION FOOTPRINT 170 SF
 EX. ACCESSORY FOOTPRINT 435 SF
 TOTAL FOOTPRINT 2,233 SF
 LOT COVERAGE 52% - N/A
 FRONT YARD SETBACK 14'-4"
 REAR YARD SETBACK 49'-1 3/4"
 SIDE YARD SETBACK 1'-0" TO 8'-0" EAST / 2'-0" TO 3'-3/4" WEST
 HOUSE AREA 1812 SF
 BUILDING HEIGHT 19'-8"
 STORIES 1

SHEET LIST

#	DRAWING NAME	HDC SUBMISSION SET AUGUST 16, 2021
T-000	TITLE SHEET & SITE PLAN	-
G-001	GENERAL NOTES	-
D-100	DEMO PLANS	-
A-000	SCHEDULES	-
A-101	FIRST FLOOR, FOUNDATION & ROOF PLAN	-
A-121	FRAMING PLANS	-
A-201	FIRST FLOOR RCP	-
A-300	EXTERIOR ELEVATIONS	-
A-400	BUILDING SECTION	-
A-600	INTERIOR ELEVATIONS	-
A-700	INTERIOR DETAILS	-
E-101	ELECTRICAL PLANS	-
M-101	MECHANICAL & PLUMBING PLANS	-



01 SITE PLAN
 SCALE: 1/16" = 1'-0"



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NO. ISSUE/REV. DATE
 ... HDC SUBMISSION 08/16/21

**TITLE &
 SITE PLAN**

T-000

MATERIAL KEY

	EXISTING WALL TO REMAIN		DRYWALL / PLASTER
	NEW WALL CONSTRUCTION		EARTH / SOIL
	CAST IN PLACE CONCRETE		PLYWOOD
	CONCRETE MASONRY UNIT (CMU)		WOOD
	BRICK MASONRY		WOOD - DIMENSIONAL LUMBER
	CRUSHED STONE		WOOD - BLOCKING
	STEEL		BATT INSULATION
	ALUMINUM		SPRAY FOAM INSULATION
	RIGID INSULATION		DEMO WALL

DRAWING SYMBOL KEY

	ROOM TAG		SECTION
	DOOR TAG		DETAIL CALL OUT
	WINDOW TAG		
	WALL TYPE		
	PLUMBING /EQUIP TAG		
	EXTERIOR ELEVATION		
	INTERIOR ELEVATION(S)		
	LOT LINE		
	SETBACK		
	ONE HOUR WALL		
	TWO HOUR WALL		
			ELEVATION MARKER
			L-1 LIGHTING TAG

PLUMBING KEY

SYMBOL	DESCRIPTION
	HOT WATER SUPPLY
	COLD WATER SUPPLY
	DRAIN PIPE
	VENT PIPE
	VALVE
	PLUMBING DRAIN
	FLOOR DRAIN
	ROOF DRAIN

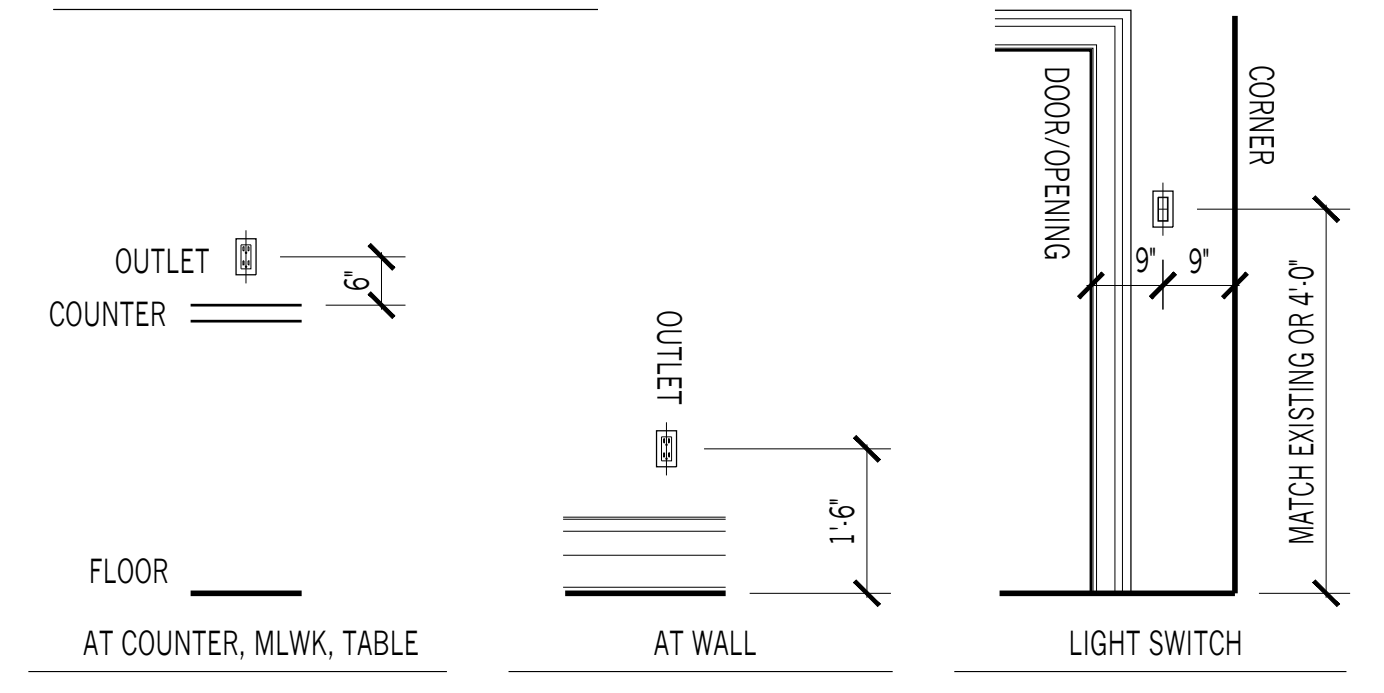
MECHANICAL KEY

SYMBOL	DESCRIPTION
	EXHAUST FAN
	FLOOR/CLNG SUPPLY REGISTER
	FLOOR/CLNG RETURN GRILLE
	WALL/HORIZ. SUPPLY REGISTER
	WALL/HORIZ. SUPPLY REGISTER
	CEILING GRID SUPPLY REGISTER
	CEILING GRID RETURN GRILLE
	ROUND SUPPLY REGISTER
	THERMOSTAT
	LINEAR SLOT DIFFUSER

POWER, DATA, & LIGHTING KEY

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	DUPLEX		SWITCH
	DUPLEX - SPECIFIC MOUNTING HT.		DIMMER SWITCH
	DUPLEX - GFI		THREE-WAY SWITCH
	DUPLEX - UNDER CABINET GFI		THREE-WAY DIMMER SWITCH
	QUADPLEX		JAMB SWITCH
	DUPLEX IN FLOOR		TELEPHONE
	SMOKE DETECTOR		INTERNET
	CARBON MONOXIDE DETECTOR		TELEVISION
	SPEAKER LOCATION		PENDANT FIXTURE
	SPEAKER INPUT		FLUSH MOUNT FIXTURE
	RECESSED FIXTURE		LED STRIP LIGHT
	WALL MOUNTED SCONCE		VENTILATION FAN
	DENOTES WET-RATED FIXTURE		EXISTING FIXTURES, TYP.
	TRACK LIGHTING		CEILING FAN
	MOTION SENSOR FLOOD LIGHT		REC. LIGHT VENT FAN COMBO
	EXTERIOR FLOOD LIGHT		CAMERA

TYPICAL MOUNTING HEIGHTS



ABBREVIATIONS

ABV ABOVE	ACOUS ACOUSTICAL	ADA AMERICANS WITH DISABILITIES ACT	ADD ADDITIONAL	ADJ ADJACENT	AFF ABOVE FINISHED FLOOR	ALT ALTERNATE	ALW ALLOW	ALWB ALLOWABLE	ALUM ALUMINUM	ANOD ANODIZED	ARCH ARCHITECT	ASMB ASSEMBLY	BLDG BUILDING	BLT-IN BUILT-IN	CAB CABINET	CEM CEMENT	CIP CAST IN PLACE	CL CENTER LINE	CLG CEILING	CLO CLOSET	CMU CONCRETE MASONRY UNIT	COL COLUMN	CONC CONCRETE	CONST CONSTRUCTION	CONT CONTINUOUS	COORD COORDINATE	CORR CORRIDOR	CPT CARPET	CTR CENTER	CW COLD WATER	DBL DOUBLE	DEMO DEMOLITION	DIA DIAMETER	DEG DEGREE	DIM DIMENSION	DW DRYWALL	DISP DISPENSER	DN DOWN	DR DOOR	DSPT DOWNSPOUT	DTL DETAIL	DWG DRAWING	EA EACH	EC ELECTRICAL CONTRACTOR	EL ELEVATION	ELEC ELECTRICAL	ELEV ELEVATOR	ENCL ENCLOSURE	ENG ENGINEER	EQ EQUAL	EQUIP EQUIPMENT	EST ESTIMATE(D)	EXH EXHAUST	EXP JT EXPANSION JOINT	EXIST EXISTING	EXT EXTERIOR	F&I FURNISH AND INSTALL	FAB FABRICATE	FBO FURNISH BY OWNER	FLDR FLOOR DRAIN	FIN FINISHED	FLG FLOORING	FLR FLOOR	FLUOR FLUORESCENT	FND FOUNDATION	FP FIRE PROOFING	FO FACE OF	FT FOOT/FEET	FTG FOOTING	GA GAUGE	GALV GALVANIZED	GAR GARAGE	GC GENERAL CONTRACTOR	GFRC GLASS FIBER REINFORCED CONCRETE	GLZ GLAZING	GR GRADE	GUT GUTTER	GWB GYPSUM WALL BOARD	H/C HANDICAPPED	HALG HALOGEN	HB HOSE BIB	HC HOLLOW CORE	HD HEAD	HDF HIGH DENSITY FIBER BOARD	HDWR HARDWARE	HM HOLLOW METAL	HORZ HORIZONTAL	HR HOUR	HT HEIGHT	HVAC HEATING, VENTILATION & AIR CONDITIONING	HW HOT WATER	HWH HOT WATER HEATER	ID INSIDE DIAMETER	IN INCH	INCAD INCANDESCENT	INSUL INSULATION	INT INTERIOR	JBOX JUNCTION BOX	JC JOIST	JANITORS CLOSET	JST JOIST	JNT JOINT	KIT KITCHEN	L LENGTH	LAM LAMINATE	LAV LAVATORY	LBS POUNDS	LF LINEAR FEET	LN LINEAR	LT LIGHT	MACH MACHINE	MAS MASONRY	MAX MAXIMUM	MC MECHANICAL CONTRACTOR	MDF MEDIUM DENSITY FIBER BOARD	MECH MECHANICAL	MEMB MEMBRANE	MFTD MANUFACTURED	MFTR MANUFACTURER	MH MANHOLE	MIN MINIMUM	MIR MIRROR	MISC MISCELLANEOUS	MMR MOISTURE & MOLD RESISTANT	MO MASONRY OPENING	MTL METAL	MUL MULLION	NFC NOT FOR CONSTRUCTION	NIC NOT IN CONTRACT	NO NUMBER	NOM NOMINAL	NTS NOT TO SCALE	OC ON CENTER	OD OUTSIDE DIAMETER	OPNG OPENING	OPP OPPOSITE	OPT OPTION(AL)	OZ OUNCE	PH PENTHOUSE	PL PROPERTY LINE	PLAS PLASTIC	PLUM PLUMBING	PLY PLYWOOD	PNT PAINT	POL POLISHED	PRTN PARTITION	PSF POUNDS PER SQUARE FOOT	PT PRESSURE TREATED	PTD PAINTED	QUAL QUALITY	QTY QUANTITY	R RISER	RAD RADIUS	RD ROOF DRAIN	RECT RECTANGULAR	REF REFERENCE	REINF REINFORCED	REQD REQUIRED	REV REVISION	RF ROOF	RM ROOM	RO ROUGH OPENING	SAN SANITARY	SCHED SCHEDULE	SECT SECTION	SF SQUARE FOOT	SHT SHEET	SIM SIMILAR	SPEC SPECIFICATION	SQ SQUARE	SS STAINLESS STEEL	STD STANDARD	STL STEEL	STR STAIR	STRUC STRUCTURE	SUP SUPPLY	SUSP SUSPENDED	SYM SYMMETRICAL	SYST SYSTEM	VNL VINYL	VERT VERTICAL	VEST VESTIBULE	VIF VERIFY IN FIELD	W WIDTH	W/ WITH	W/O WITHOUT	WAT WATER	WC WATER CLOSET	WD WOOD	WP WATERPROOFING	WPT WORKING POINT	WT WEIGHT	& + AND	@ AT
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GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2015 MICHIGAN RESIDENTIAL CODE AND ALL OTHER APPLICABLE LAWS, INCLUDING FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND BEST TRADE PRACTICES.
- CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, INCIDENTALS, AND ANY OTHER ITEMS REQUIRED FOR THE COMPLETION OF THE WORK AS SHOWN IN THE CONTRACT DOCUMENTS, UNLESS OTHERWISE NOTED.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE BUILDING DEPARTMENT, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING AGENCIES.
- NOTIFY ARCHITECT FOR CLARIFICATION IN CASE OF ANY DISCREPANCIES, CONFLICTS, OR OMISSIONS IN THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS. AN ADDENDUM TO THE CONTRACT DOCUMENTS WILL BE PROVIDED AS NECESSARY.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS SHOWN ON PLANS AT THE JOB SITE BEFORE COMMENCING ANY WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT.
- DIMENSIONING RULES:
 - DIMENSIONS ARE TAKEN FROM FACE OF FINISHED SURFACE TO FACE OF FINISHES SURFACE, UNLESS OTHERWISE NOTED.
 - DIMENSIONS MARKED "VERIFY", "VERIFY IN FIELD" OR "VIF" SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND DISCUSSED WITH THE ARCHITECT IF DISCREPANCIES ARISE.
 - DIMENSIONS MARKED "CLEAR" OR "CLR" OR "HOLD" MUST BE PRECISELY MAINTAINED
 - DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL BY ARCHITECT UNLESS MARKED "+/-"
- THE CONTRACTOR SHALL LAY OUT THEIR OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (MECHANICAL, ELECTRICAL, PLUMBING, ETC).
- THE CONTRACTOR IS NOT TO SCALE DRAWINGS OR DETAILS, ONLY WRITTEN DIMENSIONS SHALL BE USED. WHERE REQUIRED DIMENSIONS ARE MISSING, NOTIFY ARCHITECT FOR CLARIFICATION.
- ABBREVIATIONS ON THE DRAWINGS ARE AS NOTED IN THE KEY. NOTIFY ARCHITECT OF ANY ABBREVIATIONS IN QUESTION.
- SUBMIT SHOP DRAWINGS, MOCK-UPS, SAMPLES, AND OTHER REQUIRED SUBMITTALS IN A TIMELY FASHION AND ALLOW ARCHITECT SUFFICIENT TIME, MINIMUM OF (5) WORKING DAYS, FOR REVIEW PRIOR TO FABRICATION OR ORDER PLACEMENT.

DEMO PLAN NOTES

- DEMOLITION SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES, ORDINANCES, AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY, AND ENVIRONMENTAL PROTECTION.
- ALL EXISTING WALLS, GLAZING, AND OTHER WORK TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE PROVIDE BRACING OR SHORING AS REQUIRED TO SUPPORT THE STRUCTURE DURING DEMOLITION. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REQUIRED REPAIRS WITHOUT ADDITIONAL COST TO THE OWNER. REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.

- COORDINATE DEMOLITION REQUIRED TO PERFORM NEW WORK WITH CONTRACT DOCUMENTS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- REMOVE ABANDONED HVAC EQUIPMENT, DUCTWORK, ELECTRICAL, AND PLUMBING BACK TO THEIR PRIMARY SOURCE OR AS DIRECTED. DISCONNECT, CAP, AND IDENTIFY ALL UTILITIES IN AREAS OF DEMOLITION. MAINTAIN UTILITIES TO ALL OCCUPIED AREAS OF THE BUILDING AND COORDINATE TEMPORARY DISRUPTION WITH OWNER AND ANY OTHER AFFECTED PARTIES.
- CAREFULLY REMOVE, PROTECT, AND STORE FOR REINSTALLATION OR SALVAGE ALL: LIGHT FIXTURES, PLUMBING FIXTURES, DOORS, FIRE SAFETY & EMERGENCY FIXTURES.
- PROVIDE ENCLOSURE AND PROTECTION AS REQUIRED TO CONTAIN SPREAD OF ALL DUST, FUMES, ETC. PRODUCED DURING DEMOLITION AND CONSTRUCTION.
- REMOVE AND LEGALLY DISPOSE OF ALL DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OR CONSTRUCTION. IN OCCUPIED AREAS, CLEAN AND DISPOSE OF MATERIALS DAILY.
- REMOVE TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE AREAS AND SITE BROOM SWEEP, ORDERLY, AND IN CONDITION ACCEPTABLE FOR CONSTRUCTION.

POWER, LIGHTING, & RCP NOTES

- UNLESS OTHERWISE NOTED, ALL RECEPTACLES & LIGHT FIXTURES SHALL BE CENTERED ON WALL OR BETWEEN OR BENEATH THE WINDOWS, DOORS, OTHER WORK, OR OTHER FIXTURES THEY ARE LOCATED IN RELATION TO.
- RECEPTACLES SHOULD BE MOUNTED TO MATCH THE HEIGHT AND ORIENTATION OF EXISTING RECEPTACLES IN ROOM. SWITCHES TO BE MOUNTED TO MATCH THE HEIGHT OF EXISTING SWITCHES IN ROOM. IF NO REFERENCE EXISTS, ALL RECEPTACLES & LIGHT FIXTURES SHALL BE MOUNTED AT THE HEIGHTS SPECIFIED IN THE TYPICAL MOUNTING HEIGHTS DIAGRAM, UNLESS OTHERWISE NOTED.
- SWITCHES, FIXTURES, AND RECEPTACLES SHOWN ADJACENT ON PLAN WITH DIMENSION ONLY TO ONE OF THEM SHOULD BE COMBINED IN BANKS OR STACKED VERTICALLY.
- CONTRACTOR TO COORDINATE ALL APPLIANCE-SPECIFIC OUTLETS WITH APPLIANCE SELECTION.
- EXISTING OUTLETS, FIXTURES, AND SWITCHES NOT SHOWN ON PLAN TO REMAIN AND BE REUSED.
- OUTLETS AND SWITCHES SHOULD NOT BE INSTALLED BACK-TO-BACK WITHOUT SEPARATING STUD OR INSULATION.
- PROVIDE GFCI OUTLETS AND WET-RATED FIXTURES IN ALL WET AREAS, OUTDOOR AREAS, AND ANY OTHER LOCATION REQUIRED BY CODE.
- ALL SWITCH PLATES AND OUTLETS COVERS, ETC., SHOULD BE INSTALLED AFTER PAINTING AND WALL COVERINGS ARE INSTALLED. PROTECTIVE COVERINGS ON ALL FIXTURES SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED. DAMAGED FIXTURES SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
- COORDINATE LIGHT FIXTURE AND MECHANICAL REGISTER LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION. IF ANY CONFLICT OCCURS BETWEEN THE WORK OF SEPARATE TRADES OR BETWEEN DRAWINGS AND EXISTING CONDITIONS, COORDINATE WITH ARCHITECT IN FIELD.



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NO.	ISSUE/REV.	DATE
...	HDC SUBMISSION 08/16/21	

GENERAL NOTES

G-001

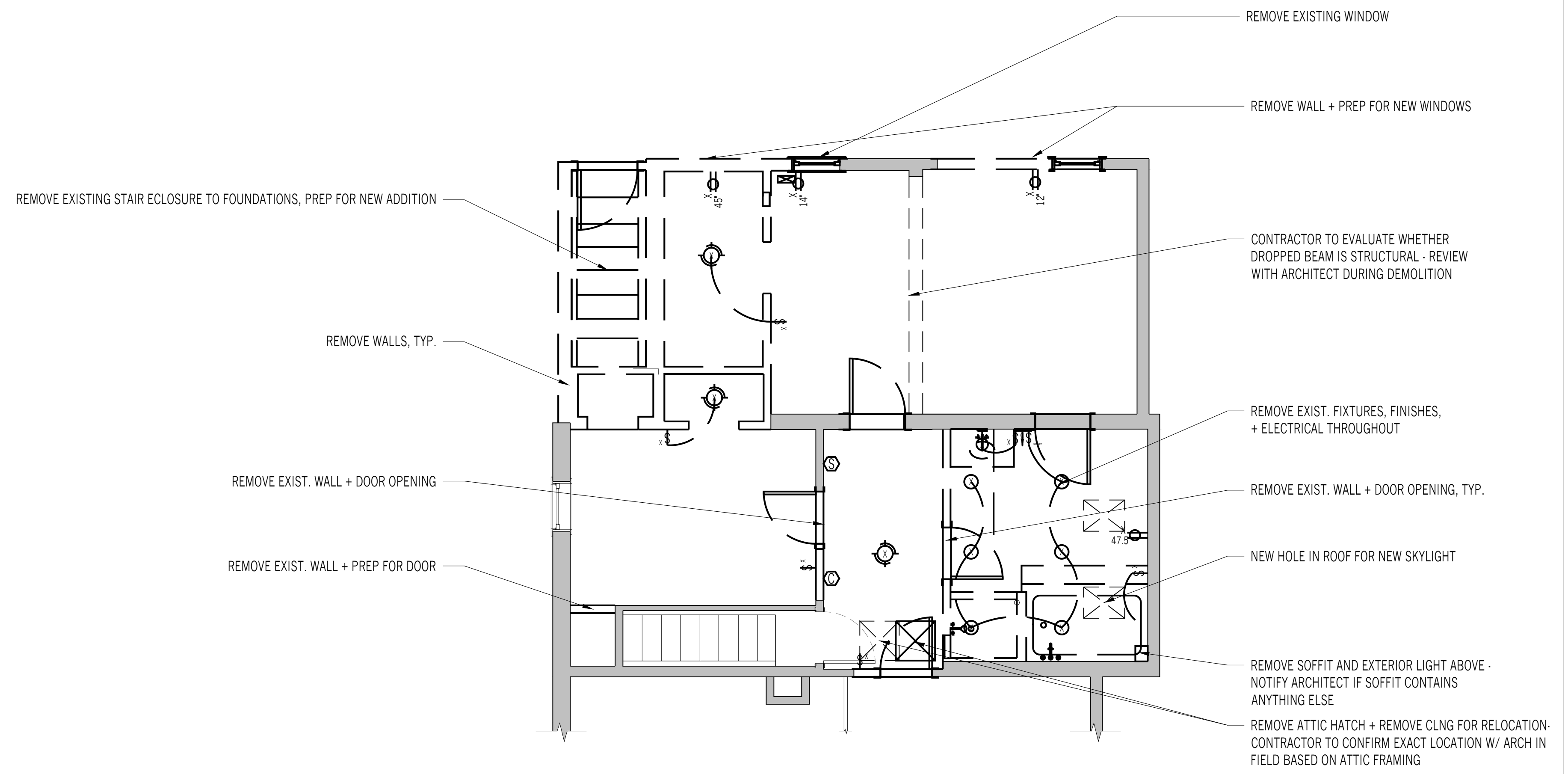


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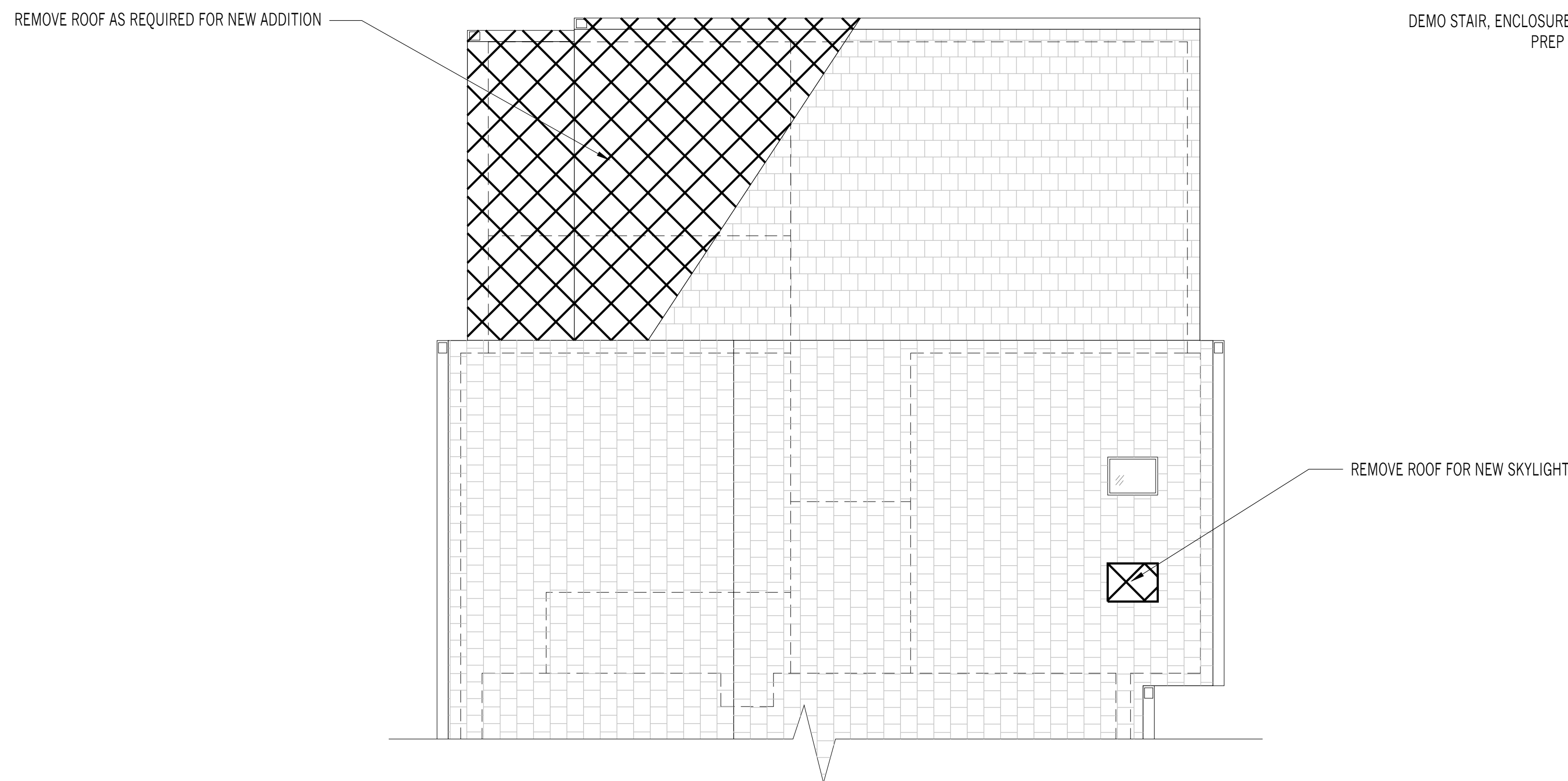
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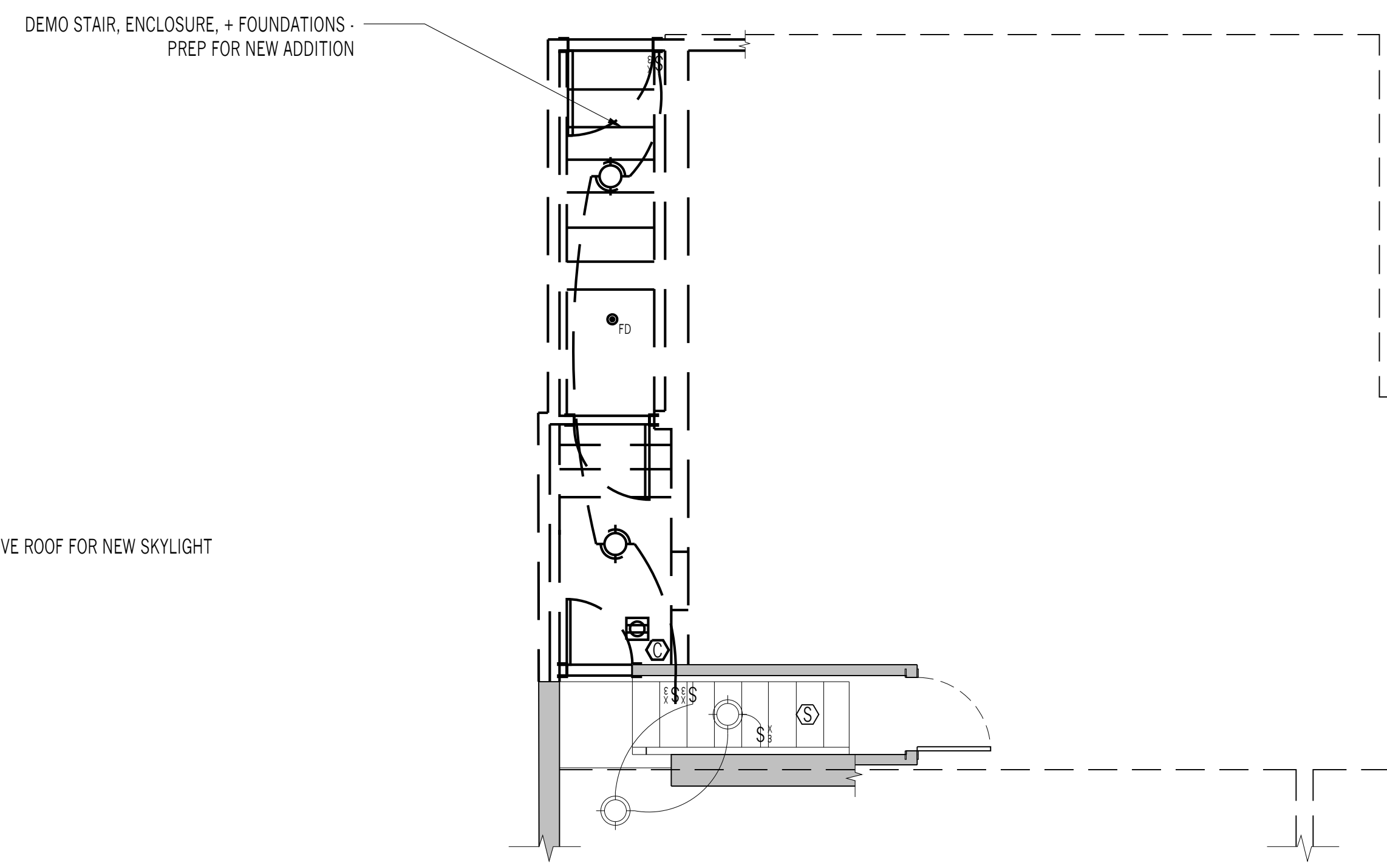
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02 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



03 ROOF PLAN
SCALE: 1/4" = 1'-0"



01 BASEMENT PLAN
SCALE: 1/4" = 1'-0"



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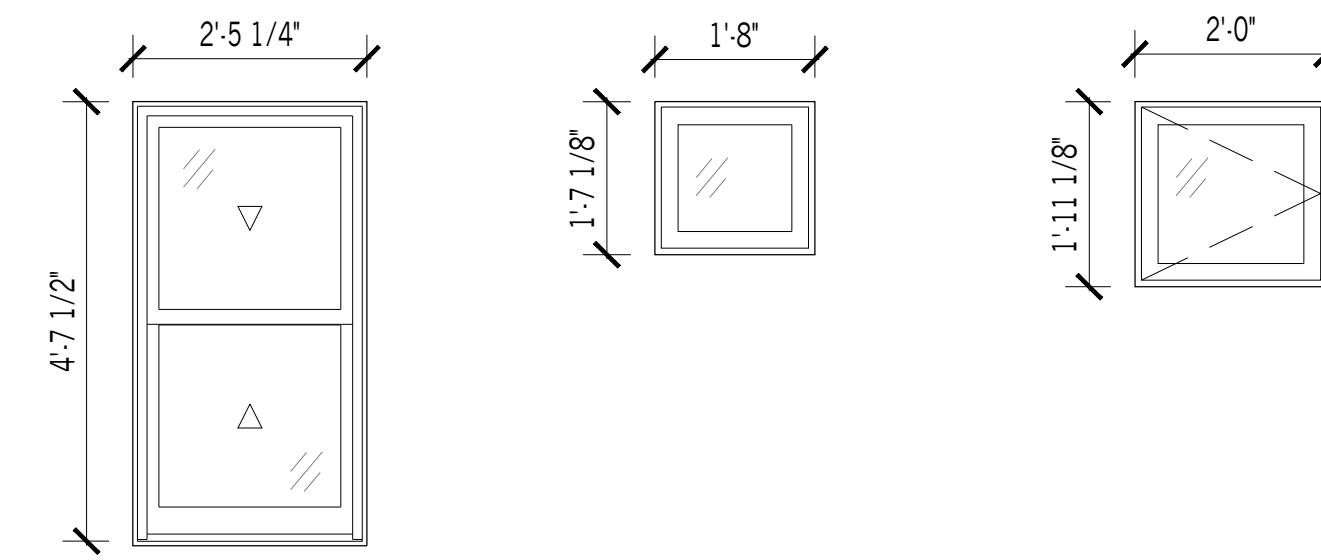
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DEMOLITION
PLANS

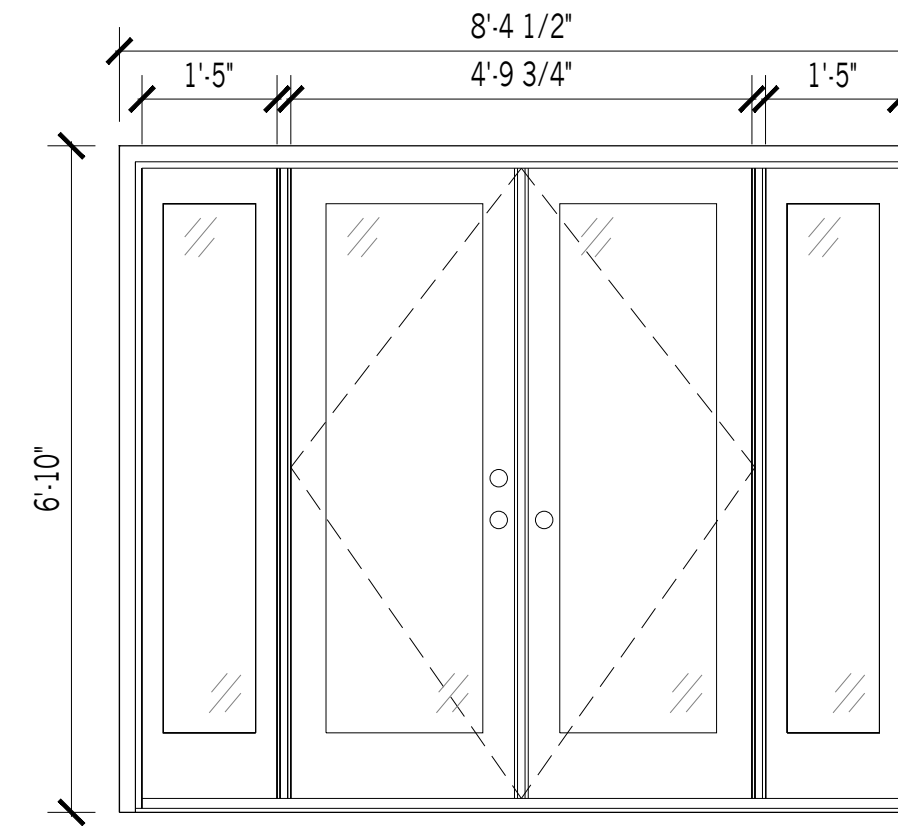
D-100

WINDOW SCHEDULE										
#	MANUFACTURER	MODEL/STYLE	SIZE		TYPE	FINISH			NOTES	
			W	H		INT	EXT	GLAZ		
WINDOWS										
W-01	MARVIN	ULTIMATE DOUBLE HUNG G2	2'-5 1/4"	4'-7 1/2"	A	BLACK	BLACK	DBL IGU LOW E W/ ARGON		
W-02	MARVIN	ULTIMATE DOUBLE HUNG G2	2'-5 1/4"	4'-7 1/2"	A	BLACK	BLACK	DBL IGU LOW E W/ ARGON		
W-03	MARVIN	ULTIMATE DOUBLE HUNG G2	2'-5 1/4"	4'-7 1/2"	A	BLACK	BLACK	DBL IGU LOW E W/ ARGON		
W-04	MARVIN	ULTIMATE CASEMENT	1'-8"	1'-7 1/8"	B	BLACK	BLACK	DBL IGU LOW E W/ ARGON		
W-05	MARVIN	ULTIMATE CASEMENT PUSH OUT	2'-0"	1'-11 1/8"	C	BLACK	BLACK	DBL IGU LOW E W/ ARGON		
W-06	MARVIN	ULTIMATE CASEMENT PUSH OUT	2'-0"	1'-11 1/8"	C	BLACK	BLACK	DBL IGU LOW E W/ ARGON		
W-07	MARVIN	ULTIMATE CASEMENT PUSH OUT	2'-0"	1'-11 1/8"	C	BLACK	BLACK	DBL IGU LOW E W/ ARGON		
W-08	VELUX	FS C03 FIXED SKYLIGHT	21-1/2"	27 3/8"	D	BLACK	BLACK	DBL IGU LOW E W/ ARGON		

DOOR SCHEDULE										
#	MANUFACTURER	MODEL/STYLE	SIZE		TYPE	FINISH			NOTES	
			W	H		INT	EXT	GLAZ		
EXTERIOR DOORS										
D-01	MARVIN	ULTIMATE INSWING FRENCH DOUBLE DOOR W/ TALL BOTTOM RAIL + TWO SIDELIGHTS	8'-4 1/2"	6'-10"	A	BLACK	BLACK	DBL IGU LOW E W/ ARGON		



01 WINDOW TYPE A SCALE: 1/2" = 1'-0" 02 WINDOW TYPE B SCALE: 1/2" = 1'-0" 03 WINDOW TYPE C SCALE: 1/2" = 1'-0"



01 DOOR TYPE A SCALE: 1/2" = 1'-0"



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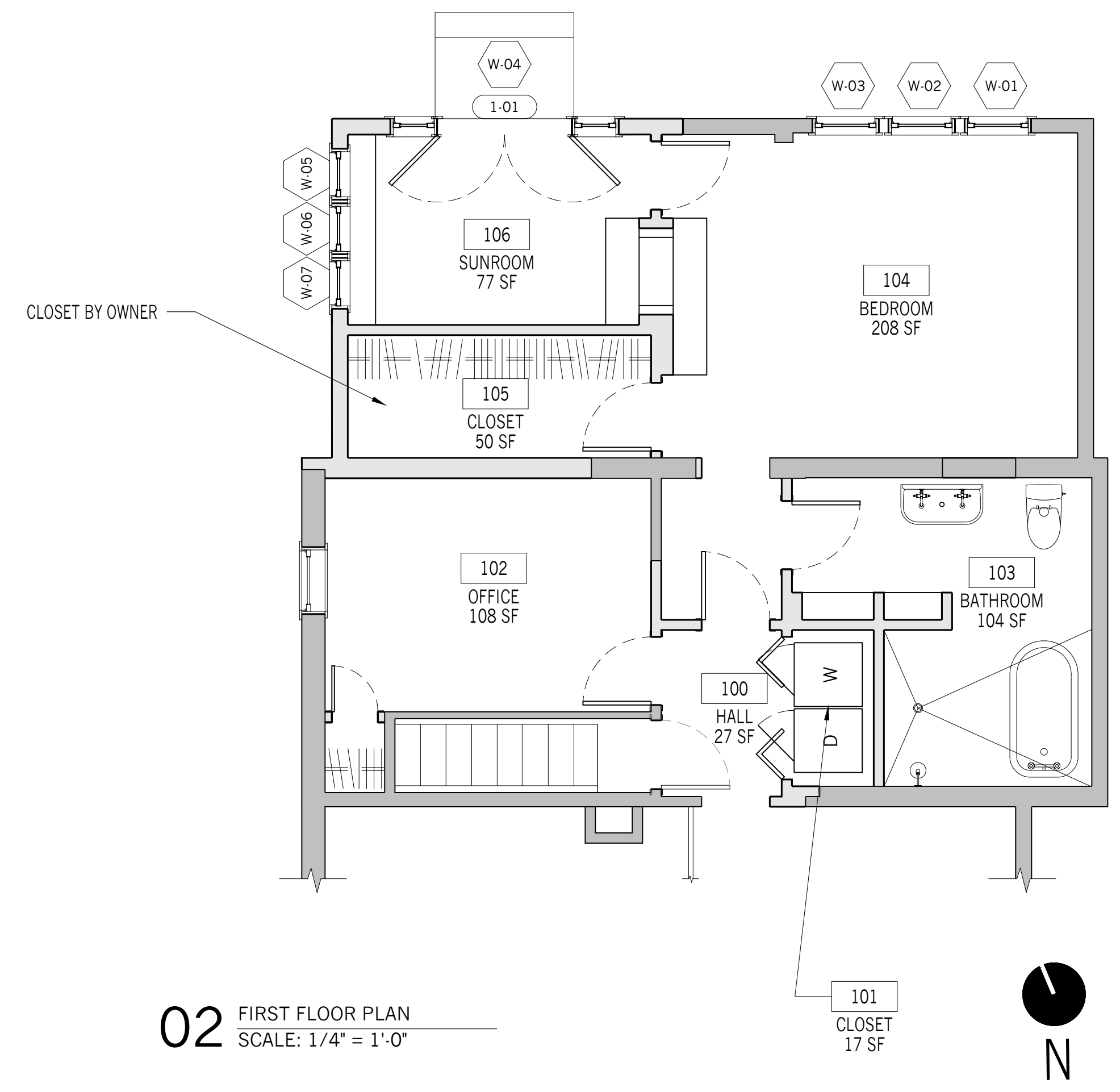
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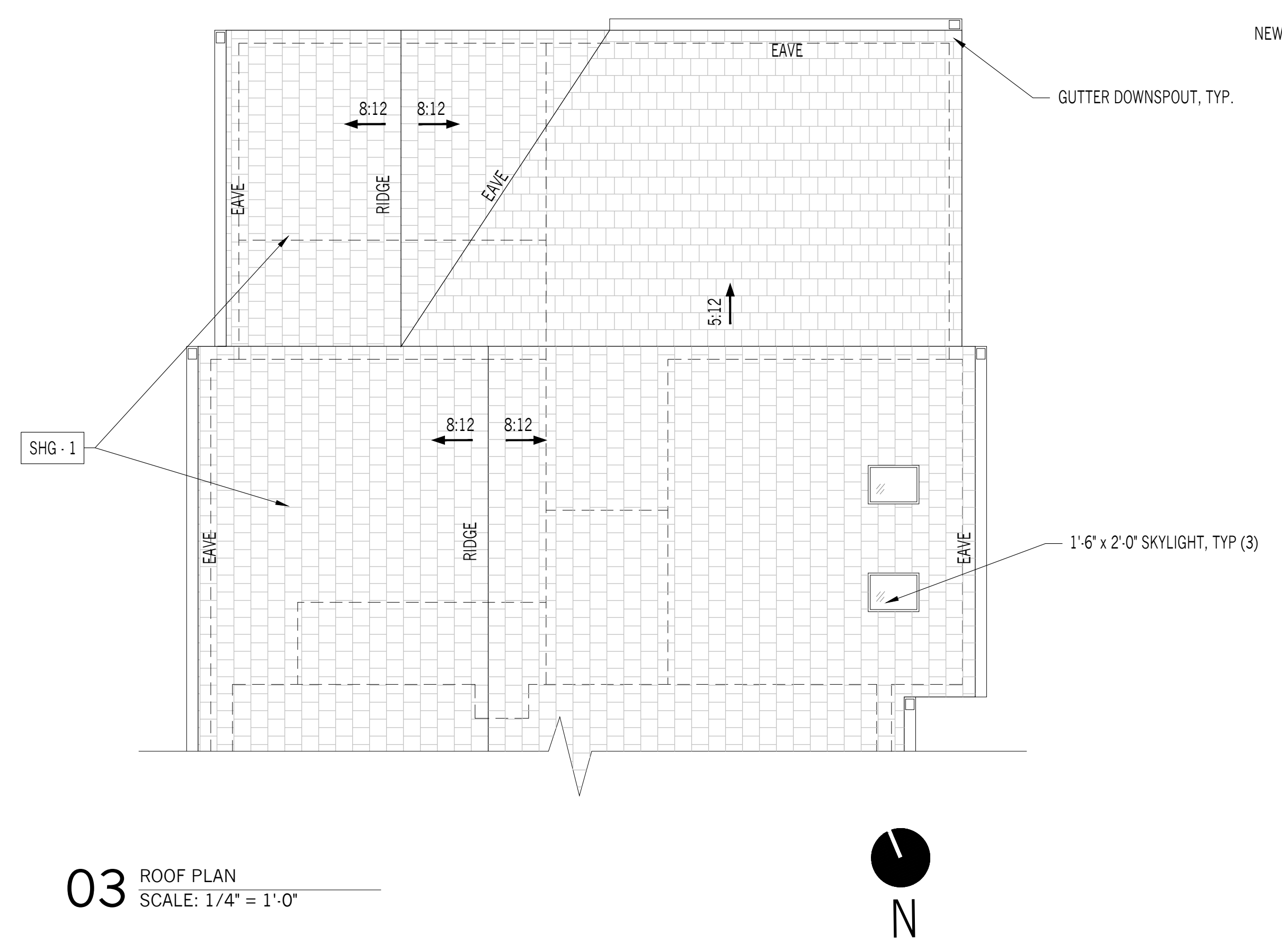
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SCHEDULES

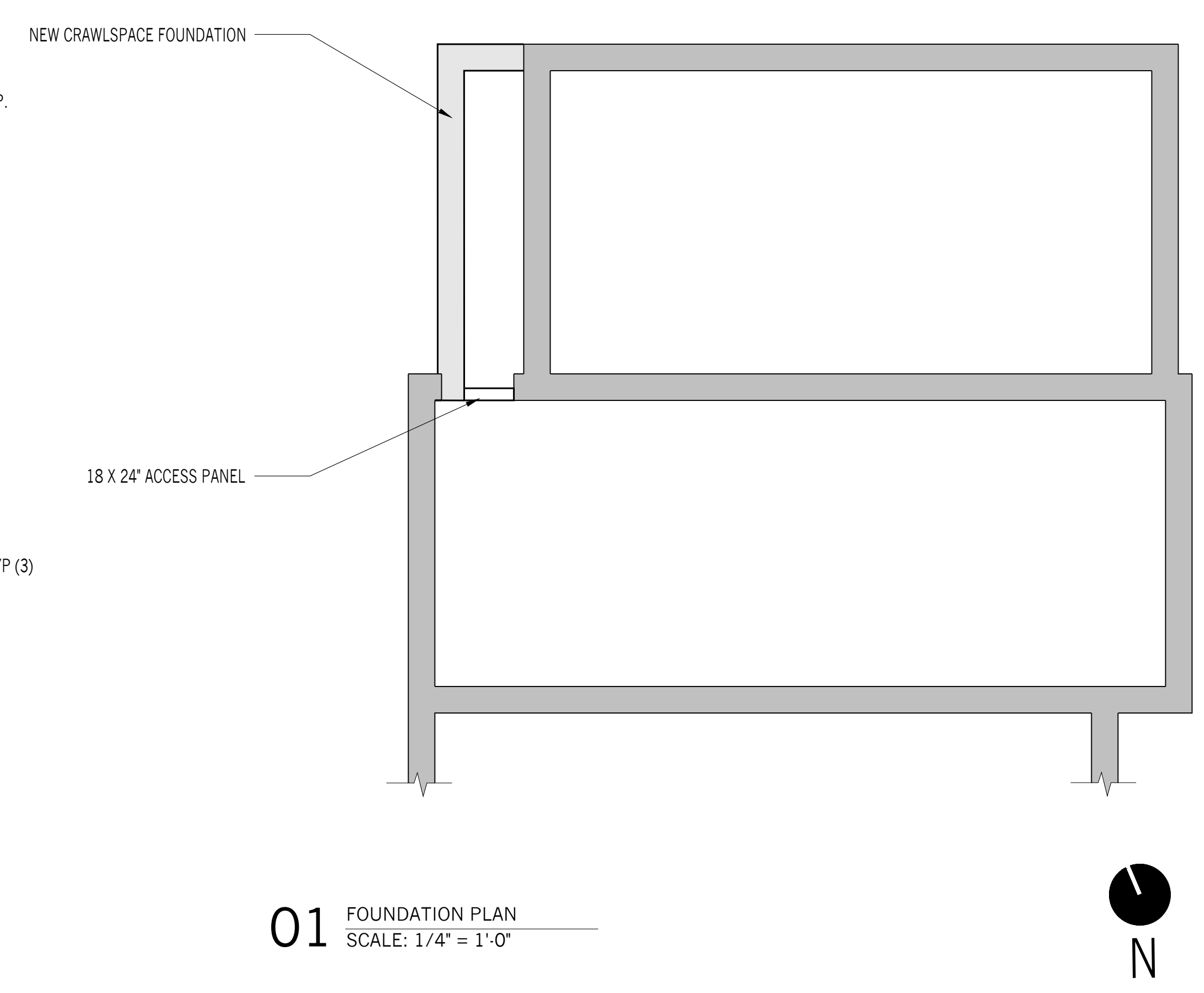
A-000



02 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



03 ROOF PLAN
 SCALE: 1/4" = 1'-0"



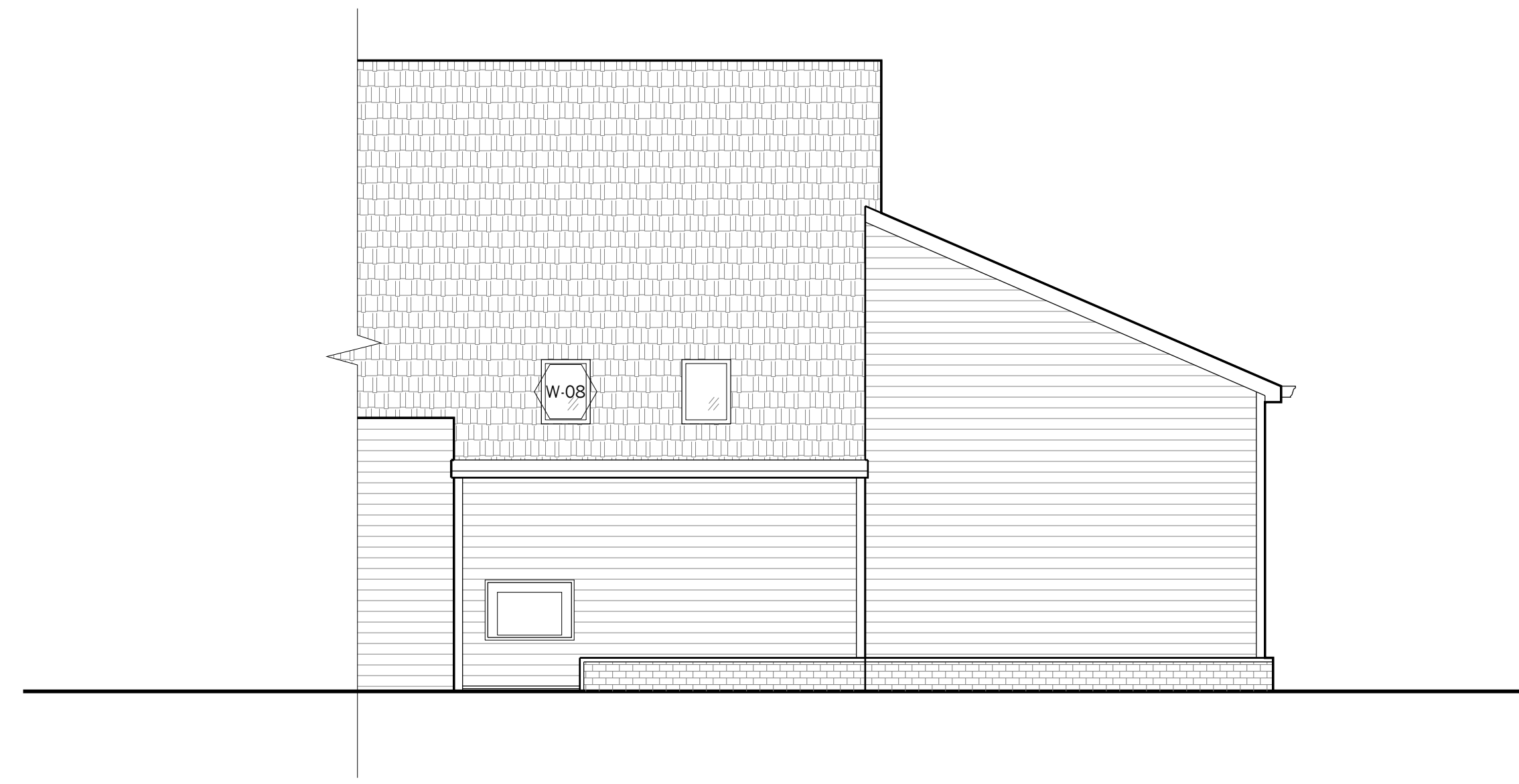
01 FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

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FLOOR, ROOF & FOUNDATION PLANS



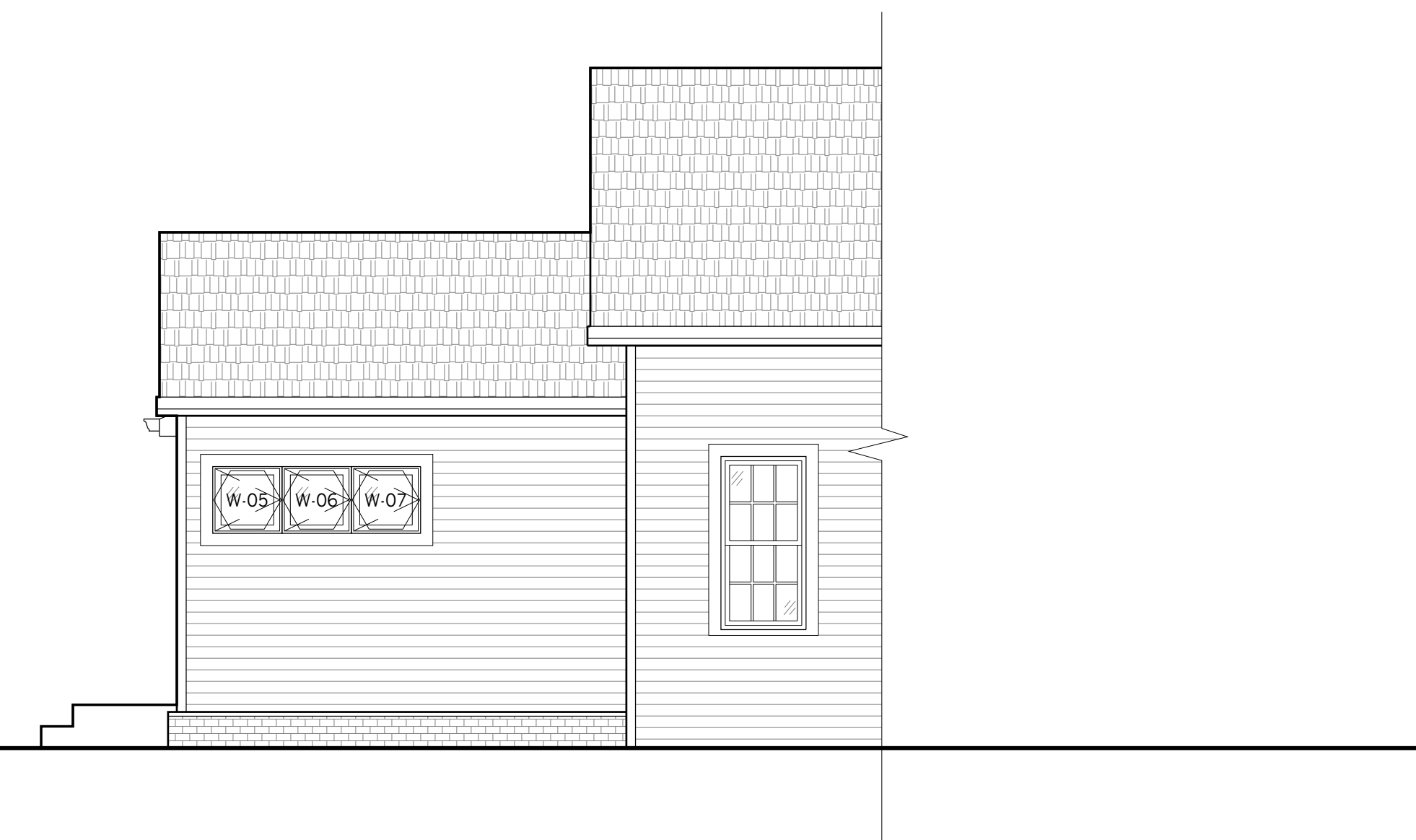
03 WEST ELEVATION
SCALE: 1/4" = 1'-0"

- T.O. GABLE
EL: 14'-10 3/4"
- WINDOW HEADER
EL: 10'-9"
- WEST EAVE
EL: 8'-3 1/2"
- EAST EAVE
EL: 7'-11 1/2"
- DOOR HEADER
EL: 6'-9 1/2"
- WINDOW HEADER
EL: 6'-8"
- 1F FLOOR
EL: 0'-0"
- GRADE
EL: 1'-5 1/2"



02 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

- WINDOW HEADER
EL: 6'-8"
- 1F FLOOR
EL: 0'-0"
- GRADE
EL: 1'-5 1/2"



01 EAST ELEVATION
SCALE: 1/4" = 1'-0"

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EXTERIOR ELEVATIONS

A-300