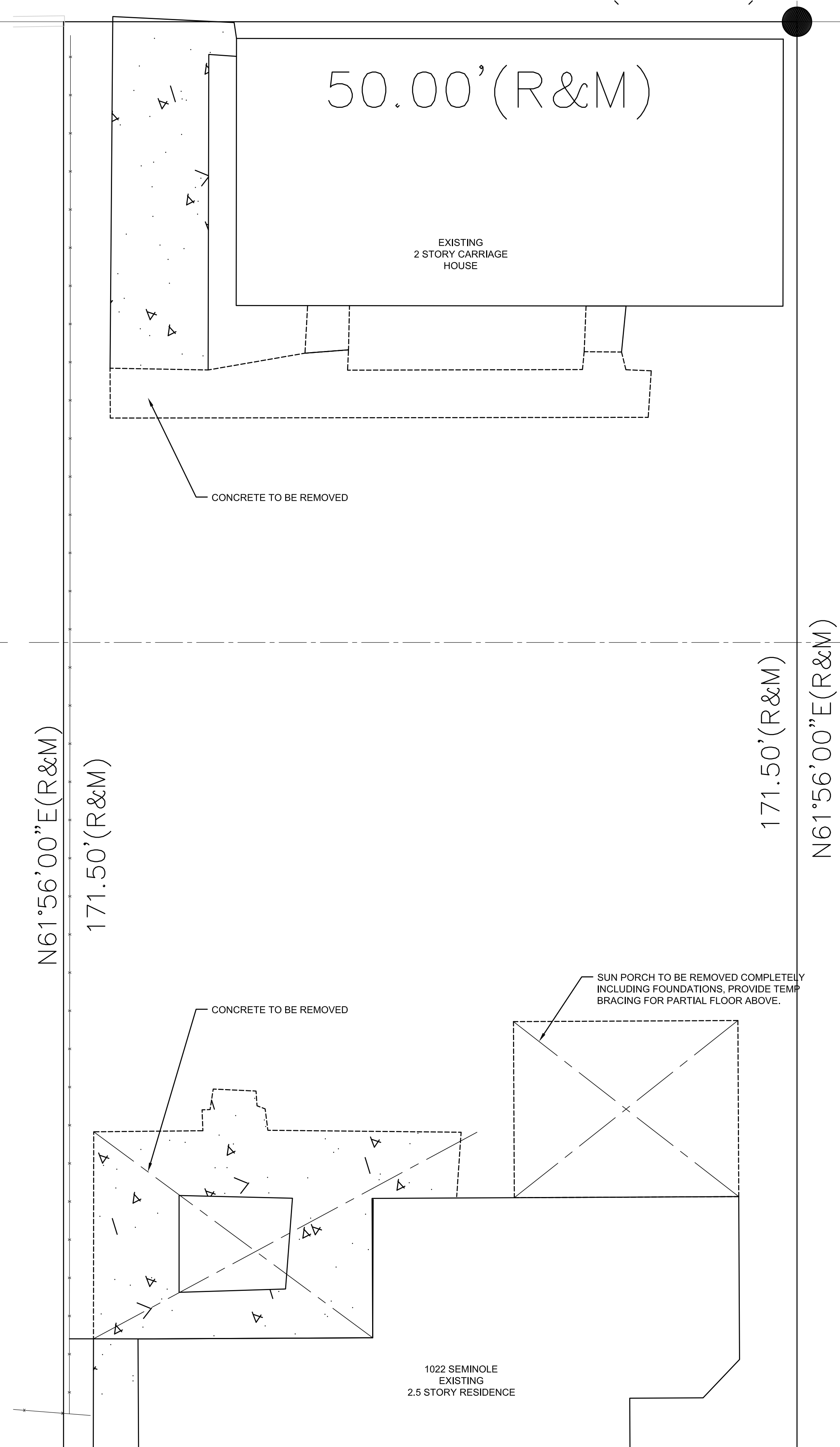
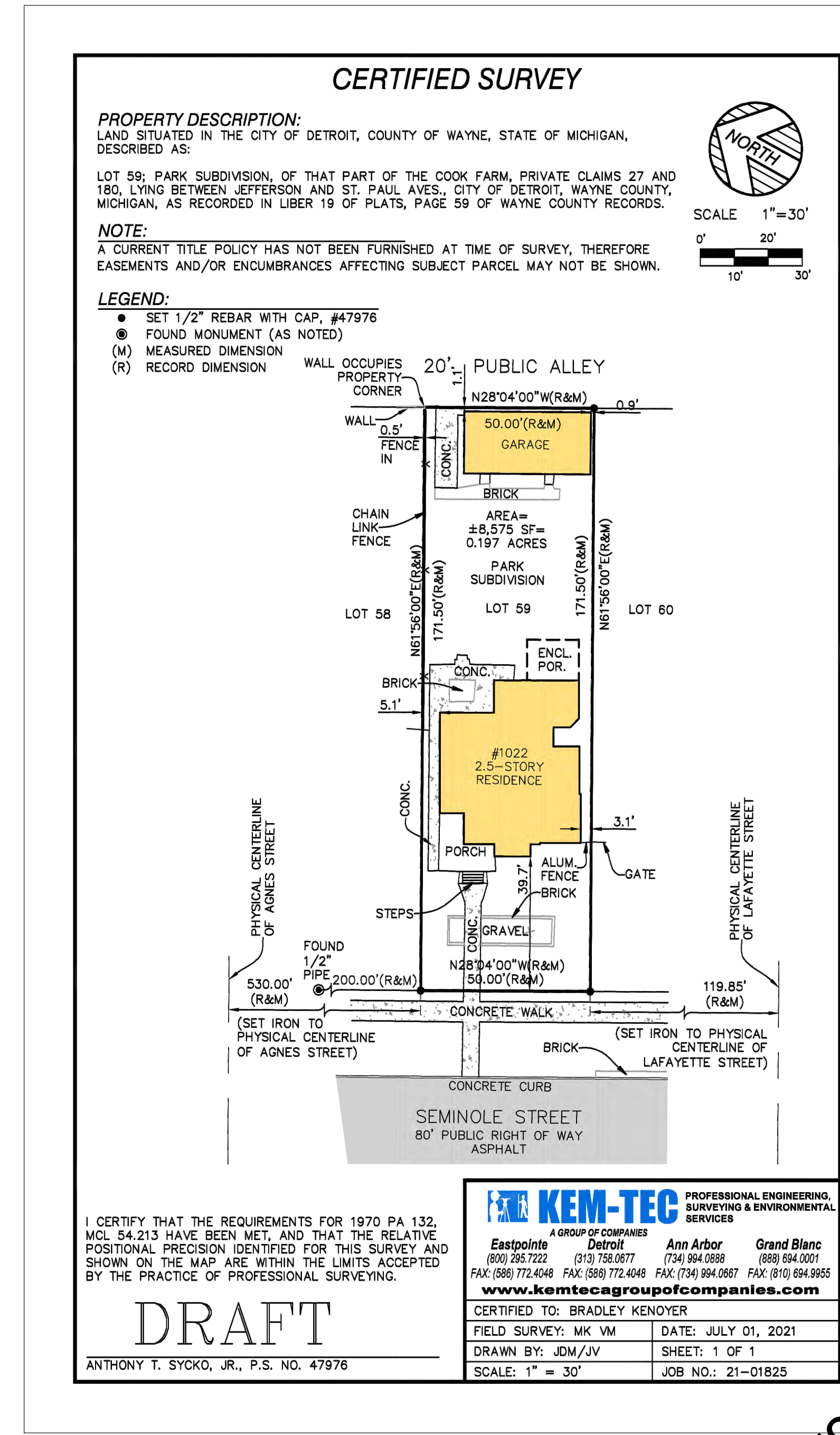


BACKYARD NEW WORK SITE PLAN
SCALE: 1"=5'-0"



BACKYARD SITE DEMOLITION PLAN
SCALE: 1"=5'-0"



I CERTIFY THAT THE REQUIREMENTS FOR 1970 PA 132, MCL 54.213 HAVE BEEN MET, AND THAT THE RELATIVE POSITIONAL PRECISION IDENTIFIED FOR THIS SURVEY AND SHOWN ON THE MAP ARE WITHIN THE LIMITS ACCEPTED BY THE PRACTICE OF PROFESSIONAL SURVEYING.

DRAFT

ANTHONY T. SYCKO, JR., P.S. NO. 47976

KEM-TEC PROFESSIONAL ENGINEERING SURVEYING & ENVIRONMENTAL SERVICES

A GROUP OF COMPANIES

Eastpointe (800) 295.7222 FAX: (888) 772.4048	Detroit (313) 752.0677 FAX: (888) 772.4048	Ann Arbor (734) 994.0888 FAX: (734) 994.0887	Grand Blanc (888) 694.0001 FAX: (810) 694.9955
--	---	---	---

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CERTIFIED TO: BRADLEY KENOYER

FIELD SURVEY: MK VM	DATE: JULY 01, 2021
DRAWN BY: JDM/JV	SHEET: 1 OF 1
SCALE: 1" = 30'	JOB NO.: 21-01825

Project :

**KENOYER RESIDENCE
EXTERIOR RENOVATION
1022 SEMINOLE ST.
DETROIT, MI 48214**

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TRF

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Sheet Title :
**ARCHITECTURAL
SITE PLAN**

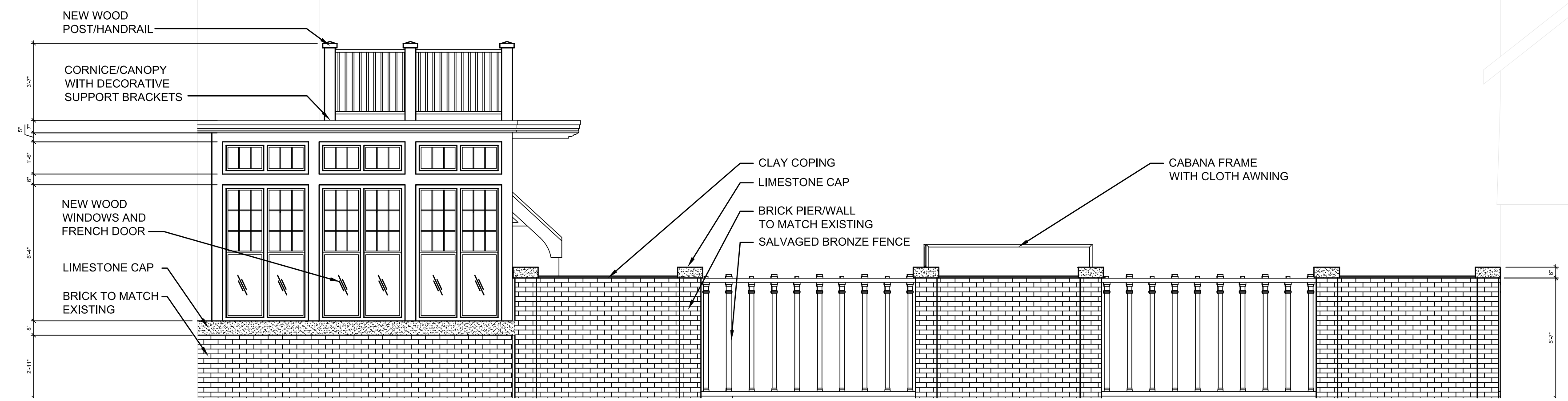
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2021015

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SP1.1

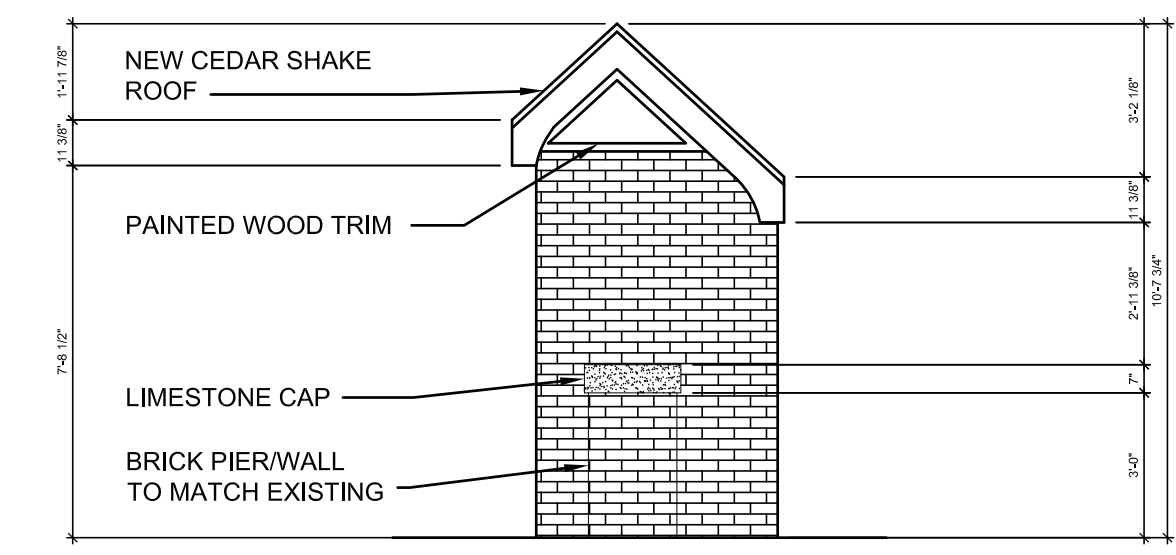


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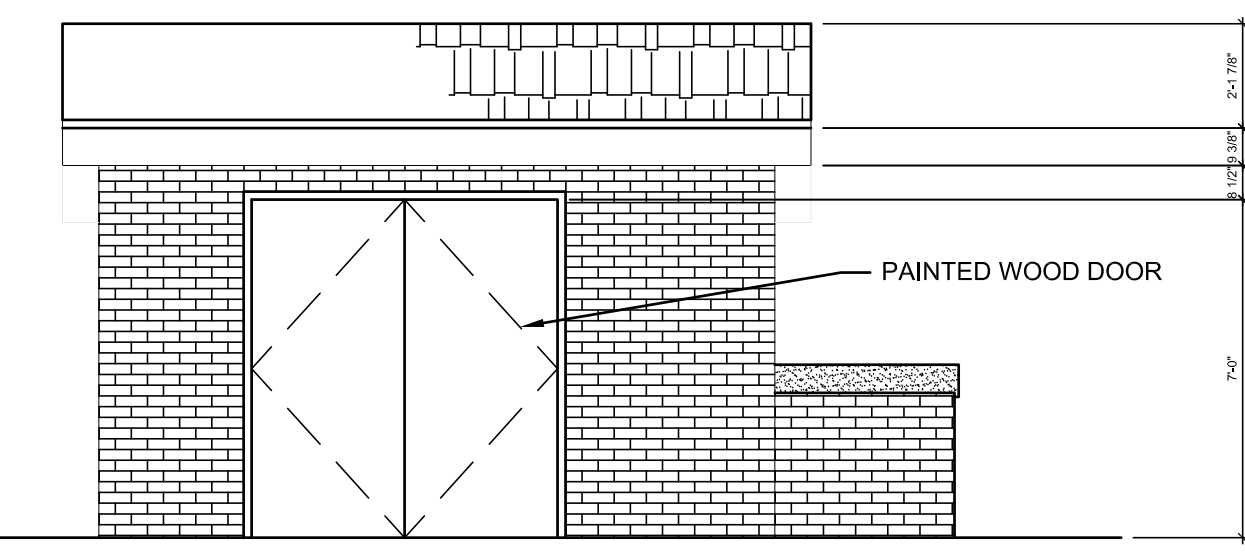
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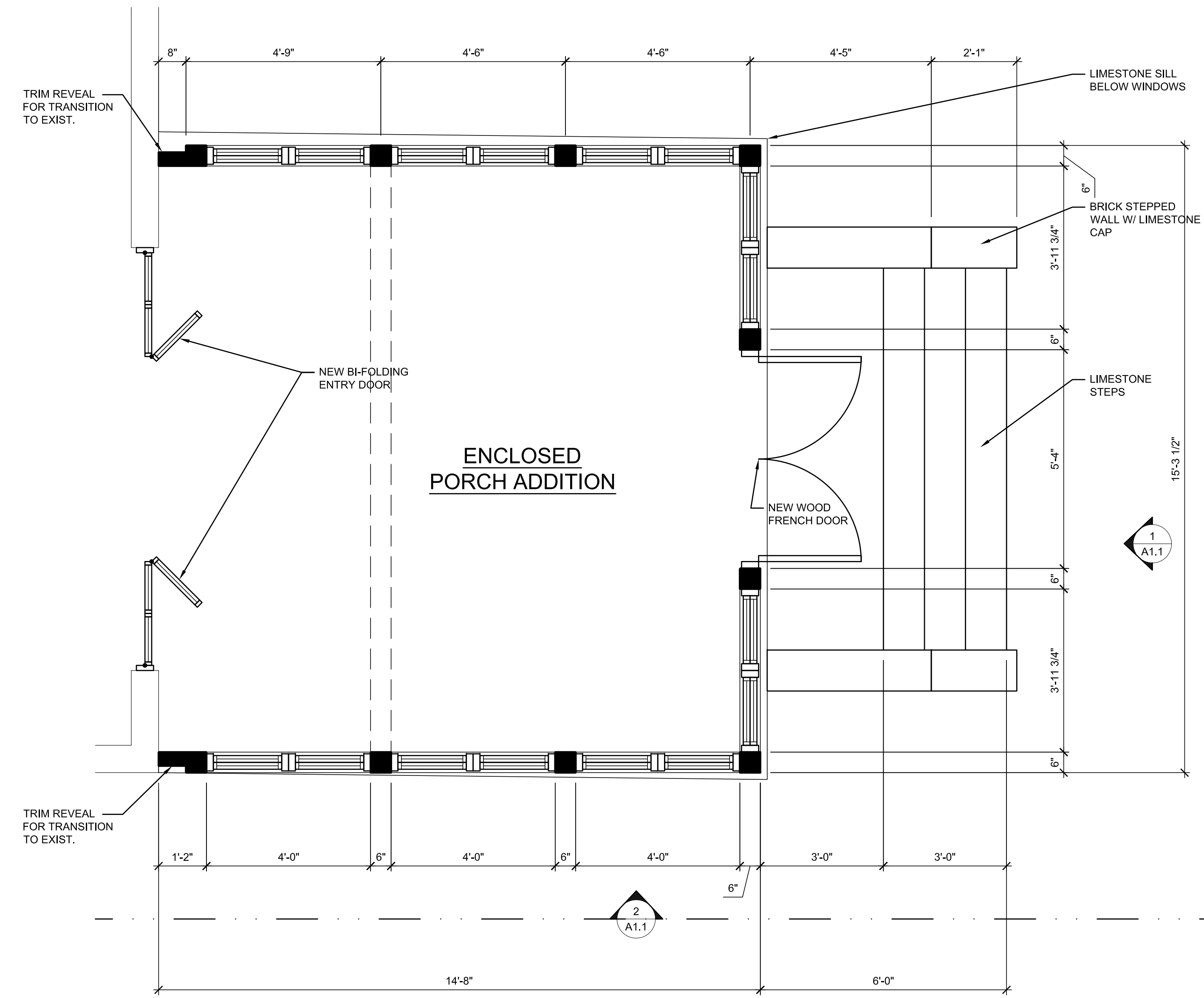
2 SOUTH ELEVATION
 A1.1 SCALE: 1/4"=1'-0"



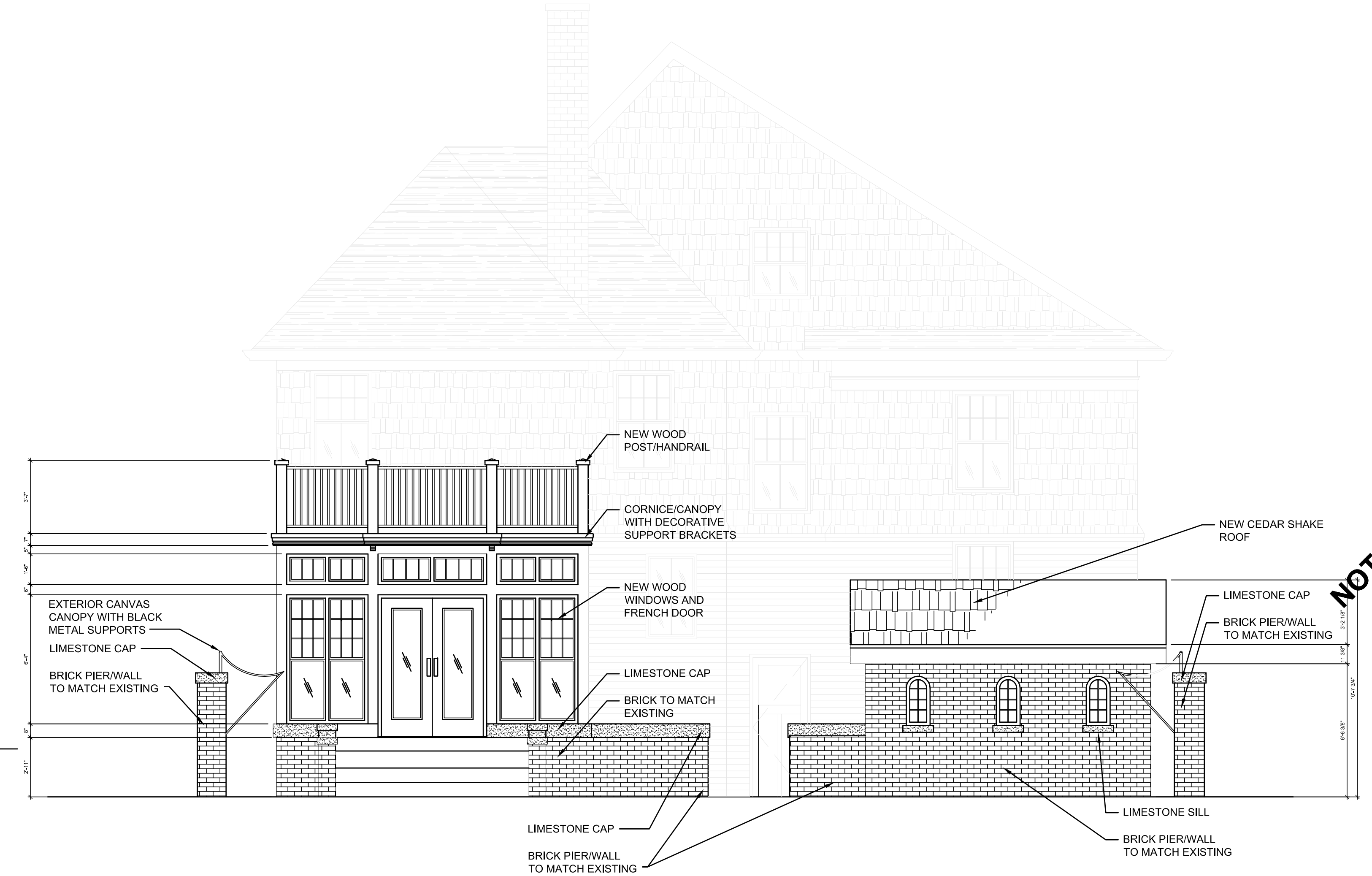
3 SOUTH SHED ELEVATION
 A1.1 SCALE: 1/4"=1'-0"



4 WEST SHED ELEVATION
 A1.1 SCALE: 1/4"=1'-0"



FIRST FLOOR PLAN
 SCALE: 1/2"=1'-0"



1 WEST ELEVATION
 A1.1 SCALE: 1/4"=1'-0"



2 EXISTING EAST ELEVATION
 A1.1 SCALE: 1/4"=1'-0"



1 PROPOSED EAST ELEVATION
 A1.1 SCALE: 1/4"=1'-0"

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 3011 W. GRAND BLVD
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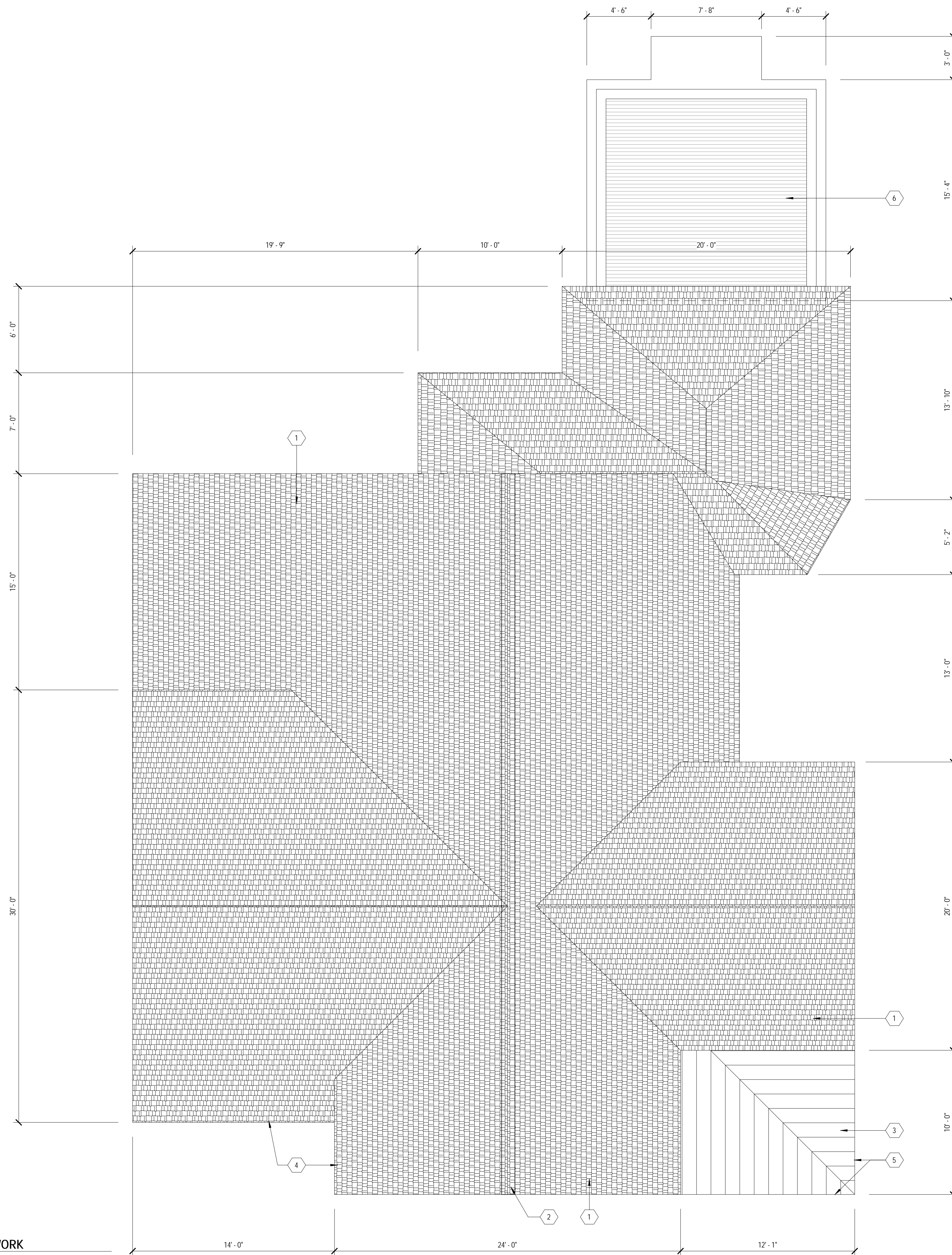
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Sheet Title :
 ELEVATION
 COMPARISON

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 2021015

Sheet No. :
A1.2

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1 ROOF PLAN - NEW WORK
SCALE: 1/4" = 1'-0"

GENERAL EXTERIOR DEMOLITION / REPAIR NOTES:

1. CONTRACTOR TO PERFORM ALL EXTERIOR MAINTENANCE REQUIRED USING SAME/SIMILAR MATERIAL TO PRESERVE EXISTING HISTORICAL DETAILS, FORMS, SHAPES, TRIM, AND COLORS
2. SURVEY TO BE PERFORMED OF EXTERIOR BRICK FACING AS TO ITS CONDITION AND MAKE ANY RECOMMENDATIONS FOR REPAIRS TO CONDITIONS IN NEED OF REPAIR.
3. COLOR AND/OR MATERIAL CHANGES MAY BE SUBJECT TO APPROVAL BY CITY HISTORIC COMMISSION.
4. CONTRACTOR TO REMOVE ALL EXISTING WOOD SIDING.
5. SURVEY TO BE PERFORMED OF ALL EXISTING WOOD TRIM, SOFFITS, AND FASCIAS TO DETERMINE EXTENT THAT CAN BE SALVAGED AND REPAIRED VS. REPLACED. ANY NEW WOOD TRIM TO BE OF SAME MATERIAL AND PROFILE TO PRESERVE EXISTING HISTORICAL DETAILS.
6. CONTRACTOR TO SURVEY ALL EXISTING WINDOWS AND PROVIDE COST ESTIMATE FOR REMOVAL, REFURBISHMENT, AND REINSTALLATION.

ROOF KEY NOTES:

(TYPICAL THIS SHEET ONLY)

- 1 NEW CEDAR SHAKE ROOFING ON ROOFING PAPER AND ICE/WATER SHEILD ON NEW 3/4" PLYWOOD SHEATHING.
- 2 RIDGE VENT WITH CEDAR SHAKE RIDGE CAP
- 3 NEW COPPER STANDING SEAM ROOFING ON NEW ROOFING PAPER AND ICE/WATER SHEILD ON NEW 3/4" PLYWOOD SHEATHING.
- 4 NEW COPPER GUTTER AND DOWNSPOUTS. EXISTING WOOD FASCIA TO REMAIN. REPAIR/REPLACE FASCIA AS REQUIRED USING LIKE MATERIALS WITH MATCHING PROFILES. DOWNSPOUT LOCATIONS TO MATCH EXISTING.
- 5 NEW INTERGRATED COPPER GUTTER AND DOWNSPOUTS. PROFILE TO MATCH EXISTING. DOWNSPOUT LOCATIONS TO MATCH EXISTING.
- 6 NEW ROOF DECK ON ROOF OF REBUILT REAR 4 SEASON PORCH. WOOD DECKING AND SLEEPERS ON MEMBRANE ROOF. REFER TO PLANS AND ELEVATIONS FOR DETAILS.

CONSULTANT:

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ROOF PLAN

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A1.2

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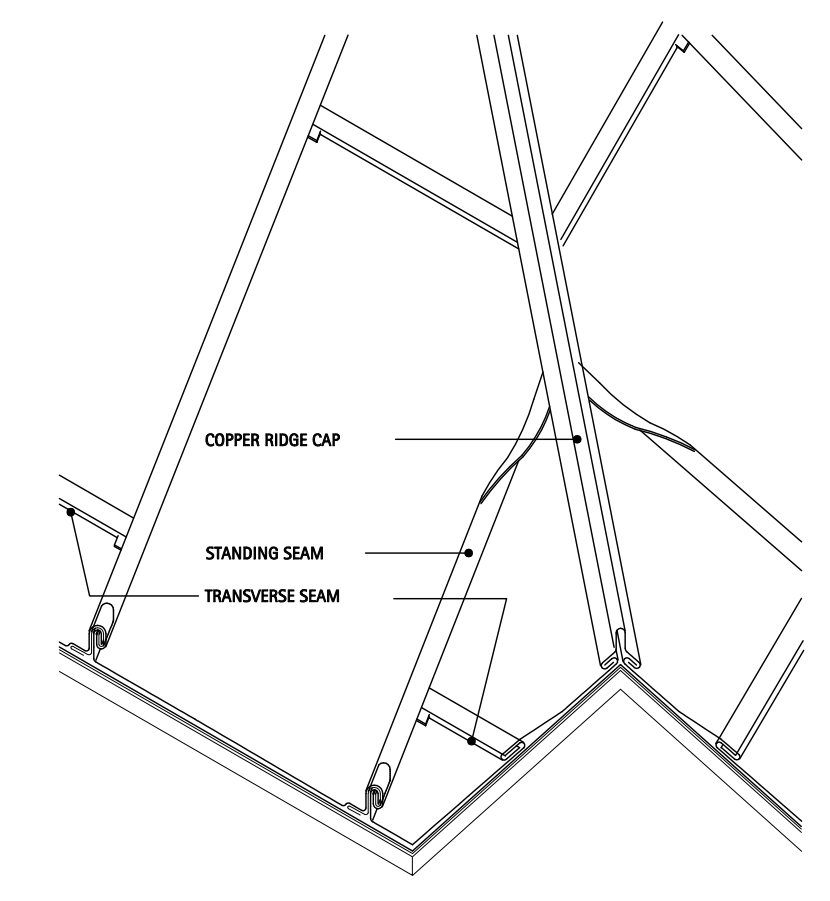
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 ROOF DETAILS

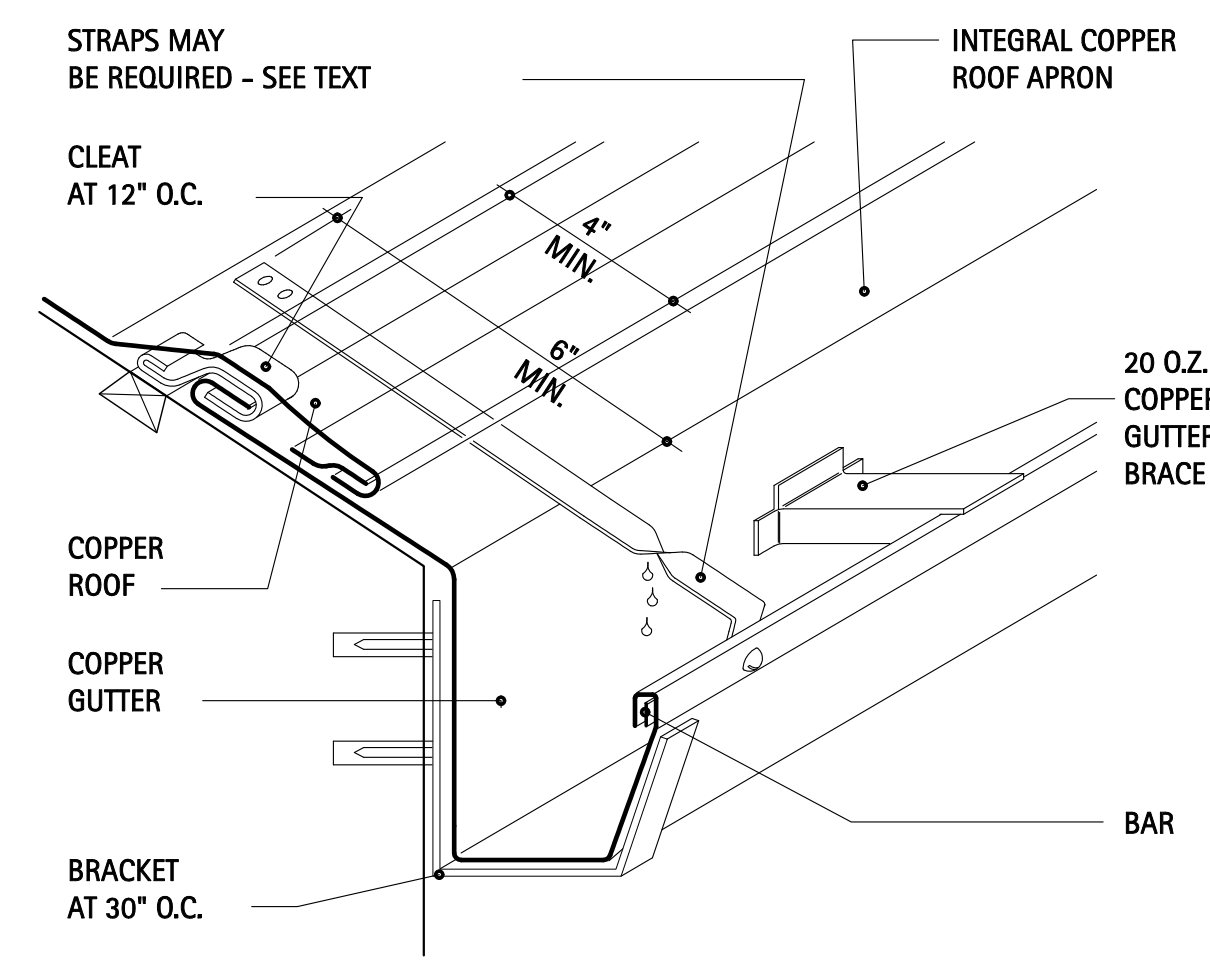
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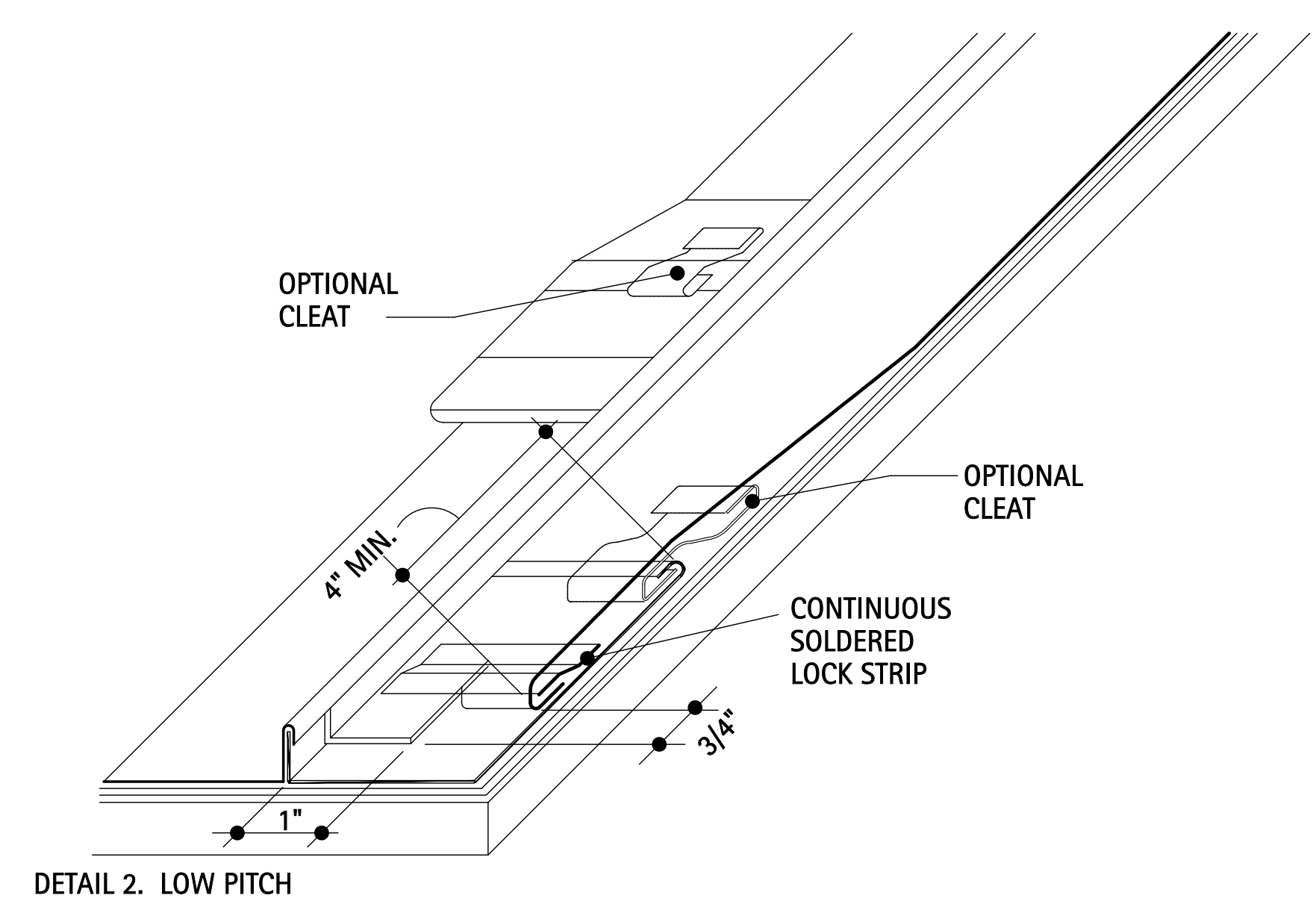
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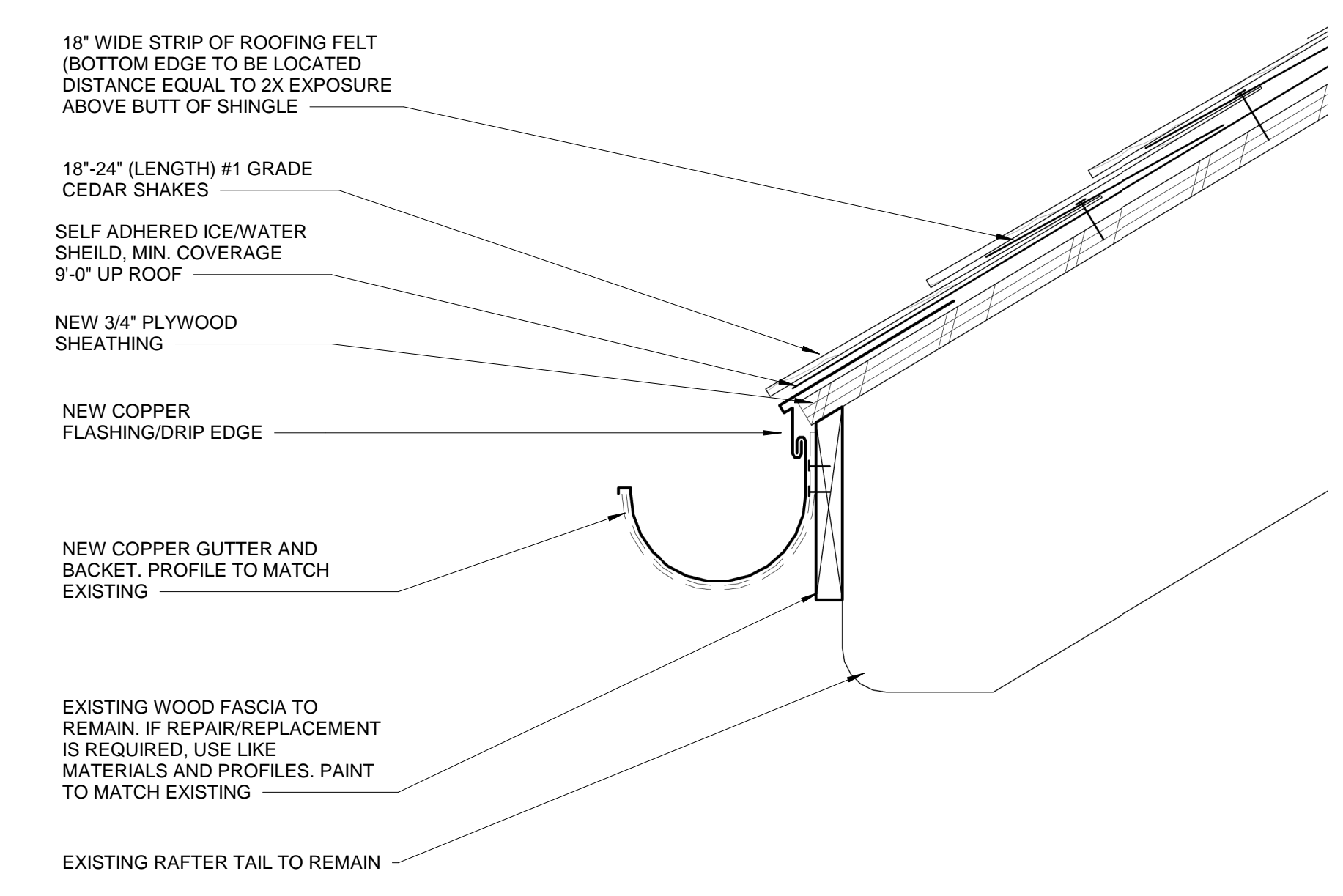
4 COPPER RIDGE CAP / STANDING SEAM DETAIL



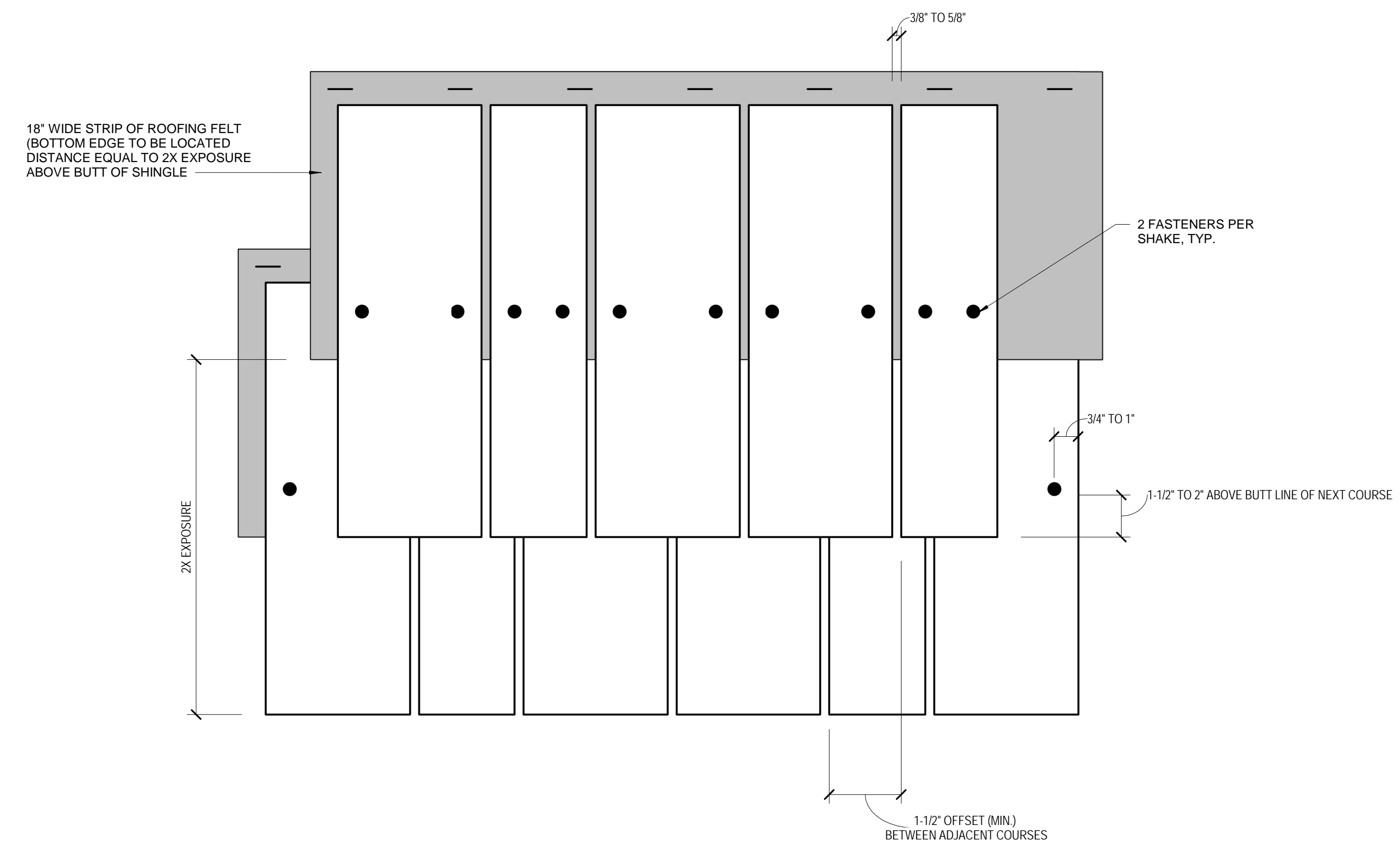
4 INTEGRATED COPPER GUTTER DETAIL



3 COPPER STANDING SEAM JOINT DETAIL



2 TYPICAL EAVE DETAIL AT CEDAR SHAKE ROOF
 SCALE: 3" = 1'-0"



1 CEDAR SHAKE TYPICAL INSTALLATION
 SCALE: 3" = 1'-0"

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SHINDER STRIP LOCATION

GENERAL EXTERIOR DEMOLITION / REPAIR NOTES:

1. CONTRACTOR TO PERFORM ALL EXTERIOR MAINTENANCE REQUIRED USING SAME/SIMILAR MATERIAL TO PRESERVE EXISTING HISTORICAL DETAILS, FORMS, SHAPES, TRIM, AND COLORS
2. SURVEY TO BE PERFORMED OF EXTERIOR BRICK FACING AS TO ITS CONDITION AND MAKE ANY RECOMMENDATIONS FOR REPAIRS TO CONDITIONS IN NEED OF REPAIR.
3. COLOR AND/OR MATERIAL CHANGES MAY BE SUBJECT TO APPROVAL BY CITY HISTORIC COMMISSION.
4. CONTRACTOR TO REMOVE ALL EXISTING WOOD SIDING.
5. SURVEY TO BE PERFORMED OF ALL EXISTING WOOD TRIM, SOFFITS, AND FASCIAS TO DETERMINE EXTENT THAT CAN BE SALVAGED AND REPAIRED VS. REPLACED. ANY NEW WOOD TRIM TO BE OF SAME MATERIAL AND PROFILE TO PRESERVE EXISTING HISTORICAL DETAILS.
6. CONTRACTOR TO SURVEY ALL EXISTING WINDOWS AND PROVIDE COST ESTIMATE FOR REMOVAL, REFURBISHMENT, AND REINSTALLATION.

EXTERIOR REPAIR KEY NOTES:

(TYPICAL THIS SHEET ONLY)

1. TEAR OFF EXISTING ASPHALT SHINGLE ROOF AND SHEATHING COMPLETE.
2. DEMOLISH EXISTING REAR PORCH COMPLETE.
3. CONSTRUCT NEW REAR 4-SEASON PORCH. REFER TO ARCHITECTURAL PLANS AND ELEVATIONS.
4. INSTALL NEW CEDAR SHAKE ROOF ON ROOFING PAPER AND ICE/WATER SHIELD ON 3/4" PLYWOOD SHEATHING
5. INSTALL NEW COPPER DRIP EDGE/FLASHING AND COPPER GUTTERS AND DOWNSPOUTS. GUTTER PROFILE TO MATCH EXISTING. DOWNSPOUT LOCATIONS TO MATCH EXISTING.
6. INSTALL NEW COPPER STANDING SEAM ROOFING ON ROOFING PAPER AND ICE/WATER SHIELD ON 3/4" PLYWOOD SHEATHING

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 ELEVATIONS AND
 WORK NOTES

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Sheet No. :

A3.1



WEST (FRONT) ELEVATION
 NOT TO SCALE



EAST (REAR) ELEVATION
 NOT TO SCALE



REAR PORCH NORTH (SIDE) ELEVATION
 NOT TO SCALE

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