

## Description of current condition/Scope of Work:

- New windows have been installed throughout the entire home. Some of the new windows were installed without a COA while most windows have received a COA for replacement. A permit was not issued before replacement.
  - Not all windows have been replaced/repared as of today. We are in the process of replacing the remaining approved windows. The first floor windows on the front of the home are unchanged as of yet. We are on schedule with a restoration company and the plan here is to repair.
- In regards to the third floor windows that were previously approved for replacement at the 2020 meeting:
  - The designation photo provided by Audra on August 4 2021, is the first time we are seeing this photo. In all of the research we performed on the home, this never came up. Nor was it mentioned when we had these window replacements approved in the 2020 meeting. If we had known the mutton patterns were diamond shape, we certainly would have replicated that. We are as dedicated and invested as anyone to retain as much historical character and accuracy to this home.
  - The diamond mutton pattern windows were removed before we purchased the home in 2019. The 1 over 1 vinyl windows were there when we purchased the home but we did not feel that 1 over 1 would have been the original look based on other homes on the street. We did our best to guess what was originally there since we had not seen the photo from 1982.
  - To reiterate, the third floor replacement windows were discussed and approved at the 2020 meeting.
- New brick molding has been custom milled and purchased to match existing brick molding and will complete the window replacement. It has yet to be installed.
- The new windows are Pella Architect Traditional Series. All are double hung, some with 1 over 1 patterns, others with divided light 16 over 1 and 9 over 1. All windows are a replica of the previous deteriorated window. The exterior is black clad and the interior is stained wood. The grilles are Ogee Integral Light Technology in 7/8". The panes are Insulated Dual Low-E Glass.
- Windows Replaced
  1. 9 over 1 divided light, double hung window; south elevation
    - a. Replaced with Pella Architect Traditional Series 9 over 1 divided light, double hung window
  2. 9 over 1 divided light, double hung window; south elevation
    - a. Replaced with Pella Architect Traditional Series 9 over 1 divided light, double hung window
  3. 9 over 1 divided light, double hung window; south elevation
    - a. Replaced with Pella Architect Traditional Series 9 over 1 divided light, double hung window
  4. 9 over 1 divided light, double hung window; south elevation
    - a. Replaced with Pella Architect Traditional Series 9 over 1 divided light, double hung window

5. 9 over 1 divided light, double hung window; south elevation
  - a. Replaced with Pella Architect Traditional Series 9 over 1 divided light, double hung window
6. 16 over 1 divided light, double hung window; east elevation
  - a. Replaced with Pella Architect Traditional Series 16 over 1 divided light, double hung window
7. 16 over 1 divided light, double hung window; south elevation
  - a. Replaced with Pella Architect Traditional Series 16 over 1 divided light, double hung window
8. 16 over 1 divided light, double hung window; west elevation
  - a. Replaced with Pella Architect Traditional Series 16 over 1 divided light, double hung window
9. 16 over 1 divided light, double hung window; south elevation
  - a. Replaced with Pella Architect Traditional Series 16 over 1 divided light, double hung window

Description of project:

- 80% of windows had previous HDC approval for replacement. When our contractor/ crew began replacing approved windows- they noted most windows needed to be re-framed. When the crew attempted to remove 'unapproved' windows for repair, the same issues of reframing ensued. Several windows exhibited soft or molded wood, broken glass, absent or loose glazing, damaged/missing divided light mullions. Almost every window was painted shut and endured structural damage to the sash upon removal.
- When we originally were researching the cost of repairing the windows we realized we would need to also get storm windows as the existing windows wouldn't be energy efficient. The cost for storm windows alone was 18-22k.
- We obtained a 'ballpark' estimate to repair the windows at around 45-55k. The contractor wanted the windows removed to provide a more firm estimate but the windows became further damaged upon removal.

Window 1, 9/1 divided light South Elevation Window



Window 2, 9/1 divided Light South Elevation



Window 3, 9/1 divided Light South Elevation - Bottom Rail



Window 4, 9/1 divided light South Elevation - Right Sash



Window 5, 9/1divided light South Elevation



all glazing needs replacement

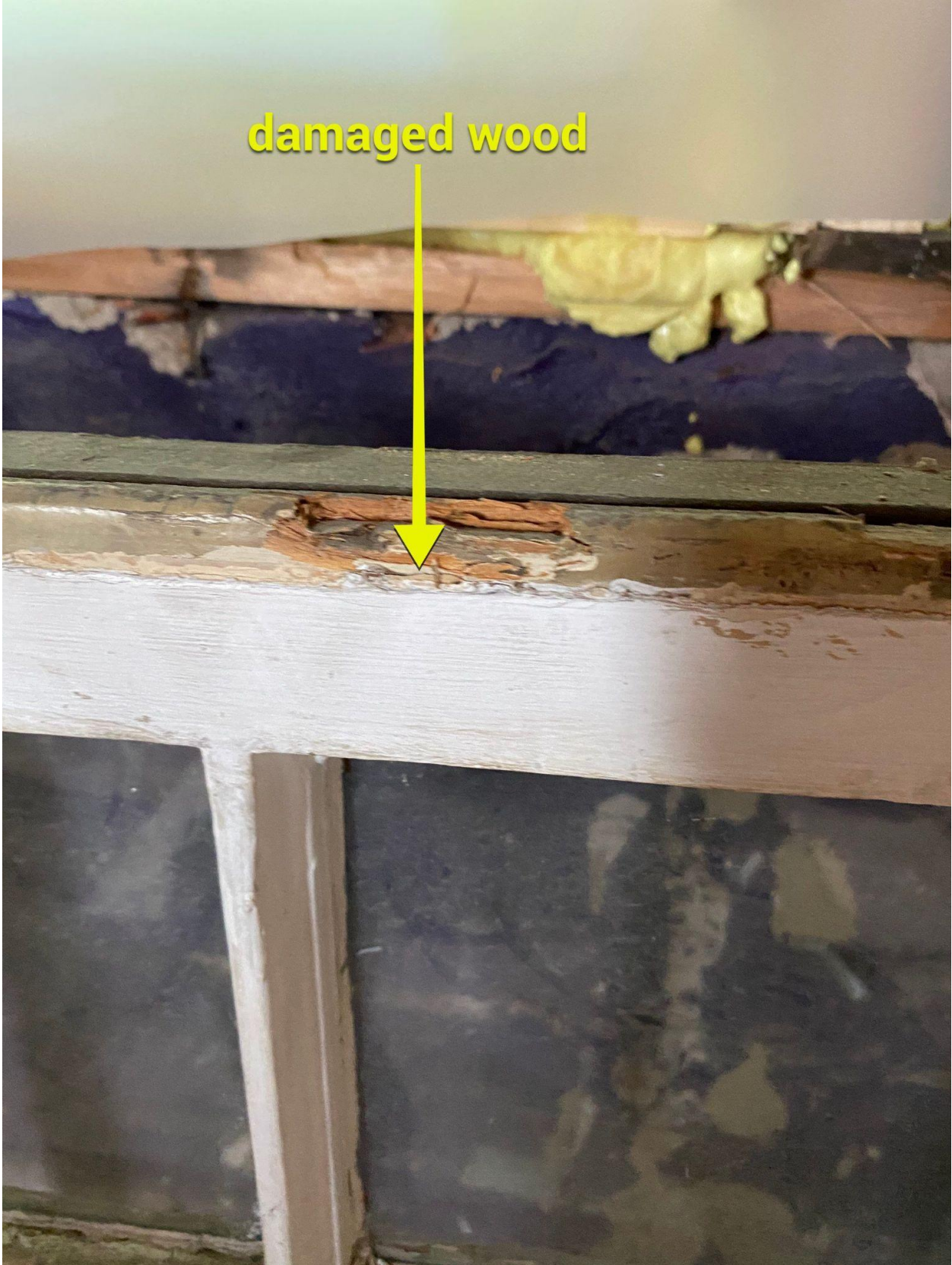
Rot and mold



Window 6, 16/1 divided light East Elevation



Window 8, 16/1 divided light West Elevation



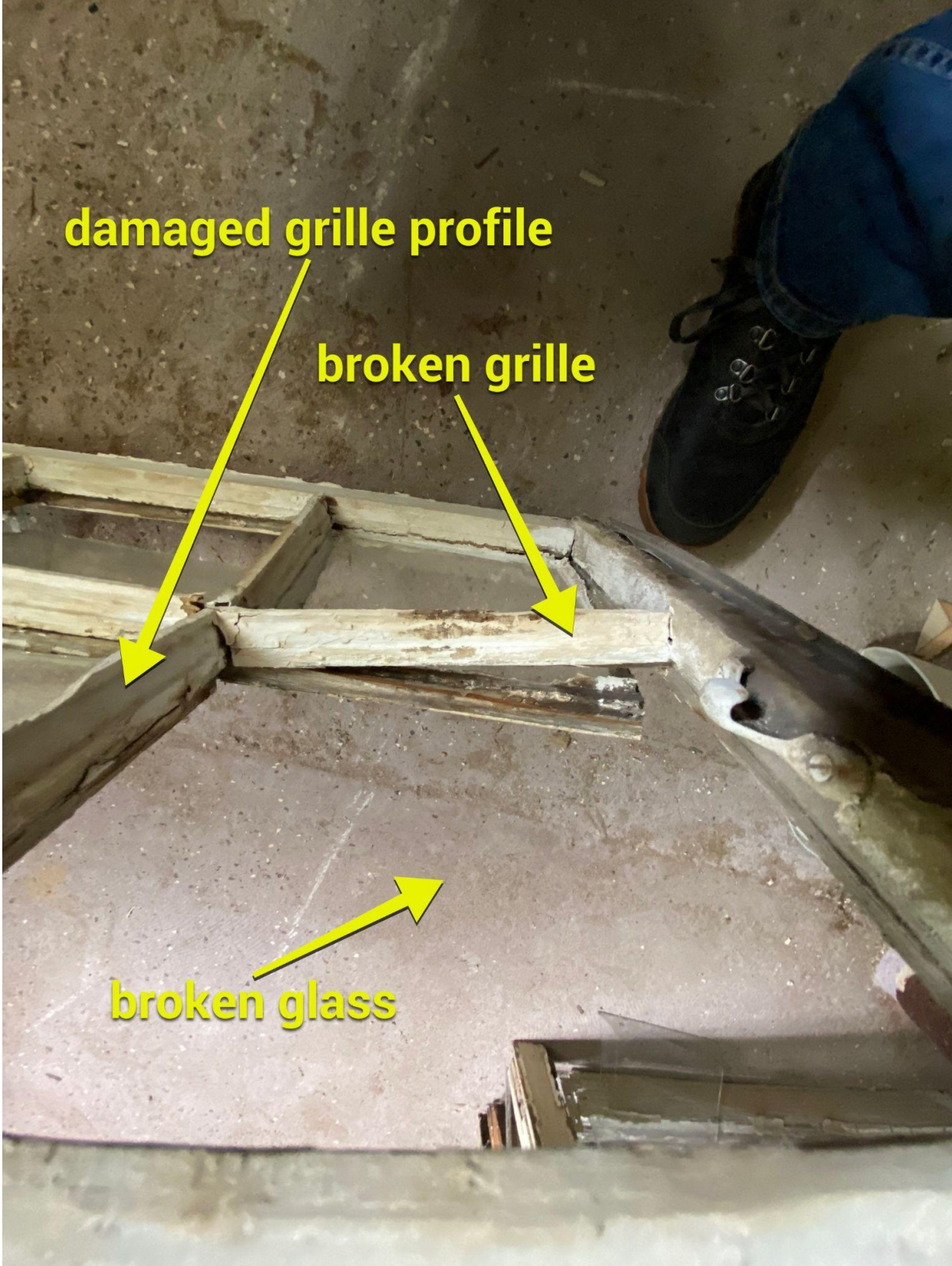
Window 9, 16/1 divided light South Elevation



Window 7, 16/1 divided light South Elevation



Window 5 , 9/1 divided light South Elevation

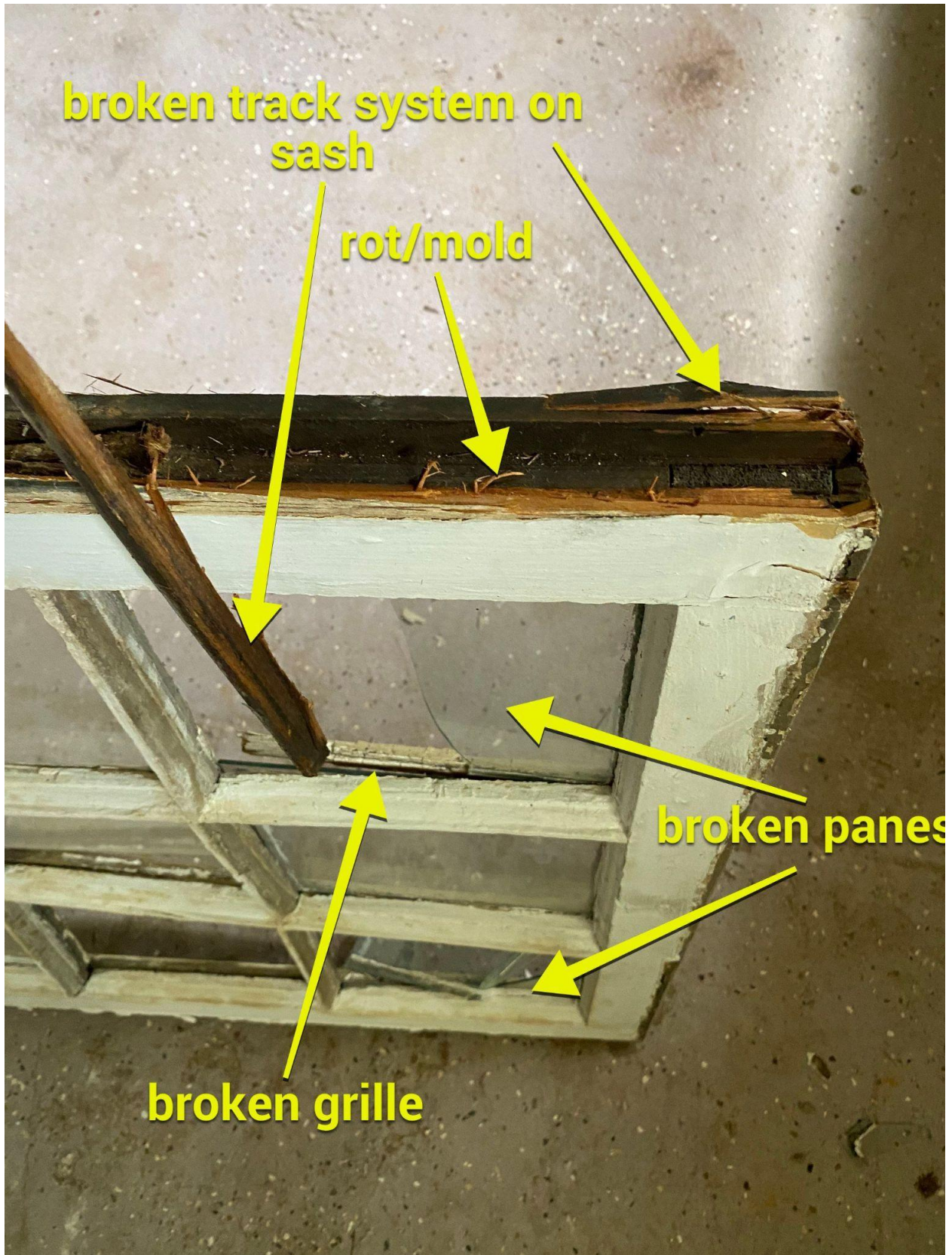


**damaged grille profile**

**broken grille**

**broken glass**

Window 4, 16/1 divided light South Elevation



West Elevation



South Elevation





East Elevation

