

compositionworkshop

architecture + interior design

22.May.21

Garrick B. Landsberg
Historic District Commission
Coleman A. Young Municipal Center
2 Woodward Avenue - Suite 808
Detroit, MI 48226

Re: Residential Redevelopment
240 Mack
Detroit, Michigan

The existing 3 story multi-family residential property at 240 Mack Ave, Detroit, MI is intended to be redeveloped as a 21 unit apartment building including the addition of 4 new units on the third floor of the existing 2 story concrete block portion of building.

It was discovered, during the design process, that the previous owner had made a number of changes to the building that were not in accordance with the drawings provided and approved by the Historic District Commission, and some that were, in all likelihood, not legally permitted.

While it is not, in every case, feasible to return the original structure to its prior condition, it is our intention to restore the original intent of the design wherever possible.

There are a few particular issues that I wanted to point out.

1. All of the windows currently installed in the front half of the building (the original brick structure) will be removed and replaced with historically appropriate windows divided as requested by the HDC. (6 over 6, 6 over 1, etc)
2. The west elevation: Originally part of the second floor was clearly a sun porch of some kind. From the photographs provided to us (attached-HDC historic photos.pdf) we can see that there were windows on three sides of the room and the exterior was detailed in wood.
 - a. The previous owner had completely demolished all the existing original walls and expanded the room to include what was the southern most wall of the sun room.
 - b. The original window sequence was changed.
 - c. The low slope roof was completely removed, and a new shed roof covers not only the original sun room, but part of the existing hip roof line. (which originally carried all the way through.)
 - d. The existing rafters of the main hip roof were cut off.

It is our intention to:

- install new trim and detailing, in the spirit of the original design
 - keep the existing window layout (less the fourth, southernmost window)
 - remove the shed roof and install a low slope roof that we believe is very similar to the original
 - remove the wall that essentially covered the south side of the sun room and push it back to return the room to its original three sided massing.
3. The concrete block portion of the building, obviously a later add on, has no visual relationship to the original structure.

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Our intention is to build a new hip roof that covers the entire concrete block portion of the building that matches the slope of the existing structure. The new roof has the benefit of allowing additional units on what will be the new third floor of the CMU building, while visually tying the new and the original together more effectively. Every effort has been made to keep the overall height of the new roof from overwhelming the massing of the original building (the side walls in the third floor expansion are at a code minimum 5'-0")

Should you have any questions, or require any further information, please feel free to contact me directly.

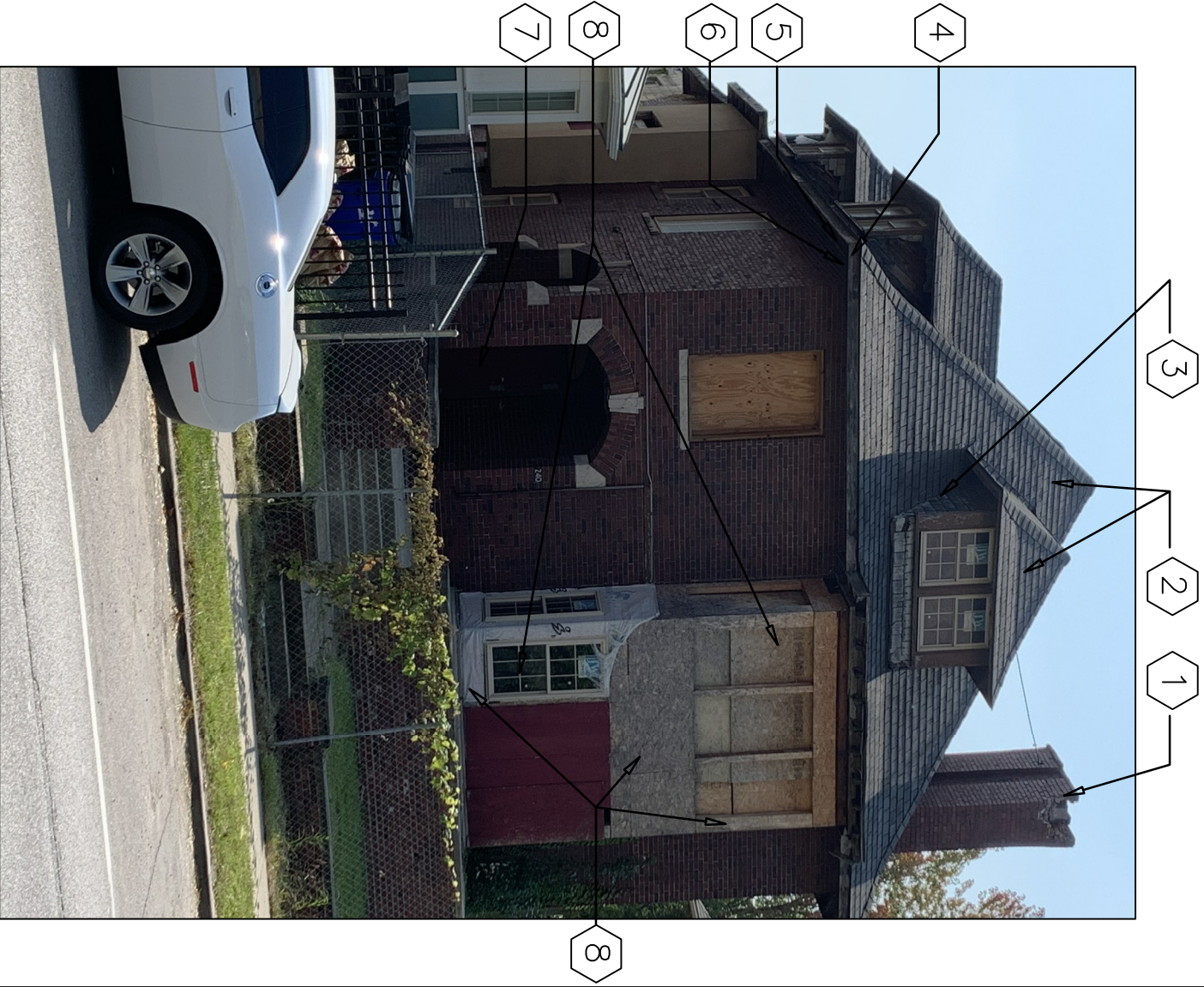
313-478-1547

I appreciate your time.

James F. Korf *Architect*
President
Composition Workshop Inc.

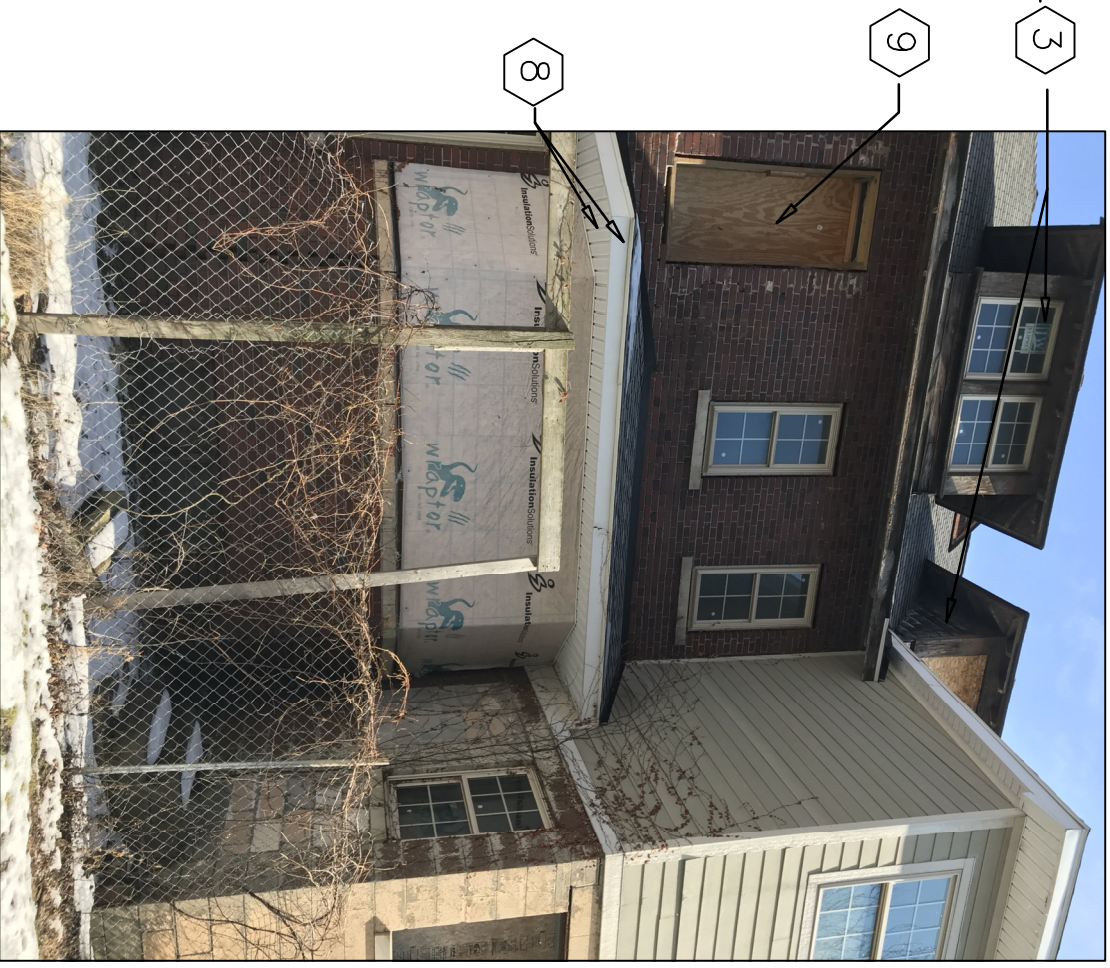
NORTH ELEVATION

1. The existing chimney is to be repaired in place to its full original height. The decorative recessed panel is to be maintained (see east elevation) New precast concrete cap to match existing cap will be provided.
2. The existing finish roofing material (asphalt shingles) is to be removed complete. Any existing damaged roof sheathing is to be replaced. New 15# roofing felt, fully adhered ice and water shield, and new 30yr. Certainteed dimensional asphalt shingles are to be installed. Color: Driftwood
3. Existing dormers are clad with slate shingles. Original shingles will be salvaged from the dormer on the south elevation and used to fill and replace any damaged shingles on the north, east, and west dormers in order to keep original shingles on the most visible dormers. Any damaged wall sheathing is to be replaced prior to reinstalling shingles. New dormer windows are to be aluminum clad wood windows (Pella architect series) with an 8 over 8 muntin pattern to match the original windows.
4. Existing 1 x 6 fascia boards are to be scraped and painted. Any fascia boards that are damaged beyond repair are to be replaced with 1 x 6 pre-primed pine boards to match the existing fascia profile and painted to match.
5. Existing rafter tails are to be scraped and painted.
6. Existing soffit boards are 1 x 6 tongue and groove and shall be scraped and painted. Any soffit boards that are damaged beyond repair are to be replaced with 1 x 6 pre-primed pine tongue and groove boards to match the existing soffit profile and painted to match.
7. The front door will be replaced with a preston patina craftsman rectangle door, with clear glass, painted. (see attached cut sheet) the transom window will be replaced with clear 1" insulated glass
8. The vinyl windows currently installed in the front bay will be removed. New aluminum clad wood windows (Pella architect series) with 6 over 1 muntin pattern to match the original windows.
9. The front bay windows will be trimmed with wood trim at the top and bottom. The middle section will be finished with stucco / eifs system to match the east elevation. See detail A/A3.1 attached.
10. All remaining windows will be replaced with aluminum clad wood windows (Pella architect series) with a 6 over 1 muntin pattern.



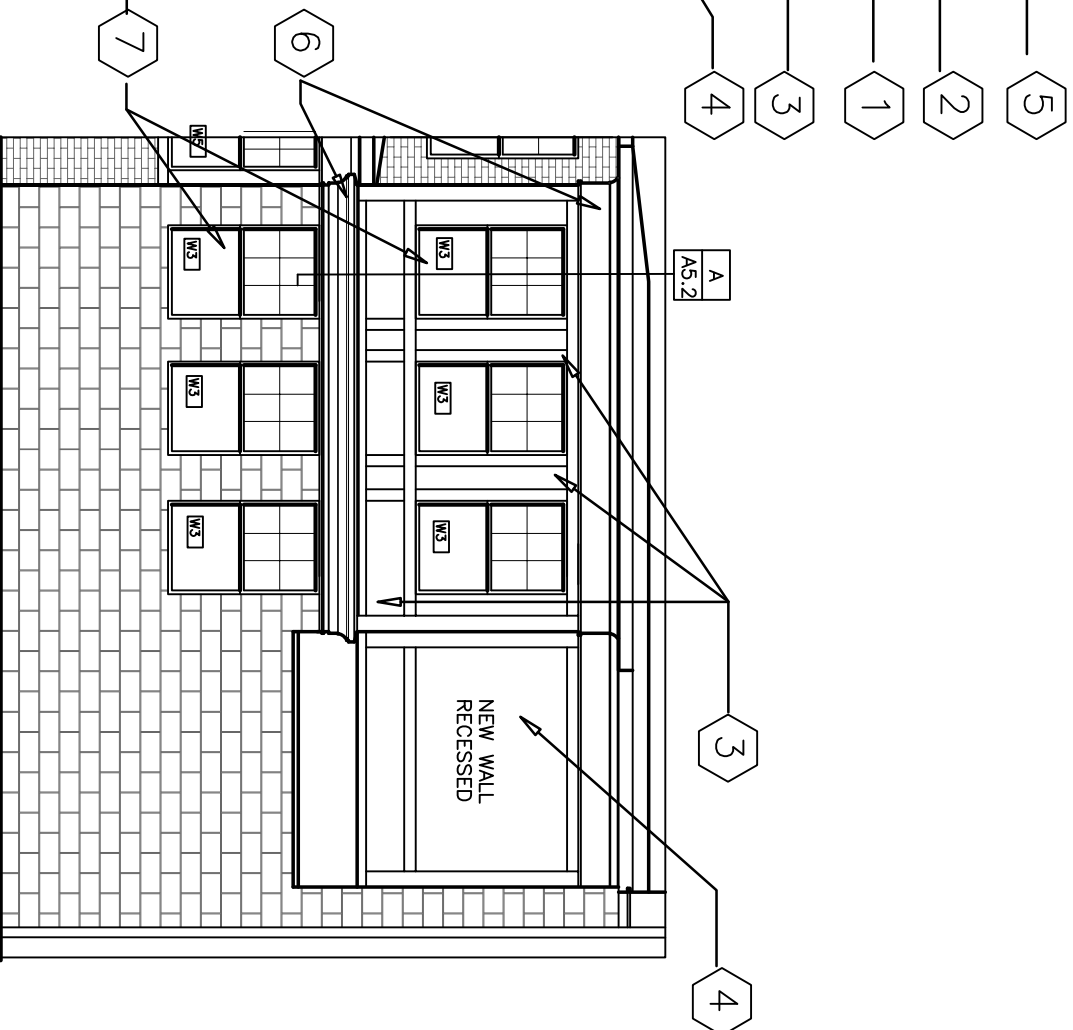
WEST ELEVATION

1. The existing chimney is to be repaired in place to its full original height. The decorative recessed panel is to be maintained (see east elevation) New precast concrete cap to match existing cap will be provided.
2. The existing finish roofing material (asphalt shingles) is to be removed complete. Any existing damaged roof sheathing is to be replaced. New 15# roofing felt, fully adhered ice and water shield, and new 30yr, Certainteed dimensional asphalt shingles are to be installed. Color: Driftwood
3. Existing dormers are clad with slate shingles. Original shingles will be salvaged from the dormer on the south elevation and used to fill and replace any damaged shingles on the north, east, and west dormers in order to keep original shingles on the most visible dormers. Any damaged wall sheathing is to be replaced prior to reinstalling shingles. New dormer windows are to be aluminum clad wood windows (Pella architect series) with an 8 over 8 muntin pattern to match the original windows.
4. Existing 1 x 6 fascia boards are to be scraped and painted. Any fascia boards that are damaged beyond repair are to be replaced with 1 x 6 pre-primed pine boards to match the existing fascia profile and painted to match.
5. Existing rafter tails are to be scraped and painted.
6. Existing soffit boards are 1 x 6 tongue and groove and shall be scraped and painted. Any soffit boards that are damaged beyond repair are to be replaced with 1 x 6 pre-primed pine tongue and groove boards to match the existing soffit profile and painted to match.
7. The vinyl windows currently installed on the front (historic portion) of the west elevation will be removed. New aluminum clad wood windows (Pella architect series) with 6 over 1 muntin pattern to match the original windows.
8. The aluminum soffit and fascias on the west bay window will be removed. They will be replaced with new 1 x 6 pre-primed wood fascias to match existing profile. The soffit will be replaced by 1 x 6 tongue and groove soffit boards to match the original soffit.
9. The existing door opening will be reduced in size and infilled with brick to match existing to accommodate a window that matches those adjacent to it.



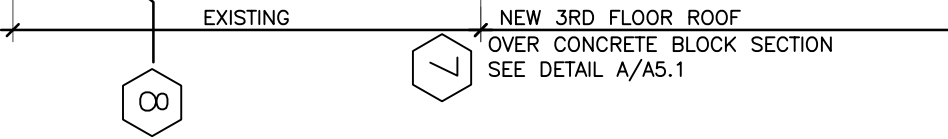
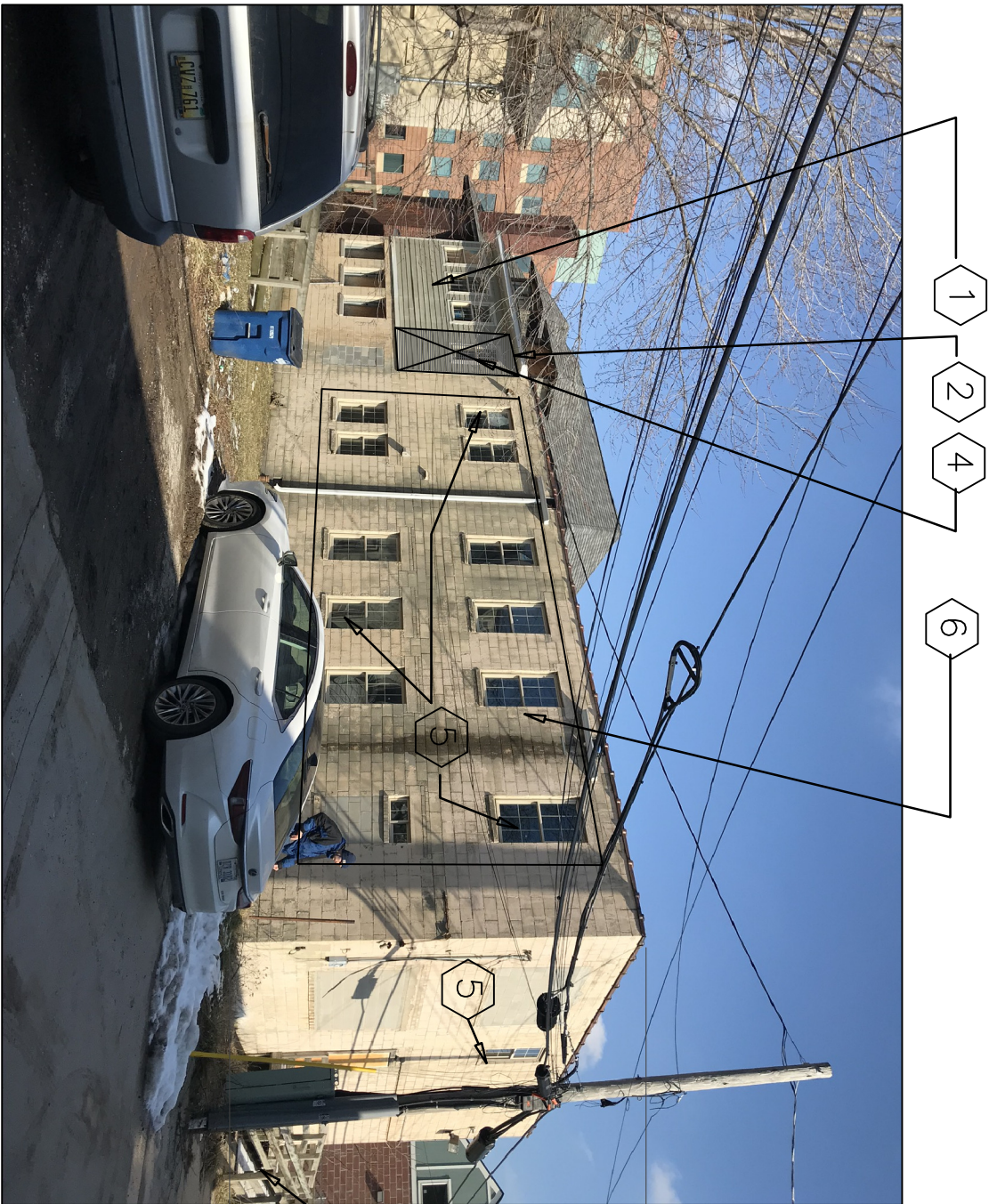
WEST ELEVATION, CONT'

1. All existing lap siding is to be removed complete with all corner and window trims.
2. The existing shed roof will be removed complete with all finish roofing, rafters, soffits and fascias. A new low slope, nearly flat roof will be installed per detail A/A5.2
3. Existing walls will be trimmed with 1 x wood trim and painted to match original porch walls as closely as possible. See detail A/A5.2
4. The existing portion of the wall shown as shaded below will be removed, and setback 24" from it's current location in order to restore the 3 sided massing of the original second floor porch (see attached photo)
5. The vinyl windows currently installed on the front (historic portion) of the west elevation will be removed. New aluminum clad wood windows (Pella architect series) with 6 over 1 muntin pattern to match the original windows.
6. Wood crown trims at line of first floor are to be restored with new crown. See detail A/A5.2 for profiles.
7. All existing windows at historic porch section shown are to be removed and replaced with new aluminum clad wood windows (Pella architect series) with 6 over 1 muntin pattern.



WEST ELEVATION, CONT + SOUTH ELEVATION

1. All existing lap siding is to be removed complete with all corner and window trims.
2. The existing shed roof will be removed complete with all finish roofing, rafters, soffits and fascias. A new low slope, nearly flat roof will be installed per detail A/A5.2.
3. Existing walls will be trimmed with 1 x wood trim and painted to match original porch walls as closely as possible. See detail A/A5.2
4. The existing portion of the wall shown as shaded below will be removed, and setback 24" from it's current location in order to restore the 3 sided massing of the original second floor porch.
5. The aluminum windows currently installed on the concrete block portion of the west elevation, shown below will remain.
6. Existing concrete block walls are to be scraped and painted.
7. a new hipped roof structure will be built over the existing concrete block wall section to match slope of existing historic roof. see detail A/A5.1
8. The existing ADA access ramp will be removed and replaced. See detail 1+2 A/A5.3



EAST ELEVATION

1. The aluminum windows currently installed on the concrete block portion of the east elevation, shown below will remain.
2. Existing concrete block walls are to be scraped and painted.
3. a new hipped roof structure will be built over the existing concrete block wall section to match slope of existing historic roof. see detail A/A5.1
4. The existing finish roofing material (asphalt shingles) is to be removed complete. Any existing damaged roof sheathing is to be replaced. New 15# roofing felt, fully adhered ice and water shield, and new 30yr, Certainteed dimensional asphalt shingles are to be installed. Color: Driftwood
5. Existing dormers are clad with slate shingles. Original shingles will be salvaged from the dormer on the south elevation and used to fill and replace any damaged shingles on the north, east, and west dormers in order to keep original shingles on the most visible dormers. Any damaged wall sheathing is to be replaced prior to reinstalling shingles. New dormer windows are to be aluminum clad wood windows (Pella architect series) with an 8 over 8 muntin pattern to match the original windows.
6. Existing 1 x 6 fascia boards are to be scraped and painted. Any fascia boards that are damaged beyond repair are to be replaced with 1 x 6 pre-primed pine boards to match the existing fascia profile and painted to match.
7. Existing rafter tails are to be scraped and painted.
8. Existing soffit boards are 1 x 6 tongue and groove and shall be scraped and painted. Any soffit boards that are damaged beyond repair are to be replaced with 1 x 6 pre-primed pine tongue and groove boards to match the existing soffit profile and painted to match.
9. Existing eifs finish at the stairwell bay is to remain



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color scheme "e"

- WINDOWS-B-12 GRAYISH GREEN/SHERWIN WILLIAMS SW2810 ROOKWOOD SASH GREEN
- SOFFIT/FASCIA/RAFTER TAILS-B-12 GRAYISH GREEN/SHERWIN WILLIAMS SW2810 ROOKWOOD SASH GREEN
- DOORS WOOD STAIN OR B-12 GRAYISH GREEN/SHERWIN WILLIAMS SW2810 ROOKWOOD SASH GREEN
- STUCCO AND PORCH CEILING-C-4 YELLOWISH WHITE/SHERWIN WILLIAMS SW2810 ROOKWOOD SASH GREEN
- CEMENT BLOCK - C-4 YELLOWISH WHITE/SHERWIN WILLIAMS SW2829 CLASSIC WHITE