

Corktown Sites 1&2

HDC DESIGN
MAY 12, 2021

THE FORBES COMPANY


Hunter Pasteur
HOMES

Oxford
Capital Group, LLC


NEUMANN
SMITH
architecture

ELKUS | MANFREDI
ARCHITECTS


giffels
webster





HISTORIC DISTRICT EXTENTS

MICHIGAN AVE

11TH ST

10TH ST

CHURCH ST

TRUMBULL AVE.

8TH ST

LEVERETTE ST

SITE 1 : RESIDENTIAL

- Michigan Ave. Building
 - 7 stories / 82' 6" high
 - 9,385 SF Retail
 - 188 Units
 - 29 parking spaces
- 10th Street Townhouses
 - 7 Units
 - 3 stories / 35' high plus patially enclosed 4th floor roof deck
 - 17 Parking Spaces

SITE 2 : GARAGE

- 3 stories / 35' high
- 3,066 SF Retail
- 401 Garage Parking Spaces

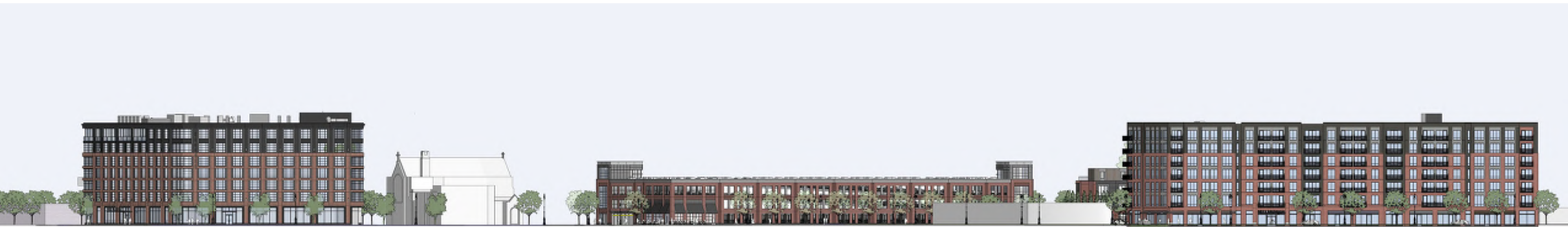
SITE PLAN



MASSING : AERIAL VIEW LOOKING EAST

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › **SITES 1&2**

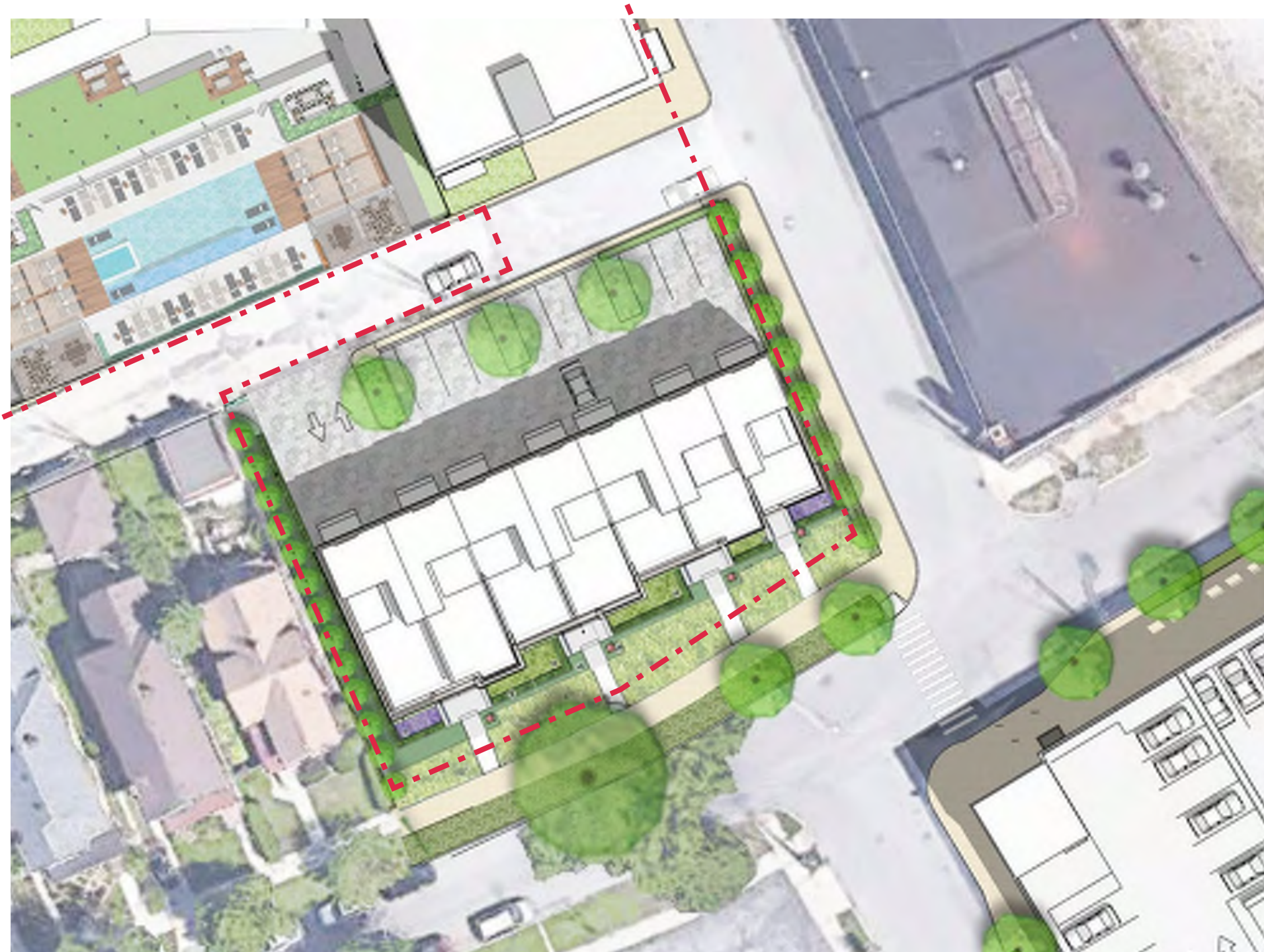
THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL
 ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE
 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



SITE 1: CONTEXT ELEVATION

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

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GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



SITE 1 TOWNHOUSES

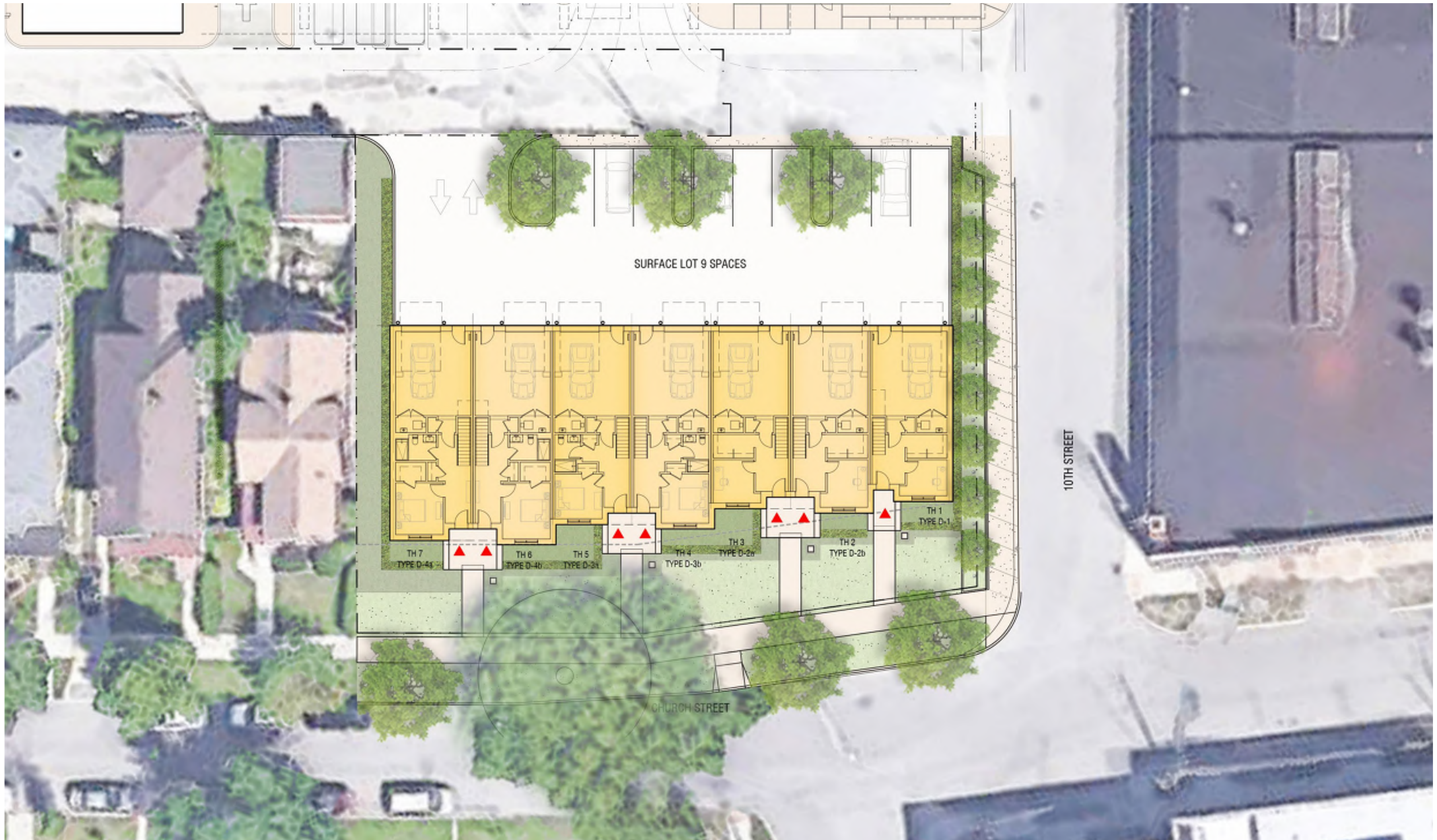
10th Street Townhouses

- 3 stories / 35' high plus partially enclosed 4th floor roof deck.
- 7 Units
- 17 Spaces

SITE 1 TOWNHOUSES: SITE PLAN

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL
ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE
GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



SITE 1 TOWNHOUSES: LEVEL 01 PLAN

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

0 8' 16'



THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL
 ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE
 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



SITE 1 TOWNHOUSES: LEVEL 02 PLAN

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2



THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL
 ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE
 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



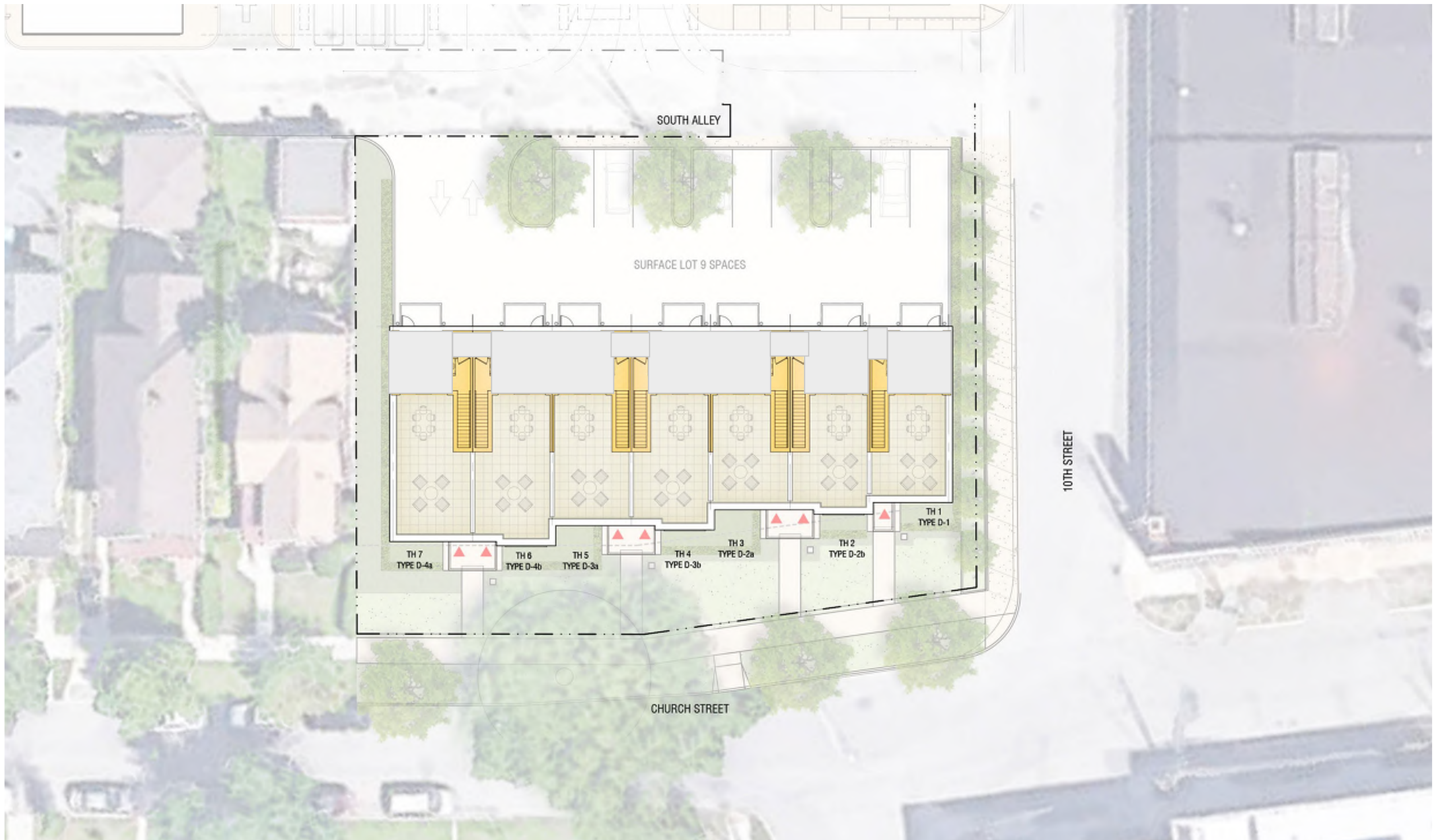
SITE 1 TOWNHOUSES: LEVEL 04 PLAN

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

0 8' 16'



THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL
 ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE
 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG

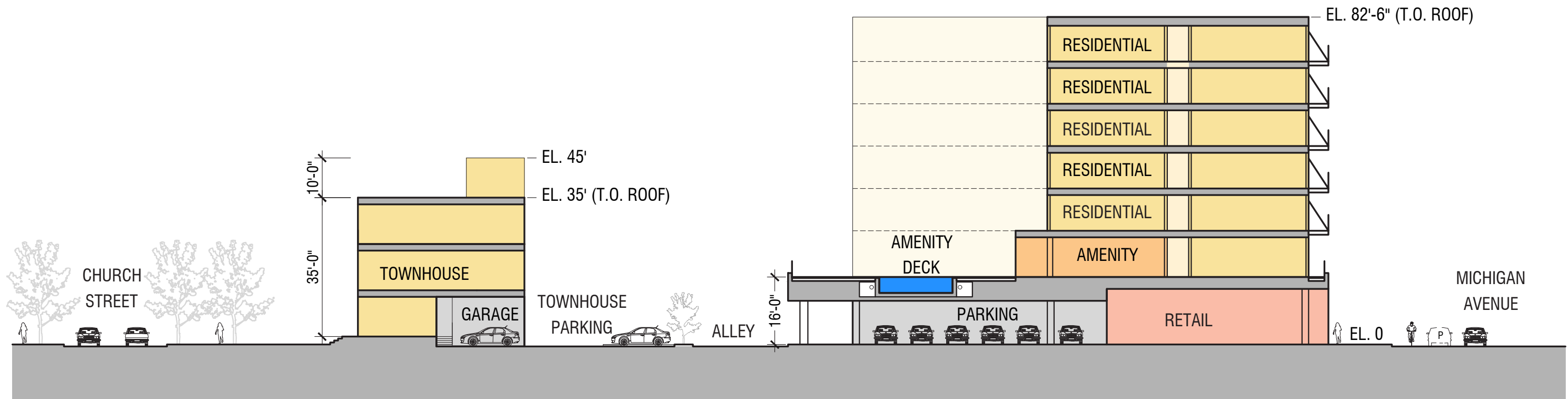


SITE 1 TOWNHOUSES: LEVEL ROOF PLAN

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2



THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL
 ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE
 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



SITE 1: OVERALL SECTION

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

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 ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE
 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



© ELKUS MANFREDI ARCHITECTS

SITE 1 TOWNHOMES: VIEW FROM GARAGE

CORKTOWN › DETROIT, MICHIGAN › SITES 1&2



© ELKUS MANFREDI ARCHITECTS

SITE 1 TOWNHOMES: VIEW FROM CHURCH STREET

CORKTOWN › DETROIT, MICHIGAN › SITES 1&2



6

6

4

1

2

6

1

2

1

10TH STREET

- 1** BRICK
- 4** METAL #3 BRONZE
- 2** METAL #1 MEDIUM GREY
- 5** STONE BASE
- 3** METAL #2 DARK GREY
- 6** GLASS #1 RESIDENTIAL WINDOW

SITE 1 TOWNHOUSES: SOUTH ELEVATION

CORKTOWN › DETROIT, MICHIGAN › SITES 1

THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL
 ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE
 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



1

2

4

- 1 BRICK
- 2 METAL #1 MEDIUM GREY
- 3 METAL #2 DARK GREY

- 4 METAL #3 BRONZE
- 5 STONE BASE
- 6 GLASS #1 RESIDENTIAL WINDOW

SITE 1 TOWNHOUSES: EAST ELEVATION

CORKTOWN › DETROIT, MICHIGAN › SITES 1

THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL
 ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE
 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG

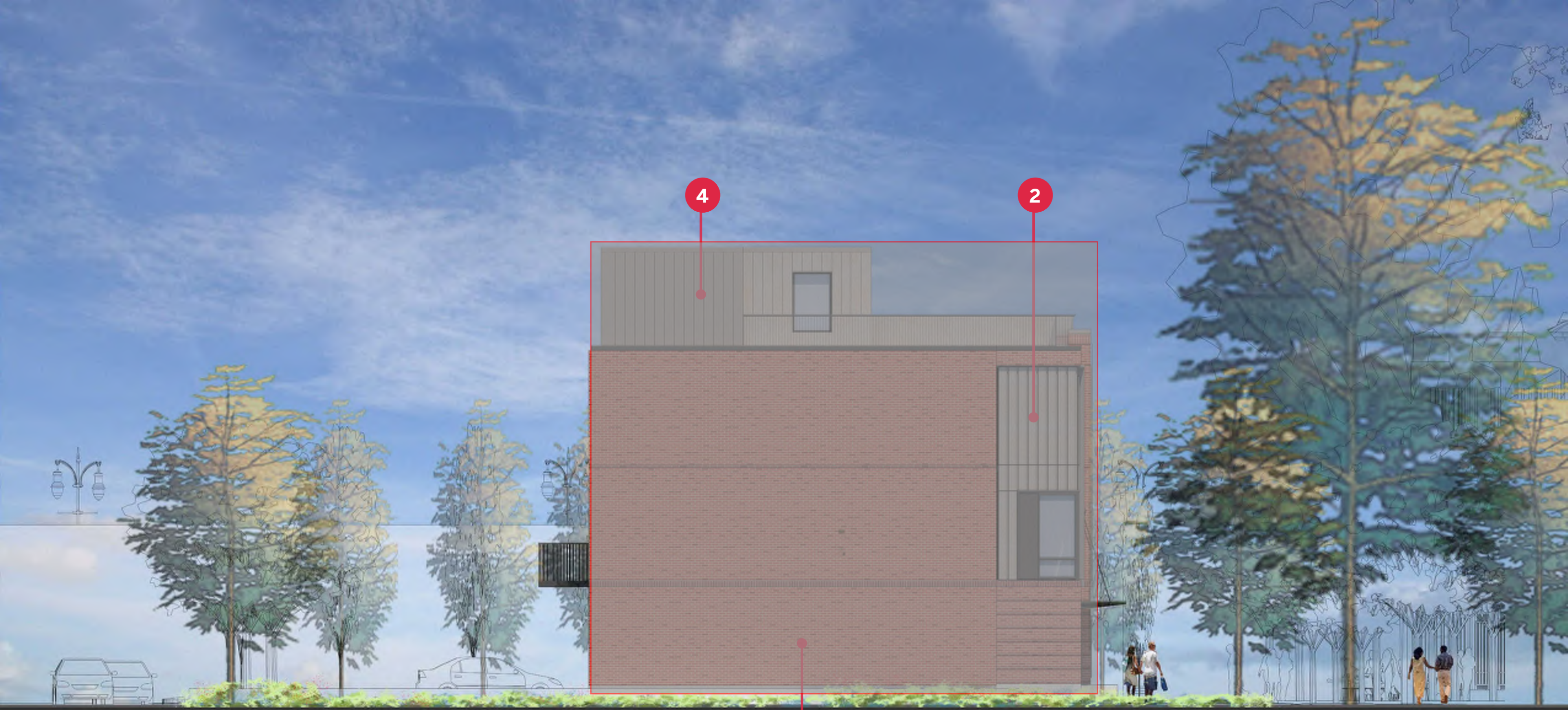


10TH STREET

SITE 1 TOWNHOUSES: NORTH ELEVATION

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL
ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE
GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



1

4

2

CHURCH STREET

- 1 BRICK
- 2 METAL #1 MEDIUM GREY
- 3 METAL #2 DARK GREY
- 4 METAL #3 BRONZE
- 5 STONE BASE
- 6 GLASS #1 RESIDENTIAL WINDOW

SITE 1 TOWNHOUSES: WEST ELEVATION

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL
 ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE
 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



SITE 1 TOWNHOUSES: CHURCH STREET ELEVATION

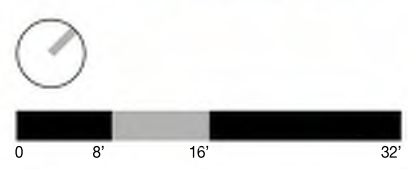
CORKTOWN › DETROIT, MICHIGAN › SITES 1

THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL
ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE
GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



Note Key

- 1. Concrete Sidewalk
- 2. Concrete Planter Curb
- 3. Bollard Light
- 4. Townhome Porch
- 5. Existing Tree to Remain
- 6. Deciduous Shade Tree
- 7. Deciduous Columnar Tree
- 8. Evergreen Hedge - 24" ht.
- 9. Ornamental Grass - 15" ht.
- 10. Evergreen Groundcover - 6" ht.
- 11. Flowering Perennial - 30" ht.
- 12. Ornamental Grass - 36" ht.
- 13. Lawn
- 14. Accent Planter with Annual Flower Display



SITE 1 TOWNHOUSES: LANDSCAPE PLAN

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

THE FORBES COMPANY > HUNTER PASTEUR HOMES < OXFORD CAPITAL
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SITE 2

Garage

- 3 stories / 35' high
- 3,066 SF Retail
- 401 Garage Parking Spaces

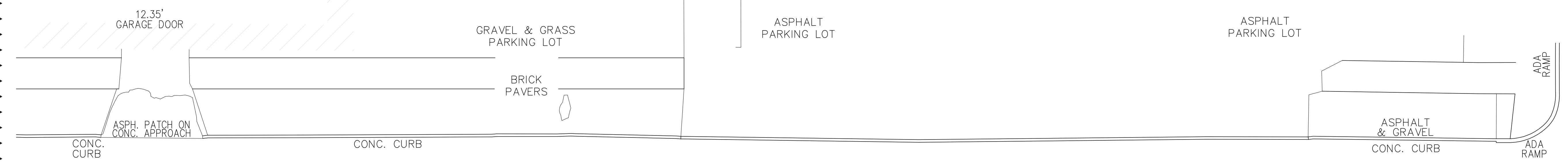


SITE 2 : SITE PLAN

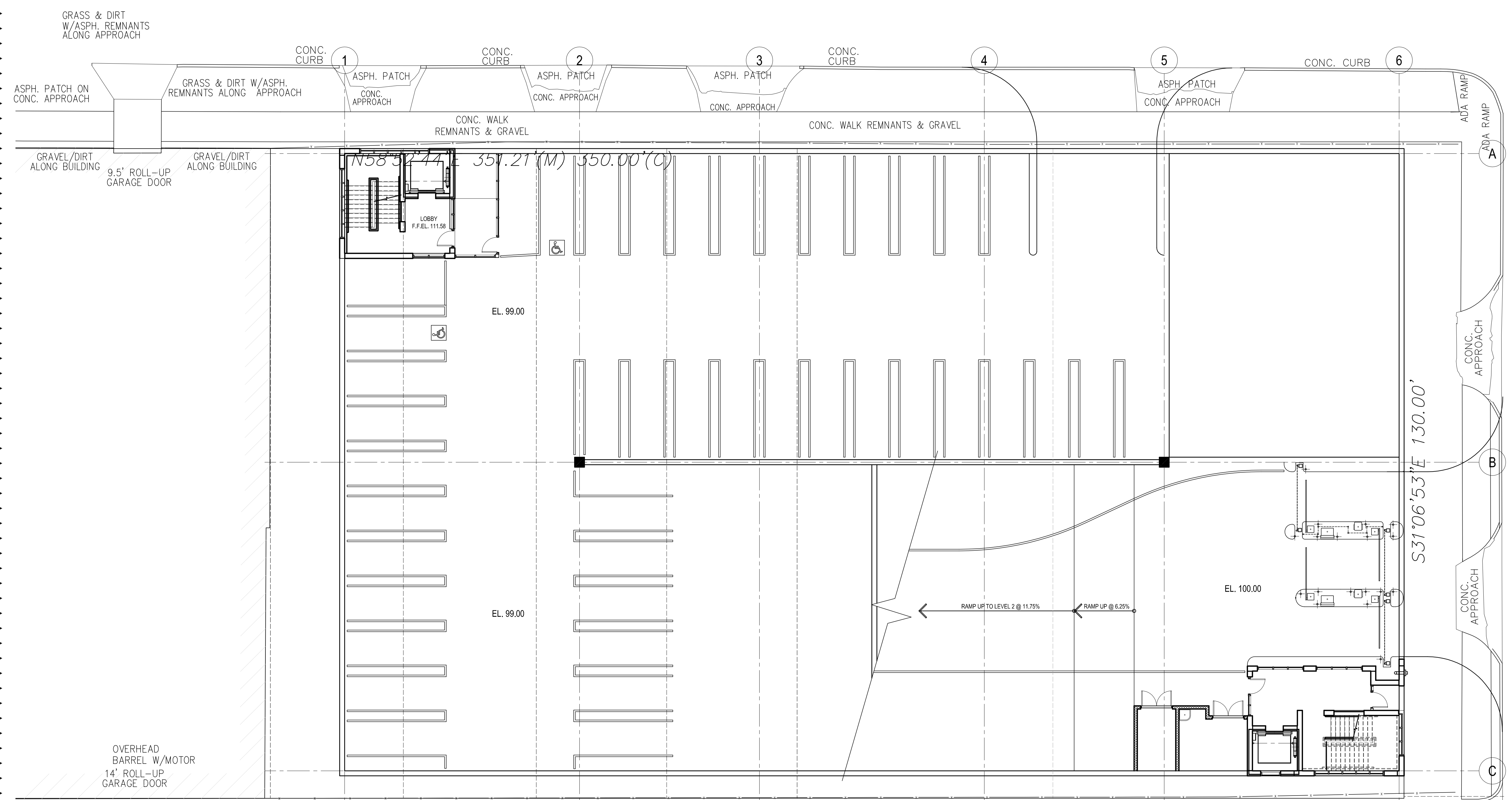
CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

THE FORBES COMPANY > HUNTER PASTEUR HOMES < OXFORD CAPITAL
ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE
GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG

CAR COUNT SUMMARY					
LEVELS	STANDARD STALLS	ACCESSIBLE STALLS	COMPACT STALLS	RESIDENTIAL STALLS	TOTAL
01	38	2	0	0	40
02	60	4	0	0	64
03	79	0	0	0	79
04	33	0	0	0	33
TOTALS	210	6	0	0	216



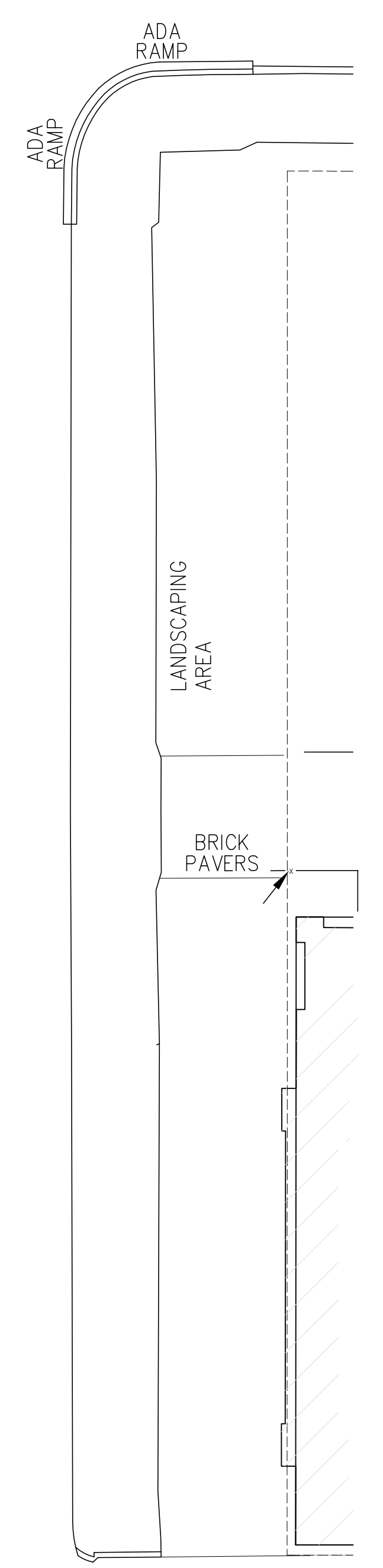
CHURCH ST. (60' WIDE - PUBLIC)



TRUMBULL AVE (100' WIDE - PUBLIC)

TRUMBULL AVE (100' WIDE - PUBLIC)

S58°52'44"W 351.21'(M) 350.00'(C) PUBLIC ALLEY (20' WIDE)



LEVEL 01 PLAN
 3/32" = 1'-0"

Issued for

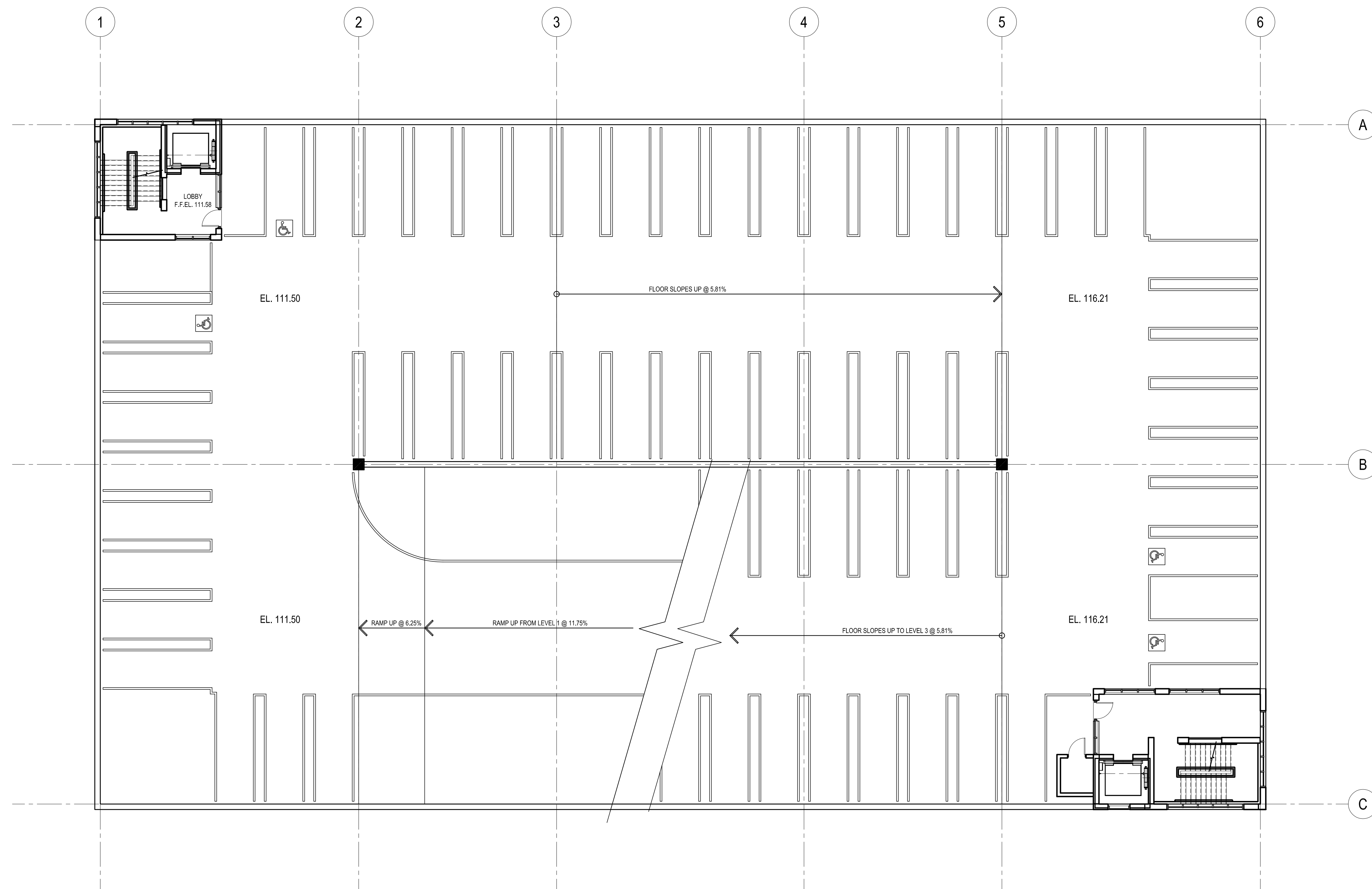
Drawn Preliminary
 RWK Construction
 Checked Record
 Approved Do not scale
 Use figured dimensions only
 Blk/pak Number

Job Number
2020009
 Title
**LEVEL 01
 STRIPING PLAN**

Sheet
A1

**CORKTOWN
 PARKING DECK**

1501 Church Street
 Detroit, MI 48216



Issued for _____

Drawn Preliminary
 RWK Construction
 Checked Record

Approved _____ **Do not scale**
 Use figured dimensions only

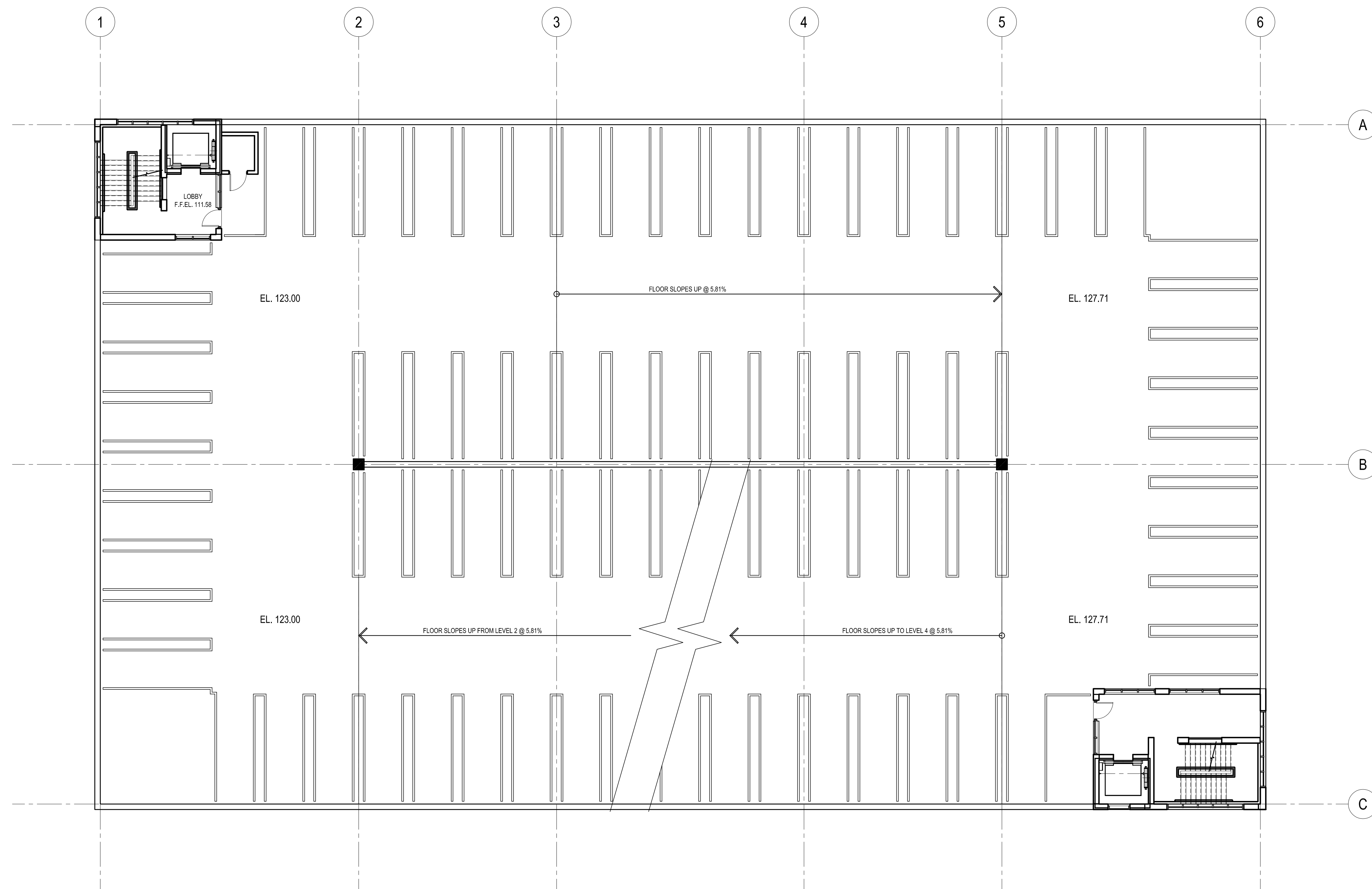
Block Number _____

Job Number
2020009
 Title
**LEVEL 02
 STRIPING PLAN**

LEVEL 02 PLAN
 3/32" = 1'-0"

**CORKTOWN
 PARKING DECK**

1501 Church Street
 Detroit, MI 48216



Issued for _____

Drawn Preliminary
 RWK Construction
 Checked Record
 Approved _____
 Bldgpak Number _____
 Do not scale
 Use figured
 dimensions only

Job Number
2020009
 Title
**LEVEL 03
 STRIPING PLAN**

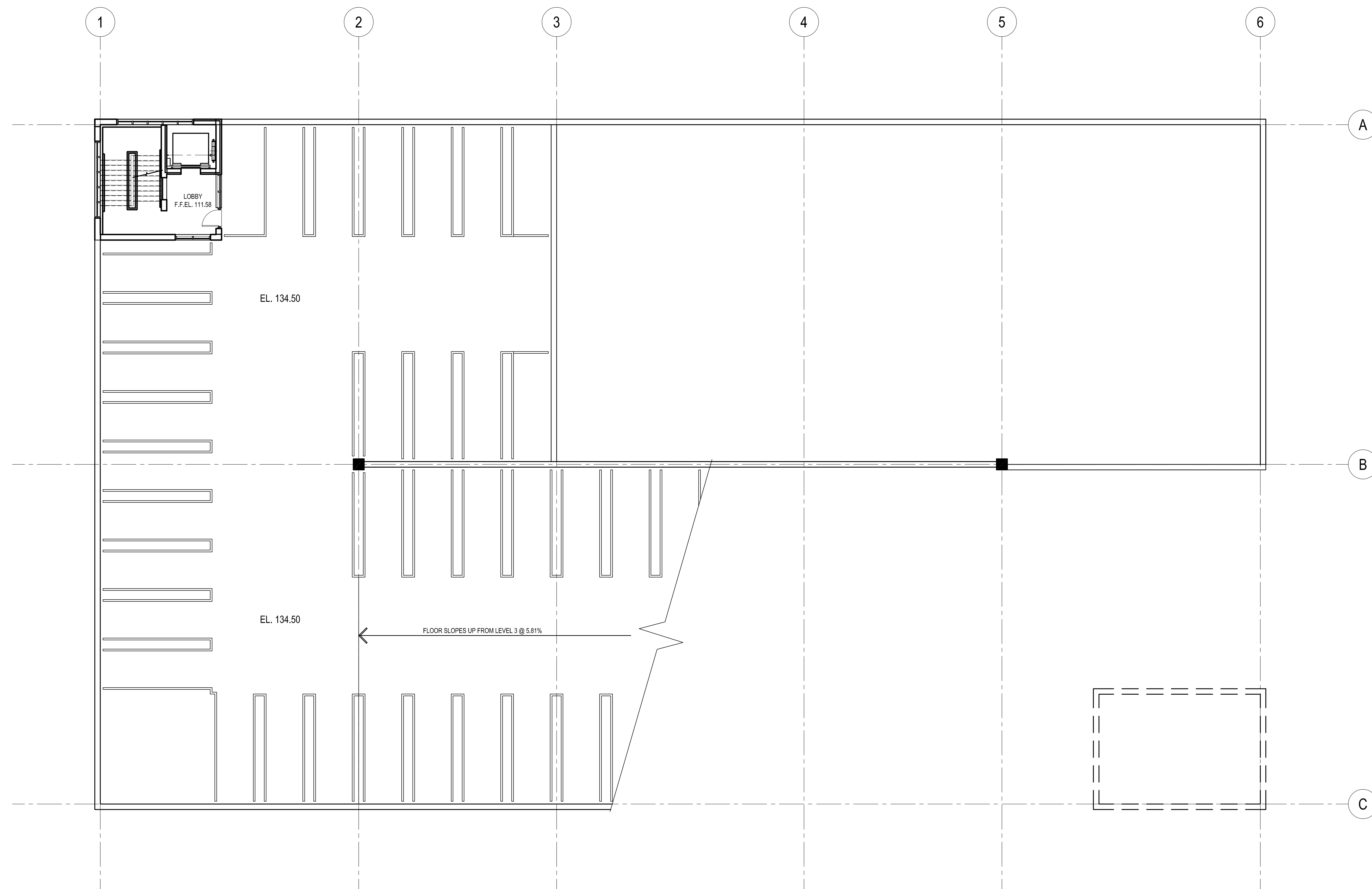
LEVEL 03 PLAN
 3/32" = 1'-0"

Sheet
A3

**CORKTOWN
 PARKING DECK**

1501 Church Street
 Detroit, MI 48216

RICH & ASSOCIATES
 PARKING CONSULTANTS
 ARCHITECTS • ENGINEERS • PLANNERS
 26677 NORTHWESTERN HWY.
 SUITE 208
 SOUTHFIELD, MI 48033
 SOUTHFIELD, MI LUTZ, FL
 (248) 353-5580 (813) 949-8860
 WWW.RICHASSOC.COM



Issued for _____

Drawn Preliminary
 RWK Construction
 Checked Record

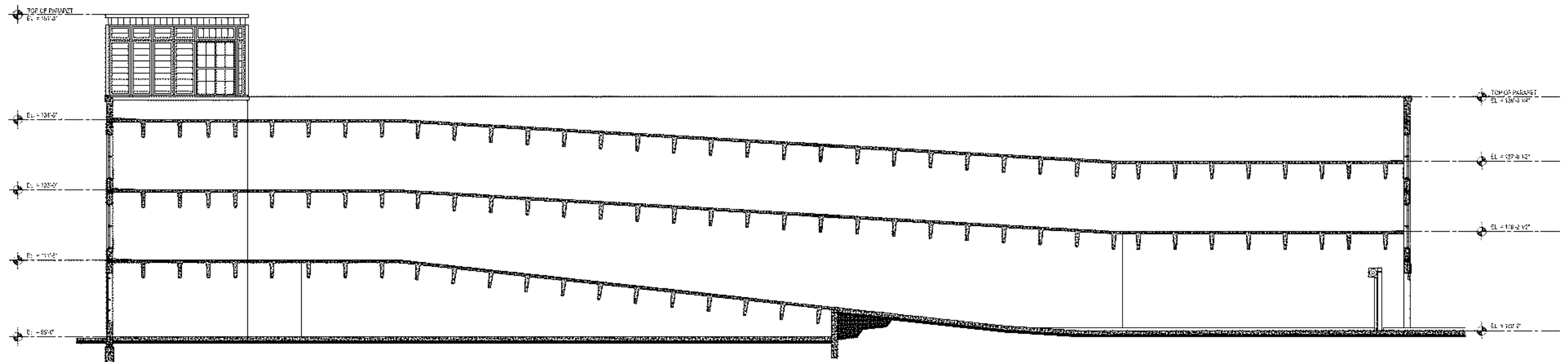
Approved _____
 Bidpak Number _____

Do not scale
 Use figured
 dimensions only

Job Number
2020009
 Title
**LEVEL 04
 STRIPING PLAN**

LEVEL 04 PLAN
 3/32" = 1'-0"

Sheet
A4



SITE 2 : SECTION:

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL
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 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



SITE 2 : NORTH ELEVATION (CHURCH STREET)

CORKTOWN › DETROIT, MICHIGAN › SITE 2

0 10' 20'

THE FORBES COMPANY › HUNTER PASTEUR HOMES › OXFORD CAPITAL
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GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG

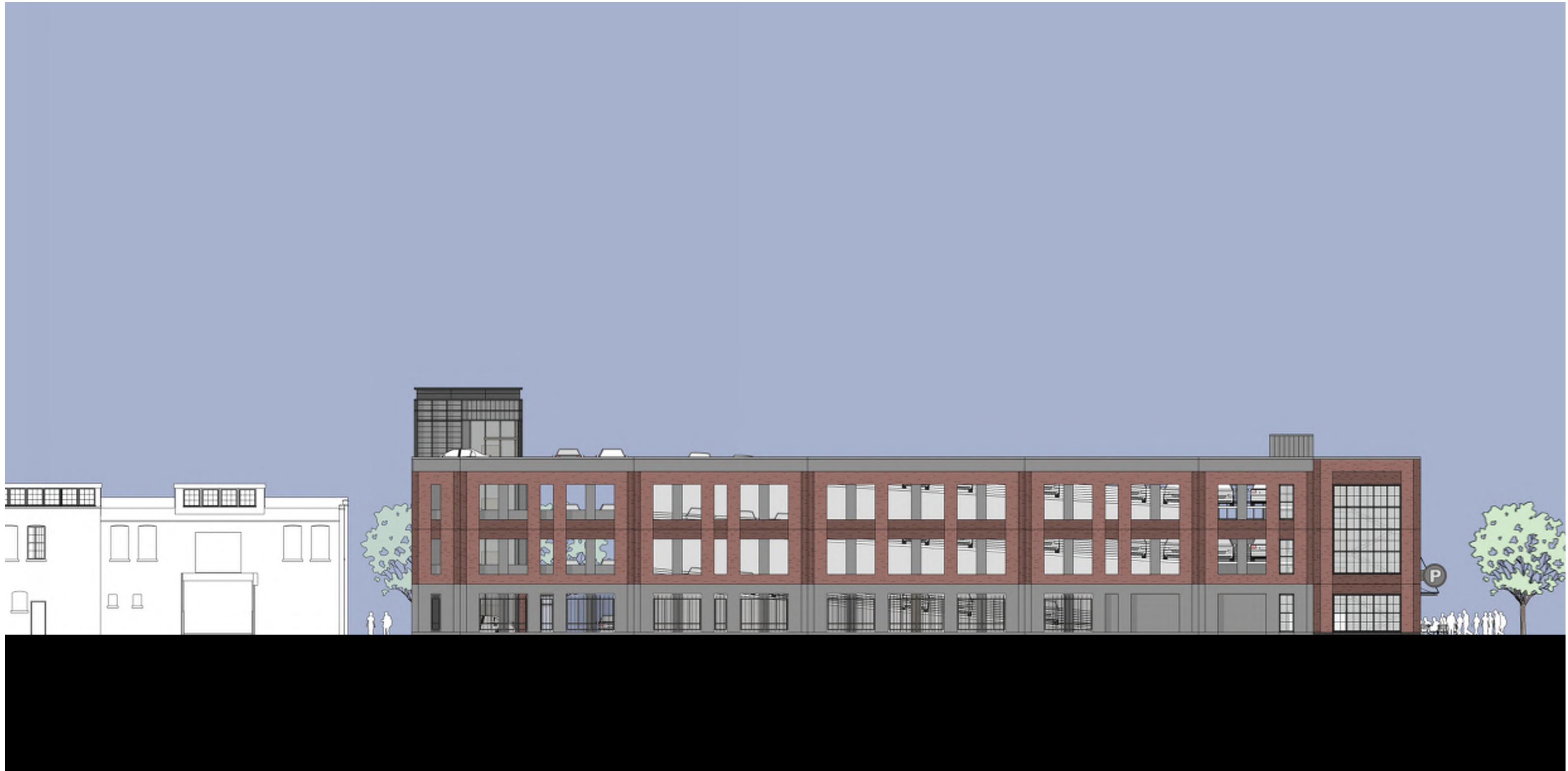


SITE 2 : EAST ELEVATION (TRUMBULL AVE)

CORKTOWN › DETROIT, MICHIGAN › SITE 2



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ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE
GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



SITE 2 : SOUTH ELEVATION (ALLEY)

CORKTOWN › DETROIT, MICHIGAN › SITE 2



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ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE
GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



SITE 2 : WEST ELEVATION (ALLEY)

CORKTOWN › DETROIT, MICHIGAN › SITE 2

0 10' 20'

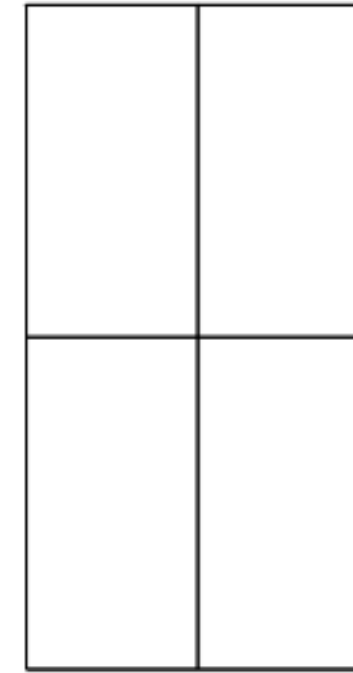
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29.56sf



5.43sf



24.13sf

TOTAL AREA AT SECOND FLOOR 7800 sf

OPEN 1684 SF WITHOUT WINDOW FRAME = 21.58% NOT INCLUDING CONC. SLABS AND CABLES

OPEN 1406 SF WITH WINDOW FRAME = 18.03% NOT INCLUDING CONC. SLABS AND CABLES

SITE 2: COMPARISON OF ORIGINAL DECK DESIGN (WINDOW FRAMES ON TRUMBULL/ PART CHURCH ONLY) VERSUS ON ENTIRE UPPER 2ND & 3RD LEVELS

CORKTOWN › DETROIT, MICHIGAN › SITE 2



THE FORBES COMPANY › HUNTER PASTEUR HOMES › OXFORD CAPITAL
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GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



CHURCH STREET

10TH STREET

7

4

6

1

2

8

5

1

BRICK

2

ACCENT BRICK

3

METAL #1
MEDIUM GREY

4

METAL #2
DARK GREY

5

STONE BASE

6

PRECAST
CONCRETE

7

GLASS #2
STOREFRONT

8

DECORATIVE
METAL GRILL

NOTE: THIS SLIDE OF THE FORMER LONG DECK HAS BEEN PROVIDED FOR THE DETAIL NOTES ONLY.

SITE 2 PARKING GARAGE: CHURCH STREET ELEVATION



SITE 2 : AERIAL VIEW

CORKTOWN › DETROIT, MICHIGAN › SITE 2

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GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



SITE 2 : AXON

CORKTOWN › DETROIT, MICHIGAN › SITE 2

THE FORBES COMPANY › HUNTER PASTEUR HOMES › OXFORD CAPITAL
ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE
GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



SITE 2 : RETAIL CORNER

CORKTOWN › DETROIT, MICHIGAN › SITE 2

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SITE 2 : NORTHWEST CORNER

CORKTOWN › DETROIT, MICHIGAN › **SITE 2**

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SITE 2 : SOUTHEAST CORNER

CORKTOWN › DETROIT, MICHIGAN › **SITE 2**

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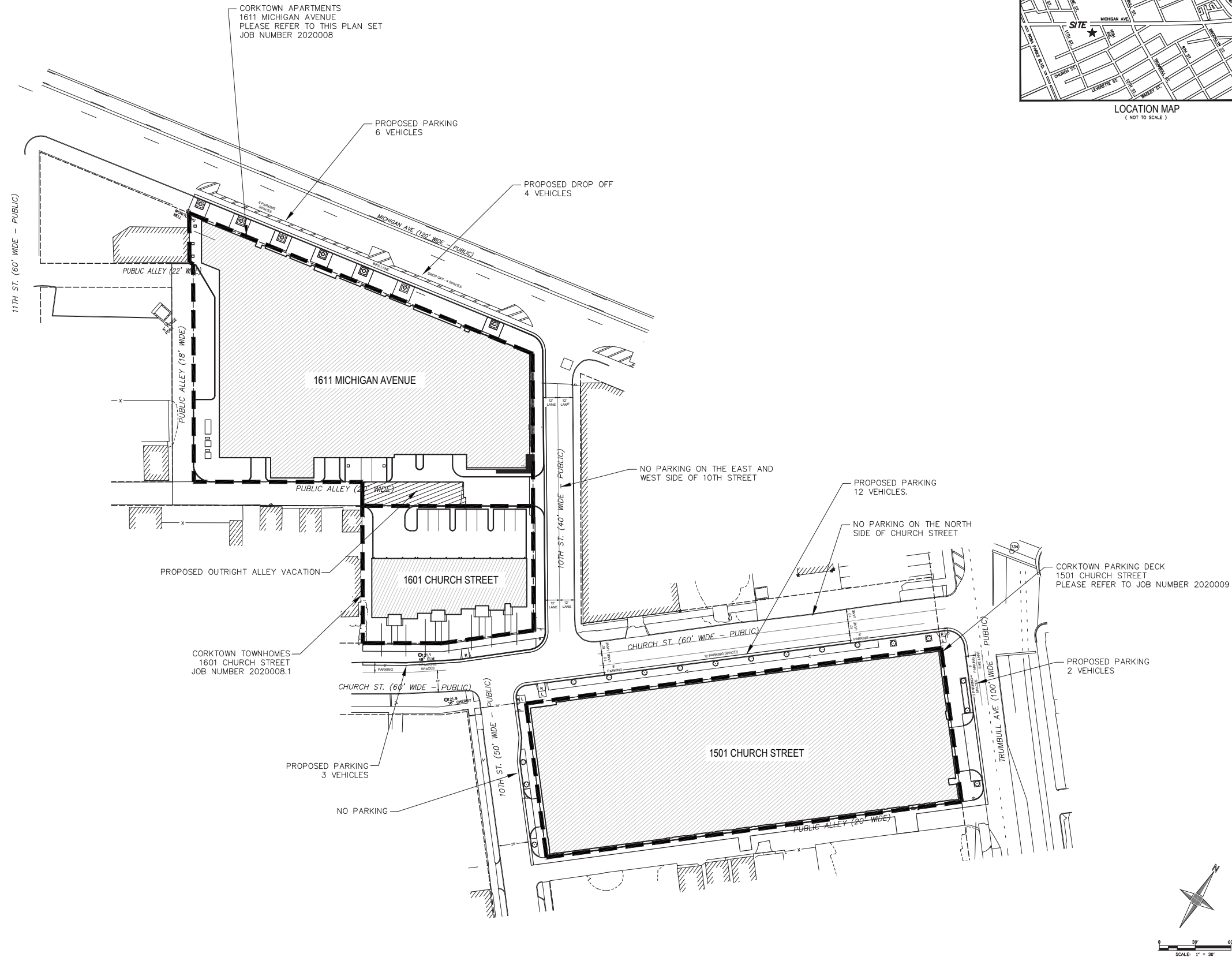


© ELKUS MANFREDI ARCHITECTS

SITE 2 PARKING GARAGE:VIEW FROM MICHIGAN AVE

CORKTOWN › DETROIT, MICHIGAN › SITES 1&2





CIVIL : SITE PLAN

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

THE FORBES COMPANY > HUNTER PASTEUR HOMES < OXFORD CAPITAL
ELKUS MANFREDI ARCHITECTS > NEUMANN SMITH ARCHITECTURE
GIFFELS WEBSTER > RESURGENT ENGINEERING > IMEG

PROPERTY DESCRIPTION

(SEE RECORDS)

CHURCH ST

LOCATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:
 H/OF CHURCH STREET, THE EAST 1/2 OF LOT 14, BLOCK 82, OF WOODBRIDGE FARM, LIBER 1, PAGES 148
 UGH 147 OF PLATS, WAYNE COUNTY RECORDS.

D. 0820098

CHURCH ST

LOCATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:
 H/OF CHURCH STREET, THE WEST 1/2 OF LOT 14, EXCLUDING THE NORTH 7.4 FEET OF THE WEST 20.23
 BLOCK 82, OF WOODBRIDGE FARM, LIBER 1, PAGES 148 THROUGH 147 OF PLATS, WAYNE COUNTY
 RECORDS.

D. 0820098

CHURCH ST

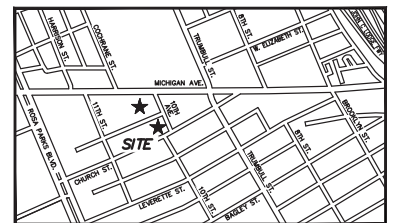
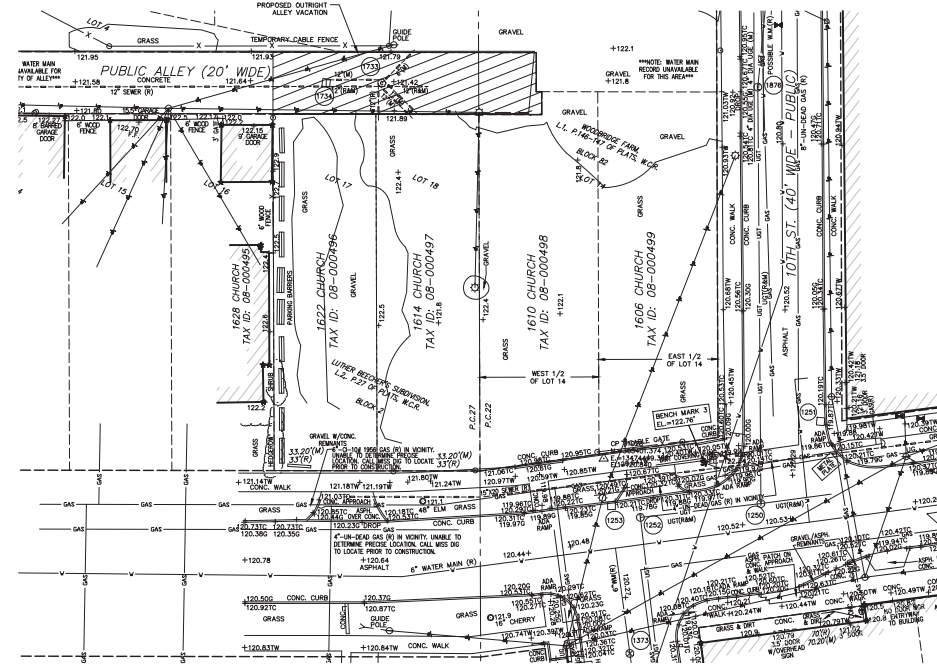
LOCATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:
 H/OF CHURCH STREET, LOT 18, BLOCK 2, OF LUTHER BEECHERS SUBDIVISION, LIBER 2, PAGE 27 OF
 1, WAYNE COUNTY RECORDS.

D. 0820097

CHURCH ST

LOCATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:
 H/OF CHURCH STREET, LOT 11, BLOCK 2, OF LUTHER BEECHERS SUBDIVISION, LIBER 2, PAGE 27 OF
 1, WAYNE COUNTY RECORDS.

D. 0820098



LEGEND - EXISTING

--- SECTION LINE	⊙ SAN. MH
--- E/ PAVEMENT	⊙ SAN. CLEAN OUT
--- CURB	⊙ SAN. RISER
--- E/ GRAVEL	⊙ SAN. PUMP STATION
--- CL. ROAD	⊙ COMB. MH
--- E/ WALK	⊙ GATE VALVE
--- RAILROAD	⊙ HYDRANT
--- E/ BRICK	⊙ WATER VALVE
--- MIS. LINE	⊙ WATER METER
--- FENCE	⊙ WELL HEAD
--- GUARD RAIL	⊙ FFC CONNECTION
--- WALL	⊙ STORM MH
--- BLDG. LINE	⊙ CATCH BASIN
--- OVERHEAD WIRES	⊙ BEEHIVE CB
--- RAILING	⊙ CULVERT E.S.
--- OVERHANG LINE	⊙ ROOF/DOWN SPOUT
--- 1/7 BANK	⊙ O.C.O. STORM CLEAN OUT
--- B/ BANK	⊙ ROUND CB
--- CL. DITCH/STREAM	⊙ LIGHT POLE
--- SHIMB LINE	⊙ UTILITY POLE
--- TREE LINE	⊙ ELEC. TRANS.
--- WATER EDGE	⊙ AIR CONDITIONER
--- WETLAND LINE	⊙ ELEC. MH
--- STORM LINE	⊙ ELEC. METER
--- SAN. LINE	⊙ ELEC. RISER
--- WATER LINE	⊙ FLD LINE
--- GAS LINE	⊙ COMBINED SEMER
--- USE ELEC. LINE	⊙ FLD LINE
--- USE TELE. LINE	⊙ STEAM LINE
--- USE CABLE TV LINE	⊙ ELECTRIC OVERHEAD
--- USE PAINT STRIKE	⊙ TELEPHONE OVERHEAD
--- USE STEAM	⊙ GAS METER
--- TEL.	⊙ GAS RISER
	⊙ GAS VALVE
	⊙ GAS MH
	⊙ TELE. RISER
	⊙ TELE. MH
	⊙ TELE. CROSS BOX
	⊙ CABLE RISER
	⊙ PAY PHONE
	⊙ MANHOLE
	⊙ SON
	⊙ PROT. POST/GUARD POST
	⊙ GUY
	⊙ DECIDUOUS TREE
	⊙ CONIFEROUS TREE
	⊙ DEAD TREE
	⊙ UTILITY FLAG
	⊙ BLDG. CORNER (FIELD LOCATED)
	⊙ HANDICAP PARKING
	⊙ METAL FLAG
	⊙ BUSH/SHRUB
	⊙ PARKING METER
	⊙ RESIDENTIAL MAILBOX
	⊙ U.S. MAILBOX
	⊙ EXISTING ELEVATION
	⊙ SAN. MH
	⊙ SAN. CLEAN OUT
	⊙ SAN. RISER
	⊙ SAN. PUMP STATION
	⊙ COMB. MH
	⊙ GATE VALVE
	⊙ HYDRANT
	⊙ WATER VALVE
	⊙ WATER METER
	⊙ WELL HEAD
	⊙ FFC CONNECTION
	⊙ STORM MH
	⊙ CATCH BASIN
	⊙ BEEHIVE CB
	⊙ CULVERT E.S.
	⊙ ROOF/DOWN SPOUT
	⊙ O.C.O. STORM CLEAN OUT
	⊙ ROUND CB
	⊙ LIGHT POLE
	⊙ UTILITY POLE
	⊙ ELEC. TRANS.
	⊙ AIR CONDITIONER
	⊙ ELEC. MH
	⊙ ELEC. METER
	⊙ ELEC. RISER
	⊙ FLD LINE
	⊙ STEAM LINE
	⊙ ELECTRIC OVERHEAD
	⊙ TELEPHONE OVERHEAD
	⊙ GAS METER
	⊙ GAS RISER
	⊙ GAS VALVE
	⊙ GAS MH
	⊙ TELE. RISER
	⊙ TELE. MH
	⊙ TELE. CROSS BOX
	⊙ CABLE RISER
	⊙ PAY PHONE
	⊙ FOUND IRON
	⊙ FOUND NAIL
	⊙ F. CUT CROSS
	⊙ SECTION COR.
	⊙ FENCE POST
	⊙ BENCHMARK
	⊙ FOUND PIPE
	⊙ FOUND MAN.
	⊙ ASPH.
	⊙ CONC.
	⊙ AIR CONDITIONER
	⊙ G.P. GUARD POST
	⊙ CLP. CHAIN-LINK FENCE
	⊙ DL. DOOR LEJDE
	⊙ F.F. FINISHED FLOOR
	⊙ S.L. SET IRON
	⊙ F.F.P. FOUND IRON PIPE
	⊙ M. MEASURED
	⊙ R. RECORD
	⊙ F.M. FOUND MONUMENT
	⊙ S.N. SET NAIL
	⊙ CMP
	⊙ ROP
	⊙ G.L. GROUND LIGHT

SCHEDULE OF STRUCTURES

LINE	TYPE	SIZE OF PIPE	RMI	ORCP	INVERT	DIRECTION	COMMENTS
	PUBLIC LIGHTING MANHOLE	T/DEBRIS	121.52	-2.70	118.92	CABLES NORTHWEST	
	COMBINED MANHOLE	CL. CHANNEL	121.67	-15.15	108.52	NORTHEAST & SOUTHWEST	
	GATE VALVE	TYPE	121.40	-5.55	114.34	NORTHEAST & SOUTHWEST	
	PUBLIC LIGHTING MANHOLE	T/DEBRIS	121.28	-4.65	118.93		
	PUBLIC LIGHTING MANHOLE	T/DIRTY BANK	121.28	-2.75	118.93	NORTHEAST & SOUTHWEST	NO WIRES/CABLES
	PUBLIC LIGHTING MANHOLE	T/DEBRIS	120.99	-2.95	118.94	CABLES NORTHWEST & SOUTHWEST	
	CATCH BASIN	T/DEBRIS	120.29	-5.80	114.48		18" DIAMETER CONC. CYLINDRICAL STRUCTURE. FULL OF WATER.
	PUBLIC LIGHTING MANHOLE	T/DEBRIS	120.47	-3.20	117.27		NO CABLES VISIBLE. FULL OF WATER.
	CATCH BASIN	BOTTOM	119.57	-3.45	116.12		NO PIPES VISIBLE. FULL OF WATER.
	PUBLIC LIGHTING MANHOLE	BOTTOM	120.00	-2.74	117.28		CABLES NORTH & SOUTH
	PUBLIC LIGHTING MANHOLE	T/DEBRIS	118.78	-4.85	114.71		CABLES EAST & WEST
	TELEPHONE MANHOLE	BOTTOM	120.37	-2.80	114.48		CABLES SOUTH. LINES POSSIBLY CUT
	TELEPHONE MANHOLE	BOTTOM	120.30	-5.90	114.34		CABLES EAST & WEST
	PUBLIC LIGHTING MANHOLE	T/DEBRIS	119.94	-8.50	111.44		CABLES NORTH, EAST, SOUTH, & WEST
	PUBLIC LIGHTING MANHOLE	T/DEBRIS	119.66	-6.65	113.01		CABLES NORTHWEST, NORTHEAST, SOUTHEAST, & SOUTHWEST
	UNKNOWN MANHOLE		120.48				UNABLE TO OPEN. PAVED OVER
	PUBLIC LIGHTING MANHOLE	T/DEBRIS	120.85	-4.00	118.53		CABLES NORTHWEST & SOUTHWEST
	CATCH BASIN	T/DEBRIS	120.33	-4.50	115.83		18" DIAMETER CONC. CYLINDRICAL STRUCTURE
	CATCH BASIN	T/WATER	119.35	-3.70	115.85		18" DIA. STRUCTURE. FULL OF WATER.
	CATCH BASIN	BOTTOM	119.35	-5.10	114.25		
	CATCH BASIN	T/DEBRIS	118.11	-2.45	113.86		ELBOW SOUTH
	CATCH BASIN	12"	120.22	-4.00	116.22		12" DIA. STRUCTURE. SOUTHWEST
	TELEPHONE MANHOLE	T/DEBRIS	120.48	-5.90	114.36		CABLES NORTH, EAST, & WEST
	CATCH BASIN	T/WATER	119.87	-3.15	116.72		NO PIPES VISIBLE. FULL OF WATER.
	TELEPHONE MANHOLE	T/DEBRIS	119.87	-4.10	115.77		18" DIA. STRUCTURE. FULL OF WATER.
	TELEPHONE MANHOLE	T/DEBRIS	119.28	-4.55	115.43		CABLES EAST & SOUTH
	CATCH BASIN	T/WATER	119.72	-3.45	116.27		18" DIA. STRUCTURE. FULL OF WATER.
	GATE VALVE	T/VALVE	120.08	-4.00	116.08		NO PIPES VISIBLE. FULL OF WATER.
	GATE VALVE	T/VALVE	119.81	-4.20	115.31		UNABLE TO DETERMINE. FULL OF DEBRIS
	CATCH BASIN	T/DEBRIS	119.38	-2.60	117.38		NO PIPES VISIBLE. FULL OF DEBRIS
	TELEPHONE MANHOLE	T/DEBRIS	118.60	-3.20	115.40		CABLES NORTH, EAST, & SOUTH. TELEPHONE, ELECTRIC, & CABLE
	CATCH BASIN	T/WATER	119.48	-3.00	116.48		NO PIPES VISIBLE. FULL OF WATER. OUT OF SCOPE OF DRAWING.
	COMBINED MANHOLE	18" CHANNEL	120.04	-8.85	110.19		EAST & WEST FLOWS EAST. OUT OF SCOPE OF DRAWING
	CATCH BASIN	T/DEBRIS	121.43	0.00	121.43		NO PIPES VISIBLE. FULL OF DEBRIS
	PUBLIC LIGHTING MANHOLE	T/DEBRIS	120.13	-2.40	117.73		NO CABLES VISIBLE. FULL OF DEBRIS. POSSIBLY ABANDONED.
	ROUND CATCH BASIN	T/WATER	120.13	-1.20	118.93		NO PIPES VISIBLE. FULL OF WATER
	COMBINED MANHOLE	6"	121.40	-5.00	116.36		EAST
	COMBINED MANHOLE	6"	121.40	-5.50	118.90		SOUTHWEST
	COMBINED MANHOLE	6"	121.40	-5.40	119.00		SOUTH
	PUBLIC LIGHTING MANHOLE	T/DEBRIS	118.85	-3.10	116.35		CABLES UP & DOWN MICHIGAN AVE
	ELECTRIC MANHOLE	T/DEBRIS	119.78	-3.50	116.28		CABLES UP & DOWN MICHIGAN AVE
	PUBLIC LIGHTING MANHOLE	T/DEBRIS	120.41	-3.60	116.81		CABLES SOUTHWEST & WEST. PAINT MARKINGS INDICATE CABLES ALONG MICHIGAN AVE. UNABLE TO FIELD VERIFY.
	ROUND CATCH BASIN	T/WATER	120.25	-1.05	119.20		NO PIPES VISIBLE. FULL OF WATER
	ROUND CATCH BASIN	6"	120.37	-1.10	119.27		EAST
	ROUND CATCH BASIN	6"	120.37	-1.60	118.77		SOUTHWEST
	ROUND CATCH BASIN	6"	119.37	-2.90	116.47		NORTHERLY
	CATCH BASIN	T/11" PIPE BULKHEAD	119.37	-3.65	115.72		
	CATCH BASIN	6" P/C	119.37	-3.45	116.38		SOUTHERLY TO ROUND CATCH BASIN #1545
	CATCH BASIN	6" C/P	119.37	-1.90	117.47		SOUTHERLY TO ROUND CATCH BASIN #1545
	ELECTRIC MANHOLE	T/DEBRIS	120.14	-6.35	113.79		CABLES NORTHERLY & UP & DOWN MICHIGAN AVE
	GATE VALVE	T/VALVE	120.34	-2.40	117.34		UNABLE TO DETERMINE. PAINT MARKINGS INDICATE PIPE RUNS ALONG MICHIGAN AVE
	CATCH BASIN	6"	121.15	-4.30	116.85		WEST
	CATCH BASIN	6"	121.52	-10.20	111.32		NORTHEAST
	COMBINED MANHOLE	12"	121.52	-10.80	115.72		EAST
	COMBINED MANHOLE	12"	121.52	-10.70	115.82		SOUTHWEST
	COMBINED MANHOLE	12"	121.52	-10.00	111.52		EAST
	COMBINED MANHOLE	12"	121.52	-10.70	115.82		WEST
	CATCH BASIN	12"	121.29	-4.05	117.24		EAST
	ELECTRIC MANHOLE	T/4" DIA CONDUIT	120.72	-2.10	118.82		CABLES NORTH & SOUTH
	ELECTRIC MANHOLE	T/DEBRIS	120.72	-3.25	117.47		

1 EXISTING CONDITIONS
 C-200 1" = 20'

BENCHMARK DATA
 (CITY OF DETROIT) DATUM

BENCHMARK 1
 MAG. SPIKE IN THE NORTHEAST FACE OF LIGHT POLE, LOCATED ON THE WEST SIDE OF TRUMBULL AVENUE, PLUS OR MINUS 150 FEET NORTH OF THE CENTERLINE OF LEVERETTE STREET. ELEVATION: 122.3178 (SHOWN GRAPHICALLY)

BENCHMARK 2
 ARROW ON HYDRANT (WITH YEAR STAMP 1940), LOCATED AT THE SOUTHWEST CORNER OF MICHIGAN AVENUE AND 8TH STREET. ELEVATION: 123.06 (OUT OF SCOPE OF PLOTTED AREA)

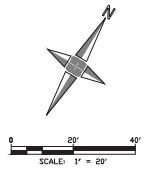
BENCHMARK 3
 ARROW ON HYDRANT (1922), LOCATED ON THE NORTHWEST CORNER OF CHURCH STREET AND 10TH STREET. ELEVATION: 122.78 (SHOWN GRAPHICALLY)

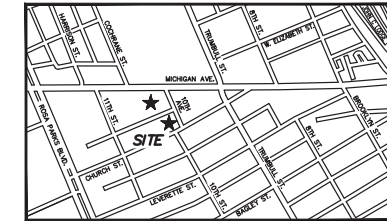
BENCHMARK 4
 ARROW ON HYDRANT (1940), LOCATED ON THE SOUTH SIDE OF MICHIGAN AVENUE, WEST OF THE WESTERLY ENTRANCE TO A PARKING LOT AT ADDRESS 1545 MICHIGAN AVENUE. ELEVATION: 123.13 (SHOWN GRAPHICALLY)

BENCHMARK 5
 MAG. NAIL IN THE NORTH FACE OF A UTILITY POLE, LOCATED ON THE SOUTHWEST CORNER OF 10TH STREET AND THE PUBLIC ALLEY, WHICH IS BETWEEN CHURCH STREET AND LEVERETTE STREET. ELEVATION: 120.17 (SHOWN GRAPHICALLY)

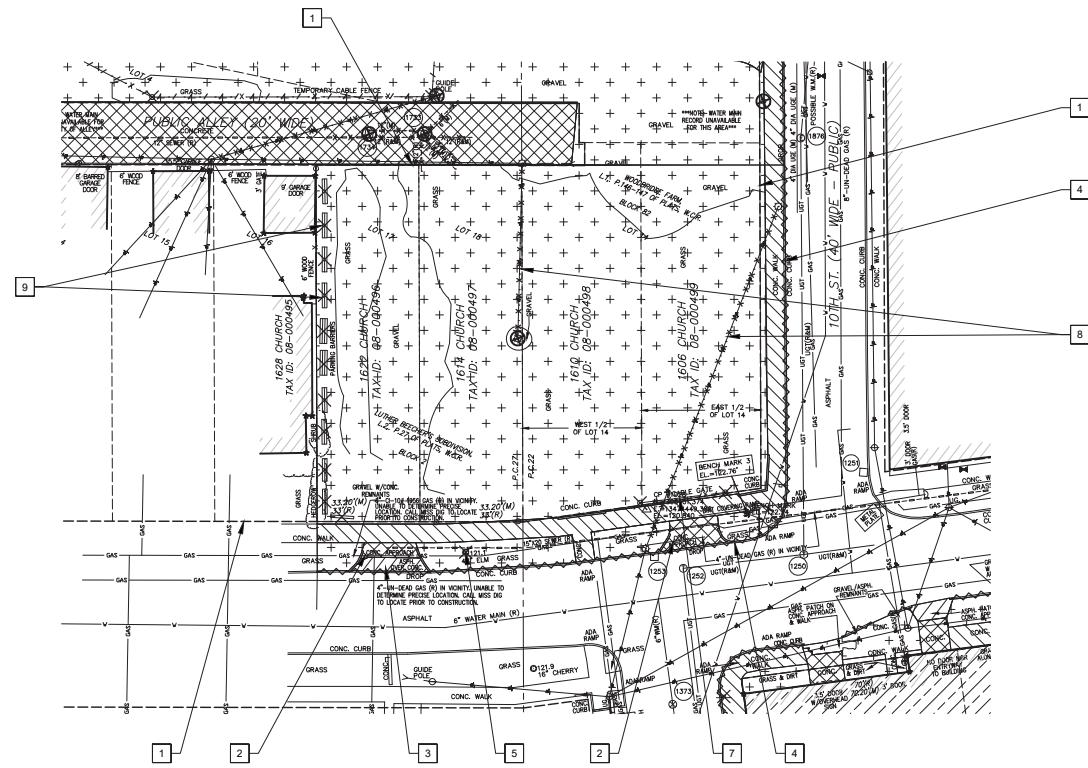
NOTES:

- STEAM UTILITY MAPS WERE NOT AVAILABLE AT TIME OF SURVEY.
- NO WATER UTILITY MAP WAS AVAILABLE THAT SHOWED THE AREA OF A 20' WIDE PUBLIC ALLEY LOCATED BETWEEN MICHIGAN AVE & CHURCH ST., & BETWEEN 10TH ST. & A 18' WIDE PUBLIC ALLEY. THEREFORE, WATER MAIN MAY EXIST, ALTHOUGH NOT SHOWN. CONTACT MISS DIG TO LOCATE ALL WATER MAIN, PRIOR TO CONSTRUCTION.
- TREE SIZES AND SPECIES ARE THE BEST ESTIMATION OF THE FIELD SURVEYOR. SPECIFIC QUESTIONS REGARDING INDIVIDUAL TREES SHOULD BE DIRECTED TO A QUALIFIED FORESTER.
- THE BASIS OF BEARING FOR THE OVERALL PARCEL AS FIELD SURVEYED IS BASED ON STATE PLANE COORDINATE SYSTEM (NAD83).
- NO TITLE COMMITMENT POLICY WAS PROVIDED, THEREFORE EASEMENTS MAY EXIST THAT ARE NOT SHOWN.
- NO CERTIFICATION CAN BE MADE AS TO LIMITS OF OWNERSHIP.





LOCATION MAP
(NOT TO SCALE)

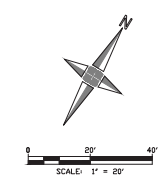


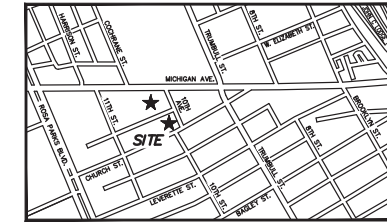
DEMOLITION PLAN - LEGEND

REMOVE/DEMOLISH UTILITY LINE	- x - x - x - x - x - x -
REMOVE/DEMOLISH CURB AND GUTTER	~ ~ ~ ~ ~
REMOVE FENCE	- . - . - . - . - . - . -
REMOVE/DEMOLISH UTILITY STRUCTURE	⊗
REMOVE TREE, SHRUB, OR ITEM	⊗
REMOVE EXISTING BUILDING	[Hatched Box]
REMOVE CONCRETE PAVEMENT	[Cross-hatched Box]
REMOVE ASPHALT PAVEMENT	[Diagonal Hatched Box]
REMOVE CONCRETE SIDEWALK	[Diagonal Hatched Box]
REMOVE GRASS, BRUSH, GRAVEL AND/OR DEBRIS	[Plus Sign Hatched Box]

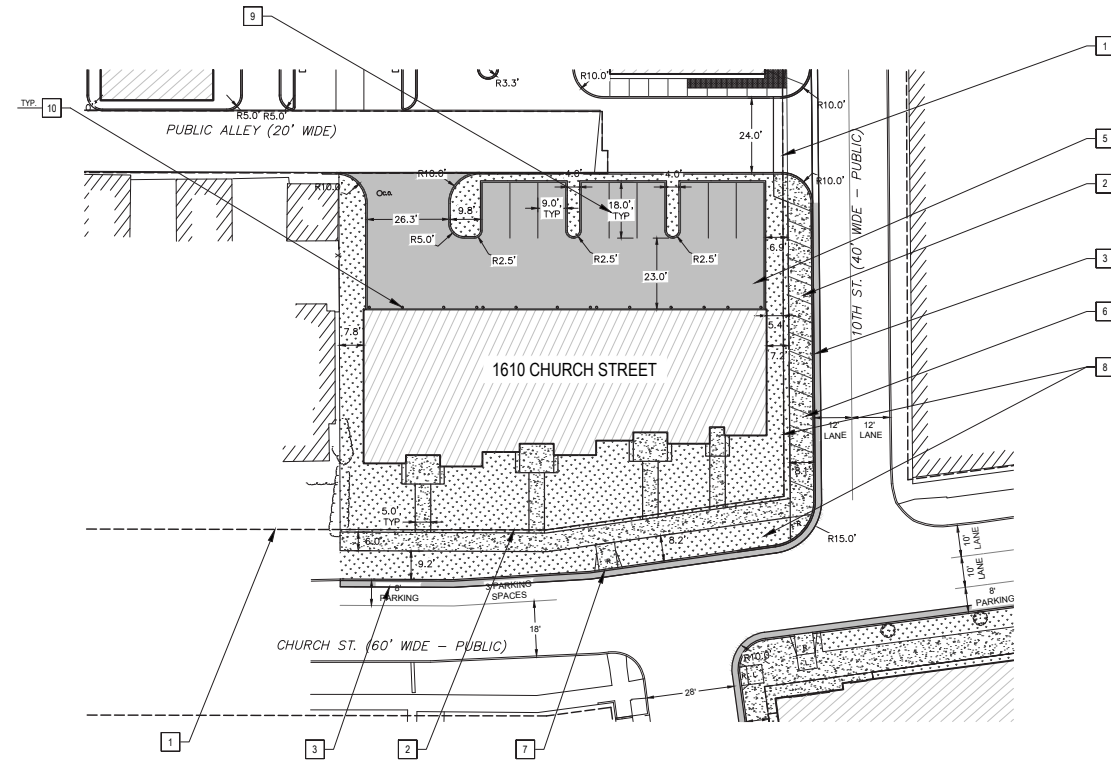
- DEMOLITION PLAN - KEY NOTES**
- 1 EXISTING PROPERTY LINE, TYP
 - 2 REMOVE AND DISPOSE OF CONCRETE PAVEMENT, TYP
 - 3 REMOVE AND DISPOSE OF ASPHALT PAVEMENT, TYP
 - 4 REMOVE AND DISPOSE OF CONCRETE CURB, TYP
 - 5 EXISTING TREE TO BE REMOVED
 - 6 CLEAR AREA OF GRAVEL, GRASS, BRUSH AND/OR DEBRIS, TYP
 - 7 EXISTING FENCE AND FENCE POSTS TO BE REMOVED
 - 8 COORDINATE WITH DTE AND THE PUBLIC LIGHTING AUTHORITY TO REMOVE/RELOCATE ELECTRIC POLES, OVERHEAD LINES, AND LIGHTING AS NEEDED FOR PROPERTY IMPROVEMENTS
 - 9 EXISTING PARKING BARRIERS TO BE REMOVED

1 DEMOLITION PLAN
C-300 1" = 20'





LOCATION MAP
(NOT TO SCALE)



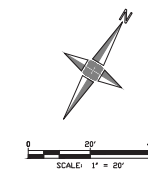
PAVING PLAN - LEGEND

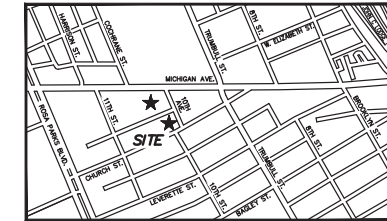
- 4" CONCRETE SIDEWALK PAVEMENT
- 6" CONCRETE SIDEWALK PAVEMENT
- 8" CONCRETE PAVEMENT
- PAVEMENT REPAIR PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS
- ASPHALT PAVEMENT
- LANDSCAPING, SEE SHEET L-100 FOR PLANTING LOCATIONS AND SPECIES

PAVING PLAN - KEY NOTES

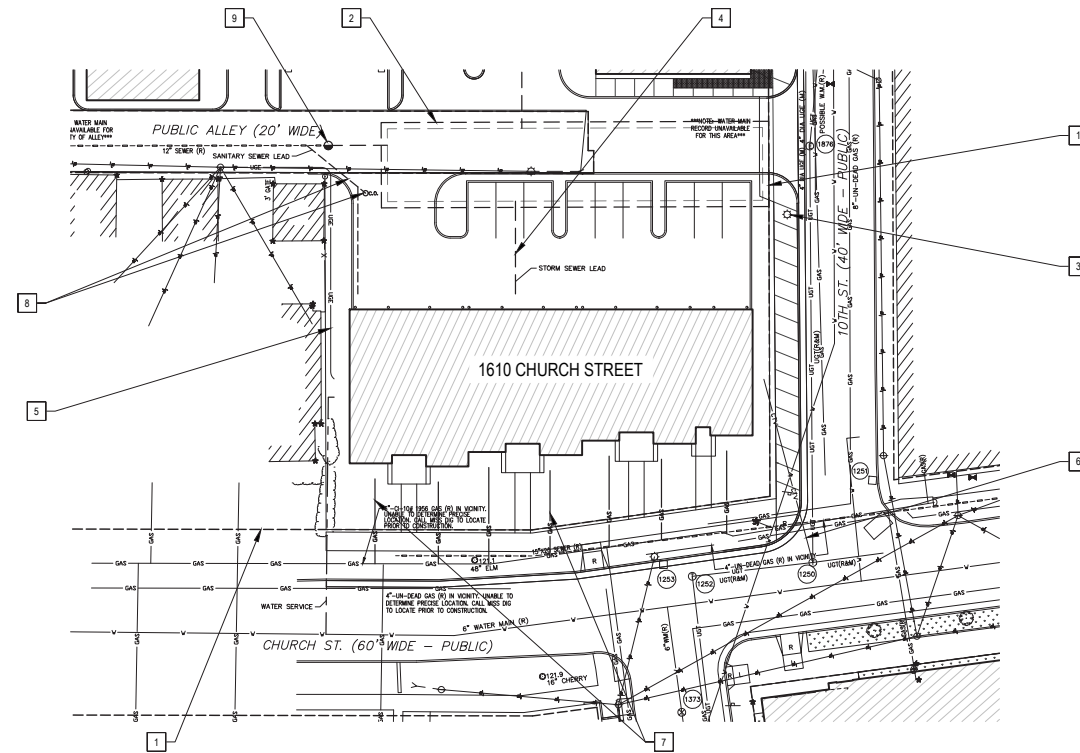
- | # | NOTE |
|----|---|
| 1 | RIGHT-OF-WAY LINE, TYP. |
| 2 | NEW 4" CONCRETE SIDEWALK PAVEMENT, SEE DETAIL ON SHEET C-800 |
| 3 | 2'-0" (MIN.) WIDE PAVEMENT REPAIR PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS. EXISTING STREET PAVEMENT SHALL BE MILLED AND REPAIRED TO NEW GUTTER GRADE PER GRADING PLAN. PAVEMENT SHALL HAVE UNIFORM SLOPE TOWARDS FACE OF CURB. |
| 4 | NEW 8" CONCRETE ALLEY PAVEMENT PER CITY OF DETROIT STANDARDS |
| 5 | ASPHALT PAVEMENT, SEE DETAIL ON SHEET C-800 |
| 6 | PROVIDE AND INSTALL NEW INTEGRAL CURBS AND SIDEWALK, SEE DETAIL ON SHEET C-800. |
| 7 | ADA COMPLIANT BARRIER FREE CURB RAMP PER CITY OF DETROIT STANDARDS |
| 8 | PLEASE REFER TO THE LANDSCAPE PLANS FOR PLANTER BED AND PLANTING DETAILS. |
| 9 | PAVEMENT MARKINGS, SEE DETAIL ON SHEET C-800 |
| 10 | BOLLARDS |

1 PAVING PLAN
C-500 1" = 20'





LOCATION MAP
(NOT TO SCALE)



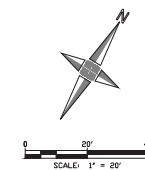
UTILITY PLAN - LEGEND

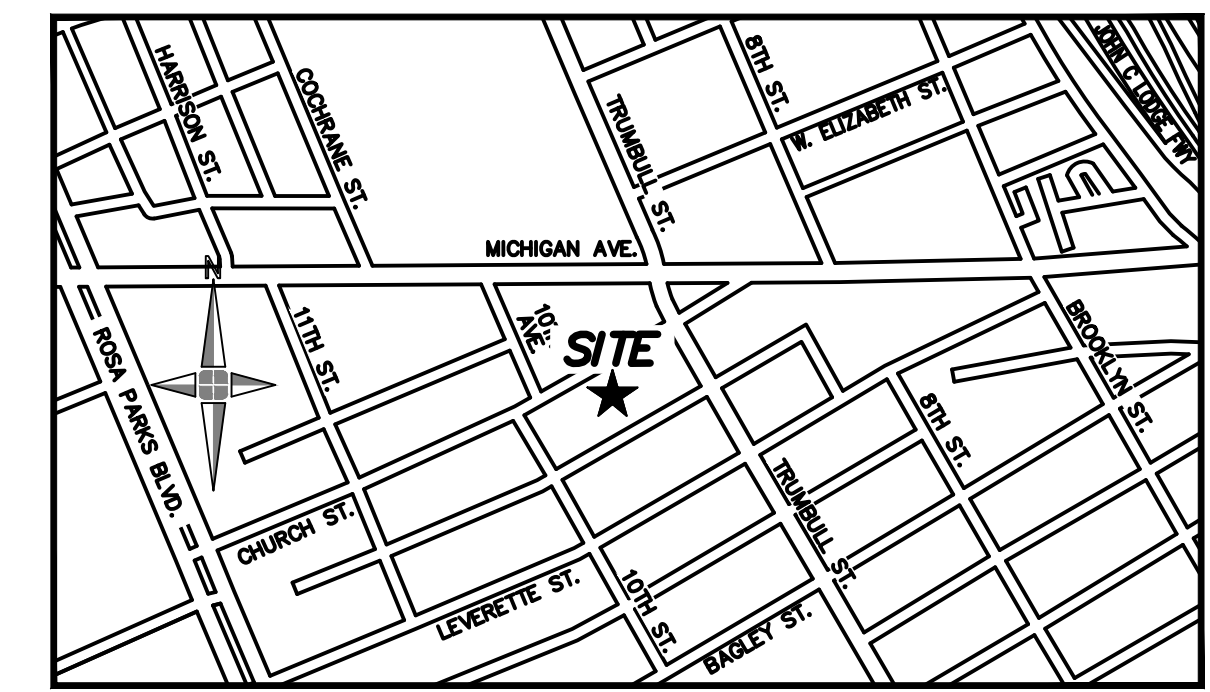
STORM SEWER	---
SANITARY SEWER	---
PERFORATED DRAIN	---
WATER SERVICE	---
UNDERGROUND ELECTRIC	---
GAS SERVICE	---
COMMUNICATIONS	---
FIRE HYDRANT	⊙
STOP BOX AND VALVE	⊙
FIRE DEPARTMENT CONNECTION	⊙
CATCH BASIN	■
SANITARY SEWER DRAIN	■
SANITARY CLEANOUT	○
SANITARY MANHOLE	○
STORM MANHOLE	○
STORM SEWER CLEANOUT	○
UNDERGROUND DETENTION SYSTEM	[---]

UTILITY PLAN - KEY NOTES

- 1 EXISTING PROPERTY LINE, TYP.
- 2 ESTIMATE OF SIZE AND LOCATION OF SHARED UNDERGROUND DETENTION SYSTEM BASED ON PRELIMINARY CALCULATIONS
- 3 COORDINATE WITH THE PUBLIC LIGHTING AUTHORITY TO REMOVE/RELOCATE POLES, OVERHEAD LINES, AND LIGHTING AS NEEDED FOR PROPERTY IMPROVEMENTS, TYP.
- 4 NEW PVC PIPE FOR STORM
- 5 NEW DTE UNDERGROUND CONDUIT FOR SERVICE
- 6 NEW COMMUNICATIONS LINE
- 7 NEW GAS LINE, TYP.
- 8 NEW SANITARY LINE AND SANITARY CLEANOUT
- 9 PROPOSED MANHOLE INSTALLED AS A PART OF THE 1611 MICHIGAN AVENUE PROJECT

1 UTILITY PLAN
C-700 1" = 20'





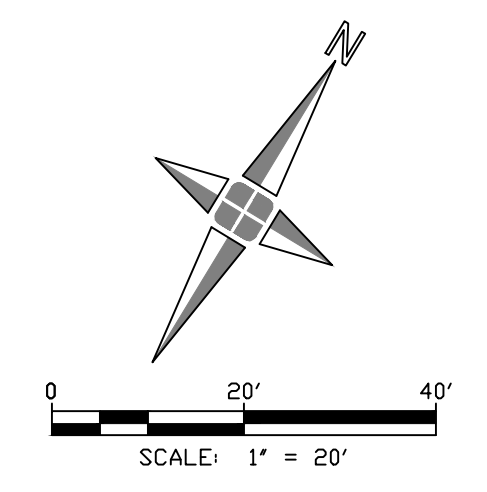
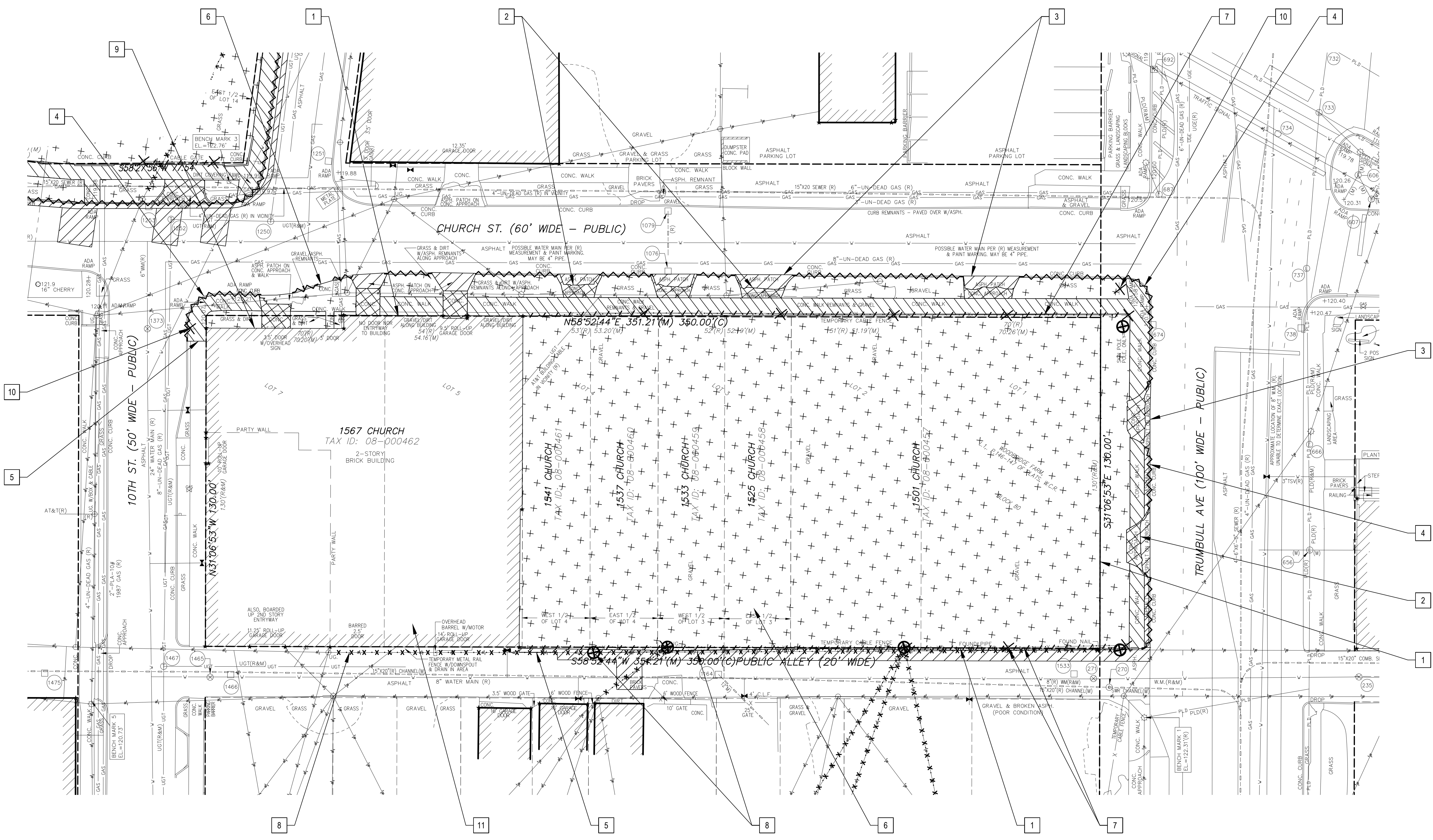
LOCATION MAP
 (NOT TO SCALE)

DEMOLITION PLAN - LEGEND

- REMOVE/DEMOLISH UTILITY PIPE
- REMOVE/DEMOLISH CURB AND GUTTER
- REMOVE FENCE
- REMOVE/DEMOLISH UTILITY STRUCTURE
- REMOVE TREE, SHRUB, OR ITEM
- REMOVE EXISTING BUILDING
- REMOVE CONCRETE PAVEMENT
- REMOVE ASPHALT PAVEMENT
- REMOVE CONCRETE SIDEWALK
- REMOVE GRASS, BRUSH AND/OR DEBRIS

DEMOLITION PLAN - KEY NOTES

- 1 EXISTING PROPERTY LINE, TYP
- 2 REMOVE AND DISPOSE OF CONCRETE PAVEMENT, TYP
- 3 REMOVE AND DISPOSE OF ASPHALT PAVEMENT, TYP
- 4 REMOVE AND DISPOSE OF CONCRETE CURB, TYP
- 5 SAWCUT EXISTING PAVEMENT, TYP
- 6 CLEAR AREA OF GRAVEL, GRASS, BRUSH AND/OR DEBRIS, TYP
- 7 EXISTING FENCE AND FENCE POSTS TO BE REMOVED
- 8 COORDINATE WITH THE PUBLIC LIGHTING AUTHORITY TO REMOVE/RELOCATE ELECTRIC POLES, OVERHEAD LINES, AND LIGHTING AS NEEDED FOR PROPERTY IMPROVEMENTS
- 9 REMOVE EXISTING BUILDING AND FOUNDATIONS IN ACCORDANCE WITH SITE PLAN. FILL WITH CLASS II SAND COMPACTED TO 95%
- 10 REMOVE, STOCKPILE, AND REPLACE EXISTING SIGN
- 11 PROTECT EXISTING BUILDING THROUGHOUT CONSTRUCTION



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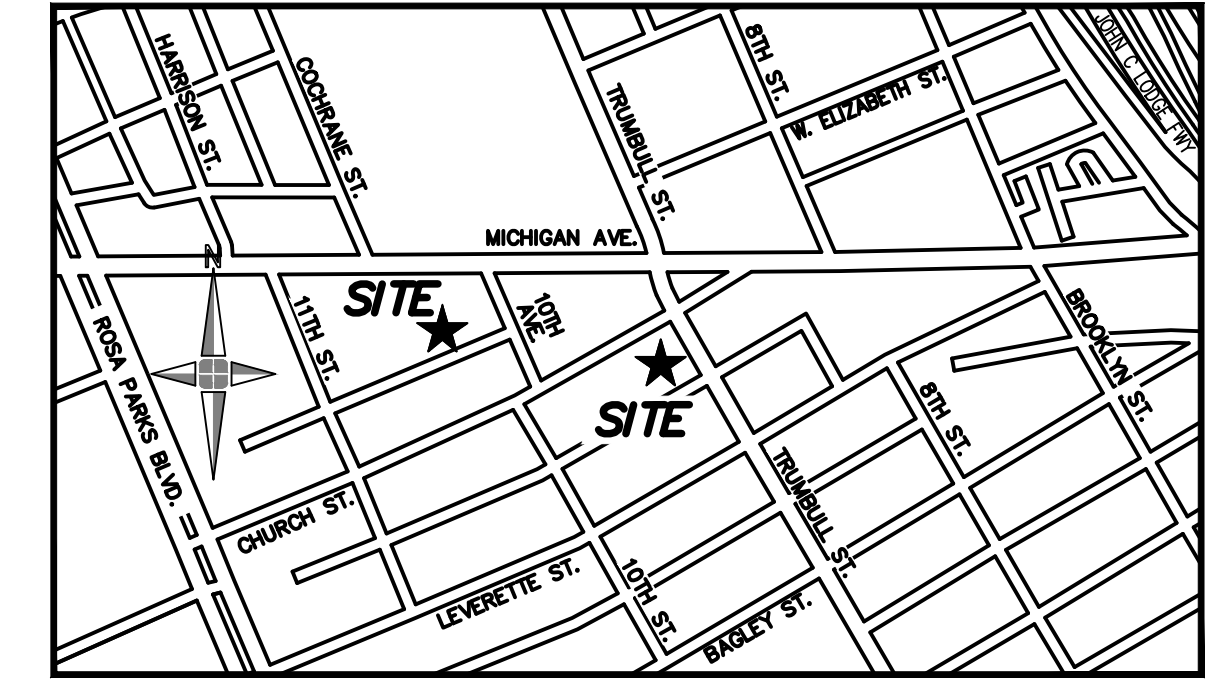
04.26.2021 HDC
 03.18.2021 Design Development
 01.14.2021 Schematic Design

Drawn Preliminary
 SP Construction
 Checked Record
 IT Approved **Do not scale**
 MM Use figured dimensions only
 Bidpak Number

Job Number
2020009

Title
DEMOLITION PLAN

Sheet
C-300



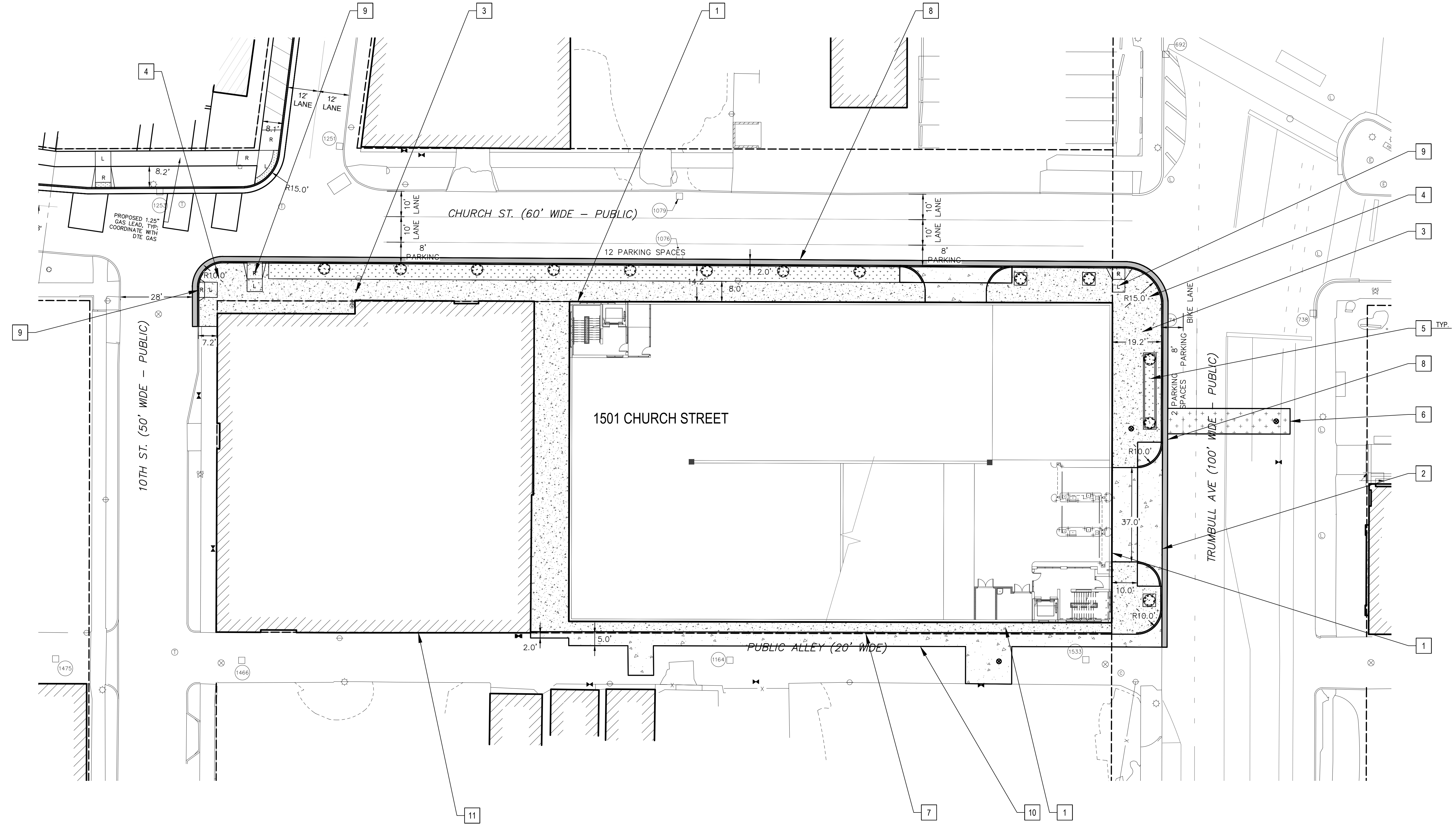
LOCATION MAP
 (NOT TO SCALE)

PAVING PLAN - LEGEND

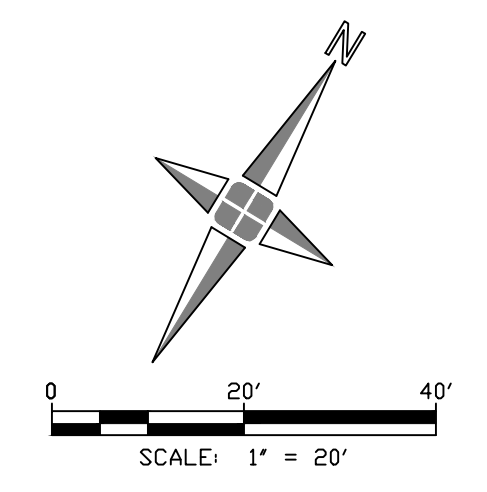
- 4" CONCRETE SIDEWALK PAVEMENT
- 6" CONCRETE SIDEWALK PAVEMENT
- 8" CONCRETE PAVEMENT
- BRICK PAVERS
- PAVEMENT REPAIR PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS
- ASPHALT PAVEMENT
- LANDSCAPING, SEE SHEET L-100 FOR PLANTING LOCATIONS AND SPECIES

PAVING PLAN - KEY NOTES

- | # | NOTE |
|----|--|
| 1 | EXISTING PROPERTY LINE, TYP. |
| 2 | PROVIDE AND INSTALL NEW 8" CONCRETE DRIVE APPROACH WITH 6" CONCRETE SIDEWALK ON EACH SIDE FROM THE APPROACH TO THE END OF THE DRIVEWAY RADIUS ON EACH SIDE - TYP. |
| 3 | NEW 4" CONCRETE SIDEWALK PAVEMENT. SEE DETAIL ON SHEET C-800 |
| 4 | NEW 6" CONCRETE PAVEMENT. SEE DETAIL ON SHEET C-800. |
| 5 | SEE L100 FOR LANDSCAPE PLAN |
| 6 | JOINT TO JOINT PAVEMENT REPAIR FOR INSTALLATION OF NEW UTILITIES PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS |
| 7 | PROVIDE AND INSTALL NEW INTEGRAL CURB AND SIDEWALK. SEE DETAIL ON SHEET C-800. |
| 8 | 2" (MIN.) WIDE PAVEMENT REPAIR PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS. EXISTING STREET PAVEMENT SHALL BE MILLED AND REPAIRED TO NEW GUTTER GRADE PER GRADING PLAN. PAVEMENT SHALL HAVE UNIFORM SLOPE TOWARDS FACE OF CURB. |
| 9 | ADA COMPLIANT BARRIER FREE CURB RAMP PER CITY OF DETROIT STANDARDS |
| 10 | NEW 8" CONCRETE ALLEY PAVEMENT PER CITY OF DETROIT STANDARDS |
| 11 | PROTECT EXISTING BUILDING THROUGHOUT CONSTRUCTION |



1 PAVING PLAN
 C-500 1" = 20'



V:\1995-03\1501 church street\Design\CA\work sheets\C-500 Geometric and Paving Plan.dwg

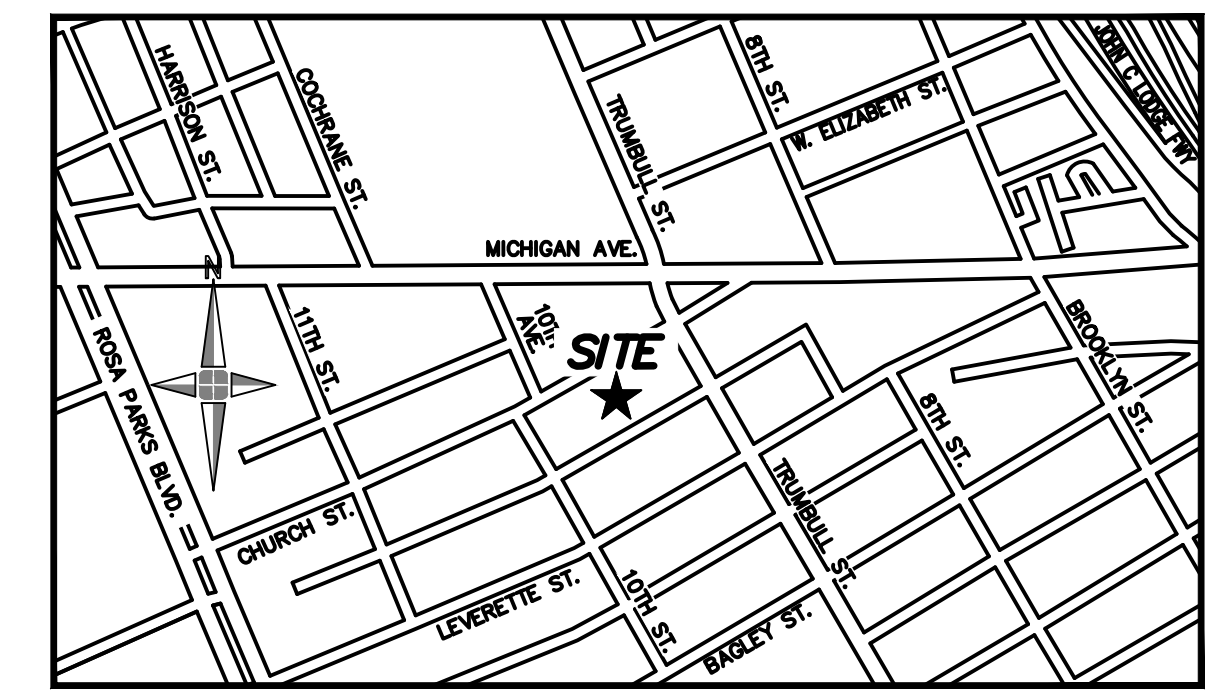
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04.26.2021 HDC
 03.18.2021 Design Development
 01.14.2021 Schematic Design

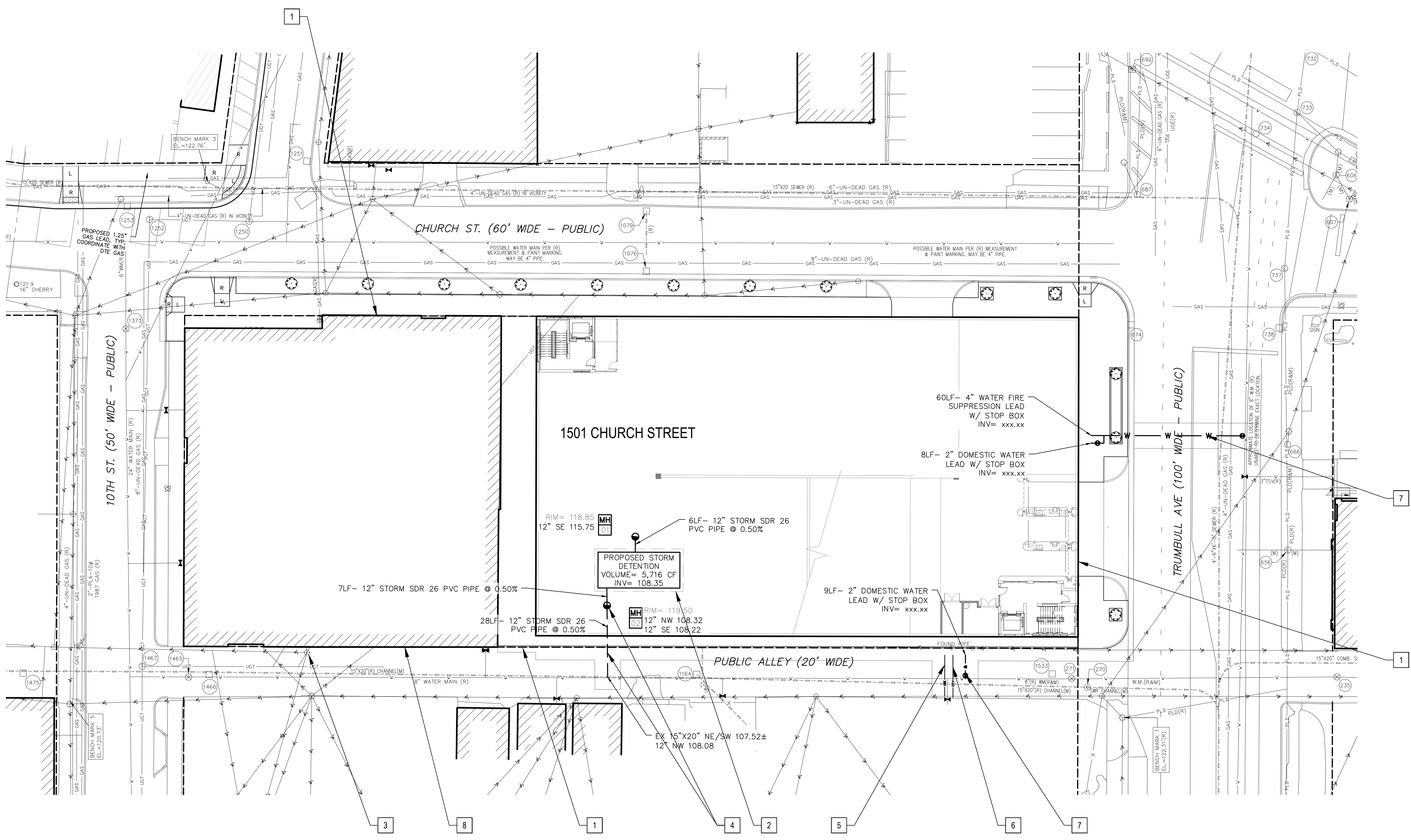
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 MM **Use figured dimensions only**
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Job Number
2020009
 Title
GEOMETRIC AND PAVING PLAN

Sheet
C-500



LOCATION MAP
 (NOT TO SCALE)

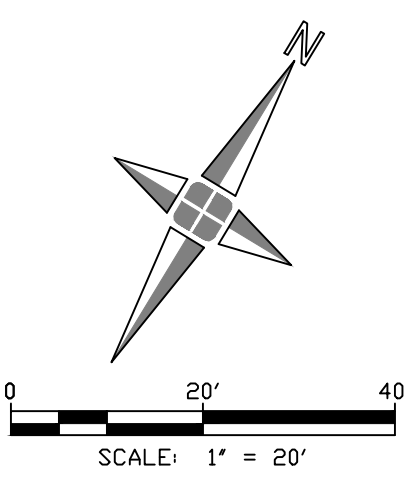


UTILITY PLAN - LEGEND

STORM SEWER	---
SANITARY SEWER	---
PERFORATED DRAIN	---
WATER SERVICE	---
UNDERGROUND ELECTRIC	---
GAS SERVICE	---
COMMUNICATIONS	---
FIRE HYDRANT	●
STOP BOX AND VALVE	○
FIRE DEPARTMENT CONNECTION	○
CATCH BASIN	■
SANITARY SEWER DRAIN	○
SANITARY CLEANOUT	○
SANITARY MANHOLE	○
STORM MANHOLE	○
STORM SEWER CLEANOUT	○
UNDERGROUND DETENTION SYSTEM	---

UTILITY PLAN - KEY NOTES

- 1 EXISTING PROPERTY LINE, TYP.
- 2 ESTIMATE OF SIZE AND LOCATION OF UNDERGROUND DETENTION SYSTEM BASED ON PRELIMINARY CALCULATIONS
- 3 COORDINATE WITH DTE AND THE PUBLIC LIGHTING AUTHORITY TO REMOVE/RELOCATE ELECTRIC POLES, OVERHEAD LINES, AND LIGHTING AS NEEDED FOR PROPERTY IMPROVEMENTS, TYP.
- 4 NEW STORM MANHOLE AND NEW PVC PIPE FOR STORM
- 5 NEW DTE UNDERGROUND CONDUIT FOR SERVICE
- 6 NEW COMMUNICATIONS LINE
- 7 NEW WATER SERVICE. SIZE INDICATED ON PLANS TO BE CONSTRUCTED TO DWSD STANDARDS AND SPECIFICATIONS
- 8 PROTECT EXISTING BUILDING THROUGHOUT CONSTRUCTION



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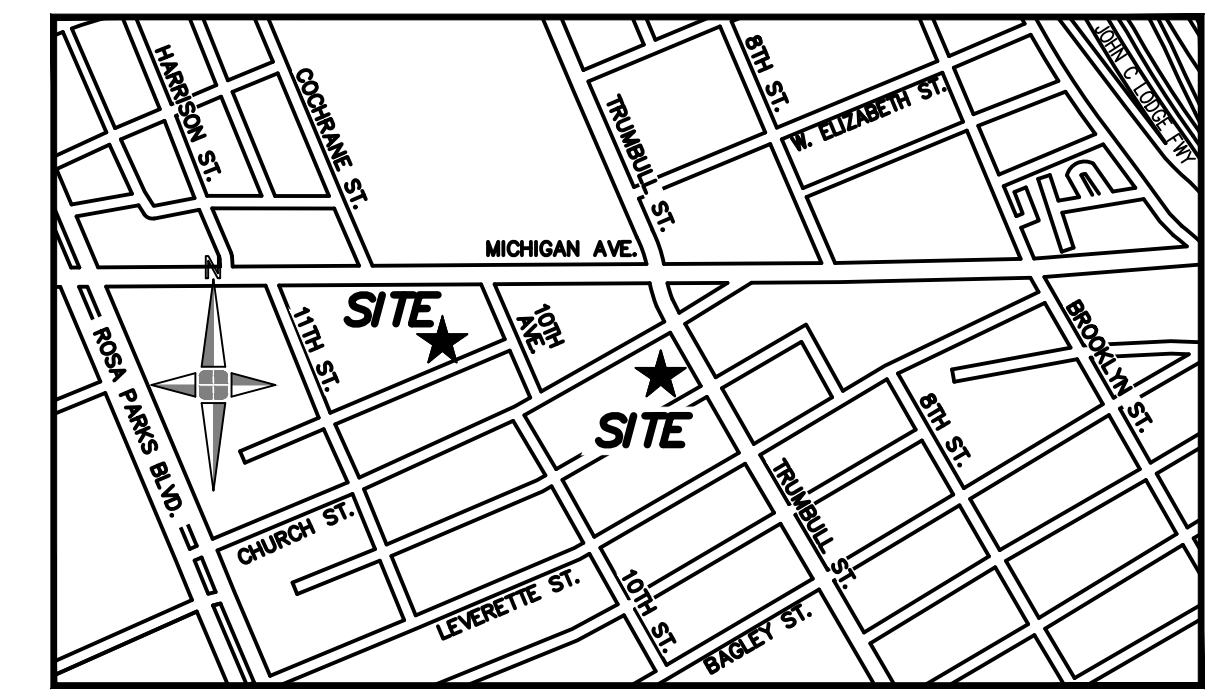
04.26.2021 HDC
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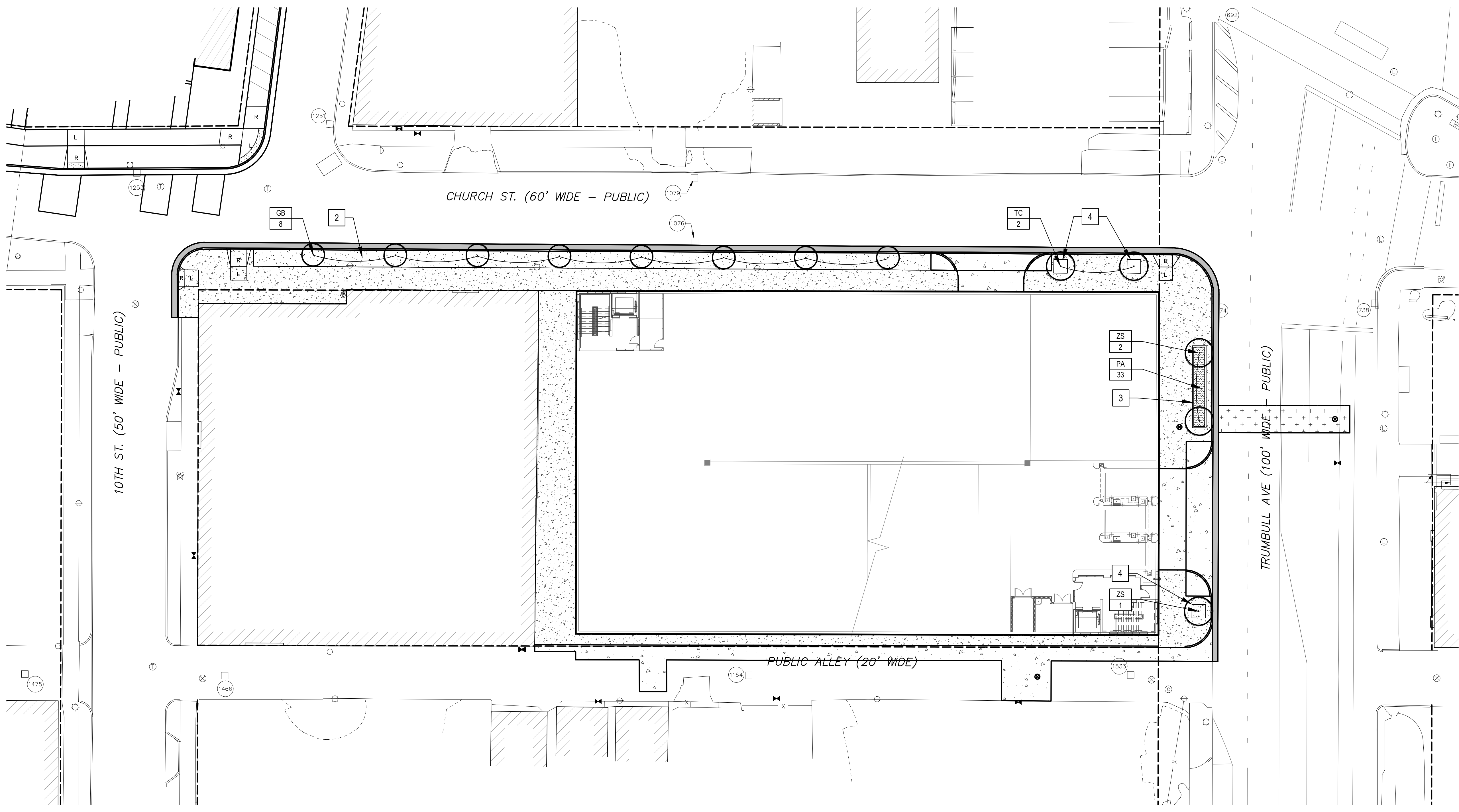
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UTILITY PLAN

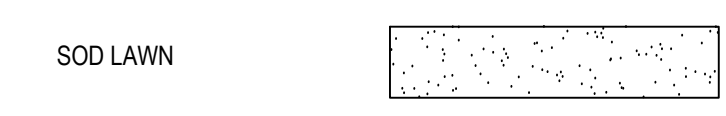
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LOCATION MAP
 (NOT TO SCALE)



LANDSCAPE PLAN - KEY NOTES



LANDSCAPE PLAN - LEGEND

#	NOTE
1	EXISTING PROPERTY LINE, TYP.
2	SOD LAWN, TYP.
3	PLANTER CURB, SEE DETAIL L-500, TYP.
4	DECIDUOUS TREE IN TREE GRATE, SEE DETAIL L-500, TYP.

GENERAL NOTES:

- All Construction shall conform to the current standards and specifications of local ordinances.
- All areas not built, landscaped, or paved upon shall receive seasoned double shredded hardwood bark mulch.
- During installation and construction, the Contractor must provide a watering method for all plant material until it has become established.
- Two (2) year guarantee period begins at Final Acceptance of landscape material by the City's representative, a landscape architect, and prior to the authorization of the occupancy permit.
- A minimum of one cultivation in each month of June, July, and August shall be performed within the 2-year warranty period.
- The development of this site will not result in any increase in dust, odor, smoke, fumes, noise, lights, or other objectionable features.

PLANT NOTES:

- Plant materials shall be sound, healthy, vigorous, free from plant diseases and insects or their eggs, and shall have normal, healthy root systems. Caliper measurements shall be taken 6" above the ground level. All other measurements shall be in accordance with the latest edition of "American Standard for Nursery Stock" (ANSI Z.60.1 - A3002004).
- Planting bed soil shall be an equal mix of screened organic topsoil, sphagnum peat moss, and clean sand. To deter weed growth during establishment, apply a pre-emergent ("Preent" or equal) after planting, 2-3 times per growing season, at the rate recommended by product manufacturer.
- Planting pockets shall be no deeper than twice the height of the root ball.
- All tree wrap shall be removed upon planting.
- Mulch shall be double shredded seasoned hardwood bark mulch. Contractor to submit sample for approval by landscape architect/civil engineer prior to placement.
- Plants shall be guaranteed for two complete growing seasons (24 months). Dead material shall be replaced as needed prior to expiration of the guarantee period.
- Remove the top 3' of burlap, twine and/or metal cage on root ball. If wrapped in plastic covering or nylon cording, all of these types of material should be removed.
- Plant material shall be used in compliance with provisions of the local ordinance and shall be nursery grown, free of pests and diseases, hardy in this county, in conformance with the Standards of the American Association of Nurserymen, and shall pass inspections required under state regulations. In addition, plant materials shall be northern grown, No.1 Grade.
- Plant material shall be planted within the annual planting window of March 15 through November 15.
- All plant ID tags are to remain until all plants are accepted on site.
- Any plant substitutions must be submitted in writing and approved by the landscape architect prior to installation.
- Grass seed shall be certified turf grass seed complying with A.S.P.A specifications, and free of weed seeds and undesirable native grasses. Seeded areas shall not be permitted to dry out. All lawn areas shall be fertilized and watered as required during the first growing season to maintain a dense and vigorous growing lawn. Areas scheduled for lawn seed shall receive a minimum of 3" of screen topsoil at 3" depth unless otherwise noted on plans.

LAWN SEED MIX:

- 30% Perennial Ryegrass
- 20% Park Kentucky Bluegrass
- 45% Creeping Red Fescue
- 5% Annual Ryegrass
- 4 lb /1000 sf Seeding Rate

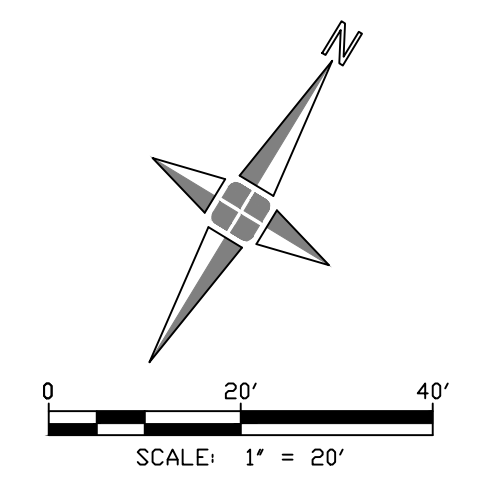
PLANT LEGEND

SYMBOL	TYPE	ABBR	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
	DECIDUOUS TREES	GB	8	Ginkgo biloba 'Princeton Sentry'	PRINCETON SENTRY GINKGO	3" cal.	B&B.
		TC	2	Tilia cordata 'Greenspire'	GREENSPIRE LINDEN	3" cal.	B&B.
		ZS	3	Zelkova serrata 'Green Vase'	GREEN VASE ZELKOVA	3" cal.	B&B.
	ORNAMENTAL GRASSES	PA	33	Pennisetum alopecuroides 'Hameln'	DWARF FOUNTAIN GRASS	#3 cont.	Plant 24 in O.C., Staggered Rows

LANDSCAPE CONTRACTOR'S
 "TWO-YEAR IRRIGATION REQUIREMENT PERIOD"

It shall be the responsibility of the landscape contractor to provide water as required to ensure delivery of proper and adequate water supply to all plant material to ensure the establishment of healthy plant material for their first year of growth. Following the landscape contractor's two-year irrigation requirement period, the contractor shall provide the owner with suggested irrigation maintenance schedule for their use.

1
 L-100
LANDSCAPE PLAN
 1" = 20'



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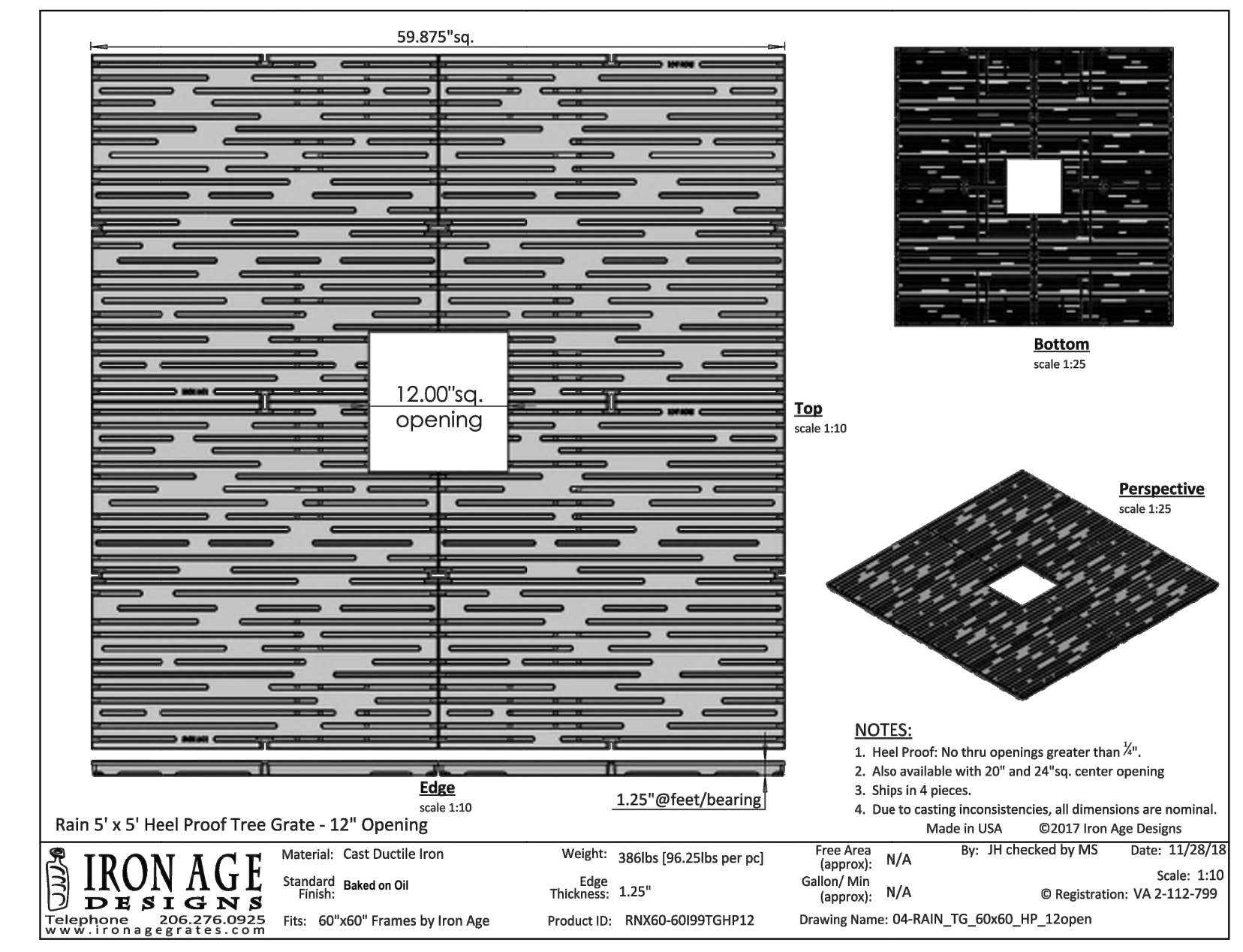
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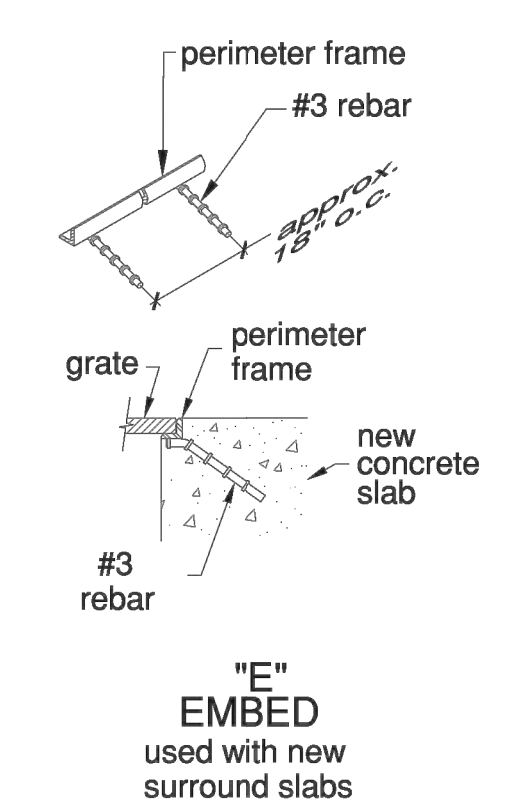
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LANDSCAPE PLAN

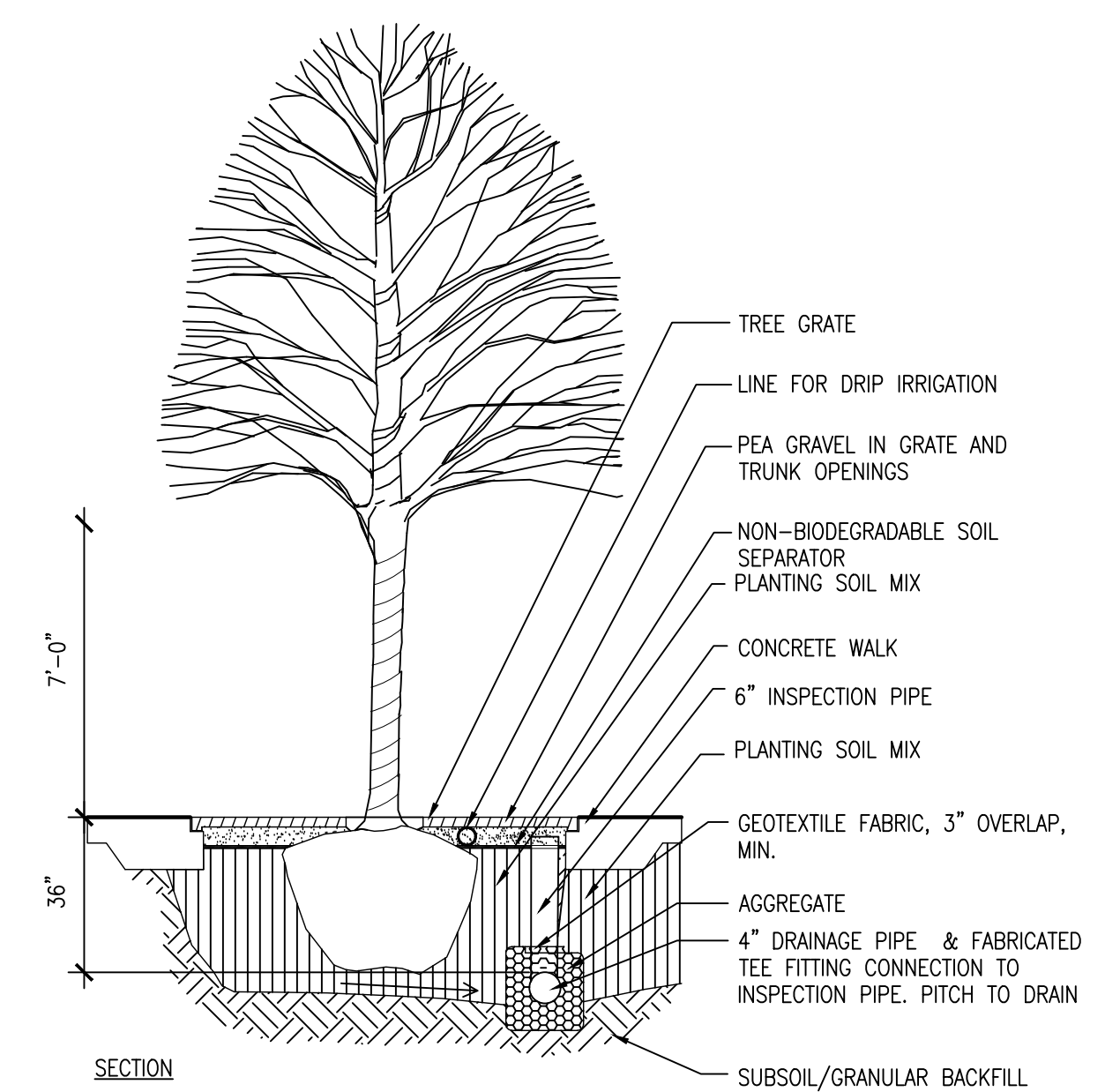
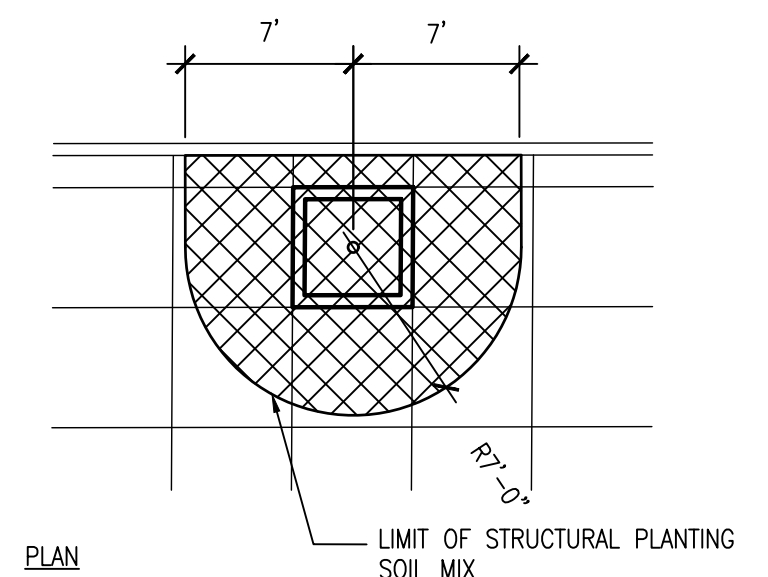
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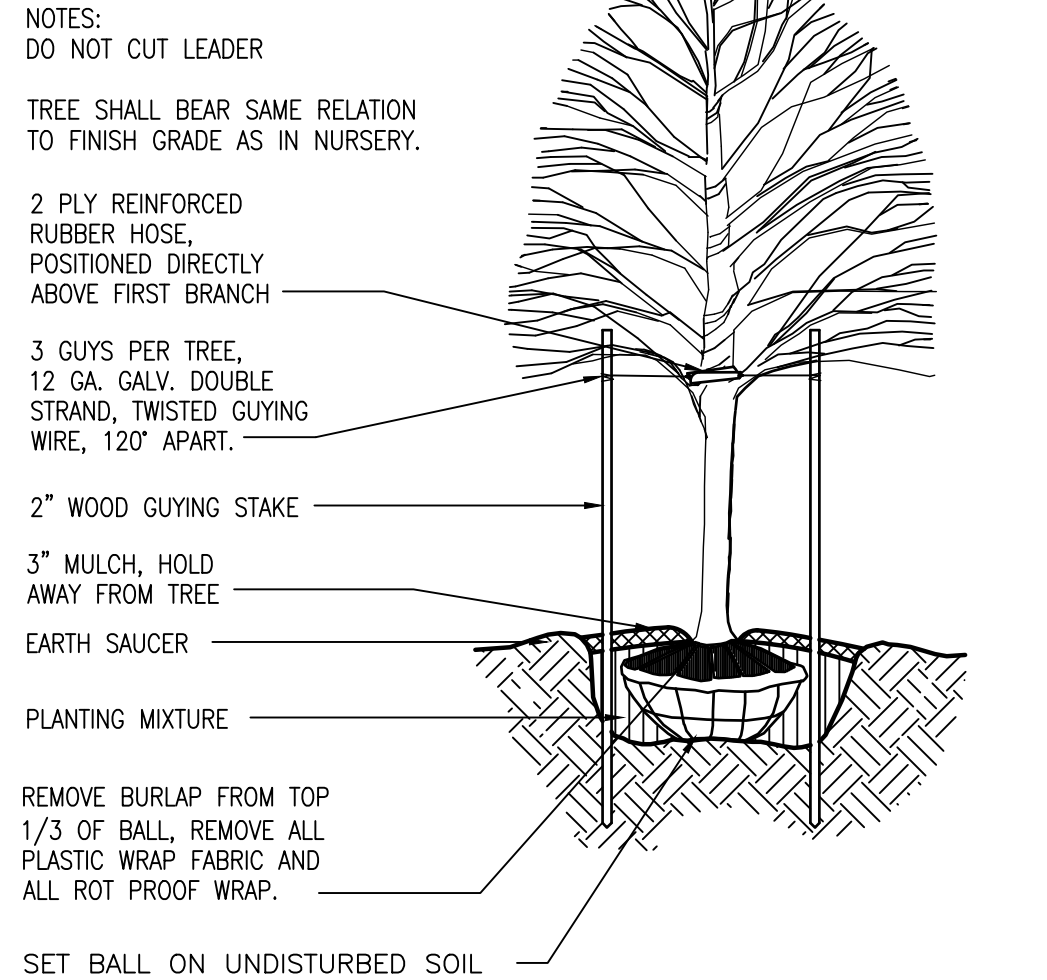
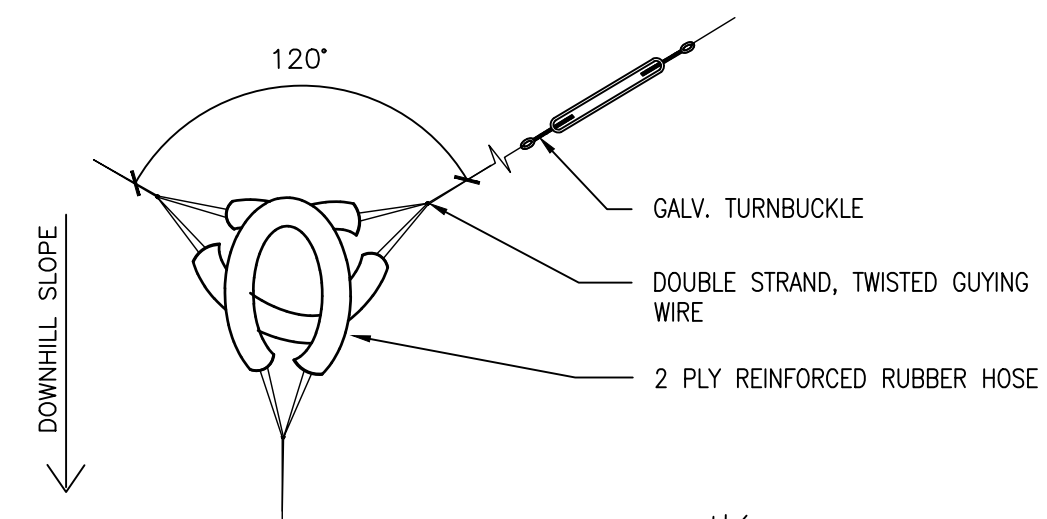
IRON AGE 'RAIN' 5' X 5' BAKED ON OIL FINISH TREE GRATE



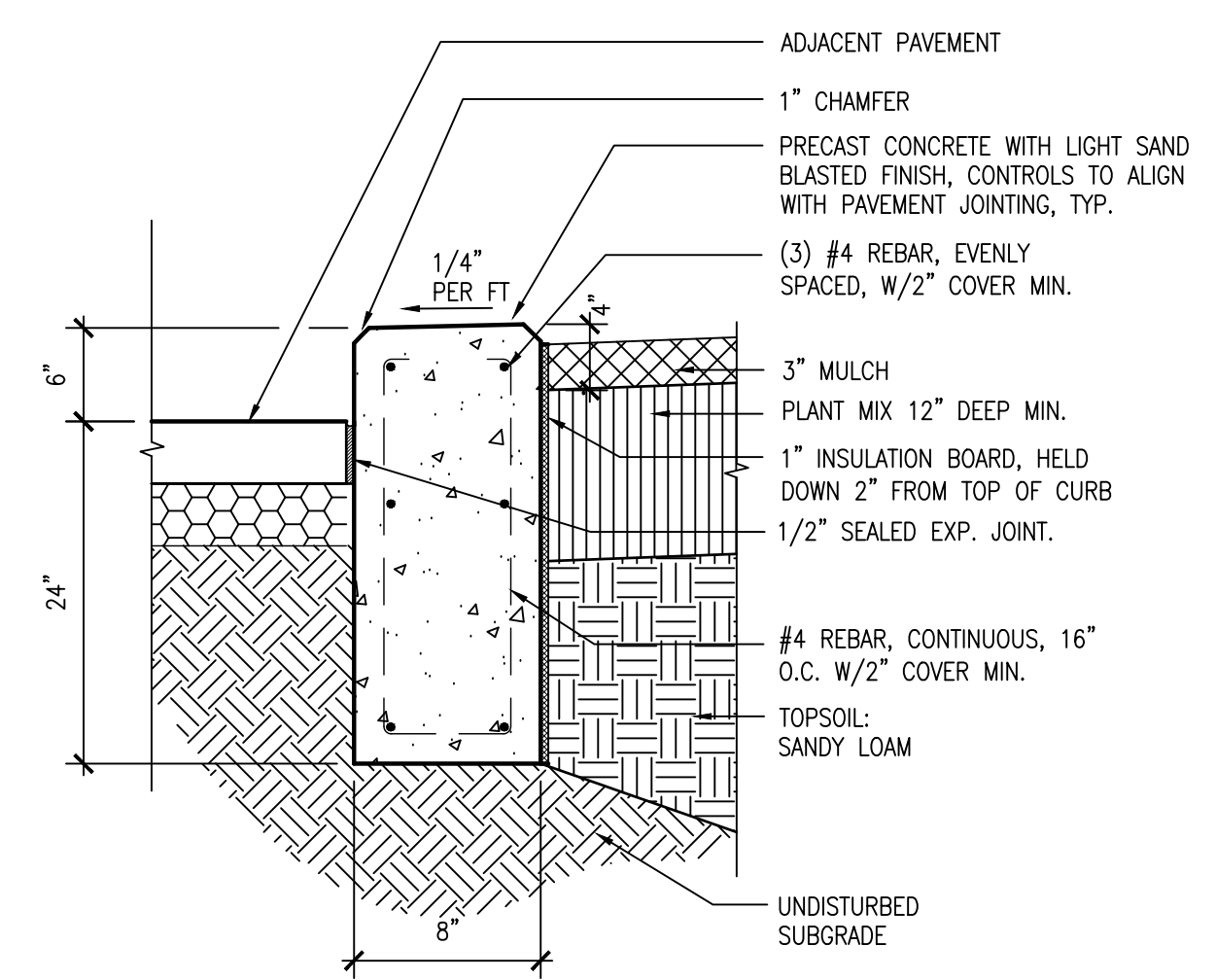
TREE GRATE FRAME



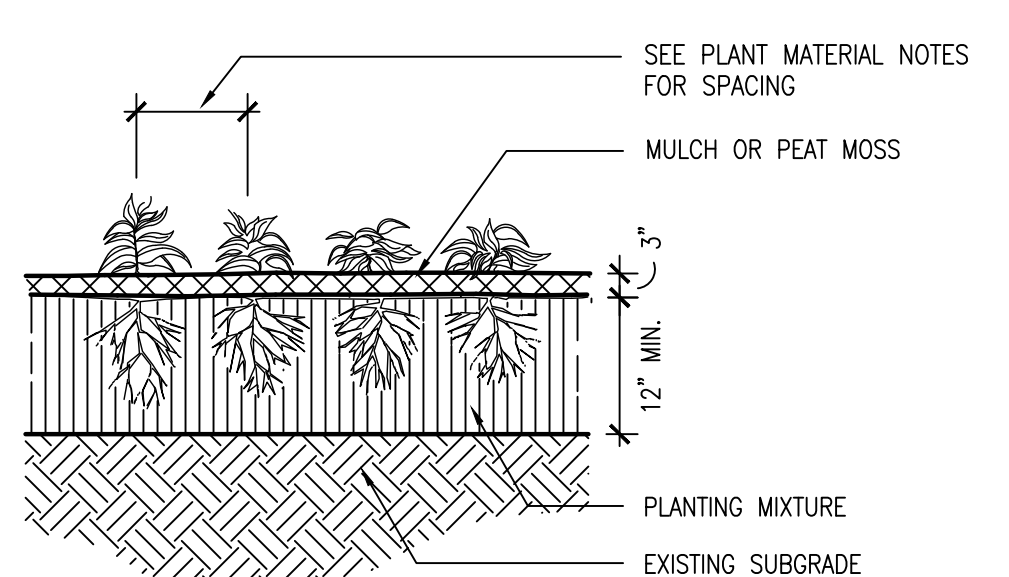
DECIDUOUS TREE IN TREE GRATE



DECIDUOUS TREE WITH UPRIGHT STAKING



PLANTER CURB



PERENNIAL PLANTING DETAIL

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LANDSCAPE DETAILS

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