

NOTES:

Project:  
**Leverette Apartments - Exterior Corrections**  
**Existing Apartment Renovations**  
**Leverette Development, LLC**  
**1627 Leverette Street**  
**Detroit, Michigan 48216**

NO.	DESCRIPTION	DATE
1	Historic Approval	1/27/21
1	Historic Review	6/20/20

ISSUED FOR:

PROJECT TITLE  
**CORK TOWN 's**  
**Newly Renovated**  
**LIVING UNITS**

**Leverette St.**  
**Detroit, Michigan**

DRAWN	KM
CHECKED	-
APPROVED	-

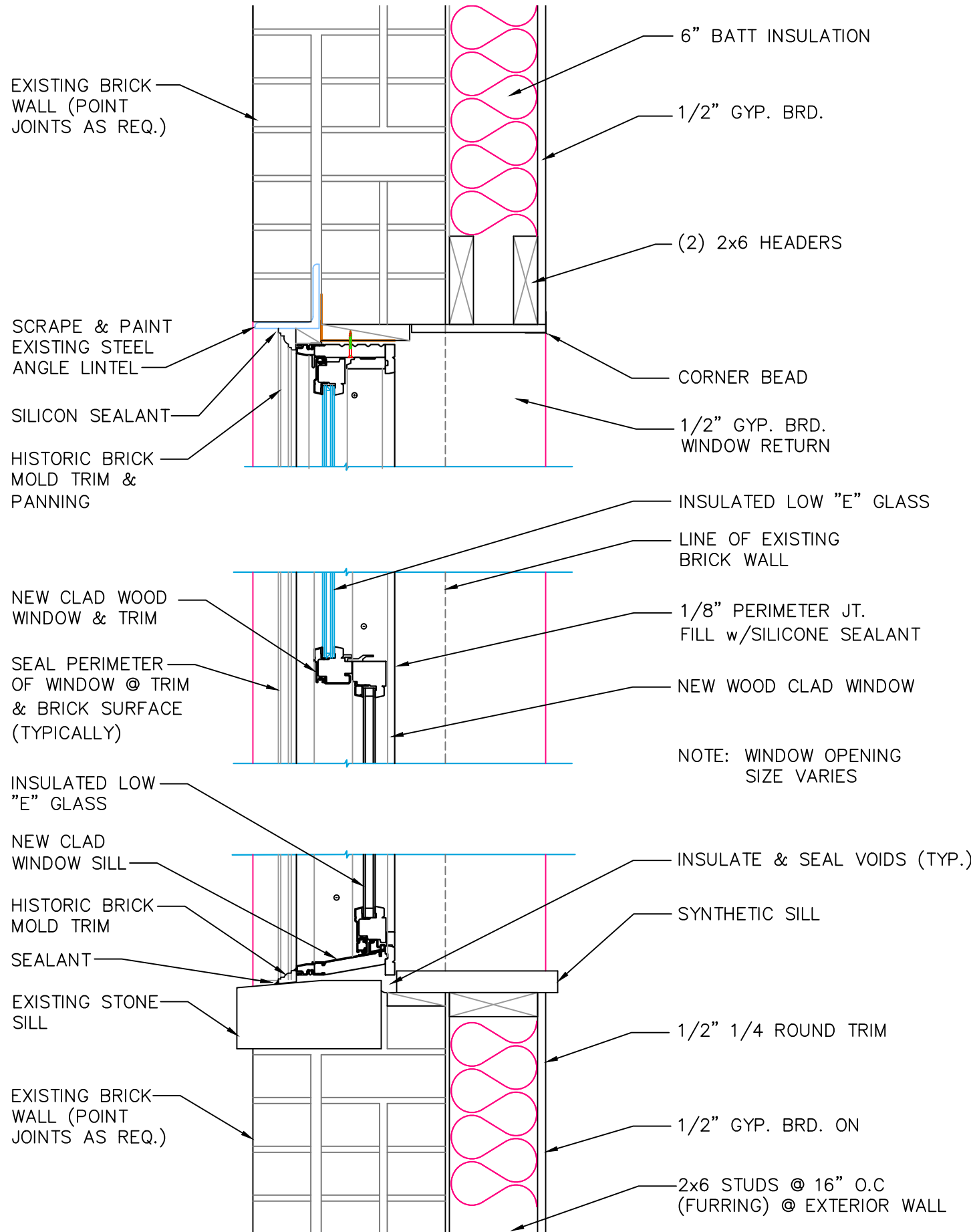
SHEET TITLE  
**Front Window**  
**Corrections**

PROJECT NO.	SHEET NO.
DATE	<b>Sketch</b> <b>HC-2</b>
1/15/2021	

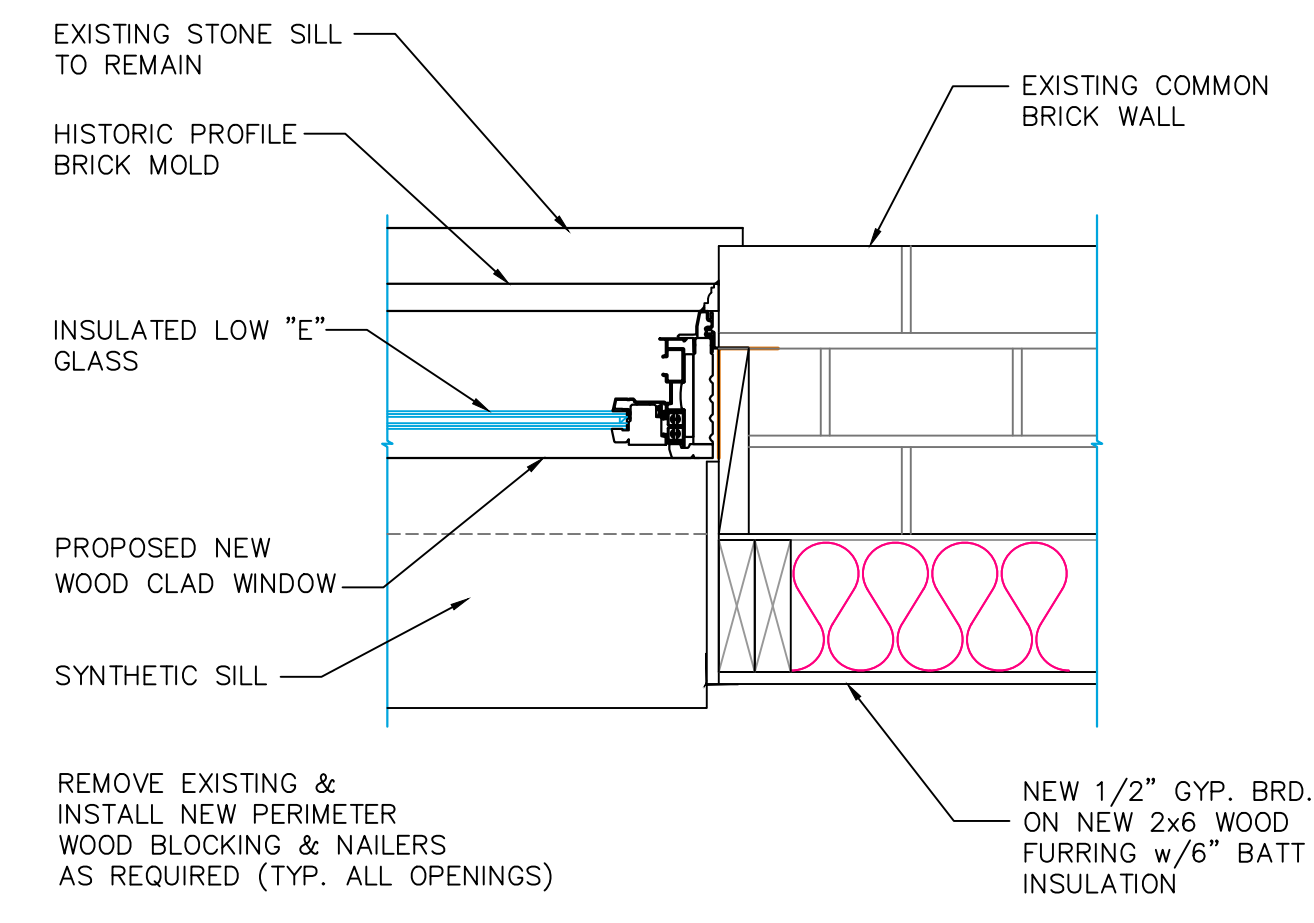
**SPECIAL NOTE:**  
THE EXISTING WOOD WINDOWS HAVE DETERIORATED BEYOND THE POINT OF REPAIR, OVER 65 PERCENT HAVE ROTTED &/OR HAS INSECT DAMAGED SILLS, JAMBS & SASHES. MANY OF THE ANCHORAGE LOCATIONS HAVE DAMAGED BLOCKING OR FAILED ANCHORS  
MOST SASHES ARE DAMAGED BEYOND A COST EFFECTIVE REPAIR

**SPECIAL NOTE:**  
REPLACE EXISTING WINDOWS IN LIEU OF REPAIR  
INCREASE SIZE OF REAR PORCH DECK  
**JUNE 15, 2020**

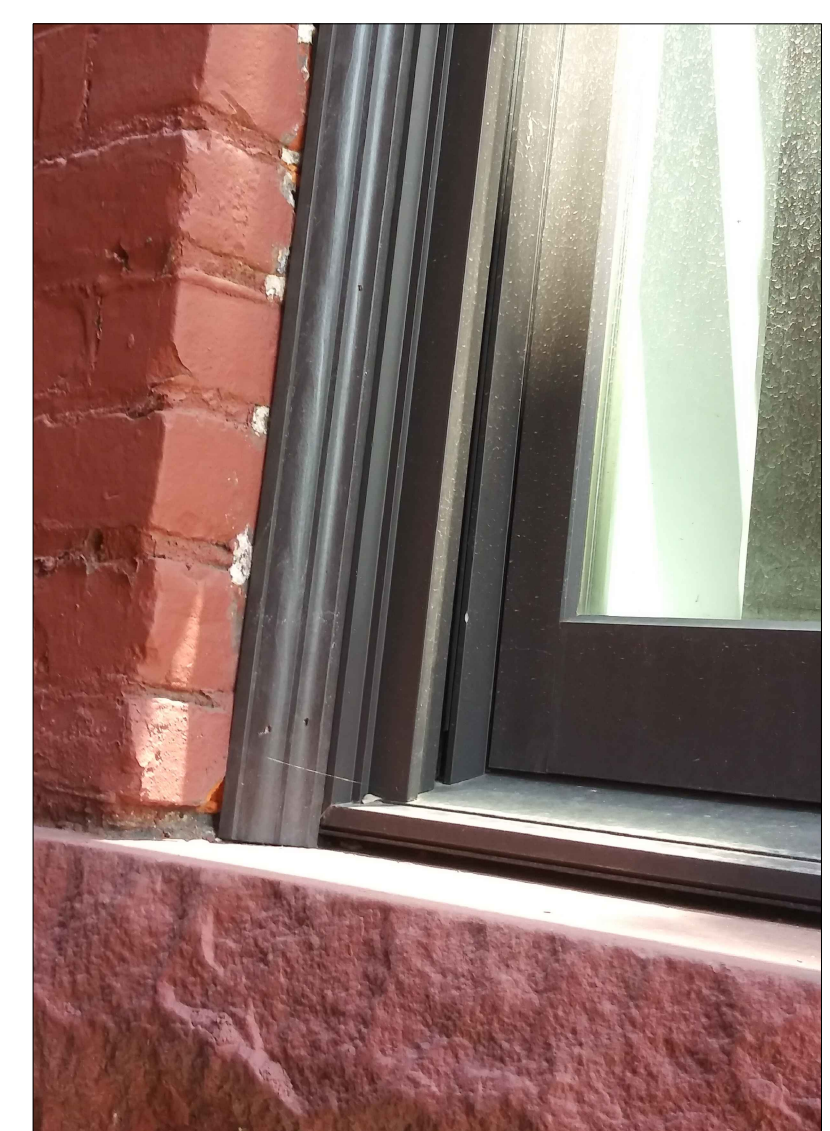
**HISTORIC APPROVAL**  
EXTERIOR MODIFICATIONS



**1 TYPICAL WINDOW DETAIL**  
SCALE: 1-1/2"=1'-0"



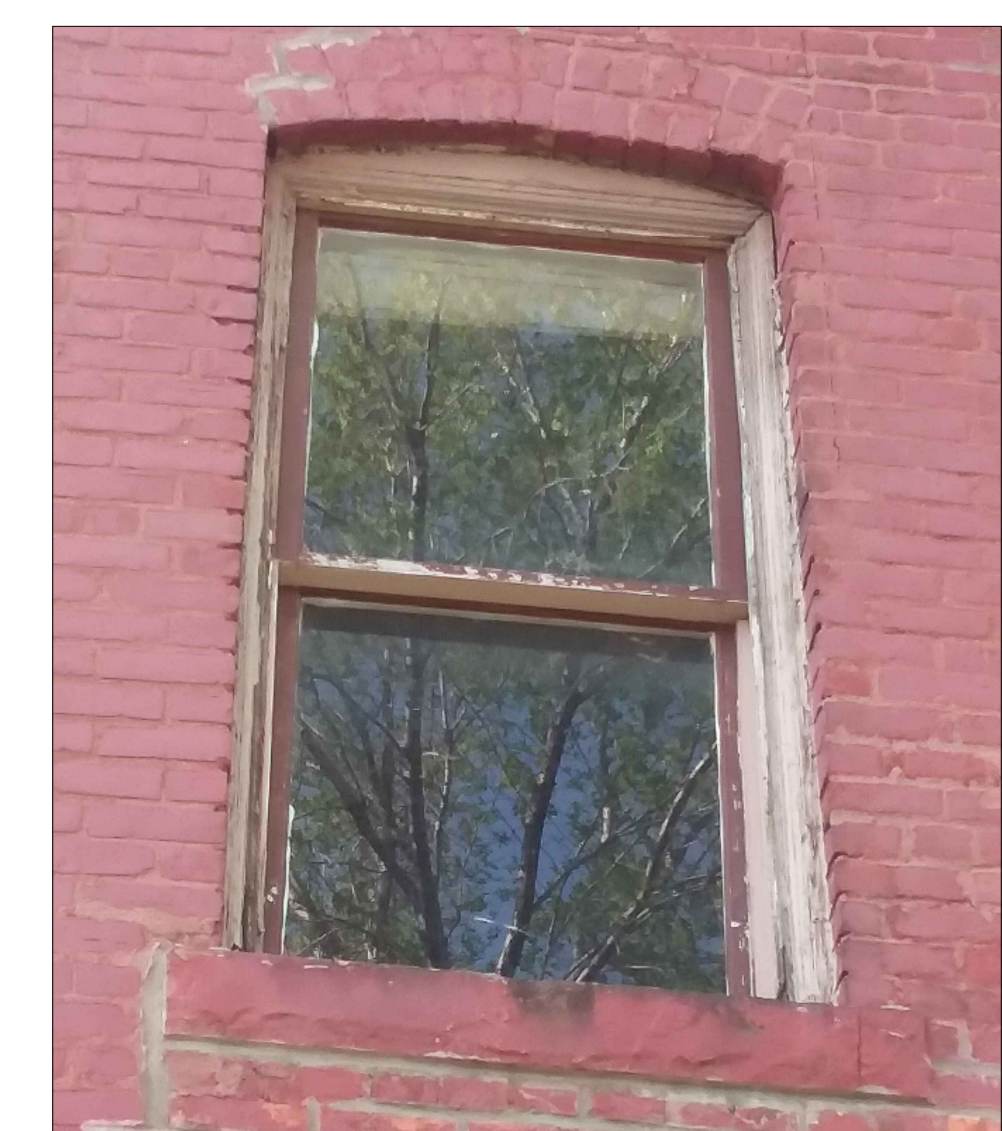
**2 TYPICAL JAMB DETAIL**  
SCALE: 1-1/2"=1'-0"



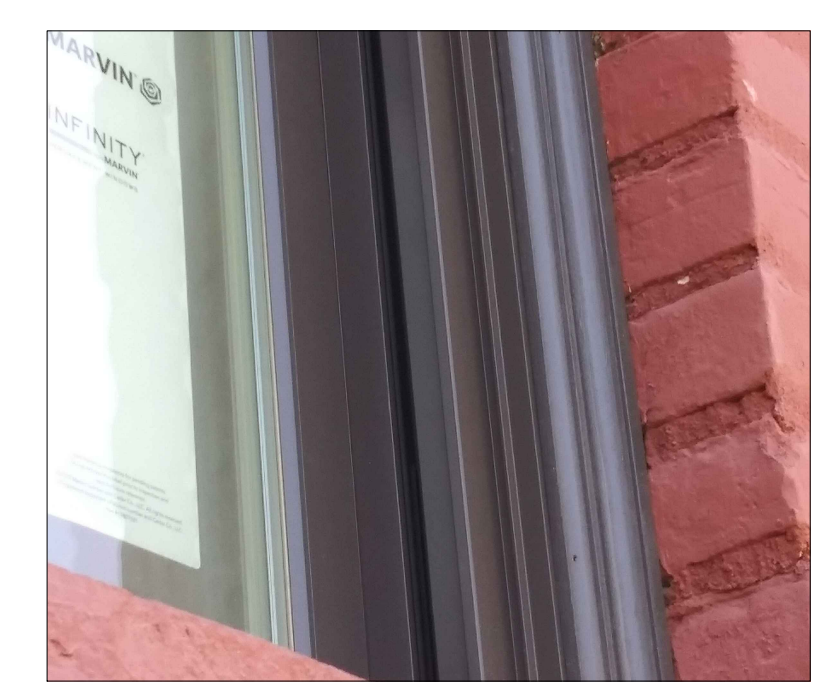
**Typical Window**  
**Proposed New Window**  
WITH HISTORIC BRICK MOLD TRIM



**Typical Window**  
**Proposed New Window**  
WITH HISTORIC BRICK MOLD TRIM



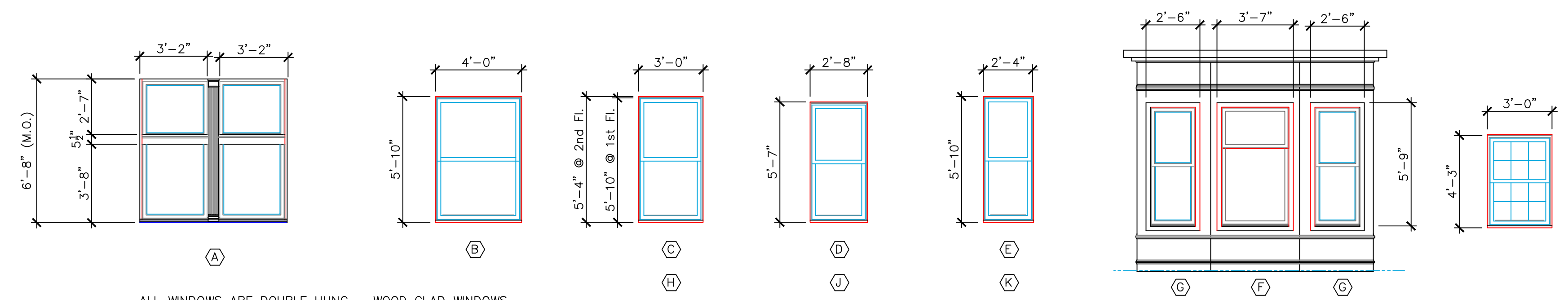
**Typical Window**  
INSTALL NEW WINDOWS MATCHING EXISTING



**Typical Window**  
**Historic Profile Brick Mold**



**Building Before Renovations**  
**South Wall - Units 1 and 2**

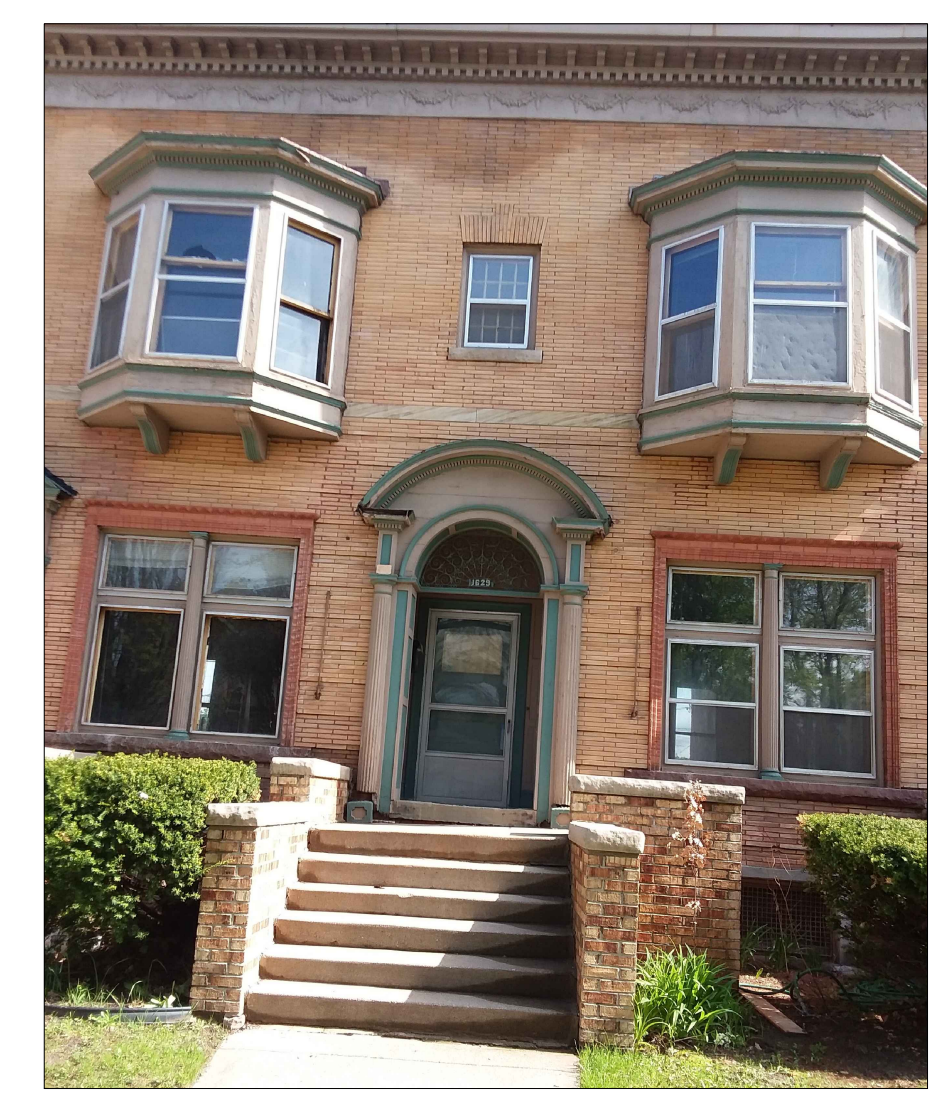


ALL WINDOWS ARE DOUBLE HUNG - WOOD CLAD WINDOWS WITH LOW "E" GLASS  
 PROPOSED WINDOW: MARVIN - INFINITY SERIES, WOOD CLAD WINDOWS WITH PRE-FINISHED METAL EXTERIOR CLADDING, INSULATED LOW "E" GLASS; HISTORIC SERIES w/HISTORIC PROFILE BRICK MOLD TRIM & FLASHING

**Window Types:**



**Proposed New Window**  
NOTE: (HISTORIC TRIM TO BE INSTALLED)



**Building Before Renovations**  
**Front Entry Porch (Typical)**