

THE RECTORY

1920 ATKINSON ST.

Detroit, Michigan 48206

Owner:
Amy Peterson, Antonio Luck, Betsy Murdoch

Architect:
Iannuzzi Studio PLLC
1410 Service St. Suite 202
Detroit, MI 48207

Contact: David Iannuzzi, AIA
T: 313.920.5688
di@iannuzzistudio.com

General Contractor:
T.B.D.

Structural Engineer:
T.B.D.

Mechanical Engineer:
M A Engineering
400 S. Old Woodward Ave., Suite 100
Birmingham, MI 48009

T: 248.258.1610

General Requirements

SUMMARY OF WORK
Provide all labor, materials, equipment, and services and provide all operations required to accomplish the work as indicated and/or implied by the drawings and these general notes and specifications.

0141 CODES AND ORDINANCES

All construction to comply with all applicable codes, ordinances, safety orders and regulations including building, Americans with Disabilities Act ADA, OSHA, plumbing, mechanical, and electrical codes, ordinances and requirements.

Plans, notes, and specifications are done to the reference code listed as of the date originally prepared. Any use in other jurisdictions will require these documents to be reviewed and/or modified by a local design professional licensed to practice in that jurisdiction.

PERMITS AND TESTS

Obtain and pay for all required permits, inspections, and tests. All re-inspection fees for work not ready or in compliance with local codes to be paid for by Contractor.

INSURANCE

All Contractors shall carry broad form, comprehensive liability insurance (minimum \$1,000,000 liability) and workmen's compensation insurance and shall submit certificates of insurance to the Owner prior to execution of any work. All Contractors shall name Iannuzzi Studio PLLC, Nepelu LLC, and financing organizations as additional insured on all insurance policies.

COORDINATION WITH OTHER TRADES

Coordinate all work before and during construction with all other affected trades. Where interferences develop notify architect. Relocation of conflicting installed work due to lack of coordination or poor coordination will not be considered extra work.

WORKMANSHIP

All work executed shall be performed in a first class and safe, workmanlike manner in accordance with the latest accepted standards and practice for the work involved. The workmanship shall be subject to the approval of the Owner at all times.

SCHEDULE

Within 7 days after date of Agreement, submit preliminary schedule defining planned operations for the first 60 days of Work, with a general outline for remainder of Work. Within 7 days after date of joint review, submit complete schedule. If preliminary schedule requires revision after review, submit revised schedule within 7 days. Show complete sequence of construction by activity, with dates for beginning and completion of each element of construction.

EXAMINATION OF EXISTING CONDITIONS

Before submitting proposals for the work, the Contractor shall be held to have examined the site and satisfied as to the existing conditions under which it will be obliged to operate in performance of the work. Contractor shall inform the Owner of any probable contingencies, which may influence the execution of the work with their bid. No extras will be allowed to the Contractor because of their failure to make this specified examination or neglect to include all materials and labor required in their work. Contractor to notify Architect of any hidden conditions for which an extra time or money is going to be requested prior to proceeding with the work. Failure to notify may result in denial of the extra expense.

APPROVED MANUFACTURERS

Use only materials specifically indicated in contract documents, or comparable materials by other listed acceptable or Architect-approved manufacturers. Note that "acceptable manufacturer" does not constitute automatic approval of specific materials by one or all of the listed acceptable manufacturers. Architect reserves the right of final determination of acceptability of each item.

SUBMISSION OF SHOP DRAWINGS AND CUT SHEETS

Submit complete shop drawings and/or manufacturer's cut sheets for all materials, fabrication, and equipment intended for use on this project. Shop drawings shall clearly indicate all physical and performance characteristics for all materials and equipment. Submit electronic copies of all shop drawings for review by architect. No work is to be installed prior to review and return of architect-approved shop drawings.

APPROVAL OF SHOP DRAWINGS

Architect's review/approval of shop drawings is for adherence to design concept only. General and sub-contractors, suppliers, and fabricators to field verify all dimensions and site conditions for compliance with shop drawing requirements prior to release for fabrication. Architect to be given 10 days minimum to review all required shop drawings and/or selections.

DIMENSIONS

Review and verify all dimensions on the drawings before commencing with the work. If dimensional errors occur, the Contractor shall notify the Architect before proceeding with the work. DO NOT SCALE DRAWINGS. Any Contractor that scales a drawing to determine a location for any part of the work shall take full responsibility, should that portion of the work be improperly located.

ERRORS AND OMISSIONS

Any errors, omissions, or conflicts between various elements on the drawings and/or in these general notes shall be brought to the attention of the Architect before proceeding with the work. Failure to do so shall result in the Contractor taking full responsibility and liability for the work as installed.

Applicable Codes

All construction to comply with all applicable codes including local building, plumbing, mechanical, and electrical codes, ordinances and requirements.

2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS
ALTERATION LEVEL III
2015 MICHIGAN MECHANICAL CODE
2015 MICHIGAN ELECTRICAL CODE
2015 MICHIGAN PLUMBING CODE
2015 UNIFORM ENERGY CODE

LEGAL DESCRIPTION
PROPERTY EXEMPT FROM AD VALOREM TAXES AND ASSESSED ON THE SPECIAL ACT ROLL PURSUANT TO PA261 OF 2003 EXPIRING 12/30/2024. N ATKINSON 680 JOY ARM SUB L32 P40 PLATS, WOR # 40 X 133.5
PARCEL ID: 08002810

ZONING CLASSIFICATION SD-1

| BUILDING AREA | Area | Sq. Ft. |
|----------------------|------|--------------|
| Basement | | 926 sq. ft. |
| First Floor | | 926 sq. ft. |
| Second Floor | | 909 sq. ft. |
| Third Floor | | 467 sq. ft. |
| Gross Square Footage | | 3,228sq. ft. |

CONSTRUCTION TYPE

FIRE RESISTANCE RATING (MBC TABLE 601)

| Primary Structural Frame | 0 | Wood Framing |
|--------------------------|---|---------------|
| Bearing walls | | |
| Interior | 0 | Wood Framing |
| Exterior | 2 | Brick Masonry |
| Nonbearing | | |
| Interior | 0 | Wood Framing |
| Exterior | 0 | Brick Masonry |
| Floor/Roof | 0 | Wood Framing |

OCCUPANCY AND USE

| Use classification | A-2 | Assembly |
|--------------------|-----|-------------|
| | R-2 | Residential |

OCCUPANT LOAD FACTOR(TABLE NO. 1004.1.2 - MBC 2015)

| Type | Area/Occupancy | Total |
|-----------------------|----------------|------------------|
| FIRST FLOOR | | |
| Interior Restaurant | sf / 15/ occ | occupants |
| Kitchen/Bar | sf /200/occ | occupants |
| Storage | sf /300/occ | occupants |
| Business | sf/100/occ | occupants |
| SECOND FLOOR | | |
| Residential | sf/200/occ | occupants |
| THIRD FLOOR | | |
| Residential | sf/200/occ | occupants |
| BUILDING TOTAL | | OCCUPANTS |

FIRE SUPPRESSION REQUIREMENTS

Required for use over 100 occupants - OK
Required for use over 5,000 sq. ft. - OK
Required for use with fire area on a floor other than the level of exit discharge serving such occupancies - OK

MEANS OF EGRESS AND EXIT ACCESS

| Egress Capacity | Width |
|---|----------|
| 0.2' (door) 46 persons | 9.2' |
| # Exits Required | Provided |
| 1st floor 2 for occ < 501 persons | x |
| Max Egress Travel Distance 200' for use - OK (TABLE NO. 1017.2 - MBC) | |

REQUIRED PLUMBING FACILITIES(TABLE NO. 403.1 - MPC 2015)

| Required: | Provided: |
|---|---------------------|
| Water Closet: 1 per 75F; 1/75M Occ. (2) | Single Occ. |
| Lavatory: 1/200 Occ. (2) | Total |
| Drinking Ftn: 1 | 0 Drinking Fountain |
| Service Sink: 1 | Service Sink |

410.4 Substitution

Where restaurants provide drinking water in a container free of charge, drinking fountains shall not be required in those restaurants. In other occupancies where drinking fountains are required, water dispensers shall be permitted to be substituted for not more than 50 percent of the required number of drinking fountains. -OK

Scope of Work / General Notes:

RENOVATION OF EXISTING BUILDING, FIRST FLOOR RESTAURANT, SECOND AND THIRD FLOOR DWELLING.

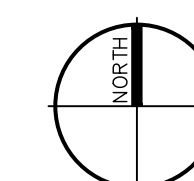
Sheet Index:

- ISSUED SHEET
- ISSUED FOR REFERENCE ONLY
- ☐ NOT INCLUDED / NOT ISSUED

| Sheet No. | Description | Issued | For Reference | Not Included |
|----------------------|-------------------------|--------|---------------|--------------|
| A0.0 | COVER SHEET | ● | | |
| A0.1 | ARCHITECTURAL SITE PLAN | ● | | |
| A0.2 | LIFE SAFETY PLAN | | | |
| ARCHITECTURAL | | | | |
| D1.0 | DEMO PLANS | ● | | |
| D2.0 | DEMO ELEVATIONS | ● | | |
| A1.0 | FLOOR PLANS | ● | | |
| A1.1 | REFLECTED CEILING PLANS | | | |
| A2.0 | EXTERIOR ELEVATIONS | ● | | |
| A2.1 | EXTERIOR ELEVATIONS | ● | | |
| A3.0 | BUILDING SECTION | | | |
| A3.1 | WALL SECTIONS | | | |
| A4.0 | INTERIOR ELEVATIONS | | | |
| A7.0 | SCHEDULES | ● | | |

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Site Location Map
Not To Scale

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Detroit, MI 48206

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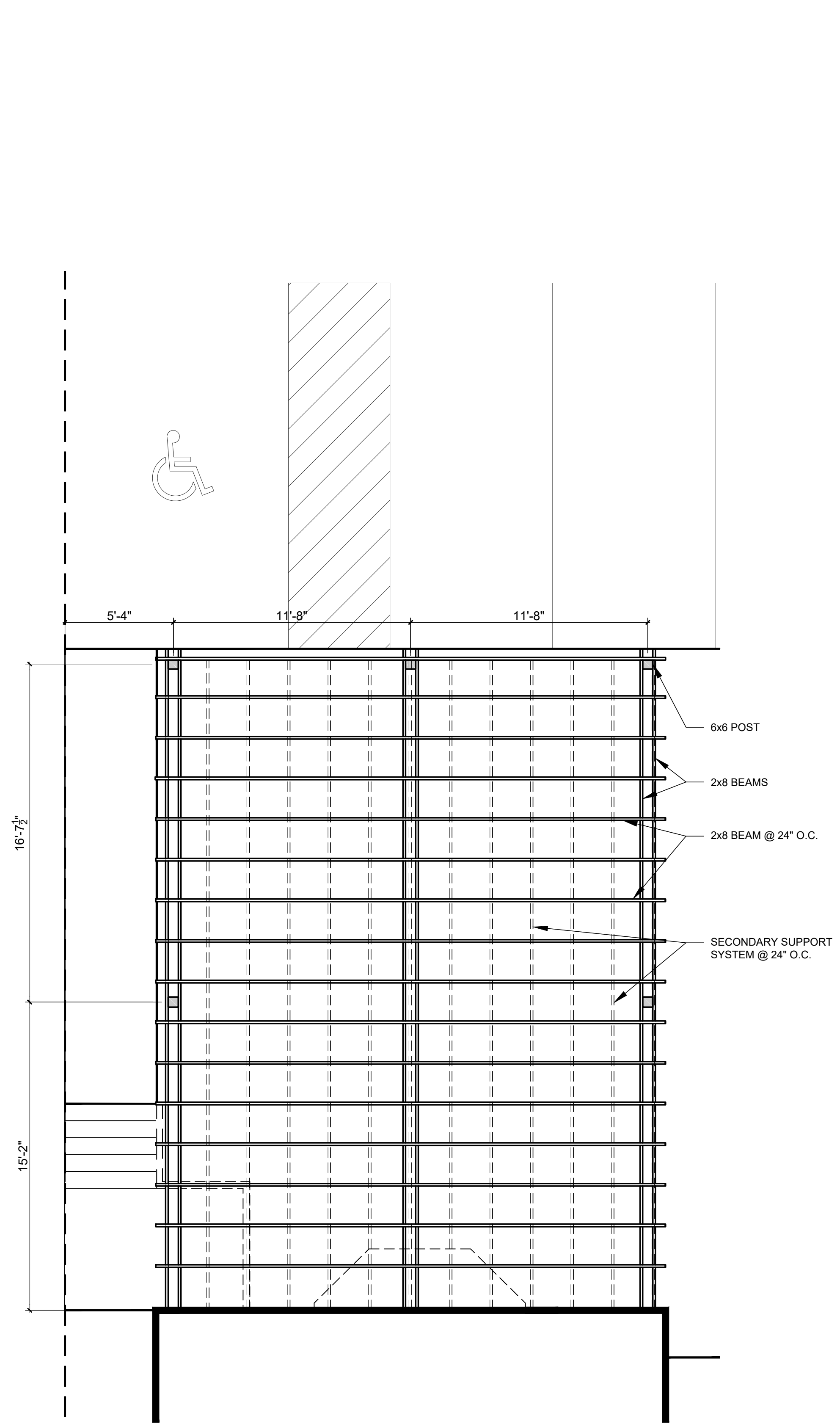
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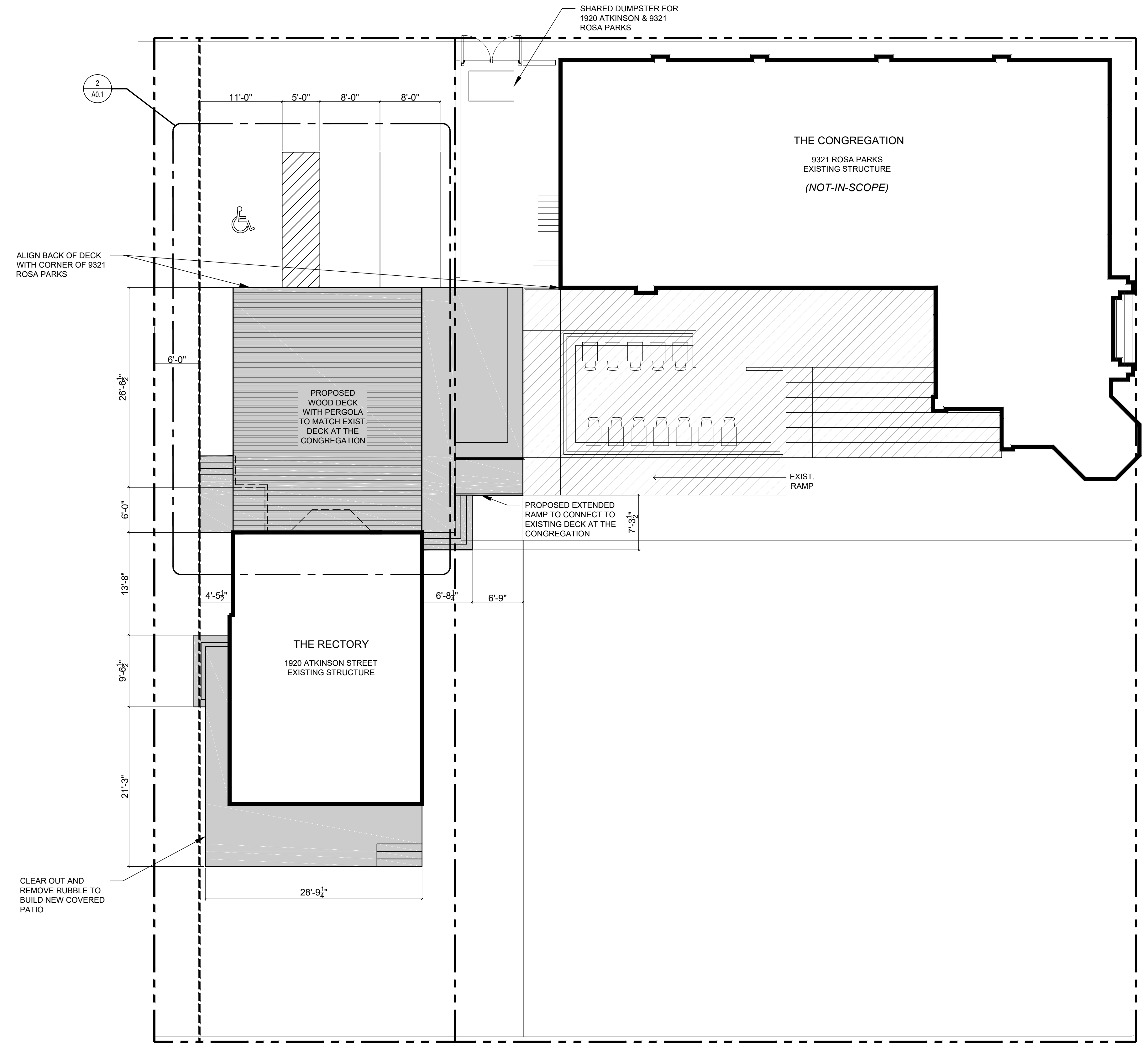
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COVER SHEET

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2 Enlarged Site Plan
A0.1 1/4" = 1'-0"



SITE PLAN NOTES

- PROPOSED
- EXISTING

1 Site Plan
A0.1 1/8" = 1'-0"

ROSA PARKS BLVD.

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SHEET NUMBER:
A0.1
SHEET TITLE:
ARCHITECTURAL
SITE PLAN
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DEMOLITION WALL KEY

 EXISTING WALL TO BE DEMOLISHED

 EXISTING WALL TO REMAIN

ARCHITECTURE KEY NOTES

D100

D101 REMOVE EXISTING INTERIOR WALLS, TYP.

D102 REMOVE STAIRS AND LANDING AND PREP FOR NEW WORK.
REMOVE FLOORING AND PREP FOR NEW WORK

D103

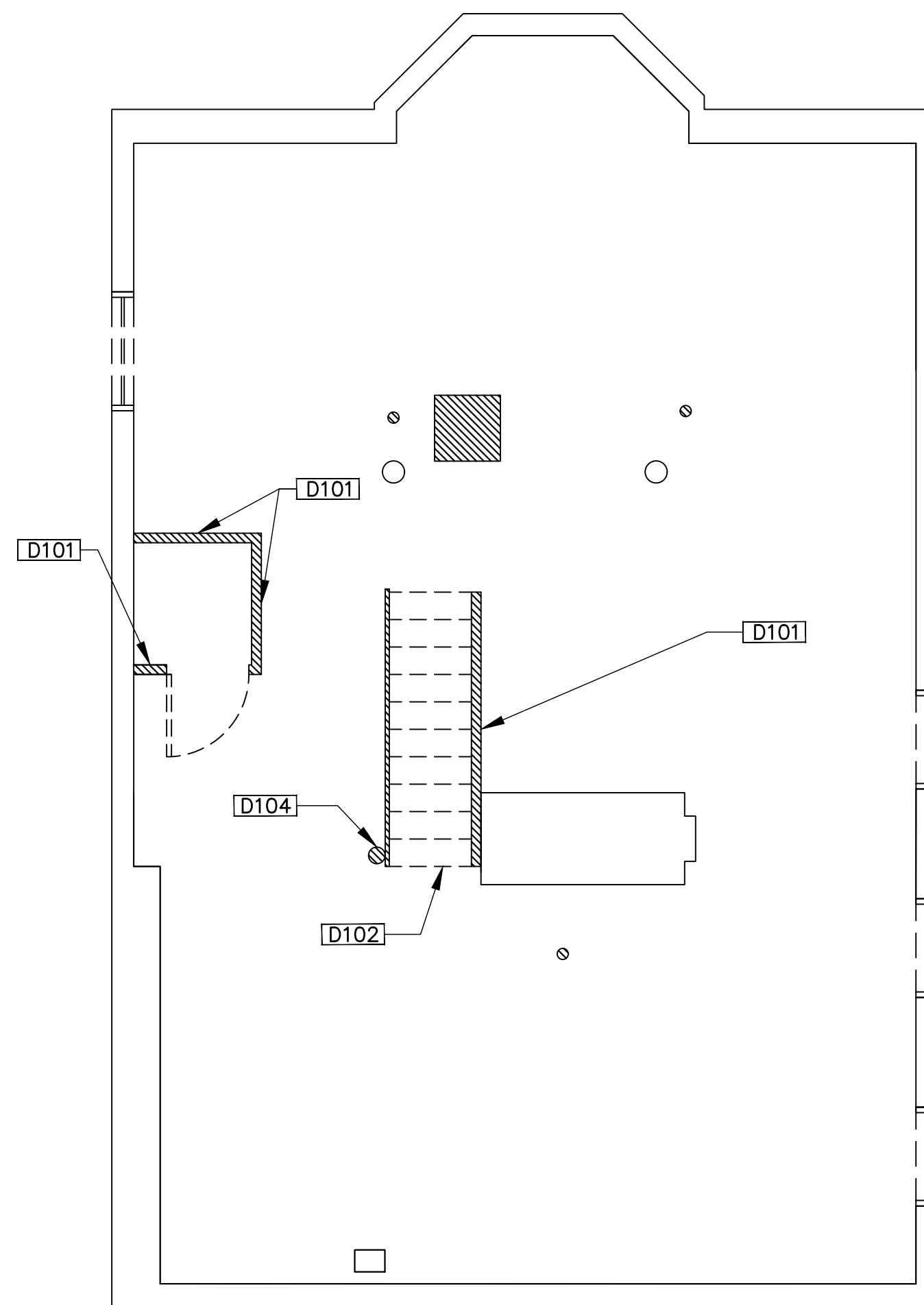
D104


D105 REMOVE EXISTING MASONRY WALL AND PREPARE FOR NEW DOOR

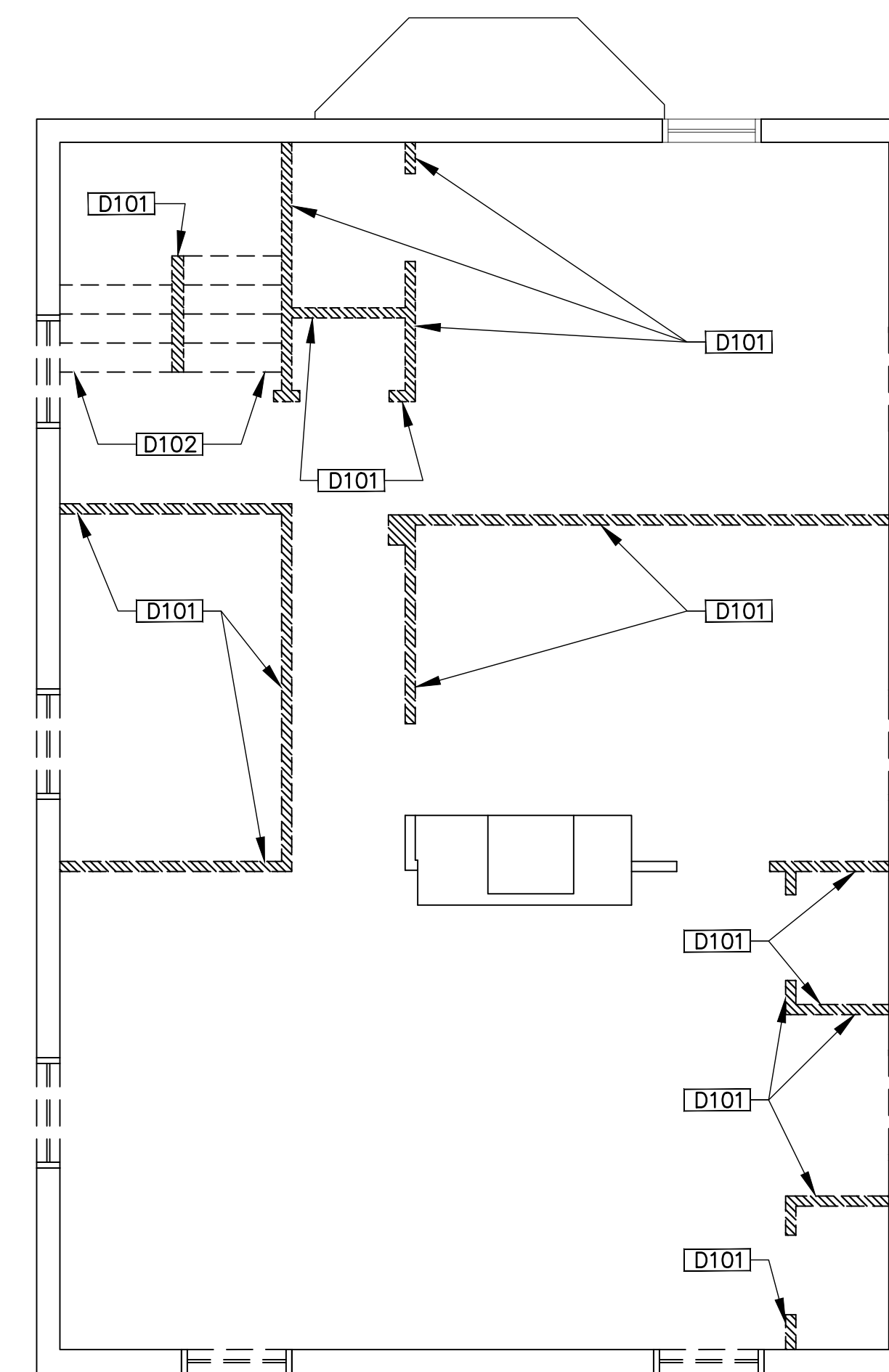
D106


GENERAL NOTES

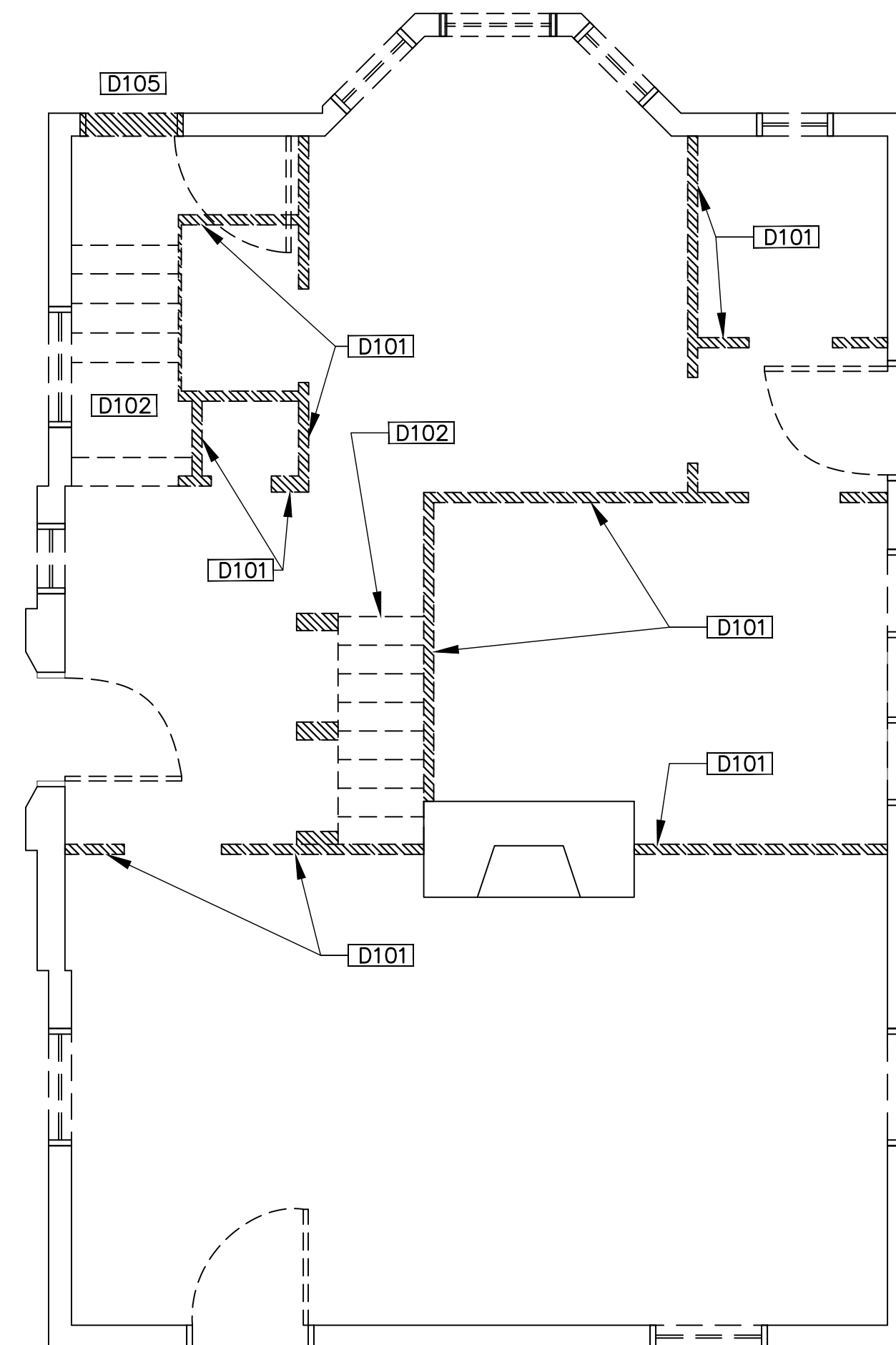
1: ALL WINDOWS, BRICK MODELS, AND WINDOW SILLS WILL BE RESTORED OR REBUILT TO MATCH CURRENT. COLOR IS TO BE B-18 DARK REDDISH BROWN WITH A-8 BLACKISH GREEN FOR THE TRIM PER HDC'S DESIGN GUIDELINES




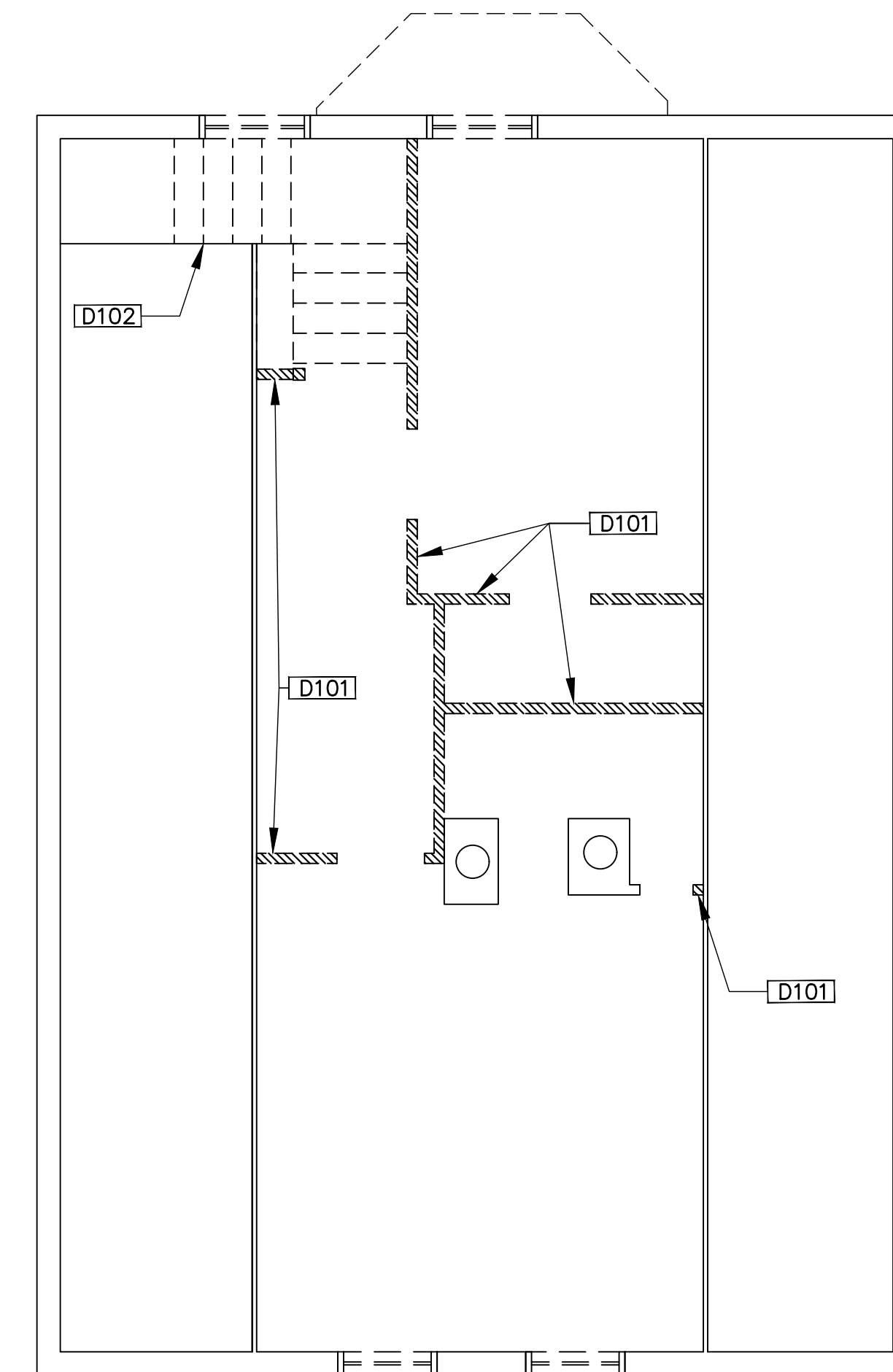
 **1** Basement Level-Demo Plan
D1.0 1/4" = 1'-0"




 **3** Second Level-Demo Plan
D1.0 1/4" = 1'-0"



 **2** First Level-Demo Plan
D1.0 1/4" = 1'-0"



 **4** Third Level-Demo Plan
D1.0 1/4" = 1'-0"

ARCHITECTURE KEY NOTES

D100

D101 REMOVE EXISTING INTERIOR WALLS, TYP.

D102 REMOVE STAIRS AND LANDING AND PREP FOR NEW WORK. REMOVE FLOORING AND PREP FOR NEW WORK

D103 REMOVE DOORS

D104

D105 REMOVE EXISTING MASONRY WALL AND PREPARE FOR NEW DOOR

GENERAL NOTES

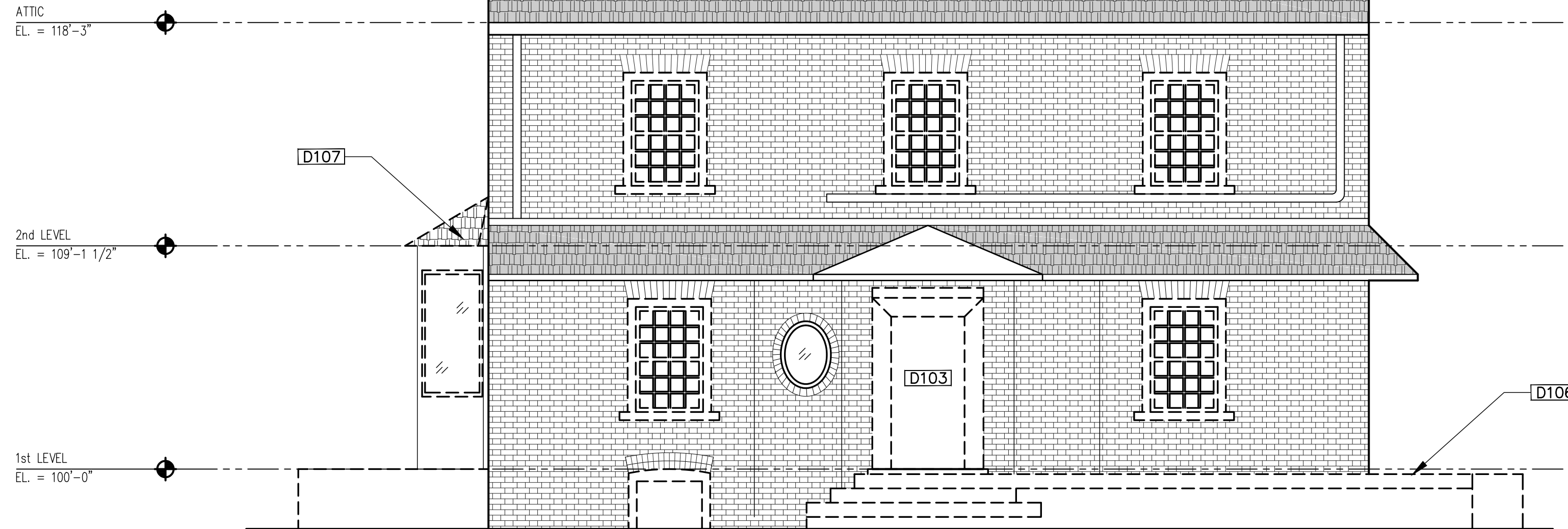
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2.: REPAIR EXIST. BRICK MASONRY AS NEEDED

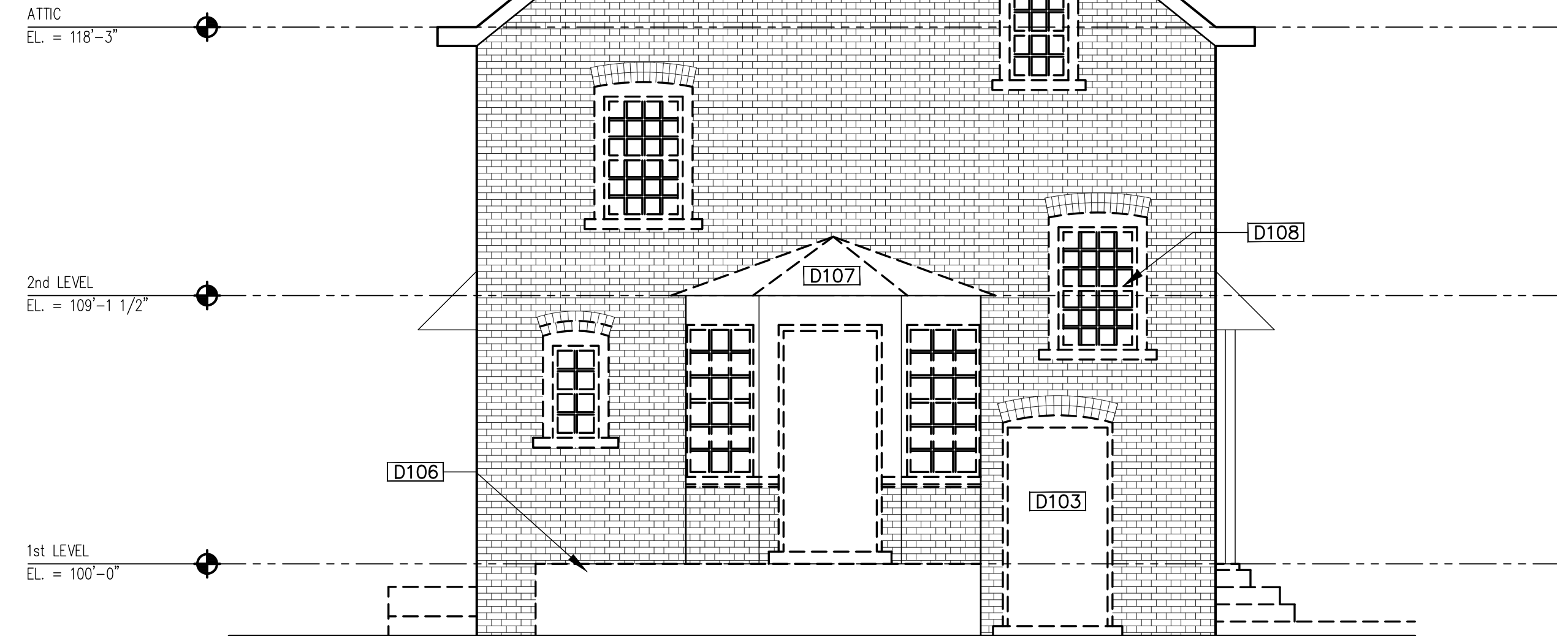
D106 SALVAGE BRICK FROM CRUMBLD BACK PORCH TO USE IN FRONT PORCH AND OR WINDOW CLOSURE (D108)

D107 INSTALL NEW ROOF HERE THAT MATCHES THE ROOF OF THE PROPERTY

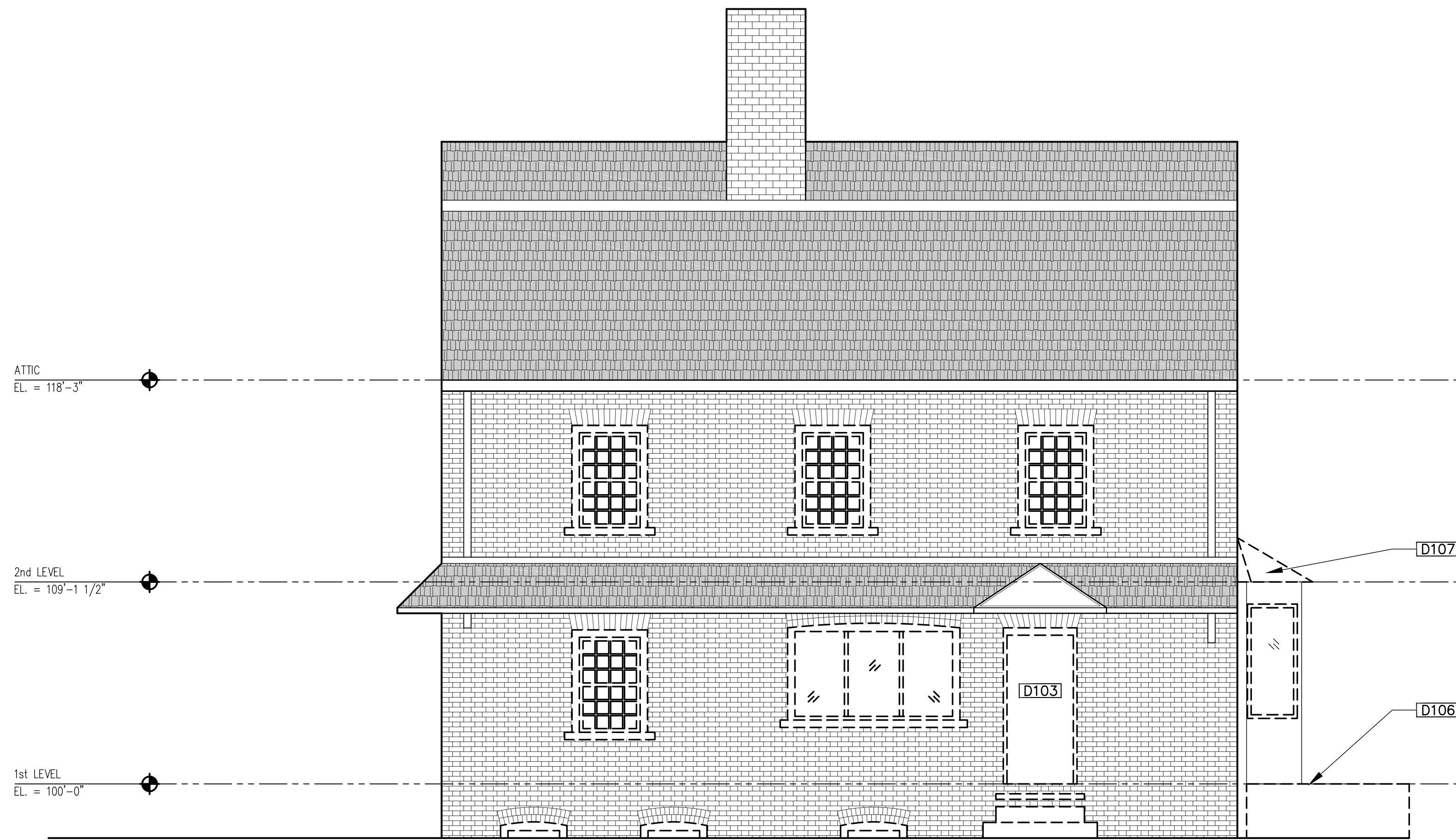
D108 REMOVE EXISTING WINDOW. FILL IN WITH MATCHING HOUSE BRICK



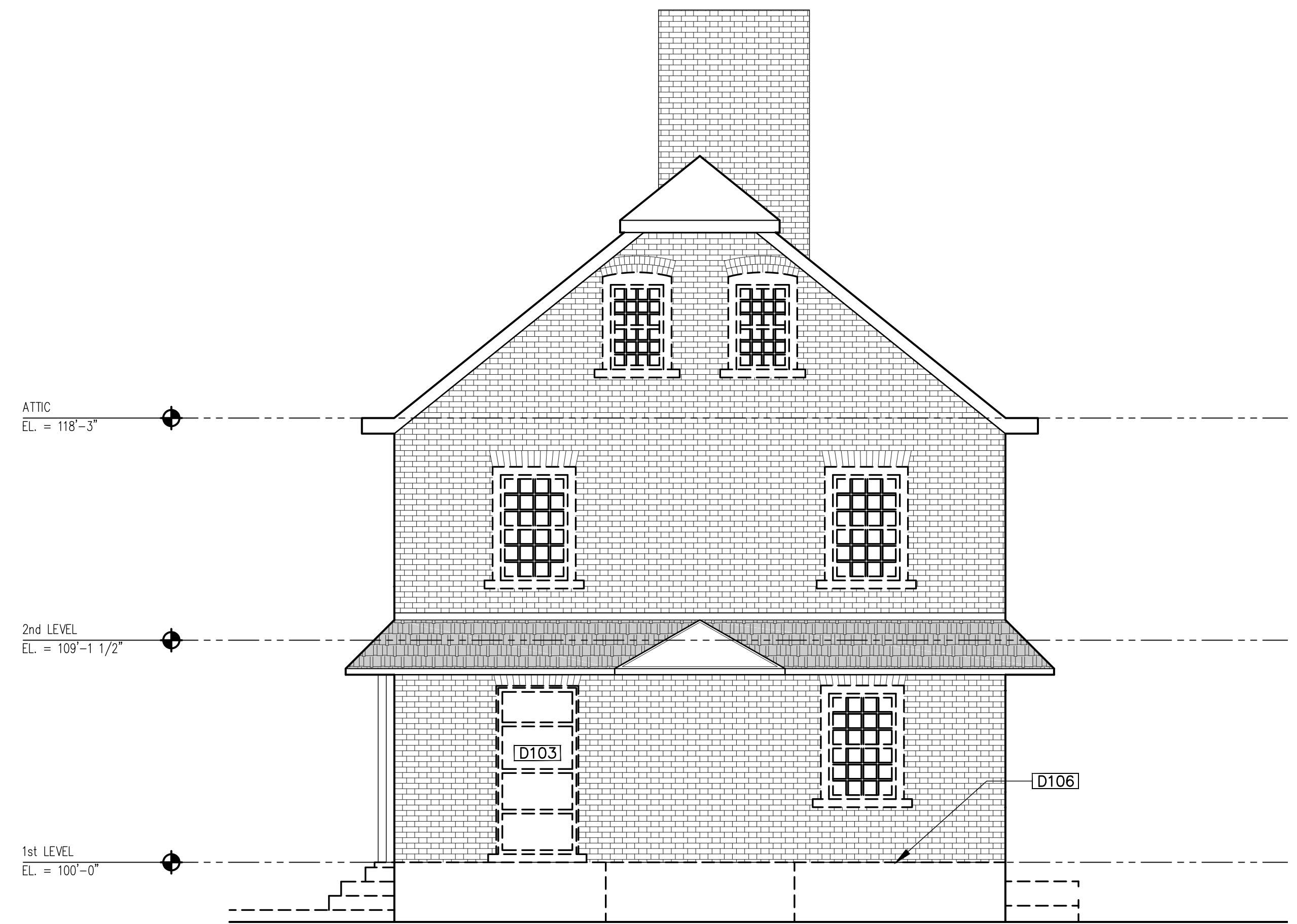
2 Demo. West Elevation
D2.0 1/4" = 1'-0"



1 Demo. North Elevation
D2.0 1/4" = 1'-0"



3 Demo. East Elevation
D2.0 1/4" = 1'-0"



4 Demo. South Elevation
A2.0 1/4" = 1'-0"

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D2.0

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DEMOLITION
ELEVATIONS
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WALL KEY

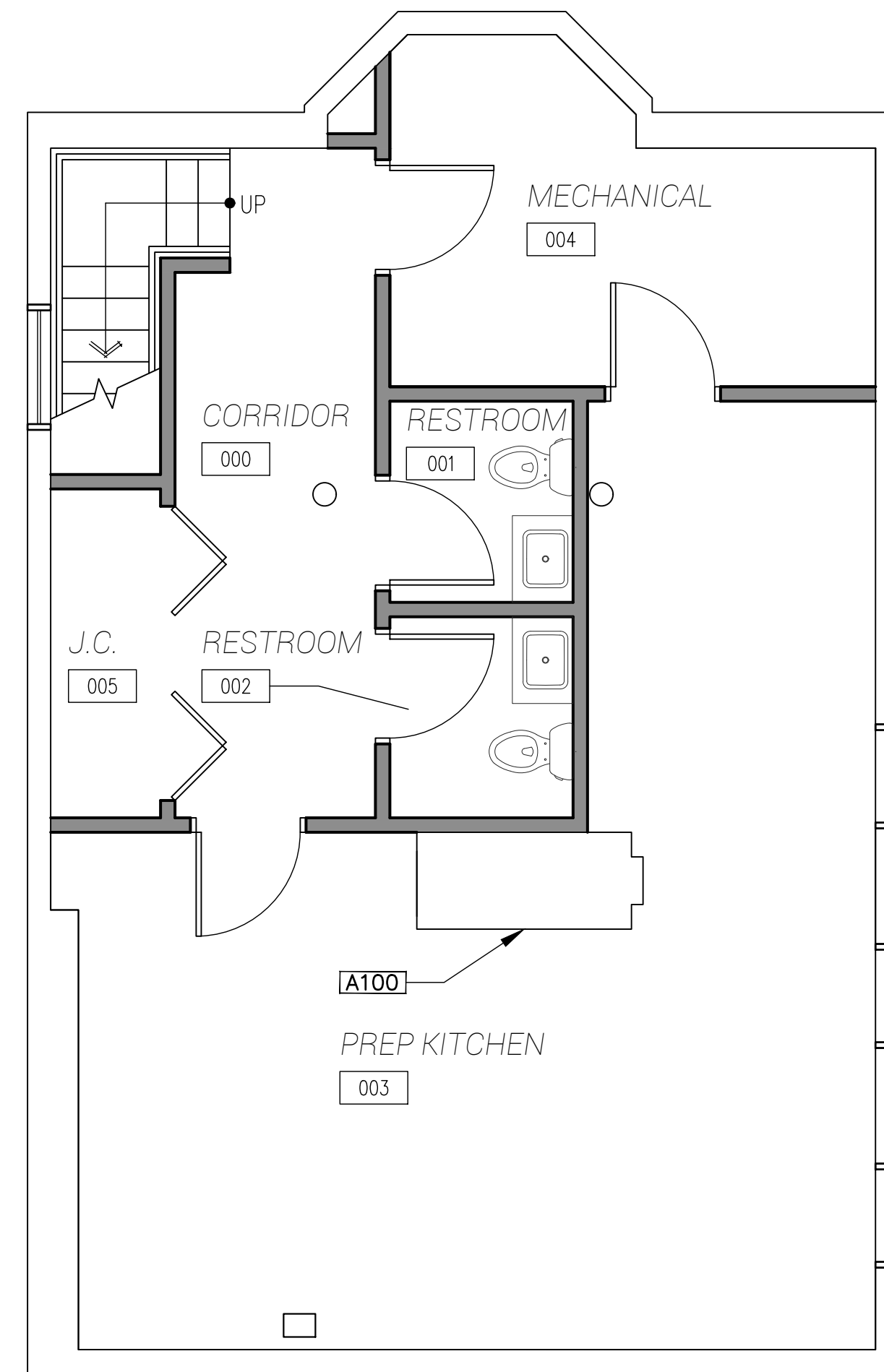
- EXISTING WALL TO REMAIN
- NEW FULL HT WALL - SEE WALL TYPES FOR DETAILS

ARCHITECTURE KEY NOTES

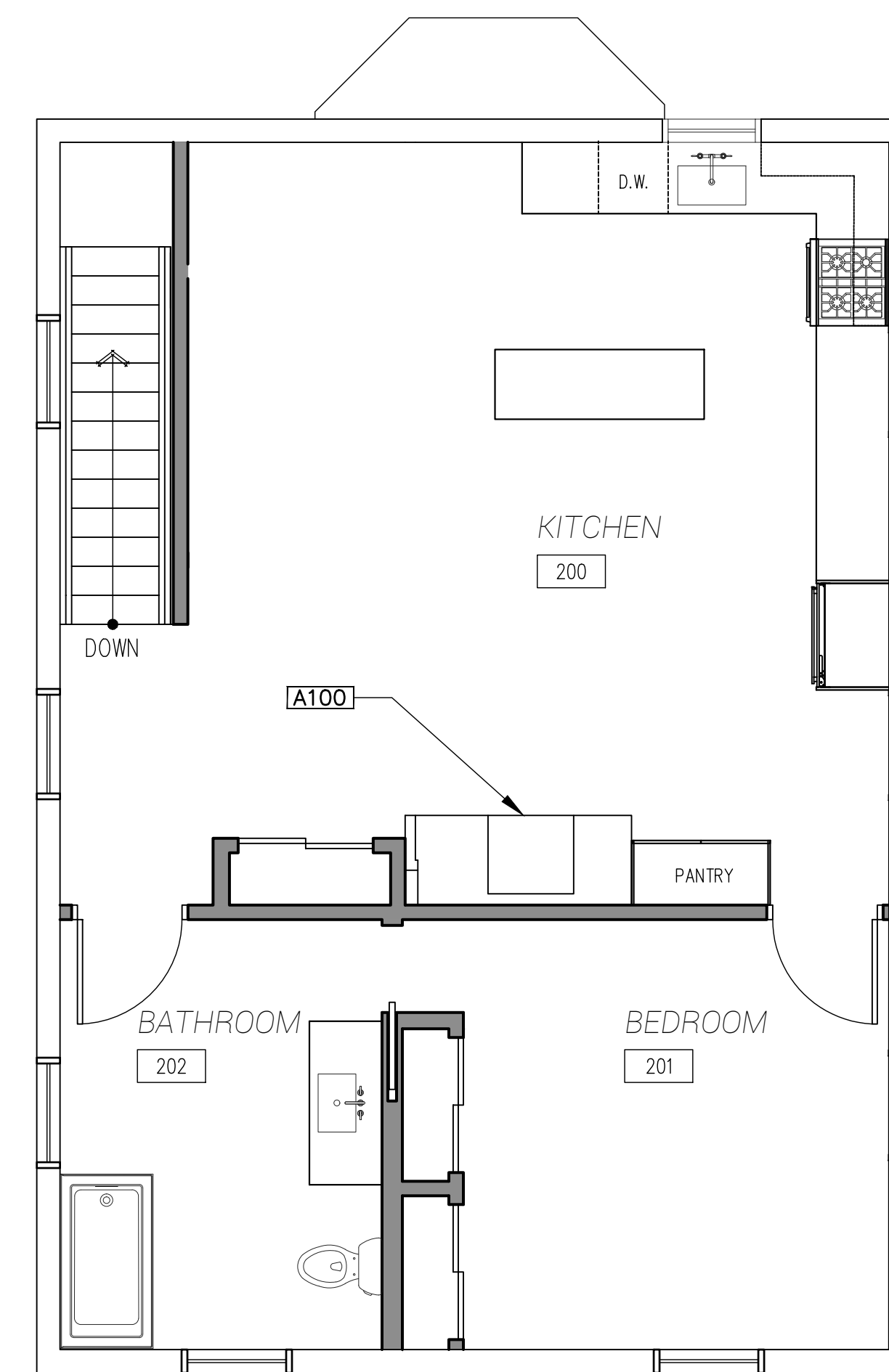
- A100 EXISTING MASONRY FIREPLACE & CHIMNEY
- A101 FIRE-RATED WALL
- A102
- A103
- A104 NEW DOOR
- A105
- A106

GENERAL NOTES

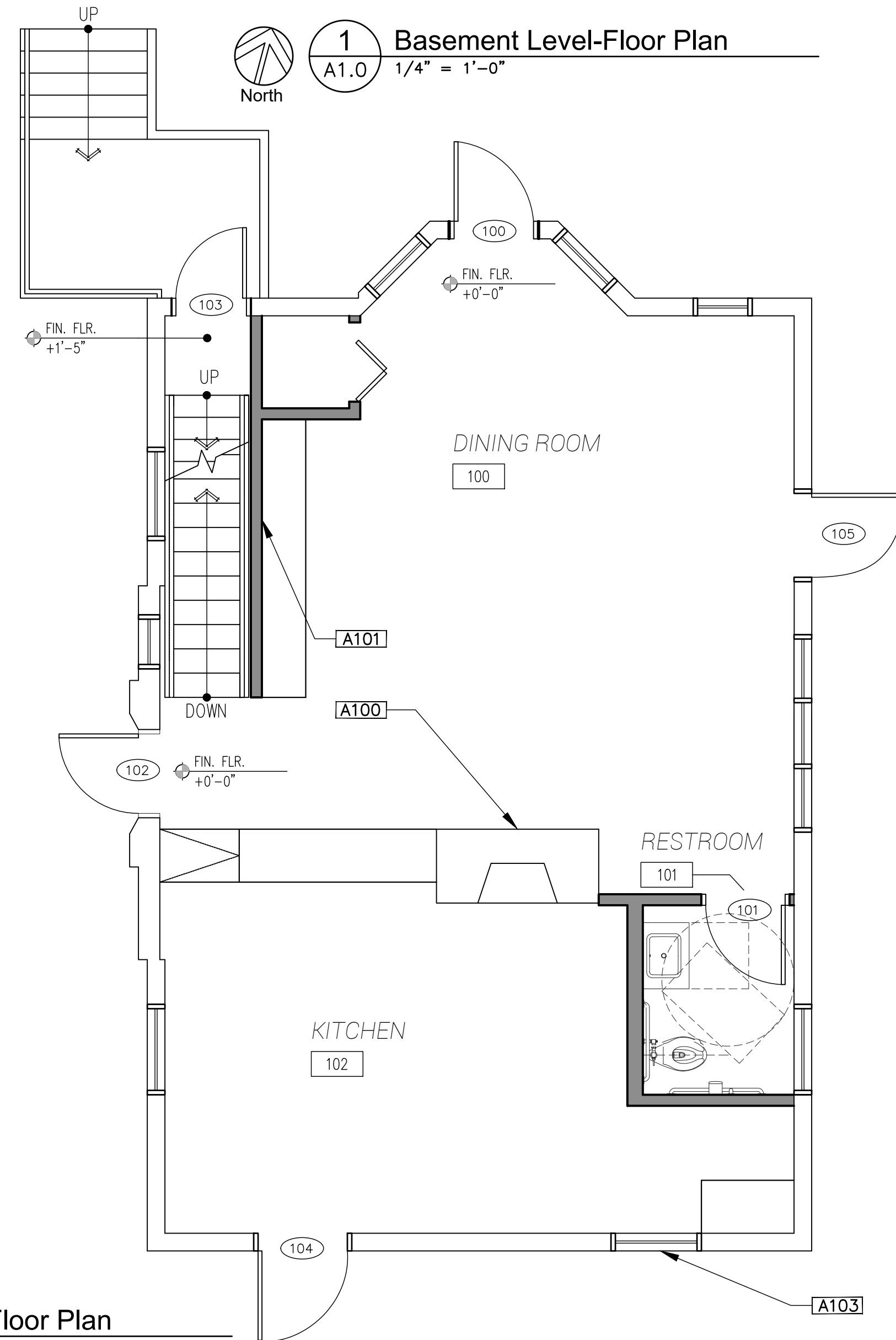
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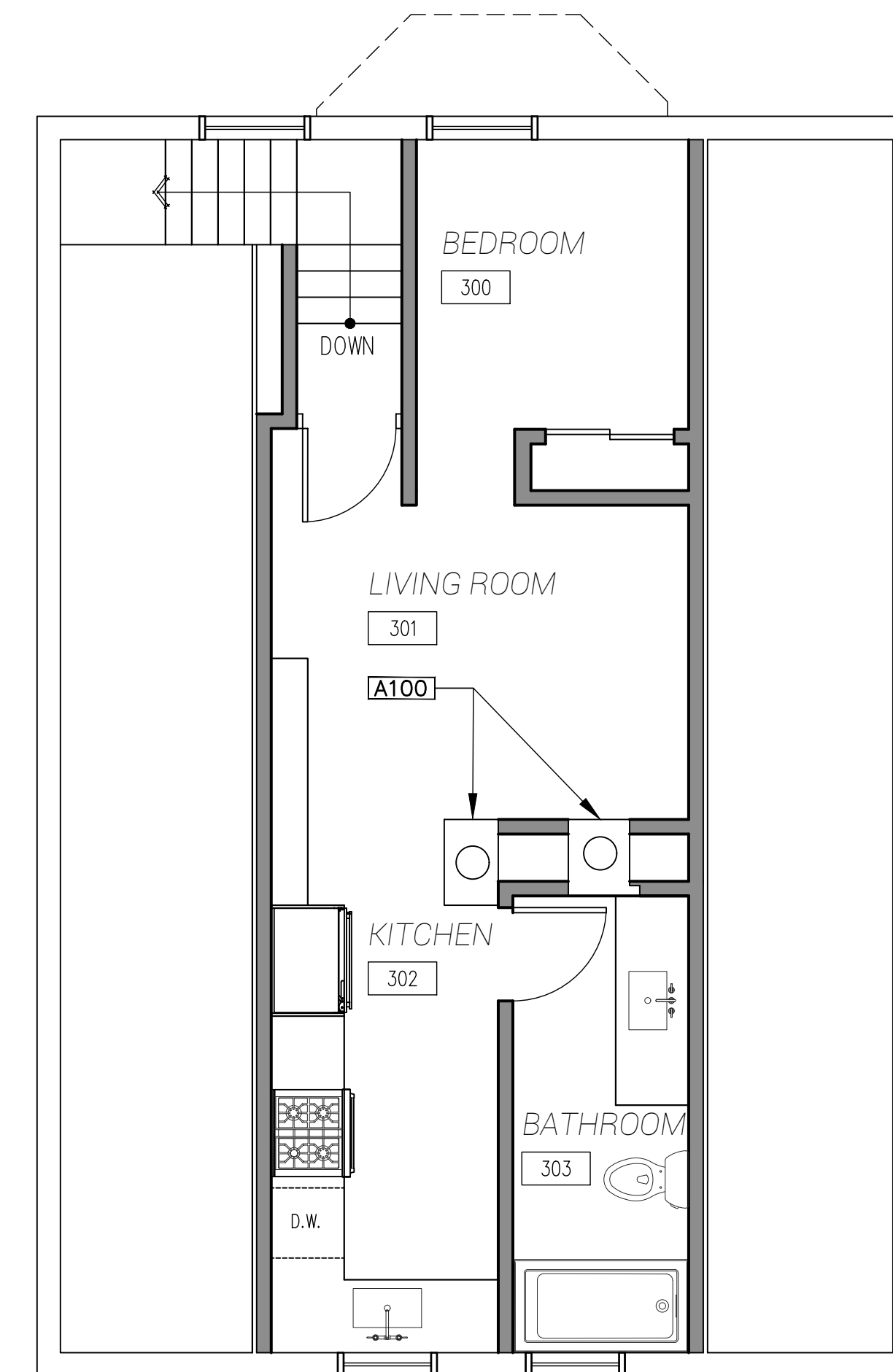
1 Basement Level-Floor Plan
A1.0 1/4" = 1'-0"



3 Second Level-Floor Plan
A1.0 1/4" = 1'-0"



2 First Level-Floor Plan
A1.0 1/4" = 3/8" S.C.H.E.M.E D
North



4 Third Level-Floor Plan
A1.0 1/4" = 1'-0"

ARCHITECTURE KEY NOTES

A100 EXISTING MASONRY FIREPLACE & CHIMNEY

A106 SALVAGE BRICK FROM CRUMBLIED BACK PORCH TO USE IN FRONT PORCH AND OR WINDOW CLOSURE (D108)

A101 FIRE-RATED WALL

A107

A102

A108

A103

A104 NEW DOOR

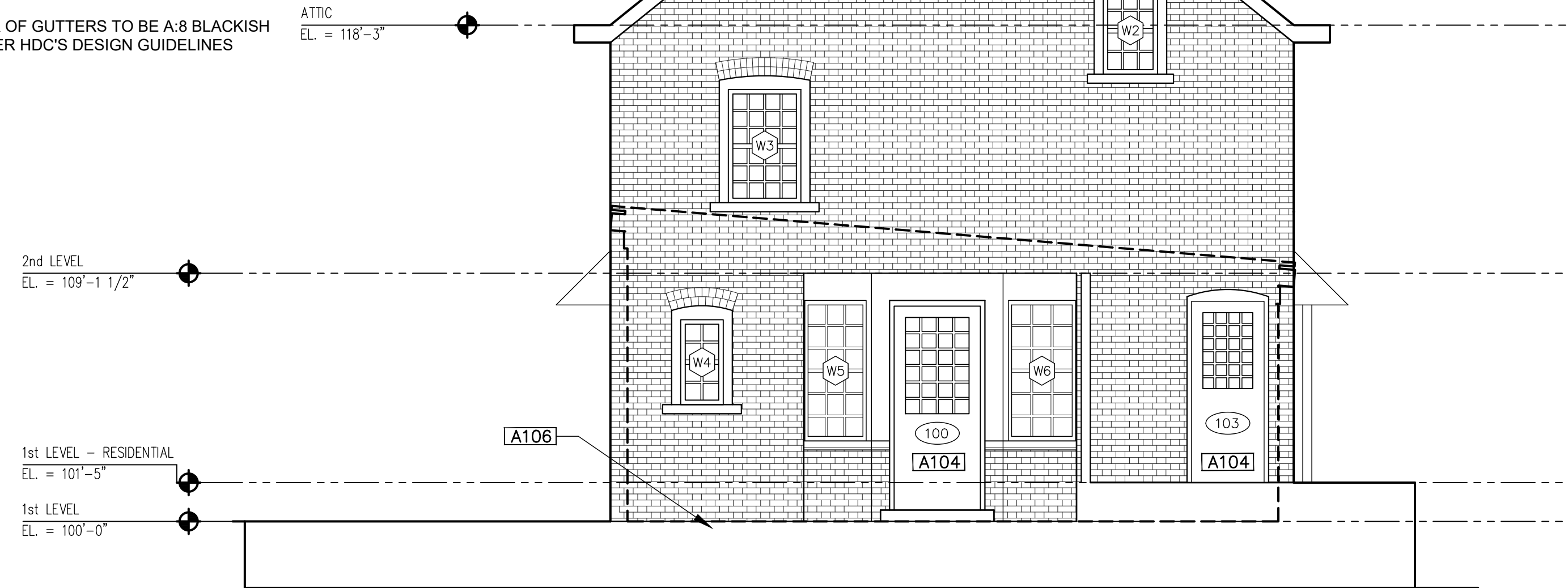
A105 NEW PERGOLA. HORIZONTAL WOOD SIDING TO MATCH THE EXISTING DECK OF THE CONGREGATION APPROVED BY HDC. WOOD POSTS AND BEAMS

GENERAL NOTES

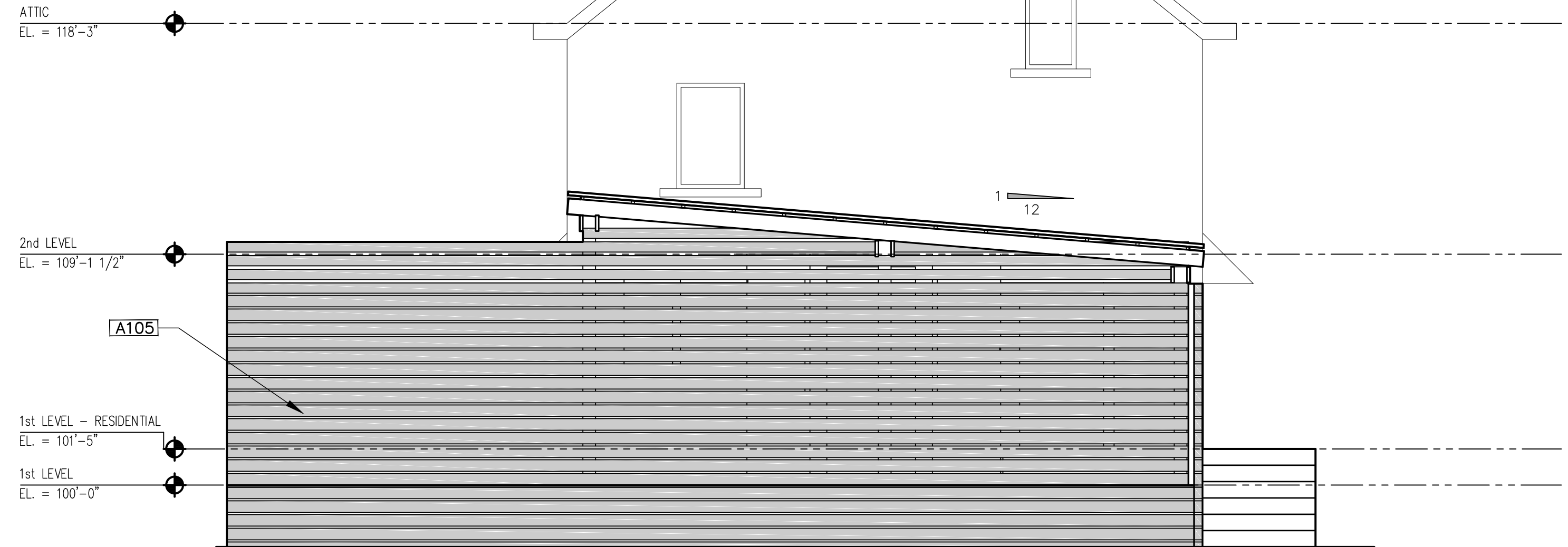
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2.: REPAIR EXIST. BRICK MASONRY AS NEEDED

3.: COLOR OF GUTTERS TO BE A:8 BLACKISH GREEN PER HDC'S DESIGN GUIDELINES



2 North Elevation
A2.0 1/4" = 1'-0"



1 North Elevation - Pergola
A2.0 1/4" = 1'-0"



3 South Elevation
A2.0 1/4" = 1'-0"

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ELEVATIONS
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ARCHITECTURE KEY NOTES

[A100] EXISTING MASONRY FIREPLACE & CHIMNEY

[A101] FIRE-RATED WALL

[A102]

[A103]

[A104] NEW DOOR

[A105] NEW PERGOLA. HORIZONTAL WOOD SIDING TO MATCH THE EXISTING DECK OF THE CONGREGATION APPROVED BY HDC. WOOD POSTS AND BEAMS

[A106] SALVAGE BRICK FROM CRUMBLD BACK PORCH TO USE IN FRONT PORCH AND OR WINDOW CLOSURE (D108)

[A107]

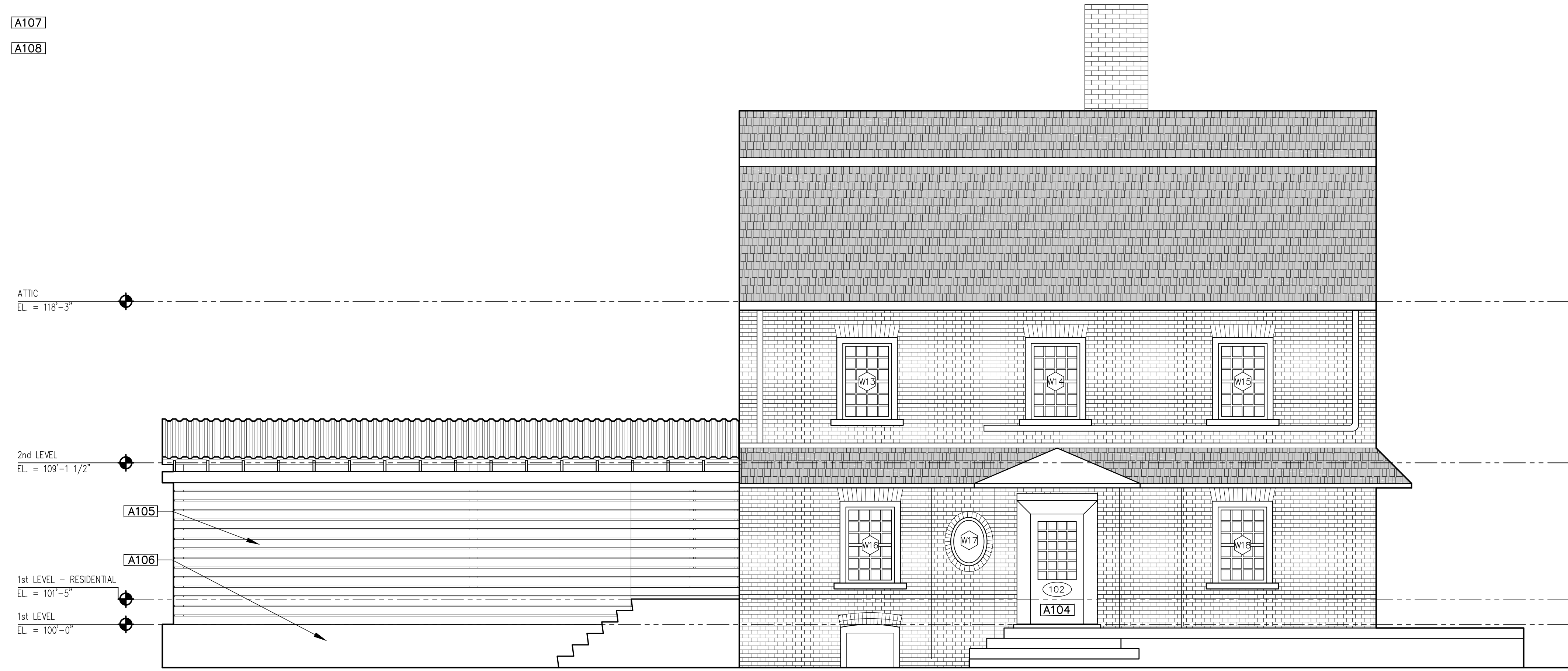
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GENERAL NOTES

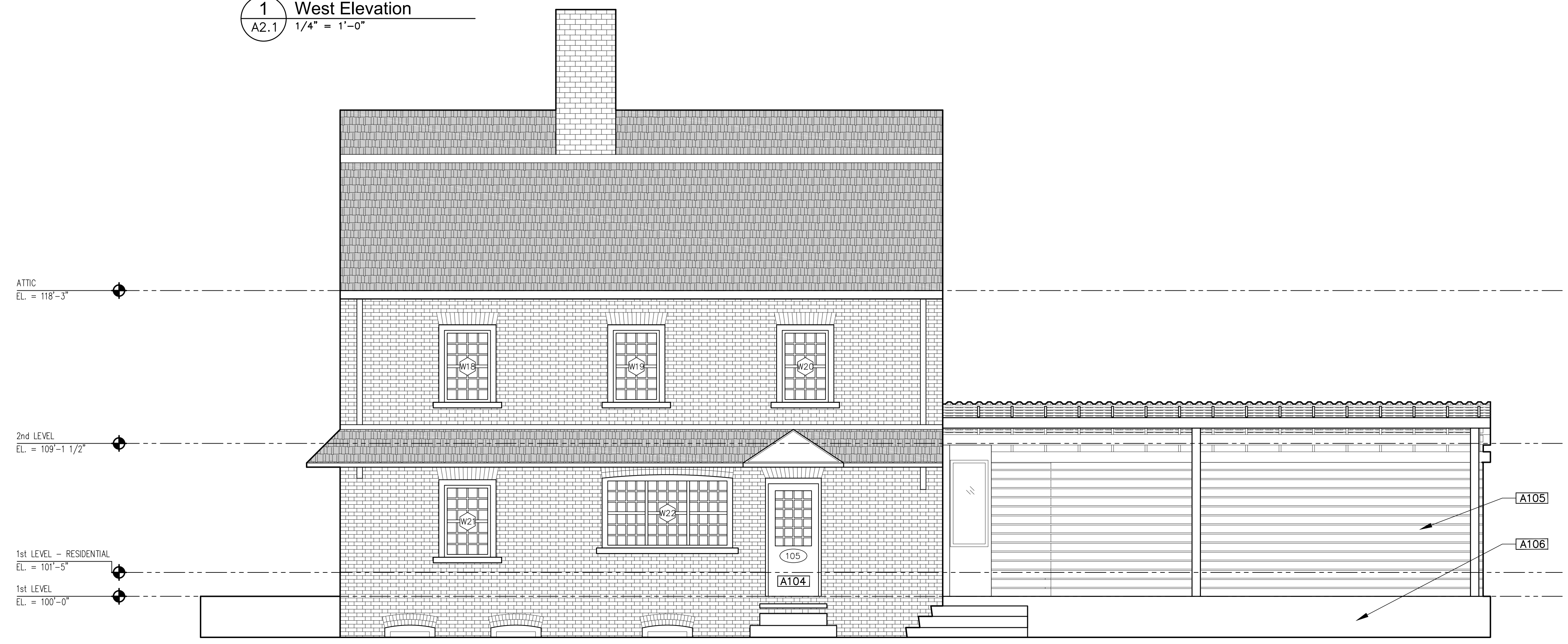
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1 West Elevation
A2.1 1/4" = 1'-0"



2 East Elevation
A2.1 1/4" = 1'-0"

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| WINDOW SCHEDULE | | | | | | |
|-----------------|------------|-----------------|-------------|--------------|---|---|
| LABEL | DIMENSIONS | LOCATION | OPERATION | MATERIAL | TRIM/SASH/SILL | COMMENTS |
| W1 | | NORTH ELEVATION | DOUBLE-HUNG | WOOD WINDOWS | REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS | DETERIORATION: BROKEN GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIGURATION TO MATCH EXISTING WINDOW |
| W2 | | NORTH ELEVATION | DOUBLE-HUNG | WOOD WINDOWS | REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS | DETERIORATION: OVER-CAULKED GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIGURATION TO MATCH EXISTING WINDOW |
| W3 | | NORTH ELEVATION | DOUBLE-HUNG | WOOD WINDOWS | REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS | DETERIORATION: OVER-CAULKED GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIGURATION TO MATCH EXISTING WINDOW |
| W4 | | NORTH ELEVATION | DOUBLE-HUNG | WOOD WINDOWS | REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS | DETERIORATION: MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIGURATION TO MATCH EXISTING WINDOW |
| W5 | | NORTH ELEVATION | DOUBLE-HUNG | WOOD WINDOWS | REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS | DETERIORATION: MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIGURATION TO MATCH EXISTING WINDOW |
| W6 | | NORTH ELEVATION | DOUBLE-HUNG | WOOD WINDOWS | REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS | DETERIORATION: MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIGURATION TO MATCH EXISTING WINDOW |
| W7 | | SOUTH ELEVATION | DOUBLE-HUNG | WOOD WINDOWS | REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS | DETERIORATION: OVER-CAULKED GLASS PANE; MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIGURATION TO MATCH EXISTING WINDOW |
| W8 | | SOUTH ELEVATION | DOUBLE-HUNG | WOOD WINDOWS | REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS | DETERIORATION: OVER-CAULKED GLASS PANE; MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIGURATION TO MATCH EXISTING WINDOW |
| W9 | | SOUTH ELEVATION | DOUBLE-HUNG | WOOD WINDOWS | REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS | DETERIORATION: MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIGURATION TO MATCH EXISTING WINDOW |
| W10 | | SOUTH ELEVATION | DOUBLE-HUNG | WOOD WINDOWS | REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS | DETERIORATION: MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIGURATION TO MATCH EXISTING WINDOW |
| W11 | | SOUTH ELEVATION | DOUBLE-HUNG | WOOD WINDOWS | REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS | DETERIORATION: MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIGURATION TO MATCH EXISTING WINDOW |
| W12 | | WEST ELEVATION | DOUBLE-HUNG | WOOD WINDOWS | REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS | DETERIORATION: OVER-CAULKED GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIGURATION TO MATCH EXISTING WINDOW |

GENERAL: ALL EXISTING WINDOWS ARE SINGLE-PANE GLASS AND HAVE TO BE UPDATED TO MATCH TODAY'S STANDARDS OF MODERN, ENERGY-EFFICIENT GLASS

| WINDOW SCHEDULE | | | | | | |
|-----------------|------------|----------------|--|--------------|---|---|
| LABEL | DIMENSIONS | LOCATION | OPERATION | MATERIAL | TRIM/SASH/SILL | COMMENTS |
| W13 | | WEST ELEVATION | DOUBLE-HUNG | WOOD WINDOWS | REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS | DETERIORATION: MISSING GLASS PANE; OVER-CAULKED GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIG. TO MATCH EXIST. WINDOW |
| W14 | | WEST ELEVATION | DOUBLE-HUNG | WOOD WINDOWS | REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS | DETERIORATION: MISSING GLASS PANE; OVER-CAULKED GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIG. TO MATCH EXIST. WINDOW |
| W15 | | WEST ELEVATION | DOUBLE-HUNG | WOOD WINDOWS | REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS | DETERIORATION: MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIG. TO MATCH EXIST. WINDOW |
| W16 | | WEST ELEVATION | FIXED | WOOD WINDOWS | REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS | DETERIORATION: ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIG. TO MATCH EXIST. WINDOW |
| W17 | | WEST ELEVATION | DOUBLE-HUNG | WOOD WINDOWS | REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS | DETERIORATION: MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIG. TO MATCH EXIST. WINDOW |
| W18 | | EAST ELEVATION | DOUBLE-HUNG | WOOD WINDOWS | REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS | DETERIORATION: MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIG. TO MATCH EXIST. WINDOW |
| W19 | | EAST ELEVATION | DOUBLE-HUNG | WOOD WINDOWS | REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS | DETERIORATION: ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIG. TO MATCH EXIST. WINDOW |
| W20 | | EAST ELEVATION | DOUBLE-HUNG | WOOD WINDOWS | REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS | DETERIORATION: MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIG. TO MATCH EXIST. WINDOW |
| W21 | | EAST ELEVATION | DOUBLE-HUNG | WOOD WINDOWS | REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS | DETERIORATION: MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIG. TO MATCH EXIST. WINDOW |
| W22 | | EAST ELEVATION | FIXED CENTER; LEFT AND RIGHT CRANK OUT | WOOD WINDOWS | REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS | DETERIORATION: MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIG. TO MATCH EXIST. WINDOW |

| EXTERIOR DOOR SCHEDULE | | | | | |
|------------------------|------------|-----------------|------------|--|---|
| LABEL | DIMENSIONS | LOCATION | MATERIAL | TRIM | COMMENTS |
| 100 | | NORTH ELEVATION | FIBERGLASS | REPLACED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM COLORS | DETERIORATION: BOARDED UP OPENING, NO DOOR IN PLACE COMMERCIAL GRADE MULTI-GRADE DOOR TO MATCH WINDOWS DESIGN MAIN ENTRANCE TO RESTAURANT |
| 102 | | WEST ELEVATION | FIBERGLASS | REPLACED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM COLORS | DETERIORATION: WOOD DOOR IN EXTREMELY POOR SHAPE COMMERCIAL GRADE MULTI-GRADE DOOR TO MATCH WINDOWS DESIGN SECONDARY ENTRANCE TO RESTAURANT |
| 103 | | NORTH ELEVATION | FIBERGLASS | REPLACED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM COLORS | DETERIORATION: WOOD DOOR IN EXTREMELY POOR SHAPE COMMERCIAL GRADE OR NEAR COMMERCIAL GRADE MULTI-GRADE DOOR TO MATCH WINDOWS DESIGN ENTRANCE FOR RESIDENTIAL TENANT/S |
| 104 | | SOUTH ELEVATION | FIBERGLASS | REPLACED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM COLORS | NON-OPERABLE; NO HARDWARE TO MATCH WINDOWS DESIGN |
| 105 | | EAST ELEVATION | FIBERGLASS | REPLACED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM COLORS | NON-OPERABLE; NO HARDWARE TO MATCH WINDOWS DESIGN |

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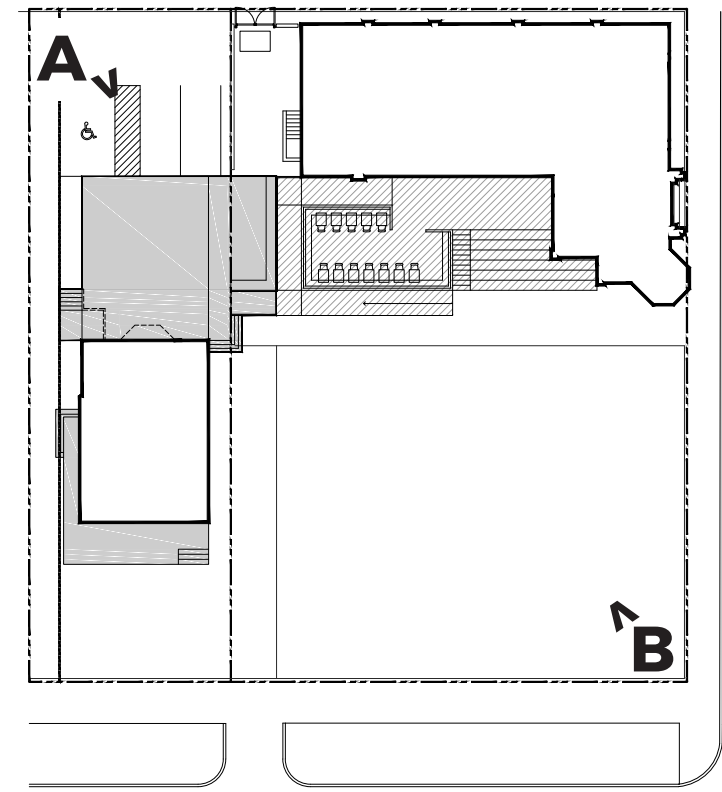
04 - 12 - 2021 HDC Set

SHEET NUMBER:

A7.0

SHEET TITLE:
Door, Window &
Finish Schedule
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SITE PHOTOS



A - BACK CORNER OF THE SITE



B - FRONT CORNER OF THE SITE

EXISTING ELEVATIONS



NORTH ELEVATION

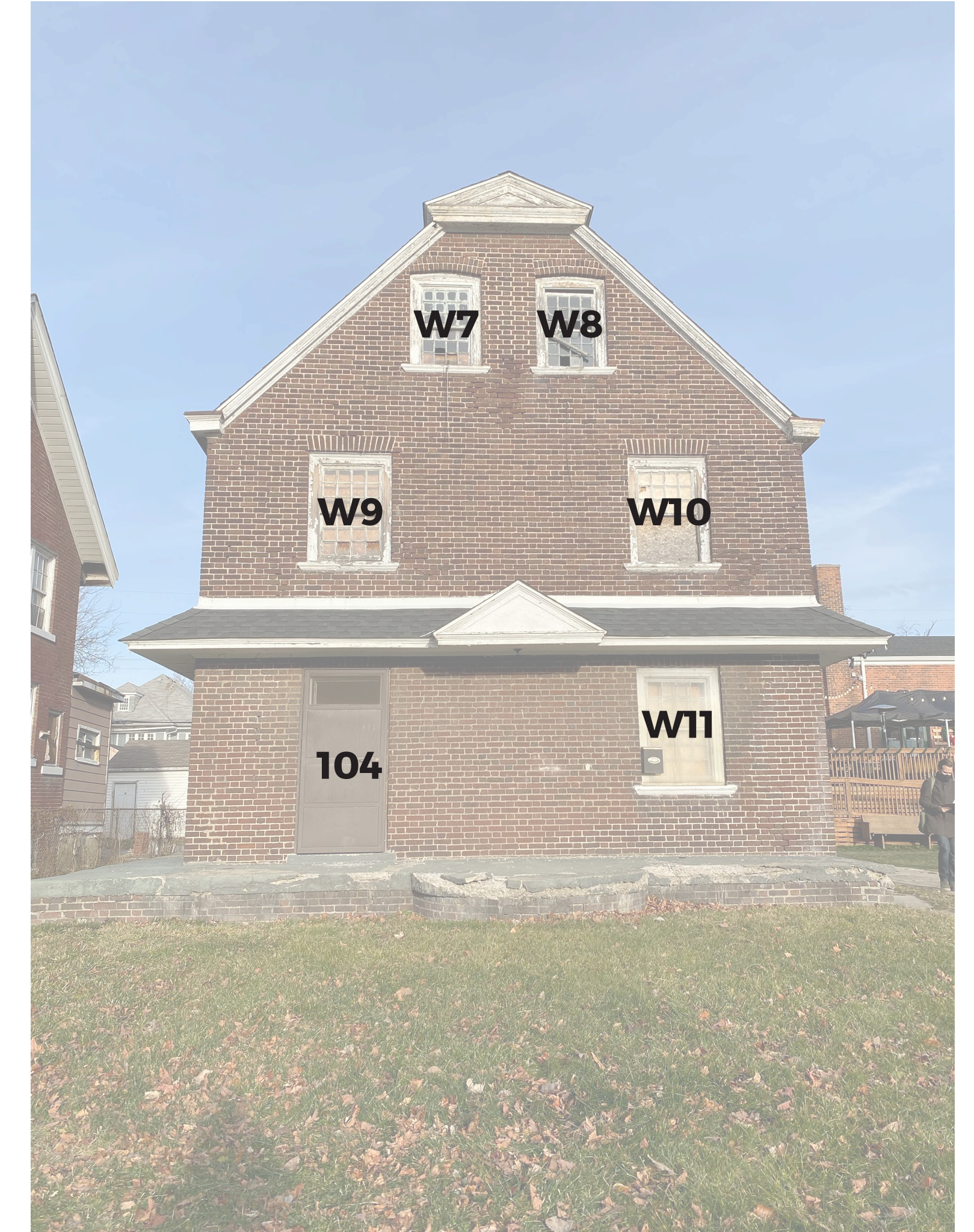


NORTH ELEVATION

REMOVING WINDOW TO
MOVE DOOR 103 UP FOR
NEW PATIO - SEE
ELEVATIONS AND PLANS



SOUTH ELEVATION



SOUTH ELEVATION

EXISTING ELEVATIONS



WEST ELEVATION



EAST ELEVATION

EXISTING DETAILS



PORCHES

SALVAGE BRICK FROM CRUMBLING BACK PORCH TO USE IN FRONT PORCH AND OR WINDOW CLOSURE (D108)



WINDOWS

ALL WINDOWS, BRICK MODELS, AND WINDOW SILLS WILL BE RESTORED OR REBUILT TO MATCH CURRENT. COLOR IS TO BE B:18 DARK REDDISH BROWN WITH A:8 BLACKISH GREEN FOR THE TRIM PER HDC'S DESIGN GUIDELINES

GUTTERS

COLOR OF GUTTERS TO BE A:8 BLACKISH GREEN PER HDC'S DESIGN GUIDELINES

EXISTING DETAILS



DOOR A - NEW DOOR SILL HEIGHT AND DOOR (103) FOR RESIDENTIAL TENANTS - SEE DOOR SCHEDULE FOR DETAILS

EXISTING MATERIAL: WOOD



DOOR B - NEW DOOR (102) FOR SECONDARY ENTRANCE TO RESTAURANT - SEE DOOR SCHEDULE FOR DETAILS

EXISTING MATERIAL: WOOD; CURRENT DOOR IS MISSING AND IS HELD BY AN ACRYLIC PIECE



DOOR C - NEW DOOR (104) - SEE DOOR SCHEDULE FOR DETAILS

EXISTING MATERIAL: METAL



DOOR D - NEW DOOR (105) - SEE DOOR SCHEDULE FOR DETAILS

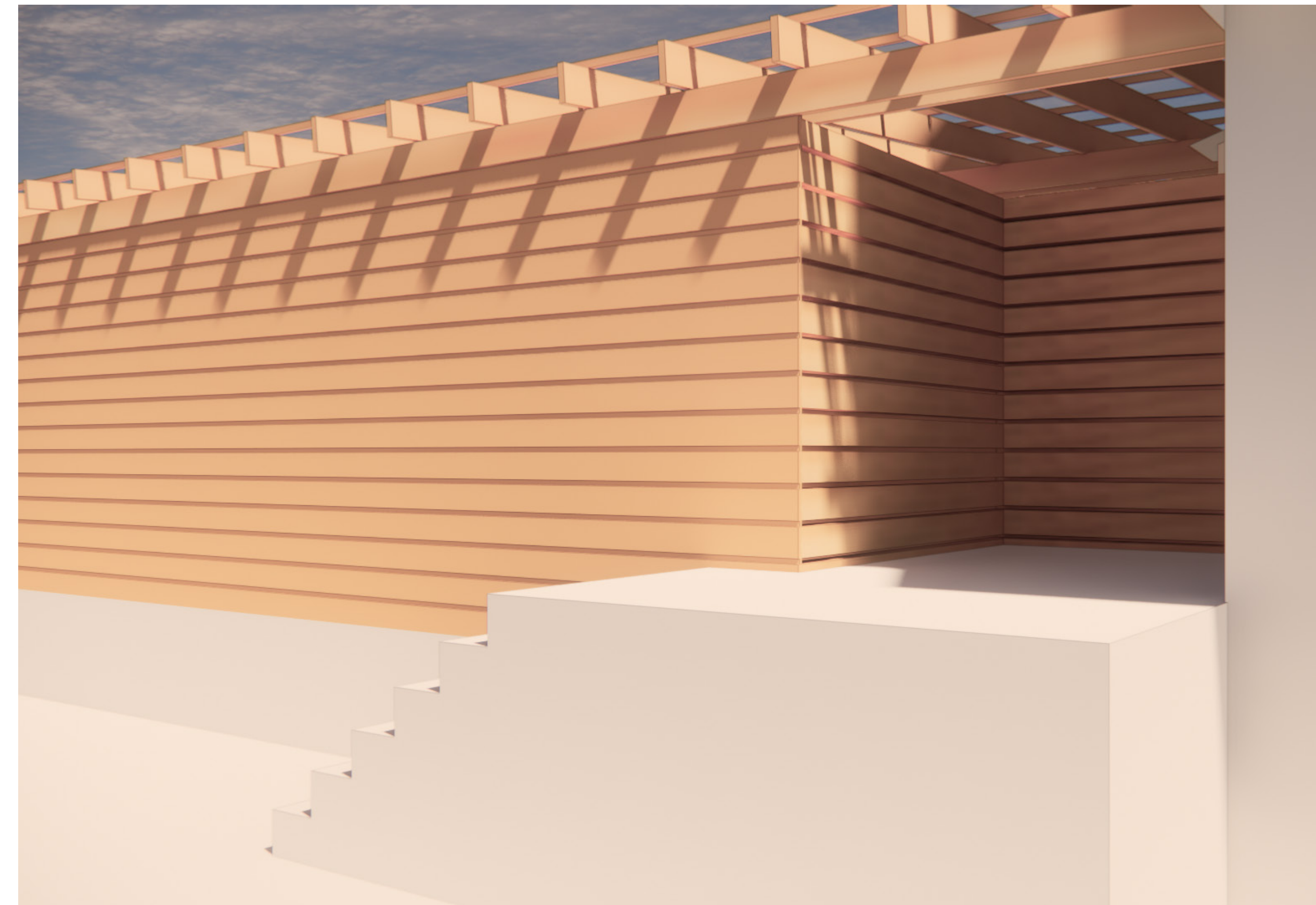
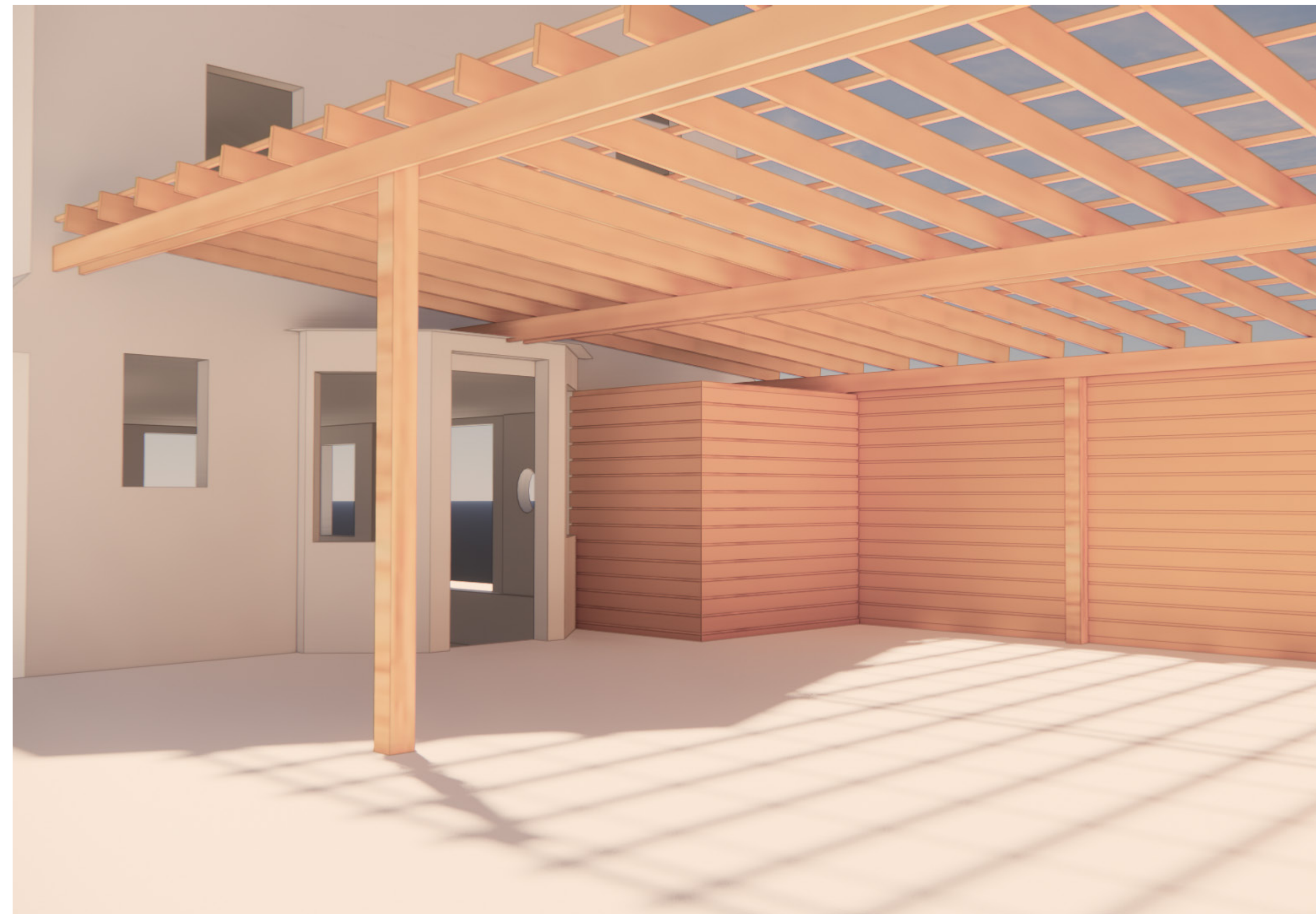
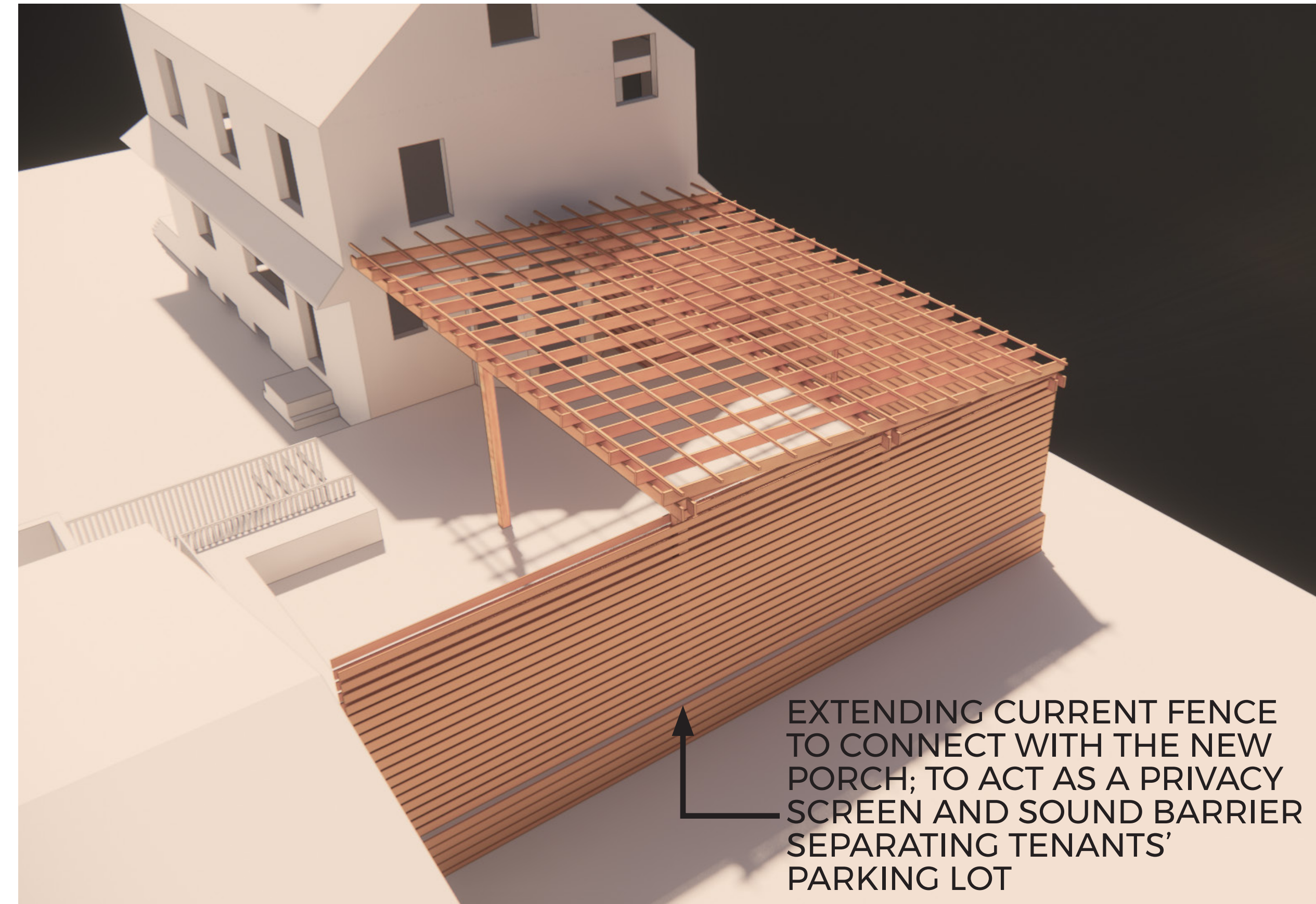
EXISTING MATERIAL: WOOD

DOORS

ALL EXTERIOR NON-HISTORIC DOORS TO BE REPLACED. NORTH ELEVATION DOOR TO BE RELOCATED. SEE PROPOSED ELEVATIONS AND DOOR SCHEDULE.

THE DOOR WOOD TRIMS ARE ROTTED AND NEED TO BE REPLACED AS WELL. BECAUSE THE FIRST FLOOR WILL BE A COMMERCIAL SPACE, ALL EXISTING DOORS ARE NOT TO CODE AND MUST SWING OUT. NEW DOORS WILL MIMIC ADJACENT WINDOW DESIGN.

PERGOLA PROPOSAL



PERGOLA PROPOSAL



INSPIRATION