



June 9, 2017

Robbert McKay Historic Architect Michigan State Historic Preservation Office 702 W. Kalamazoo Street Lansing, MI 48909

RE: IDAO Apartments (910 Marlborough Street, Detroit, Wayne County)

Part 2 – Description of Rehabilitation

Dear Robb:

Please find enclosed a Part 2 application for the above reference apartment building. The application includes signed cover sheet, narrative, architectural plans, and photographs keyed to site and floor plans.

A Part 1 for the property was approved on May 6, 2014. The IDAO was designated as a contributing resource in the Jefferson-Chalmers Historic Business District, which was listed on the National Register in 2004, and today is in the same condition as the Part 1 approval. You will note that the interior has been gutted; that work was completed by the prior owner and completed prior to the Part 1 approval.

The proposed rehabilitation includes exterior rehabilitation, roof repair, and a full system upgrade. New windows are proposed to replace the vinyl and glass block windows; the new windows reflect a window form that is common in the neighborhood.

Should you have any questions or require additional information, please don't hesitate to contact me by telephone at (503) 228-0272 or by email at rmawson@heritage-consulting.com.

Sincerely,

Robert L. Mawson Vice President

Cc: Kathy Makino, Shelbourne Development, LLC



NPS conditions or comments attached

UNITED STATES DEPARTMENT OF THE INTERIOR NATIONAL PARK SERVICE

HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

OMB Approved No. 1024-0009 Form 10-168 Rev. 2014

NPS Project Number 30285

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

1.				
	Street 910 Mariborough Street City Detroit County	Wayne	State MI Zip 4	18215-2953
	Name of Historic District		Zip	-
	Listed individually in the National Register of Historic Places; da	to of light-		
		efferson-Chalmers Historic	 Rusiness Dietrict	
				06/2014
	▼ Part 1 – Evaluation of Significance submitted? Dat Dat Dat Dat Dat Dat Dat Dat	e submitted	Date of certification	00/2014
2.	Project Data Date of building 1927	Estimated rehabilitation costs (QRE)	\$1,677,347.0	0
	Number of buildings in project1	Floor area before / after rehabilitation	8,400 , 8	,400 sq ft
	Start date (estimated)10-01-2017	Use(s) before / after rehabilitation	Vacant , Res	sidential
	Completion date (estimated) 10-01-2018	Number of housing units before / after re	^	
	Number of phases in project1	Number of low-moderate income housing	The state of the s	
3.	Name John M. Tess, President	_{Company} Heritage	Consulting Group	
	Street 1120 NW Northrup Street 2 97209-2852 Telephone (503) 228-0272	_{city} Portland		State OR
	Zip 97209-2852 Telephone (503) 228-0272	Email Address jmtess@herit	age-consulting.com	
4.	Applicant I hereby attest that the information I have provided is, to the best of my owner of the above-described property within the meaning of "owner" s described property, the fee simple owner is aware of the action I am ta owner, a copy of which (i) either is attached to this application form and CFR § 67.3(a)(1) (2011). For purposes of this attestation, the singular s factual representations in this application may subject me to fines and i imprisonment of up to 8 years. Name Kathy Makino	et forth in 36 CFR § 67.2 (2011), and/or (2 king relative to this application and has no incorporated herein, or has been previous shall include the plural wherever approprial mprisonment under 18 U.S.C. § 1001, whi) If I am not the fee simple objection, as noted in a written it is subjected in a written it is subjected in a written in a transfer and the knowing arch, under certain circumstances	owner of the above- statement from the requirements of 36 d willful falsification of
	Applicant Entity Shelborne Development Compar	Signature	Date _	20 2506420
			or TIN	
	Street 8445 East Jefferson Avenue	City Detroit	-0-1	State MI
	Zip 48214-2721 Telephone (734) 905-8323	Email Address Kathysmakin	lo@aoi.com	
	Applicant, SSN, or TIN has changed since previously submitted a	pplication,		
NPS	S Official Use Only			
The I	National Park Service has reviewed the Historic Preservation Certification	n Application – Part 2 for the above-named	property and has determined the	nat:
	the rehabilitation described herein is consistent with the historic charact meets the Secretary of the Interior's Standards for Rehabilitation. This is only to the owner of a "certified historic structure" after rehabilitation wor	etter is a preliminary determination only, sir	ith the district in which it is local nce a formal certification of reha	ed and that the project bilitation can be issued
	the rehabilitation or proposed rehabilitation will meet the Secretary of the	e Interior's Standards for Rehabilitation if the	e attached conditions are met.	
П	the rehabilitation described herein is not consistent with the historic char Secretary of the Interior's Standards for Rehabilitation.	acler of the property or the district in which	it is located and that the projec	t does not meet the
Date	National Park Service Authorized	Signature		

IDAO Apartments	
Property Name	
910 Marlborough Street, Detroit, Wayne County, Michigan Property Address	

ITEM 1

ARCHITECTURAL FEATURE: Project Description

DATE OF FEATURE: 1927, c. 2000

EXISTING FEATURE AND CONDITION: The IDAO Apartment Building is a three and one-half story unreinforced masonry building located in the Jefferson-Chalmers Historic Business District east of downtown Detroit. The building is located just south of the intersection of E. Jefferson Avenue and Marlborough Street and faces southwest onto Marlborough Street. Jefferson Avenue is a streetcar era commercial district. The parcels to the south are generally single family houses.

Immediately to the north is a two-story commercial building facing north onto Jefferson. To the west across Marlborough Street is the Hope Community Church. To the south is an east-west alley with a vacant parcel just beyond. At the rear, on Philip Street, is the Faith Church and School.

The IDAO Apartment Building is located on a rectangular lot, roughly 3920 square feet (approximately 68 feet north-south and 58 feet east-west. The front along Marlborough Street has a lawn setback of approximately 6 feet along with a narrow setback on the east, north and south. The site is fully disturbed and there are no character-defining landscape features.

The building is rectangular in shape, roughly 62 feet north-south and 36 feet east- west. It is three stories with a daylight basement, roughly 37 feet tall. The previous owner embarked on a renovation project that gutted the interior.

WORK AND IMPACT ON FEATURE: Applicant is proposing to renovate the building for apartment use. Work includes exterior rehabilitation, roof repair, and a full system upgrade. Exterior work includes inspection and repair of brick, mortar and cast stone trim as well as replacement of vinyl and glass block windows with new wood windows. Interior work includes rehabilitation of the vestibule, construction of an aesthetically appropriate code-compliant full height stair with two 3-bedroom/2-bath units per floor on each of the basement, first, second and third floors.

PHOTOS: All

DRAWINGS: All (ArchiveDS, 09.22.16)

IDAO Apartments	
Property Name	
. ,	
910 Marlborough Street, Detroit, Wayne County, Michigan	
Property Address	

ITEM 2

ARCHITECTURAL FEATURE: West (Marlborough Street) Elevation

DATE OF FEATURE: 1927. C. 2000

EXISTING FEATURE AND CONDITION: The primary façade faces west onto Marlborough Street. The elevation is roughly 62 feet in length and 40 feet tall. It is clad in tapestry brick with natural gray mortar and cast stone decoration. Generally, windows are vinyl with cast stone sills and a slight fascia; ground floor windows are glass block. Windows are a combination of one-over-one, sliders, and fixed.

Horizontally, a cast stone belt course runs along the sill line at the first floor, balanced by a second similar belt course at the cornice. The parapet, which is crenelated, has matching cast stone coping.

Vertically, the building is symmetrically organized. Fenestration divides the building into seven bays with each north bay mirroring its respective bay at the south. The center bay has a small projecting rectilinear doorway with cast stone decoration, a round arched wood door and a crenelated cast stone lid. Between the first and third floors is an assembly with a center cast stone and brick spandrel separating oversized fixed glass windows. On the interior, this space is a stair tower and the windows align with the stair landing. Above is a cast stone medallion, bracket and at the cornice a cast stone bas relief panel.

This central bay is flanked by bays with broad slider windows. The next bay has truncated one-over-one windows (aligning where historically bathrooms were located), and then at the outside a bay wills standard height windows.

Window openings at the basement level are similar though the window at the outside bay on the north and south is elongated. At the north center is a recessed stair well parallel to the building face that leads to a wood door.

WORK AND IMPACT ON FEATURE: Façade will be inspected and repaired as necessary. All vegetation will be removed. All conduit, fasters, hardware and modern attachments in the brick/mortar will be removed and brick/mortar will be repaired at the point of attachments. Any graffiti will be removed in accordance with Preservation Brief 38.

IDAO Apartments	=
Property Name	
910 Marlborough Street, Detroit, Wayne County, Michigan	_
Property Address	

Brick, cast stone and mortar will be inspected and repaired. The building will be cleaned in accordance with Preservation Brief 1. Mortar repair, as necessary, will match the existing conditions and be completed in accordance with Preservation Brief 2.

The entry door will be replaced with a new wood door matching historic designs. New exterior light fixtures will be installed flanking the door.

First through third floor windows will be replaced with three-over-one, wood, double-hung windows. Glass block windows at the ground level will be replaced with wood matching those on the upper floors.

Secondary entry to the basement will be inspected and repaired with new wood door. Retaining wall will be reconstructed to meet code.

PHOTOS: 1-5

DRAWINGS: A-3, A-5, A-9, A-10 (ArchiveDS, 09.22.16)

IDAO Apartments
Property Name
910 Marlborough Street, Detroit, Wayne County, Michigan
Property Address

ITEM 3

ARCHITECTURAL FEATURE: South (alley) Elevation

DATE OF FEATURE: 1927. C. 2000

EXISTING FEATURE AND CONDITION: The south and north elevations are essentially mirrors of each other with slight variations at the basement level.

The façade is clad is utilitarian red brick in natural gray mortar. The roofline has three approximately equal steps down reflecting the downward west-to-east slope of the roof. Windows are one-over-one vinyl with the three floors organized symmetrically into four vertical bays set in from the east and west. Windows have a modern cast stone sill; the window head has a slight fascia. At the basement level are three glass block windows of varying sizes and are irregularly located.

The elevation is in sound but poor condition.

WORK AND IMPACT ON FEATURE: Façade will be inspected and repaired as necessary. All vegetation will be removed. All conduit, fasters, hardware and modern attachments in the brick/mortar will be removed and brick/mortar will be repaired at the point of attachments. Any graffiti will be removed in accordance with Preservation Brief 38.

Brick, cast stone and mortar will be inspected and repaired. The building will be cleaned in accordance with Preservation Brief 1. Mortar repair, as necessary, will match the existing conditions and be completed in accordance with Preservation Brief 2.

First through third floor windows will be replaced with three-over-one, wood, double-hung windows. Glass block windows at the ground level will be replaced with wood matching those on the upper floors.

PHOTOS: 2. 6. 7

DRAWINGS: A-3, A-5, A-10 (ArchiveDS, 09.22.16)

IDAO Apartments	
Property Name	
010 M II	
910 Marlborough Street, Detroit, Wayne County, Michigan	
Property Address	

ITEM 4

ARCHITECTURAL FEATURE: East (rear) Elevation

DATE OF FEATURE: 1927. C. 2000

EXISTING FEATURE AND CONDITION: The east or rear elevation is similar in organization to the west but with lesser materials. It is roughly 62 feet in length and 36 feet tall. It is clad in utilitarian brick with natural gray mortar. Generally, windows are vinyl with cast stone sills and a slight fascia; ground floor windows are glass block. Windows are a combination of one-over-one, sliders, and fixed. Horizontally, the elevation is flat without definition. The elevation does not have any decoration.

Vertically, the building is symmetrically organized. Fenestration divides the building into seven bays with each north bay mirroring its respective bay at the south. The center bay has a door-sized opening between the first and second, and second and third floors. On the interior, this space is a stair tower and the openings align with the stair landing.

This central bay is flanked by bays with broad slider windows. The next bay has truncated one-over-one windows (aligning where historically bathrooms were located), and then at the outside a bay wills standard height windows.

Window openings at the basement level are small and utilitarian in nature.

WORK AND IMPACT ON FEATURE: Façade will be inspected and repaired as necessary. All vegetation will be removed. All conduit, fasters, hardware and modern attachments in the brick/mortar will be removed and brick/mortar will be repaired at the point of attachments. Any graffiti will be removed in accordance with Preservation Brief 38.

Brick, cast stone and mortar will be inspected and repaired. The building will be cleaned in accordance with Preservation Brief 1. Mortar repair, as necessary, will match the existing conditions and be completed in accordance with Preservation Brief 2.

First through third floor windows will be replaced with three-over-one, wood, double-hung windows. Glass block windows at the ground level will be replaced with wood matching those on the upper floors. Openings in the center bay will be infilled with matching brick.

PHOTOS: 7, 8

DRAWINGS: A-3, A-5, A-10 (ArchiveDS, 09.22.16)

IDAO Apartments	
Property Name	
910 Marlborough Street, Detroit, Wayne County, Michigan Property Address	

ITEM 5

ARCHITECTURAL FEATURE: North Elevation

DATE OF FEATURE: 1927. C. 2000

EXISTING FEATURE AND CONDITION: The north and south are essentially mirrors of each other with slight variations at the basement level.

The façade is clad is utilitarian red brick in natural gray mortar. The roofline has three approximately equal steps down reflecting the downward west-to-east slope of the roof. Windows are one-over-one vinyl with the three floors organized symmetrically into four vertical bays set in from the east and west. Windows have a modern cast stone sill; the window head has a slight fascia. At the basement level are three glass block windows of varying sizes and are irregularly located.

The elevation is in sound but poor condition.

WORK AND IMPACT ON FEATURE: Façade will be inspected and repaired as necessary. All vegetation will be removed. All conduit, fasters, hardware and modern attachments in the brick/mortar will be removed and brick/mortar will be repaired at the point of attachments. Any graffiti will be removed in accordance with Preservation Brief 38.

Brick, cast stone and mortar will be inspected and repaired. The building will be cleaned in accordance with Preservation Brief 1. Mortar repair, as necessary, will match the existing conditions and be completed in accordance with Preservation Brief 2.

First through third floor windows will be replaced with three-over-one, wood, double-hung windows. Glass block windows at the ground level will be replaced with wood matching those on the upper floors.

PHOTOS:

DRAWINGS: A-3, A-5, A-10 (ArchiveDS, 09.22.16)

IDAO Apartments	
Property Name	
910 Marlborough Street, Detroit, Wayne County, Michigan	
Property Address	

ITEM 6

ARCHITECTURAL FEATURE: First Floor

DATE OF FEATURE: 1927. C. 2000

EXISTING FEATURE AND CONDITION: The first floor is elevated from grade. It is accessed from a central door on the west that leads to a small vestibule. As originally built, a short run of stairs led to the first floor with a matching rear stair at the east. The interior was gutted by the previous owner, including removal of the two stairs, all partitions, all ceiling and flooring. New metal gypsum board framing was installed.

WORK AND IMPACT ON FEATURE: The applicant is proposing to adapt the first floor to two 3-bedroom/2-bath apartments.

The entry will be inspected and repaired. A new wood stair will be installed in the west stair hall. At the first floor landing a door will lead to a small vestibule, approximately width of the stair hall, with doorways to the north, south and east. The north and south doors will lead to apartment units. The east doorway will lead to a mechanical room.

Finishes will be appropriate with painted gypsum board walls and ceiling. Flooring will be either wood or tile, depending upon use, over a plywood deck and gypcrete covering. Perimeter walls will be furred as necessary to meet energy codes.

PHOTOS: 10-14

DRAWINGS: AD-1, A-1, A-6, A-7, A-8, A-9 (ArchiveDS, 09.22.16)

IDAO Apartments	
Property Name	
910 Marlborough Street, Detroit, Wayne County, Michigan	
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ITEM 7

ARCHITECTURAL FEATURE: Floors 2-3

DATE OF FEATURE: 1927. C. 2000

EXISTING FEATURE AND CONDITION: Floors 2-3 are identical. As originally built, these floors had a central front (west) and rear (east) stair hall with a north-south corridor providing access to apartments. The interior was gutted by the previous owner, including removal of the two stairs, all partitions, all ceiling and flooring. New metal gypsum board framing was installed.

WORK AND IMPACT ON FEATURE: Floors 2 and 3 will be developed similar to the first floor with two 3-bedroom/2-bath apartments.

A new wood stair will be installed in the west stair hall. At the landing a door will lead to a small vestibule, approximately width of the stair hall, with doorways to the north, south and east. The north and south doors will lead to apartment units. The east doorway will lead to a mechanical room.

Finishes will be appropriate with painted gypsum board walls and ceiling. Flooring will be either wood or tile, depending upon use, over a plywood deck and gypcrete covering. Perimeter walls will be furred as necessary to meet energy codes.

PHOTOS: 15-23

DRAWINGS: AD-1, A-2, A-6, A-7, A-8, A-9 (ArchiveDS, 09.22.16)

IDAO Apartments	
Property Name	
910 Marlborough Street, Detroit, Wayne County, Michigan	
Property Address	

ITEM 8

ARCHITECTURAL FEATURE: Basement

DATE OF FEATURE: 1927. C. 2000

EXISTING FEATURE AND CONDITION: The building has a full daylight basement that is accessed via a doorway at the front just north of the main entry and from the rear. A load-bearing east-west wall runs across center of the floor. Otherwise, the floor has been gutted with the removal of all partitions and ceilings. The floor is concrete.

WORK AND IMPACT ON FEATURE: The basement will be adapted similar to the first floor with two 3-bedroom/2-bath apartments.

A new wood stair will be installed in the west stair hall. At the landing a door will lead to a small vestibule, approximately width of the stair hall, with doorways to the north, south and east. The north and south doors will lead to apartment units. The east doorway will lead to a mechanical room.

Finishes will be appropriate with painted gypsum board walls and ceiling. Flooring will be either wood or tile, depending upon use, over a plywood deck and gypcrete covering. Perimeter walls will be furred as necessary to meet energy codes.

PHOTOS: 24-25

DRAWINGS: AD-1, A-1, A-6, A-7, A-8, A-9 (ArchiveDS, 09.22.16)

IDAO Apartments	
Property Name	
010 Maulhanavah Stuart Datusit Wasna County Mishinan	
910 Marlborough Street, Detroit, Wayne County, Michigan	
Property Address	

ITEM 9

ARCHITECTURAL FEATURE: Roof

DATE OF FEATURE: 1927. C. 2000

EXISTING FEATURE AND CONDITION: The roof is generally flat, sloping down from west to east. At the east (rear), parapet is low, stepped on the north and south to a mid-height on the west. The deck is wood covered with rolled asphalt. A brick chimney is located at the center east. At the center is a roof hatch. A modern rain gutter runs along the east elevation with three downspouts, located irregularly.

WORK AND IMPACT ON FEATURE: The current roof membrane will be removed in its entirety, including flashing and fasteners. The roof deck and substrate will be inspected and repaired as necessary to create water-tight conditions. New EDPM roof membrane will be installed with new fasteners and flashing. Parapets and coping will be inspected and repaired as necessary. The gutter system at the east will be replaced in kind. New vents will be installed per code. Flashing will be inspected and/or replaced.

PHOTOS: N/A

DRAWINGS: N/A

IDAO Apartments
Property Name
910 Marlborough Street, Detroit, Wayne County, Michigan
Property Address

ITEM 10

ARCHITECTURAL FEATURE: Vertical Access - Stairs

DATE OF FEATURE: 1927. C. 2000

EXISTING FEATURE AND CONDITION: As built, the building had a set of stairs at the center west accessed from the center front door/vestibule with a second rear stair directly west. These were removed by the prior owner. Current stairs are temporary wood at the center west.

The building does not have an elevator.

WORK AND IMPACT ON FEATURE: Applicant is proposing to build a new full height code-compliant wood stair at the center west. The design is traditional and appropriate.

The stairwell at center-east will be modified and adapted to serve as mechanical rooms for each floor.

PHOTOS: 11, 15, 19

DRAWINGS: AD-1, A-1, A-2, A-6 (ArchiveDS, 09.22.16)

IDAO Apartments	
Property Name	
•	
910 Marlborough Street, Detroit, Wayne County, Michigan	
Property Address	

ITEM 11

ARCHITECTURAL FEATURE: Fire and Life Safety

DATE OF FEATURE: New construction

EXISTING FEATURE AND CONDITION: N/A

WORK AND IMPACT ON FEATURE: Applicant will bring the property to current code. The building will have a comprehensive sprinkler system. A smoke evacuation system will be installed. A smoke detector system will be installed with horn and strobe alerts, along with pull service in the building.

PHOTOS: N/A

DRAWINGS: N/A

IDAO Apartments	
Property Name	
910 Marlborough Street, Detroit, Wayne County, Michigan Property Address	

ITEM 12

ARCHITECTURAL FEATURE: Mechanicals, Electrical, Plumbing

DATE OF FEATURE: New Construction

EXISTING FEATURE AND CONDITION: N/A

WORK AND IMPACT ON FEATURE: A new energy efficient system installed using the rear stairwell space as a mechanical room on each floor. All ducting will be concealed. Eight condensing units will be installed along the rear.

Dryer vents will be installed on the secondary elevations with one per floor on the south and north and two per floor at the east.

The water system will be inspected, repaired, and upgrade as appropriate, running lines as appropriate for the multiple users. Where feasible, reuse existing water, waste and vent piping. All existing water, waste and vent piping not be reused will be removed and/or abandoned. All discontinued live branches will be capped.

Electrical service will be upgraded as necessary to meet current building codes.

PHOTOS: N/A

DRAWINGS: M-1 - M-4, M-7 (ArchiveDS, 09.22.16)

IDAO Apartments	
Property Name	
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ITEM 13

ARCHITECTURAL FEATURE: Site and Landscaping

DATE OF FEATURE: 1927. C. 2000

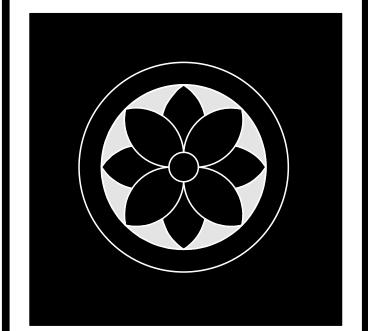
EXISTING FEATURE AND CONDITION: The IDAO Apartment Building is located on a rectangular lot, roughly 3920 square feet (approximately 68 feet north and south and 58 feet east and west. The front along Marlborough has a lawn setback of approximately 6 feet along with a narrow setback on the east, north and south. The site is fully disturbed and there are no character-defining landscape features.

WORK AND IMPACT ON FEATURE: The applicant proposes to retain and rehabilitate the existing site. The perimeter west will have a brick paver installed with a new 6 foot wrought iron fence. At the rear eight condensing units will be installed. Overgrown shrubbery will be removed. Existing lawns will be retained and reseeded. Foundation plantings will be updated. Existing broken concrete walkways will be replaced with new matching historic conditions.

PHOTOS: All Exterior

DRAWINGS: C-1 (ArchiveDS, 09.22.16)





BUILDING OWNER: SHELBORNE DEVELOPMENT 8445 E. JEFFERSON DETROIT, MI 48214 (313) 458-8243

TITLE

C-1 SITE PLAN / GEN. NOTES
GN-1 ABBREVIATIONS
AND LEGEND
GN-2 GENERAL NOTES
GN-3 GENERAL NOTES
AD-1 DEMOLITION/
EXISTING PLANS

BASEMENT AND FIRST FLOOR PLAN SECOND AND THIRD

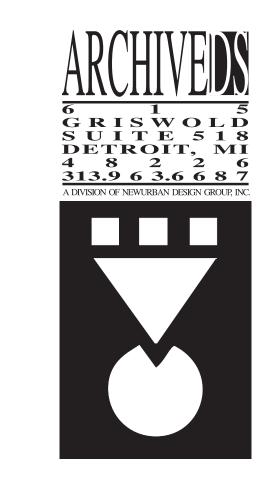
FLOOR PLAN
ELEVATIONS
SECTIONS
ENLARGED ELEVATION

-5 ENLARGED ELEVATION
-6 STAIR SECTIONS
AND DETAILS
A-7 INTERIOR ELEVATIONS
A-8 MISC. DETAILS
A-9 NEW FLOOR DETAILS
A-10 WINDOW DETAILS
A-X FURNITURTE PLANS

M-1 BASEMENT AND FIRST FLOOR PLUMBING
M-2 SECOND AND THIRD FLOOR PLUMBING
M-3 BASEMENT AND FIRST FLOOR HVAC
M-4 SECOND AND THIRD FLOOR HVAC
M-5 WATER RISERS

SANITARY RISERS MECHANICAL SPECS.

FLOOR ELECTRICAL SECOND AND THIRD FLOOR ELECTRICAL ELECTRICAL SPECS. AND RISERS



CONDITIONS OF THE CONTRACT

1) THE PURPOSE OF THE DRAWINGS IS TO INDICATE THE DESIGN INTENT OF THE PROJECT. THE OWNER PROVIDED SUB CONTRACTORS ARE RESPONSIBLE FOR THE MEANS AND METHOD OF CONSTRUCTION OUTSIDE THOSE SPECIFICALLY INDICATED IN THE DRAWINGS.

2) THE CONTRACTOR WILL NOTIFY THE OWNER AND ARCHITECT OF CONFLICTS BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS.

3) CONTRACTORS SHALL COORDINATE THE SELECTION AND INSTALLATION OF THE FINISH MATERIALS AND LIGHTING FIXTURES WITH THE OWNER AND THE ARCHITECT.

4) A PRODUCT SPECIFIED BY REFERENCE STANDARD SHALL COMPLY WITH THE REQUIREMENTS OF THE STANDARD IN EFFECT ON THE DATE OF THE BIDDING DOCUMENTS, UNLESS A DATE IS SPECIFIED WITH THE STANDARD, THEN THE EDITION OF THE STANDARD SO DATED SHALL GOVERN.

5) NO PROVISION OF ANY REFERENCE STANDARD, MANUAL, STATUTE, CODE, OR REGULATION (WHETHER OR NOT SPECIFICALLY INCORPORATED OR REFERENCED IN THE DOCUMENTS) SHALL BE EFFECTIVE TO CHANGE THE DUTIES OF THE OWNER, THE ARCHITECT, OR THE CONTRACTOR, OR ANY OF THEIR OFFICERS, EMPLOYEES, OR CONSULTANTS, NOR SHALL IT BE USED TO AUTHORIZE THE ARCHITECT OR ANY OF HIS OFFICERS, EMPLOYEES, OR CONSULTANTS TO SUPERVISE OR DIRECT THE FURNISHING OR INSTALLATION OF ANY WORK.

6) THE ROLE OF THE ARCHITECT DURING CONSTRUCTION IS AS

(1) INTERPRETING MATTERS CONCERNING REQUIREMENTS OF THE CONTRACT DOCUMENTS IN RESPONSE TO WRITTEN OR VERBAL REQUESTS FROM THE OWNER.
(2) REVIEWING AND ADVISING THE OWNER AS TO THE APPROPRIATENESS OF THE CONTRACTOR'S SUBMITTALS SUCH AS SHOP DRAWINGS, PRODUCT DATA, AND SAMPLES.

7) CONTRACTOR SHALL INSURE THE PROTECTION OF THE PERSONS AND PROPERTY INCLUDING THREAT FROM TOXIC MATERIALS OR SUBSTANCES.

8) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION, TESTING AND BALANCING OF THE HVAC AND ELECTRICAL SYSTEMS.

CLEANING OF PREMISES

-CONTRACTOR SHALL NOT ALLOW TO ACCUMULATE AND SHALL REMOVE, AT THEIR OWN EXPENSE, FROM THE PREMISES AND THE SITE, AT LEAST ONCE A WEEK. THEIR SURPLUS AND SCRAP MATERIAL, BULK WASTE AND DEBRIS, RESULTING FROM THEIR WORK AND THE WORK OF THEIR EMPLOYEES AND SUBCONTRACTORS.

-ALL SUCH DEBRIS AND WASTE THAT IS COMBUSTIBLE SHALL BE REMOVED FROM THE BUILDING AT THE END OF EACH DAY.

-GENERAL CONTRACTOR IS RESPONSIBLE FOR THE FINAL CLEAN-UP OF THE ENTIRE SITE.

-ALL GLASS IS TO BE PROFESSIONALLY CLEANED.

SCOPE OF WORK NOTES

1.CLEAN EXTERIOR OF BUILDING PER SPECIFICATIONS. (SEE SHT. A-3)

2.CLEAN COMPLETELY ALL LIMESTONE SURFACES INCLUDING RUST STAINS BY POWER WASHING WITH MASONRY CLEANER.

3.FIELD VERIFY STRUCTURAL INTEGRITY OF STEEL LINTEL OVER EXISTING EXTERIOR OPENINGS INCLUDING BUT NOT LIMITED TO WINDOWS AND DOORS. CAREFULLY REMOVE ALL STRUCTURALLY DEFORMED, FATIGUED, AND SEVERELY RUSTED STEEL LINTELS. FURNISH AND INSTALL NEW STEEL LINTEL. MATCH THICKNESS AND PROFILE OF ORIGINAL STEEL. NOTIFY ARCHITECT IMMEDIATELY OF UNACCEPTABLE CONDITIONS BEFORE PROCEEDING WITH THE WORK.

4.FIELD VERIFY ALL MASONRY OPENINGS PRIOR TO FABRICATION OF NEW WINDOWS AND DOORS.

5.REMOVE ALL EXPOSED AND/OR ABANDONED UTILITY WIRES OR CONDUIT. CAP OFF WIRES AND PROVIDE PAINTED STEEL COVER PLATE OVER ABANDONED JUNCTION BOXES.

6.SHOP PRIME AND FIELD PAINT NEW STEEL LINTELS TO MATCH ADJACENT CONSTRUCTION. PRIMING AND PAINTING OF STEEL LINTELS SHALL BE PERFORMED BEFORE INSTALLATION OF NEW WINDOW SYSTEM.

7.REMOVE DETERIORATED AND LOOSENED SEALANT FROM ALL JOINTS AND AROUND OPENINGS. CLEAN JOINTS AND RESEAL WITH BACKER ROD AND SEALANT.

8.TUCK POINT ALL MASONRY JOINTS OPENED BEFORE AND AFTER MASONRY CLEANING INCLUDING LIMESTONE UNITS AT ENTRY.

9.SCRAPE, PRIME, AND PAINT ALL EXPOSED SHEET METAL WORK.

10.CAREFULLY REMOVE EXISTING LIMESTONE UNITS OR SILLS WHERE INDICATED ON DRAWINGS. INSTALL NEW LINTEL. RE-INSTALL EXISTING LIMESTONE (USE STAINLESS STEEL OR BRONZE ANCHORS AS REQUIRED TO SECURE MASONRY TO STRUCTURE.)

11.EXISTING LINTELS THAT ARE TO REMAIN SHALL BE SANDBLASTED DOWN TO BARE METAL. PAINT USING ONE COAT OF EXTERIOR GRADE PRIMER AND TWO TOP COATS.

12.ALL SHIMS AND BLOCKING SHALL BE TREATED LUMBER. BLOCKING AT SILLS SHALL BE CONTINUOUS.

13.PROVIDE SEALANT WHERE SHOWN ON THE DRAWING AND REQUIRED BY SPECIFICATIONS, (TYPICAL @ ALL WINDOWS).

14.PAINT WITH ANTI-OXIDIZING COATING, NEW AND EXISTING DOORS AND DOOR FRAMES, GUTTERS, DOWN-SPOUTS, HAND RAILS, LOUVERED VENTS, EXHAUST FAN HOOD, ETC., COLORS SHALL BE CHOSEN BY THE OWNER AND THE ARCHITECT BASED ON MFRS SAMPLES.

CODE SUMMARY

•Relevant Codes:

Mich Building Code 2012 N.F.P.A. 13R

Building Information

Proposed Use Group: R-2
Existing Use Group: R-2
Construction Type: 3B
Building Height: 36'-8"
Allowable Sq. Footage: 16000/floor (MBC table 503)
Actual Sq. Footage: 2,155/floor
Min. Sq. Footage per Occupant: 200 sq ft
Occupant Load: 11 per floor

Parking

Required for use R-2: 1.25 spaces per unit Existing: 0 Spaces
Provided: 8 Spaces

•Egress Requirements

One exit req'd. Building is fully sprinklered (MBC 1005.2.2, table 1005.2.2)

Egress corridors must be minimum 36" in width (MBC 1004.3.2.2)

Doors to exit stairs must be self-closing (MBC 714.2.7)

Unit entry doors are to be C label (45 min. rating)

Automatic closers on all unit entry doors (MBC 714.2.7)

•Fire Rating Requirements (from MBC table 601)

Exterior walls: 2 hr (Load Bearing) 1hr (Non Loadbearing) per table 602 - Fire separation distance greater than 5'-0" Load bearing partitions: 0 hr.

Non-load bearing partitions: 0 hr.

Dwelling unit separation: 1 hr. (Blg. Fully Sprinklered) table 708.1

Fire separation of exits: 2 hr. Fire separation of shafts: 2 hr.

Mechanical room: 0 hr.

Structural members: 0 hr.

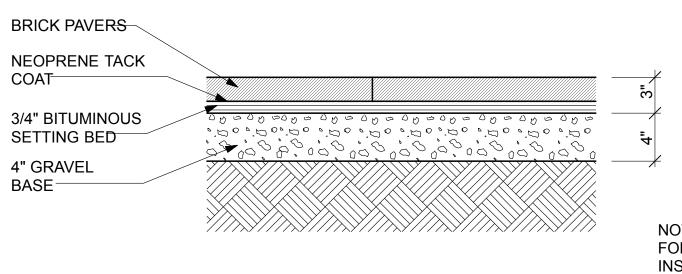
Floor construction (serves as dwelling unit separation): 1/2 hr. (Blg. fully Sprinklered)

Roof construction: 0 hr.

JEFFERSON BOROUGH EXISTING BLDG. EXISTING ALLEY (12 FT. WIDE) 42'-0" 6' WROUGHT IRON **EXISTING FENCE** 3-STORY (AMERISTAR OR **BRICK** EXISTIN EQUAL) BLDG. GRAVEL CONCRETE **PARKING** ∠LOT, 8 SPACES 2' WIDE BRICK PAVER **BORDER** EXISTING ALLEY FT WIDE)

910 MARLBOROUGH

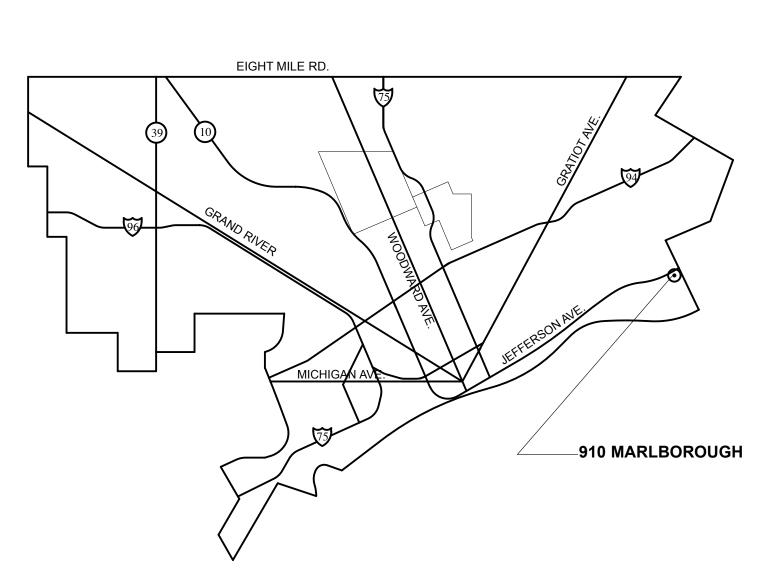




NOTE: SEE SPECS FOR ADDITIONAL INSTALLATION REQUIREMENTS

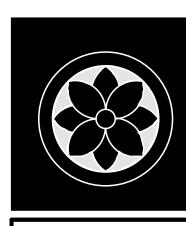
BRICK PAVER SECTION

SCALE: 1 1/2" = 1'-0"









3H APARTMENTS

MARLBOROU

910 Marlborough Street
Detroit, Michigan
SHELBORNE DEVEI

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Site Plan,

General Notes

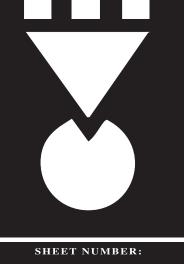
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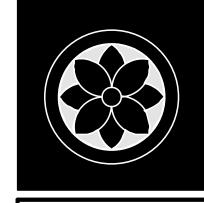
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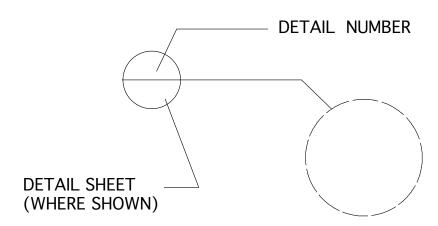


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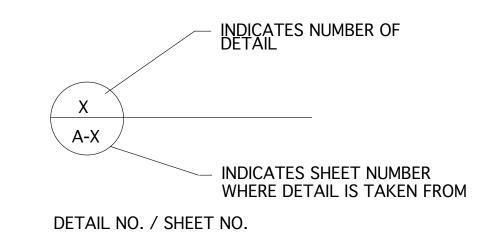


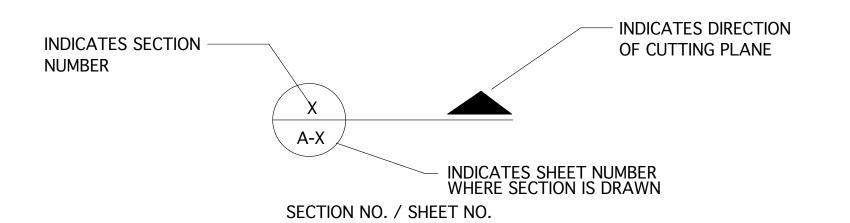
ARCHITECTURAL GRAPHIC SYMBOLS

71110		STIME CHINII THE STIME
SYMB	OL	DESCRIPTION
10	0	ROOM NUMBER
22	2	DOOR NUMBER
(22	2	WINDOW NUMBER
10		EQUIPMENT NUMBER
-		FLOOR ELEVATION OR WORK POINT REFERENCE
A	-X	ELEVATION/SECTION



PLAN / DETAILS.





ABREVIATIONS

ACP ADJ AFF ARCH BF BLKG BRD BOT	ACOUSTICAL PANEL ADJUSTABLE ABOVE FINISH FLOOR ARCHITECTURAL BARRIER FREE BLOCKING BOARD BOTTOM	F FD FLUOR FT FTG FRM FUR FIN FIN FL	FIRE EXTINGUISHER FLOOR DRAIN FLUORESCENT FEET FOOTING FRAME FURRING FINISH FINISHED FLOOR	MO MATL MAX MECH MTL MIN MISC MTR MTD MULL	MASONRY OPENING MATERIAL MAXIMUM MECHANICAL METAL MINIMUM MISCELLANEOUS MORTAR MOUNTED MULLION	SECT SHT SIM SPEC SQ SQ FT STD STL	SECTION SHEET SIMILAR SPECIFICATION SQUARE SQUARE SQUARE FOOT STANDARD STEEL
CPT CLG CLG DIFF CLG HGT CEM CTR CLR CONC CONSTR CONSTR CONT C.J. CW CMU CT	CARPET CEILING CEILING DIFFUSER CEILING HEIGHT CEMENT CENTER CLEAR OR CLEARANCE CONCRETE CONSTRUCTION CONTINUOUS CONTROL JOINT COLD (POTABLE) WATER CONCRETE MASONRY UNIT CERAMIC TILE	GA GALV GL GR GWB HAZ HDW HGT HVAC HM HW	GAUGE GALVANIZED GLASS GRADE GYPSUM WALLBOARD HAZARD HARDWARE HEIGHT HEATING, VENTILATING, & AIR CONDITIONING HOLLOW METAL HOT WATER	NOM NIC NTS NO NRC	NOMINAL NOT IN CONTRACT NOT TO SCALE NUMBER NOISE REDUCTION COEFFICIENT OFFICE OPENING	SAN STOR SUR SUSP SATC TA T GL THRES T&G TYP THK	SANITARY DRAIN STORAGE SURFACE SUSPENDED SUSPENDED ACOUSTICAL TOILET ACCESSORIES TEMPERED GLASS THRESHOLD TONGUE & GROOVE TYPICAL THICK(NESS)
DF DIA DIM DR	DRINKING FOUNTAIN DIAMETER DIMENSION DOOR	IN ID INSUL INT.	INCHES INSIDE DIAMETER INSULATION INTERIOR	OD OA O.C	OUTSIDE DIAMETER OVERALL ON CENTER	UR U.N.O.	URINAL UNLESS NOTED OTHERWISE
DN DWG D.W.	DÓWN DRAWING DISH WASHER	JT KD	JOINT KILN DRIED	PTD PNL PTN PWD PT	PAINTED PANEL PARTITION PLYWOOD PRESSURE TREAT	V VERT VCT VB	VENT VERTICAL VINYL COMPOSITION TILE VINYL BASE
EA EHW EL EQ EXH EXIST EXPAN EXP EXT EIS	EACH ELECTRIC WALL HEATER ELEVATION EQUAL EXHAUST EXISTING EXPANSION EXPOSED EXTERIOR EXTERIOR	LAM LG LVR LAV	LAMINATED LENGTH LOUVER LAVATORY	QT RD REC REF REQD REV R RFG RM RO	QUARRY TILE ROOF DRAIN RECESSED REFERENCE REQUIRED REVISION RISER ROOFING ROOM ROUGH OPENING	W/ W/O WD WC WP WPMBR WB	WITH WITHOUT WOOD WATER CLOSET WATERPROOFING WATERPROOF MEMBRANE WOOD BASE

MATERIAL LEGEND

	EARTH	PLYWOOD
	CONCRETE	BLANKET INSULATION
	ACOUSTICAL CEILING TILE	RIGID INSULATIO
	QUARRY TILE	KIGID INSOLATIK
	GYPSUM BOARD PARTITION	SHIM
	CONCRETE MASONRY UNITS (C.M.U.)	ROUGH WOOD: CONTINUOUS
	FACE BRICK	FINISHED WOOD

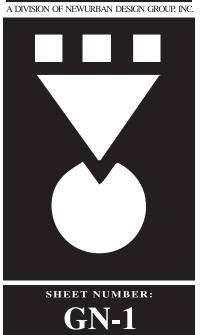


Abbreviations and

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FINISHED WOOD





GENERAL PROJECT SPECIFICATIONS

CONCRETE PAVERS:

3. HASTINGS PAVEMENT CO., INC.

1. LICENSEE OF UNI-GROUP U.S.A THAT MARKETS UNIT PAVERS IN PROJECT LOCATION. 2. HANNOVER ARCHITECTURAL PRODUCTS, INC.

ALUMINUM EDGE RESTRAINTS:

1. BRICKSTOP CORPORATION

2. PERMALOC CORPORATION.

LATEX-PORTLAND CEMENT MORTARS AND GROUTS:

1. AMERICAN OLEAN TILE CO.

4. CUSTOM BUILDING PRODUCTS.

BOIARDI PRODUCTS CORP. BOSTIK.

CAST-IN-PLACE CONCRETE:

1. COMPLY WITH PROVISIONS OF THE FOLLOWING CODES, UNLESS SPECIFIED OTHERWISE ON THE DRAWINGS:

- A. AMERICAN CONCRETE INSTITUTE (ACIO 301, "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS."
- B. ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE." C. CONCRETE REINFORCING STEEL INSTITUTE (CRSI), "MANUAL OF STANDARD PRACTICE".

A. REINFORCING BARS, DOWELS, AND TIES: ASTM A 615, GRADE 60, DEFORMED. FABRICATED AND PLACED ACCORDING TO ACI 315. REINFORCING STEEL SHALL BE CONTINUOUS AND HAVE A MINIMUM 36 BAR DIAMETER LAP.

B. WELDED WIRE FABRIC: ASTM A 185. C. SUPPORTS FOR REINFORCING: BOLSTERS, CHAIRS, SPACERS, AND OTHER DEVICES

FOR SPACING, SUPPORTING, AND FASTENING REINFORCING BARS AND WELDED WIRE FABRIC IN PLACE. USE WIRE BAR-TYPE SUPPORTS COMPLYING WITH

3. CONCRETE MATERIALS: CONCRETE STRENGTH TO BE 3000 PSI AT 28 DAYS, UNLESS NOTED OTHERWISE. CONCRETE FOR PORCHES EXTERIOR SLABS, GARAGE FLOORS, ETC., SHALL BE 3500 PSI MINIMUM. MATERIAL TYPES SHALL BE AS FOLLOWS: A. PORTLAND CEMENT: ASTM C 618, TYPE I. USE ONE BRAND OF CEMENT THROUGHOUT

PROJECT UNLESS OTHERWISE ACCEPTABLE TO THE ARCHITECT. B. FLY ASH: ASTM C 618, TYPE F. C. NORMAL WEIGHT AGGREGATES: ASTM 33. PROVIDE AGGREGATES FROM A SINGLE

SOURCE FOR EXPOSED CONCRETE. D. WATER: POTABLE.

1. COMPLY WITH ACI 530/ASCE 5 AND ACI 530.1/ASCE 6.

2. MASONRY LAID IN OUTSIDE TEMPERATURES BELOW 40 DEGREES F SHALL BE PROTECTED IN ACCORDANCE WITH THE PROVISIONS OF ACI 530/ASCE 5. FROZEN MATERIAL SHALL NOT BE 3. MISCELLANEOUS ACCESSORIES:

A. REINFORCING BARS: DEFORMED STEEL, ASTM A 615, GRADE 60 FOR BARS NO. 3 TO NO. 18.

B. CONTROL JOINT STRIPS: PREMOLDED, FLEXIBLE CELLULAR NEOPRENE RUBBER

FILLER STRIPS COMPLYING WITH ASTM D 1056, GRADE RE41E1 CAPABLE OF COMPRESSION UP TO 35% OF WIDTH AND THICKNESS INDICATED. C. BOND BREAKER STRIPS: ASPHALT SATURATED ORGANIC ROOFING FELT COMPLYING

WITH ASTM D 226, TYPE (NO. 15 ASPHALT FELT). D. AT BRICK MASONRY PROVIDE WEEPHOLES AT 24" O.C.

E. COMPRESSIBLE JOINT FILLERS: CLOSED CELL NEOPRENE CONFORMING TO ASTM D 1056, GRADE SCE-42.

4. PROVIDE MASONRY CLEANER "SURE KLEAN" NO. 600 DETERGENT BY PROSOCO, INC.

1. THE DESIGN, CONFIGURATION AND ERECTION SAFETY OF ALL STRUCTURAL STEEL CONNEC-TIONS SHALL BE THE RESPONSIBILITY OF THE STEEL FABRICATOR. APPROVAL OF SHOP DRAW-INGS BY THE ENGINEER/ARCHITECT SHALL CONSTITUTE LOAD CARRYING CAPACITY ONLY.

A. LOCATED WHERE INDICATED AND NOT PART OF STRUCTURAL DRAWINGS.

1. OPENINGS UP TO 4'-0" - ONE ANGLE 3-1/2" X 3 1/2" X 5/16" FOR EACH 4" WIDTH 2. OPENINGS 4'-0" TO 7'-0" - ONE ANGLE 5" X 3 1/2" X 5/16" FOR EACH 4" WIDTH OF

3. OPENINGS 7'-0" TO 10'-0" - ONE BEAM W8X10 PLUS 5/16" PLATE 1/2 NARROWER THAN UP TO 12" THICK WALL

4. OPENINGS 10'-0" TO 12'-0" - ONE BEAM W8X18 PLUS 5/16" PLATE 1/2 NARROWER THAN UP TO 12" THICK WALL.

3. IF LOCATED IN EXTERIOR WALL, USE GALVANIZED STEEL. 4. IF LOCATED INBUILDING INTERIOR, USE A PRIMER FINISH.

3. PROVIDE TEMPORARY BRACING AS REQUIRED TO INSURE THE STABILITY OF THE STRUCTURE UNTIL PERMANENT FRAMING IS IN PLACE.

ROUGH CARPENTRY

1. ALL ROUGH WOOD FRAMING TO BE IN ACCORDANCE WITH THE AMERICAN WOOD COUNCIL

"MANUAL FOR WOOD FRAME CONSTRUCTION". 2. PROTECT ALL LUMBER FROM THE ELEMENTS AND STORE OFF GROUND.

3. FURNISH PLYWOOD PANELS FACTORY MARKED WITH APA TRADEMARKS EVIDENCING COMPLI-ANCE WITH GRADE REQUIREMENTS.

4. PLYWOOD AND ORIENTED STRAND BOARD SHALL BE FASTENED IN ACCORDANCE WITH APA

5. PRESSURE TREAT INDICATED ITEMS ON THE DRAWINGS AND THE FOLLOWING ITEMS: A. WOOD CANTS, NAILERS, CURBS, EQUIPMENT SUPPORT BASES, BLOCKING, STRIPPING

AND SIMILAR MEMBERS IN CONNECTION WITH ROOFING, FLASHING, VAPOR BARRIERS, AND WATERPROOFING.

B. WOOD SILLS, SLEEPERS, BLOCKING, FURRING, STRIPPING, AND SIMILAR CONCEALED

MEMBERS IN CONTACT WITH MASONRY OR CONCRETE. 6. PROVIDE MOISTURE RESISTANT SILL SEALER BETWEEN SILL PLATE AND FOUNDATION WALL. 7. PROVIDE FRAMING OF SIZES AND ON SPACINGS SHOWN PER SEALED SHOP DRAWINGS, AND FRAME OPENINGS AS SHOWN, OR IF NOT SHOWN,

COMPLY WITH RECOMMENDATIONS OF "MANUAL FOR HOUSE FRAMING" OF THE NATIONAL FOREST PRODUCTS ASSOCIATION.

FINISH CARPENTRY AND MILLWORK

1. COMPLY WITH STANDARDS OF THE AMERICAN WOODWORKING INSTITUTE 2. PROTECT MILLWORK AND FINISHED WOODWORK FROM DAMAGE AND DAMPNESS DURING STORAGE, DELIVERY, AND AFTER INSTALLATION. DO NOT BRING MILLWORK INTO THE BUILDING UNTIL IT IS SUFFICIENTLY DRY AS DETERMINED BY THE ARCHITECT.

3. WHERE WOODWORK IS INDICATED TO BE FITTED INTO OTHER CONSTRUCTION, CHECK ACTU-AL DIMENSIONS OF OTHER CONSTRUCTION BY ACCURATE FIELD MEASUREMENTS BEFORE MANUFACTURING WOODWORK; SHOW RECORDED MEASUREMENTS ON FINAL SHOP

4. USE DOUGLAS FIR IN ACCORDANCE WITH PS20- "SOFTWOOD LUMBER STANDARD". USE 3-PLY PARTICLE BOARD FOR CORE STOCK. 5. PROVIDE WATERPROOF GLUE, CONTACT ADHESIVE FOR WOOD BASE, TRIM, AND SIMILAR

MATERIALS (3M SCOTCH GRIP OR EQUAL) 6. FOR MILLWORK REFER TO DEFINITIONS IN AWI SECTION 400 PREMIUM GRADE.

BUILDING INSULATION 1. PROVIDE RIGID INSULATION UNDER SLABS ON GRADE AND BLANKET-TYPE BUILDING INSULATION.

2. ACCEPTABLE MANUFACTURERS: A. EXTRUDED POLYSTYRENE BOARD INSULATION:

1.AMOCO FOAM PRODUCTS CO. 2. DOW CHEMICAL U.S.A.

3. MINNESOTA DIVERSIFIED PRODUCTS, INC. 4. UC INDUSTRIES.

B. GLASS FIBER INSULATION: 1. CERTAINTEED CORP.

2. KNAUF FIBER GLASS GMBH.

3. MANVILLE CORP.

4. OWENS CORNING FIBERGLASS CORP. 3. POLYETHYLENE VAPOR RETARDER: 6-MIL POLYETHYLENE FILM, WITH LABORATORY-TESTED VAPOR TRANSMISSION RATING OF 0.2 PERMS, NATURAL COLOR, FOR AREAS WHERE FOIL FACE

FLASHING AND SHEET METAL

1. SHEET ALUMINUM: ASTM B 209, ALLOY 3003, TEMPER H14, CLEAR ANODIZED FINISH, 20 GA. UNLESS NOTED OTHERWISE. 2. FOR FABRICATION COMPLY WITH DETAILS SHOWN AND WITH APPLICABLE REQUIREMENTS OF

SMACNA "ARCHITECTURAL SHEET METAL MANUAL" AND OTHER RECOGNIZED INDUSTRY PRAC-TICES. FORM EXPOSED SHEET METAL WORK WITHOUT EXCESSIVE OILCANNING, BUCKLING, AND TOOL MARKS, TRUE TO LINE AND LEVELS INDICATED, WITH EXPOSED EDGES FOLDED BACK TO

3. ACCESSORIES: PROVIDE FASTENER, BITUMINOUS COATINGS, MASTIC SEALANT, ELASTOMERIC SEALANT, EPOXY SEAM SEALER, ADHESIVES, BUILDING PAPER, AND ROOFING CEMENT AS REC-OMMENDED BY SHEET METAL FABRICATOR OR ACCEPTED INDUSTRY PRACTICE.

JOINT SEALERS

FOR ARCHITECT'S SELECTION. 2. WHERE CAULKING IS NOTED SEALANT SHALL BE USED.

1. SUBMIT SAMPLES OF COLOR CHARTS OF STOCK AND STANDARD COLORS FOR EACH SEALANT

3. THE FOLLOWING MANUFACTURERS SHALL BE RECOMMENDED FOR SEALANTS (OR INDUSTRY STANDARD EQUAL GUARANTEED BY CONTRACTOR).

A. GLAZING SEALANT: DOW CORNING SILICONE RUBBER SEALANT. B. CONSTRUCTION SEALANT (EXTERIOR): POLYURETHENE TYPE M. C. ACRYLIC LATEX SEALANT: BY TREMCO.

E. ON-GRADE JOINT SEALANT: WILLIAMS PRODUCTS "DYNASEAL W-814". F. FILLER: ETHAFOAM SB BACKER ROD BY DOW CHEMICAL COMPANY. 4. USE EXTERIOR CONSTRUCTION SEALANT AT ABOVE GRADE EXTERIOR JOINTS. USE SAME

SAME SEALANT AT INTERIOR SIDE OF JOINT IF MATERIAL IS SAME THROUGH WALL. 5. USE INTERIOR LATEX ACRYLIC SEALANT AT ALL OTHER ABOVE GRADE INTERIOR JOINTS 6. USE PAVING SEALANT AT ALL SEALED JOINTS ON TRAFFIC BEARING SURFACES AND AT GRADE.

D. ACOUSTICAL SEALANT: BY TREMCO.

1. ACCEPTABLE MANUFACTURERS: (OR OWNER APPROVED EQUAL) A. GRAHAM MANUFACTURING CORP.

B. MOHAWK FLUSH DOORS, INC. C. WEYERHAUSER CO.

2. DOOR TYPES FACES: SELECTED BY OWNER

GRADE: SELECTED BY OWNER

CONSTRUCTION: SELECTED BY OWNER CORE: PARTICLEBOARD CORE. 3. INSTALL FIRE RATED DOORS PER NFPA 80.

WOOD WINDOWS

1. THE DRAWINGS INDICATE WINDOW SIZES, SHAPES, PROFILES, DIMENSIONAL REQUIREMENTS AND WHETHER FIXED OR OPERABLE FUNCTION.

2. CHECK ACTUAL FIELD DIMENSIONS PRIOR TO FABRICATION. 3. SUBMIT WRITTEN WARRANTY, EXECUTED BY WINDOW MANUFACTURER, AGREEING TO REPAIR OR REPLACE UNITS THAT FAIL IN MATERIALS OR WORKMANSHIP WITHIN THE SPECIFIED WAR-RANTY PERIOD. WARRANTY PERIOD: 3 YEARS AFTER SUBSTANTIAL COMPLETION. 4. .MANUFACTURERS:

B. ANDERSEN

5. PROVIDE MANUFACTURER'S STANDARD FABRICATION OF UNITS. GLAZING TO BE 3/4" INSULAT-ING GLASS. TEMPERED WHERE INDICATED ON DRAWINGS.

6. WINDOWS TO BE EXTERIOR TRIMMED WITH WOODTRIM ACCESSORIES. 7. PROVIDE SHOP DRAWINGS SHOWING THE FOLLOWING: A. LAYOUT AND INSTALLATION DETAILS, INCLUDING ANCHORS.

B. TYPICAL WINDOW UNIT ELEVATIONS AT 3/4" SCALE. C. FULL SIZE DETAILS OF TYPICAL AND COMPOSITE MEMBERS. D. GLAZING DETAILS.

E. ACCESSORIES, JOINT SEALERS.

FINISH HARDWARE

THIS SECTION INCLUDES ITEMS OF FINISH HARDWARE THAT ARE REQUIRED FOR SWING, SLIDING, AND FOLDING DOORS, EXCEPT HARDWARE SPECIFIED IN THE SAME SECTIONS AS THE DOORS AND DOOR FRAMES ON WHICH IT IS INSTALLED.

FURNISH EACH CATEGORY WITH THE PRODUCTS OF ONLY ONE MANUFACTURER, UNLESS SPECIFIED OTHERWISE: THIS REQUIREMENT IS MANDATORY WHETHER VARIOUS MANUFACTUR-ERS ARE SPECIFIED OR NOT.

FURNISH CLASS BB 1279 AND SIZE 4-1/2 X 4-1/2 INCHES, UNLESS SPECIFIED OTHERWISE. NUMBERS SPECIFIED ARE HAGER.

.01 HAGER .02 MCKINNEY

.03 STANLEY .04 PBB (PRECISION BUILT BUTTS)

B. LOCKSETS AND LATCHSETS: 1. FUNCTION NUMBERS ARE SARGENT. FURNISH SOLID LATCH BOLTS WHEN USED WITH ELECTRIC STRIKES. AT LEAD LINED DOORS, SUPPLY LEAD WRAPPED CASES.

3252

C. CLOSERS: LCN - .01 SURFACE: SERIES 1.

> .01 FURNISH WITH PICTORIAL INSTALLATION INSTRUCTIONS ILLUSTRATING DOWNWARD SLOPE OF DIAGONAL SIDE. .01 DOOR CONTROLS

.02 GLYNN JOHNSON WB33 E. FLOOR STOPS:

BHMA L02141, HALF DOME. FURNISH HEIGHT TO SUIT UNDERCUT. F. FOLDING DOOR SET: LAWRENCE EXTRA DUTY SERIES.

G. BOTTOM SEALS: 802S .01 HAGER .02 NATION GUARD C607A .03 PEMKO 18062 .04 REESE 964

H. WEATHERSTRIPPING APPLY TO HEAD AND JAMB STOPS WITH NO CUTOUTS FOR STOP- APPLIED

HARDWARE. .01 HAGER .02 NATIONAL GUARD 700N 290S .03 PEMKO

.04 REESE I. THRESHOLDS: A. NUMBERS SPECIFIED ARE NATIONAL GUARD. PRODUCTS FROM OTHER MANUFACTURERS ARE ACCEPTABLE IF EQUAL IN MATERIAL, SHAPE,

THICKNESS, AND CONTAIN EQUAL BUMPER GASKETS AND FOOT SEALS. J. CYLINDERS AND KEYING: ALL HARDWARE COMPONENTS CAPABLE OF BEING LOCKED SHALL BE PROVIDED WITH A CYLINDER AS LISTED BELOW. SUPPLY CYLINDERS WITH STANDARD CORES FOR USE DURING THE CONSTRUCTION PERIOD. WHEN SO DIRECTED, AND IN THE PRESENCE OF THE OWNER'S SECURITY DEPARTMENT OR REPRESENTATIVE, CONVERT

CONSTRUCTION CORES TO FINAL CORES. K. FASTENER: FURNISH FASTENER OF THE PROPER TYPE, SIZE, QUANTITY, AND FINISH. USE MACHINE SCREWS AND EXPANSION SHIELDS FOR ATTACHING HARDWARE

TO CONCRETE OR MASONRY, AND WALL GRIP INSERTS AT HOLLOW WALL CONSTRUCTION. ATTACH CLOSERS WITH WOOD OR MACHINE SCREWS. SUPPLY HEX BOLTS FOR CLOSERS AT LEAD-LINED OR UL LISTED WOOD DOORS ONLY.

.01 SATIN CHROME, US26D

3. INSTALLATION: A. GENERAL

INSTALL HARDWARE ACCORDING TO MANUFACTURERS' PRINTED INSTRUCTIONS AND TEMPLATE DIMENSIONS. REFER TO CYLINDERS AND KEYING REGARDING REPLACEMENT OF CONSTRUCTION CORES WITH FINAL CORES. B. FURNISH HARDWARE MADE TO TEMPLATE. SUPPLY REQUIRED TEMPLATES AND HARDWARE LOCATIONS TO THE DOOR AND FRAME MANUFACTURERS.

GYPSUM WALLBOARD / FLOOR TOPPING SYSTEM (IF REQUIRED)

A. EXTENT OF EACH TYPE OF GYPSUM DRYWALL CONSTRUCTION REQUIRED IS INDICATED ON DRAWINGS: THIS SECTION INCLUDES THE FOLLOWING TYPES OF GYPSUM BOARD AND PRODUCT RELATED CONSTRUCTION:

.01 GYPSUM BOARD NAIL-ATTACHED OR SCREW-ATTACHED TO WOOD FRAMING

AND STEEL FURRING MEMBERS. .02 GYPSUM BOARD BONDED ADHESIVELY TO WOOD FRAMING AND STEEL FURRING MEMBERS

.03 GYPSUM BOARD BONDED ADHESIVELY TO INTERIOR CONCRETE AND

MASONRY SUBSTRATES. .04 GYPSUM MIXED FLOOR TOPPING SYSTEMS. B. IN ORDER TO BE ACCEPTABLE, THE APPEARANCE OF ALL EXPOSED WALLBOARD

PLASTER SURFACES. C. COMPLY WITH PROVISIONS AND RECOMMENDATIONS OF THE FOLLOWING EXCEPT WHERE OTHERWISE SPECIFIED:

.01 ASTM- AMERICAN SOCIETY FOR TESTING AND MATERIALS:

SURFACES IN FINISHED LOCATIONS, AFTER PAINTING, SHALL BE EQUIVALENT, IN THE

JUDGEMENT OF THE ARCHITECT, TO THE APPEARANCE OF PAINTED PUTTY COAT

.02 UNITED STATES GYPSUM COMPANY - "GYPSUM CONSTRUCTION HANDBOOK" (CURRENT EDITION)

D. FIRE - RESISTANCE RATINGS: WHERE INDICATED, PROVIDE MATERIALS AND CONSTRUCTION WHICH ARE IDENTICAL TO THOSE OF ASSEMBLIES WHOSE FIRE RESISTANCE RATING HAS BEEN DETERMINED PER ASTM E 119 BY A TESTING AND INSPECTING ORGANIZATION ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.

.01 PROVIDE FIRE RESISTANCE-RATED ASSEMBLIES, IDENTICAL TO THOSE INDICATED BY REFERENCE TO GA FILE NOS. IN GA-600 "FIRE RESISTANCE DESIGN MANUAL" OR TO DESIGN DESIGNATIONS IN UL "FIRE RESISTANCE DIRECTORY" OR IN LISTING OF OTHER TESTING AND AGENCIES ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.

E. GYPSUM WALLBOARD MATERIALS:

.01 GYPSUM WALLBOARD: STANDARD 1/2 AND 5/8 INCH THICK, TAPERED EDGE GYPSUM BOARD; 48 INCHES WIDE BY FULL WALL HEIGHT; RATED, FIRE

.02 JOINTING MATERIALS: ASTM C475; TAPE, EMBEDDING CEMENT, TOPPING

.03 LAMINATING ADHESIVE: SPECIAL ADHESIVE AS MANUFACTURED BY GYPSUM WALLBOARD MANUFACTURER FOR CEMENTING SECOND LAYER OF WALLBOARD TO FIRST LAYER OF COREBOARD.

.04 FASTNERS: SELF-TAPPING DRYWALL SCREWS, TYPE AND LENGTH AS RECOMMENDED BY MANUFACTURER OF METAL STUDS; POWER DRIVEN; GALVANIZED OR CADMIUM PLATED FOR SHEATHING AND AT

.05 ACOUSTICAL SEALANT: TREMCO "ACOUSTIC SEALANT."

.06 SOUND INSULATION SHALL BE U.S. GYPSUM "THERMAFIBER SOUND ATTENUATION BLANKETS" (3.0 POUNDS PER CUBIC FOOT). THICKNESS SHALL BE THREE INCHES UNLESS INDICATED OTHERWISE ON THE

.07 RESILIENT D.W. CHANNEL: U.S. GYPSUM RC-1.

.08 CORNER BEAD: GALVANIZED U.S. GYPSUM NO. 103 DUR-A-BEAD.

.09 CASTING BEAD: NATIONAL GYPSUM CO. NO. 200 OR USG NO. 200-B. .10 OTHER COMPONENTS: AS SPECIFIED FOR "LATHING ACCESSORIES".

.11 FURRING:

.12 FOR 18-GAGE AND LIGHTER UNITS, FABRICATE METAL FRAMING COMPONENTS OF COMMERCIAL QUALITY STEEL SHEET WITH MINIMUM YIELD POINT OF 33,000 PSI; ASTM A 446, A 570, OR A 611 REROLL OR ELECTRO GALVANIZED STEEL WILL NOT BE PERMITTED.

.13 JAMB STRUTS, FURRING, CHANNELS, HAT CHANNELS: 22 GAUGE.

F. FINISH ALL WORK TRUE AND EVEN WITHOUT WAVES, CRACKS AND IMPERFECTIONS.

G. PROVIDE CLOSED CELL NEOPRENE SPONGE TYPE GASKET AT INTERSECTION WITH EXTERIOR PANELS OR WALLS OF DISSIMILAR MATERIAL OR FINISH.

H. HOLD FINISH WALLBOARD FREE FROM ALL SURFACES SUBJECT TO CONDENSATION

I. PROVIDE WALLBOARD BULKHEADS AND CLOSURES WHERE DUCTS PENETRATE FIRE J. DO NOT PROCEED WITH WORK UNTIL TEMPERATURE AND HUMIDITY OF BUILDING MEET

REQUIREMENTS OF MANUFACTURER'S STANDARD SPECIFICATIONS. K. SET SHEETS WITH LONG DIMENSION VERTICAL (UNLESS OTHERWISE REQUIRED BY U.L. FOR FIRE WALL CONSTRUCTION); DO NOT JAMB EDGES TIGHTLY AGAINST STRUCTURAL RESTRAINTS. STAGGER JOINTS SO THAT THEY DO NOT OCCUR ON THE SAME STUD BOTH SIDES OF PARTITION.

L. FASTENING SYSTEM SHALL BE POWER DRIVEN DRYWALL SCREWS. WHERE HAND DRIVEN FASTNERS ARE USED, DOUBLE NAILING WILL BE REQUIRED.

M. SET ALL NAILS AND SCREWS TO SLIGHTLY DIMPLE, BUT NOT BREAK SURFACE OF BOARD. SPACE NAILS 6 TO 8 INCHES, 3/8 INCH FROM EDGES, STAGGERED AT JOINTS; DOUBLE SPACING FOR SCREWS.

N. AT ISOLATION PARTITIONS AND ENCLOSURES FIT TIGHT, SEAL JOINTS WITH

LOCATION OF JOINTS OR FASTENERS MAY BE.

ACOUSTICAL SEALANT TO ACCOMPLISH ACOUSTICAL RATING. O. FINISHED APPEARANCE SHALL BE PERFECTLY SMOOTH SO THAT, AFTER PAINTING, THERE SHALL BE NO EVIDENCE OF TAPING OR PATCHING AREAS WHERE THE

STEEL STUDS

1. MANUFACTURERS A. AVAILABLE MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, MANUFACTURERS OFFERING PRODUCTS THAT MAY BE INCORPORATED INTO

THE WORK INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING: 1 STEEL FRAMING AND FURRING A. CLARK STEEL FARMING SYSTEMS B. CONSOLIDATED SYSTEMS, INC. C. DALE INDUSTRIES, INC.- DALE/INCOR. D. DIETRICH INDUSTRIES, INC. E. MARINOWARE; DIVISION OF WARE IND.

F. NATIONAL GYPSUM COMPANY G. SCAFCO CORPORATION

H. UNIMAST, INC. I. WESTERN METAL LATH & STEEL FRAMING SYSTEMS

INDICATED.

2. INSTALLING STEEL PARTITION AND SOFFIT FRAMING A. INSTALL TRACKS (RUNNERS) AT FLOORS, CEILINGS, AND STRUCTURAL WALLS AND COLUMNS WHERE GYPSUM BOARD ASSEMBLIES ABUT OTHER CONSTRUCTION.

01. WHERE STUDS ARE INSTALLED DIRECTLY AGAINST EXTERIOR WALLS,

INSTALL FOAM-GASKET ISOLATION STRIP BETWEEN STUDS AND WALL. B. INSTALLATION TOLERANCE: INSTALL EACH STEEL FRAMING AND FURRING MEMBER SO FASTENING SURFACES VARY NOT MORE THAN 1/8 INCH (3 MM) FROM THE PLANE FORMED BY THE FACES OF ADJACENT FRAMING. C. EXTEND PARTITION FRAMING FULL HEIGHT TO STRUCTURAL SUPPORTS OR SUBSTRATES ABOVE SUSPENDED CEILINGS, EXCEPT WHERE PARTITIONS ARE

INDICATED TO TERMINATE AT SUSPENDED CEILINGS. CONTINUE FRAMING OVER FRAMES FOR DOORS AND OPENINGS AND FRAME AROUND DUCTS PENETRATING PARTITIONS ABOVE CEILING TO PROVIDE SUPPORT FOR GYPSUM BOARD. 1. CUT STUDS 1/2 INCH (13 MM) SHORT OF FULL HEIGHT TO PROVIDE PERIMETER

2. FOR FIRE-RESISTANCE-RATED PARTITIONS THAT EXTEND TO THE UNDERSIDE OF FLOOR/ROOF SLABS AND DECKS OR OTHER CONTINUOUS SOLID-STRUCTURE SURFACES TO OBTAIN RATINGS, INSTALL FRAMING AROUND STRUCTURAL AND OTHER MEMBERS EXTENDING BELLOW FLOOR/ROOF SLABS AND DECKS, AS NEEDED TO SUPPORT GYPSUM BOARD CLOSURES AND TO MAKE PARTITIONS CONTINUOUS FROM FLOOR TO UNDERSIDE OF SOLID STRUCTURE.

A.. TERMINATE PARTITION FRAMING AT SUSPENDED CEILINGS WHERE INDICATED. D. INSTALL STEEL STUDS AND FURRING AT THE FOLLOWING SPACINGS: 1. SINGLE-LAYER CONSTRUCTION: 16 INCHES O.C., UNLESS OTHERWISE

2. MULTILAYER CONSTRUCTION: 16 INCHES O.C., UNLESS OTHERWISE INDICATED. 3. CEMENTITIOUS BACKER UNITS: 16 INCHES O.C., UNLESS OTHERWISE

E. INSTALL STEEL STUDS SO FLANGES POINT IN THE SAME DIRECTION AND LEADING EDGE OR END OF EACH PANEL CAN BE ATTACHED TO OPEN (UNSUPPORTED) EDGES OF STUD FLANGES FIRST. F. FRAME DOOR OPENINGS TO COMPLY WITH GA-600 AND WITH GYPSUM BOARD MANUFACTURER'S APPLICABLE WRITTEN RECOMMENDATIONS, UNLESS OTHERWISE INDICATED. SCREW VERTICAL STUDS AT JAMBS TO JAMB ANCHOR

STUDS) AT HEAD AND SECURE TO JAMB STUDS. 1. INSTALL TWO STUDS AT EACH JAMB, UNLESS OTHERWISE INDICATED. 2. INSTALL CRIPPLE STUDS AT HEAD ADJACENT TO EACH JAMB STUD, WITH A MINIMUM 1/2 INCH (13 MM) CLEARANCE FROM JAMB STUD TO ALLOW FOR INSTALLATION OF CONTROL JOINT.

CLIPS ON DOOR FRAMES; INSTALL RUNNER TRACK SECTION (FOR CRIPPLE

3. EXTEND JAMB STUDS THROUGH SUSPENDED CEILINGS AND ATTACH TO UNDERSIDE OF FLOOR OR ROOF STRUCTURE ABOVE. G. FRAME OPENINGS OTHER THAN DOOR OPENINGS THE SAME AS REQUIRED FOR DOOR OPENINGS, UNLESS OTHERWISE INDICATED. INSTALL FRAMING BELOW SILLS OF OPENINGS TO MATCH FRAMING REQUIRED ABOVE DOOR HEADS.

H. Z-FURRING MEMBERS:

1. ERECT INSULATION VERTICALLY AND HOLD IN PLACE WITH Z-FURRING MEMBERS SPACED 24 INCHES O.C. 2. EXCEPT AT EXTERIOR CORNERS, SECURELY ATTACH NARROW FLANGES OF

FURRING MEMBERS TO WALL WITH CONCRETE STUB NAILS, SCREWS DESIGNED FOR MASONRY ATTACHMENT, OR POWER-DRIVEN FASTNERS SPACED 24 INCHES (600 MM) O.C. 3. AT EXTERIOR CORNERS, ATTACH WIDE FLANGE OF FURRING MEMBERS TO WALL WITH SHORT FLANGE EXTENDING BEYOND CORNER; ON

ADJACENT WALL SURFACE, SCREW-ATTACH SHORT FLANGE OF FURRING CHANNEL TO WEB OF ATTACHED CHANNEL. AT INTERIOR CORNERS, SPACE SECOND MEMBER NO MORE THAN 12 INCHES (300 MM) FROM CORNER AND CUT INSULATION TO FIT.

4. UNTIL GYPSUM BOARD IS INSTALLED, HOLD INSULATION IN PLACE WITH 10-INCH (250 MM) STAPLES FABRICATED FROM 0.0625-INCH (1.59-MM) DIAMETER, TIE WIRE AND INSERTED THROUGH SLOT IN WEB OF

CERAMIC TILE

1. THIS SECTION INCLUDES THE FOLLOWING:

A. CERAMIC MOSAIC TILE. B. GLAZED QUARRY TILE WITH NON-SLIP FINISH.

INSTALLATIONS. D. CEMENTITIOUS BACKER UNITS.

2. SUBMIT PRODUCT DATA: FOR EACH TYPE OF TILE, MORTAR, GROUT AND OTHER PRODUCTS

C. SYNTHETIC CAST POLYMER THRESHOLDS INSTALLED AS PART OF TILE

3. SUBMIT TILE SAMPLES FOR INITIAL SELECTION: MANUFACTURER'S COLOR CHARTS CONSISTING OF ACTUAL TILES OR SECTIONS OF TILES SHOWING THE FULL RANGE OF COLORS TEXTURES, AND PATTERNS AVAILABLE FOR EACH TYPE AND COMPOSITION OF TILE INDICATED. INCLUDE SAMPLES OF ACCESSORIES INVOLVING COLOR SELECTION.

4. MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY ONE (BUT NOT LIMITED TO) OF THE FOLLOWING:

A. AMERICAN OLEAN TILE COMPANY. B. DAL-TILE CORPORATION.

5. ANSI CERAMIC TILE STANDARD: PROVIDE TILE THAT COMPLIES WITH ANSI A137.1, "SPECIFICATIONS FOR CERAMIC TILE," FOR TYPES, COMPOSITIONS, AND OTHER CHARACTERIS TICS INDICATED. PROVIDE TILE COMPLYING WITH STANDARD GRADE REQUIREMENTS, UNLESS OTHERWISE INDICATED.

6. PROVIDE ARCHITECT'S SELECTIONS FROM MANUFACTURER'S FULL RANGE OF COLORS, TEXTURES, AND PATTERNS FOR PRODUCT OF TYPE INDICATED.

7. PROVIDE UNGLAZED CERAMIC MOSAIC TILE; PROVIDE FACTORY-MOUNTED FLAT TILE COMPLYING WITH THE FOLLOWING REQUIREMENTS:

A. COMPOSITION; PORCELAIN

END BUTT JOINTS. THICKNESS: 1/2 INCH.

8. PROVIDE GLAZED QUARRY TILE: PROVIDE SQUARE- EDGED FLAT TILE COMPLYING WITH THE

A. WEARING SURFACE: ABRASIVE AGGREGATE EMBEDDED IN SURFACE.

C. THICKNESS: 3/8 INCH. 9. PROVIDE SYNTHETIC THRESHOLDS THAT ARE UNIFORM IN COLOR AND FINISH, FABRICATED

B. FACIAL DIMENSIONS: AS SELECTED BY ARCHITECT.

B. MODULE SIZE; AS SELECTED BY ARCHITECT.

TO SIZES AND PROFILES INDICATED TO PROVIDE TRANSITION BETWEEN TILE SURFACES AND ADJOINING FINISHED FLOOR SURFACES. 10. FOR WALL APPLICATIONS, PROVIDE NON-SAGGING, LATEX-PORTLAND CEMENT MORTAR

COMPLYING WITH ANSI A118.4 FOR MORTAR OF THIS TYPE DEFINED IN SECTION F-2.1.2.

DRY, REDISPERSIBLE ETHYLENE VINYL ACETATE ADDITIVE; AND OTHER INGREDIENTS TO WHICH ONLY WATER NEEDS TO BE ADDED AT PROJECT SITE. 12. FACTORY-PREPARED, DRY-GROUT MIXTURE OF PORTLAND CEMENT; DRY, REDISPERSIBLE,

11. PREPACKAGED DRY- MORTAR MIX: FACTORY- PREPARED MIXTURE OF PORTLAND CEMENT;

ETHYLENE VINYL ACETATE ADDITIVE. 13. PROVIDE CEMENTITIOUS BACKER UNITS COMPLYING WITH ANSI A118.9, OF THICKNESS AND WIDTH INDICATED BELOW, AND IN MAXIMUM LENGTHS AVAILABLE TO MINIMIZE END-TO-

INSTALLATION STANDARDS IN "SPECIFICATIONS FOR INSTALLATION OF CERAMIC TILE" THAT APPLY TO TYPES OF SETTING AND GROUTING MATERIALS AND TO METHODS INDICATED IN CERAMIC TILE INSTALLATION SCHEDULES. 15. TCA INSTALLATION GUIDELINES: TCA"S "HANDBOOK FOR CERAMIC TILE INSTALLATION." COMPLY WITH TCA INSTALLATION METHOD F-144 FOR CERAMIC TILE IN BATHROOMS ON WOOD

14. ANSI TILE INSTALLATION STANDARDS: COMPLY WITH PARTS OF ANSI A108 SERIES OF TILE

AND CERAMIC TILE IN BATHROOMS ON CONCRETE SLAB. 16. EXTEND TILE WORK INTO RECESSES AND UNDER OR BEHIND EQUIPMENT AND FIXTURES FOR A COMPLETE COVERING WITHOUT INTERRUPTIONS, UNLESS OTHERWISE INDICATED. TERMINATE WORK NEATLY AT OBSTRUCTIONS, EDGES AND CORNERS WITHOUT DISRUPTING

STRUCTURE. COMPLY WITH TCA INSTALLATION METHOD F-113 FOR QUARRY TILE IN ENTRY AREA

PATTERN OR JOINT ALIGNMENTS. 17. JOINING PATTERN: LAY TILE IN GRID PATTERN, UNLESS OTHERWISE INDICATED. ALIGN JOINTS WHEN ADJOINING TILES ON FLOOR, BASE, WALLS, AND TRIM ARE THE SAME SIZE. LAY OUT TILE WORK AND CENTER TILE FIELDS IN BOTH DIRECTIONS IN EACH SPACE OR ON EACH WALL AREA. ADJUST TO MINIMIZE TILE CUTTING. PROVIDE UNIFORM JOINT WIDTHS, UNLESS

OTHERWISE INDICATED.

WOOD FLOORING: SUBMIT PRODUCT DATA INCLUDING MANUFACTURER'S DETAILED TECHNICAL PRODUCT DATE AND INSTALLATION INSTRUCTIONS FOR EACH TYPE OF WOOD FLOORING. INCLUDE INSTRUC-TIONS FOR HANDLING, STORAGE, INSTALLATION, DIMENSIONS OF INDIVIDUAL COMPONENTS,

PROFILES, EDGE DETAIL, FINISHING, PROTECTION AND MAINTENANCE.

A. WOOD FLOORING: WHERE STRIP TYPE WOOD FLOORING IS INDICATED, PROVIDE THE FOLLOWING:

1. GRADE: SELECTED BY OWNER 2. CUT: SELECTED BY OWNER

ON BACK FACE OF EACH STRIP

6. THICKNESS: PER MANUFACTURER STANDARD

3. SPECIES: SELECTED BY OWNER

4. MATCHING: TONGUED-AND-GROOVED AND END-MATCHED. 5. BACK CHANNELING: PROVIDE MANUFACTURER'S STANDARD CHANNELING

7. FACE WIDTH: PER MANUFACTURER STANDARD 8. LENGTHS: PROVIDE STANDARD RANDOM LENGTH STRIPS, COMPLYING WITH APPLICABLE GRADING RULES.

B. STAIN: PENETRATING-TYPE, NON-FADING WOOD STAIN OF COLOR REQUIRED TO MATCH ARCHITECT'S SAMPLE. C. WOOD FILLER: TYPE COMPATIBLE WITH STAIN OR FINISH, PIGMENTED IF NECESSARY

D. FLOOR SEALER: PENETRATING - TYPE, PLIABLE, COMPATIBLE WITH STAIN AND FINISH USED AND AS RECOMMENDED BY FLOOR MANUFACTURER. E. WATER- BASED POLYURETHANE COMPLYING WITH ENVIRONMENTAL AND FLAMMABILITY RESTRICTIONS, SPECIALLY COMPOUNDED FOR MULTIPLE- COAT

APPLICATION ON WOOD FLOORS. DURABLE, NON-YELLOWING, ODORLESS, AND FAST

TO MATCH ARCHITECT'S SAMPLE.

RESILIENT TILE FLOORING: 1. EXTENT OF RESILIENT TILE FLOORING AND ACCESSORIES IS SHOWN ON DRAWINGS AND IN

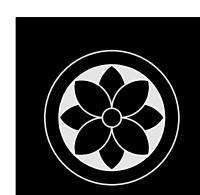
2. MANUFACTURER: PROVIDE EACH TYPE OF RESILIENT TILE FLOORING AND ACCESSORIES AS PRODUCED BY A SINGLE MANUFACTURER, INCLUDING RECOMMENDED PRIMERS, ADHESIVES, SEALANTS AND LEVELING COMPOUNDS.

3. SUBMIT MANUFACTURER'S TECHNICAL DATA FOR EACH TYPE OF RESILIENT FLOORING AND 4. SUBMIT MANUFACTURER'S STANDARD COLOR CHARTS IN FORM OF ACTUAL SECTIONS OF

5. COLOR SHALL BE AS SELECTED BY THE ARCHITECT FROM MANUFACTURER'S FULL LINE.

RESILIENT FLOORING, INCLUDING ACCESSORIES, SHOWING FULL RANGE OF COLORS AND PAT-

TERNS AVAILABLE, FOR EACH TYPE OF RESILIENT TILE FLOORING REQUIRED.



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GRISWOLD SUITE 518 DETROIT, MI 4 8 2 2 6 313.9 6 3.6 6 8 7 A DIVISION OF NEWURBAN DESIGN GROUP, IN

SHEET NUMBER:

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6. VINYL COMPOSITION TILE: FS SS-T-312, TYPE IV: 12" X 12" UNLESS OTHERWISE INDICATED
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7. RUBBER FLOOR TILE: PRODUCTS COMPLYING WITH ASTM F 1344: 12"X12" X 1/8" GAUGE.

8. REQUIRE INSTALLER TO INSPECT SUBFLOOR SURFACES TO DETERMINE THAT THEY ARE SATISFACTORY. A SATISFACTORY SUBFLOOR SURFACE IS DEFINED AS ONE THAT IS SMOOTH AND FREE FROM CRACKS, HOLES, RIDGES, AND/OR COATINGS PREVENTING ADHESIVE BOND, AND OTHER DEFECTS IMPAIRING PERFORMANCE OR APPEARANCE.

9. PERFORM BOND AND MOISTURE TESTS ON CONCRETE SUBFLOORS TO DETERMINE IF SURFACES ARE SUFFICIENTLY CURED ADN DRY AS WELL AS TO ASCERTAIN PRESENCE OF CURING COMPOUNDS.

10. DO NOT ALLOW RESILIENT FLOORING WORK TO PROCEED UNTIL SUBFLOOR SURFACES ARE SATISFACTORY.

11. INSTALL AND FINAL CLEAN TILE FLOORING PER MANUFACTURER'S RECOMMENDATION.

PAINTING

1. SUBMIT 8-1/2 X 11 COLOR DOWNS ON HEAVY PAPER TO MATCH ARCHITECT'S COLOR CHIPS FOR EACH COLOR AND TYPE OF PAINT SPECIFIED FOR ARCHITECT'S APPROVAL.

2. MANUFACTURES OTHER THAN THOSE LISTED BELOW MAY BE SUBMITTED FOR CONSIDERATION IN ACCORDIANCE WITH GENERAL REQUREMENTS DIVISION 1.

.01 BENJAMIN MOORE & CO.

.02 THE GLIDDEN CO.

.03 PITTSBURGH PAINTS
.04 PRATT & LAMBERT

.05 SHERWIN WILLIAMS
.06 UNITED COATINGS

3. FERROUS METALS I.E. DOORS, RAILINGS, FENCES, LINTELS, ETC...

A. FIRST COAT: (TO BE USED EVEN AT SHOP PRIMED ITEMS)

BENJAMIN MOORE: IRONCLAD RETARDO RUST INHIBITIVE PAINT 163
GLIDDEN: LIFE MASTER PRO WATER REDUCTIBLE RED OXIDE PRIMER NO. 6970
PITTSBURGH PAINTS: SPEED HIDE INHIBITIVE METAL PRIMER 6-208 OR 6-212

PRATT & LAMBERT: EFFECTO RUST INHIBITING PRIMER SHERWIN WILLIAMS: KEN KROMIC METAL PRIMER

B. SECOND AND THIRD COATS:

BENJAMIN MOORE: MOORECRAFT LATEX HOUSE AND TRIM PAINT 170 EXECEPT AT RAILINGS WHICH SHALL BE IMPERVO ENAMEL 133. GLIDDEN: LIFE MASTER PRO WATER REDUCTIBLE ACRYLIC NO. 6900 SERIES

PITTSBURGH PAINTS: MANOR HALL 79 SERIES LATEX URETHANE/ EGGSHELL EXECPT AT RAILINGS WHICH SHALL BE WATER BASED GLOSS ENAMEL 51-LINE.

SHERWIN WILLIAMS: DTM ACRYLIC GLOSS COATING (WATER REDUCIBLE)

4. CEMENTITIOUS AND SYNTHETIC MATERIALS:

A. TWO COATS (ADD A PRIME COAT IF RECOMMENDED BY MANUFACTURER):
GLIDDEN: SPRED ULTRA EXTERIOR SATIN HOUSE PAINT-6725 SERIES
SHERWIN WILLIAMS: A-100 SATIN LATEX HOUSE AND TRIM PAINT
PITTSBURGH PAINTS: MANOR HALL EXTERIOR HOUSE AND TRIM PAINT, 79-LINE

PITTSBURGH PAINTS: SPEED HIDE ALKYD LO- SHEEN ENAMAL 6-90 PRATT & LAMBERT: VITALITE ALKYD UNDERCOAT, 2ND COAT; VIRALITE ENAMEL, 3RD COAT

5. NATURAL FINISHED WOODWORK:

COORDINATE WITH "FINISH CARPENTRY AND MILLWORK" SECTION (GN-2) TO VERIFY SCOPE OF WORK TO BE FINISHED BY MILLWORK CONSTRACTOR.

SHERWIN WILLIAMS: PRO- MAR 200 ALKYD EGG-SHELL ENAMEL

.01 FIRST STEP: WOOD FILLER, APPLIED AS PER MANUFACTURER'S INSTRUCTIONS
BENJAMIN MOORE: BENWOOD PASTE WOOD FILLER 238
GLIDDEN: NONE AVAILABLE; USE PRODUCT RECOMMENDED BY

MANUFACTURER.
PITTSBURGH PAINT: NONE AVAILBLE; USE PRODUCT RECOMMENDED BY

MANUFACTURER PRATT & LAMBERT: FILLER-SEALER

SHERWIN WILLIAMS: SHER-WOOD NATURAL FILLER D70T1

.02 SECOND STEP: STAIN, AS NEEDED TO ACHIEVE COLOR AS PER ARCHITECT;
APPLIED AS MANUFACTURER'S INSTRUCTIONS.

BENJAMIN MOORE: MOORE'S INTERIOR WOOD PENETRATING STAIN 241 GLIDDEN: WOODMASTER 1600.
PITTSBURGH PAINTS: REZ 77-9 POLYURETHENE

PRATT & LAMBERT: VARMOR POLYURETHENE, SATIN
SHERWIN WILLIAMS: POLYURETHENE VARNISH A67V1/A67F1

.03 THIRD STEP: SANDING SEALER, IF RECOMMENDED BY THE MANUFACTURER.

.04 FOURTH STEP: TWO (2) FINISH COATS

BENJAMIN MOORE: BENWOOD POLYURETHENE, LOW LUSTER 435

GLIDDEN: NO. 82 SATIN SHEEN
PITTSBURGH PAINTS: REZ 77-9 POLYURETHENE

PRATT & LAMBERT: VARMOR POLYURETHENE, SATIN SHERWIN WILLIAMS: POLYURETHENE VARNISH A67V1/A67F1

6. ALL SPECIFIED PRODUCTS SHALL BE APPLIED AT THE MINIMUM WET THICKNESS RATE AS RECOMMENDED BY THE MANUFACTURER.

7. DO NOT APPLY SUCCEEDING COATS UNTIL UNDERCOATS ARE THOROUGHLY DRY.

NOT ACCOMPLISHED IN THE SPECIFIED NUMBER OF COATS.

8. AFTER COMPLETION OF THE WORK, DO ALL NECESSARY TOUCHING UP OF ALL THE PAINTING

AND FINISHING AND LEAVE THE WORK IN PERFECT CONDITION.

9. ADDITIONAL COSTS WILL BE REQUIRED WHERE FINISHED WORK IS NOT IN COMPLETE COM-

PLIANCE WITH ALL REQUIREMENTS OF THESE SPECIFICATIONS, OR IF COMPLETE COVERAGE IS

10. PERFORM ALL PAINTING AND FINISHING, USING SPECIFIED MATERIALS APPLIED BY THOROUGHLY EXPERIENCED SKILLED WORKMEN.

11. EXCEPT WHERE SPECIFICALLY AUTHORIZED BY THE ARCHITECT TO DO OTHERWISE: APPLY FLAT OR EGGSHELL WALL PAINT BY BRUSH OR ROLLER; APPLY GLOSS OR SEMI-GLOSS WITH

12. FLOW ON MATERIALS TO INSURE SMOOTH, EVEN COATS, FREE FROM SOIL, RUNS, BRUSH MARKS, SAGS, AND LAPS. APPLY PROPRIETARY PAINT PRODUCTS IN STRICT ACCORDANCE WITH MANUFACTERER'S INSTRUCTIONS.

13. SANDING: IN ADDITION TO PREPARATORY SANDING, FINE SAND BETWEEN SUCCEEDING COATS OF ALL VARNISH ENAMEL OR FLAT ENAMEL, USING SANDPAPER APPROPRIATE TO THE FINISH. USE FINE PRODUCTION PAPER BETWEEN COATS.

14. FINISH INTERIOR OF ALL CLOSETS AND CABINETS SAME AS ADJOINING ROOMS, UNLESS OTHERWISE SCHEDULED.

15. APPLY ONE COAT OF SANDING SEALER AND ON COAT OF SEMI-GLOSS VARNISH TO INSIDES OF ALL DRAWERS UNLESS OTHERWISE SPECIFIED.

ROOM FINISH SCHEDULE								
SPACE TITLE	FLOOR			W				
NAME/DESCRIPTION	FINISH	BASE	NORTI	SOUT	H EAS	T WE	ST CEILING	REMARKS
GENERAL SPACES								
LOBBY	CT	CT	BRICK	BRICK	BRICK	BRICK	PAINT	
FOYER	CT	CT	BRICK	BRICK	BRICK	BRICK	PAINT	
STAIR	QT	WB	BRICK	BRICK	BRICK	BRICK	N/A	
VESTIBULE	QT	WB	PAINT	PAINT	BRICK	BRICK	PAINT	
MECH. ROOM	VCT	VB	BRICK	BRICK	BRICK	PAINT	N/A	
LAUNDRY	VCT	VB	BRICK	BRICK	PAINT	BRICK	N/A	
_								
TYP. UNIT SPACES								
LIVING	WD	WB	PAINT	BRICK	PAINT	BRICK	PAINT	
CORRIDOR	WD	WB	PAINT	PAINT	N/A	N/A	PAINT	
KITCHEN/DINING	CT	WB	BRICK	PAINT	PAINT	BRICK	PAINT	
BATH	CT	WB	PAINT	PAINT	PAINT	PAINT	PAINT	
1/2 BATH	CT	WB	PAINT	PAINT	BRICK	PAINT	PAINT	
BEDROOM 1	CPT	WB	BRICK	PAINT	PAINT		PAINT	
BEDROOM 2	CPT	WB	BRICK	PAINT	BRICK	PAINT	PAINT	
BEDROOM 3	CPT	WB	PAINT	BRICK	BRICK	PAINT	PAINT	
W.I.C.	CPT	WB	PAINT	 	PAINT	!	PAINT	

VCT - VINYL COMPOSITION TILE

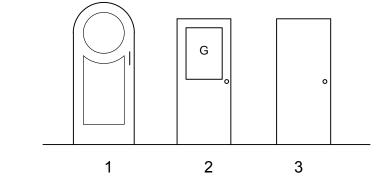
WD - WOOD

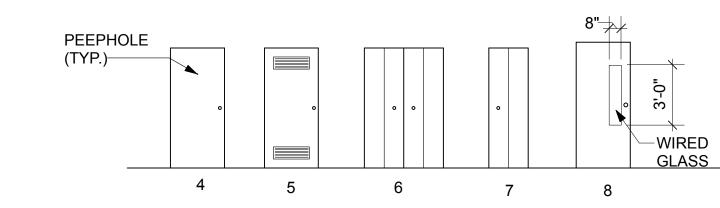
CPT - CARPET WB - WOOD BASE

VB - VINYL BASE

CT - CERAMIC TILE QT - QUARRY TILE

			DOC	OR SCH	EDULE				
DOOR#	fLOOR	LOCATION	DOOR SIZE	TYPE	MAT'L	FRAMEL	ABEL	FINISH	NOTES
01	E	BUILDING ENTRY	3'-0" X 7'-0"	1	WD	WD		PNT	EXISTING OPENING
02	В	B.F. UNIT ENTRY	3'-0" X 7'-0"	4	HM	HM	С	PNT	EXISTING OPENING
03	В	CLOSET DOOR	5'-0" X 7'-0"	6	WD	WD		FACT	BI-FOLD DOORS
04	B,1,2,3	STAIR DOOR	3'-0" X 7'-0"	8	HM	HM	В	PNT	EXISTNG OPENING
05	B,1,2,3	LAUNDRY ROOM	3'-0" X 7'-0"	2	HM	HM		PNT	EXISITNG OPENING
06	B,1,2,3	MECHANICAL ROOM	3'-0" X 7'-0"	5	HM	HM		PNT	
07	B,1,2,3	UNIT DOOR	3'-0" X 7'-0"	4	HM	HM	С	PNT	INSULATED
80	B,1,2,3	BATHROOM DOOR	2'-8" X 7'-0"	3	WD	WD		FACT	
09	B,1,2,3	BEDROOM DOOR	2'-8" X 7'-0"	3	WD	WD		FACT	
10	B,1,2,3	W.I.C DOOR	2'-8" X 7'-0"	3	WD	WD		FACT	
11	B,1,2,3	CLOSET DOOR	4'-0" X 7'-0"	6	WD	WD		FACT	BI-FOLD DOORS
12	B,1,2,3	CLOSET DOOR	2'-0" X 7'-0"	7	WD	WD		FACT	BI-FOLD DOOR
13	В	BATHROOM DOOR	3'-0" X 7'-0"	3	WD	WD		FACT	
14	В	BEDROOM DOOR	3'-0" X 7'-0"	3	WD	WD		FACT	
15	B,1,2,3	CLOSET DOOR	2'-6" X 7'-0"	7	WD	WD		FACT	BI-FOLD DOOR
									1





NOTE: ALL INTERIOR DOORS ARE HOLLOW CORE UNLESS OTHERWISE NOTED



RESERVACION APARTME Arlborough Street

Michigan

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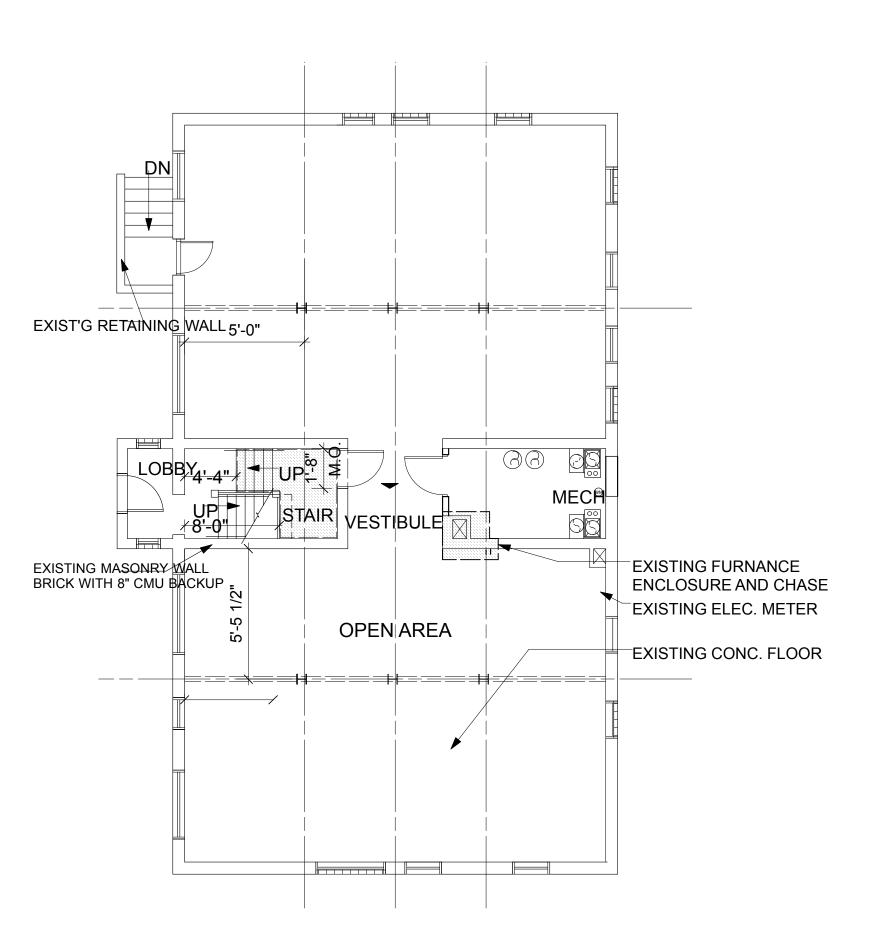
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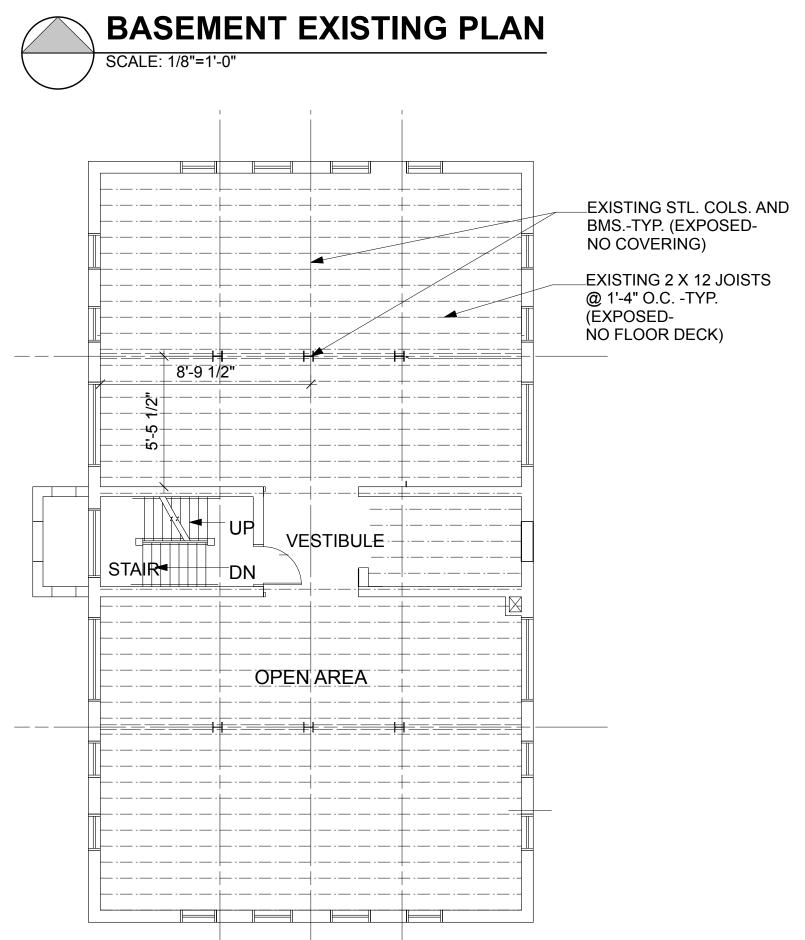
Specifications and

Checked:	
Approved:	

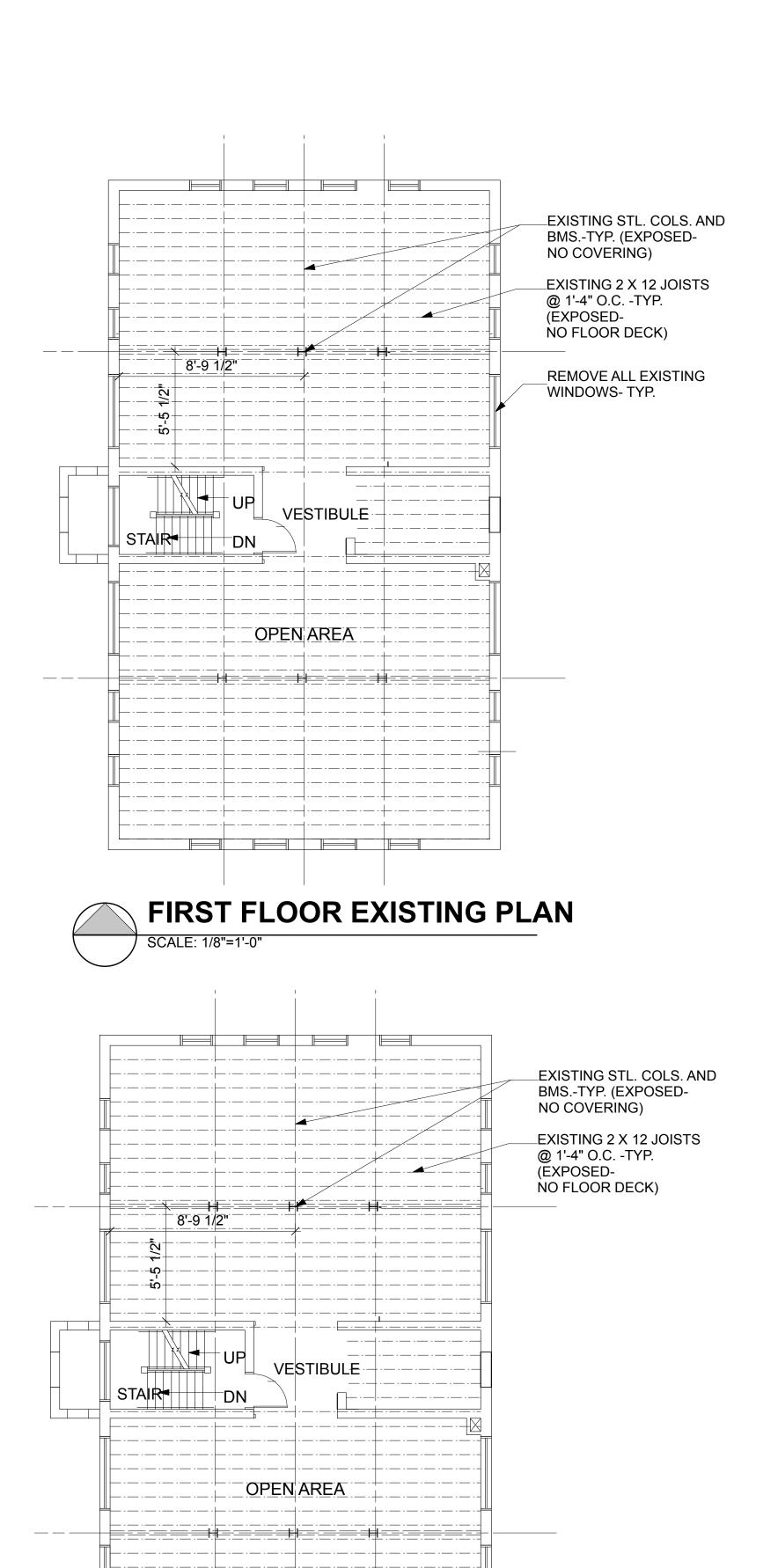




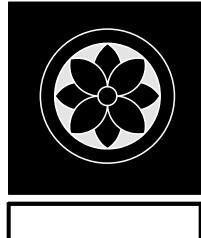












MARLBOROUGH APARTMENTS
910 Marlborough Street
Detroit, Michigan

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Existing and Demolition Floor Plans

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Approved:

LEGEND

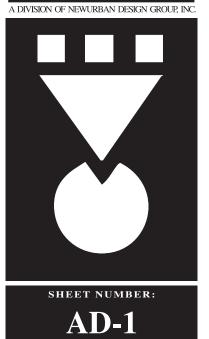
EXISTING WALL

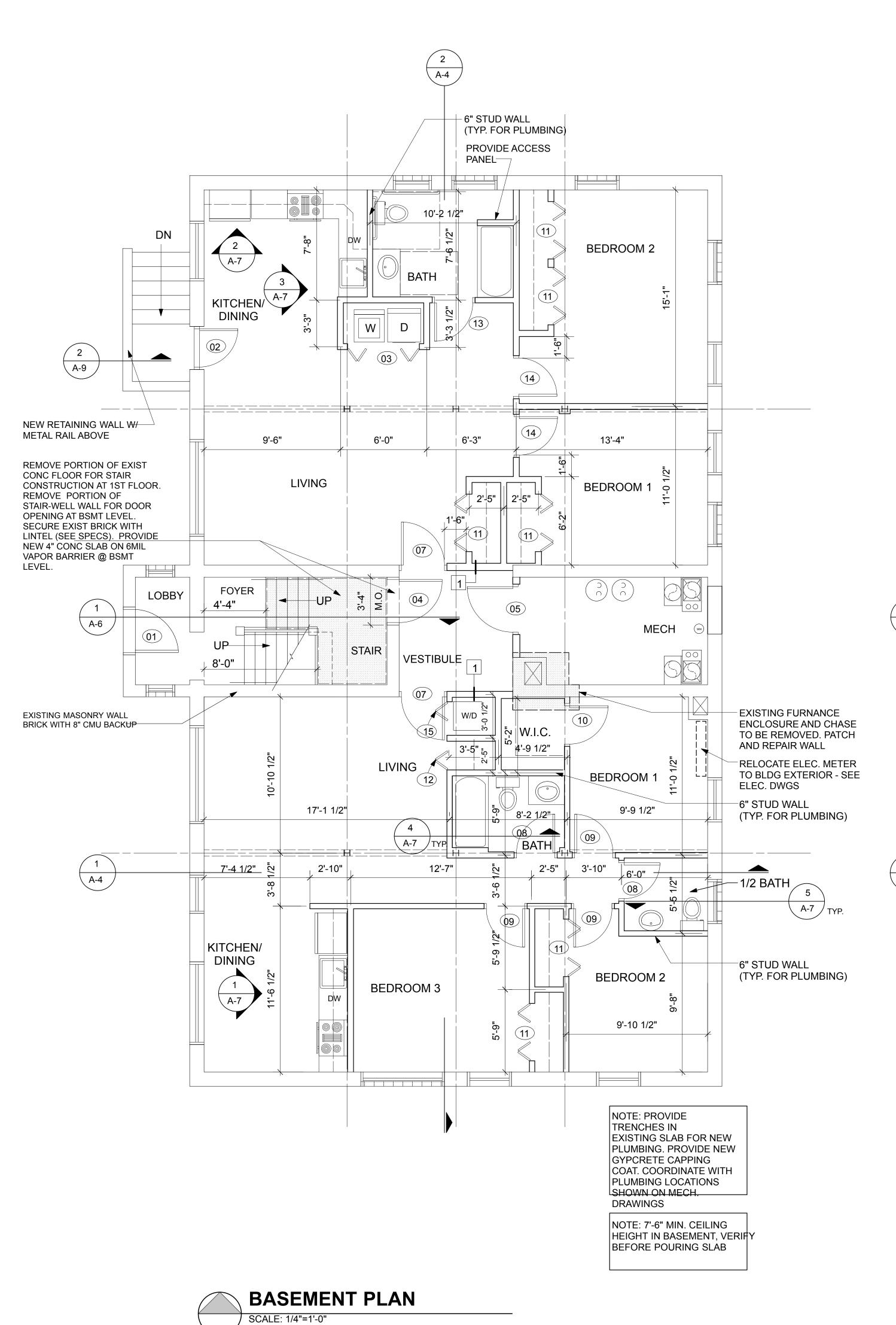
----- EXIST'G BM AND JOISTS

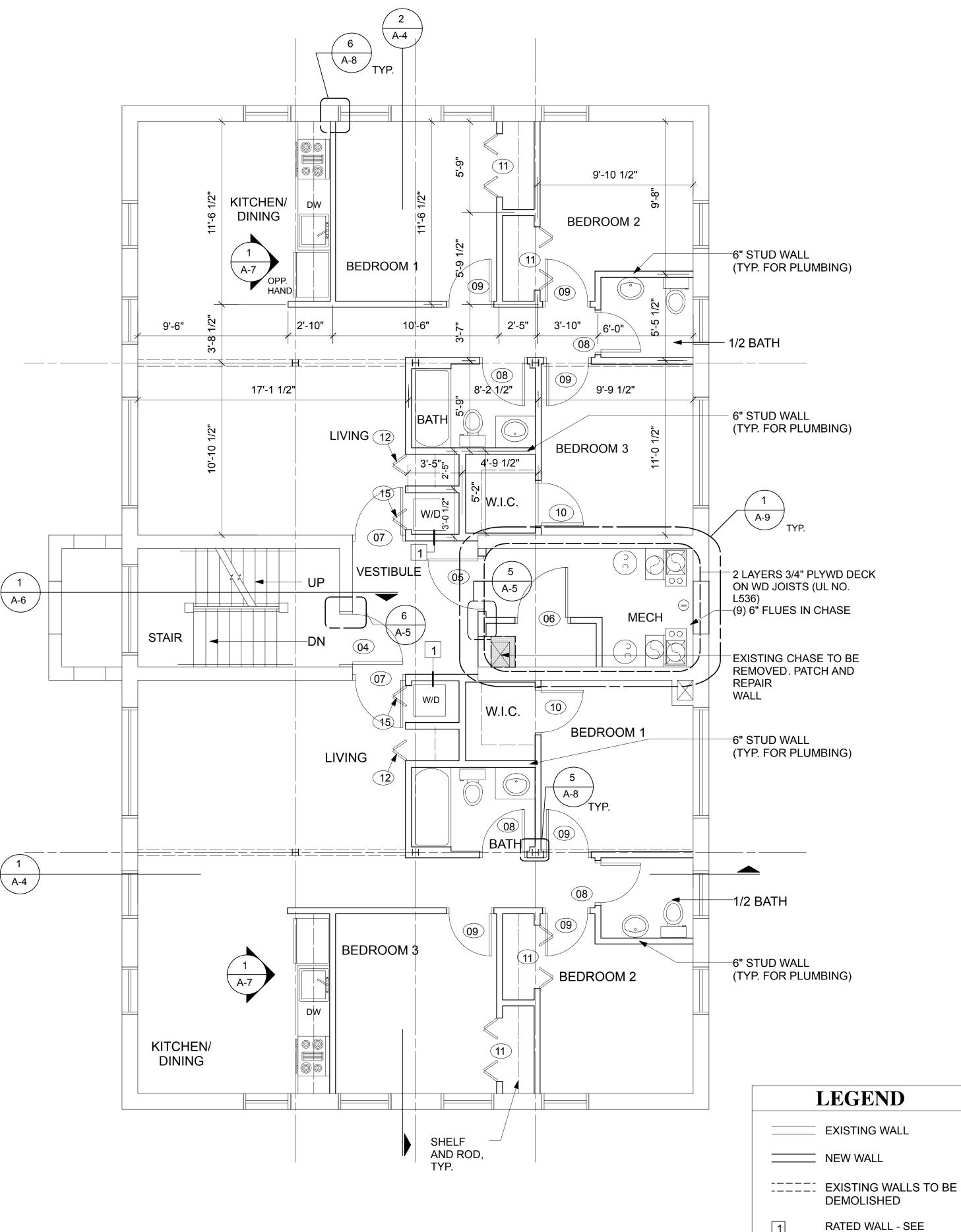
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6 1 5
GRISWOLD
SUITE 5 1 8
DETROIT, MI
4 8 2 2 6
313.9 6 3.6 6 8 7

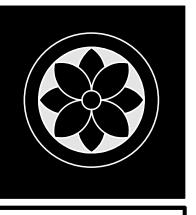
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FIRST FLOOR PLAN SCALE: 1/4"=1'-0"



APARTMENT MARLBOR(910 Marlborough S Detroit, Michigan SHELBORNE DE

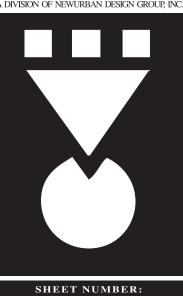
ELOPMENT

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Basement and F

Floor Plan Issued For:

Date: 09.30.02

GRISWOLD SUITE 518 DETROIT, MI 4 8 2 2 6 313.9 6 3.6 6 8 7 A DIVISION OF NEWURBAN DESIGN GROUP, INC



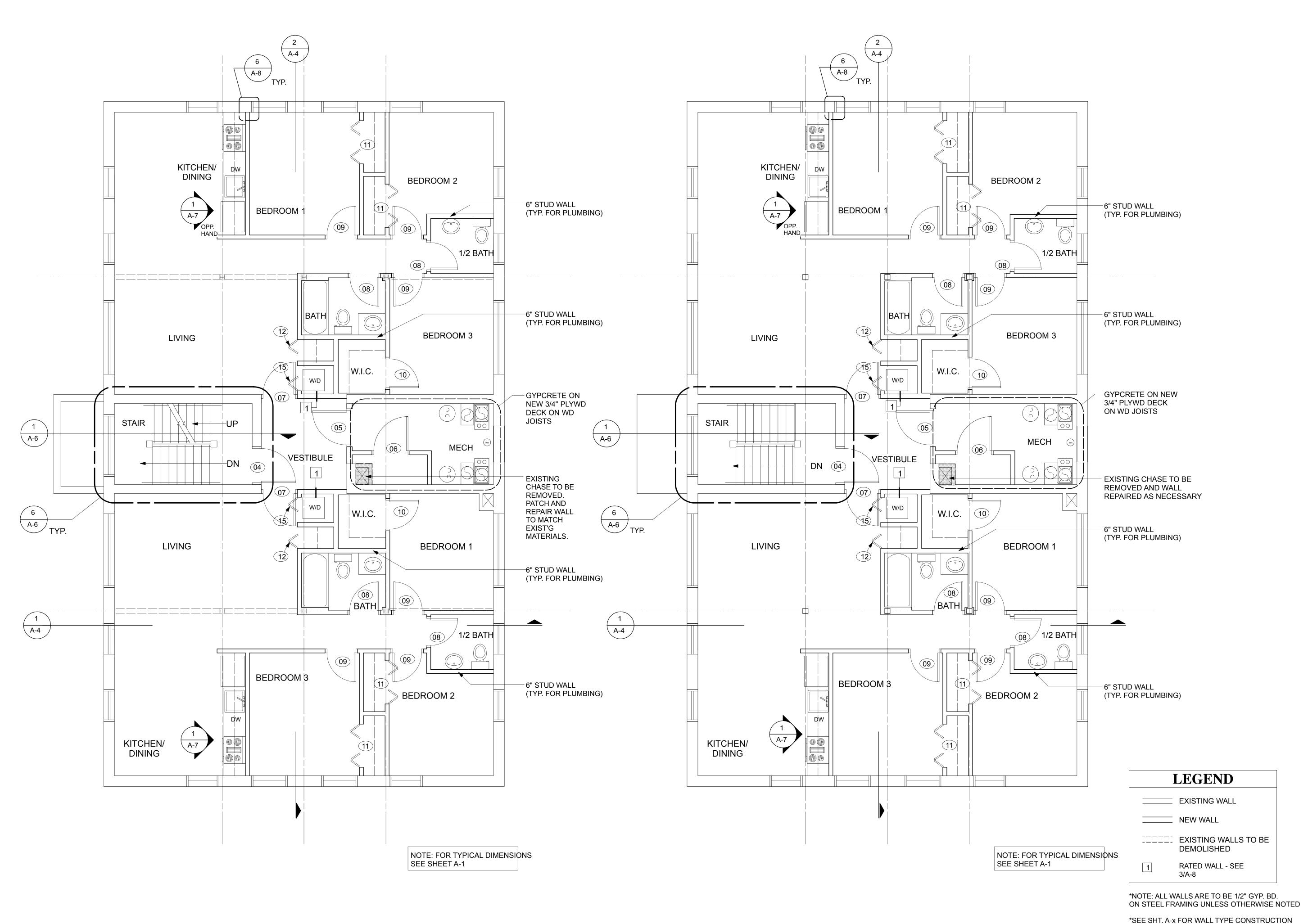
A-1

*SEE SHT. A-8 FOR WALL TYPE CONSTRUCTION *NOTE: ALL INTERIOR UNIT WALLS SHALL EXTEND TO THE UNDERSIDE OF STRUCTURE OR CEILING ABOVE.

ON STEEL FRAMING UNLESS OTHERWISE NOTED

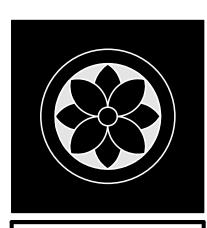
*FOR TYP DOOR PLACEMENT SEE SHEET A8

*NOTE: ALL WALLS ARE TO BE 1/2" GYP. BD.









MARLBOROUGH APARTMENTS
910 Marlborough Street
Detroit, Michigan
SHELBORNE DEVELOPMENT

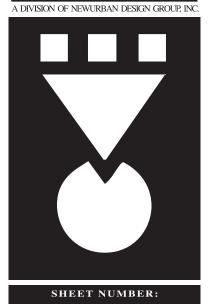
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Second and Third
Floor Plan

Permits

Project Number:

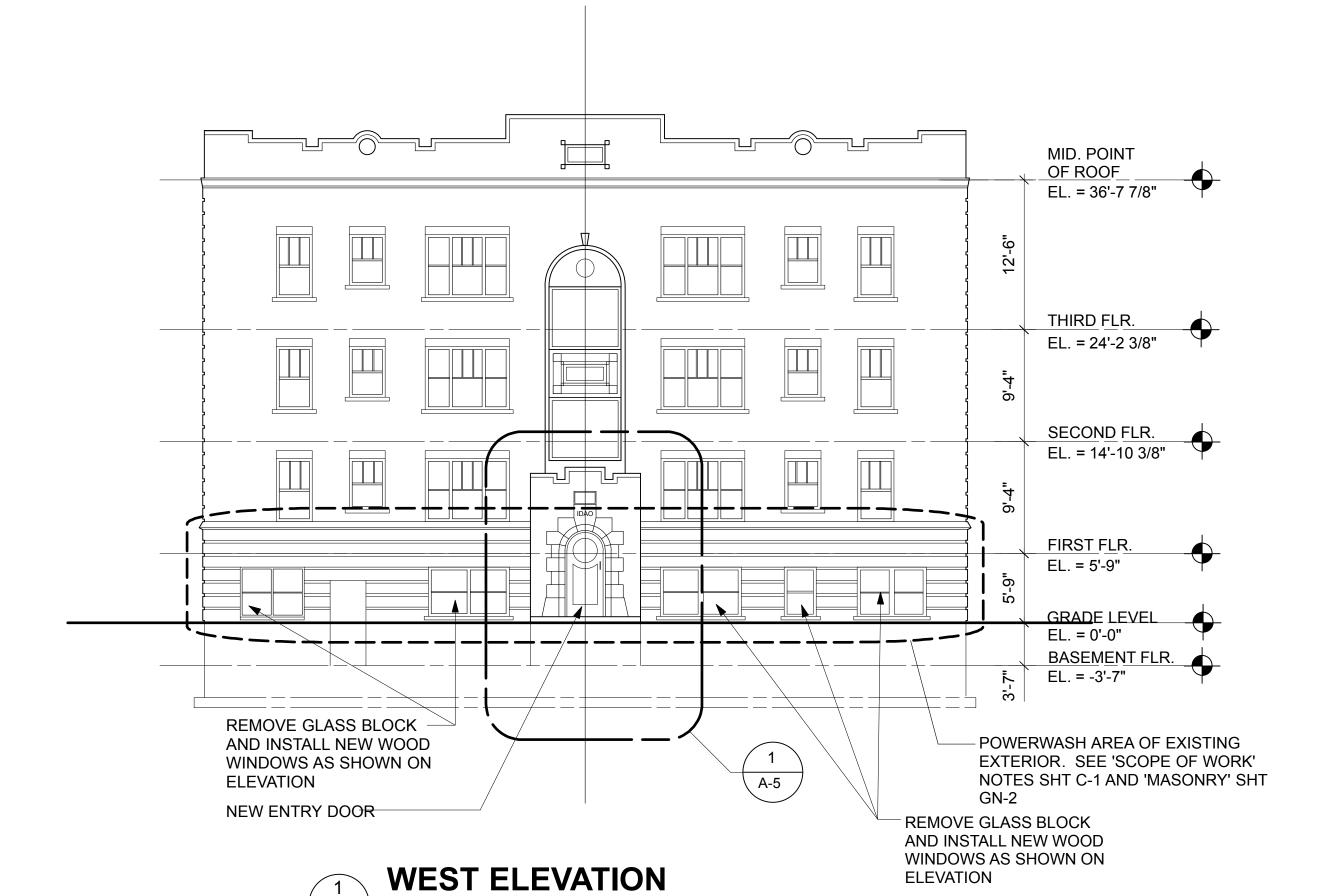


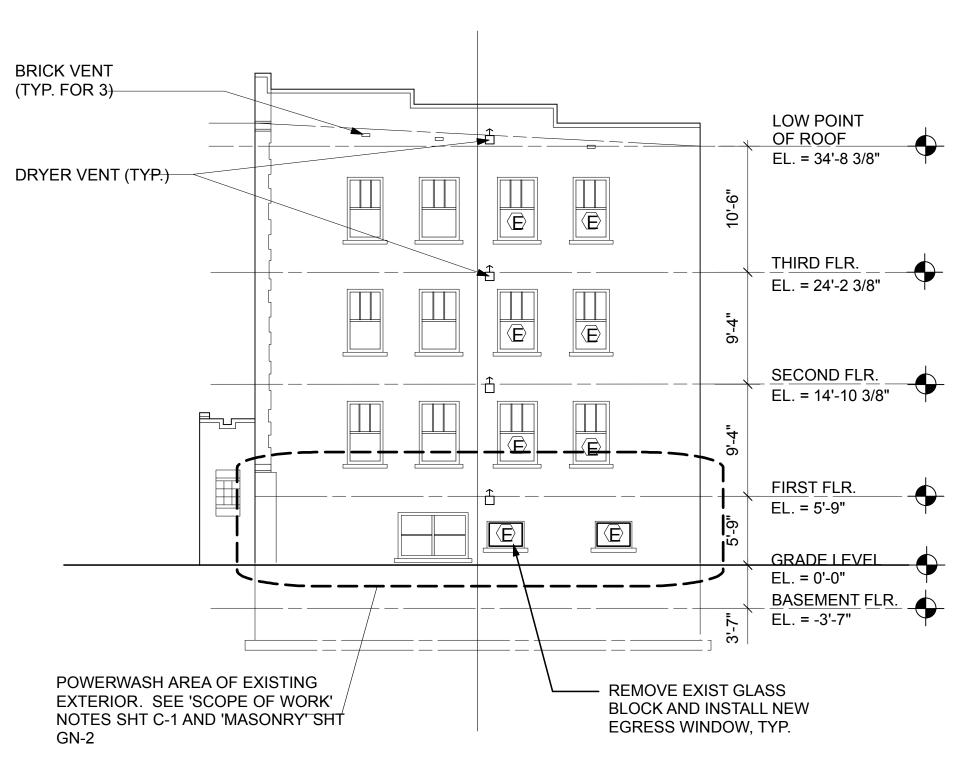


A-2

*FOR TYP DOOR PLACEMENT SEE SHEET A-2

*NOTE: ALL INTERIOR UNIT WALLS SHALL EXTEND TO THE UNDERSIDE OF STRUCTURE OR CEILING ABOVE.



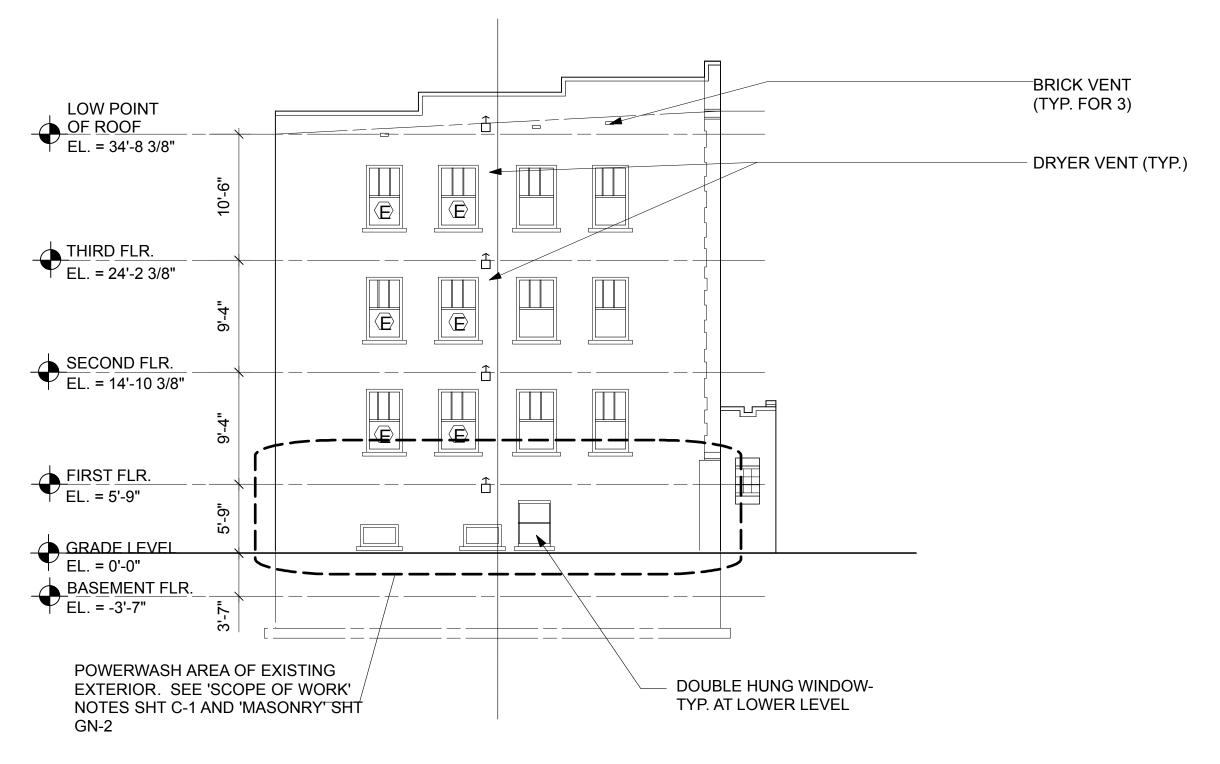


SCALE: 1/8"=1'-0"





SCALE: 1/8"=1'-0"



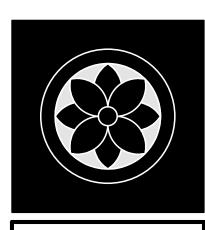
A-3 SCALE: 1/8"=1'-0"

NOTE:

1. PROVIDE NEW WINDOWS IN ALL EXISTING WINDOW OPENINGS

2. FOR WINDOW DETAILS-SEE SHT. A-10

3. \(\overline{F} \) = EGRESS WINDOW



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Elevations

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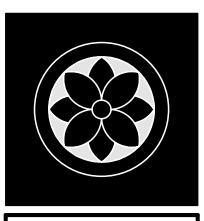
Checked:
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Project
Number:
Date:

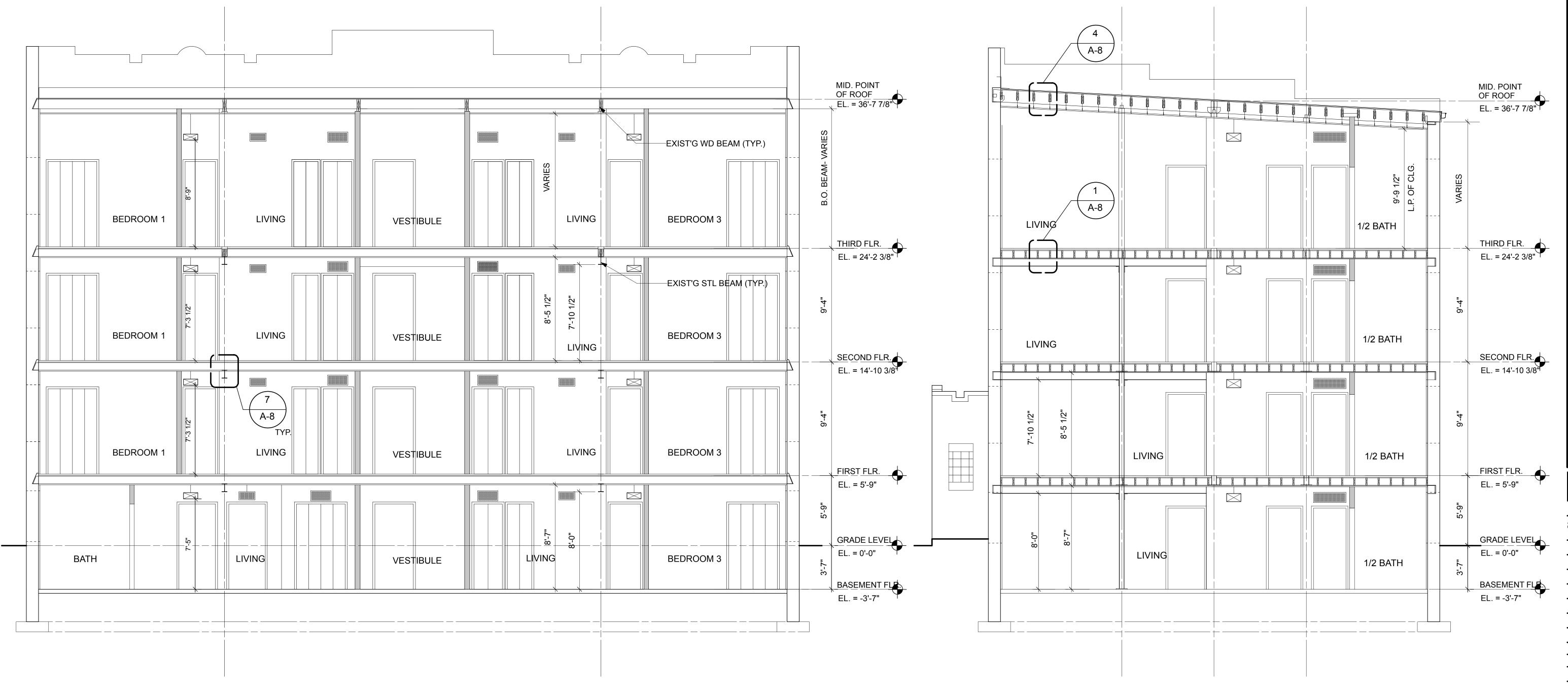
615 GRISWOLD STE. 1710 DETROIT . MI . 48226 3 1 3 . 9 6 3 . 6 6 8 7

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SHEET NUMBER:





NOTE: 7'-6" MIN. CEILING HIEGHT IN BASEMENT. VERIFY BEFORE POURING SLAB

SECTION SCALE: 1/4"=1'-0"

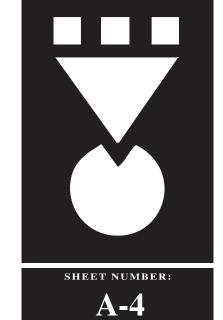
SECTION SCALE: 1/4"=1'-0"

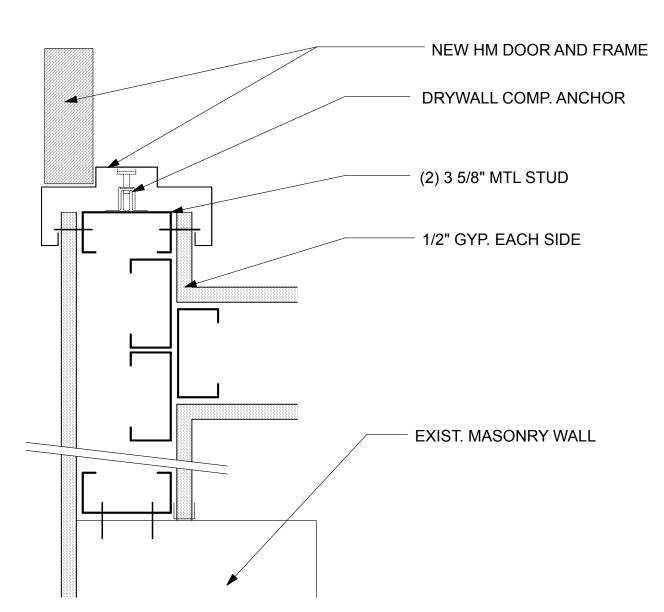
APARTMENTS MARLBOROUGH / 910 Marlborough Street Detroit, Michigan SHELBORNE DEVELOPMI

DEVELOPMENT

© 2017 ARCHIVE D.S. **Sections**

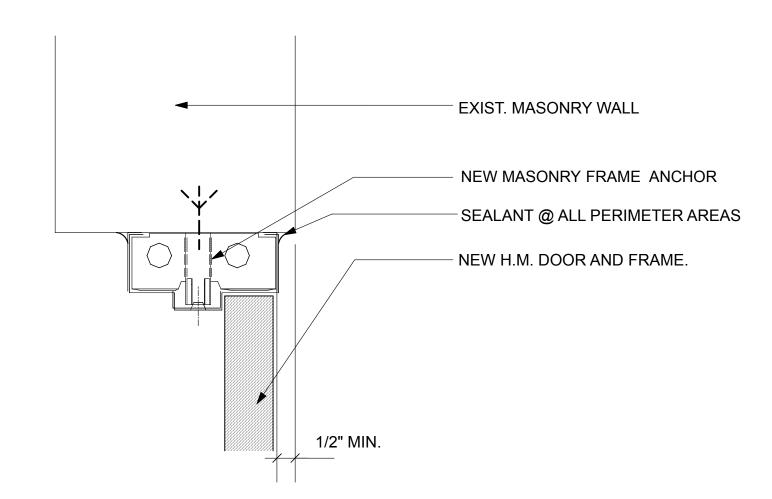






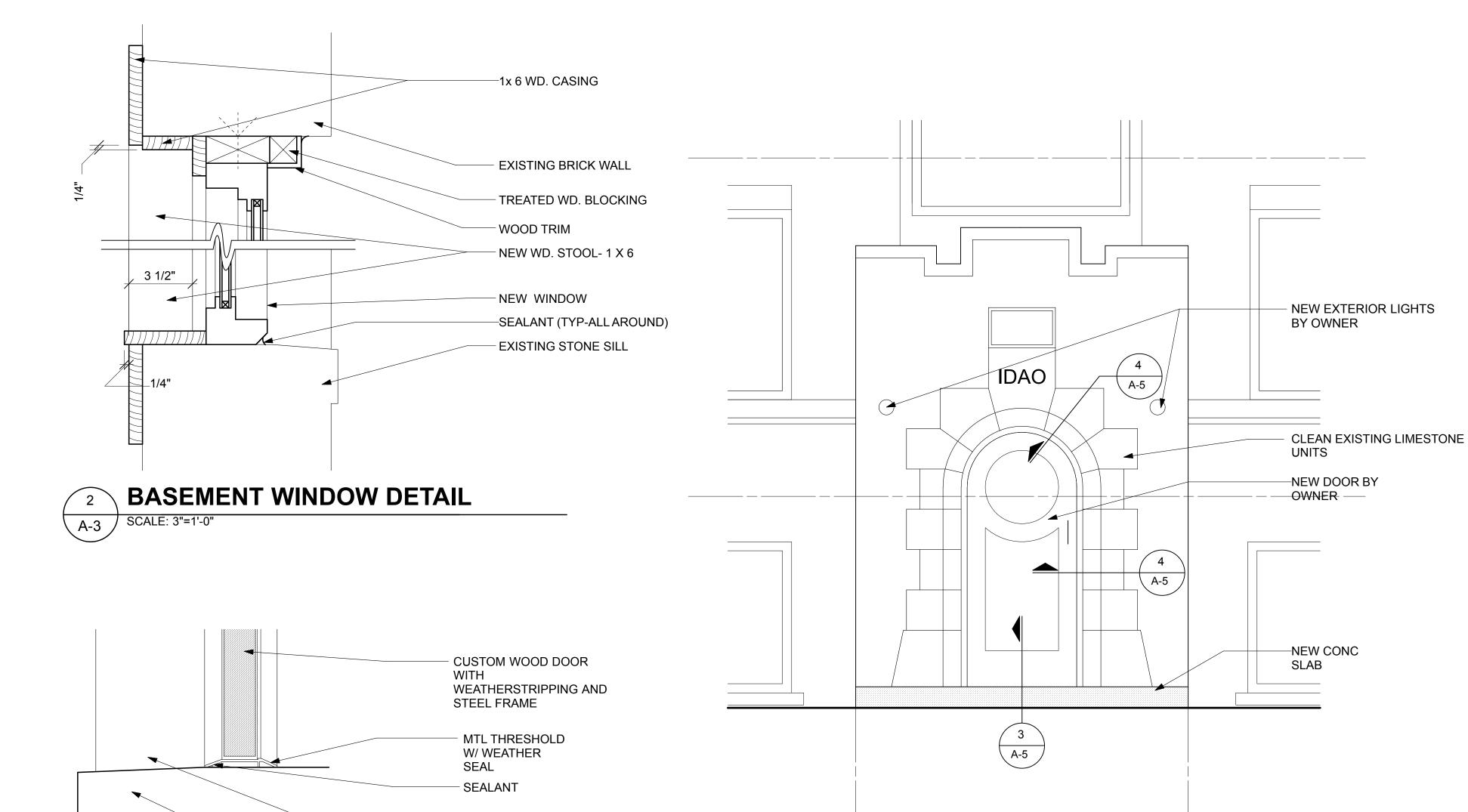
5 LAUNDRY/ MECH RM JAMB DETAIL

SCALE: 3"=1'-0"



6 JAMB DETAIL

SCALE: 3"=1'-0"



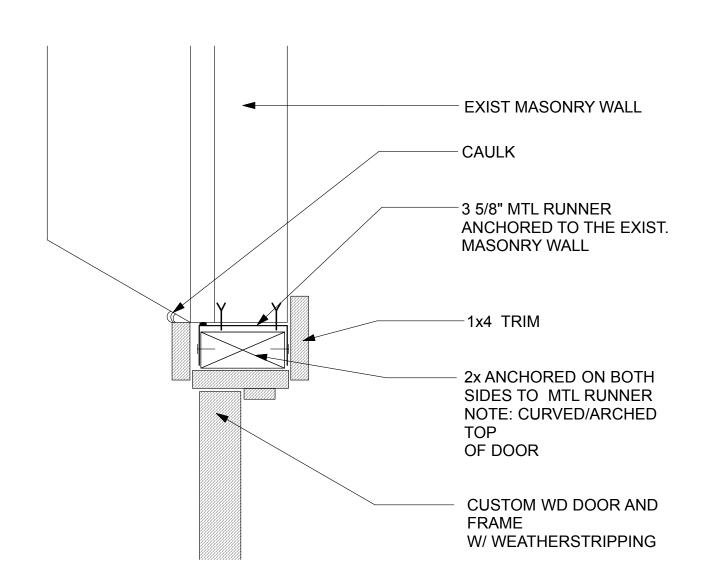
BUILDING ENTRY DOOR



MASONRY BEYOND

EXISTING LIMESTONE

THRESHOLD



BUILDING ENTRY
DOOR JAMB DETAIL

A-5 SCALE: 3"=1'-0"





MARLBOROUGH APARTMENTS
910 Marlborough Street

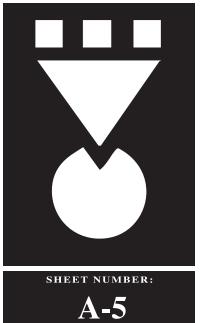
VELOPMENT

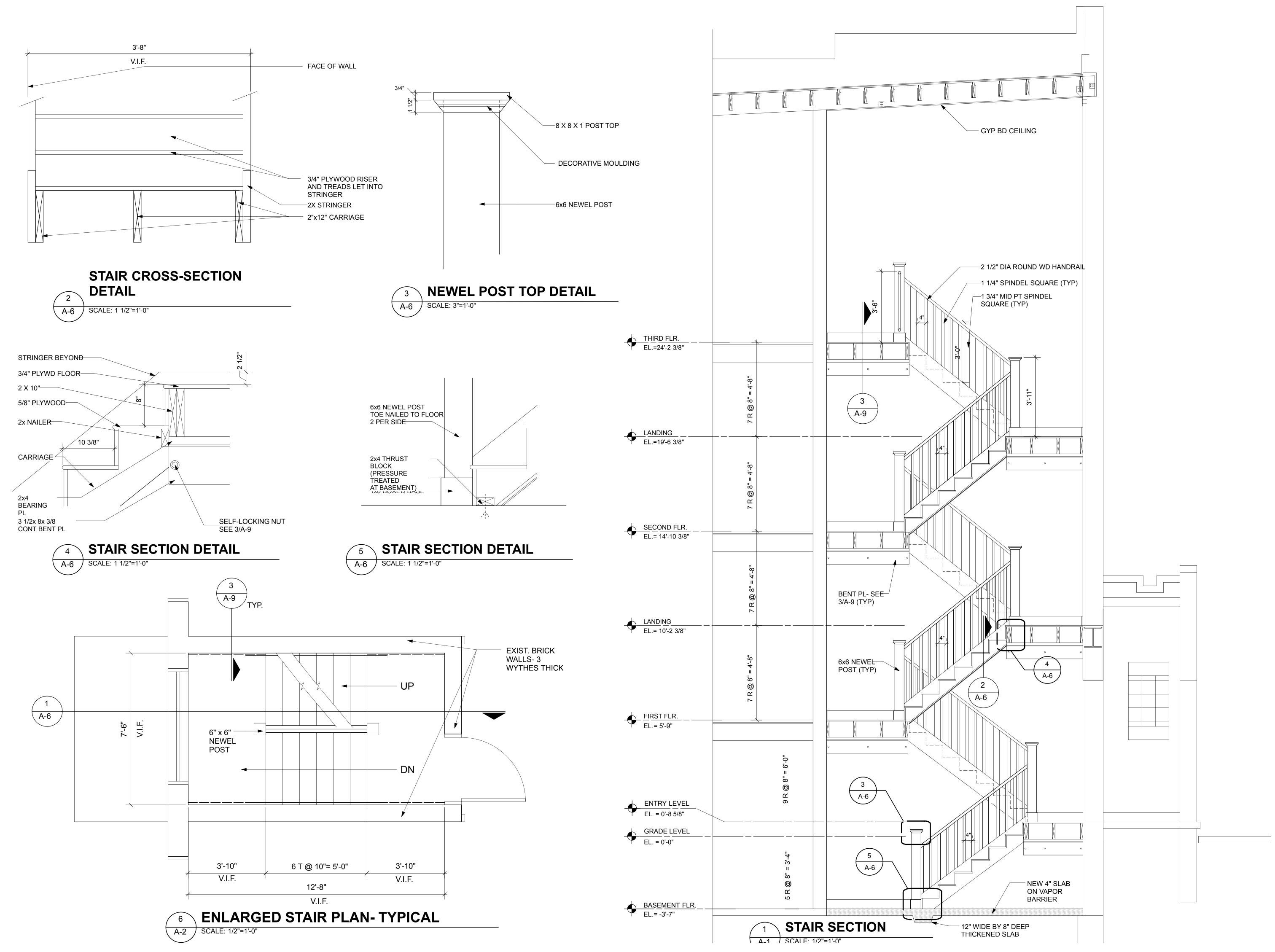
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Enlarged Eleva

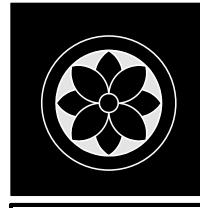
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Permits			

Checked:
Approved:
Project









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Stair Sections and Details

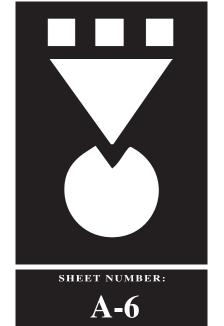
Permits

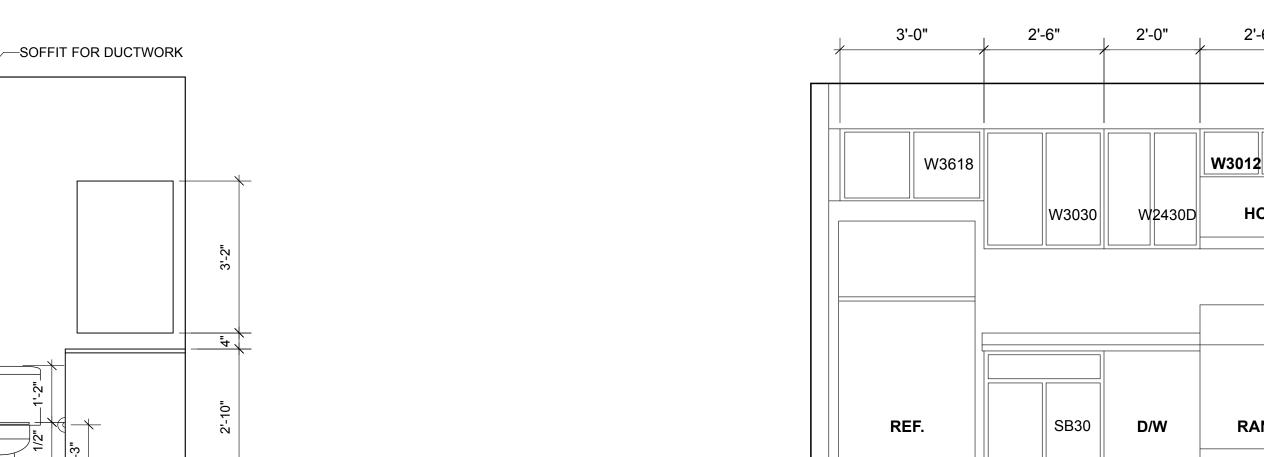
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Project
Number:

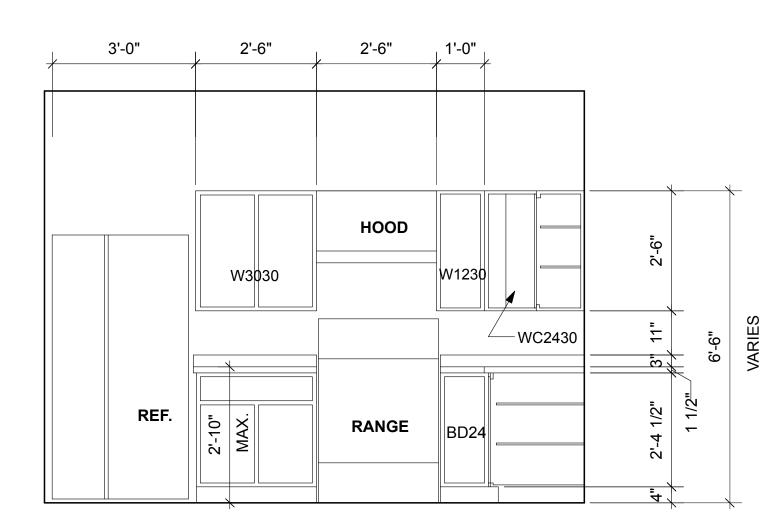
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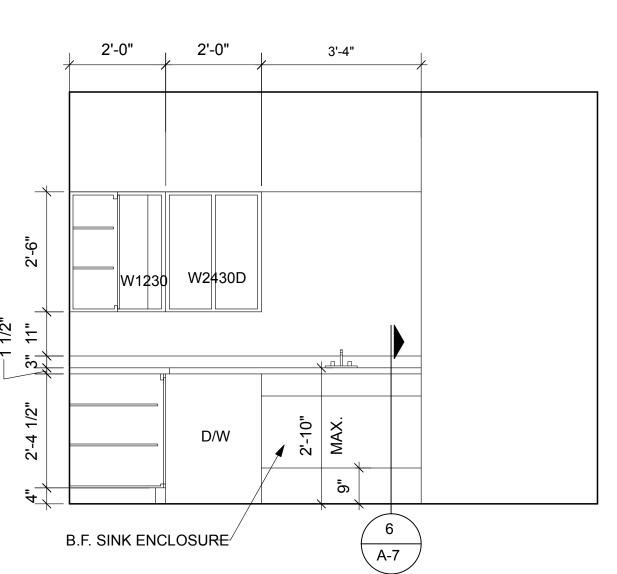




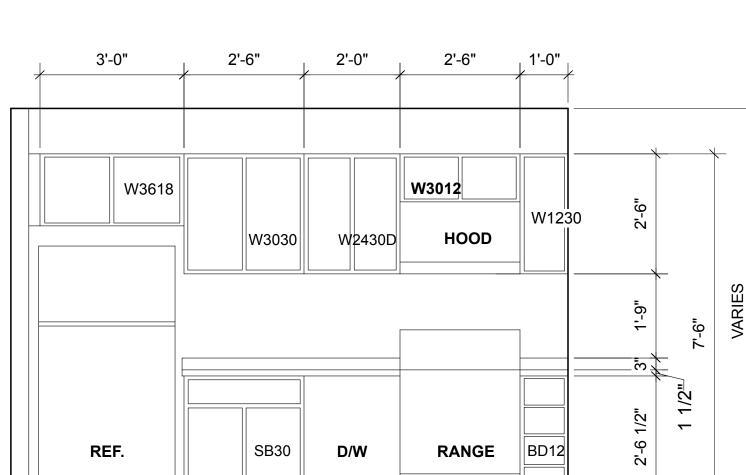
TYPICAL KITCHEN ELEVATION

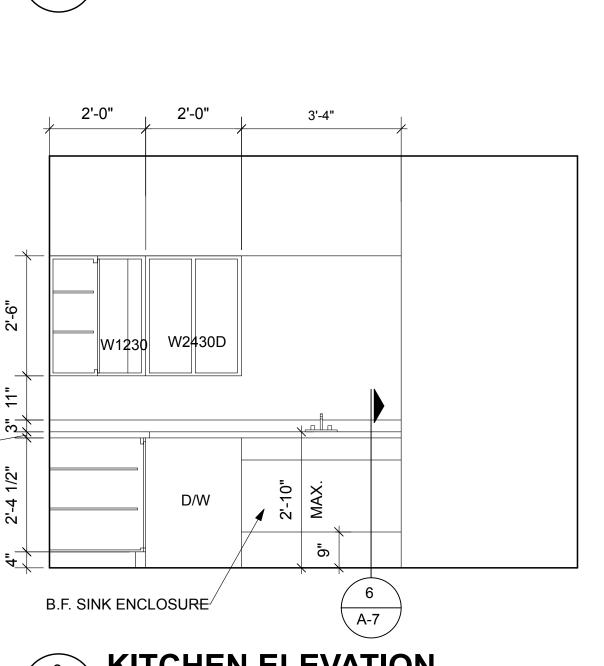


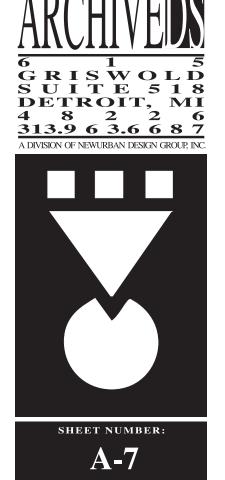
KITCHEN ELEVATION SCALE: 1/2"=1'-0"









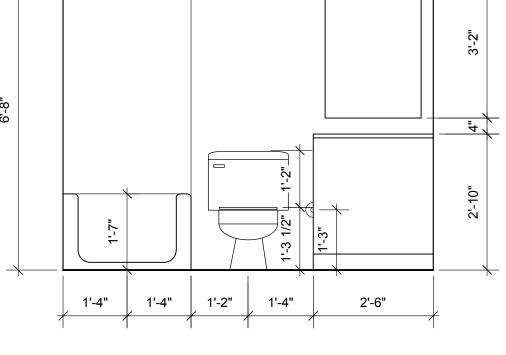


APARTMENTS

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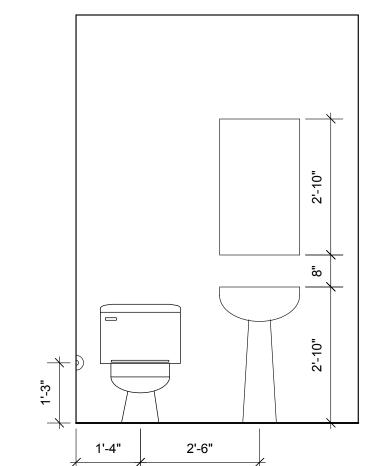
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Interior Elevations



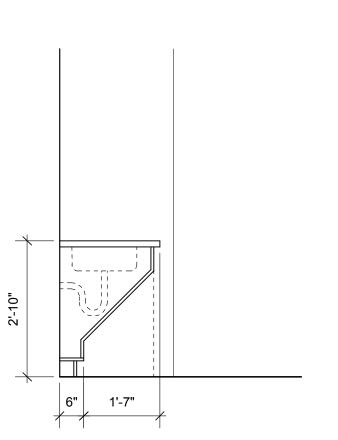
BATHROOM ELEVATION

SCALE: 1/2"=1'-0"

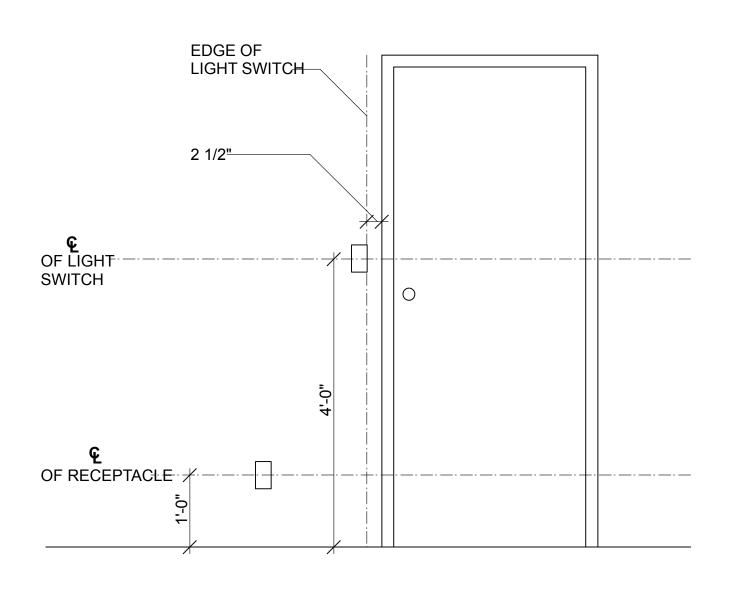


HALF BATH ELEVATION

SCALE: 1/2"=1'-0"

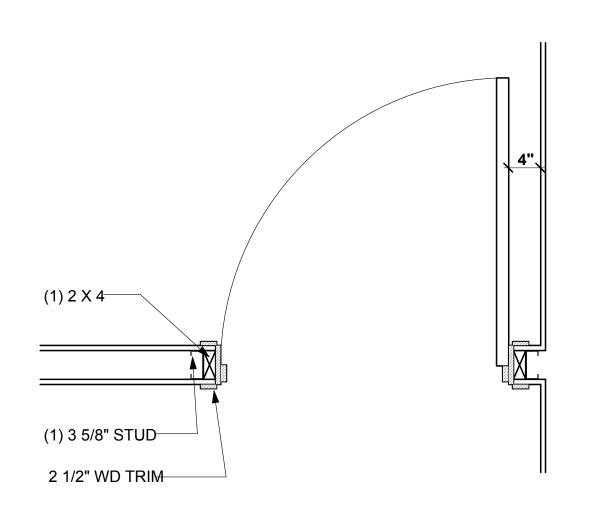


BARRIER FREE SINK SECTION SCALE: 1/2"=1'-0"

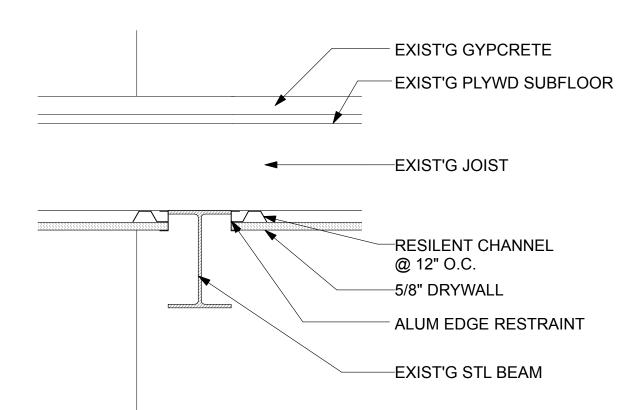


TYP. ELECTRICAL LOCATIONS

SCALE: 3/4"=1'-0"

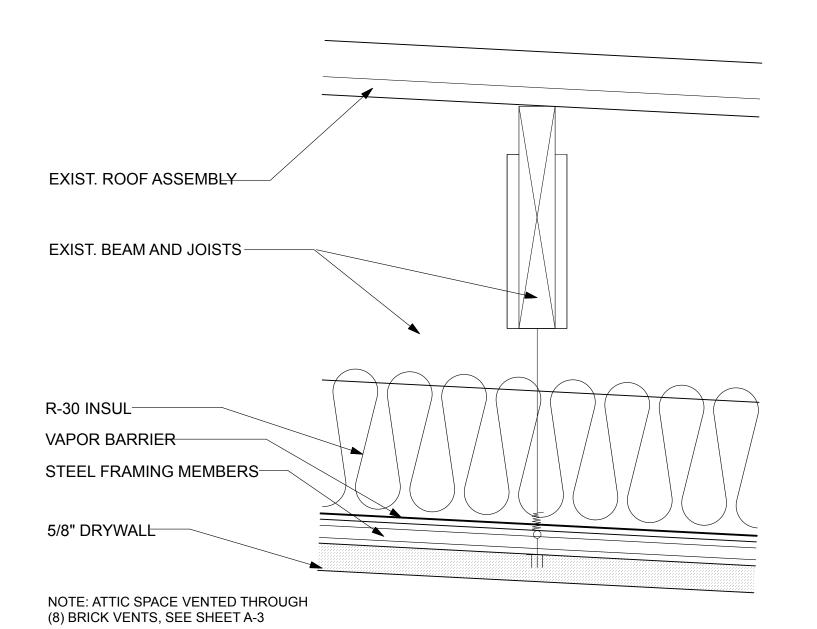


TYP. DOOR PLACEMENT SCALE: 1"=1'-0"



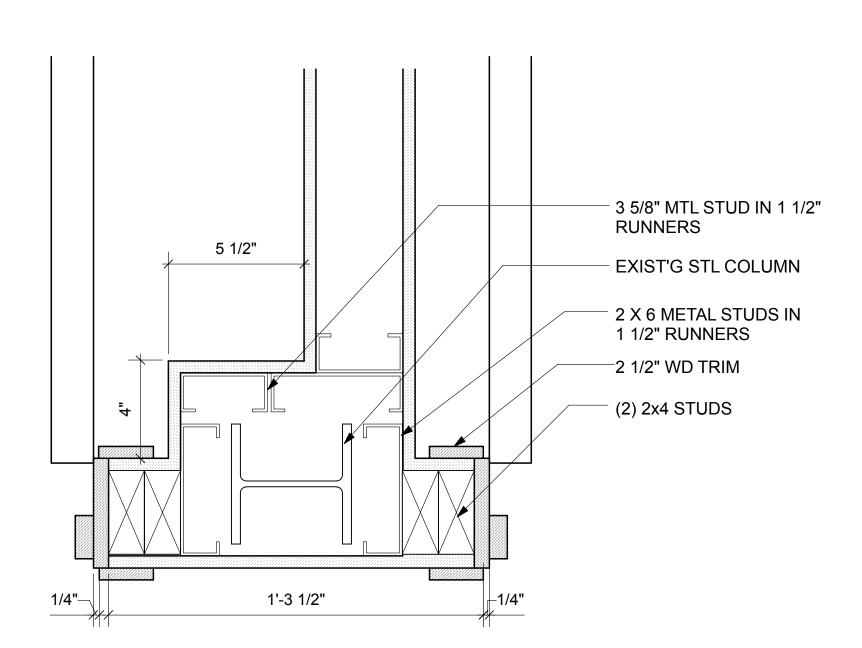
ENLARGED SECTION DETAIL

A-4 SCALE: 1 1/2"=1'-0"

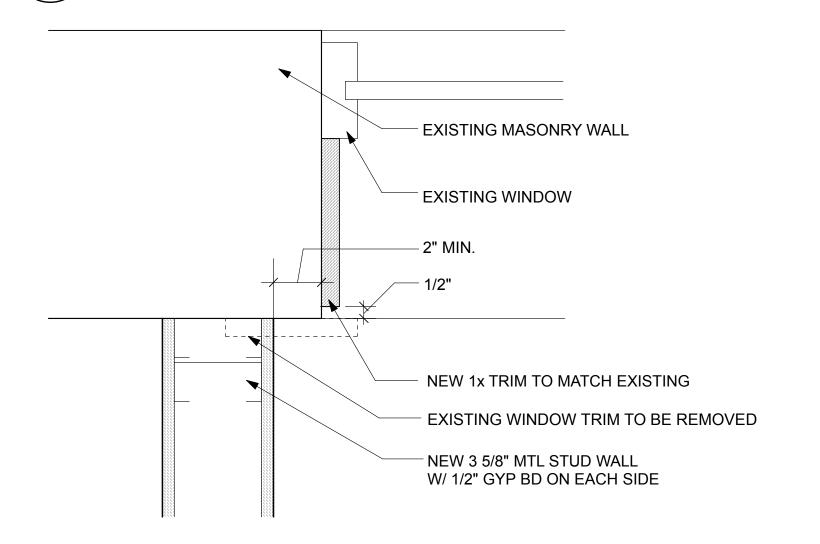


THIRD FLOOR CLG. DETAIL

SCALE: 3"=1'-0"



5 COLUMN ENCLOSURE DETAIL SCALE: 3"=1'-0"





TESILIENT STEEL
CHANNEL

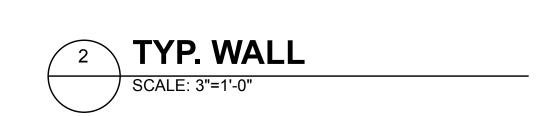
FLOOR & CEILING
RUNNERS

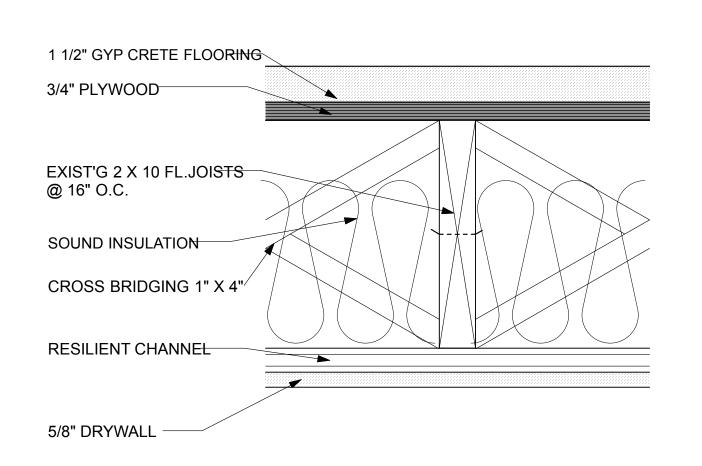
3 5/8" METAL STUDS
@ 16" O.C.

SOUND INSULATION

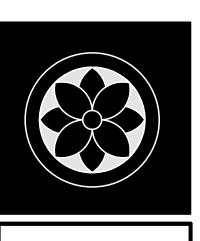
5/8" GYP. BD. EACH
SIDE

3 UNIT SEPARATION WALL @ CORR. SCALE: 3"=1"-0" 1 HOUR WALL PER UL# U423 4 5/8" FLOOR & CEILING RUNNERS 1/2" GYP. BD. EACH SIDE 3 5/8" METAL STUDS @ 16" O.C.









APARTMENTS

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Misc. Details

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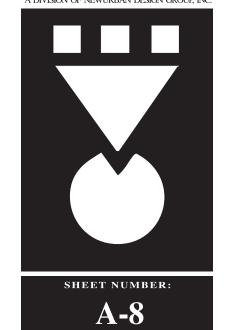
GRISWOLD

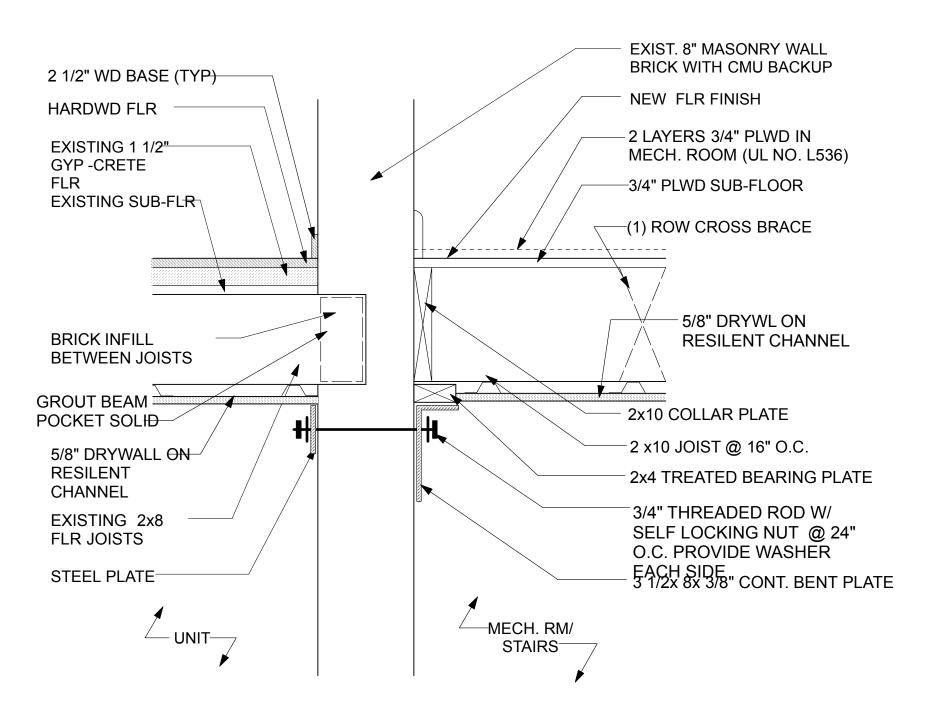
SUITE 5 18

DETROIT, MI

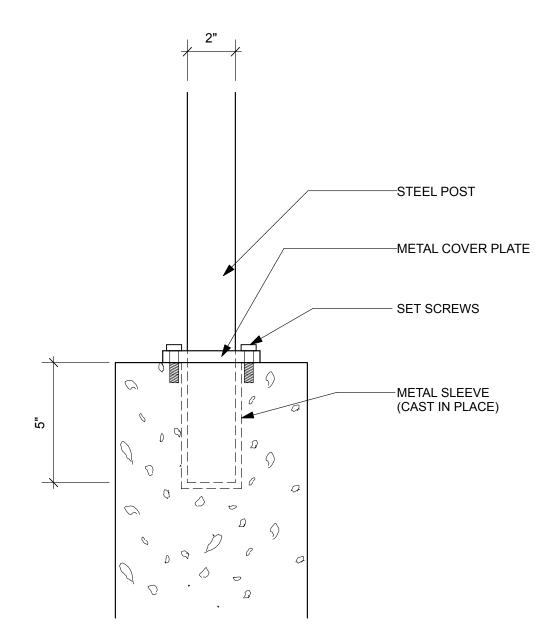
4 8 2 2 6

313.9 6 3.6 6 8 7

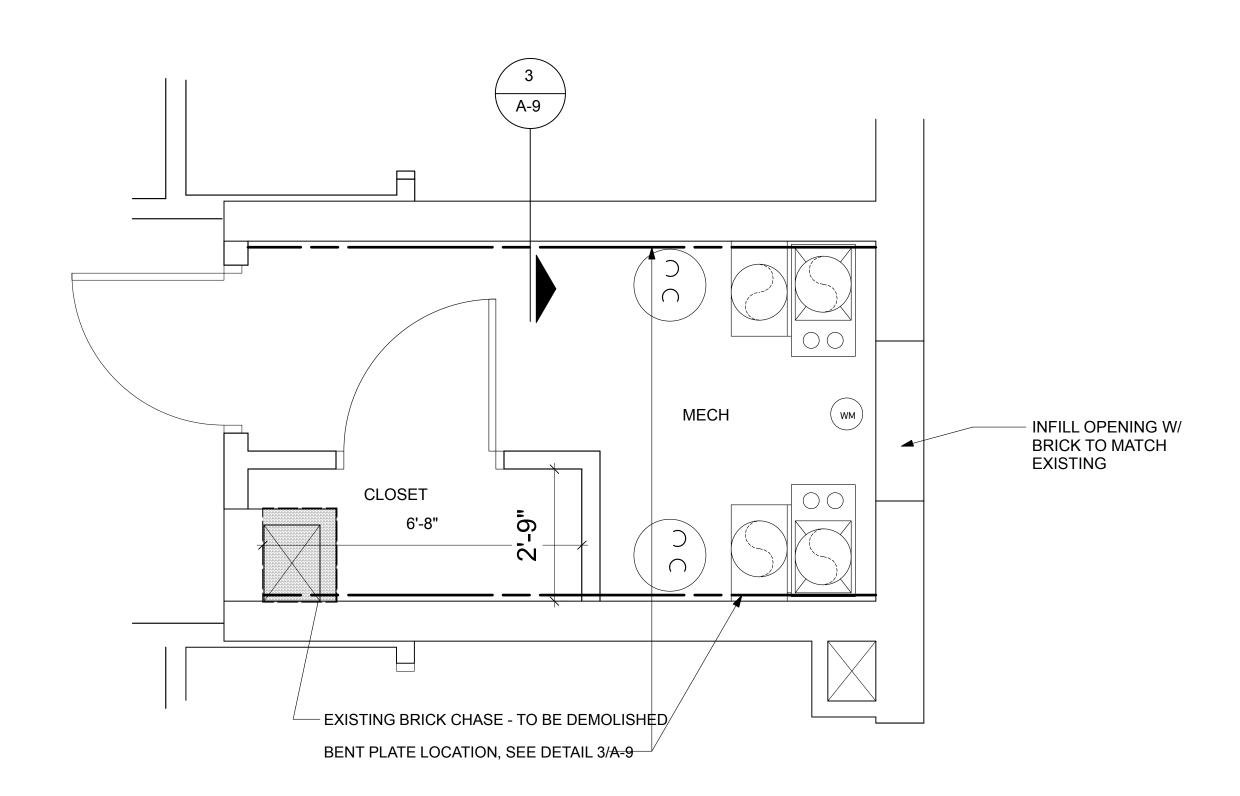




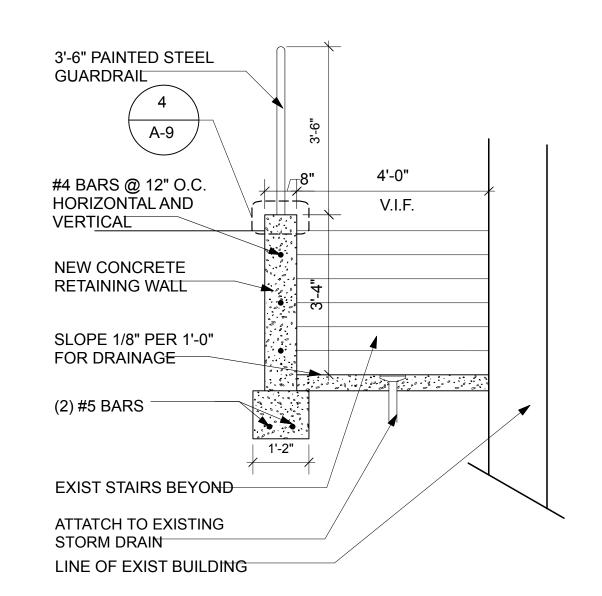




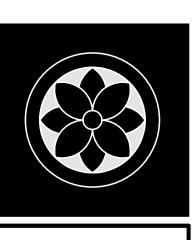




1 ENLARGED MECHANICAL ROOM PLAN SCALE: 1/2"=1'-0"







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910 Marlborough Street
Detroit, Michigan
SHELBORNE DEVELOPMENT

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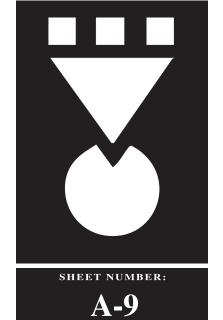
Misc. Details

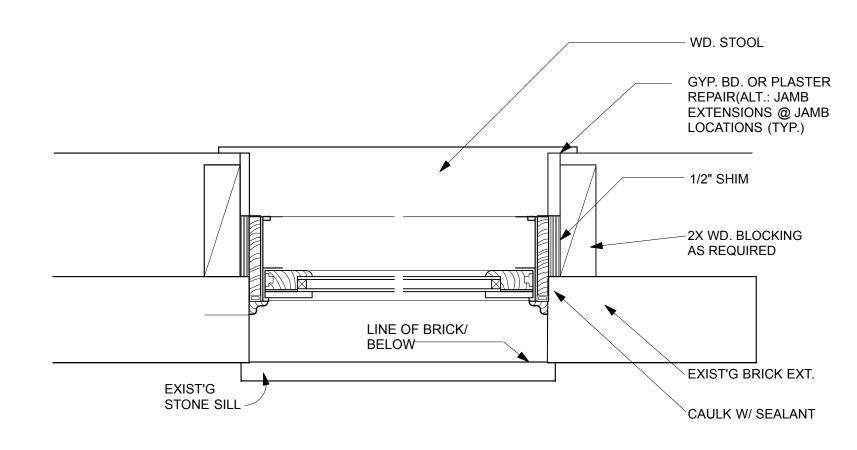
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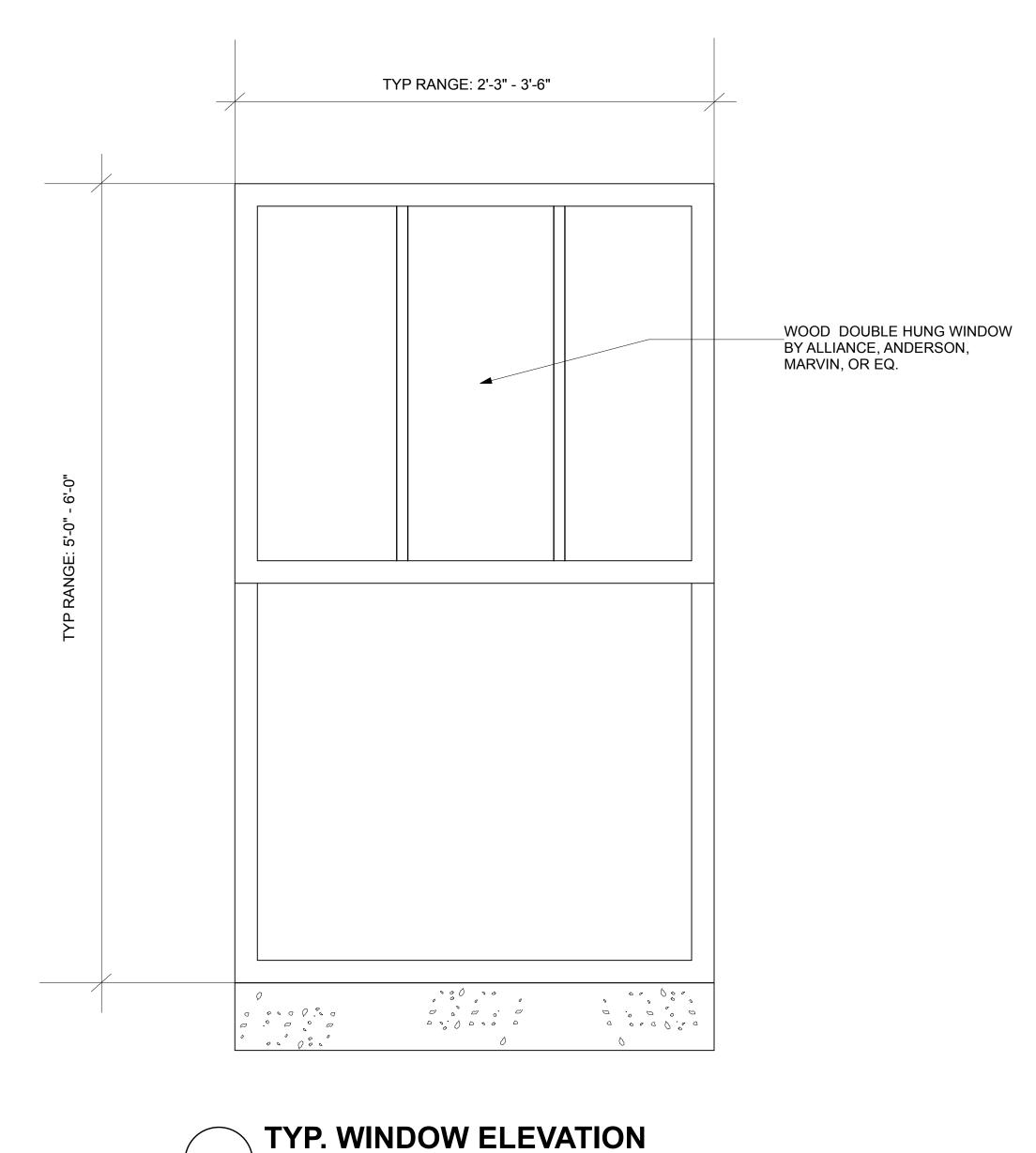
Approved:

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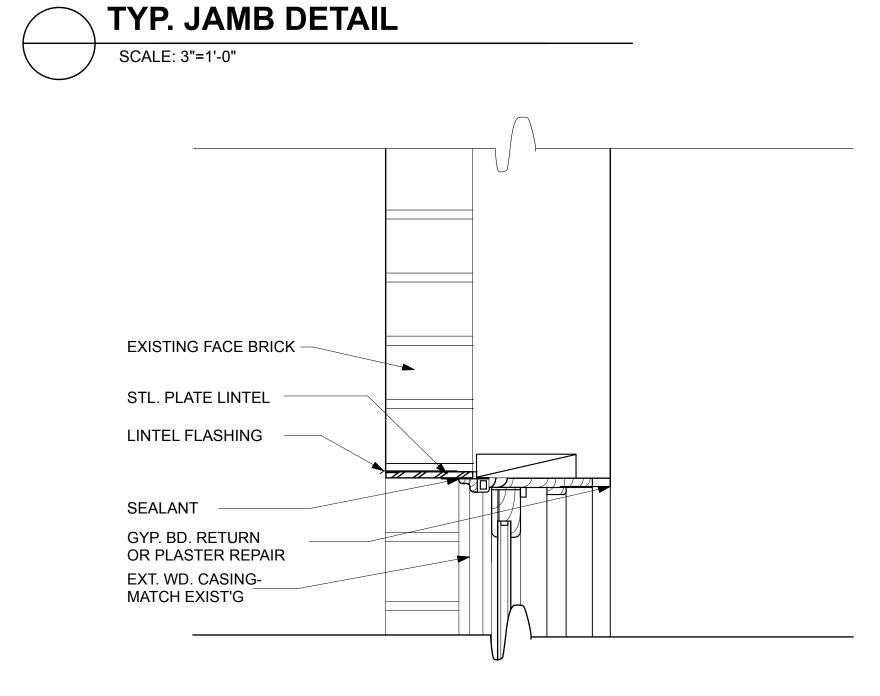
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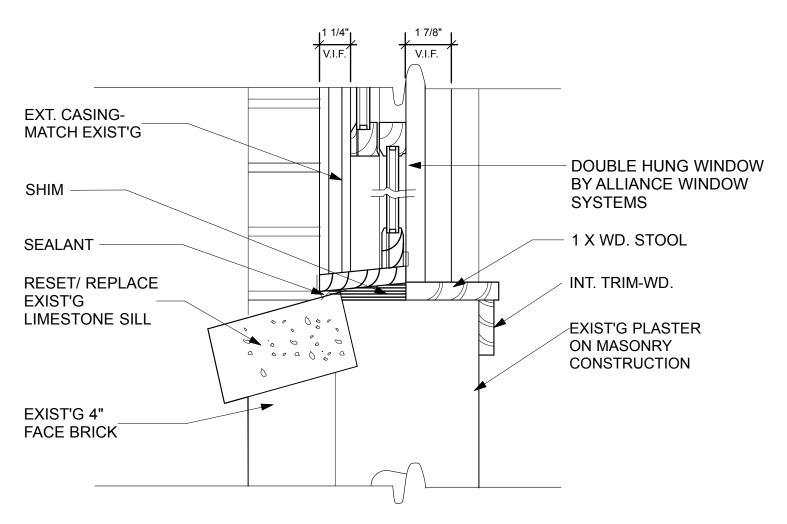




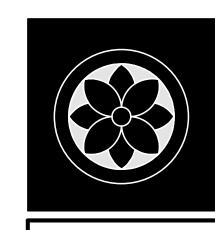
SCALE: 1 1/2"=1'-0"











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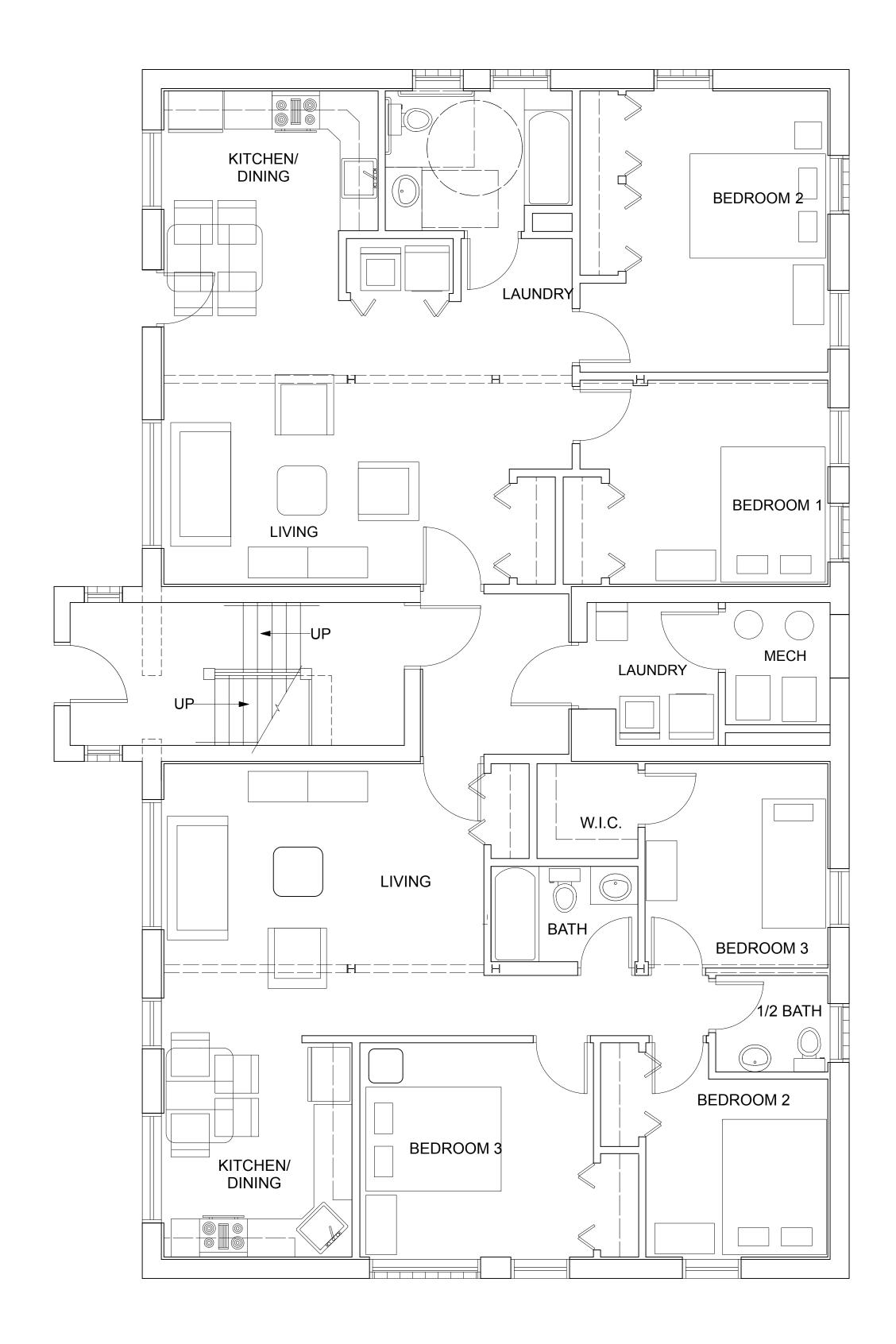
Approved:
Project
Number:

Date: 9.30.02

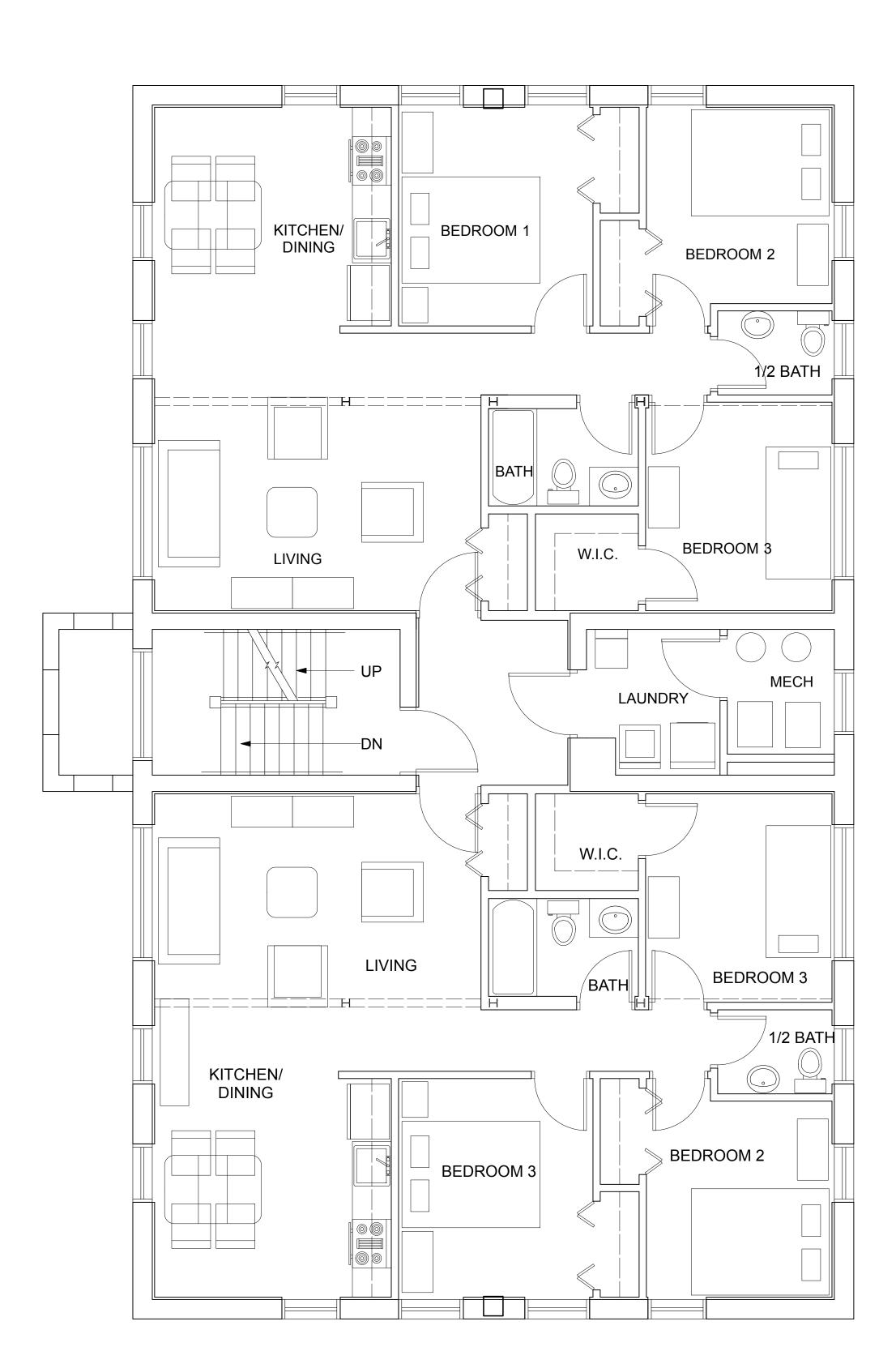
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GRISWOLD
SUITE 5 1 8
DETROIT, MI
4 8 2 2 6
313.9 6 3.6 6 8 7
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sheet number:
A-10









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Project Number:

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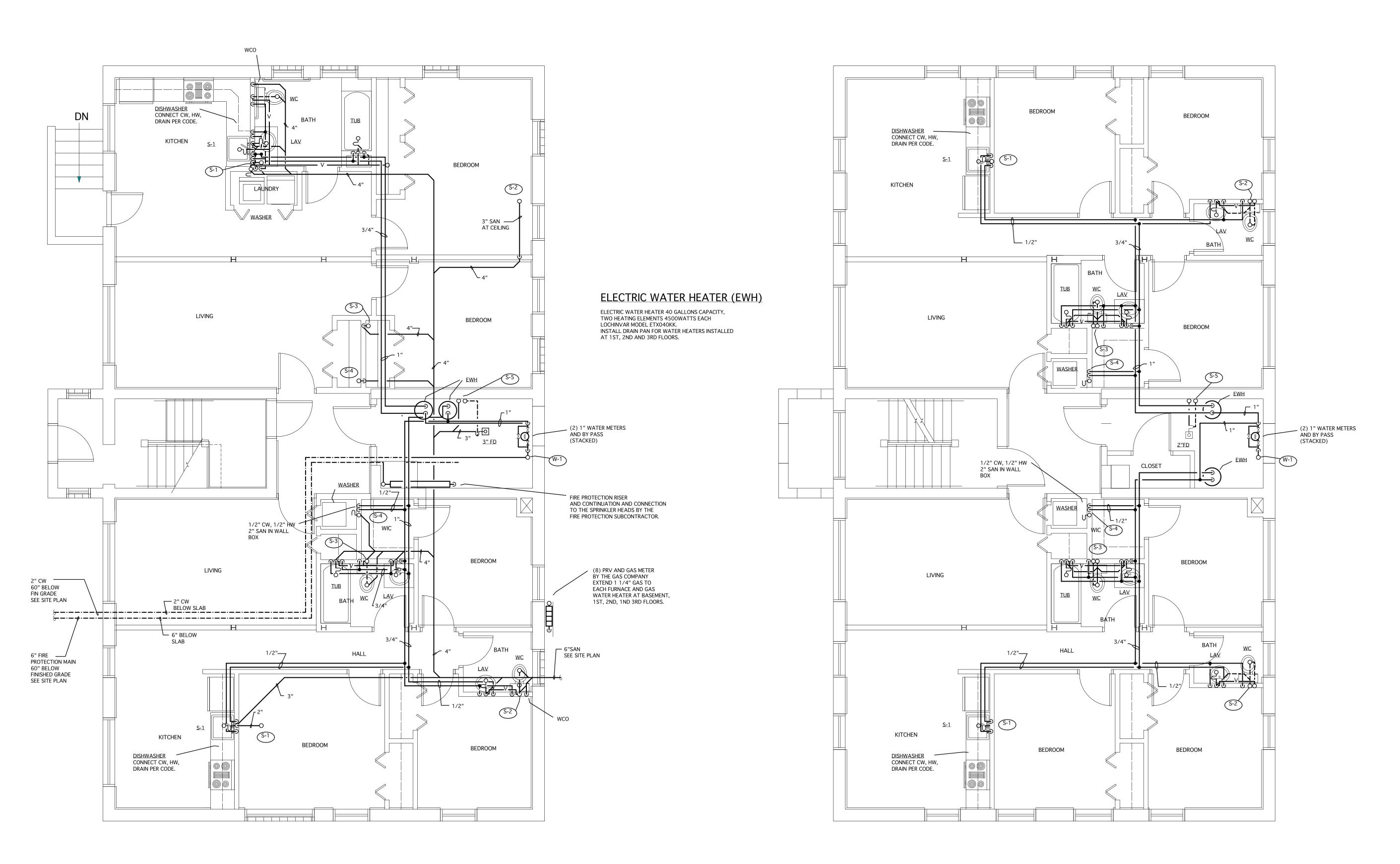
GRISWOLD SUITE 5 1 8

DETROIT, MII 4 8 2 2 6 6 313.9 6 3.6 6 8 7

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SHEET NUMBER:

A-X



BASEMENT FLOOR PLAN - PLUMBING

SCALE: 1/4" = 1'-0"

NOTE:

- ALL HORIZONTAL SAN PIPES SHOWN AS DASHED LINES ARE BELOW SLAB AND TO BE SLOPED 1/8" PER FT.
- 2. ALL CW, HW, VENT PIPES ARE AT BASEMENT CEILING UNLESS NOTED OTHERWISE.

	PLUMBING FIXTURE SCHEDULE				
FIXTURE	COLD WATER	HOT WATER	WASTE	VENT	
WC	1/2"	-	4"	2"	
LAV	1/2"	1/2"	1 1/2"	1 1/2"	
LT	1/2"	1/2"	2"	1 1/2"	
S-1	1/2"	1/2"	1 1/2"	1 1/2"	
TUB	1/2"	1/2"	2"	1 1/2"	
WASHER	1/2"	1/2"	2"	1 1/2"	

NOTE:

INSTALL 3/4 HP GARBAGE DISPOSER UNDER ALL KITCHEN SINKS.

FIRST FLOOR PLAN - PLUMBING

SCALE: 1/4" = 1'-0"

NOTE:

- 1. ALL HORIZONTAL CW, HW AND VENT PIPES ARE AT FIRST FLOOR CEILING, UNLESS NOTE OTHERWISE.
- 2. ALL HORIZONTAL SAN PIPES ARE AT BASEMENT
- 3. SEE RISER DIAGRAMS DRAWING M-5.
- 4. INSTALL 30"x30" FIBER GLASS DRAIN PAN UNDER ALL WATER HEATERS.

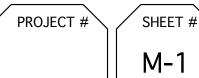
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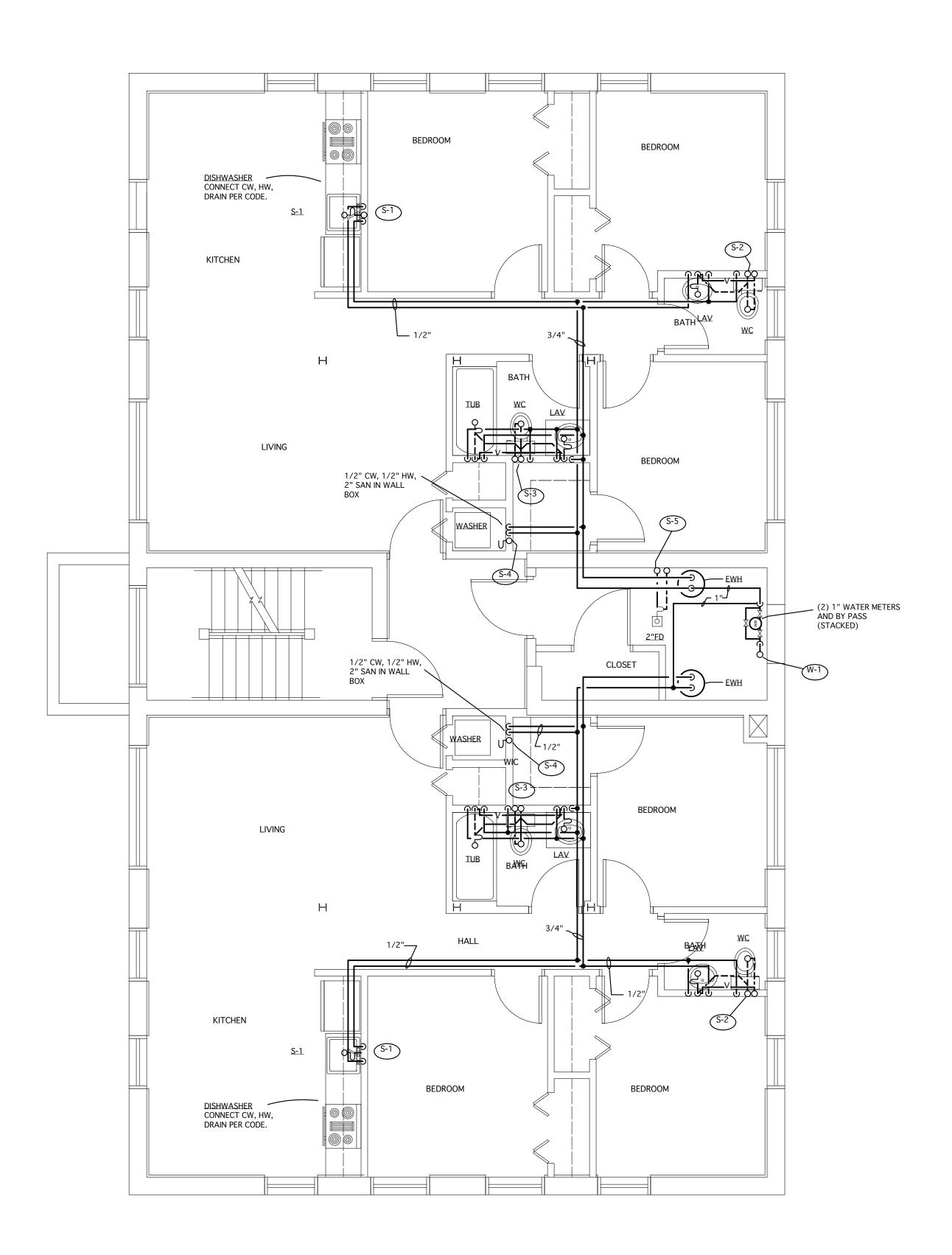
MARLBOROUGH -DETROIT, I

SHEET TITLE

BASEMENT AND FIRST FLOOR PLAN -PLUMBING

DRAWN BY: APPROVED BY: SCALE:



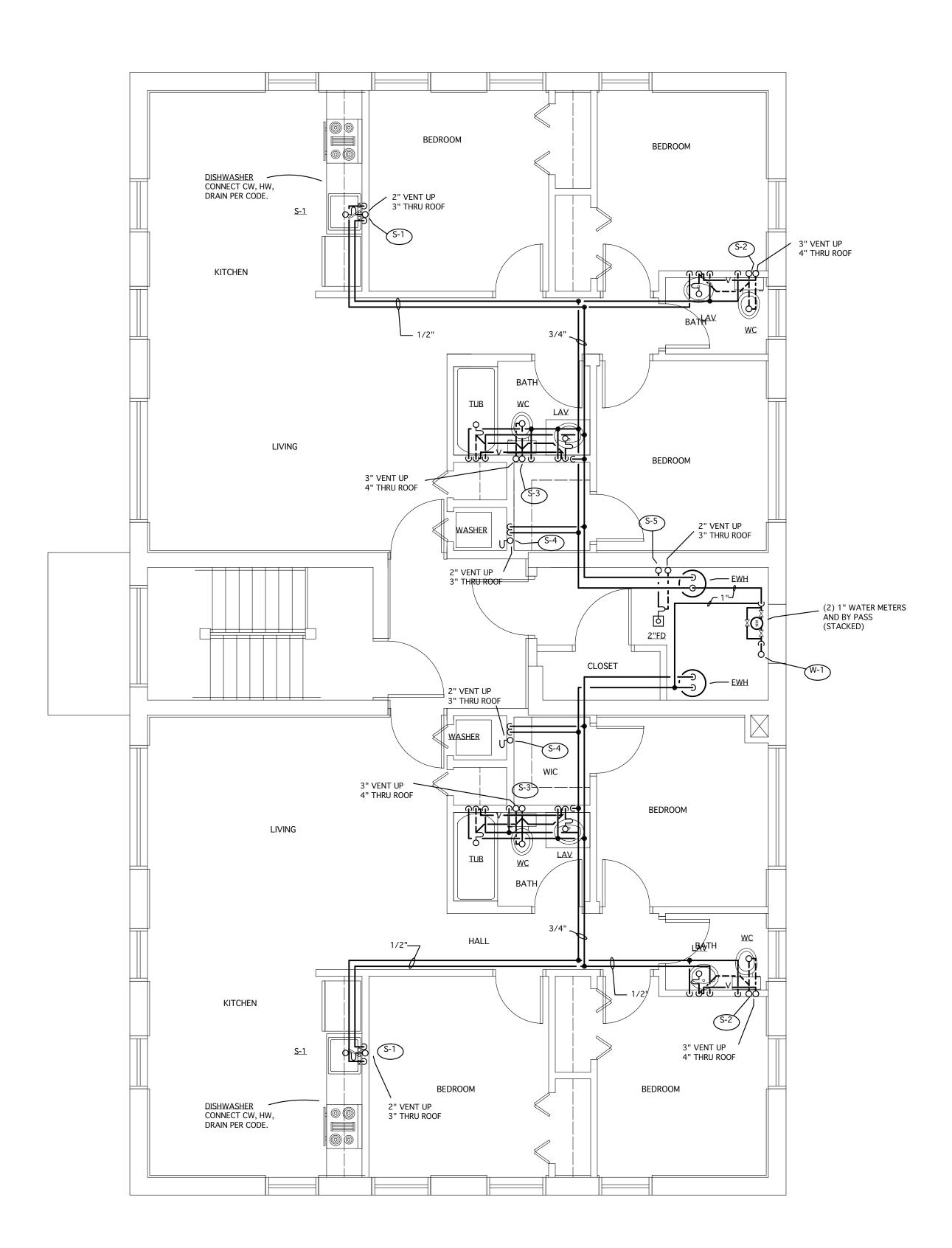


SECOND FLOOR PLAN - PLUMBING

SCALE: 1/4" = 1'-0"

NOTE:

- 1. ALL HORIZONTAL CW, HW AND VENT PIPES ARE AT SECOND FLOOR CEILING, UNLESS NOTE OTHERWISE.
- 2. ALL HORIZONTAL SAN PIPES ARE AT FIRST FLOOR CEILING.
- 3. SEE RISER DIAGRAMS DRAWING M-5.
- 4. INSTALL 30"x30" FIBER GLASS DRAIN PAN UNDER ALL WATERS.



THIRD FLOOR PLAN - PLUMBING

SCALE: 1/4" = 1'-0"

NOTE:

- 1. ALL HORIZONTAL CW, HW AND VENT PIPES ARE AT THIRD FLOOR CEILING, UNLESS NOTE OTHERWISE.
- 2. ALL HORIZONTAL SAN PIPES ARE AT SECOND FLOOR CEILING.
- 3. SEE RISER DIAGRAMS DRAWING M-5.
- 4. INSTALL 30"x30" FIBER GLASS DRAIN PAN UNDER ALL WATERS.

PROJECT TITLE:			
MARLBOROUGH APARTMENTS			
- DETROIT, MICHIGAN		-	

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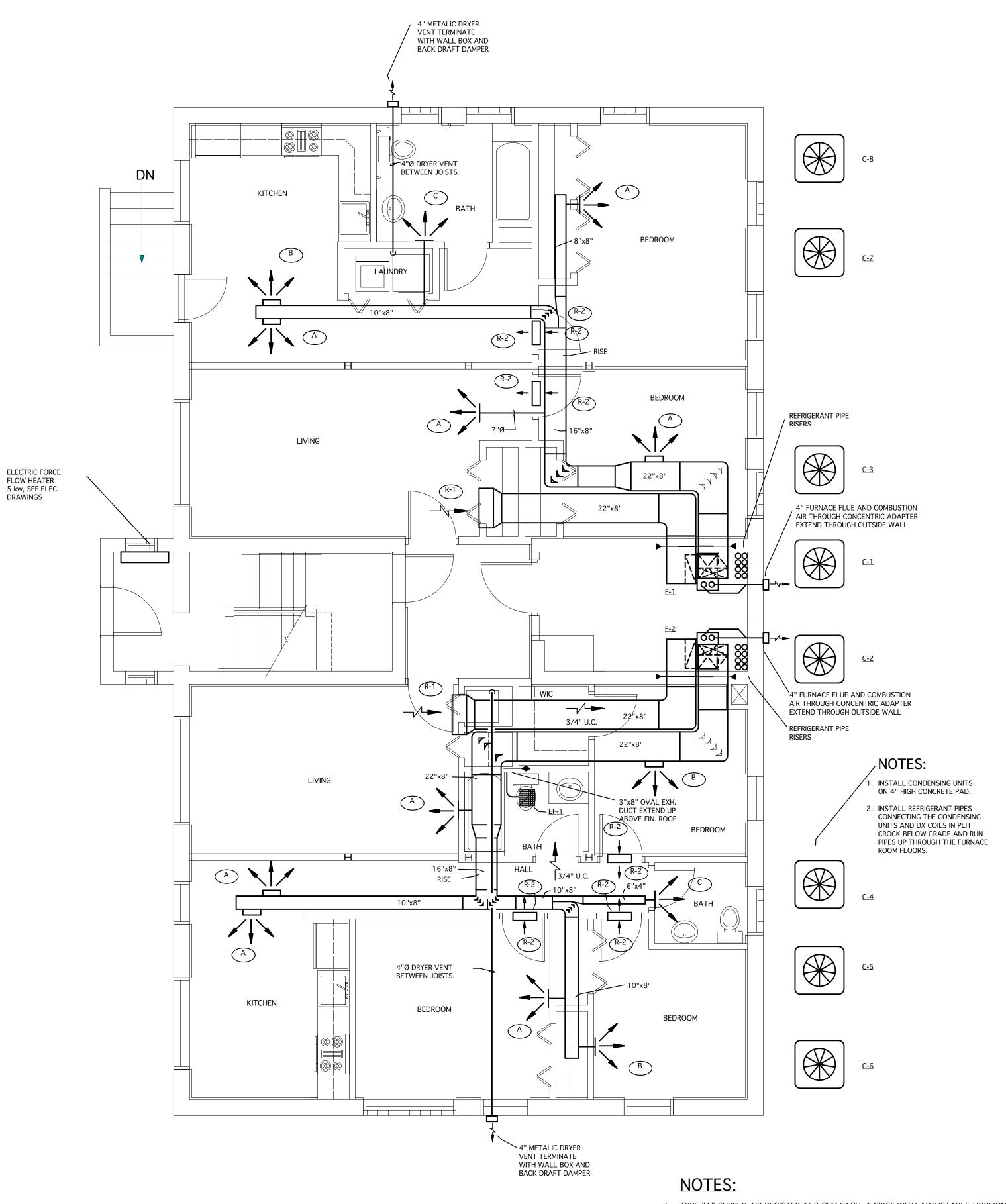
ISSUED FOR

SHEET TITLE

SECOND AND THIRD FLOOR PLAN -PLUMBING

DRAWN BY:		
APPROVED BY:		
SCALE:	-	
DATE:		

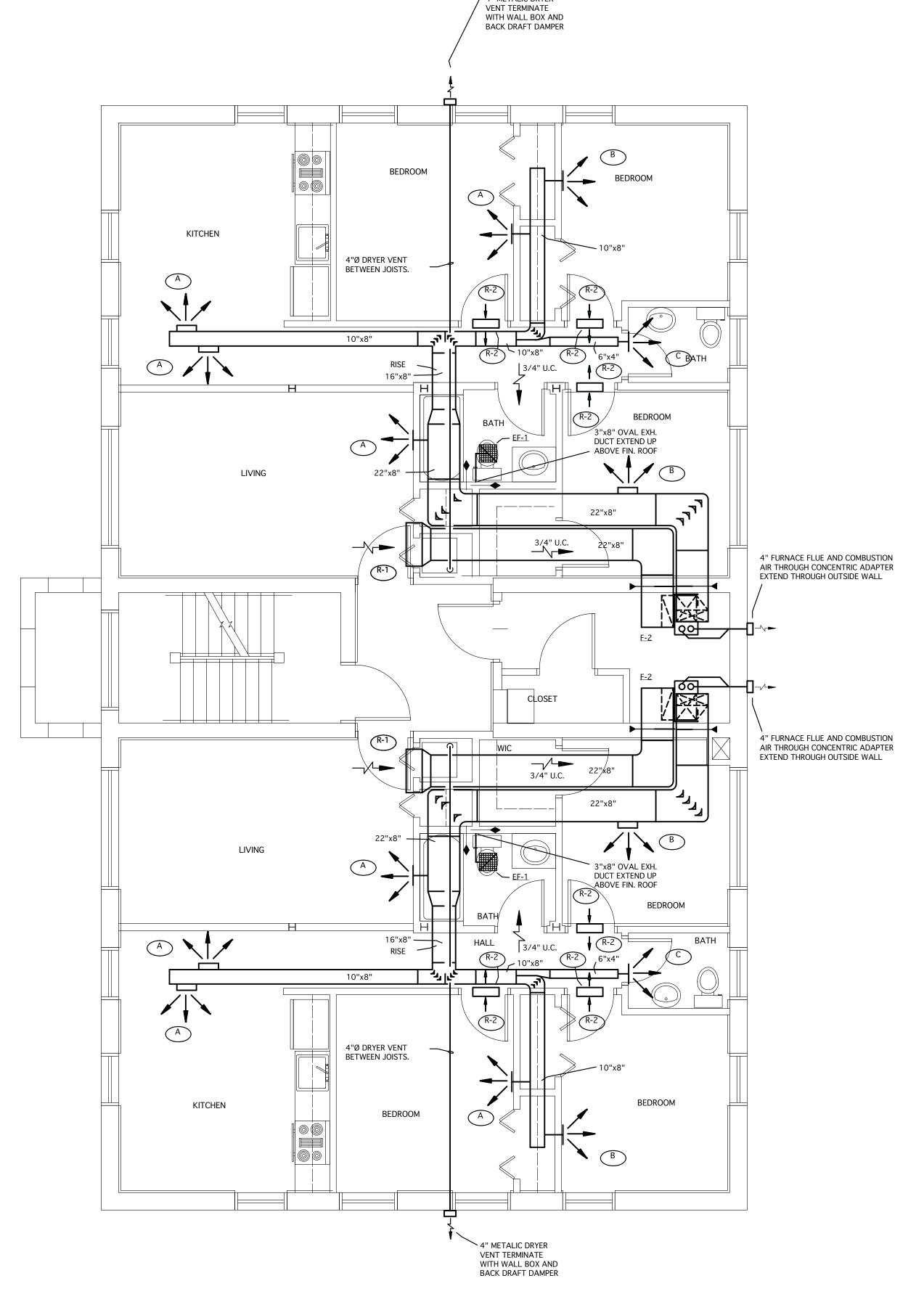
PROJECT # SHEET # M-2



BASEMENT FLOOR PLAN - HVAC

SCALE: 1/4" = 1'-0"

- 1. TYPE "A" SUPPLY AIR REGISTER 150 CFM EACH, 14"X6" WITH ADJUSTABLE HORIZONTAL BAR AND VOLUME DAMPER.
- 2. TYPE "B" SUPPLY AIR REGISTER 100 CFM EACH, 14"X6" WITH ADJUSTABLE HORIZONTAL BAR AND VOLUME DAMPER.
- 3. TYPE "C" SUPPLY AIR REGISTER 50 CFM EACH, 14"X6" WITH ADJUSTABLE HORIZONTAL BAR AND VOLUME DAMPER.
- 4. TYPE EF-1 CEILING EXHAUST FAN 75 CFM, 25" STATIC PRESSURE WITH BACK DRAFT DAMPER. EXTEND 3"x8" OVAL EXHAUST DUCT TO ABOVE FINISHED ROOF TERMINATE WITH GOOSENECK AND BIRD SCREEN
- 5. TYPE "R-1" RETURN AIR GRILLE 30"X8" NEAR CEILING.
- 6. TYPE "R-2" TRANSFER GRILL 18"X8" BOTH SIDES OF THE WALL. INSTALL ABOVE DOOR FRAME.



/ 4" METALIC DRYER

FIRST FLOOR PLAN - HVAC

SCALE: 1/4" = 1'-0"

CONDENSING UNITS (C-1 THRU C-8)

24 MBH COOLING CAPACITY INSTALL ON 4" HIGH PAD INSTALL ALL REFREGERANT PIPOES INCLUDING VALVES, SOLENOID VALVES, EXPANSION VALVE, SIGHTLASS ETC AND CONNECT TO THE DX COIL IN CORRESPONDING FURNACE LENNOX OR APPROVED EQUAL.

FURNACE (F-1, F-2)

HIGH EFFICIENCY FURNACE 50 MBH INPUT, 46 MBH OUTPUT. 1/2 HP MOTOR. INSTALL DX COOLING COIL IN DISCHARGE AIR PLENUM 30 MBH CAPACITY. FURNISH FURNACE WITH PROGRAMMABLE THERMOSTAT. LENNOX MODEL G26Q2-50 OR APPROVED EQUAL.

	DATE	ISSUED FOR
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MARLBOROUGH APARTMENTS -DETROIT, MICHIGAN

SHEET TITLE

BASEMENT AND FIRST FLOOR PLAN -HVAC

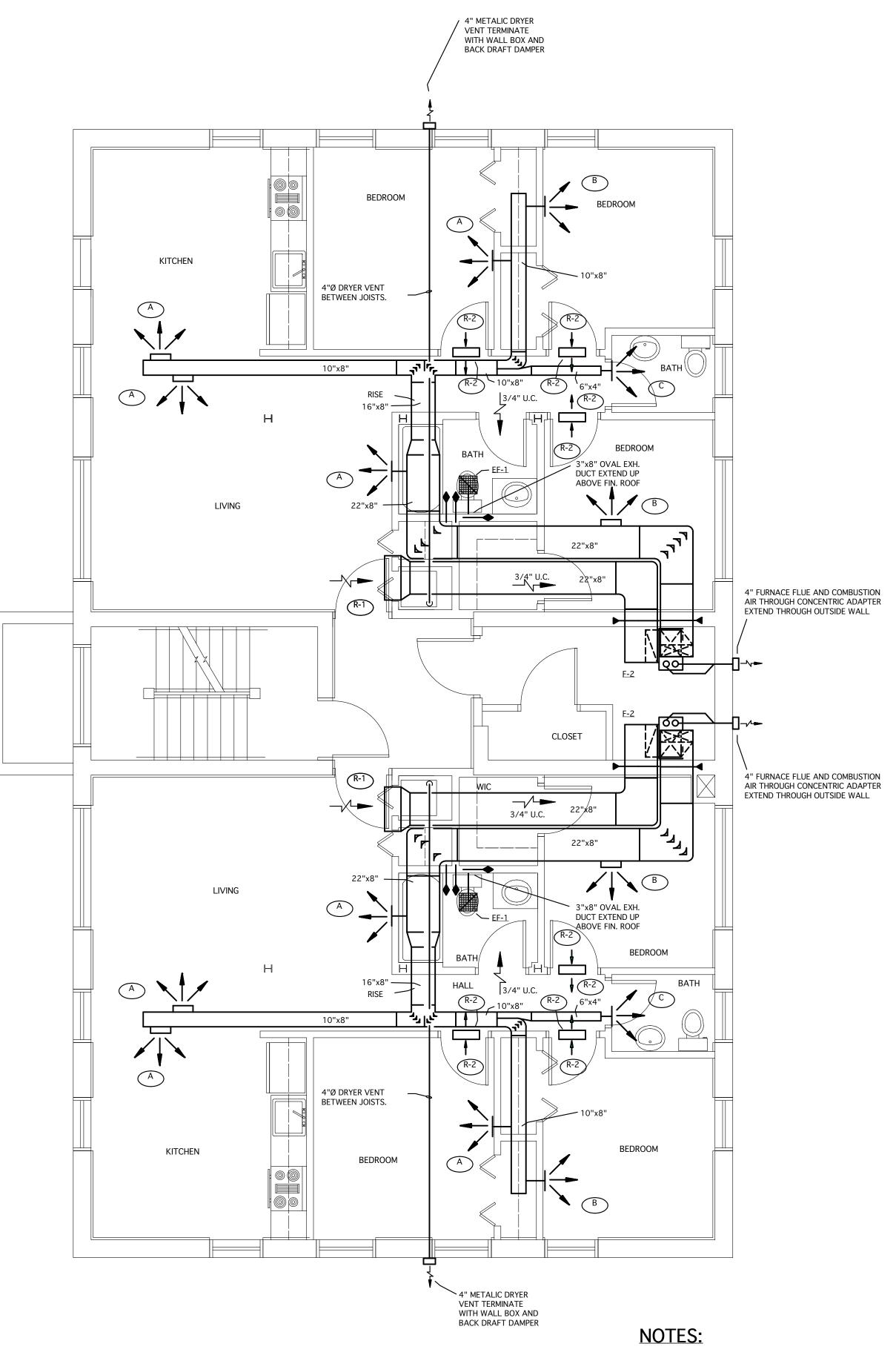
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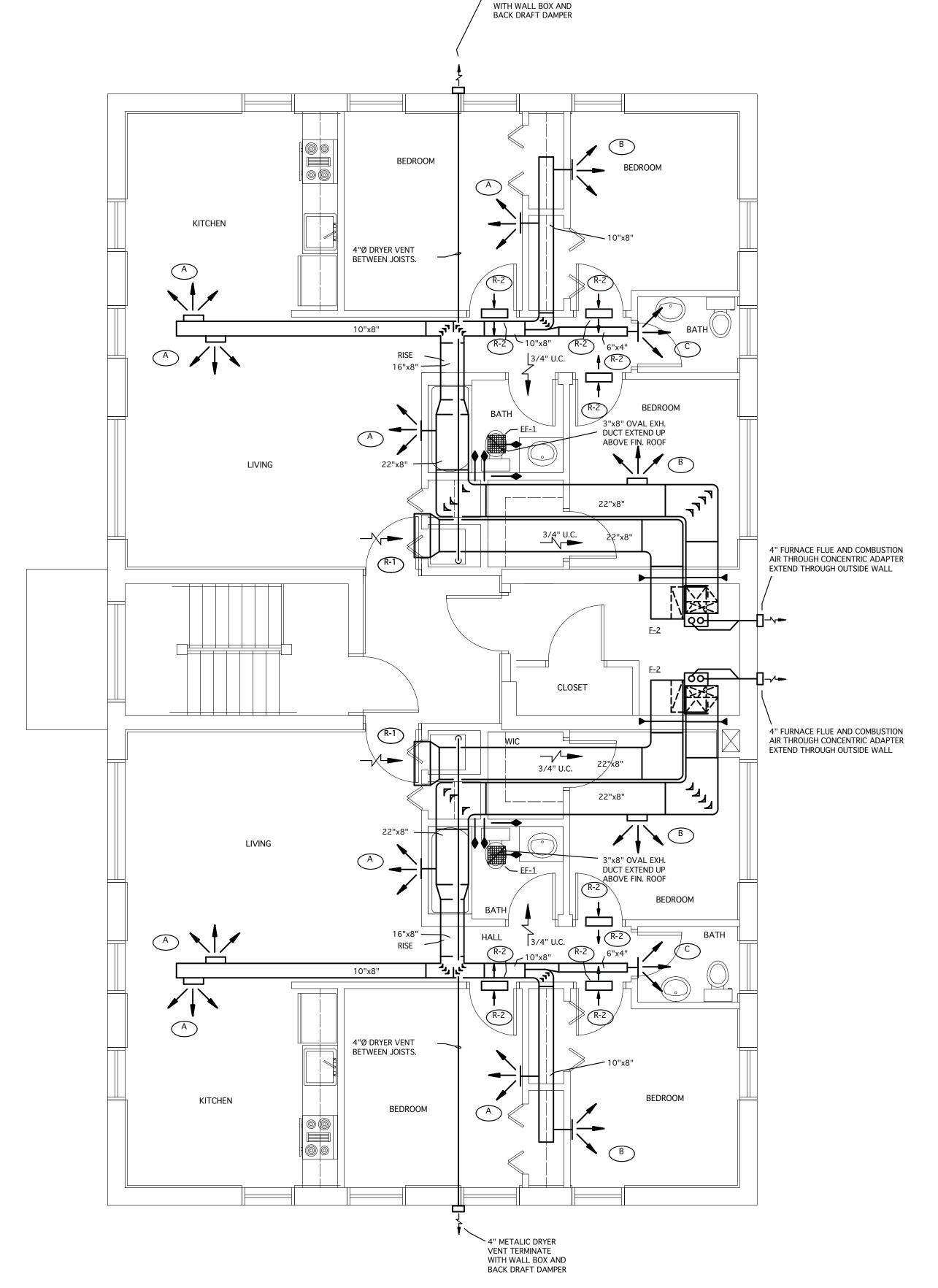


SECOND FLOOR PLAN - HVAC

SCALE: 1/4" = 1'-0"

- 1. TYPE "A" SUPPLY AIR REGISTER 150 CFM EACH, 14"X6" WITH ADJUSTABLE HORIZONTAL BAR AND VOLUME DAMPER.
- 2. TYPE "B" SUPPLY AIR REGISTER 100 CFM EACH, 14"X6" WITH ADJUSTABLE HORIZONTAL BAR
- 3. TYPE "C" SUPPLY AIR REGISTER 50 CFM EACH, 14"X6" WITH ADJUSTABLE HORIZONTAL BAR
- AND VOLUME DAMPER.

 4. TYPE EF-1 CEILING EXHAUST FAN 75 CFM, 25" STATIC PRESSURE WITH BACK DRAFT DAMPER.
- TYPE EF-1 CEILING EXHAUST FAN 75 CFM, 25" STATIC PRESSURE WITH BACK DRAFT DAMPER. EXTEND 3"x8" OVAL EXHAUST DUCT TO ABOVE FINISHED ROOF TERMINATE WITH GOOSENECK SCREEN. AND BIRD SCREEN.
- 5. TYPE "R-1" RETURN AIR GRILLE 30"X8" NEAR CEILING.
- 6. TYPE "R-2" TRANSFER GRILL 18"X8" BOTH SIDES OF THE WALL. INSTALL ABOVE DOOR FRAME.



/ 4" METALIC DRYER VENT TERMINATE

THIRD FLOOR PLAN - HVAC

SCALE: 1/4" = 1'-0"

MARLBOROUGH APARTMENT
DETROIT, MICHIGAN

SHEET TITLE

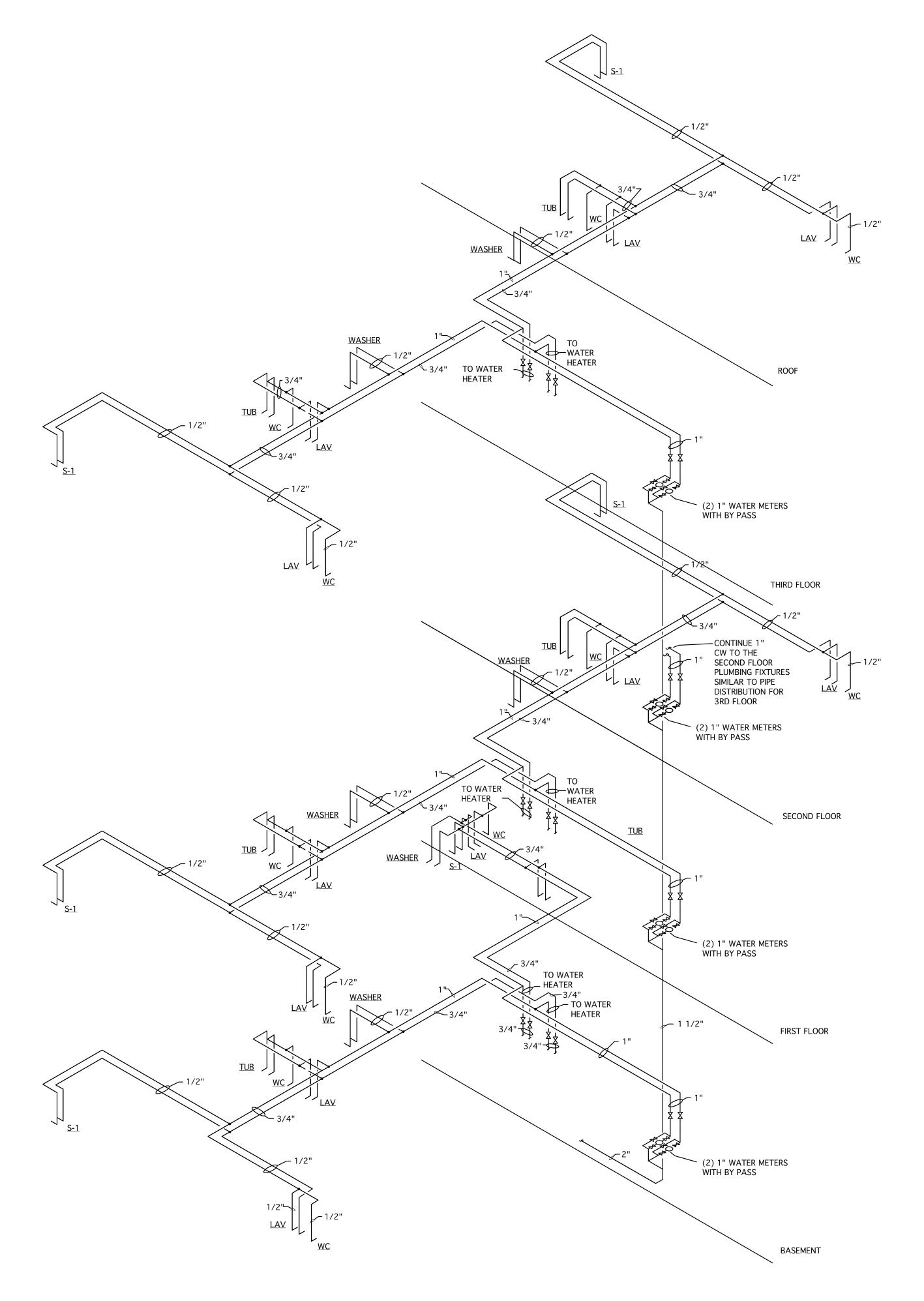
SECOND
AND THIRD
FLOOR PLAN HVAC

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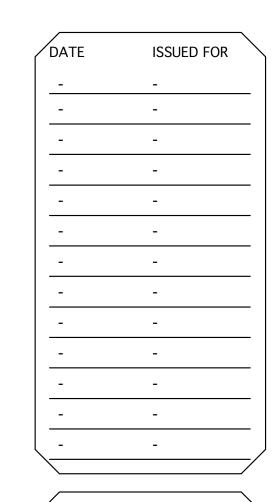
PLUMBING FIXTURES PIPE SIZES						
PLAN CODE	COLD WATER	HOT WATER	VENT	WASTE		
WC	1/2"	-	2"	4"		
LAV	1/2"	1/2"	1 1/2"	1 1/2"		
KITCH. SINK	1/2"	1 2"	1 1/2"	1 1/2"		
WASHER	1/2"	1/2"	1 1/2"	2"		
TUB	1/2"	1/2"	1 1/2"	2"		

NOTE:

INSTALL 3/4" HP. GARBAGE DISPOSER UNDER ALL KITCHEN SINKS.



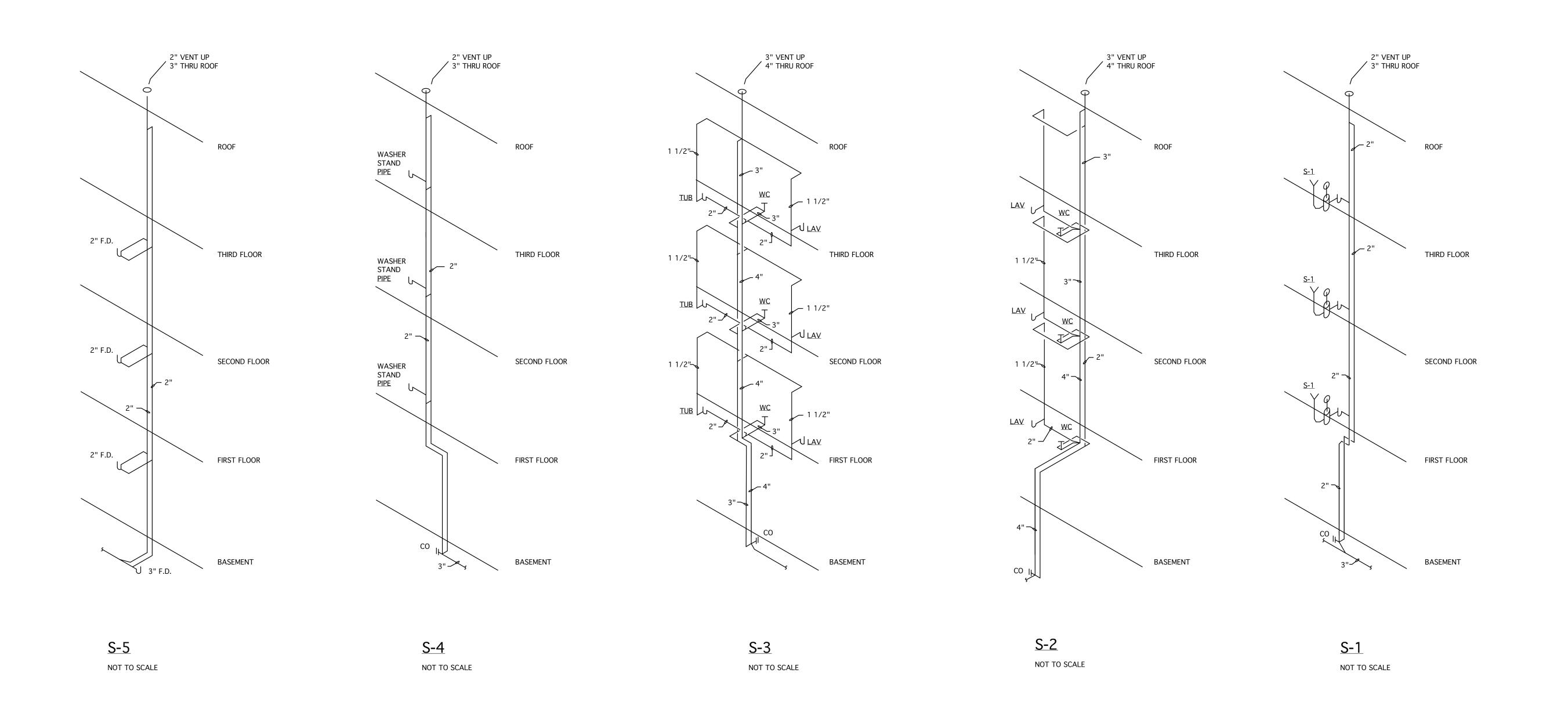
WATER RISERS
NOT TO SCALE



MARLBOROUGH APARTMENTS -DETROIT, MICHIGAN

SHEET TITLE
WATER
RISERS

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SANITARY RISERS
NOT TO SCALE

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MARLBOROUGH APARTMENTS
DETROIT, MICHIGAN

SHEET TITLE
SANITARY
RISERS

DRAWN BY:

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DATE:

MECHANICAL SPECIFICATION

GENERAL NOTES

- 1. THE ACCOMPANYING DRAWINGS SHOW THE ARRANGEMENT, GENERAL DESIGN AND EXTENT OF THE WORK AND ARE MORE OR LESS DIAGRAMMATICAL WITH EQUIPMENT IN ITS GENERAL LOCATION, EXCEPT THAT IN CERTAIN CASES, THE DRAWINGS MAY INCLUDE DETAILS GIVING EXACT LOCATIONS AND ARRANGEMENTS.
- 2. THE DRAWINGS ARE NOT INTENDED TO BE SCALED FOR ROUGHING IN NOR TO SERVE AS SHOP DRAWINGS. IF DRAWINGS ARE REQUIRED FOR THIS PURPOSE OR HAVE TO BE MADE FROM FIELD MEASUREMENTS, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PREPARE SUCH DRAWINGS.
- 3. THE PLANS AND SPECIFICATIONS ARE INTENDED TO INCLUDE ALL WORK AND MATERIALS FOR ENTIRE COMPLETION OF THE WORK. ANY ITEM OF MATERIAL, LABOR OR DETAIL REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK AND OMITTED FROM EITHER THE PLANS AND SPECIFICATIONS OR BOTH, BUT OBVIOUSLY UNDERSTOOD, SHALL BE FURNISHED AS PART OF THE CONTRACT WITHOUT ADDITIONAL COST.
- 4. UPON COMPLETION OF THE CONTRACT, THE OWNER SHALL RECEIVE THROUGH THE ARCHITECT, A COMPLETE SET OF MANUFACTURER'S OPERATING AND MAINTENANCE INSTRUCTIONS AND PARTS LISTS WITH NUMBERS AND DESCRIPTIONS FOR EACH PIECE OF EQUIPMENT. AT THE COMPLETION OF THE JOB, THE CONTRACTOR SHALL PREPARE A PRINTED SET OF OPERATING INSTRUCTIONS FOR ALL MECHANICAL SYSTEMS AND EQUIPMENT FOR USE BY THE OWNER'S MAINTENANCE PERSONNEL. THE CONTRACTOR SHALL ALSO PROVIDE THE OWNER'S PERSONNEL WITH INSTRUCTIONS IN THE OPERATIONAL USE OF ALL SYSTEMS AND EQUIPMENT.
- 5. THE CONTRACTOR SHALL PREPARE FABRICATION DRAWINGS AS NECESSARY TO ASSURE THAT ALL OF HIS WORK WILL FIT WITHIN THE ALLOTTED SPACE. THE FABRICATION DRAWINGS SHALL SHOW ALL HVAC AND PLUMBING EQUIPMENT, SPECIALTIES AND DEVICES AND ALL RELATED SHEET METAL DUCTWORK, PLUMBING PIPING, GAS PIPING, FIRE PROTECTION PIPING OR OTHER MECHANICAL ITEMS WHICH ARE TO BE INSTALLED WITHIN THE CEILING SPACE.
- 6. SHOP DRAWINGS, PORTFOLIOS AND/OR CATALOGUES ON ALL ITEMS OF MECHANICAL EQUIPMENT SPECIFIED HEREIN SHALL BE SUBMITTED TO THE ENGINEER FOR WRITTEN APPROVAL BY THE ENGINEER. NO EQUIPMENT SHALL BE DELIVERED TO THE JOB SITE UNTIL SAID APPROVAL IS ISSUED.
- 7. AT THE END OF THE JOB, CONTRACTOR SHALL SUBMIT TO THE ENGINEER FOR THE OWNER, PARTS AND MATERIALS MANUALS ON ALL ITEMS OF MECHANICAL EQUIPMENT.
- 8. THE CONTRACTOR SHALL SUBMIT A MINIMUM OF SEVEN (7) COPIES OF SHOP DRAWINGS COVERING EACH ITEM OF MECHANICAL EQUIPMENT.
- 9. THE MECHANICAL WORK INTENDED UNDER THESE SPECIFICATIONS, AND AS INDICATED ON THE DRAWINGS SHALL CONSIST OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES TOGETHER WITH SUPERVISION AND TOOLS NECESSARY FOR INSTALLATION OF HEATING, AIR CONDITIONING, PLUMBING, AND FIRE PROTECTION SYSTEMS.
- 10. ALL WORK SHALL BE IN STRICT CONFORMITY WITH BOCA, OSHA, MIOSHA, AND ALL LOCAL AND STATE RULES, AND REGULATIONS, AND CODES APPLICABLE TO THE TRADE AFFECTED.
- 11. THE CONTRACTOR SHALL MAKE APPLICATION FOR ALL PERMITS, AND LICENSES NECESSARY FOR THE PROSECUTION OF HIS WORK, AND SHALL PAY ALL FEES, AND COMPLY WITH ALL LAWS, ORDINANCES, RULES AND REGULATIONS GOVERNING THE INSTALLATION OF HIS WORK.
- 12. THIS CONTRACTOR SHALL PROVIDE ALL LABOR FOR THE COMPLETE ERECTION OF THE INSTALLATION, ALL LABOR TO BE PERFORMED BY COMPETENT WORKMEN SKILLED IN THEIR PARTICULAR BRANCHES OF THE TRADE.
- 13. THIS CONTRACTOR SHALL REMOVE ALL RUBBISH, AND DIRT RESULTING FROM HIS WORK, FROM THE BUILDING, AND PREMISES. SUCH RUBBISH, AND DIRT SHALL BE REMOVED NOT ONLY ON COMPLETION OF THE WORK, BUT ALSO AT SUCH OTHER TIMES AS THE RUBBISH MAY ACCUMULATE TO THE EXTENT OF INTERFERING WITH THE CONSTRUCTION WORK.
- 14. THE CONTRACTOR, ON HIS OWN BEHALF, SHALL ISSUE A WRITTEN GUARANTEE COVERING THE WORK UNDER THIS CONTRACT AND INCLUDE THE GUARANTEES OF HIS SUB-CONTRACTORS, ALL OF WHICH HE SHALL BE HELD RESPONSIBLE FOR.
- 15. ALL GUARANTEES SHALL BE FOR THE OWNER'S PROTECTION AGAINST DEFECTIVE WORKMANSHIP, AND/OR MECHANICAL DEFECTS IN EQUIPMENT AND MATERIALS.
- 16. GUARANTEE SHALL BE EFFECTIVE FOR A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL CERTIFICATE.
- 17. SHOULD ANY DEFECTS APPEAR DURING THE PERIOD OF THE GUARANTEE, THE CONTRACTOR SHALL MAKE GOOD ANY SUCH DEFECTS, REPLACING ALL MATERIALS EFFECTED THEREBY, AND MAKE GOOD ANY DAMAGE TO WORK AND MATERIALS INSTALLED BY HIM UNDER HIS CONTRACT.
- 18. AT THE COMPLETION OF HIS WORK, THE MECHANICAL CONTRACTOR SHALL REMOVE ALL REFUSE, AND DIRT, MAKE ANY, AND ALL ADJUSTMENTS REQUIRED, AND LEAVE HIS WORK IN CLEAN AND PROPER WORKING ORDER.
- 19. UPON THE COMPLETION OF THE PLUMBING WORK, COMPLETE TESTS SHALL BE MADE TO THE SATISFACTION OF THE ENGINEER. ALL PIPING SHALL BE TESTED AS PRESCRIBED IN THE RULES, AND REGULATIONS OF THE CITY OF DETROIT AND WAYNE COUNTY BOARD OF HEALTH.
- EXISTING BUILDING NOTES
- I. BEFORE SUBMITTING PROPOSALS FOR THE WORK, EACH BIDDER SHALL BE HELD TO HAVE EXAMINED THE PREMISES, AND SATISFIED HIMSELF AS TO THE EXISTING CONDITIONS UNDER WHICH HE WILL BE OBLIGED TO WORK IN PERFORMING HIS PART OF THE WORK. NO EXTRAS WILL BE ALLOWED THE CONTRACTOR ON ACCOUNT OF HIS FAILURE TO MAKE THE ABOVE MENTIONED EXAMINATION OR NEGLECT TO INCLUDE ALL MATERIALS, AND LABOR REQUIRED TO COMPLETE THE WORK.
- 2. ALL CHASES, RECESSES, AND CORING OF CONCRETE BLOCK WALLS REQUIRED FOR INSTALLATION OF NEW PIPES SHALL BE BY
- 3. ALL CUTTING, AND PATCHING OF EXISTING WALLS, FLOORS, CEILING, ETC., REQUIRED FOR INSTALLATION OF THE NEW WORK WITHIN THE EXISTING BUILDING SHALL BE DONE BY THIS CONTRACTOR. ALL WORK SHALL BE DONE IN A NEAT MANNER SO AS TO RESTORE ALL DAMAGED SURFACES, USING MATERIALS MATCHING EXISTING.

NEW WORK NOTES

- 1. ALL EXCAVATION, BACKFILLING, PIPE SLEEVES, ETC., SHALL BE BY THE CONTRACTOR.
- 2. ALL PATCHING, AND FLASHING OF THE ROOF AREAS FOR EXHAUST AIR OPENING, AND EQUIPMENT ROOF CURBS BY THE CONTRACTOR.
- 3. PROVIDE SEPIA "AS-BUILT" DRAWINGS AT COMPLETION SHOWING ALL DUCT SIZES, LOCATIONS, DAMPERS, ETC., INSTALLED OR MODIFIED UNDER THIS CONTRACT.

PIPE AND PIPE FITTINGS

- 1. ALL DOMESTIC COLD WATER, HOT WATER, HOT WATER RECIRCULATING ABOVE GROUND OR EXPOSED SHALL BE TYPE "L" HARD SEAMLESS COPPER TUBING. PIPES BELOW GROUND SHALL BE TYPE "K" COPPER TUBING WITH WROUGHT COPPER FITTINGS, AND SILVER SOLDERED JOINTS.
- 2. GAS PIPING 3", AND UNDER SHALL BE SCHEDULE 40, ASTM-A120 SCREWED FITTINGS BLACK STEEL.
- 3. FIRE PROTECTION PIPE SHALL CONFORM WITH NFPA-13 REQUIREMENTS.
- 4. SANITARY, AND STORM UNDERGROUND SHALL BE SERVICE WEIGHT CAST IRON SOIL PIPE, AND FITTINGS.
- 5. STORM, SANITARY WASTE AND VENT PIPING ABOVE GROUND SHALL BE SCHEDULE 40, ASTM-D-2447-74, FIRE RETARDANT POLYPROPYLENE CONFORMING TO ASTM-D-635, AND ASTM-D-2843. SANITARY WASTE PIPING CONNECTIONS SHALL BE SCHEDULE 40 P.V.C.
- 6. INSTALL CLEANOUTS NOT MORE THAN FIFTY FEET APART ON HORIZONTAL WASTE, AND STORM PIPING.
- 7. HORIZONTAL PIPES SHALL BE SUPPORTED AS LISTED BELOW:

PIPE SIZE	ROD DIAMETER	SPACING
UP TO 1-1/4"	3/8"	8 FT.
1-1/2" AND 2"	3/8"	10 FT.

SHUT OFF VALVES

- 1. SHUT-OFF VALVES FOR DOMESTIC WATER UP TO, AND INCLUDING 1-1/4" SHALL BE SOLDERED ALL BRASS, 200 POUNDS PRESSURE.
- 2. SHUT-OFF VALVES SHALL BE LUNKENHEIMER OR NIBCO.

NATURAL GAS VALVES

- 1. GAS STOP COCKS SHALL BE LEVER HANDLE, CRANE NO. 298.
- 2. BRANCH LINE VALVES SHALL BE 200 POUNDS SCREWED TYPE FOR SIZES INCLUDING 2".
- 3. GAS VALVES SHALL BE ACF OR WALWORTH.

INSULATION

- 1. PROVIDE PIPE INSULATION FOR ALL DOMESTIC HOT WATER, AND DOMESTIC HOT WATER RECIRCULATED PIPES. INSULATION THICKNESS SHALL BE 1" FOR PIPES 1/2" TO 2".
- 2. INSULATE ALL DOMESTIC COLD WATER PIPES WITH 1" THICK INSULATION.

PLUMBING NOTES

PLUMBING FIXTURES:

ALL PLUMBING FIXTURES INCLUDING WC, LAV, TUB, SHOWER, KITCHEN SINK TO BE SELECTED BY THE OWNER.

AIR DISTRIBUTION

- 1. GRILLES, REGISTER, DIFFUSERS
- A. AIR OUTLETS SHALL BE OF SIZE, AND CAPACITIES AS SHOWN ON DRAWINGS AS MANUFACTURED BY TITUS OR

2. DUCTWORK

- A. ALL DUCTWORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SMACNA STANDARDS WITH SIZES AS SHOWN ON DRAWINGS.
- 3. FURNISH, AND INSTALL FUSIBLE LINK FIRE DAMPERS AS REQUIRED WHENEVER A SUPPLY, RETURN, OR EXHAUST AIR DUCTWORK PASSES THROUGH RATED WALLS OR FLOORS.

4. ACCESS DOORS

- A. INSTALL ACCESS DOORS IN CEILINGS FOR ACCESS TO SHUT-OFF VALVES, AND CONTROLS.
- 5. INSTALL VOLUME DAMPERS IN ALL SUPPLY AIR DUCTWORK BRANCHES LEADING TO SUPPLY AIR DIFFUSERS.

FIRE PROTECTION

- 1. THE MECHANICAL WORK INTENDED UNDER THIS SPECIFICATION, AND AS SHOWN OR INDICATED ON THE DRAWINGS HERETOFORE MENTIONED, SHALL CONSIST OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, SPECIALTIES, AND SERVICES, TOGETHER WITH SUPERVISION, TOOLS, SCAFFOLDING, TRANSPORTATION, AND TEMPORARY CONSTRUCTION NECESSARY FOR THE COMPLETE INSTALLATION OFT THE FOLLOWING FIRE PROTECTION WORK AS SPECIFIED, ALL COMPLETE, AND TESTED, AND TURNED OVER TO THE OWNER IN PROPER, AND SATISFACTORY OPERATING CONDITION, BRIEFLY DESCRIBED AS FOLLOWS.
- 2. FURNISH MATERIALS, LABOR, EQUIPMENT, WORKING PLANS, ETC., TO INSTALL AUTOMATIC SPRINKLER SYSTEM FOR BASEMENT, FIRST FLOOR, SECOND FLOOR AND THIRD FLOOR.
- 3. ALL WORK SHALL BE INSTALLED FOR THE APPROVAL, AND/OR ACCEPTANCE OF THE FOLLOWING: $\frac{1}{2}$
- A. FIRE DEPARTMENT OF CITY OF DETROIT.
- 4. THE FIRE PROTECTION SYSTEM SHALL BE DESIGNED, AND INSTALLED TO COMPLY WITH THE FOLLOWING STANDARDS, AND/OR CODES OF THE LATEST ISSUE:
- A. NFPA PAMPHLET 13 SPRINKLER SYSTEMS
- 5. PREPARE DETAILED SHOP DRAWINGS AND HYDRAULIC CALCULATIONS, ALL TO BE APPROVED BY THE CITY OF DETROIT FIRE DEPARTMENT PRIOR TO INSTALLATION.

TEMPERATURE CONTROLS

INSTALL PROGRAMMABLE WALL MOUNTED THERMOSTAT FOR ALL FURNACES.

SYMBOL LEGEND

- GAS VALVE
- —▶↓— GATE VALVE
- WC WATER CLOSET
- FD FLOOR DRAIN
- LAV LAVATORY
- LAV LAVATOR
- TUB BATH TUB
- W.D. WASHER DRYER
 WR WATER RISER
- SR SANITARY RISER
- DW DISH WASHER
- EF EXHAUST FAN
- C CONDENSING UNIT
- F FURNACE
- S-1 KITCHEN SINK
- EWH ELECTRIC WATER HEATER

 COLD WATER (CW)
- HOT WATER (HW)

SANITARY (SAN)
VENT

HORIZONTAL FIRE DAMPER

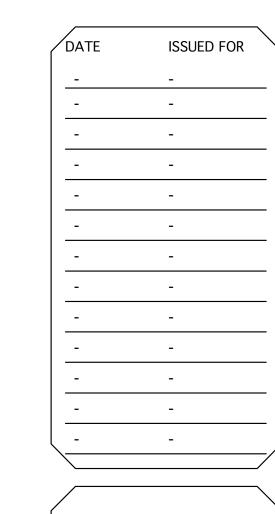
VERTICAL FIRE DAMPER

VOLUME DAMPER

Sanitary Riser

W WATE

WATER RISER



MARLBOROUGH APARTMEN

SHEET TITLE

MECHANICAL

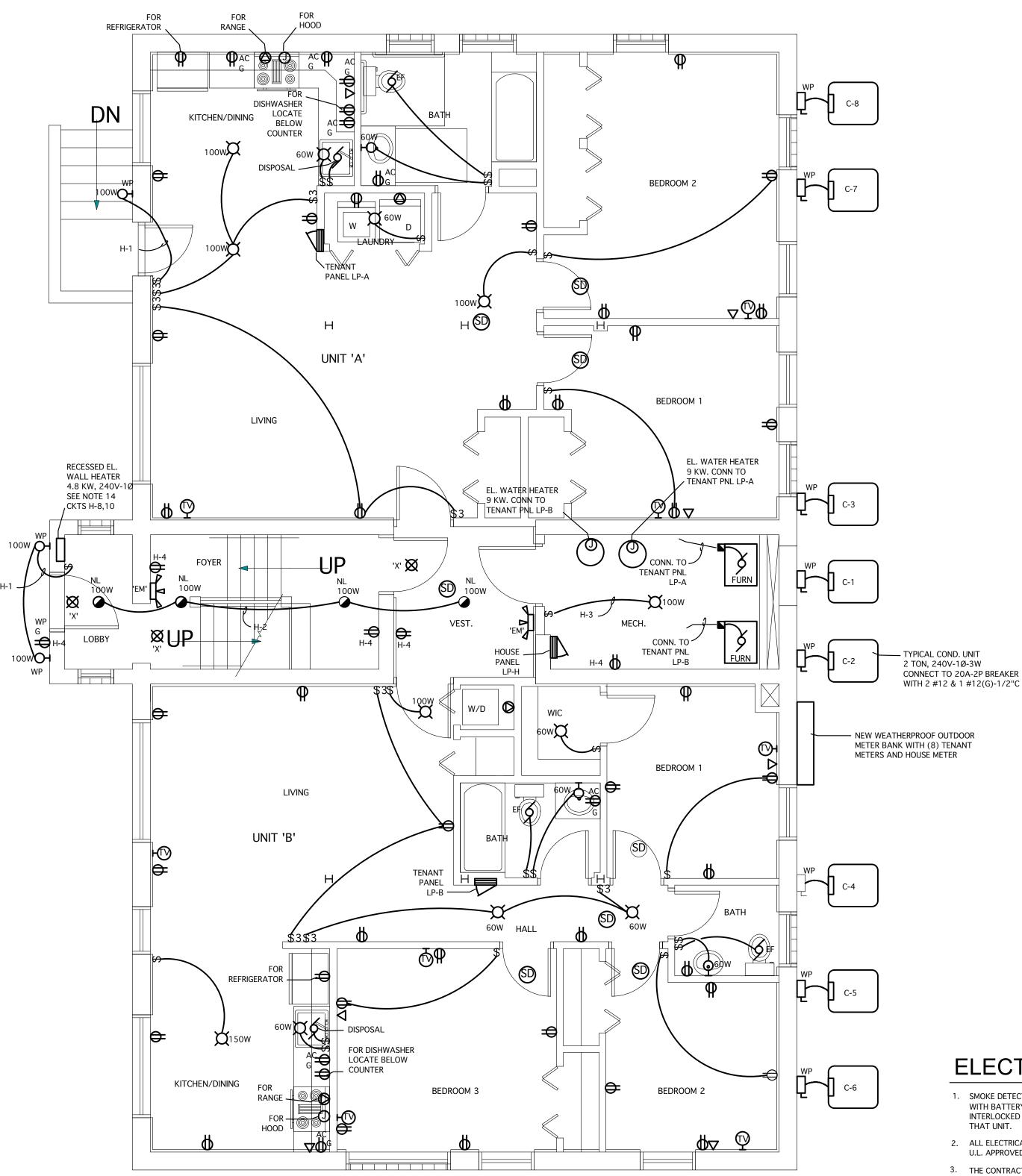
SPECIFICATION

DRAWN BY:

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SCALE: NO SCALE

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BASEMENT FLOOR PLAN - ELECTRICAL

SCALE: 1/4" = 1'-0"

ELECTRICAL NOTES:

- 1. SMOKE DETECTORS TO BE 120V EQUAL TO GENTEX #9120 SERIES COMPLETE WITH BATTERY BACK-UP AND 120V SUPPLY. SMOKE DETECTORS TO BE INTERLOCKED CAUSING ONE DETECTOR TO SET OFF ALL DETECTORS WITHIN
- 2. ALL ELECTRICAL OUTLET BOXES LOCATED IN IHR RATED WALL ASSEMBLIES SHALL BE U.L. APPROVED FOR THIS USE
- 3. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF TELEPHONE AND T.V OUTLETS PRIOR TO ROUGH-IN
- 4. INSTALL ELECTRICAL BOXES ON OPPOSITE SIDES OF WALL MIN. 24" APART HORIZONTALLY, WHEREVER POSSIBLE. PROVIDE U.L. LISTED METALLIC BOXES W/U.L LISTED PUTTY PADS. BOXES SHALL NOT BE INSTALLED BACK TO BACK
- A. NON-METALLIC BOXES, LISTED FOR USE IN STAGGERED STUD CONSTRUCTION SHALL BE MIN. 24" APART, WHEN LOCATED ON OPPOSITE SIDES OF WALL. SEE DETAIL/SECTIONS ON ARCH DRAWINGS.
- B. PROVIDE U.L LISTED NON-METALLIC BOXES. BLOCK OFF STUD SPACE & PROVIDE 5/8" TYPE "X" GYP.BD. ON BACK SIDE, SEAL PERIMETER SEE DETAIL/SECTIONS ON ARCH.
- 5. CONTRACTOR SHALL PROVIDE RECEPTACLES INSTALLED PER N.E.C. 210.52
- 6. CLOTHES CLOSET LIGHTS SHALL BE PROVIDED AND LOCATED TO COMPLY WITH N.E.C. 410.8
- 7. PROVIDE PERMANENT SIGNAGE FOR METER UNIT NO'S (PERMANENT FELT TIP MARKER SHALL NOT BE ACCEPTABLE TO OWNER) THIS SIGNAGE IS NOT INCLUDED IN OWNERS SIGNAGE ALLOWANCE.
- 8. PROVIDE STRAPPING OF EXTERIOR CONDUIT AT CONDENSING UNITS TO BE W/NYLON STRAP
- 9. SEE ARCH. PLANS FOR ELECTRICAL CONTROLS AND OUTLET MOUNTING HEIGHTS.
- 10. PC FIXTURES MUST HAVE GLOBES, NO EXPOSED LAMPS.
- 11. WHERE OUTLETS ARE SHOWN TO BE SWITCHED, SWITCH UPPER OUTLET ONLY
- 12. CONNECT BEDROOM RECEPTACLES TO "ARC FAULT" BREAKERS IF REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- CIRCUIT AHEAD OF SWITCHING. 14. RECESSED ELECTRIC WALL HEATER 240V, 1Ø, 4800W COMPLETE WITH BUILT-IN THERMOSTAT EQUAL TO QMARK #LFK-484. CONNECT TO 30A-2P BREAKER WITH 2 #10 & 1 #10(G)-3/4"C.

13. ALL EXIT LIGHTS AND EMERGENCY BATTERY LIGHTS TO BE CONNECTED TO LOCAL LIGHTING

BEDROOM 1 BEDROOM 2 KITCHEN/DINING UNIT 'C' SAME AS TYPICAL UNIT 'C' BUT OPPOSITE HAND LIVING BEDROOM 3 EL. WATER HEATER 9 KW. CONN TO TENANT PNL LP-C CONN. TO TENANT PNL (OPPOSITE HAND) EL. WATER HEATER 9 KW. CONN TO TENANT PNL LP-C BEDROOM 3 LIVING **TYPICAL** UNIT 'C' TENANT PANEL LP-C REFRIGERATOR FOR DISHWASHER LOCATE BELOW COUNTER BEDROOM 2 KITCHEN/DINING BEDROOM 1 ф<u>~</u> Ф

FIRST FLOOR PLAN - ELECTRICAL

SCALE: 1/4" = 1'-0"

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MARLBOROUGH

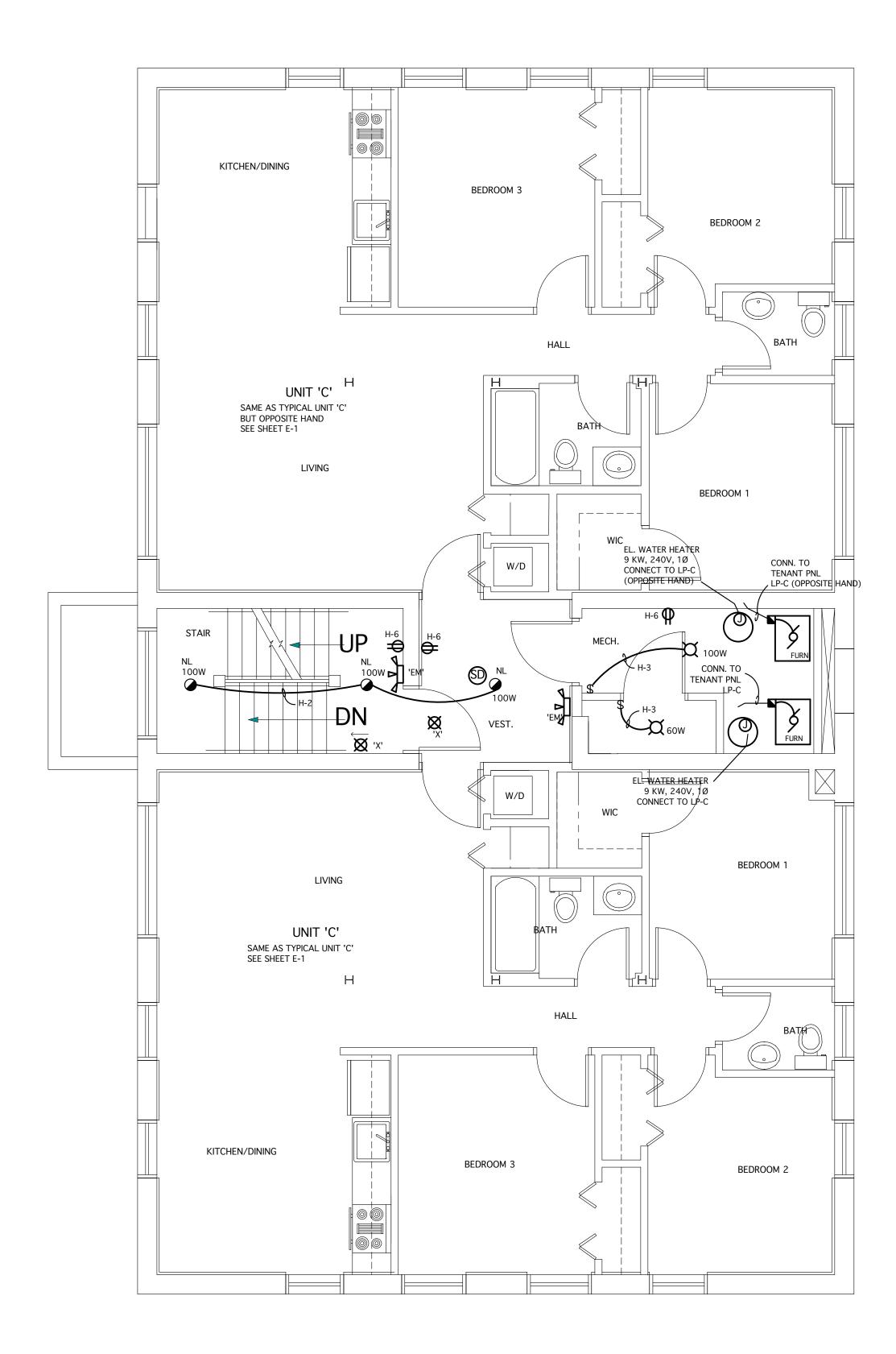
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BASEMENT, FIRST FLOOR PLANS -ELECTRICAL

DRAWN BY: LH.N APPROVED BY: D.A.M.

PROJECT #

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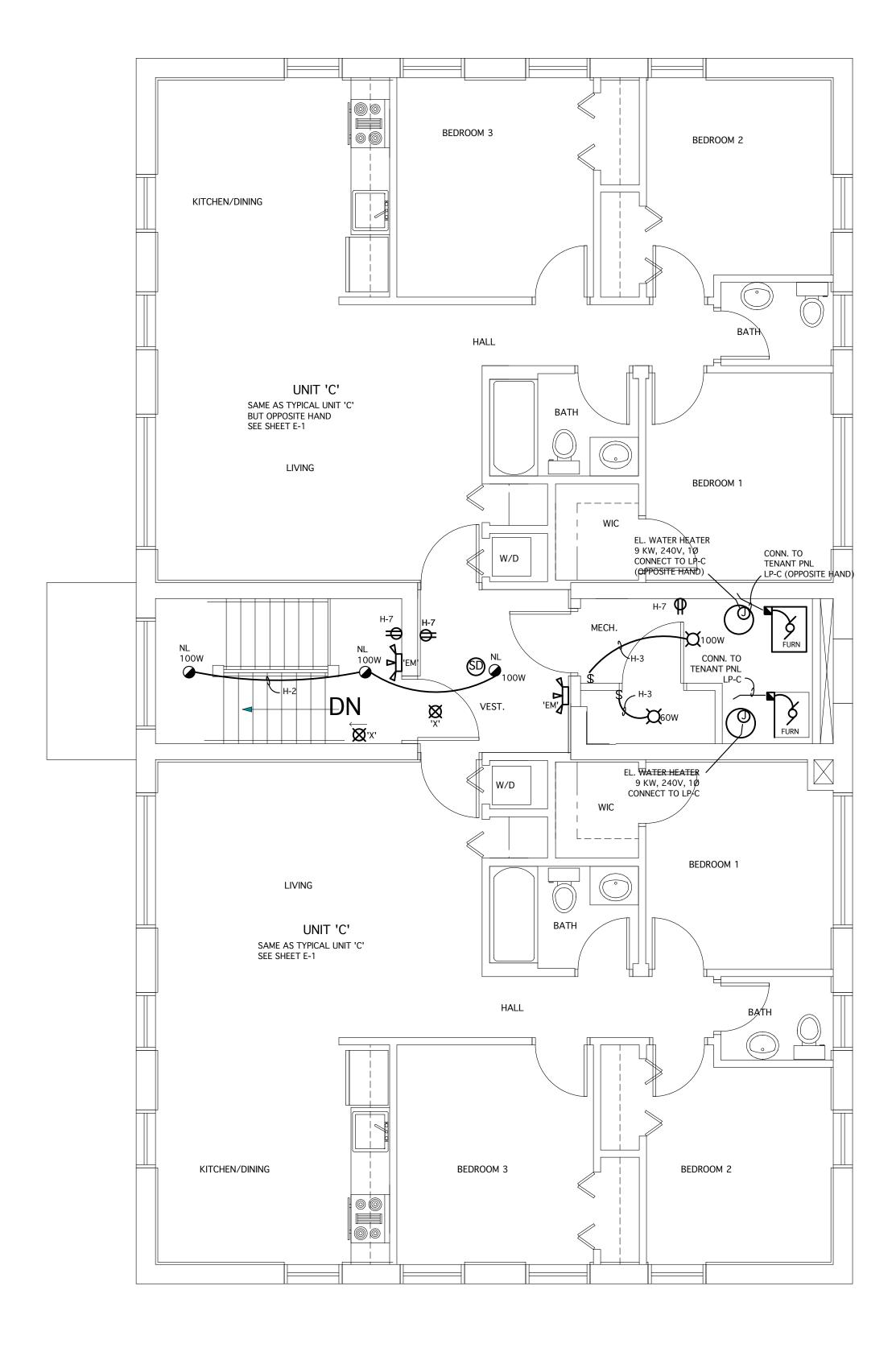
SECOND FLOOR PLAN - ELECTRICAL

SCALE: 1/4" = 1'-0"

ELECTRICAL NOTES:

THAT UNIT.

- SMOKE DETECTORS TO BE 120V EQUAL TO GENTEX #9120 SERIES COMPLETE
 WITH BATTERY BACK-UP AND 120V SUPPLY. SMOKE DETECTORS TO BE
 INTERLOCKED CAUSING ONE DETECTOR TO SET OFF ALL DETECTORS WITHIN
- 2. ALL ELECTRICAL OUTLET BOXES LOCATED IN IHR RATED WALL ASSEMBLIES SHALL BE U.L. APPROVED FOR THIS USE
- 3. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF TELEPHONE AND T.V OUTLETS PRIOR TO ROUGH-IN
- 4. INSTALL ELECTRICAL BOXES ON OPPOSITE SIDES OF WALL MIN. 24" APART HORIZONTALLY, WHEREVER POSSIBLE. PROVIDE U.L. LISTED METALLIC BOXES W/U.L LISTED PUTTY PADS. BOXES SHALL NOT BE INSTALLED BACK TO BACK
- A. NON-METALLIC BOXES, LISTED FOR USE IN STAGGERED STUD CONSTRUCTION SHALL BE MIN. 24" APART, WHEN LOCATED ON OPPOSITE SIDES OF WALL. SEE DETAIL/SECTIONS ON ARCH DRAWINGS.
- B. PROVIDE U.L LISTED NON-METALLIC BOXES. BLOCK OFF STUD SPACE & PROVIDE 5/8" TYPE "X" GYP.BD. ON BACK SIDE, SEAL PERIMETER SEE DETAIL/SECTIONS ON ARCH. DRAWINGS.
- 5. CONTRACTOR SHALL PROVIDE RECEPTACLES INSTALLED PER N.E.C. 210.52
- CLOTHES CLOSET LIGHTS SHALL BE PROVIDED AND LOCATED TO COMPLY WITH N.E.C. 410.8
 PROVIDE PERMANENT SIGNAGE FOR METER UNIT NO'S (PERMANENT FELT TIP MARKER SHALL
- 7. PROVIDE PERMANENT SIGNAGE FOR METER UNIT NO'S (PERMANENT FELT TIP MARKER SHALL NOT BE ACCEPTABLE TO OWNER) THIS SIGNAGE IS NOT INCLUDED IN OWNERS SIGNAGE ALLOWANCE.
- PROVIDE STRAPPING OF EXTERIOR CONDUIT AT CONDENSING UNITS TO BE W/NYLON STRAP TIES.
- 9. SEE ARCH. PLANS FOR ELECTRICAL CONTROLS AND OUTLET MOUNTING HEIGHTS.
- 10. PC FIXTURES MUST HAVE GLOBES, NO EXPOSED LAMPS.
- 11. WHERE OUTLETS ARE SHOWN TO BE SWITCHED, SWITCH UPPER OUTLET ONLY
- 12. CONNECT BEDROOM RECEPTACLES TO "ARC FAULT" BREAKERS IF REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- 13. ALL EXIT LIGHTS AND EMERGENCY BATTERY LIGHTS TO BE CONNECTED TO LOCAL LIGHTING CIRCUIT AHEAD OF SWITCHING.



THIRD FLOOR PLAN - ELECTRICAL

SCALE: 1/4" = 1'-0"

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MARLBOROUGH APARTMENTS -DETROIT, MICHIGAN

SHEET TITLE
SECOND & THIRD
FLOOR PLANS
- ELECTRICAL

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PROJECT #

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ELECTRICAL SPECIFICATIONS

- 1. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND CERTIFICATES OF INSPECTION FOR WORK HEREIN SPECIFIED. THE COST OF SUCH PERMITS AND CERTIFICATES SHALL BE INCLUDED IN HIS BID PROPOSAL.
- 2. THE CONTRACTOR SHALL COMPLY WITH AND ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF ALL FEDERAL, STATE AND LOCAL LAWS, ORDINANCES, REGULATIONS AS WELL AS THE RULES AND STANDARDS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, THE NATIONAL ELECTRIC CODE, THE NEMA, AIEE, OSHA, ADA AND CITY OF DETROIT.
- 3. ALL CONDUIT AND CABLE SHALL BE CONCEALED WHERE POSSIBLE. SHOULD ANY FIELD CONDITIONS PREVENT RUNNING OF CONDUIT, ETC., AS SHOWN ON THE PLANS, THE CONTRACTOR IS REQUIRED TO MAKE ANY MINOR DEVIATIONS THEREFROM AS DETERMINED BY THE ARCHITECT WITHOUT ADDITIONAL COST. CONTRACTOR SHALL BEAR COSTS FOR ALL NECESSARY CUTTING AND PATCHING OF EXISTING WALLS AND FLOORS. SUCH REPAIRS TO BE DONE BY SPECIFIC TRADE INVOLVED.
- 4. THE ELECTRICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF THE GENERAL CONTRACTOR AND WITH OTHER SUB-CONTRACTORS ON THE JOB AND SHALL CHECK WITH ARCHITECT PRIOR TO PLACING OF ANY FLUSH PANELS, DEVICES OR OTHER EQUIPMENT.
- 5. THE ELECTRICAL DRAWING SHOWS THE ARRANGEMENTS, GENERAL DESIGN AND INTENT OF THE WIRING SYSTEM ONLY. THE CIRCUIT RUNS ARE DIAGRAMMATIC; HOWEVER, THE DRAWING MAY INCLUDE DETAILS GIVING SPECIFIC DATA. PULL BOXES OR JUNCTION BOXES, THOUGH NOT SHOWN ON THE PLANS SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR. ELECTRICAL WORK INDICATED ON THE PLANS BUT NOT COVERED BY THIS SPECIFICATIONS OR VICE VERSA, SHALL BE PROVIDED AND INSTALLED BY THIS CONTRACTOR. THE DRAWINGS ARE NOT INTENDED TO BE USED FOR ROUGH-IN DIMENSIONS.
- 6. PROVIDE AND INSTALL AND REMOVE UPON COMPLETION OF PROJECT. A COMPLETE TEMPORARY ELECTRIC SERVICE AND DISTRIBUTION SYSTEM FOR CONSTRUCTION IN FULL ACCORDANCE WITH "GENERAL REQUIREMENTS" AND OSHA AND AS REQUIRED TO MAINTAIN SERVICE DURING OPERATIONAL HOURS AND MECHANICAL SYSTEMS AND ALARM SYSTEMS AFTER HOURS.

7. DISCONNECT SWITCHES

A. DISCONNECT SWITCHES SHALL BE UNFUSED AS NOTED ON THE DRAWINGS. QUICK-MAKE, QUICK-BREAK, VISIBLE BLADE TYPE WITH FULL COVER INTERLOCK. SWITCHES RATED 200 AMPERES OR LESS SHALL BE HORSEPOWER RATED. ENCLOSURE SHALL BE NEMA 1 UNLESS OTHERWISE NOTED. MEANS FOR PADLOCKING THE OPERATING HANDLE IN THE "OPEN" OR "CLOSED" POSITION SHALL BE PROVIDED. SWITCHES SHALL BE OF THE VOLTAGE RATINGS AND CURRENT CARRYING CAPACITIES INDICATED ON THE DRAWINGS. SWITCHES SHALL BE AS MANUFACTURED BY WESTINGHOUSE, SQUARE D OR APPROVED EQUAL.

8. LIGHTING PANELBOARDS:

- A. PANELBOARDS SHALL BE 240/120 VOLTS, SINGLE PHASE, 3 WIRE, SOLID NEUTRAL WITH MAIN LUGS ONLY OR MAIN BREAKER AND CIRCUIT BREAKER BRANCHES OF THE SIZE AND NUMBER AS INDICATED ON THE PLANS.
- B. PANELBOARDS SHALL BE DEAD-FRONT TYPE WITH FLUSH OR SURFACE MOUNTED STEEL CABINETS AS SHOWN AND AN INTERIOR ASSEMBLY OF BUS BAR, SUPPORTS AND CIRCUIT BREAKERS. TRIMS SHALL HAVE HINGED DOORS WITH CIRCUIT DIRECTORIES SUITABLE FOR IDENTIFYING THE USE OF PANELBOARD BREAKERS
- C. CIRCUIT BREAKERS SHALL BE MOLDED PLASTIC CAST TYPE AC RATED, QUICK-MAKE, QUICK-BREAK WITH TRIP FREE OPERATING HANDLE, POSITION INDICATOR AND THERMAL MAGNETIC TRIP DEVICE. TWO AND THREE POLE BREAKERS SHALL HAVE A COMMON OPERATING HANDLE AND COMMON TRIP DEVICE. TWO AND THREE POLE BREAKERS SHALL HAVE A COMMON OPERATING HANDLE AND COMMON TRIP MECHANISM. TRIP RATING SHALL BE AS INDICATED ON THE DRAWINGS AND A MINIMUM INTERRUPTING CAPACITY SHALL BE 10,000 AMPERES SYMMETRICAL AT 120 VOLTS.

9. FUSES

A. FUSES SHALL BE OF THE DUAL ELEMENT TYPE WITH THERMAL CUTOUT THAT OPENS AT 280 DEGREES F AND WITH COPPER FUSE LINK ELEMENTS FOR SHORT CIRCUIT PROTECTION.

10. WIRE AND CABLE (600 VOLT)

- A. ALL WIRE AND CABLE SHALL BE 98% CONDUCTIVE COPPER CONDUCTORS, A MINIMUM OF NO. 12 AWG UNLESS OTHERWISE NOTED, ROMEX SHALL BE USED WHEREVER PERMITTED. ALL OTHER WIRING TO BE IN CONDUIT AS FOLLOWS:
- 1. TYPE TW, THW OR THHN.
- 2. NO 12 AWG AND SMALL MAY BE SOLID.
- 3. NO 10 AWG AND LARGER SHALL BE STRANDED.
- 4. SERVICE ENTRANCE (TYPE SE AND USE) AND NON METALLIC SHEATHED CABLE (NM OR NMC) WITH GROUND WIRE MAY BE USED WHERE PERMITTED BY N.E.Co, AND LOCAL CODE AUTHORITIES.

11. CONDUITS

- A. CONDUITS 3" AND SMALLER SHALL BE GALVANIZED "THINWALL" TYPE UNLESS OTHERWISE INDICATED ON THE PLANS. CONDUITS LARGER, BELOW OR IN SLAB OR EXPOSED OUTDOORS SHALL BE HOT DIPPED GALVANIZED TYPE OR SHERARDIZED RIGID TYPE. ALL CONDUITS BELOW GRADE AND OUT OF DOORS SHALL BE RIGID PLASTIC PVC WITH GROUND WIRE. "IMC" MAYBE USED WHERE APPROVED BY LOCAL AUTHORITIES.
- B. FLEXIBLE METALLIC CONDUIT MAY BE USED WHERE THINWALL CONDUIT IS IMPRACTICAL AND AT MOTOR CONNECTIONS.
- CONDUITS WILL BE PERMITTED IN UNFINISHED AREAS IN MECHANICAL AND ELECTRICAL ROOMS AND UTILITY AREAS. 12. THE ELECTRICAL CONTRACTOR SHALL PROVIDE AND PLACE ALL CONDUIT, OUTLETS

C. ALL CONDUITS SHALL BE RUN CONCEALED WHEREVER POSSIBLE. EXPOSED

- AND PULL BOXES FOR TELEPHONE SYSTEM EXTENSION PER TELEPHONE COMPANY REQUIREMENTS. 13. NAMEPLATES SHALL BE PROVIDED ON ALL MOTOR STARTERS, DISCONNECT SWITCHES,
- REMOTE SWITCHES, PANELBOARDS AND SIMILAR EQUIPMENT. NAMEPLATES SHALL BE PHENOLIC TYPE WHITE LETTERS ON BLACK BACKGROUND.

14. PULL BOXES AND JUNCTION BOXES

A. PROVIDE AND INSTALL PULLBOXES AND JUNCTION BOXES AS INDICATED ON THE PLANS OR AT LOCATIONS REQUIRED FOR THE PROPER PULLING OR NESTING OF WIRES AND CABLES. THEY SHALL HAVE REMOVABLE SCREW-ON COVERS USING BRASS SCREWS TO HOLD COVER IN PLACE.

15. WIRING DEVICES

- A. DEVICES IN CONCEALED CONDUIT SYSTEMS SHALL BE INSTALLED IN SINGLE OR MULTIPLE GANG BOXES WITH GANG PLATES AS SPECIFIED.
- B. RECEPTACLES SHALL HAVE A SEPARATE POLE FOR EQUIPMENT GROUNDING.
- C. RECEPTACLES IN GENERAL SHALL BE GROUNDING TYPE, AND SHALL CONFORM TO NEMA PERFORMANCE STANDARDS.
- 1. DUPLEX AND SINGLE RECEPTACLES SHALL BE GROUNDING TYPE, RATED 15 AMPERES, 125 VOLT, 3-WIRE, COLOR TO BE SELECTED BY ARCHITECT.
- D. SPECIAL RECEPTACLES
- 1. WEATHERPROOF RECEPTACLES SHALL BE FLUSH WITH ALUMINUM COVER AND P & S INTERRUPTER TYPE RECEPTACLE, 1591F/1591WP.

E. TOGGLE SWITCHES

- 1. SWITCHES SHALL BE OF TOTALLY ENCLOSED BAKELITE BASE AND COVER. TERMINALS SHALL BE FOR SIDE OR BACK WIRING.
- 2. SWITCHES FOR LOCAL CONTROL OF LIGHTING UNITS, OR FOR OTHER SPECIFIED PURPOSES, SHALL BE QUIET TYPE, SPECIFICATION GRADE, WITH PHENOLIC MATERIAL TOGGLE HANDLES RATED 15 OR 20 AMPERES,
- 3. SWITCHES FOR STAIRWELL LIGHTING TO BE LIGHTED HANDLE TYPE.

16. LIGHTING FIXTURES

- A. THE CONTRACTOR SHALL PROVIDE, INSTALL AND CONNECT ALL LIGHTING FIXTURES, COMPLETE WITH LAMPS.
- B. ALL FIXTURES SHALL BEAR THE UNDERWRITER'S LABEL.
- C. ALL FIXTURES SHALL BE NEW AND UNDAMAGED.
- D. PROVIDE RETAINER CLIPS FOR ALL LAY-IN FIXTURES.
- E. ALL FLUORESCENT FIXTURE LENSES MUST BE OF VIRGIN ACRYLIC PLASTIC.
- F. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ORDERING PROPER TYPE FIXTURES FOR THE TYPE OF CEILING BEING USED IN THE VARIOUS AREAS. THE CONTRACTOR SHALL CHECK WITH ARCHITECTURAL DRAWINGS AND ORDER THE PROPER TYPE: I.E., THERMALLY PROTECTED FIXTURES WHERE REQUIRED, FLANGE OR GRID FIXTURES WHERE REQUIRED, ETC.
- 17. SMOKE DETECTORS FOR APARTMENTS TO BE INTERWIRED WITHIN APARTMENT, 120 VOLT EQUAL TO GENTEX #9120 SERIES COMPLETE WITH BATTERY BACK-UP AND 120 VOLT SUPPLY. SMOKE DETECTORS TO BE INTERLOCKED CAUSING ONE DETECTOR TO SET OFF ALL DETECTORS WITHIN THAT UNIT OR HOUSE.
- 18. PROVIDE COMPLETE TELEPHONE SYSTEMS INCLUDING OUTLETS WHERE SHOWN AND TELEPHONE CABLE FROM OUTLETS TO CENTRAL TELEPHONE SYSTEM SERVICE ENTRANCE POINT.
- 19. PROVIDE COMPLETE CABLE TV SYSTEM INCLUDING OUTLETS AND CABLE TO CENTRAL LOCATION, TO INTERFACE WITH LOCAL CABLE COMPANY. VERIFY WITH OWNERS REPRESENTATIVE EXACT METHOD OF INSTALLATION AND TYPE OF JACKS REQUIRED.
- 20. MULTI-METERING UNITS TO BE OUTDOOR TYPE UTILITY COMPANY APPROVED COMPLETE WITH REQUIRED METER SOCKETS, MAIN BREAKERS, TENANT BREAKERS AND INCOMING SERVICE CUBICLES.
- A. UNITS TO BE MODULAR IN DESIGN WITH STACKING METER SOCKETS. HEIGHT OF METERS TO BE UTILITY COMPANY APPROVED. PROVIDE UTILITY SEAL FACILITIES
- B. UNITS TO BE FULLY BUSSED.
- C. UNITS TO BE EQUAL TO CHALLENGER, GE. CO., SQUARE D COMPANY OR APPROVED EQUAL.
- 21. THE CONTRACTOR SHALL PROVIDE, INSTALL AND CONNECT A COMPLETE SYSTEM OF GROUNDING FOR ALL EQUIPMENT AND STRUCTURES. A GOOD MECHANICAL AND ELECTRICAL CONNECTION SHALL BE MAKE WITH CODE APPROVED GROUNDING
- 22. ALL EXPOSED CONDUIT, FITTINGS, CABINETS, PULL BOXES, ETC., SHALL BE COMPLETELY CLEANED AND PAINTED WITH TWO (2) COATS OF LEAD AND OIL PAINT, OF COLOR TO MATCH THE ADJOINING WALLS OR STRUCTURE AND AS DIRECTED BY THE ARCHITECT. ALL PAINTING IS TO BE LEFT IN A NEAT AND CLEAN CONDITION AT FINAL COMPLETION OF THE BUILDING. PANELS SHALL BE PAINTED WITH "DUCO" OR OTHER APPROVED
- 23. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MISCELLANEOUS IRON THAT HE MAY REQUIRE FOR HIS WORK.
- 24. ON COMPLETION OF HIS WORK, THE INSTALLATION SHALL BE ENTIRELY FREE FROM GROUNDS OR SHORT CIRCUITS. ALL CIRCUITS SHALL BE RUNG OUT AND PROPERLY
- 25. THE CONTRACTOR SHALL GUARANTEE AGAINST MECHANICAL AND ELECTRICAL DEFECTS OF ANY AND ALL EQUIPMENT MATERIALS, AND WORKMANSHIP COVERED BY THESE SPECIFICATIONS AND SHALL MAKE GOOD. REPAIR OR REPLACE AT HIS OWN EXPENSE ANY DEFECTIVE EQUIPMENT, MATERIALS OR WORK OR PART WHICH MAY SHOW ITSELF WITHIN A PERIOD OF ONE (1) YEAR AFTER FINAL ACCEPTANCE OF THE

SYMBOL	DESCRIPTION	
0	DOWNLIGHT FIXTURE	
Ŏ	WALL MOUNTED LIGHTING FIXTURE	
\$;\$3;\$4	LIGHT SWITCHES: SINGLE POLE, THREE WAY, FOUR WAY	
\$ D	WALL BOX DIMMER SWITCH (1000 WATT MINIMUM)	
#	DUPLEX RECEPTACLE	
⇒ _G	GROUND FAULT CIRCUIT INTERRUPTER RECEPTACLE	
0	SPECIAL PURPOSE RECEPTACLE	
\triangleright	COMMUNICATION OUTLET	
<u> </u>	JUNCTION BOX	
9	SINGLE PHASE MOTOR	
	SINGLE PHASE MOTOR STARTER (WITH PILOT LIGHT)	
	DISCONNECT SWITCH	
HTV	TELEVISION ANTENNA OUTLET	
SD	SMOKE DETECTOR; H DEPICTS ON HOUSE PANEL	
AC	ABOVE COUNTER	
WP	WEATHER PROOF DEVICE	
Ø	BATTERY BACKUP EXIT LIGHT	
	THREE HEADED EMERGENGY BATTERY UNIT	

LIGHTING FIXTURE SCHEDULE

TYPE	LAMPS	MANUFACTURER OR APPROVED EQUAL	REMARKS
'X'		ATLITE #PNL-RU	CEILING MTD OR WALL MTD
'EM'		ATLITE #CB6-54-3	CEILING MTD OR WALL MTD

WEATHERPROOF OUTDOOR METERBANK < 100A-2P MB WITH LOCKABLE COVER (TYPICAL) \Box \overline{M} 600A MAIN BKR OR FUSIBLE SWITCH WITH LOCKABLE COVER - \overline{M} D.E.Co. INCOMING SERVICE FEEDER 4" RIGID STEEL CONDUIT RACEWAY. \neg - BLANK SECTION TERMINATE AT POLE OR POINT OF INTERFACING WITH D.E.Co SERVICE CONDUCTORS PER D.E.Co REQUIREMENTS. EXTEND CONDUIT TO **\60A-2P MB WITH LOCKABLE** HOUSE POINT OF INTERFACING WITH D.E.Co. (TYPICAL) COVER (1 REQ'D) PANEL LP-H SERVICE CONDUCTORS - VERIFY WITH D.E.Co. -

ELECTRICAL RISER DIAGRAM NO SCALE

NOTES:

1 ROUTE ALL PANEL FEEDERS VIA BASEMENT WHERE POSSIBLE. EXACT ROUTING TO BE FIELD VERIFIED AND TO BE PER N.E.C. AND CITY OF DETROIT REQUIREMENTS. USE CONDUIT WHERE NECESSARRY. MAX VOLTAGE DROP TO BE 3%.

#3/0 CU GRD.

ENTRANCE PIPE

CONNECT TO 5/8"x10' CU

PORTION OF WATER SERVICE

- 2 PROVIDE COMPLETE GROUNDING PER N.E.C. 250.
- 3 3/C #2 UP TO 100', 3/C #1 UP TO 190'

SYMBOL	DESCRIPTION
0	DOWNLIGHT FIXTURE
Оч	WALL MOUNTED LIGHTING FIXTURE
\$;\$3;\$4	LIGHT SWITCHES: SINGLE POLE, THREE WAY, FOUR WAY
\$ D	WALL BOX DIMMER SWITCH (1000 WATT MINIMUM)
+	DUPLEX RECEPTACLE
⇒ _G	GROUND FAULT CIRCUIT INTERRUPTER RECEPTACLE
©	SPECIAL PURPOSE RECEPTACLE
\triangleright	COMMUNICATION OUTLET
<u> </u>	JUNCTION BOX
þ	SINGLE PHASE MOTOR
	SINGLE PHASE MOTOR STARTER (WITH PILOT LIGHT)
	DISCONNECT SWITCH
HTV	TELEVISION ANTENNA OUTLET
SD	SMOKE DETECTOR; H DEPICTS ON HOUSE PANEL
AC	ABOVE COUNTER
WP	WEATHER PROOF DEVICE
\boxtimes	BATTERY BACKUP EXIT LIGHT
	THREE HEADED EMERGENGY BATTERY UNIT

TYPE	LAMPS	MANUFACTURER OR APPROVED EQUAL	REMARKS
'X'		ATLITE #PNL-RU	CEILING MTD OR WALL MTD
'EM'		ATLITE #CB6-54-3	CEILING MTD OR WALL MTD

	\	PANEL: /OLTAGE:	LP-"C"	-1Ø-3V		HREE BEDRO	om unit (typical)	LOAD SUMMARY LP-'C' (THREE BEDRO	YT - MOC
LOAD DESCRIPTION	LOAD KVA	C.B. SIZE	PANEL PHA	ASES B	C.B. SIZE	LOAD KVA	LOAD DESCRIPTION	910 Sq fT x 3 WATT = SMALL APPLIANCES LAUNDRY	
LTG. & GENERAL REC.	1.4	1		1		1.2	DISHWASHER	- EL. RANGE:	
LTG. & GENERAL REC.	1.4	3		15	5A <u>4</u>	0.3	HOOD	- WASHER/DRYER:	
SMALL APPLIANCES	1.5	5			<u></u>	1.6	COND UNIT	- DISPOSAL: - DISHWASHER:	
SMALL APPLIANCES	1.5	7		20	$\frac{8}{4}$	1.6	- COND ONIT	- HOOD:	
BATHROOM RECEPT.	-	9		1	<u></u>	5.4	EL. RANGE	- EL. WATER HEATER: TOTAL:	
DISPOSAL	0.5	11/		50	DA 12	5.4	- LL. NANGL	COMPUTED LOAD (NEC 220-30)	
EL. WATER HEATER	4.5	13/_		1	<u></u>	2.6	WASHER/DRYER	10,000 VA @ 100% = 24,238 VA @ 40% =	
LL. WATER HEATER	4.5	15/_5	0A	30	DA 16	2.6	WASHER DRIER	- COND UNIT:	
SPARE	-	17/				-	SPARE	DEMAND LOAD: 22,795 VA / 240V =	
	15.3		Į .			20.7		22,733 VA / 240V =	

100A MAIN BREAKER

(N.E.C. 220-30)

TOTAL LOAD: 36.0 KVA

TOTAL LOAD: 10.3 KVA

CONN. AMPERES: 43 AMPS

CONN. AMPERES: 150 AMPS

DEMAND AMPERES: 95 AMPS

NEUTRAL BUS TOTAL "A": 18.2 KVA TOTAL "B": 17.8 KVA

TYPE OF MOUNTING: RECESSED ALL CIRCUIT BREAKERS SHALL BE 20A-1P UNLESS OTHERWISE NOTED.

* HACR BREAKER

PANEL LP-A, LP-B AND LP-C (OPPOSITE HAND) SIMILAR

	V	PANEL: VOLTAGE:	LP-"H" 120/240	V-1Ø-3\		DUSE PANEL	
LOAD DESCRIPTION	LOAD KVA	C.B. SIZE	PANEL P A	HASES B	C.B. SIZE	LOAD KVA	LOAD DESCRIPTION
OUTDOOR LIGHTING	0.4	1				1.4	NITE LIGHTING
LIGHTING	0.9	3			4	1.0	RECEPTACLES
RECEPTACELS	0.6	5			<u>6</u>	0.6	RECEPTACLES
RECEPTACLES	0.6	7			8 2.4 FL WALL		EL. WALL HEATER
SPARE	-	9		3	<u>0A ∕ 10</u>	2.4	LE. WALL HEATER
SPARE	-	11/\			<u>12</u>	-	SPARE
SPARE	-	13/			<u>14</u>	-	SPACE
SPACE	-	15/			<u></u>	-	SPACE
	2.5		l P	Î		7.8	
TOTAL "A": 5.4 TOTAL "B": 4.9	KVA KVA		NEU BUS	TRÄL	MAINS:	60A MA	in Breaker

TOTAL "B":	4.9	KVA	BUS	
				MAINS:
TYPE OF MOUN	TING:	SURFACE MTD		

ALL CIRCUIT BREAKERS SHALL BE 20A-1P

UNLESS OTHERWISE NOTED.

* HACR BREAKER

APARTMENT BUILDING LOAD SUMMARY (8) METER BANK AND HOUSE PANEL	
- LIGHTING, SMALL APP, LAUNDRY: (8) UNIT C: 7,230 VA x 8 = - EL. RANGES: 8 x 10,800 = - WASHER/DRYER: 8 x 5,208 = - DISPOSAL: 8 x 500 = - DISHWASHER: 8 x 1,200 = - HOOD: 8 x 300 = - COND UNITS: 8 x 3,100 = - WATER HEATER: 8 x 9,000 = TOTAL LOAD: NET COMPUTE LOAD: (NEC 220-32) 298,704 x 0.43 = DEMAND LOAD: 128,443 VA / 240V = DEMAND LOAD + HOUSE PANEL:	57,840 86,400 41,664 4,000 9,600 2,400 24,800 72,000 298,704 128,443
535 AMP + 43 AMP = NEUTRAL FEEDER:	578 AMP
- LIGHTING DEMAND: 3,000 VA @ 100% = 54,840 VA @ 35% = - DISPOSAL: 8 x 500 @ 75% =	3,000 19,194 22,194 3,000
- DISHWASHER: 8 x 1,200 @ 75% = - HOOD: 8 x 300 @ 75% = TOTAL: TOTAL NEUTRAL FEEDER (8 UNITS) 34,194 VA / 240 V =	7,200 1,800 34,194
TOTAL NEUTRAL FEEDER + HOUSE PANEL: 143 AMP + 43 AMP =	186 AMP
NOTE: THE ELECTRICAL CONTRACTOR SHALL VERIFY THE AVAILABLE SHORT CIRCUIT AMPACITY WITH THE LO ELECTRIC UTILITY COMPANY AND PROVIDE MAIN CIR BREAKERS WITH THE REQUIRED (A.I.C) RATING.	

LOAD SUMMARY LP-'C' (THREE BEDROC	OM - TYPICAL)
- FLOOR AREA:	
910 Sq fT x 3 WATT =	2,730
SMALL APPLIANCES	3,000
LAUNDRY	1,500
	7,230
- EL. RANGE:	10,800
- WASHER/DRYER:	5,208
- DISPOSAL:	500
- DISHWASHER:	1,200
- HOOD:	300
- EL. WATER HEATER:	9,000
TOTAL:	34,238
COMPUTED LOAD (NEC 220-30)	
10,000 VA @ 100% =	10,000
24,238 VA @ 40% =	9,695
- COND UNIT:	3,100
DEMAND LOAD:	22,795
22,795 VA / 240V =	95 AMP

PANEL LP-A, LP-B AND LP-C (OPPOSITE HAND) SIMILAR

MINIMUM WIRE SIZING SCHEDULE FOR BRANCH CIRCUITS (COPPER CONDUCTORS).

15A CIRCUIT - #14 20A CIRCUIT - #12

30A CIRCUIT - #10

40A CIRCUIT - #8

50A CIRCUIT - #6

ISSUED FOR -_ ---

> MARLBOROUGH

SHEET TITLE

ELECTRICAL SPECIFICATIONS RISER DIAGRAM **SCHEDULES** & LEGEND

DRAWN BY: APPROVED BY: SCALE: DATE:

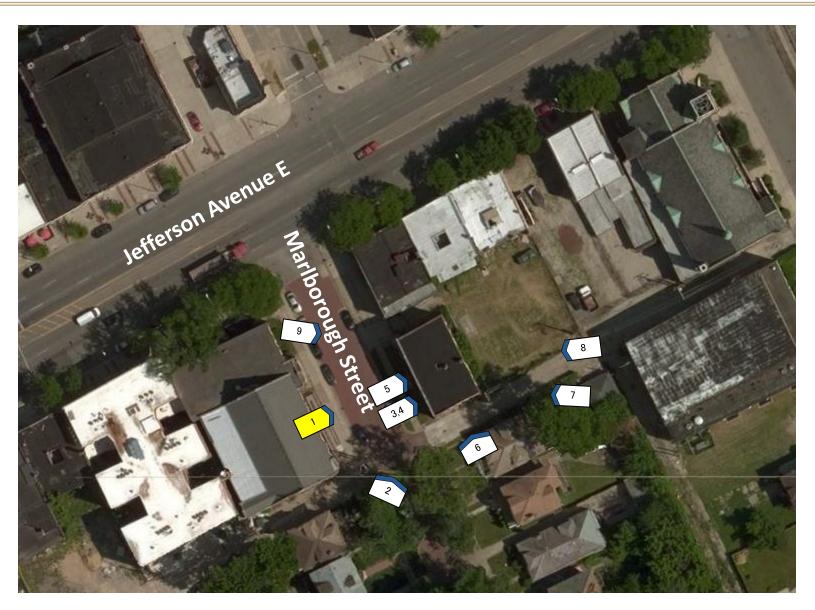
PROJECT # SHEET #



IDAO Apartments [Exterior] Photos 1-9











1. Exterior View, West Elevation, Looking E



2. Exterior View, West and South Elevations, Looking NE





3. Exterior Detail, West Elevation at South, Upper Floors, Looking W



4. Exterior Detail, West Elevation at South, Lower Floors, Looking W





5. Exterior Detail, West Elevation, Entry at Center, Looking W



6. Exterior View, South Elevation, Looking N



7. Exterior View, South and East Elevations, Looking NW



8. Exterior View, East Elevation, Looking W





9. Exterior View, North Elevation, Looking SE

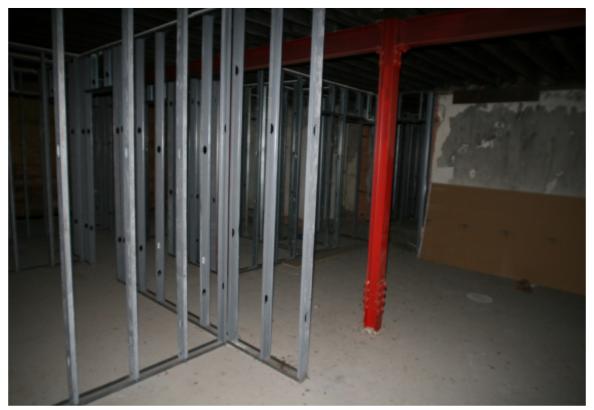


10. Interior View, First Floor, Entry, Looking W





11. Interior View, First Floor, Stair at Center-West, Looking W



12. Interior View, First Floor at Northwest, Looking SE





13. Interior View, First Floor at Northwest, Looking S



14. Interior View, First Floor at Southeast, Looking N





15. Interior View, Second Floor, Stair at Center-West, Looking W



16. Interior View, Second Floor at Center-West, Looking N





17. Interior View, Second Floor at Northeast, Looking SW



18. Interior View, Second Floor at Southwest, Looking E





19. Interior View, Third Floor at Center-East, Looking E



20. Interior View, Third Floor at Northwest, Looking SE





21. Interior View, Third Floor at Northwest, Looking E



22. Interior View, Third Floor at Southwest, Looking NE



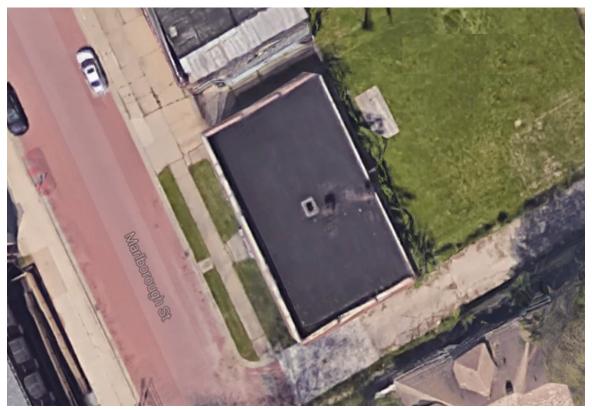
23. Interior View, Third Floor at Southwest, Looking E



24. Interior View, Basement at Center-East, Looking NW



25. Interior View, Basement at Center-South, Looking N



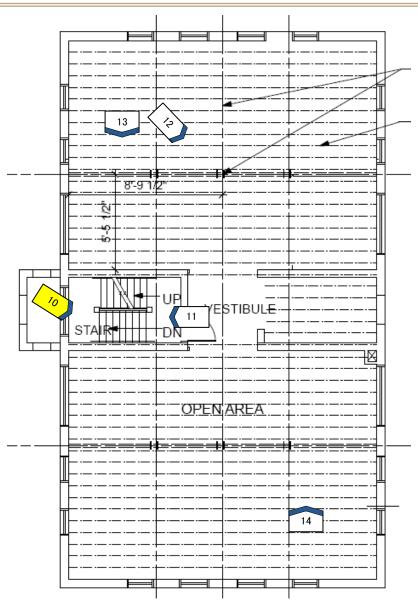
26. Aerial View of Roof (Source: Google)



IDAO Apartments [First Floor] Photos 10-14





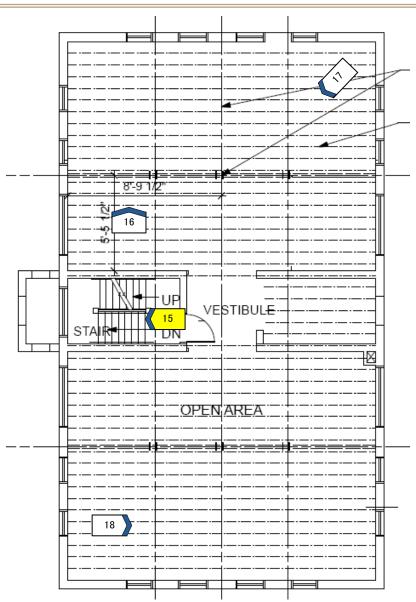




IDAO Apartments [Second Floor] Photos 15-18





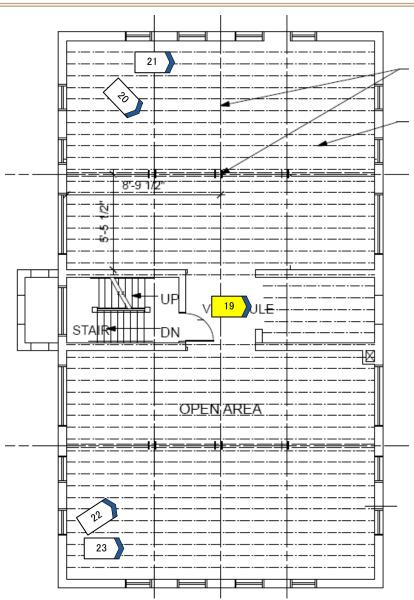




IDAO Apartments [Third Floor] Photos 19-23









IDAO Apartments [Basement] Photos 24-25





