



FILE COPY

June 9, 2017

Robbert McKay
Historic Architect
Michigan State Historic Preservation Office
702 W. Kalamazoo Street
Lansing, MI 48909

RE: IDAO Apartments (910 Marlborough Street, Detroit, Wayne County)
Part 2 – Description of Rehabilitation

Dear Robb:

Please find enclosed a Part 2 application for the above reference apartment building. The application includes signed cover sheet, narrative, architectural plans, and photographs keyed to site and floor plans.

A Part 1 for the property was approved on May 6, 2014. The IDAO was designated as a contributing resource in the Jefferson-Chalmers Historic Business District, which was listed on the National Register in 2004, and today is in the same condition as the Part 1 approval. You will note that the interior has been gutted; that work was completed by the prior owner and completed prior to the Part 1 approval.

The proposed rehabilitation includes exterior rehabilitation, roof repair, and a full system upgrade. New windows are proposed to replace the vinyl and glass block windows; the new windows reflect a window form that is common in the neighborhood.

Should you have any questions or require additional information, please don't hesitate to contact me by telephone at (503) 228-0272 or by email at rmawson@heritage-consulting.com.

Sincerely,



Robert L. Mawson
Vice President

Cc: Kathy Makino, Shelbourne Development, LLC



UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 - DESCRIPTION OF REHABILITATION



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OMB Approved
No. 1024-0009
Form 10-168
Rev. 2014

NPS Project Number
30285

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

1. **Property Name** IQDA Apartments
Street 910 Marlborough Street
City Detroit County Wayne State MI Zip 48215-2953
Name of Historic District _____

Listed individually in the National Register of Historic Places; date of listing _____
 Located in a Registered Historic District; name of district Jefferson-Chalmers Historic Business District
 Part 1 - Evaluation of Significance submitted? Date submitted _____ Date of certification 05/06/2014

2. **Project Data**
Date of building 1927 Estimated rehabilitation costs (QRE) \$1,677,347.00
Number of buildings in project 1 Floor area before / after rehabilitation 8,400 / 8,400 sq ft
Start date (estimated) 10-01-2017 Use(s) before / after rehabilitation Vacant / Residential
Completion date (estimated) 10-01-2018 Number of housing units before / after rehabilitation - 0 - / 8
Number of phases in project 1 Number of low-moderate income housing units before / after rehabilitation - 0 - / 8

3. **Project Contact** (if different from applicant)
Name John M. Tess, President Company Heritage Consulting Group
Street 1120 NW Northrup Street City Portland State OR
Zip 97209-2852 Telephone (503) 228-0272 Email Address jmtess@heritage-consulting.com

4. **Applicant**
I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable] (1) I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or (2) if I am not the fee simple owner of the above-described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011). For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.
Name Kathy Makino Signature [Signature] Date 6/7/17
Applicant Entity Shelborne Development Company LLC SSN _____ or TIN 38-3586430
Street 8445 East Jefferson Avenue City Detroit State MI
Zip 48214-2721 Telephone (734) 905-8323 Email Address kathysmakino@aol.com
 Applicant, SSN, or TIN has changed since previously submitted application.

NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application - Part 2 for the above-named property and has determined that:

- the rehabilitation described herein is consistent with the historic character of the property and, where applicable, with the district in which it is located and that the project meets the Secretary of the Interior's Standards for Rehabilitation. This letter is a preliminary determination only, since a formal certification of rehabilitation can be issued only to the owner of a "certified historic structure" after rehabilitation work is complete.
- the rehabilitation or proposed rehabilitation will meet the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met.
- the rehabilitation described herein is not consistent with the historic character of the property or the district in which it is located and that the project does not meet the Secretary of the Interior's Standards for Rehabilitation.

Date _____ National Park Service Authorized Signature _____

NPS conditions or comments attached

CONTINUATION/AMENDMENT SHEET
Historic Preservation
Certification Application

IDA0 Apartments

Property Name

910 Marlborough Street, Detroit, Wayne County, Michigan

Property Address

ITEM 1

ARCHITECTURAL FEATURE: Project Description

DATE OF FEATURE: 1927, c. 2000

EXISTING FEATURE AND CONDITION: The IDAO Apartment Building is a three and one-half story unreinforced masonry building located in the Jefferson-Chalmers Historic Business District east of downtown Detroit. The building is located just south of the intersection of E. Jefferson Avenue and Marlborough Street and faces southwest onto Marlborough Street. Jefferson Avenue is a streetcar era commercial district. The parcels to the south are generally single family houses.

Immediately to the north is a two-story commercial building facing north onto Jefferson. To the west across Marlborough Street is the Hope Community Church. To the south is an east-west alley with a vacant parcel just beyond. At the rear, on Philip Street, is the Faith Church and School.

The IDAO Apartment Building is located on a rectangular lot, roughly 3920 square feet (approximately 68 feet north-south and 58 feet east-west. The front along Marlborough Street has a lawn setback of approximately 6 feet along with a narrow setback on the east, north and south. The site is fully disturbed and there are no character-defining landscape features.

The building is rectangular in shape, roughly 62 feet north-south and 36 feet east- west. It is three stories with a daylight basement, roughly 37 feet tall. The previous owner embarked on a renovation project that gutted the interior.

WORK AND IMPACT ON FEATURE: Applicant is proposing to renovate the building for apartment use. Work includes exterior rehabilitation, roof repair, and a full system upgrade. Exterior work includes inspection and repair of brick, mortar and cast stone trim as well as replacement of vinyl and glass block windows with new wood windows. Interior work includes rehabilitation of the vestibule, construction of an aesthetically appropriate code-compliant full height stair with two 3-bedroom/2-bath units per floor on each of the basement, first, second and third floors.

PHOTOS: All

DRAWINGS: All (ArchiveDS, 09.22.16)

CONTINUATION/AMENDMENT SHEET
Historic Preservation
Certification Application

IDAO Apartments

Property Name

910 Marlborough Street, Detroit, Wayne County, Michigan

Property Address

ITEM 2

ARCHITECTURAL FEATURE: West (Marlborough Street) Elevation

DATE OF FEATURE: 1927. C. 2000

EXISTING FEATURE AND CONDITION: The primary façade faces west onto Marlborough Street. The elevation is roughly 62 feet in length and 40 feet tall. It is clad in tapestry brick with natural gray mortar and cast stone decoration. Generally, windows are vinyl with cast stone sills and a slight fascia; ground floor windows are glass block. Windows are a combination of one-over-one, sliders, and fixed.

Horizontally, a cast stone belt course runs along the sill line at the first floor, balanced by a second similar belt course at the cornice. The parapet, which is crenelated, has matching cast stone coping.

Vertically, the building is symmetrically organized. Fenestration divides the building into seven bays with each north bay mirroring its respective bay at the south. The center bay has a small projecting rectilinear doorway with cast stone decoration, a round arched wood door and a crenelated cast stone lid. Between the first and third floors is an assembly with a center cast stone and brick spandrel separating oversized fixed glass windows. On the interior, this space is a stair tower and the windows align with the stair landing. Above is a cast stone medallion, bracket and at the cornice a cast stone bas relief panel.

This central bay is flanked by bays with broad slider windows. The next bay has truncated one-over-one windows (aligning where historically bathrooms were located), and then at the outside a bay with standard height windows.

Window openings at the basement level are similar though the window at the outside bay on the north and south is elongated. At the north center is a recessed stair well parallel to the building face that leads to a wood door.

WORK AND IMPACT ON FEATURE: Façade will be inspected and repaired as necessary. All vegetation will be removed. All conduit, fasteners, hardware and modern attachments in the brick/mortar will be removed and brick/mortar will be repaired at the point of attachments. Any graffiti will be removed in accordance with Preservation Brief 38.

CONTINUATION/AMENDMENT SHEET
Historic Preservation
Certification Application

IDAO Apartments

Property Name

910 Marlborough Street, Detroit, Wayne County, Michigan

Property Address

Brick, cast stone and mortar will be inspected and repaired. The building will be cleaned in accordance with Preservation Brief 1. Mortar repair, as necessary, will match the existing conditions and be completed in accordance with Preservation Brief 2.

The entry door will be replaced with a new wood door matching historic designs. New exterior light fixtures will be installed flanking the door.

First through third floor windows will be replaced with three-over-one, wood, double-hung windows. Glass block windows at the ground level will be replaced with wood matching those on the upper floors.

Secondary entry to the basement will be inspected and repaired with new wood door. Retaining wall will be reconstructed to meet code.

PHOTOS: 1-5

DRAWINGS: A-3, A-5, A-9, A-10 (ArchiveDS, 09.22.16)

CONTINUATION/AMENDMENT SHEET
Historic Preservation
Certification Application

IDAO Apartments

Property Name

910 Marlborough Street, Detroit, Wayne County, Michigan

Property Address

ITEM 3

ARCHITECTURAL FEATURE: South (alley) Elevation

DATE OF FEATURE: 1927. C. 2000

EXISTING FEATURE AND CONDITION: The south and north elevations are essentially mirrors of each other with slight variations at the basement level.

The façade is clad in utilitarian red brick in natural gray mortar. The roofline has three approximately equal steps down reflecting the downward west-to-east slope of the roof. Windows are one-over-one vinyl with the three floors organized symmetrically into four vertical bays set in from the east and west. Windows have a modern cast stone sill; the window head has a slight fascia. At the basement level are three glass block windows of varying sizes and are irregularly located.

The elevation is in sound but poor condition.

WORK AND IMPACT ON FEATURE: Façade will be inspected and repaired as necessary. All vegetation will be removed. All conduit, fasteners, hardware and modern attachments in the brick/mortar will be removed and brick/mortar will be repaired at the point of attachments. Any graffiti will be removed in accordance with Preservation Brief 38.

Brick, cast stone and mortar will be inspected and repaired. The building will be cleaned in accordance with Preservation Brief 1. Mortar repair, as necessary, will match the existing conditions and be completed in accordance with Preservation Brief 2.

First through third floor windows will be replaced with three-over-one, wood, double-hung windows. Glass block windows at the ground level will be replaced with wood matching those on the upper floors.

PHOTOS: 2, 6, 7

DRAWINGS: A-3, A-5, A-10 (ArchiveDS, 09.22.16)

CONTINUATION/AMENDMENT SHEET
Historic Preservation
Certification Application

IDAO Apartments

Property Name

910 Marlborough Street, Detroit, Wayne County, Michigan

Property Address

ITEM 4

ARCHITECTURAL FEATURE: East (rear) Elevation

DATE OF FEATURE: 1927. C. 2000

EXISTING FEATURE AND CONDITION: The east or rear elevation is similar in organization to the west but with lesser materials. It is roughly 62 feet in length and 36 feet tall. It is clad in utilitarian brick with natural gray mortar. Generally, windows are vinyl with cast stone sills and a slight fascia; ground floor windows are glass block. Windows are a combination of one-over-one, sliders, and fixed. Horizontally, the elevation is flat without definition. The elevation does not have any decoration.

Vertically, the building is symmetrically organized. Fenestration divides the building into seven bays with each north bay mirroring its respective bay at the south. The center bay has a door-sized opening between the first and second, and second and third floors. On the interior, this space is a stair tower and the openings align with the stair landing.

This central bay is flanked by bays with broad slider windows. The next bay has truncated one-over-one windows (aligning where historically bathrooms were located), and then at the outside a bay wills standard height windows.

Window openings at the basement level are small and utilitarian in nature.

WORK AND IMPACT ON FEATURE: Façade will be inspected and repaired as necessary. All vegetation will be removed. All conduit, fasters, hardware and modern attachments in the brick/mortar will be removed and brick/mortar will be repaired at the point of attachments. Any graffiti will be removed in accordance with Preservation Brief 38.

Brick, cast stone and mortar will be inspected and repaired. The building will be cleaned in accordance with Preservation Brief 1. Mortar repair, as necessary, will match the existing conditions and be completed in accordance with Preservation Brief 2.

First through third floor windows will be replaced with three-over-one, wood, double-hung windows. Glass block windows at the ground level will be replaced with wood matching those on the upper floors. Openings in the center bay will be infilled with matching brick.

PHOTOS: 7, 8

DRAWINGS: A-3, A-5, A-10 (ArchiveDS, 09.22.16)

CONTINUATION/AMENDMENT SHEET
Historic Preservation
Certification Application

IDAO Apartments

Property Name

910 Marlborough Street, Detroit, Wayne County, Michigan

Property Address

ITEM 5

ARCHITECTURAL FEATURE: North Elevation

DATE OF FEATURE: 1927. C. 2000

EXISTING FEATURE AND CONDITION: The north and south are essentially mirrors of each other with slight variations at the basement level.

The façade is clad in utilitarian red brick in natural gray mortar. The roofline has three approximately equal steps down reflecting the downward west-to-east slope of the roof. Windows are one-over-one vinyl with the three floors organized symmetrically into four vertical bays set in from the east and west. Windows have a modern cast stone sill; the window head has a slight fascia. At the basement level are three glass block windows of varying sizes and are irregularly located.

The elevation is in sound but poor condition.

WORK AND IMPACT ON FEATURE: Façade will be inspected and repaired as necessary. All vegetation will be removed. All conduit, fasteners, hardware and modern attachments in the brick/mortar will be removed and brick/mortar will be repaired at the point of attachments. Any graffiti will be removed in accordance with Preservation Brief 38.

Brick, cast stone and mortar will be inspected and repaired. The building will be cleaned in accordance with Preservation Brief 1. Mortar repair, as necessary, will match the existing conditions and be completed in accordance with Preservation Brief 2.

First through third floor windows will be replaced with three-over-one, wood, double-hung windows. Glass block windows at the ground level will be replaced with wood matching those on the upper floors.

PHOTOS: 9

DRAWINGS: A-3, A-5, A-10 (ArchiveDS, 09.22.16)

CONTINUATION/AMENDMENT SHEET
Historic Preservation
Certification Application

IDAO Apartments

Property Name

910 Marlborough Street, Detroit, Wayne County, Michigan

Property Address

ITEM 6

ARCHITECTURAL FEATURE: First Floor

DATE OF FEATURE: 1927. C. 2000

EXISTING FEATURE AND CONDITION: The first floor is elevated from grade. It is accessed from a central door on the west that leads to a small vestibule. As originally built, a short run of stairs led to the first floor with a matching rear stair at the east. The interior was gutted by the previous owner, including removal of the two stairs, all partitions, all ceiling and flooring. New metal gypsum board framing was installed.

WORK AND IMPACT ON FEATURE: The applicant is proposing to adapt the first floor to two 3-bedroom/2-bath apartments.

The entry will be inspected and repaired. A new wood stair will be installed in the west stair hall. At the first floor landing a door will lead to a small vestibule, approximately width of the stair hall, with doorways to the north, south and east. The north and south doors will lead to apartment units. The east doorway will lead to a mechanical room.

Finishes will be appropriate with painted gypsum board walls and ceiling. Flooring will be either wood or tile, depending upon use, over a plywood deck and gypcrete covering. Perimeter walls will be furred as necessary to meet energy codes.

PHOTOS: 10-14

DRAWINGS: AD-1, A-1, A-6, A-7, A-8, A-9 (ArchiveDS, 09.22.16)

CONTINUATION/AMENDMENT SHEET
Historic Preservation
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IDAO Apartments

Property Name

910 Marlborough Street, Detroit, Wayne County, Michigan

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ITEM 7

ARCHITECTURAL FEATURE: Floors 2-3

DATE OF FEATURE: 1927. C. 2000

EXISTING FEATURE AND CONDITION: Floors 2-3 are identical. As originally built, these floors had a central front (west) and rear (east) stair hall with a north-south corridor providing access to apartments. The interior was gutted by the previous owner, including removal of the two stairs, all partitions, all ceiling and flooring. New metal gypsum board framing was installed.

WORK AND IMPACT ON FEATURE: Floors 2 and 3 will be developed similar to the first floor with two 3-bedroom/2-bath apartments.

A new wood stair will be installed in the west stair hall. At the landing a door will lead to a small vestibule, approximately width of the stair hall, with doorways to the north, south and east. The north and south doors will lead to apartment units. The east doorway will lead to a mechanical room.

Finishes will be appropriate with painted gypsum board walls and ceiling. Flooring will be either wood or tile, depending upon use, over a plywood deck and gypcrete covering. Perimeter walls will be furred as necessary to meet energy codes.

PHOTOS: 15-23

DRAWINGS: AD-1, A-2, A-6, A-7, A-8, A-9 (ArchiveDS, 09.22.16)

CONTINUATION/AMENDMENT SHEET
Historic Preservation
Certification Application

IDAO Apartments

Property Name

910 Marlborough Street, Detroit, Wayne County, Michigan

Property Address

ITEM 8

ARCHITECTURAL FEATURE: Basement

DATE OF FEATURE: 1927. C. 2000

EXISTING FEATURE AND CONDITION: The building has a full daylight basement that is accessed via a doorway at the front just north of the main entry and from the rear. A load-bearing east-west wall runs across center of the floor. Otherwise, the floor has been gutted with the removal of all partitions and ceilings. The floor is concrete.

WORK AND IMPACT ON FEATURE: The basement will be adapted similar to the first floor with two 3-bedroom/2-bath apartments.

A new wood stair will be installed in the west stair hall. At the landing a door will lead to a small vestibule, approximately width of the stair hall, with doorways to the north, south and east. The north and south doors will lead to apartment units. The east doorway will lead to a mechanical room.

Finishes will be appropriate with painted gypsum board walls and ceiling. Flooring will be either wood or tile, depending upon use, over a plywood deck and gypcrete covering. Perimeter walls will be furred as necessary to meet energy codes.

PHOTOS: 24-25

DRAWINGS: AD-1, A-1, A-6, A-7, A-8, A-9 (ArchiveDS, 09.22.16)

CONTINUATION/AMENDMENT SHEET
Historic Preservation
Certification Application

IDA0 Apartments

Property Name

910 Marlborough Street, Detroit, Wayne County, Michigan

Property Address

ITEM 9

ARCHITECTURAL FEATURE: Roof

DATE OF FEATURE: 1927. C. 2000

EXISTING FEATURE AND CONDITION: The roof is generally flat, sloping down from west to east. At the east (rear), parapet is low, stepped on the north and south to a mid-height on the west. The deck is wood covered with rolled asphalt. A brick chimney is located at the center east. At the center is a roof hatch. A modern rain gutter runs along the east elevation with three downspouts, located irregularly.

WORK AND IMPACT ON FEATURE: The current roof membrane will be removed in its entirety, including flashing and fasteners. The roof deck and substrate will be inspected and repaired as necessary to create water-tight conditions. New EDPM roof membrane will be installed with new fasteners and flashing. Parapets and coping will be inspected and repaired as necessary. The gutter system at the east will be replaced in kind. New vents will be installed per code. Flashing will be inspected and/or replaced.

PHOTOS: N/A

DRAWINGS: N/A

CONTINUATION/AMENDMENT SHEET
Historic Preservation
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IDAO Apartments

Property Name

910 Marlborough Street, Detroit, Wayne County, Michigan

Property Address

ITEM 10

ARCHITECTURAL FEATURE: Vertical Access - Stairs

DATE OF FEATURE: 1927. C. 2000

EXISTING FEATURE AND CONDITION: As built, the building had a set of stairs at the center west accessed from the center front door/vestibule with a second rear stair directly west. These were removed by the prior owner. Current stairs are temporary wood at the center west.

The building does not have an elevator.

WORK AND IMPACT ON FEATURE: Applicant is proposing to build a new full height code-compliant wood stair at the center west. The design is traditional and appropriate.

The stairwell at center-east will be modified and adapted to serve as mechanical rooms for each floor.

PHOTOS: 11, 15, 19

DRAWINGS: AD-1, A-1, A-2, A-6 (ArchiveDS, 09.22.16)

CONTINUATION/AMENDMENT SHEET
Historic Preservation
Certification Application

IDAO Apartments

Property Name

910 Marlborough Street, Detroit, Wayne County, Michigan

Property Address

ITEM 11

ARCHITECTURAL FEATURE: Fire and Life Safety

DATE OF FEATURE: New construction

EXISTING FEATURE AND CONDITION: N/A

WORK AND IMPACT ON FEATURE: Applicant will bring the property to current code. The building will have a comprehensive sprinkler system. A smoke evacuation system will be installed. A smoke detector system will be installed with horn and strobe alerts, along with pull service in the building.

PHOTOS: N/A

DRAWINGS: N/A

CONTINUATION/AMENDMENT SHEET
Historic Preservation
Certification Application

IDAO Apartments

Property Name

910 Marlborough Street, Detroit, Wayne County, Michigan

Property Address

ITEM 12

ARCHITECTURAL FEATURE: Mechanicals, Electrical, Plumbing

DATE OF FEATURE: New Construction

EXISTING FEATURE AND CONDITION: N/A

WORK AND IMPACT ON FEATURE: A new energy efficient system installed using the rear stairwell space as a mechanical room on each floor. All ducting will be concealed. Eight condensing units will be installed along the rear.

Dryer vents will be installed on the secondary elevations with one per floor on the south and north and two per floor at the east.

The water system will be inspected, repaired, and upgrade as appropriate, running lines as appropriate for the multiple users. Where feasible, reuse existing water, waste and vent piping. All existing water, waste and vent piping not be reused will be removed and/or abandoned. All discontinued live branches will be capped.

Electrical service will be upgraded as necessary to meet current building codes.

PHOTOS: N/A

DRAWINGS: M-1 - M-4, M-7 (ArchiveDS, 09.22.16)

CONTINUATION/AMENDMENT SHEET
Historic Preservation
Certification Application

IDAO Apartments

Property Name

910 Marlborough Street, Detroit, Wayne County, Michigan

Property Address

ITEM 13

ARCHITECTURAL FEATURE: Site and Landscaping

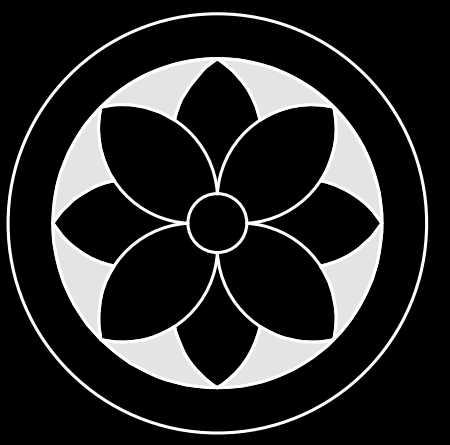
DATE OF FEATURE: 1927. C. 2000

EXISTING FEATURE AND CONDITION: The IDAO Apartment Building is located on a rectangular lot, roughly 3920 square feet (approximately 68 feet north and south and 58 feet east and west. The front along Marlborough has a lawn setback of approximately 6 feet along with a narrow setback on the east, north and south. The site is fully disturbed and there are no character-defining landscape features.

WORK AND IMPACT ON FEATURE: The applicant proposes to retain and rehabilitate the existing site. The perimeter west will have a brick paver installed with a new 6 foot wrought iron fence. At the rear eight condensing units will be installed. Overgrown shrubbery will be removed. Existing lawns will be retained and reseeded. Foundation plantings will be updated. Existing broken concrete walkways will be replaced with new matching historic conditions.

PHOTOS: All Exterior

DRAWINGS: C-1 (ArchiveDS, 09.22.16)



BUILDING OWNER:
SHELBORNE DEVELOPMENT
8445 E. JEFFERSON
DETROIT, MI 48214
(313) 458-9243



MARLBOROUGH APARTMENTS

910 MARLBOROUGH STREET

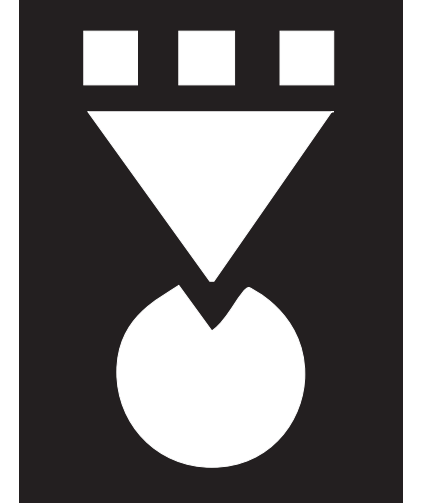
NO.	TITLE
C-1	SITE PLAN / GEN. NOTES
GN-1	ABBREVIATIONS AND LEGEND
GN-2	GENERAL NOTES
GN-3	GENERAL NOTES
AD-1	DEMOLITION/ EXISTING PLANS
A-1	BASEMENT AND FIRST FLOOR PLAN
A-2	SECOND AND THIRD FLOOR PLAN
A-3	ELEVATIONS
A-4	SECTIONS
A-5	ENLARGED ELEVATION
A-6	STAIR SECTIONS AND DETAILS
A-7	INTERIOR ELEVATIONS
A-8	MISC. DETAILS
A-9	NEW FLOOR DETAILS
A-10	WINDOW DETAILS
A-X	FURNITURE PLANS
M-1	BASEMENT AND FIRST FLOOR PLUMBING
M-2	SECOND AND THIRD FLOOR PLUMBING
M-3	BASEMENT AND FIRST FLOOR HVAC
M-4	SECOND AND THIRD FLOOR HVAC
M-5	WATER RISERS
M-6	SANITARY RISERS
M-7	MECHANICAL SPECS.
E-1	BASEMENT AND FIRST FLOOR ELECTRICAL
E-2	SECOND AND THIRD FLOOR ELECTRICAL
E-3	ELECTRICAL SPECS. AND RISERS

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ARCHIVEDS

6 1 5
GRISWOLD
SUITE 518
DETROIT, MI
4 8 2 2 6
313.9 6 3.6 6 8 7

A DIVISION OF NEURBAN DESIGN GROUP, INC.



CONDITIONS OF THE CONTRACT

1) THE PURPOSE OF THE DRAWINGS IS TO INDICATE THE DESIGN INTENT OF THE PROJECT. THE OWNER PROVIDED SUB CONTRACTORS ARE RESPONSIBLE FOR THE MEANS AND METHOD OF CONSTRUCTION OUTSIDE THOSE SPECIFICALLY INDICATED IN THE DRAWINGS.

2) THE CONTRACTOR WILL NOTIFY THE OWNER AND ARCHITECT OF CONFLICTS BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS.

3) CONTRACTORS SHALL COORDINATE THE SELECTION AND INSTALLATION OF THE FINISH MATERIALS AND LIGHTING FIXTURES WITH THE OWNER AND THE ARCHITECT.

4) A PRODUCT SPECIFIED BY REFERENCE STANDARD SHALL COMPLY WITH THE REQUIREMENTS OF THE STANDARD IN EFFECT ON THE DATE OF THE BIDDING DOCUMENTS, UNLESS A DATE IS SPECIFIED WITH THE STANDARD, THEN THE EDITION OF THE STANDARD SO DATED SHALL GOVERN.

5) NO PROVISION OF ANY REFERENCE STANDARD, MANUAL, STATUTE, CODE, OR REGULATION (WHETHER OR NOT SPECIFICALLY INCORPORATED OR REFERENCED IN THE DOCUMENTS) SHALL BE EFFECTIVE TO CHANGE THE DUTIES OF THE OWNER, THE ARCHITECT, OR THE CONTRACTOR, OR ANY OF THEIR OFFICERS, EMPLOYEES, OR CONSULTANTS, NOR SHALL IT BE USED TO AUTHORIZE THE ARCHITECT OR ANY OF HIS OFFICERS, EMPLOYEES, OR CONSULTANTS TO SUPERVISE OR DIRECT THE FURNISHING OR INSTALLATION OF ANY WORK.

6) THE ROLE OF THE ARCHITECT DURING CONSTRUCTION IS AS FOLLOWS:

(1) INTERPRETING MATTERS CONCERNING REQUIREMENTS OF THE CONTRACT DOCUMENTS IN RESPONSE TO WRITTEN OR VERBAL REQUESTS FROM THE OWNER.

(2) REVIEWING AND ADVISING THE OWNER AS TO THE APPROPRIATENESS OF THE CONTRACTOR'S SUBMITTALS SUCH AS SHOP DRAWINGS, PRODUCT DATA, AND SAMPLES.

7) CONTRACTOR SHALL INSURE THE PROTECTION OF THE PERSONS AND PROPERTY INCLUDING THREAT FROM TOXIC MATERIALS OR SUBSTANCES.

8) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION, TESTING AND BALANCING OF THE HVAC AND ELECTRICAL SYSTEMS.

CLEANING OF PREMISES

-CONTRACTOR SHALL NOT ALLOW TO ACCUMULATE AND SHALL REMOVE, AT THEIR OWN EXPENSE, FROM THE PREMISES AND THE SITE, AT LEAST ONCE A WEEK. THEIR SURPLUS AND SCRAP MATERIAL, BULK WASTE AND DEBRIS, RESULTING FROM THEIR WORK AND THE WORK OF THEIR EMPLOYEES AND SUBCONTRACTORS.

-ALL SUCH DEBRIS AND WASTE THAT IS COMBUSTIBLE SHALL BE REMOVED FROM THE BUILDING AT THE END OF EACH DAY.

-GENERAL CONTRACTOR IS RESPONSIBLE FOR THE FINAL CLEAN-UP OF THE ENTIRE SITE.

-ALL GLASS IS TO BE PROFESSIONALLY CLEANED.

SCOPE OF WORK NOTES

1. CLEAN EXTERIOR OF BUILDING PER SPECIFICATIONS. (SEE SHT. A-3)

2. CLEAN COMPLETELY ALL LIMESTONE SURFACES INCLUDING RUST STAINS BY POWER WASHING WITH MASONRY CLEANER.

3. FIELD VERIFY STRUCTURAL INTEGRITY OF STEEL LINTEL OVER EXISTING EXTERIOR OPENINGS INCLUDING BUT NOT LIMITED TO WINDOWS AND DOORS. CAREFULLY REMOVE ALL STRUCTURALLY DEFORMED, FATIGUED, AND SEVERELY RUSTED STEEL LINTELS. FURNISH AND INSTALL NEW STEEL LINTEL. MATCH THICKNESS AND PROFILE OF ORIGINAL STEEL. NOTIFY ARCHITECT IMMEDIATELY OF UNACCEPTABLE CONDITIONS BEFORE PROCEEDING WITH THE WORK.

4. FIELD VERIFY ALL MASONRY OPENINGS PRIOR TO FABRICATION OF NEW WINDOWS AND DOORS.

5. REMOVE ALL EXPOSED AND/OR ABANDONED UTILITY WIRES OR CONDUIT. CAP OFF WIRES AND PROVIDE PAINTED STEEL COVER PLATE OVER ABANDONED JUNCTION BOXES.

6. SHOP PRIME AND FIELD PAINT NEW STEEL LINTELS TO MATCH ADJACENT CONSTRUCTION. PRIMING AND PAINTING OF STEEL LINTELS SHALL BE PERFORMED BEFORE INSTALLATION OF NEW WINDOW SYSTEM.

7. REMOVE DETERIORATED AND LOOSENED SEALANT FROM ALL JOINTS AND AROUND OPENINGS. CLEAN JOINTS AND RESEAL WITH BACKER ROD AND SEALANT.

8. TUCK POINT ALL MASONRY JOINTS OPENED BEFORE AND AFTER MASONRY CLEANING INCLUDING LIMESTONE UNITS AT ENTRY.

9. SCRAPE, PRIME, AND PAINT ALL EXPOSED SHEET METAL WORK.

10. CAREFULLY REMOVE EXISTING LIMESTONE UNITS OR SILLS WHERE INDICATED ON DRAWINGS. INSTALL NEW LINTEL. RE-INSTALL EXISTING LIMESTONE (USE STAINLESS STEEL OR BRONZE ANCHORS AS REQUIRED TO SECURE MASONRY TO STRUCTURE.)

11. EXISTING LINTELS THAT ARE TO REMAIN SHALL BE SANDBLASTED DOWN TO BARE METAL. PAINT USING ONE COAT OF EXTERIOR GRADE PRIMER AND TWO TOP COATS.

12. ALL SHIMS AND BLOCKING SHALL BE TREATED LUMBER. BLOCKING AT SILLS SHALL BE CONTINUOUS.

13. PROVIDE SEALANT WHERE SHOWN ON THE DRAWING AND REQUIRED BY SPECIFICATIONS, (TYPICAL @ ALL WINDOWS).

14. PAINT WITH ANTI-OXIDIZING COATING, NEW AND EXISTING DOORS AND DOOR FRAMES, GUTTERS, DOWN-SPOUTS, HAND RAILS, LOUVERED VENTS, EXHAUST FAN HOOD, ETC., COLORS SHALL BE CHOSEN BY THE OWNER AND THE ARCHITECT BASED ON MFRS SAMPLES.

CODE SUMMARY

•Relevant Codes:

Mich Building Code 2012
N.F.P.A. 13R

•Building Information

Proposed Use Group: R-2
Existing Use Group: R-2
Construction Type: 3B
Building Height: 36'-8"
Allowable Sq. Footage: 16000/floor (MBC table 503)
Actual Sq. Footage: 2,155/floor
Min. Sq. Footage per Occupant: 200 sq ft
Occupant Load : 11 per floor

•Parking

Required for use R-2: 1.25 spaces per unit
Existing: 0 Spaces
Provided: 8 Spaces

•Egress Requirements

One exit req'd. Building is fully sprinklered (MBC 1005.2.2, table 1005.2.2)

Egress corridors must be minimum 36" in width (MBC 1004.3.2.2)

Doors to exit stairs must be self-closing (MBC 714.2.7)

Unit entry doors are to be C label (45 min. rating)

Automatic closers on all unit entry doors (MBC 714.2.7)

•Fire Rating Requirements (from MBC table 601)

Exterior walls: 2 hr (Load Bearing) 1hr (Non Loadbearing) per table 602 - Fire separation distance greater than 5'-0"

Load bearing partitions: 0 hr.

Non-load bearing partitions: 0 hr.

Dwelling unit separation: 1 hr. (Blg. Fully Sprinklered) table 708.1

Fire separation of exits: 2 hr.

Fire separation of shafts: 2 hr.

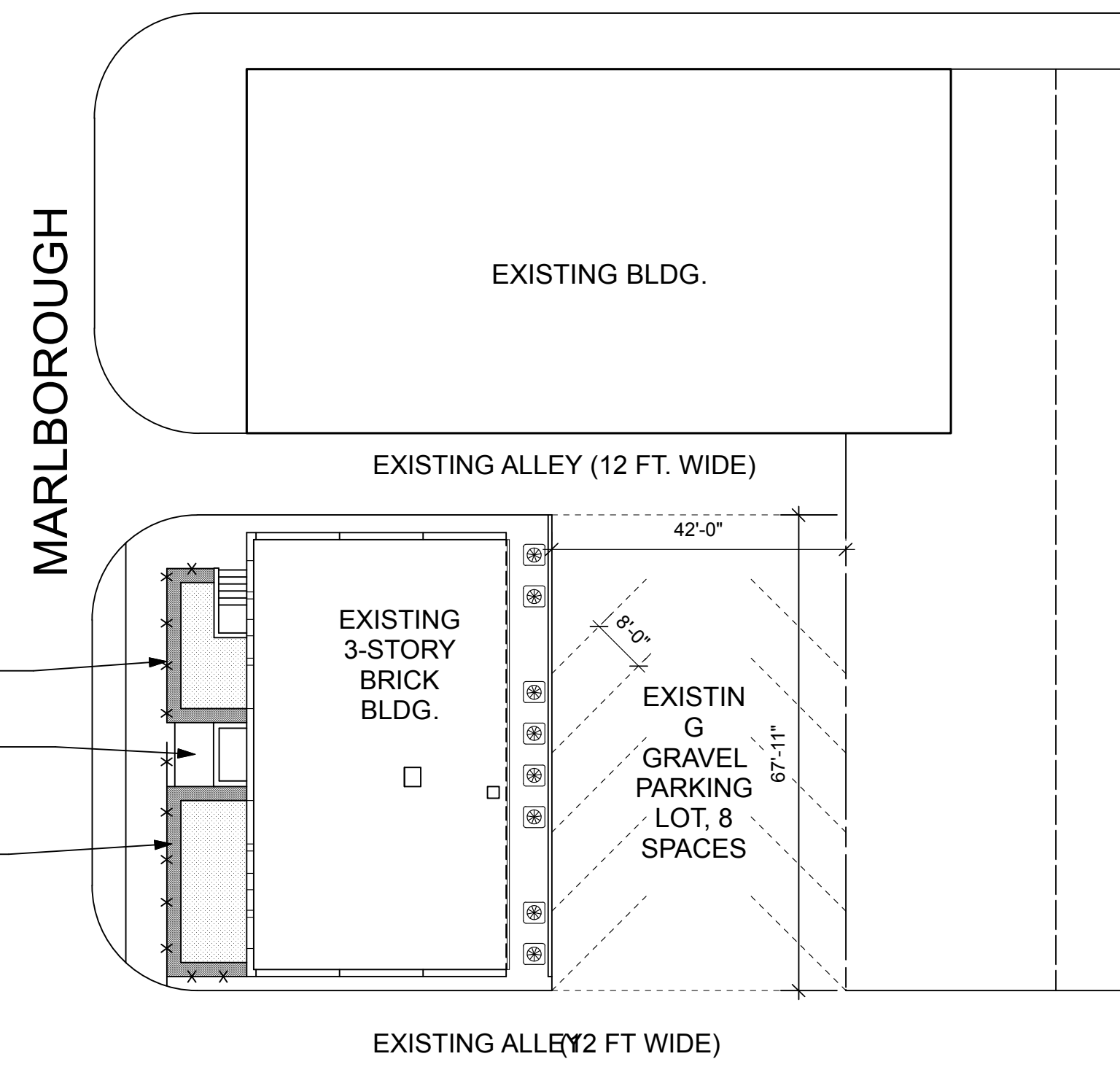
Mechanical room: 0 hr.

Structural members: 0 hr.

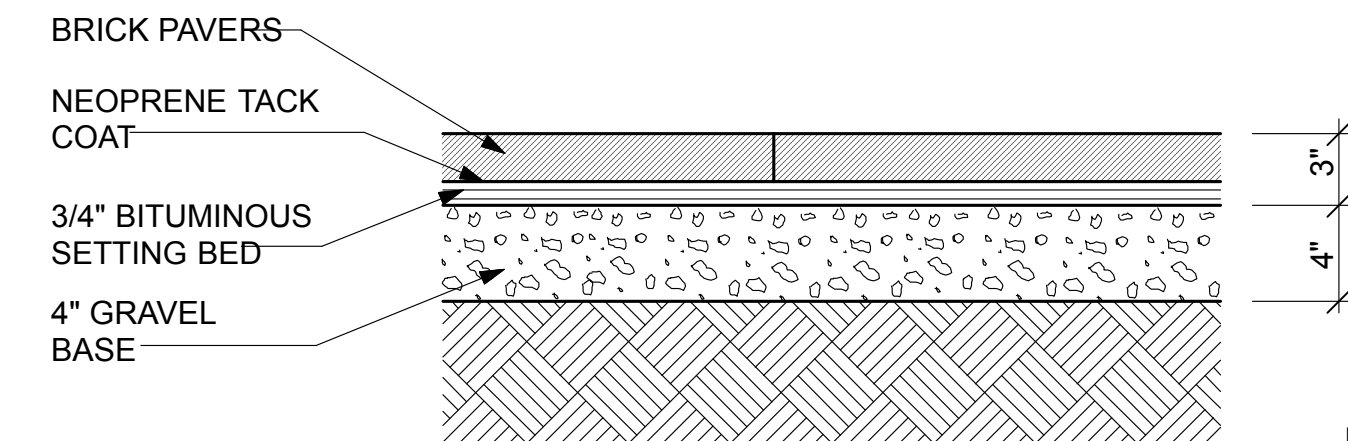
Floor construction (serves as dwelling unit separation): 1/2 hr. (Blg. fully Sprinklered)

Roof construction: 0 hr.

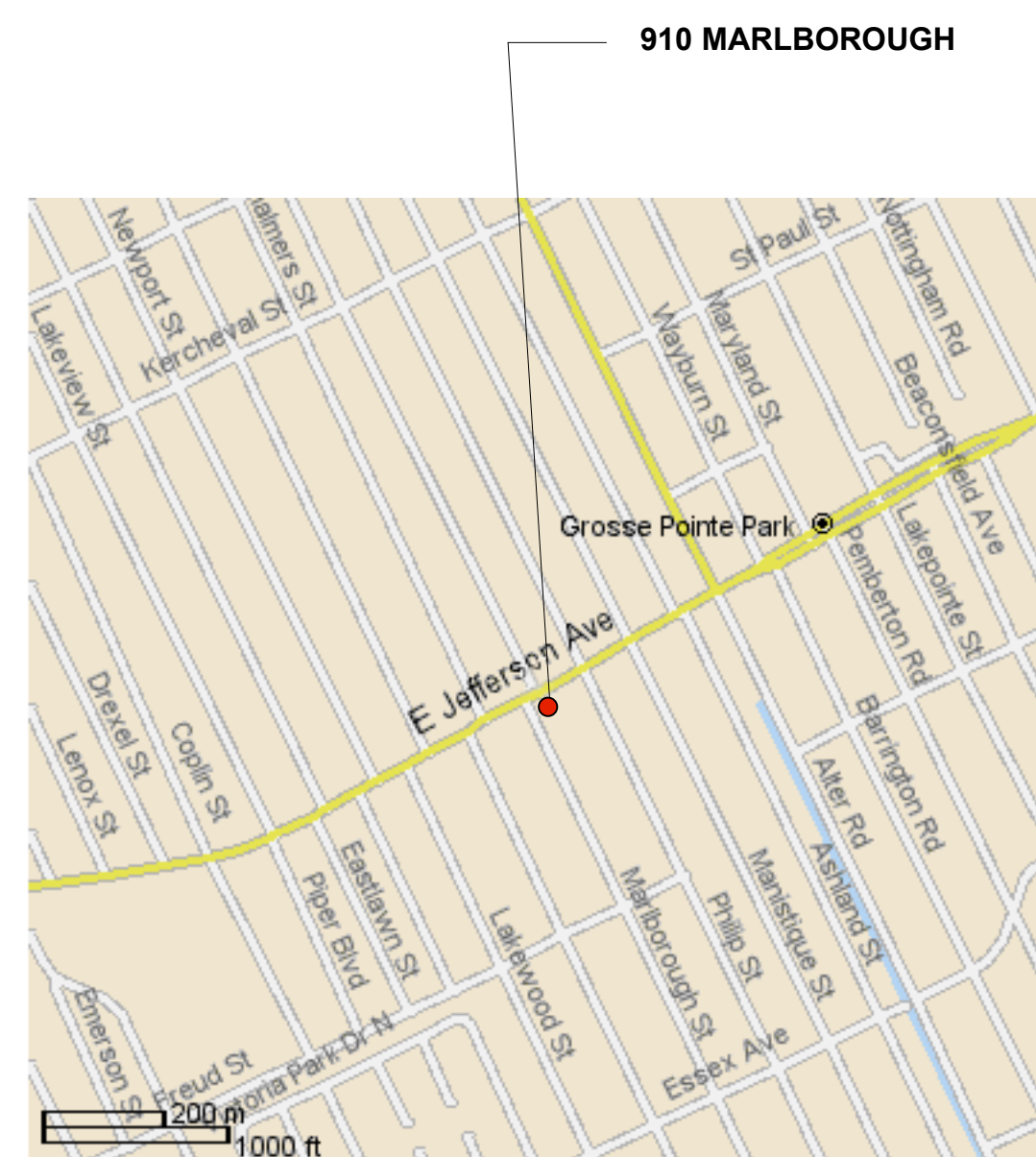
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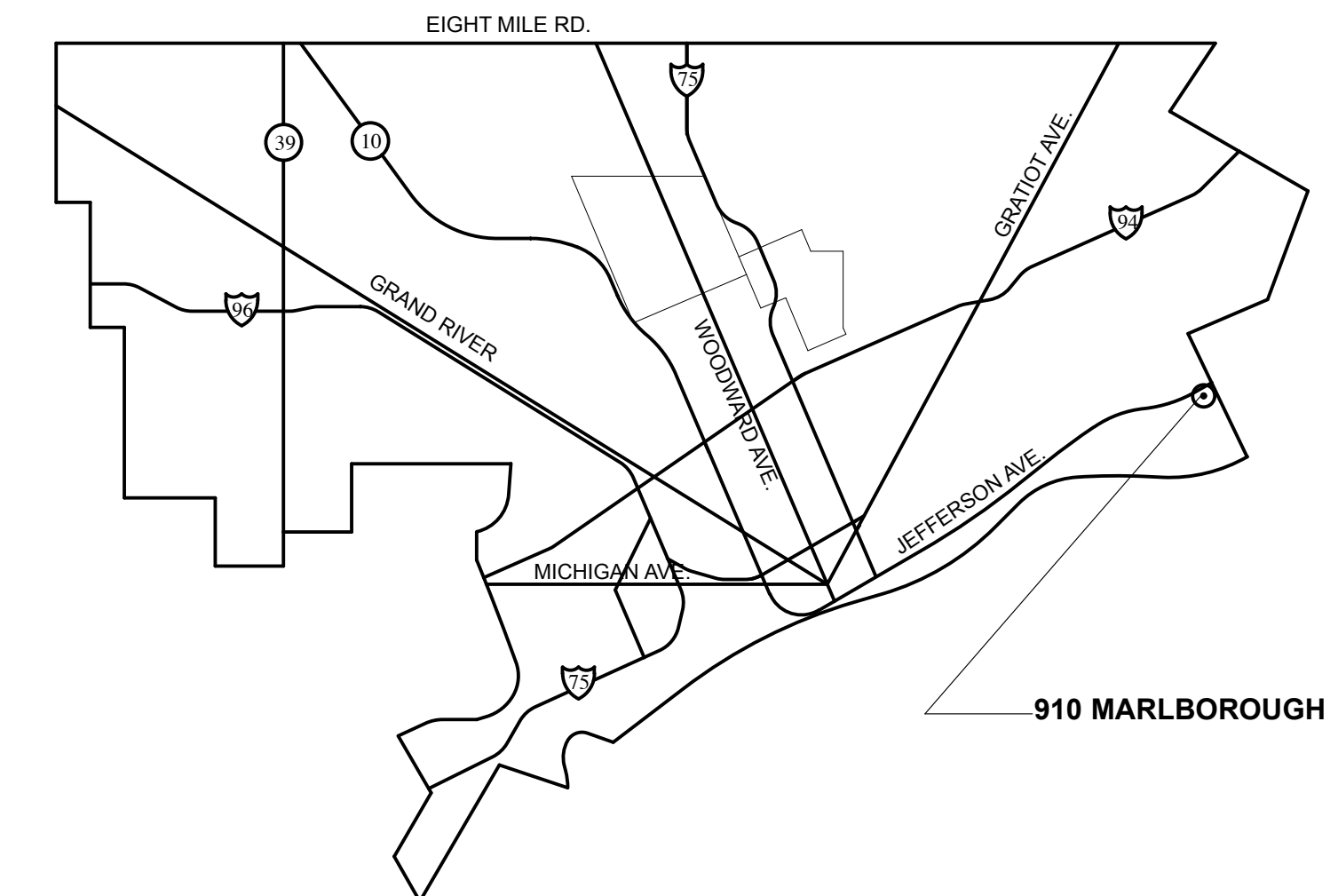
SITE PLAN
SCALE: 1" = 20'-0"



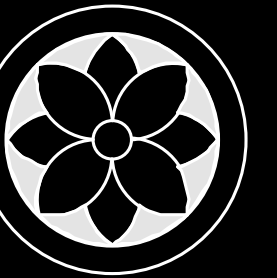
BRICK PAVER SECTION
SCALE: 1 1/2" = 1'-0"



LOCATION MAP
NOT TO SCALE



CITY OF DETROIT
NOT TO SCALE



MARLBOROUGH APARTMENTS
910 Marlborough Street
Detroit, Michigan
SHELBORNE DEVELOPMENT

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Site Plan, General Notes

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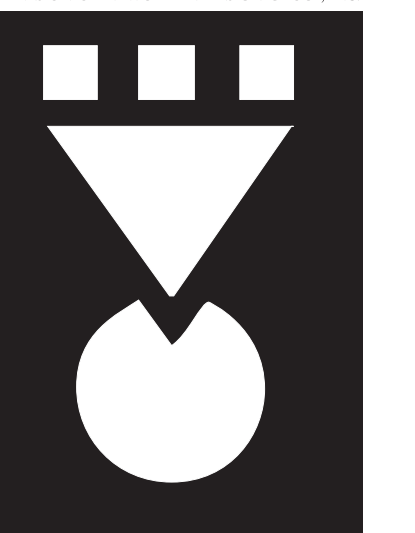
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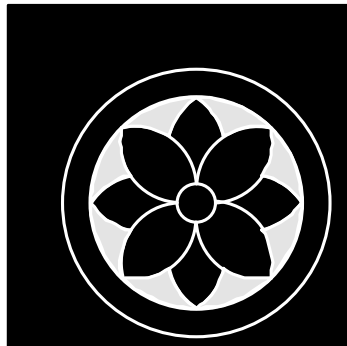
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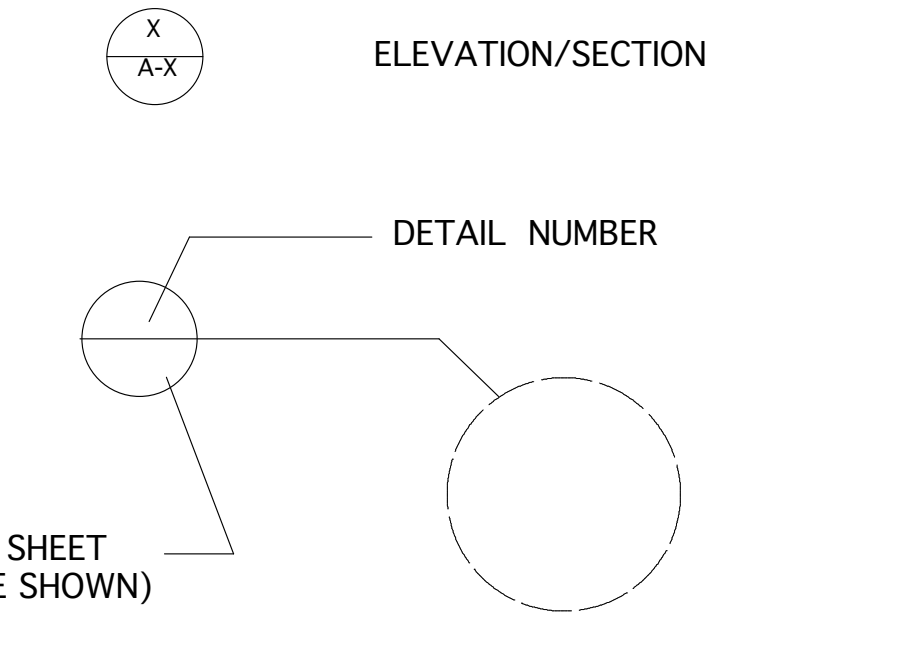
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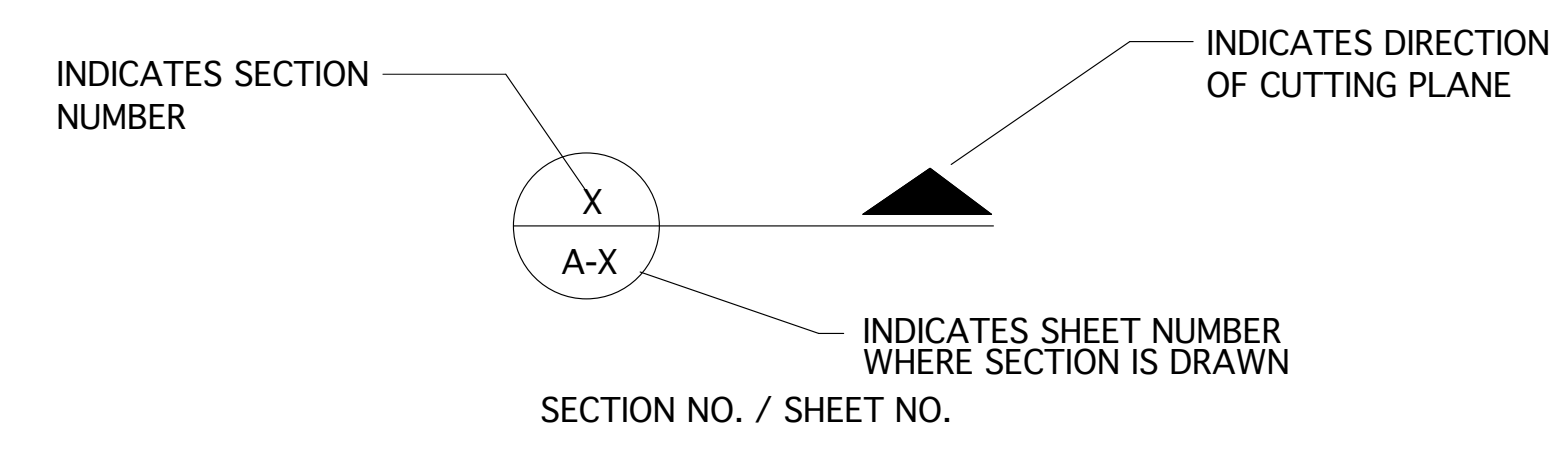
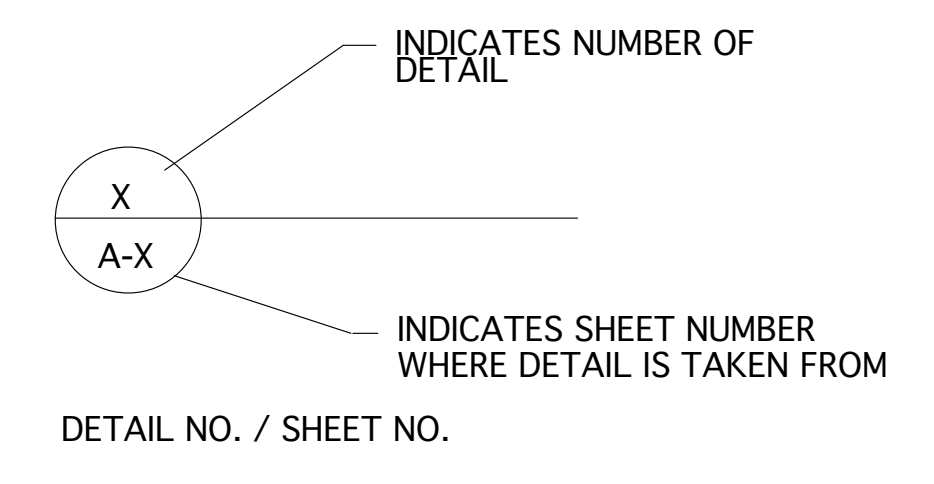
MARLBOROUGH APARTMENTS
 910 Marlborough Street
 Detroit, Michigan
SHELBORNE DEVELOPMENT

ARCHITECTURAL GRAPHIC SYMBOLS

SYMBOL	DESCRIPTION
100	ROOM NUMBER
22	DOOR NUMBER
22	WINDOW NUMBER
10	EQUIPMENT NUMBER
	FLOOR ELEVATION OR WORK POINT REFERENCE



PLAN / DETAILS.



ABBREVIATIONS

ACP	ACOUSTICAL PANEL	F	FIRE EXTINGUISHER	MO	MASONRY OPENING	SECT	SECTION
ADJ	ADJUSTABLE	FD	FLOOR DRAIN	MATL	MATERIAL	SHT	SHEET
AFF	ABOVE FINISH FLOOR	FLUOR	FLUORESCENT	MAX	MAXIMUM	SIM	SIMILAR
ARCH	ARCHITECTURAL	FT	FEET	MECH	MECHANICAL		
BF	BARRIER FREE	FTG	FOOTING	MTL	METAL	SPEC	SPECIFICATION
BLKG	BLOCKING	FRM	FRAME	MIN	MINIMUM	SO	SQUARE
BRD	BOARD	FUR	FURRING	MISC	MISCELLANEOUS	SQ FT	SQUARE FOOT
BOT	BOTTOM	FIN	FINISH	MTR	MORTAR	STD	STANDARD
		FIN FL	FINISHED FLOOR	MTD	MOUNTED	STL	STEEL
				MULL	MULLION		
CPT	CARPET	GA	GAUZE	NOM	NOMINAL	SAN	SANITARY DRAIN
CLG	CEILING	GALV	GALVANIZED	NIC	NOT IN CONTRACT	STOR	STORAGE
CLG DIFF	CEILING DIFFUSER	GL	GLASS	NTS	NOT TO SCALE	SUR	SURFACE
CLG HGT	CEILING HEIGHT	GR	GRADE	NO	NUMBER	SUSP	SUSPENDED
CEM	CEMENT	GWB	GYPSUM WALLBOARD	NRC	NOISE REDUCTION COEFFICIENT	SATC	SUSPENDED ACOUSTICAL
CTR	CENTER	HAZ	HAZARD	OFF	OFFICE	TA	TOILET ACCESSORIES
CLR	CLEAR OR CLEARANCE	HGT	HARDWARE HEIGHT	OPNG	OPENING	T GL	TEMPERED GLASS
CONC	CONCRETE	HVAC	HEATING, VENTILATING, & AIR CONDITIONING			THRES	THRESHOLD
CONSTR	CONSTRUCTION	HM	HOLLOW METAL			T&G	TONGUE & GROOVE
CONT	CONTINUOUS	HW	HOT WATER			TYP	TYPICAL
C.J.	CONTROL JOINT	IN	INCHES	OD	OUTSIDE DIAMETER	THK	THICK(NESS)
CW	COLD (POTABLE) WATER	ID	INSIDE DIAMETER	OA	OVERALL	UR	URINAL
CMU	CONCRETE MASONRY UNIT	INSUL	INSULATION	O.C	ON CENTER	U.N.O.	UNLESS NOTED OTHERWISE
CT	CERAMIC TILE	INT.	INTERIOR	PTD	PAINTED	V	VENT
		JT	JOINT	PNL	PANEL	VERT	VERTICAL
DF	DRINKING FOUNTAIN	KD	KILN DRIED	PTN	PARTITION	VCT	VINYL COMPOSITION
DIA	DIAMETER			PWD	PLYWOOD	TILE	TILE
DR	DOOR	LAM	LAMINATED	PT	PRESSURE TREAT	VB	VINYL BASE
DN	DOWN	LVR	LOUVER	QT	QUARRY TILE	W/O	WITHOUT
DWG	DRAWING	LAV	LAVATORY			WD	WOOD
D.W.	DISH WASHER			RD	ROOF DRAIN	WC	WATER CLOSET
				REC	RECESSED	WP	WATERPROOFING
EA	EACH			REF	REFERENCE	WPMBR	WATERPROOF MEMBRANE
EHW	ELECTRIC WALL HEATER			REQD	REQUIRED	WB	WOOD BASE
EL	ELEVATION			REV	REVISION		
EQ	EQUAL			R	RISER		
EXH	EXHAUST			RFG	ROOFING		
EXIST	EXISTING			RM	ROOM		
EXPAN	EXPANSION			RO	ROUGH OPENING		
EXP	EXPOSED						
EXT	EXTERIOR						
EIS	EXTERIOR INSULATION SYSTEM						

MATERIAL LEGEND

	EARTH		PLYWOOD
	CONCRETE		BLANKET INSULATION
	ACOUSTICAL CEILING TILE		RIGID INSULATION
	QUARRY TILE		SHIM
	GYPSUM BOARD PARTITION		ROUGH WOOD: CONTINUOUS
	CONCRETE MASONRY UNITS (C.M.U.)		FINISHED WOOD
	FACE BRICK		

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Abbreviations and Legend

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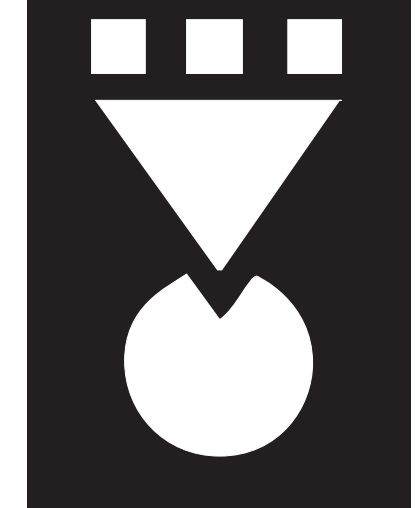
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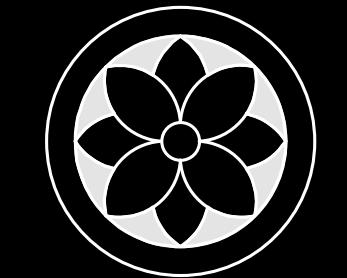
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6. VINYL COMPOSITION TILE: FS SS-T-312, TYPE IV: 12" X 12" UNLESS OTHERWISE INDICATED
7. RUBBER FLOOR TILE: PRODUCTS COMPLYING WITH ASTM F 1344: 12"X12" X 1/8" GAUGE.
8. REQUIRE INSTALLER TO INSPECT SUBFLOOR SURFACES TO DETERMINE THAT THEY ARE SATISFACTORY. A SATISFACTORY SUBFLOOR SURFACE IS DEFINED AS ONE THAT IS SMOOTH AND FREE FROM CRACKS, HOLES, RIDGES, AND/OR COATINGS PREVENTING ADHESIVE BOND, AND OTHER DEFECTS IMPAIRING PERFORMANCE OR APPEARANCE.
9. PERFORM BOND AND MOISTURE TESTS ON CONCRETE SUBFLOORS TO DETERMINE IF SURFACES ARE SUFFICIENTLY CURED AND DRY AS WELL AS TO ASCERTAIN PRESENCE OF CURING COMPOUNDS.
10. DO NOT ALLOW RESILIENT FLOORING WORK TO PROCEED UNTIL SUBFLOOR SURFACES ARE SATISFACTORY.
11. INSTALL AND FINAL CLEAN TILE FLOORING PER MANUFACTURER'S RECOMMENDATION.

PAINTING

1. SUBMIT 8-1/2 X 11 COLOR DOWNS ON HEAVY PAPER TO MATCH ARCHITECT'S COLOR CHIPS FOR EACH COLOR AND TYPE OF PAINT SPECIFIED FOR ARCHITECT'S APPROVAL.
2. MANUFACTURES OTHER THAN THOSE LISTED BELOW MAY BE SUBMITTED FOR CONSIDERATION IN ACCORDANCE WITH GENERAL REQUIREMENTS DIVISION 1.

- .01 BENJAMIN MOORE & CO.
- .02 THE GLIDDEN CO.
- .03 PITTSBURGH PAINTS
- .04 PRATT & LAMBERT
- .05 SHERWIN WILLIAMS
- .06 UNITED COATINGS

3. FERROUS METALS I.E. DOORS, RAILINGS, FENCES, LINTELS, ETC...

- A. FIRST COAT: (TO BE USED EVEN AT SHOP PRIMED ITEMS)
 BENJAMIN MOORE: IRONCLAD RETARDO RUST INHIBITIVE PAINT 163
 GLIDDEN: LIFE MASTER PRO WATER REDUCTIBLE RED OXIDE PRIMER NO. 6970
 PITTSBURGH PAINTS: SPEED HIDE INHIBITIVE METAL PRIMER 6-208 OR 6-212
 PRATT & LAMBERT: EFFECTO RUST INHIBITING PRIMER
 SHERWIN WILLIAMS: KEN KROMIC METAL PRIMER
- B. SECOND AND THIRD COATS:
 BENJAMIN MOORE: MOORECRAFT LATEX HOUSE AND TRIM PAINT 170 EXCEPT AT RAILINGS WHICH SHALL BE IMPERVO ENAMEL 133
 GLIDDEN: LIFE MASTER PRO WATER REDUCTIBLE ACRYLIC NO. 6900 SERIES
 PITTSBURGH PAINTS: MANOR HALL 79 SERIES LATEX URETHANE/ EGGSHELL EXCEPT AT RAILINGS WHICH SHALL BE WATER BASED GLOSS ENAMEL 51-LINE
 SHERWIN WILLIAMS: DTM ACRYLIC GLOSS COATING (WATER REDUCIBLE)

4. CEMENTITIOUS AND SYNTHETIC MATERIALS:
 - A. TWO COATS (ADD A PRIME COAT IF RECOMMENDED BY MANUFACTURER):
 GLIDDEN: SPRED ULTRA EXTERIOR SATIN HOUSE PAINT-6725 SERIES
 SHERWIN WILLIAMS: A-100 SATIN LATEX HOUSE AND TRIM PAINT
 PITTSBURGH PAINTS: MANOR HALL EXTERIOR HOUSE AND TRIM PAINT, 79-LINE
 PITTSBURGH PAINTS: SPEED HIDE ALKYD LO-SHEEN ENAMEL 6-90
 PRATT & LAMBERT: VITALITE ALKYD UNDERCOAT, 2ND COAT
 VIRALITE ENAMEL, 3RD COAT
 SHERWIN WILLIAMS: PRO-MAR 200 ALKYD EGG-SHELL ENAMEL

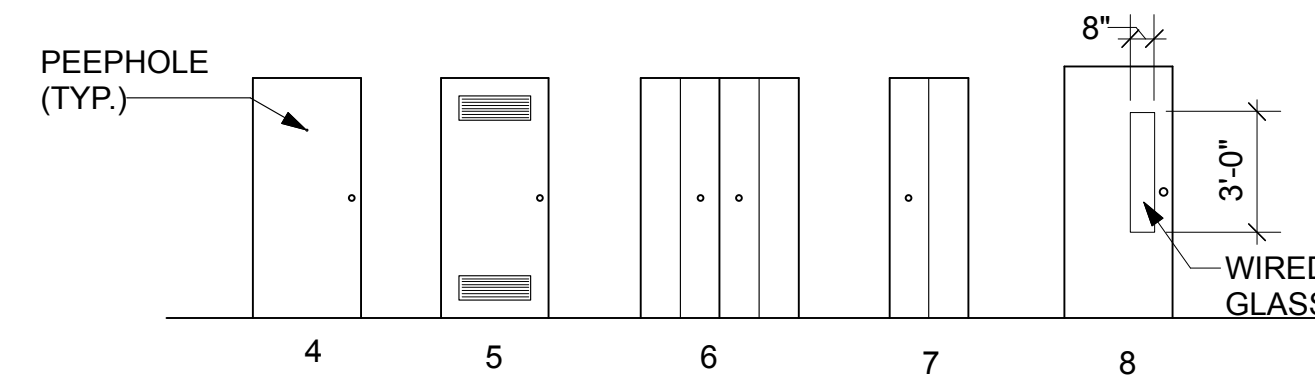
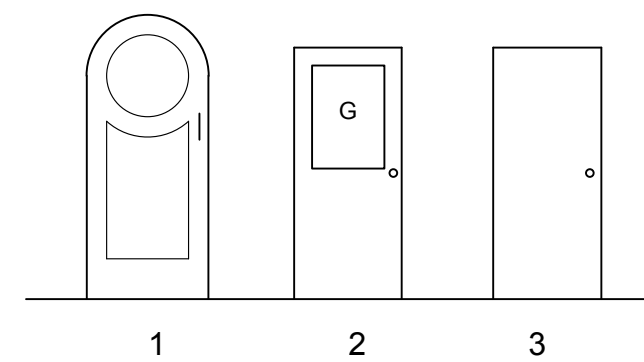
5. NATURAL FINISHED WOODWORK:
 - COORDINATE WITH "FINISH CARPENTRY AND MILLWORK" SECTION (GN-2) TO VERIFY SCOPE OF WORK TO BE FINISHED BY MILLWORK CONTRACTOR.
 - .01 FIRST STEP: WOOD FILLER, APPLIED AS PER MANUFACTURER'S INSTRUCTIONS
 BENJAMIN MOORE: BENWOOD PASTE WOOD FILLER 238
 GLIDDEN: NONE AVAILABLE; USE PRODUCT RECOMMENDED BY MANUFACTURER
 PITTSBURGH PAINTS: NONE AVAILABLE; USE PRODUCT RECOMMENDED BY MANUFACTURER
 PRATT & LAMBERT: FILLER-SEALER
 SHERWIN WILLIAMS: SHER-WOOD NATURAL FILLER D70T1
 - .02 SECOND STEP: STAIN, AS NEEDED TO ACHIEVE COLOR AS PER ARCHITECT, APPLIED AS MANUFACTURER'S INSTRUCTIONS
 BENJAMIN MOORE: MOORE'S INTERIOR WOOD PENETRATING STAIN 241
 GLIDDEN: WOODMASTER 1600
 PITTSBURGH PAINTS: REZ 77-9 POLYURETHENE
 PRATT & LAMBERT: VARMOR POLYURETHENE, SATIN
 SHERWIN WILLIAMS: POLYURETHENE VARNISH A67V1/A67F1
 - .03 THIRD STEP: SANDING SEALER, IF RECOMMENDED BY THE MANUFACTURER.
 - .04 FOURTH STEP: TWO (2) FINISH COATS
 BENJAMIN MOORE: BENWOOD POLYURETHENE, LOW LUSTER 435
 GLIDDEN: NO. 82 SATIN SHEEN
 PITTSBURGH PAINTS: REZ 77-9 POLYURETHENE
 PRATT & LAMBERT: VARMOR POLYURETHENE, SATIN
 SHERWIN WILLIAMS: POLYURETHENE VARNISH A67V1/A67F1

6. ALL SPECIFIED PRODUCTS SHALL BE APPLIED AT THE MINIMUM WET THICKNESS RATE AS RECOMMENDED BY THE MANUFACTURER.
7. DO NOT APPLY SUCCEEDING COATS UNTIL UNDERCOATS ARE THOROUGHLY DRY.
8. AFTER COMPLETION OF THE WORK, DO ALL NECESSARY TOUCHING UP OF ALL THE PAINTING AND FINISHING AND LEAVE THE WORK IN PERFECT CONDITION.
9. ADDITIONAL COSTS WILL BE REQUIRED WHERE FINISHED WORK IS NOT IN COMPLETE COMPLIANCE WITH ALL REQUIREMENTS OF THESE SPECIFICATIONS, OR IF COMPLETE COVERAGE IS NOT ACCOMPLISHED IN THE SPECIFIED NUMBER OF COATS.
10. PERFORM ALL PAINTING AND FINISHING, USING SPECIFIED MATERIALS APPLIED BY THOROUGHLY EXPERIENCED SKILLED WORKMEN.
11. EXCEPT WHERE SPECIFICALLY AUTHORIZED BY THE ARCHITECT TO DO OTHERWISE: APPLY FLAT OR EGGSHELL WALL PAINT BY BRUSH OR ROLLER; APPLY GLOSS OR SEMI-GLOSS WITH BRUSH ONLY.
12. FLOW ON MATERIALS TO INSURE SMOOTH, EVEN COATS, FREE FROM SOIL, RUNS, BRUSH MARKS, SAGS, AND LAPS. APPLY PROPRIETARY PAINT PRODUCTS IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
13. SANDING: IN ADDITION TO PREPARATORY SANDING, FINE SAND BETWEEN SUCCEEDING COATS OF ALL VARNISH ENAMEL OR FLAT ENAMEL, USING SANDPAPER APPROPRIATE TO THE FINISH. USE FINE PRODUCTION PAPER BETWEEN COATS.
14. FINISH INTERIOR OF ALL CLOSETS AND CABINETS SAME AS ADJOINING ROOMS, UNLESS OTHERWISE SCHEDULED.
15. APPLY ONE COAT OF SANDING SEALER AND ON COAT OF SEMI-GLOSS VARNISH TO INSIDES OF ALL DRAWERS UNLESS OTHERWISE SPECIFIED.

SPACE TITLE NAME/DESCRIPTION	FLOOR FINISH	BASE	WALL				CEILING	REMARKS
			NORTH	SOUTH	EAST	WEST		
GENERAL SPACES								
LOBBY	CT	CT	BRICK	BRICK	BRICK	BRICK	PAINT	
FOYER	CT	CT	BRICK	BRICK	BRICK	BRICK	PAINT	
STAIR	QT	WB	BRICK	BRICK	BRICK	BRICK	N/A	
VESTIBULE	QT	WB	PAINT	PAINT	BRICK	BRICK	PAINT	
Mech. Room								
MECH. ROOM	VCT	VB	BRICK	BRICK	BRICK	PAINT	N/A	
LAUNDRY	VCT	VB	BRICK	BRICK	PAINT	BRICK	N/A	
TYP. UNIT SPACES								
LIVING	WD	WB	PAINT	BRICK	PAINT	BRICK	PAINT	
CORRIDOR	WD	WB	PAINT	PAINT	N/A	N/A	PAINT	
KITCHEN/DINING	CT	WB	BRICK	PAINT	PAINT	BRICK	PAINT	
BATH	CT	WB	PAINT	PAINT	PAINT	PAINT	PAINT	
1/2 BATH	CT	WB	PAINT	PAINT	BRICK	PAINT	PAINT	
BEDROOM 1	CPT	WB	BRICK	PAINT	PAINT	PAINT	PAINT	
BEDROOM 2	CPT	WB	BRICK	PAINT	BRICK	PAINT	PAINT	
BEDROOM 3	CPT	WB	PAINT	BRICK	BRICK	PAINT	PAINT	
W.I.C.	CPT	WB	PAINT	PAINT	PAINT	PAINT	PAINT	

VCT - VINYL COMPOSITION TILE
WD - WOOD
CPT - CARPET
WB - WOOD BASE
VB - VINYL BASE
CT - CERAMIC TILE
QT - QUARRY TILE

DOOR SCHEDULE										
DOOR #	FLOOR	LOCATION	DOOR SIZE	TYPE	MAT'L	FRAME LABEL	FINISH	NOTES		
.01	E	BUILDING ENTRY	3'-0" X 7'-0"	1	WD	WD		PNT	EXISTING OPENING	
.02	B	B.F. UNIT ENTRY	3'-0" X 7'-0"	4	HM	HM	C	PNT	EXISTING OPENING	
.03	B	CLOSET DOOR	5'-0" X 7'-0"	6	WD	WD		FACT	BI-FOLD DOORS	
.04	B, 1, 2, 3	STAIR DOOR	3'-0" X 7'-0"	8	HM	HM	B	PNT	EXISTING OPENING	
.05	B, 1, 2, 3	LAUNDRY ROOM	3'-0" X 7'-0"	2	HM	HM		PNT	EXISTING OPENING	
.06	B, 1, 2, 3	MECHANICAL ROOM	3'-0" X 7'-0"	5	HM	HM		PNT		
.07	B, 1, 2, 3	UNIT DOOR	3'-0" X 7'-0"	4	HM	HM	C	PNT	INSULATED	
.08	B, 1, 2, 3	BATHROOM DOOR	2'-8" X 7'-0"	3	WD	WD		FACT		
.09	B, 1, 2, 3	BEDROOM DOOR	2'-8" X 7'-0"	3	WD	WD		FACT		
.10	B, 1, 2, 3	W.I.C. DOOR	2'-8" X 7'-0"	3	WD	WD		FACT		
.11	B, 1, 2, 3	CLOSET DOOR	4'-0" X 7'-0"	6	WD	WD		FACT	BI-FOLD DOORS	
.12	B, 1, 2, 3	CLOSET DOOR	2'-0" X 7'-0"	7	WD	WD		FACT	BI-FOLD DOOR	
.13	B	BATHROOM DOOR	3'-0" X 7'-0"	3	WD	WD		FACT		
.14	B	BEDROOM DOOR	3'-0" X 7'-0"	3	WD	WD		FACT		
.15	B, 1, 2, 3	CLOSET DOOR	2'-6" X 7'-0"	7	WD	WD		FACT	BI-FOLD DOOR	



NOTE:
 ALL INTERIOR DOORS ARE
 HOLLOW CORE UNLESS
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Specifications and Schedules

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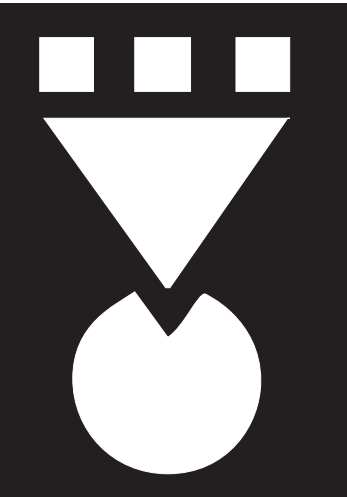
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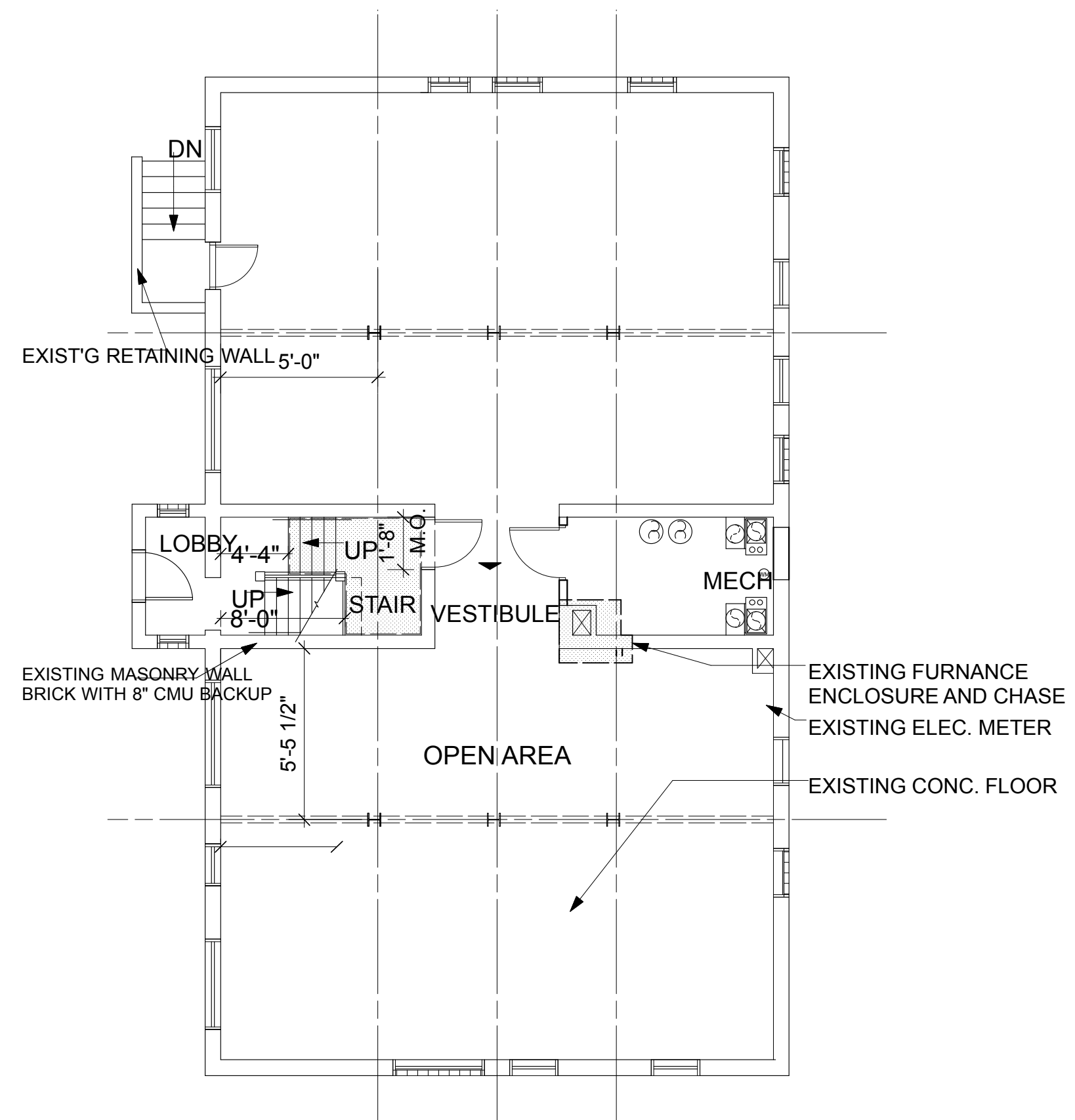
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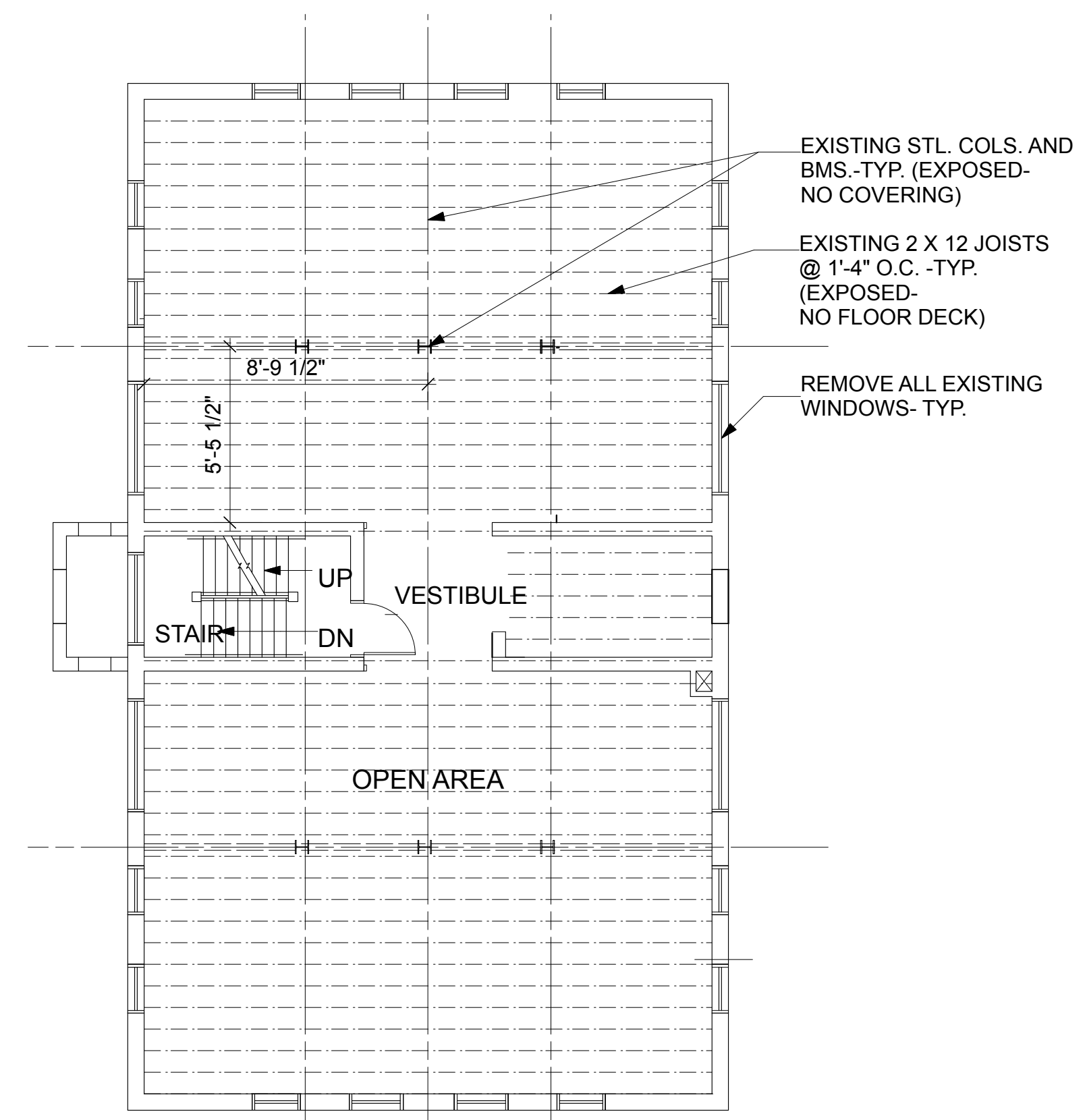


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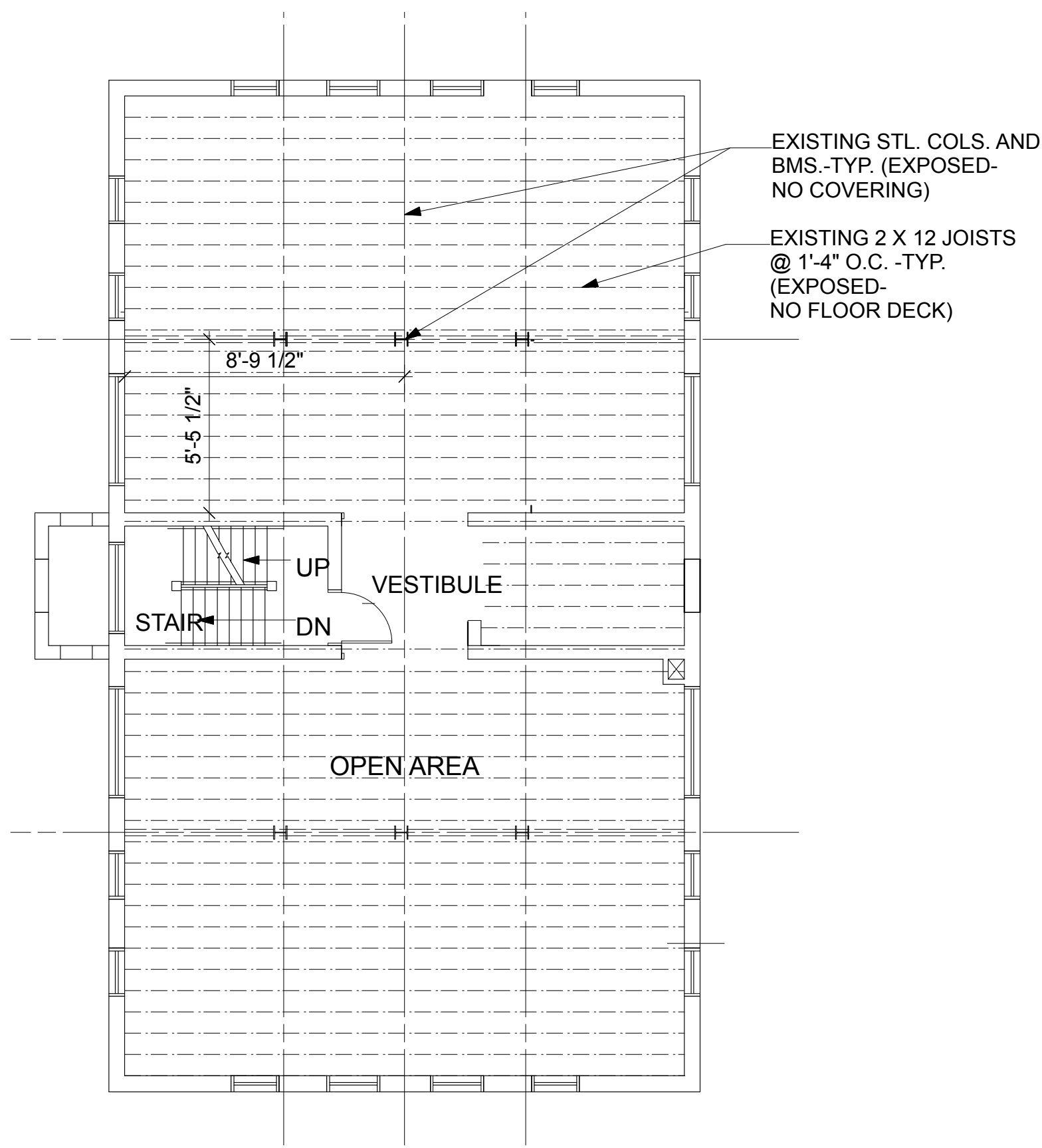
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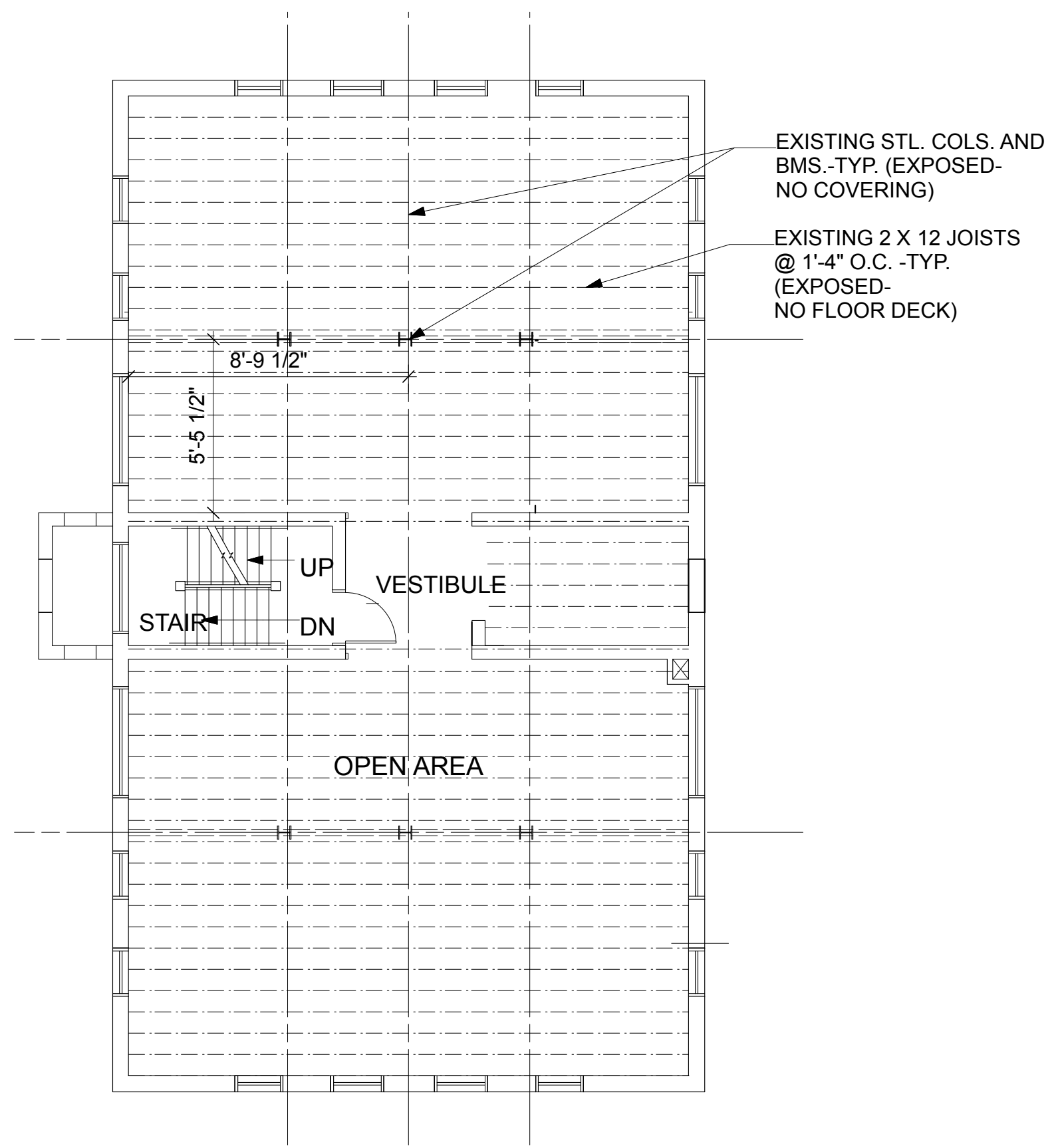
BASEMENT EXISTING PLAN
SCALE: 1/8"=1'-0"



FIRST FLOOR EXISTING PLAN
SCALE: 1/8"=1'-0"



SECOND FLOOR EXISTING PLAN
SCALE: 1/8"=1'-0"



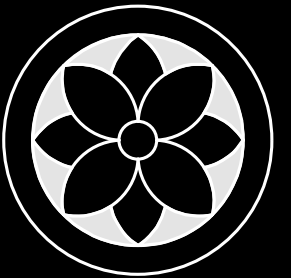
THIRD FLOOR EXISTING PLAN
SCALE: 1/8"=1'-0"

LEGEND	
	EXISTING WALL
	EXIST'G BM AND JOISTS

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Existing and Demolition
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GRISWOLD
SUITE 518
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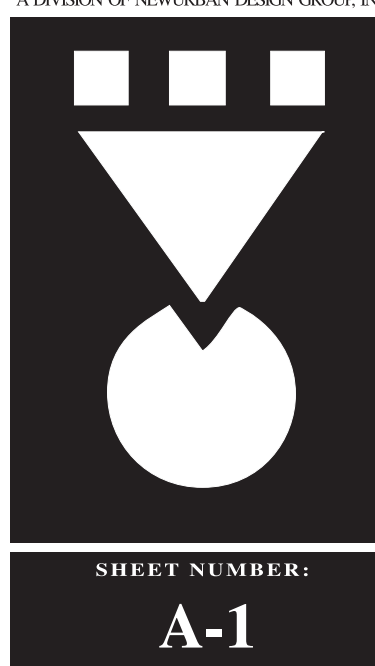


MARLBOROUGH APARTMENTS
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Detroit, Michigan
SHELBORNE DEVELOPMENT

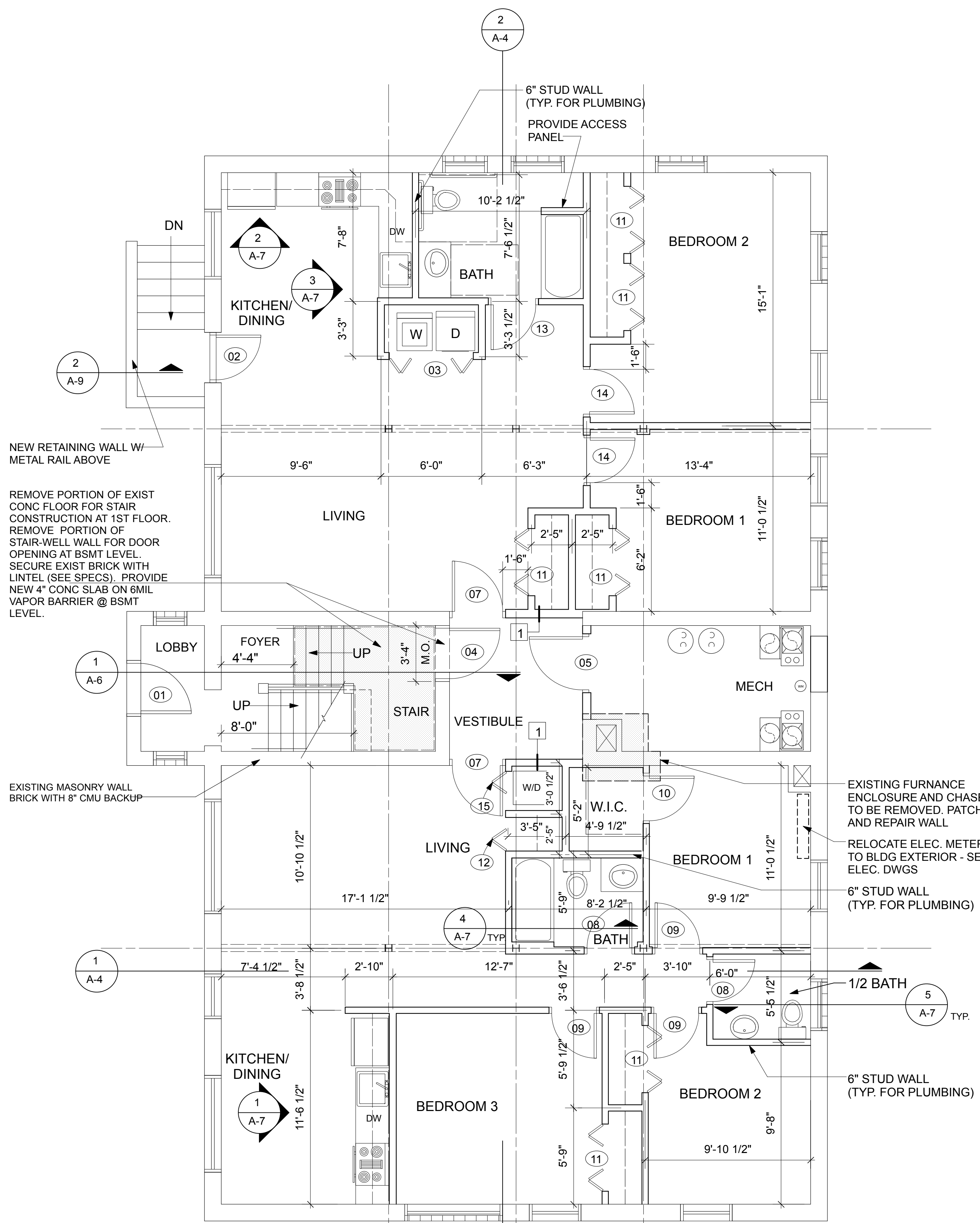
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Basement and First Floor Plan

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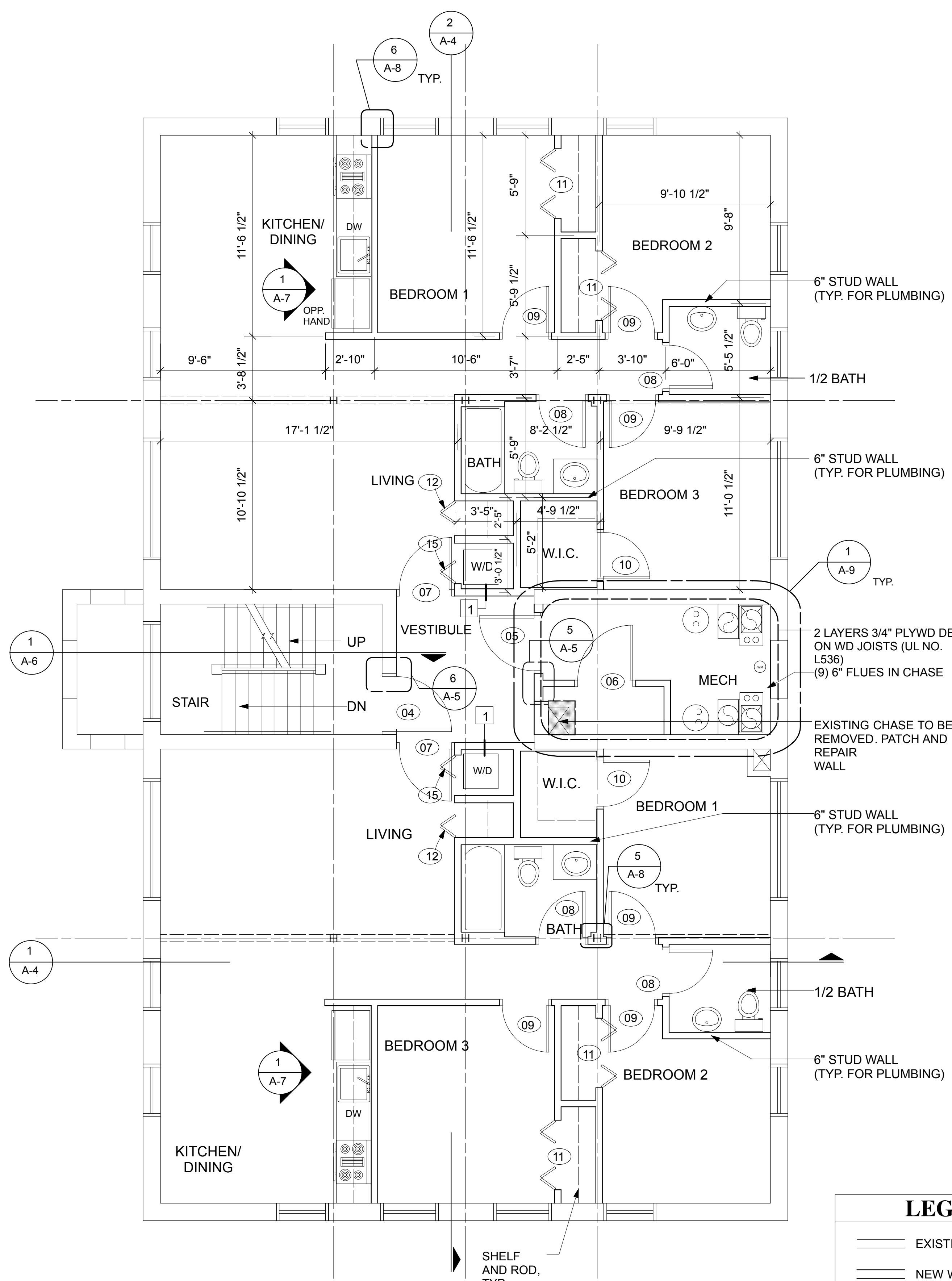
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A-1



BASEMENT PLAN
SCALE: 1/4"=1'-0"



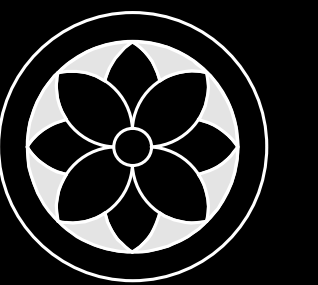
FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

LEGEND	
---	EXISTING WALL
---	NEW WALL
- - - -	EXISTING WALLS TO BE DEMOLISHED
[1]	RATED WALL - SEE 3/A-8

*NOTE: ALL WALLS ARE TO BE 1/2" GYP. BD. ON STEEL FRAMING UNLESS OTHERWISE NOTED
*SEE SHT. A-8 FOR WALL TYPE CONSTRUCTION
*NOTE: ALL INTERIOR UNIT WALLS SHALL EXTEND TO THE UNDERSIDE OF STRUCTURE OR CEILING ABOVE.
*FOR TYP DOOR PLACEMENT SEE SHEET A8

NOTE: PROVIDE TRENCHES IN EXISTING SLAB FOR NEW PLUMBING. PROVIDE NEW GYPCRETE CAPPING COAT. COORDINATE WITH PLUMBING LOCATIONS SHOWN ON MECH. DRAWINGS

NOTE: 7'-6" MIN. CEILING HEIGHT IN BASEMENT. VERIFY BEFORE POURING SLAB



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Second and Third Floor Plan

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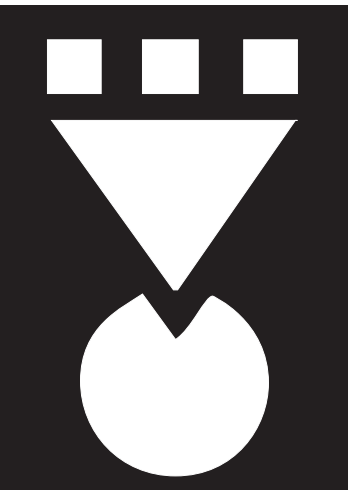
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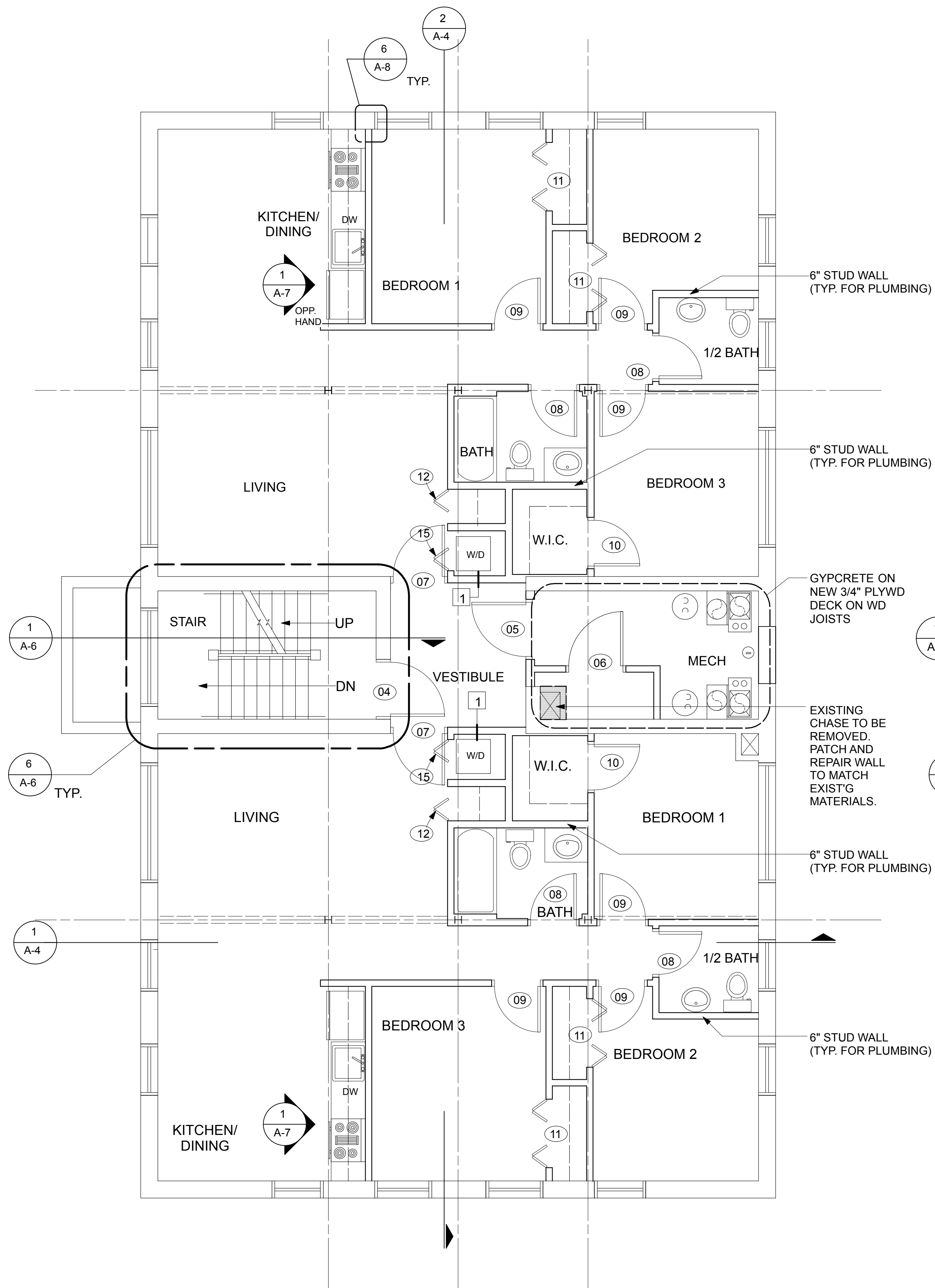
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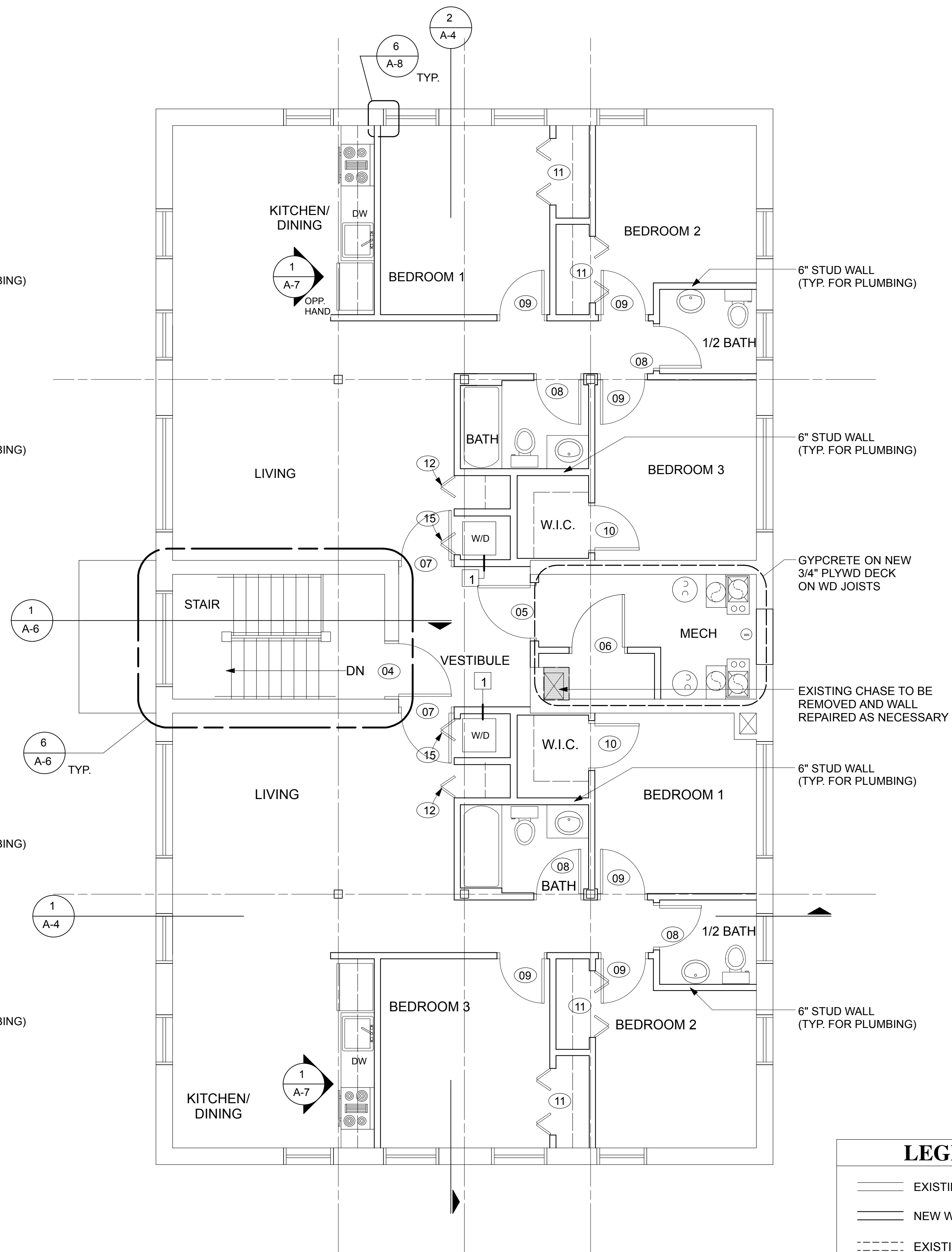
SHEET NUMBER:

A-2



NOTE: FOR TYPICAL DIMENSIONS
 SEE SHEET A-1

SECOND FLOOR PLAN
 SCALE: 1/4"=1'-0"



NOTE: FOR TYPICAL DIMENSIONS
 SEE SHEET A-1

THIRD FLOOR PLAN
 SCALE: 1/4"=1'-0"

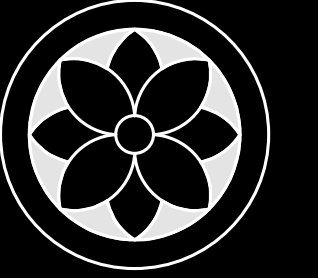
LEGEND	
	EXISTING WALL
	NEW WALL
	EXISTING WALLS TO BE DEMOLISHED
	RATED WALL - SEE 3/A-8

*NOTE: ALL WALLS ARE TO BE 1/2" GYP. BD. ON STEEL FRAMING UNLESS OTHERWISE NOTED

*SEE SHT. A-x FOR WALL TYPE CONSTRUCTION

*NOTE: ALL INTERIOR UNIT WALLS SHALL EXTEND TO THE UNDERSIDE OF STRUCTURE OR CEILING ABOVE.

*FOR TYP DOOR PLACEMENT SEE SHEET A-2



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Elevations

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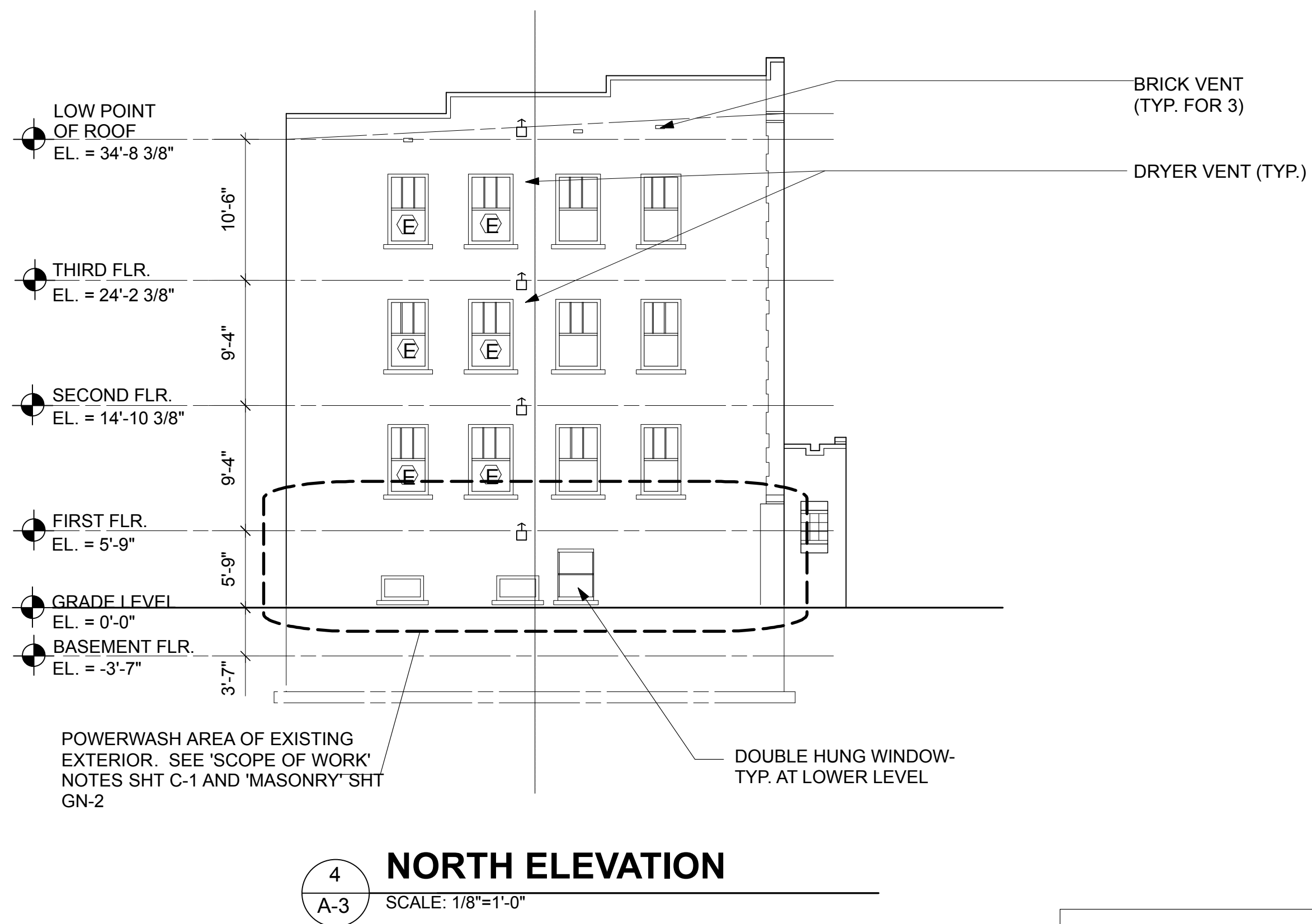
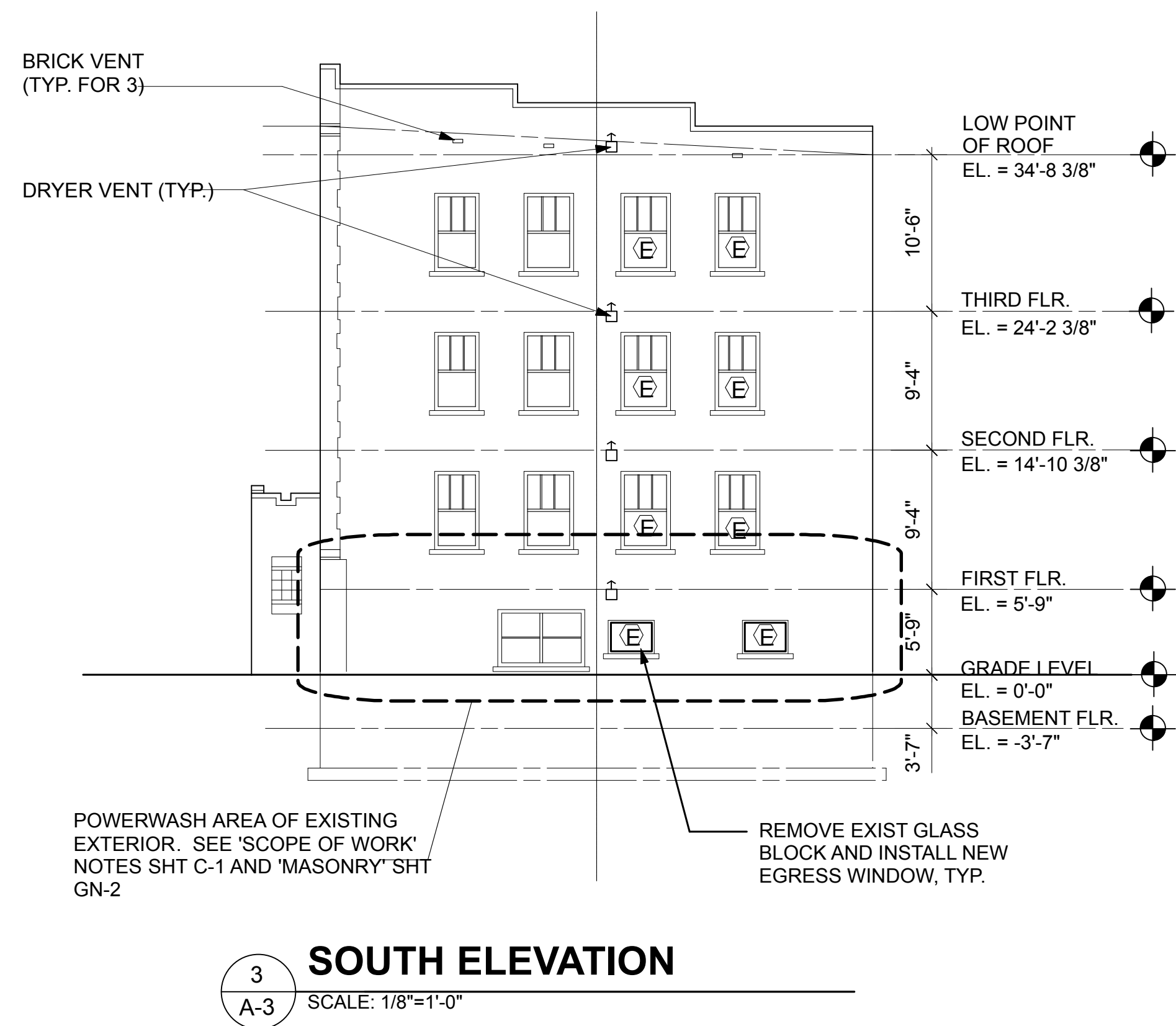
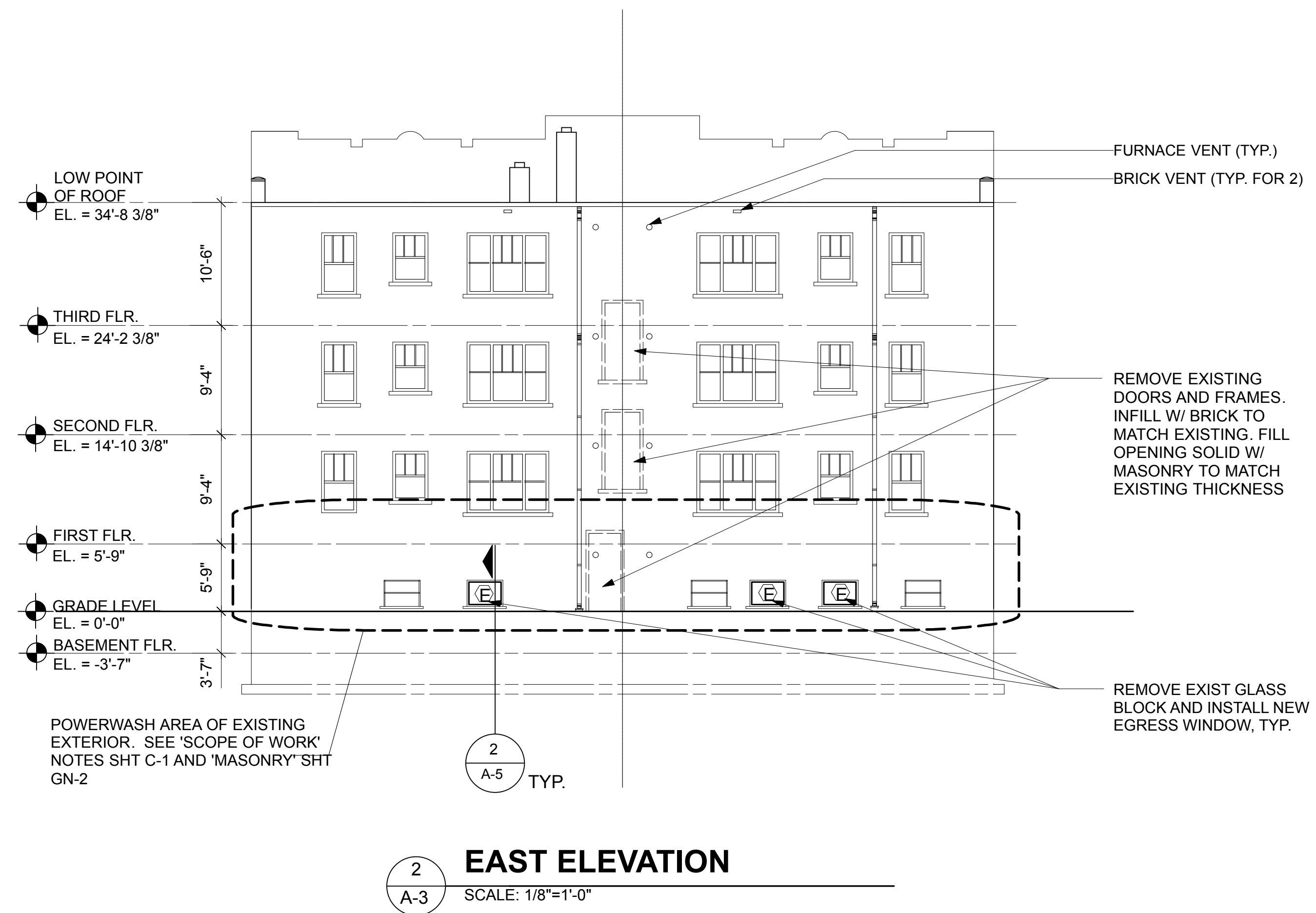
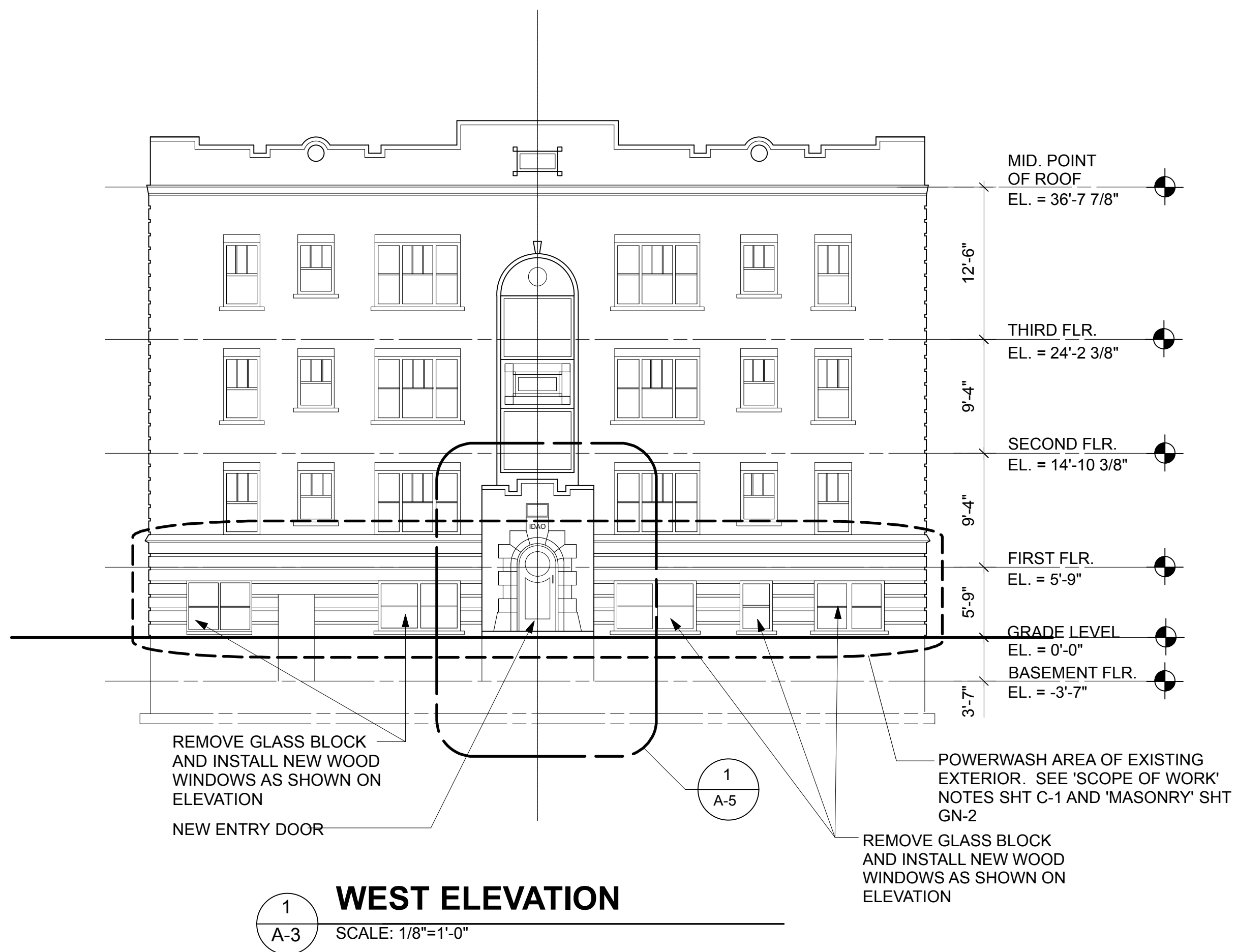
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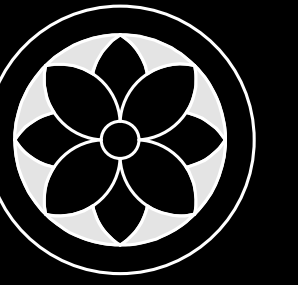


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NOTE:
1. PROVIDE NEW WINDOWS IN ALL EXISTING WINDOW OPENINGS
2. FOR WINDOW DETAILS-SEE SHT. A-10
3. (E) = EGRESS WINDOW



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Sections

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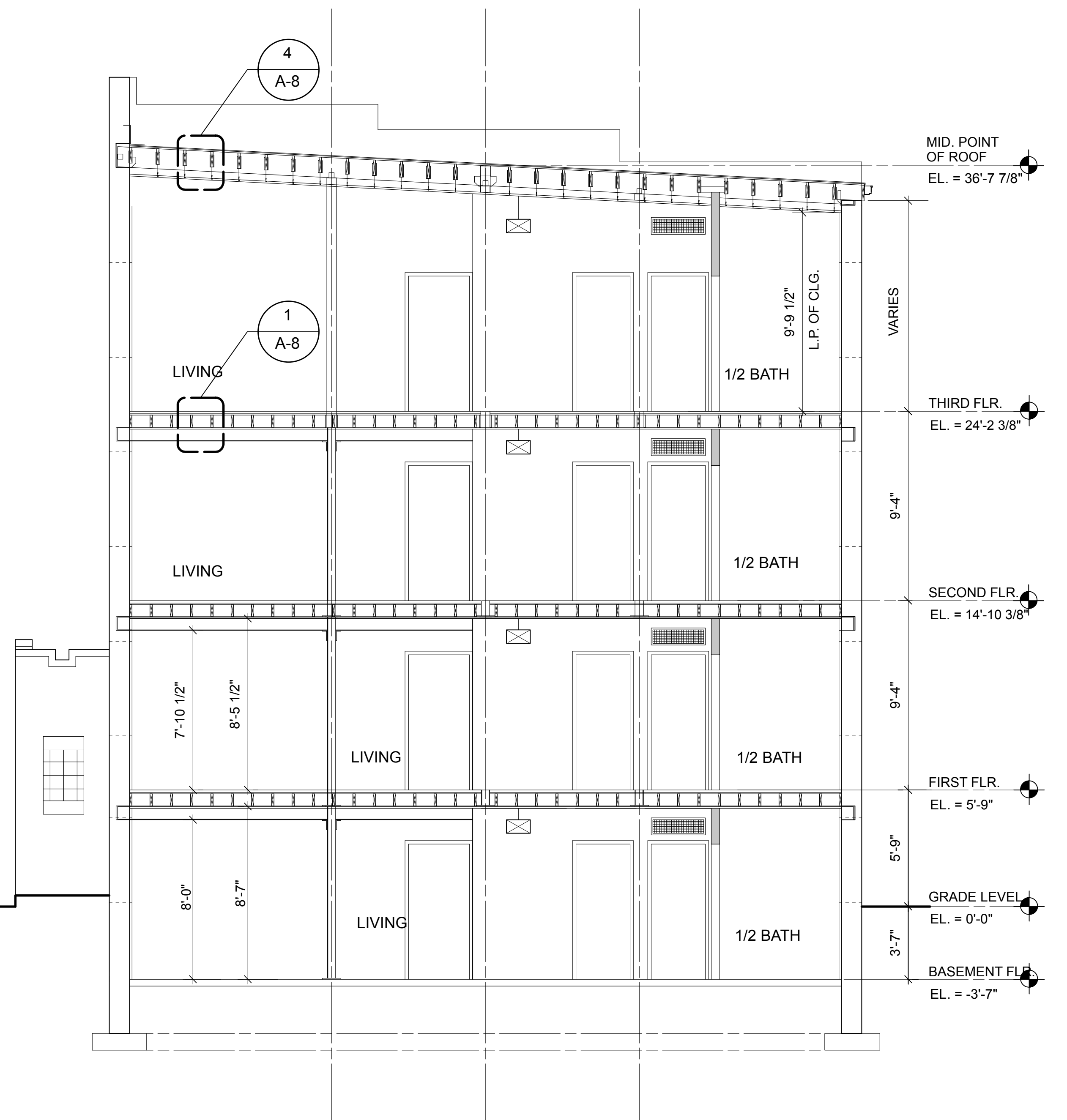


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A-4

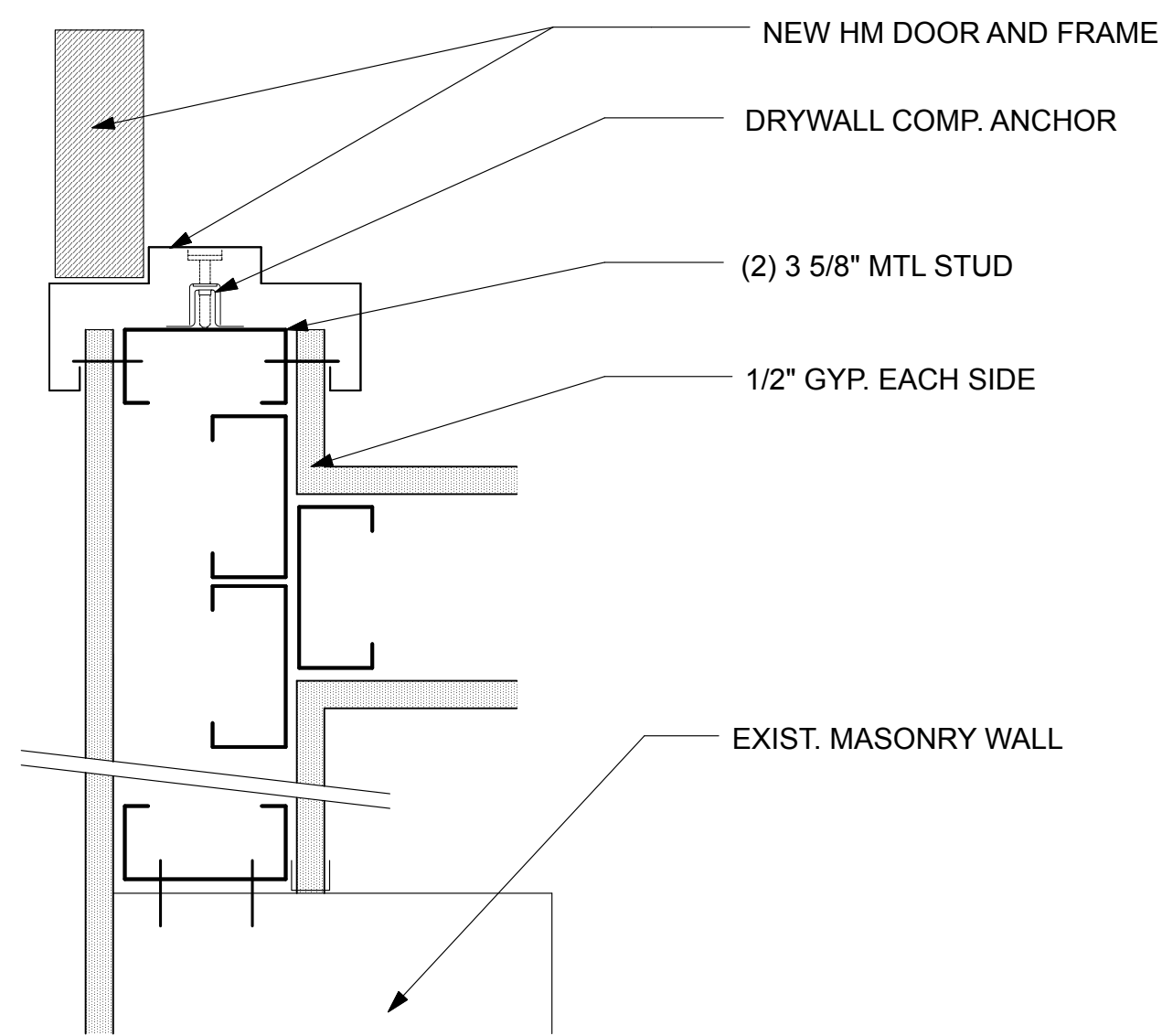


SECTION 2
 SCALE: 1/4"=1'-0"

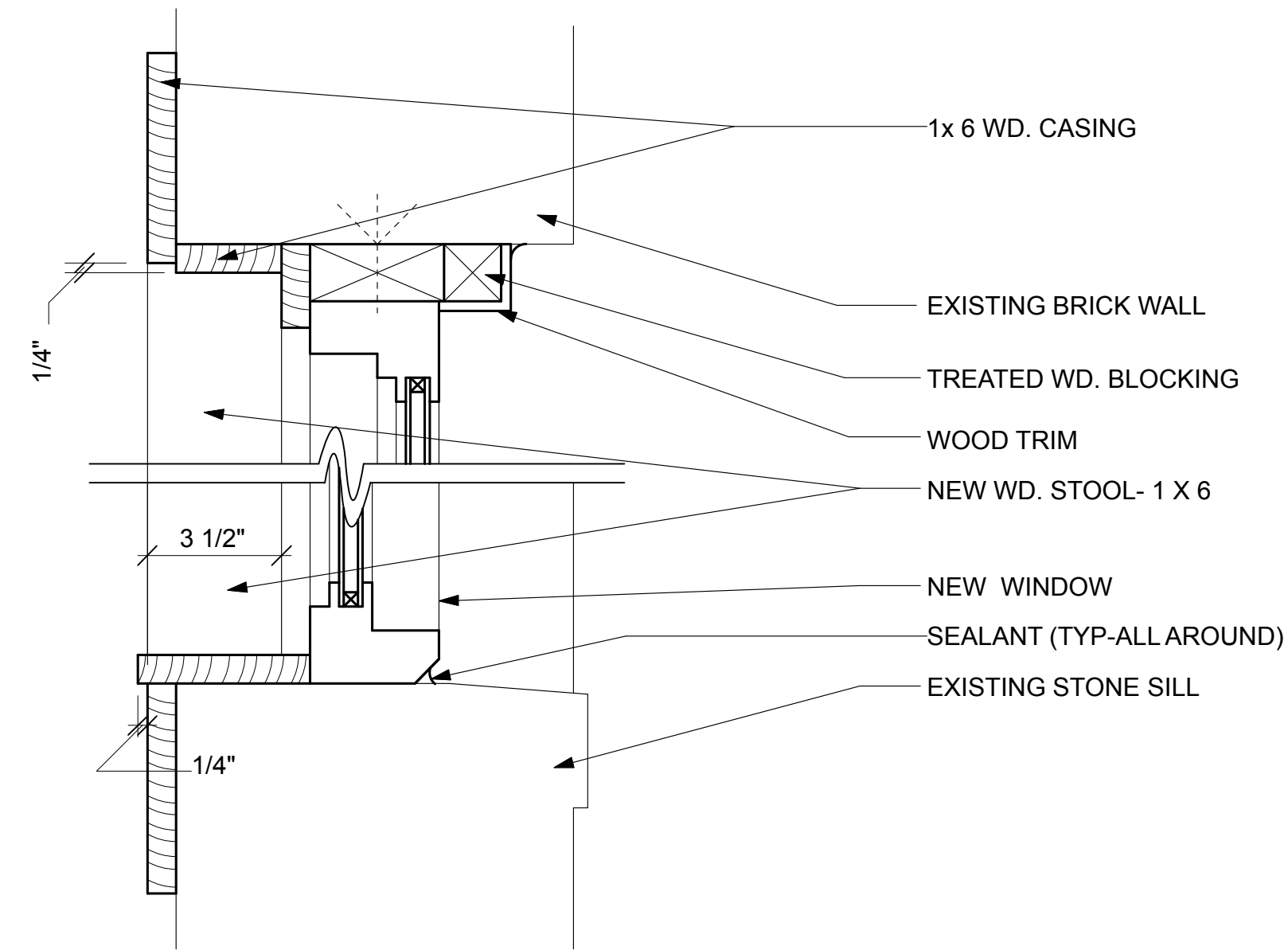


SECTION 1
 SCALE: 1/4"=1'-0"

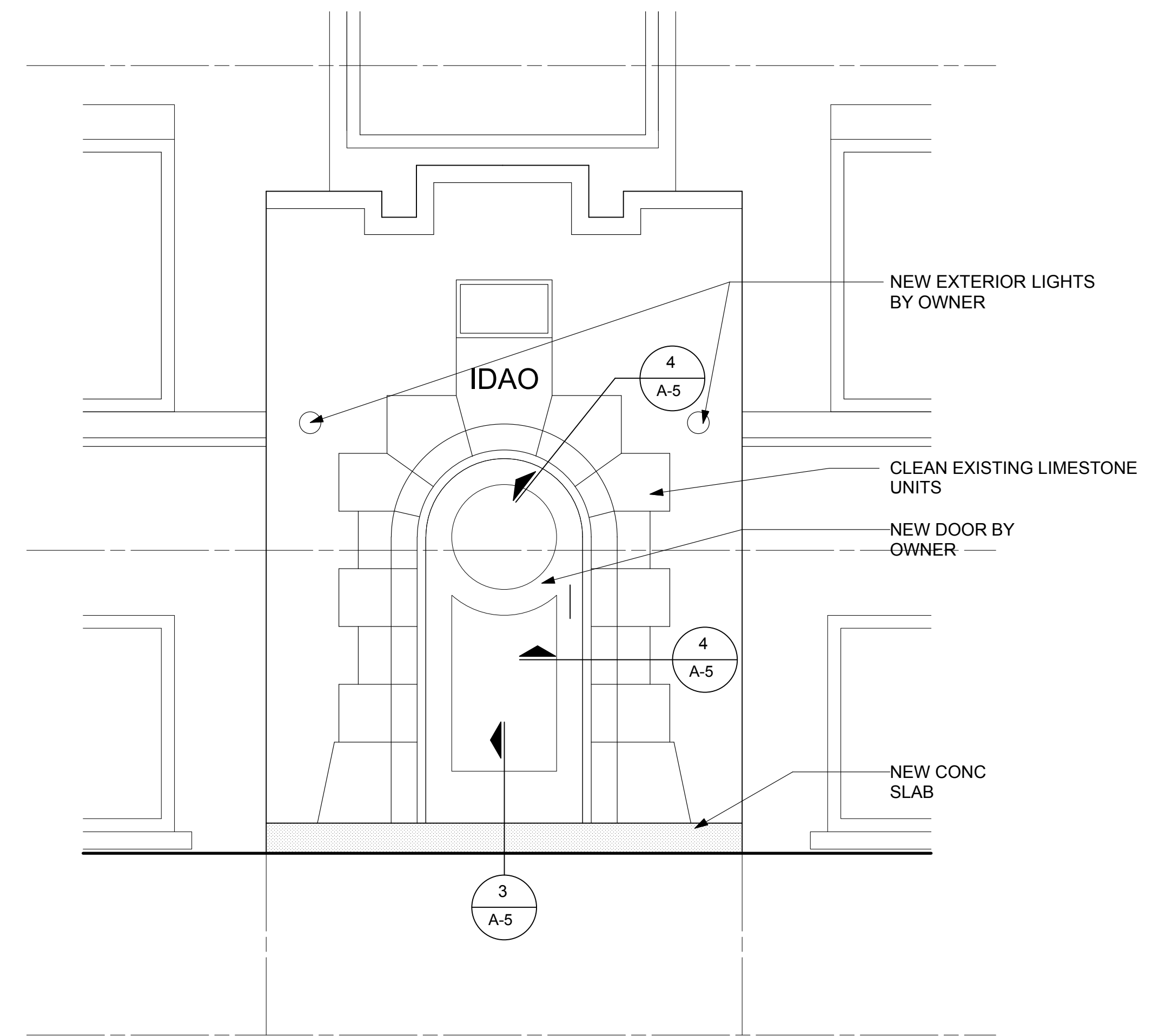
NOTE: 7'-6" MIN. CEILING HEIGHT IN BASEMENT. VERIFY BEFORE POURING SLAB



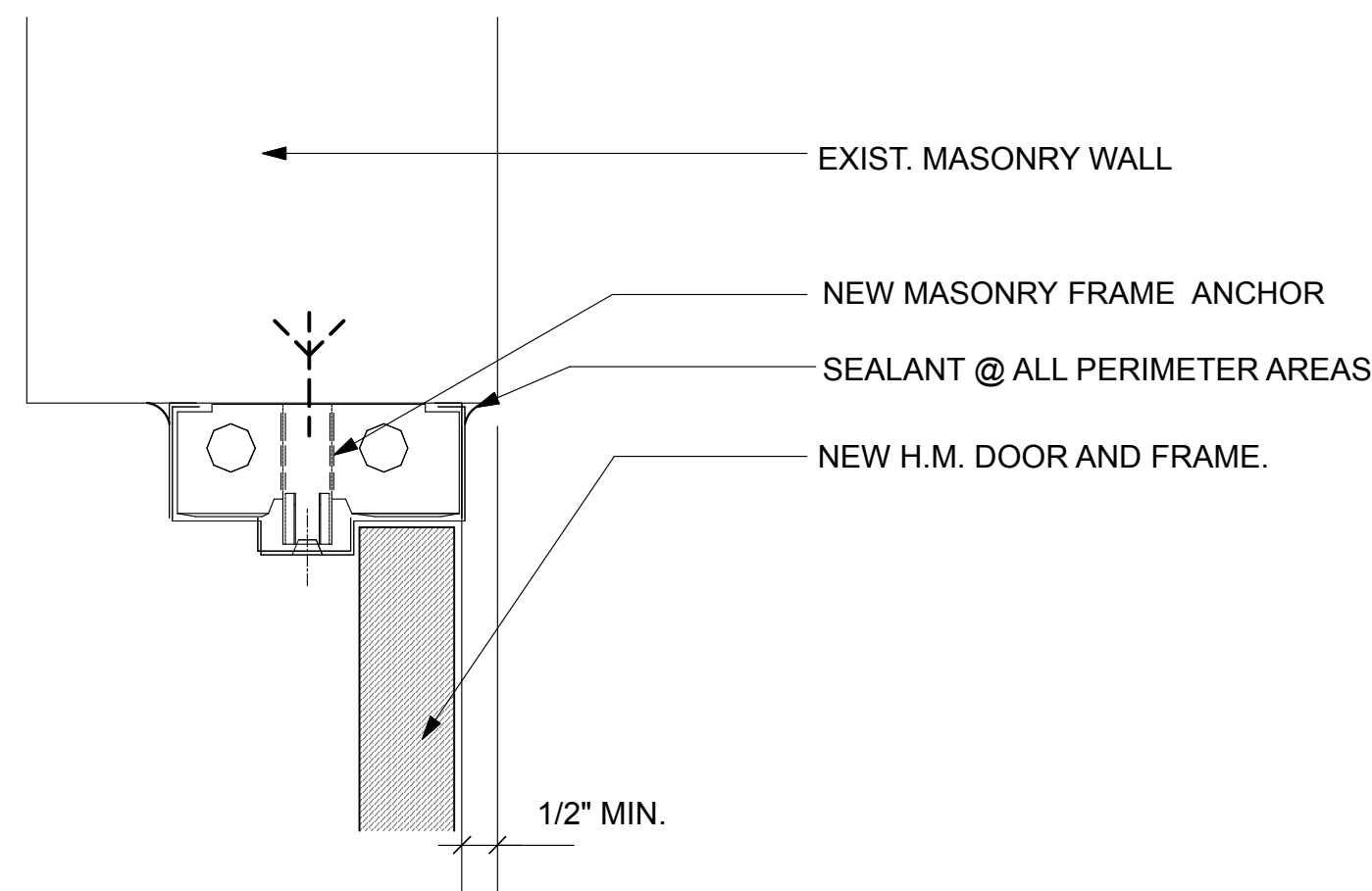
5 LAUNDRY/ MECH RM JAMB DETAIL
 SCALE: 3"=1'-0"



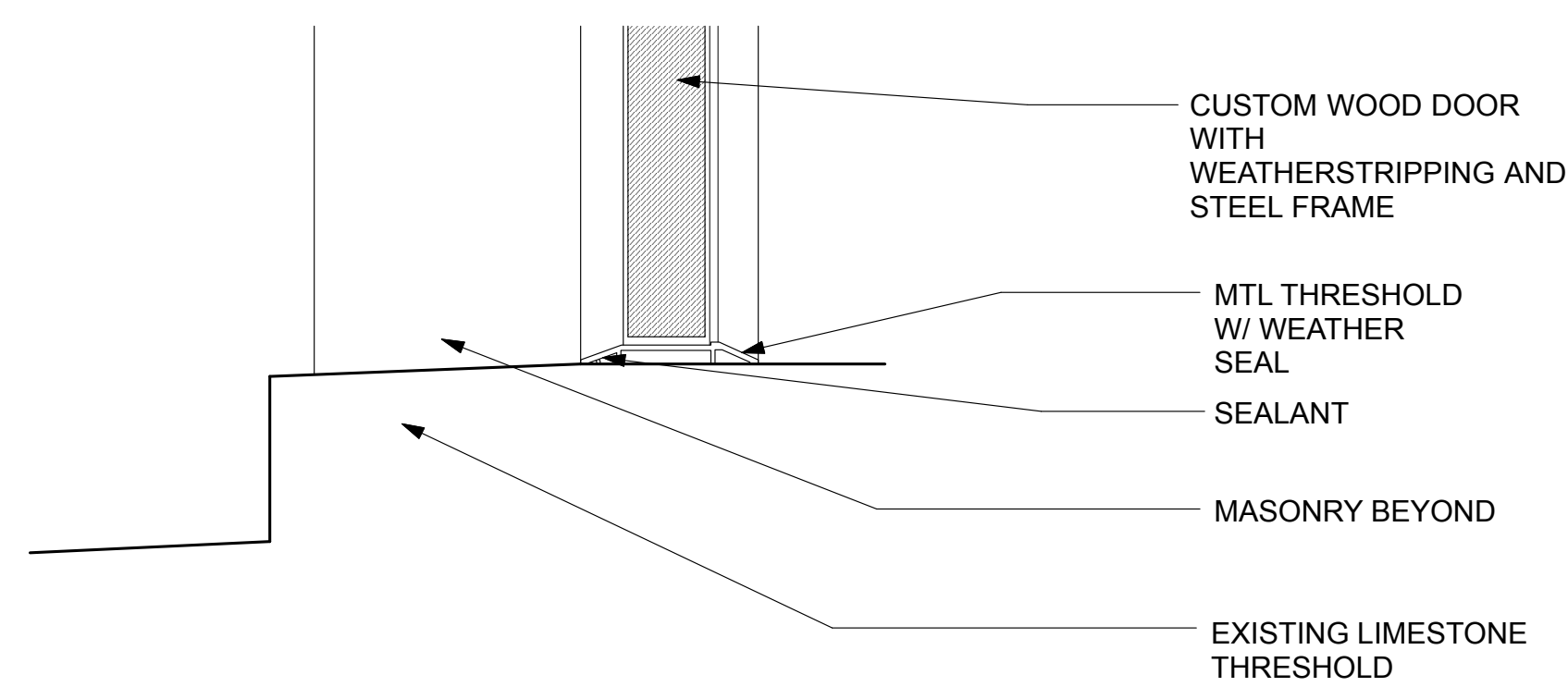
2 BASEMENT WINDOW DETAIL
 SCALE: 3"=1'-0"



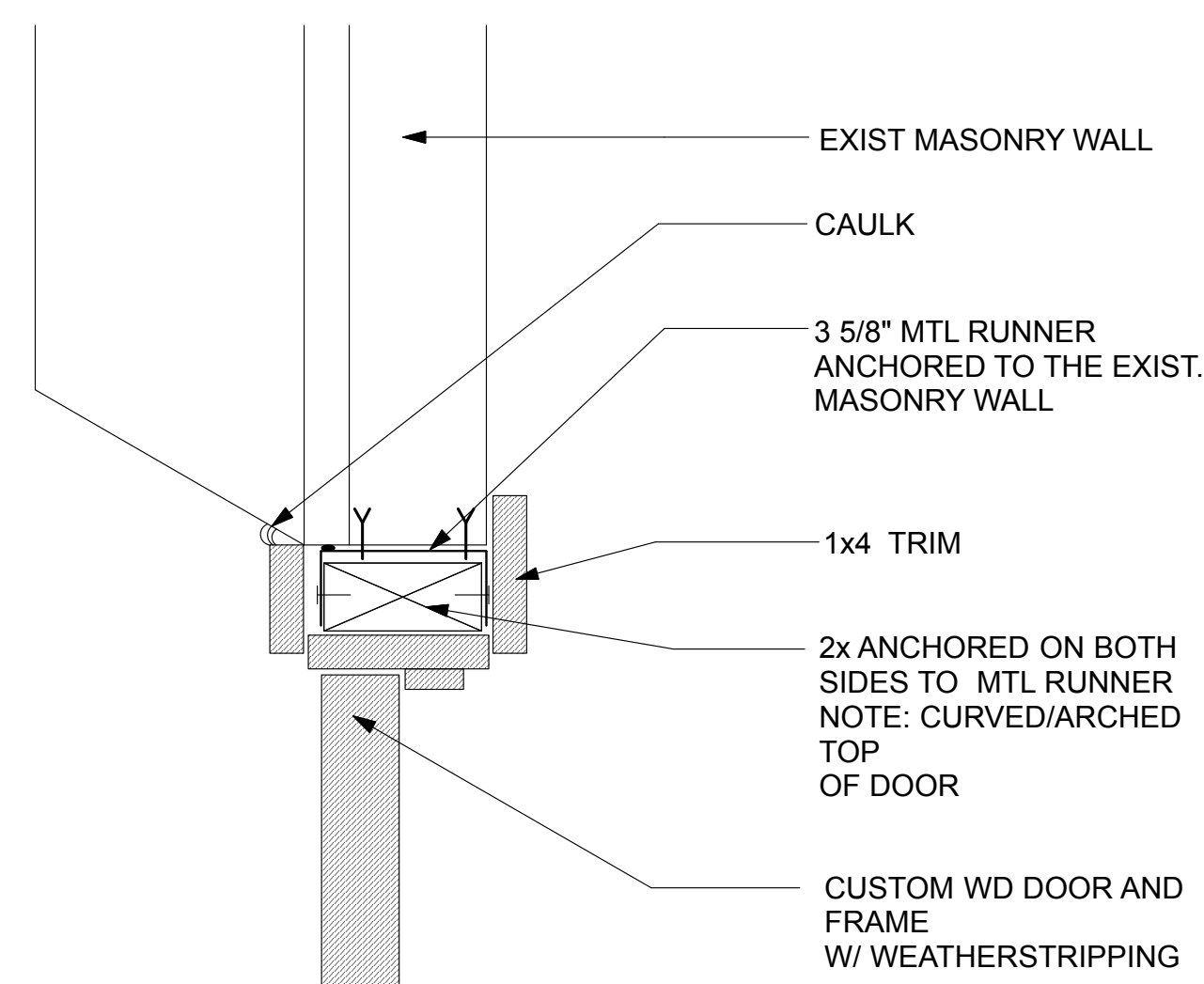
1 ENLARGED ELEVATION
 SCALE: 1/2"=1'-0"



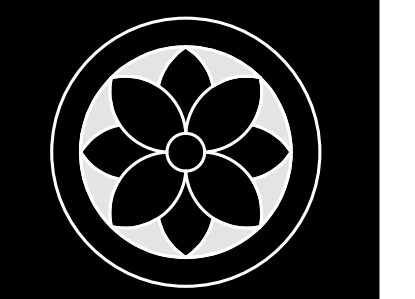
6 JAMB DETAIL
 SCALE: 3"=1'-0"



3 BUILDING ENTRY DOOR THRESHOLD DETAIL
 SCALE: 3"=1'-0"



4 BUILDING ENTRY DOOR JAMB DETAIL
 SCALE: 3"=1'-0"



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Enlarged Elevation

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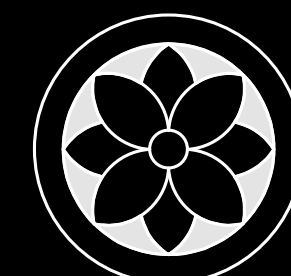
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Stair Sections and Details

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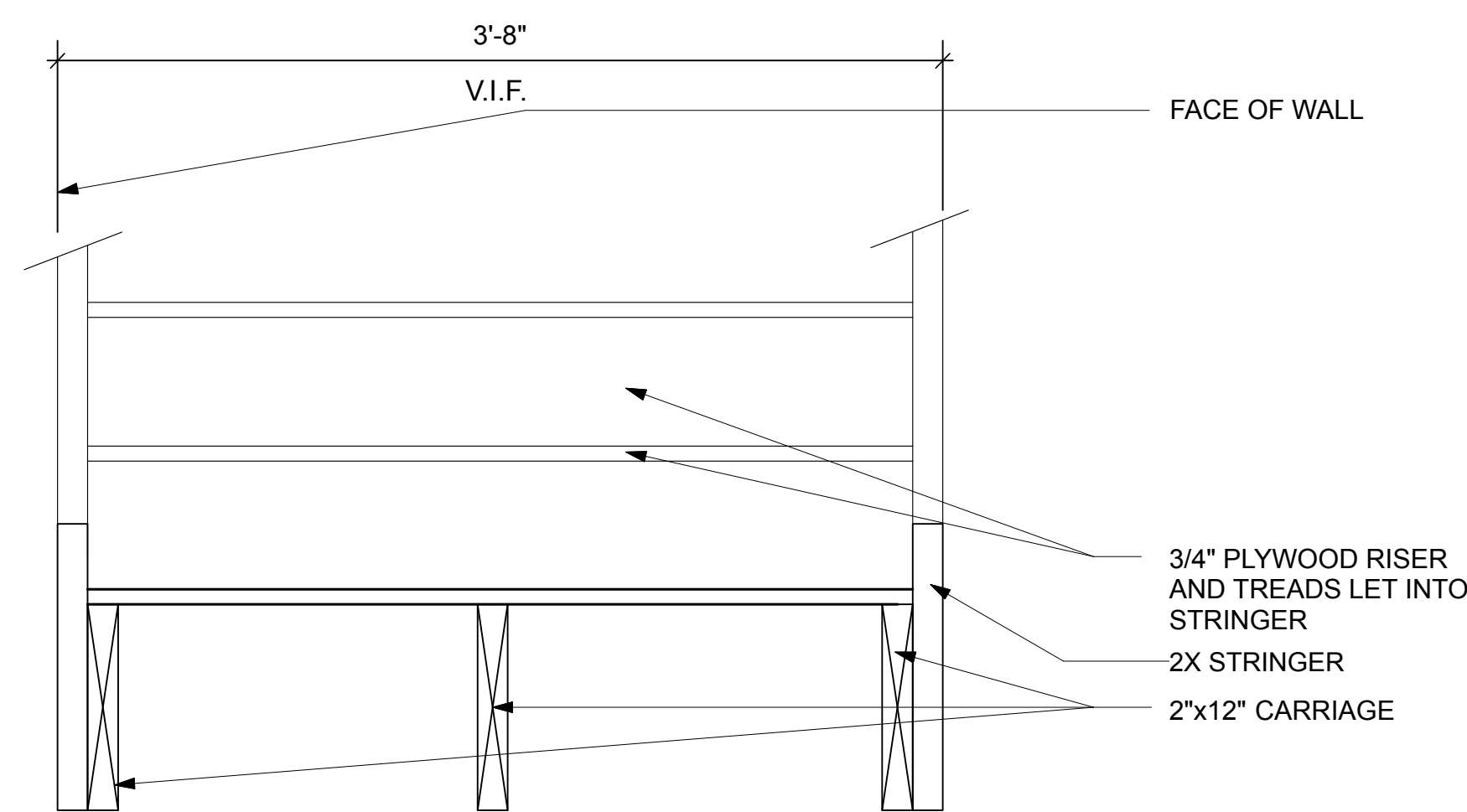
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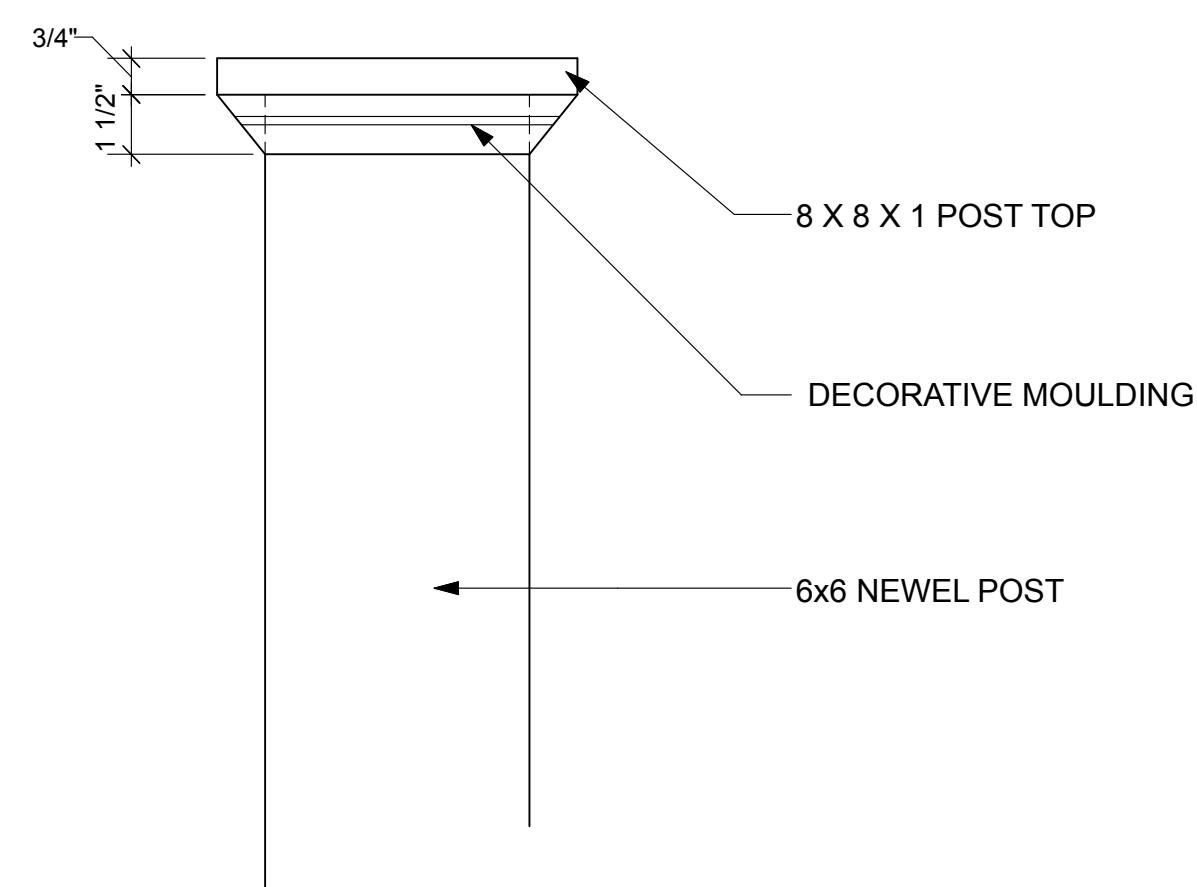
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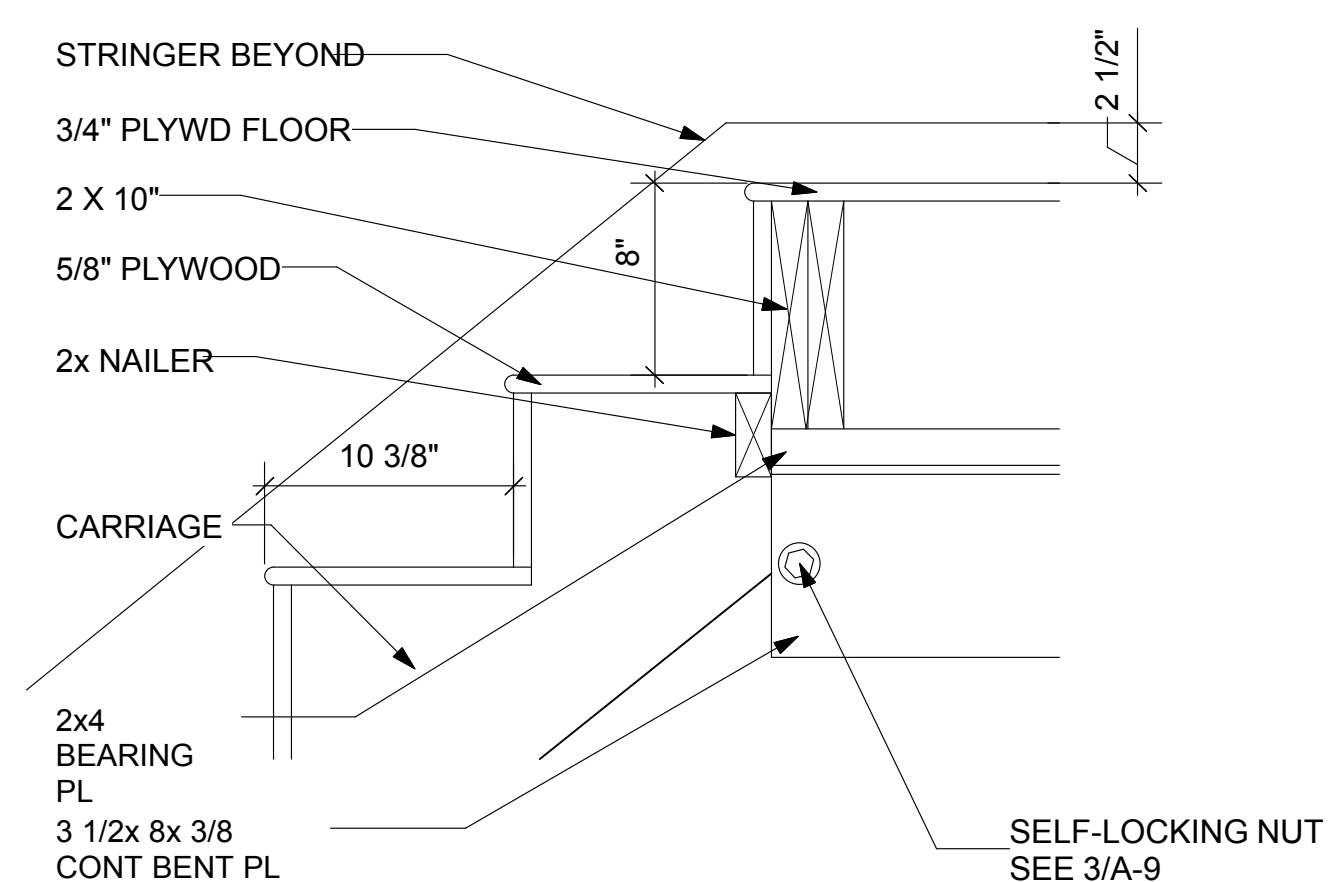
2 STAIR CROSS-SECTION DETAIL

SCALE: 1 1/2"=1'-0"



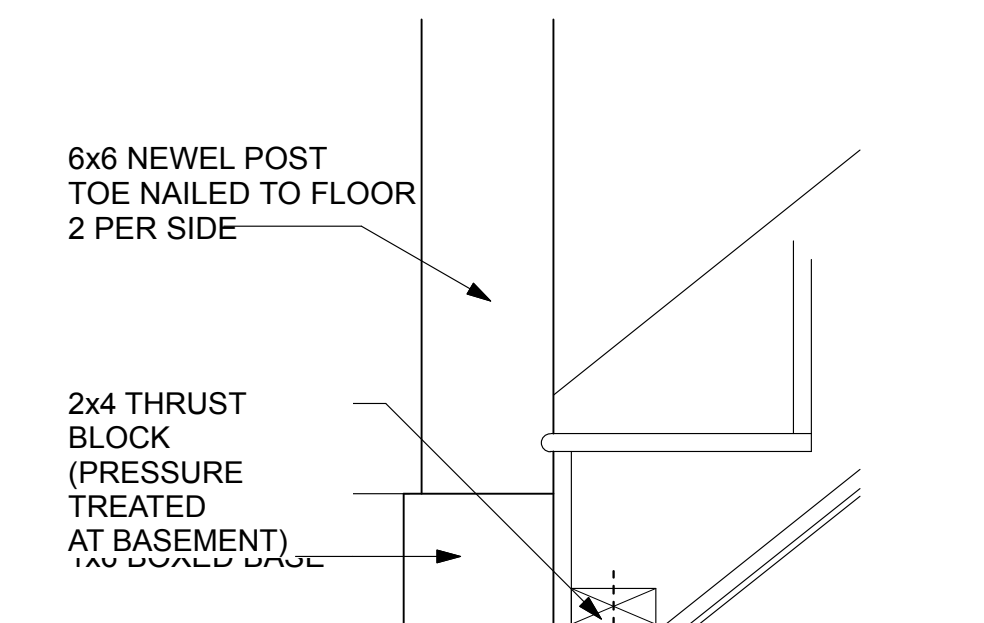
3 NEWEL POST TOP DETAIL

SCALE: 3"=1'-0"



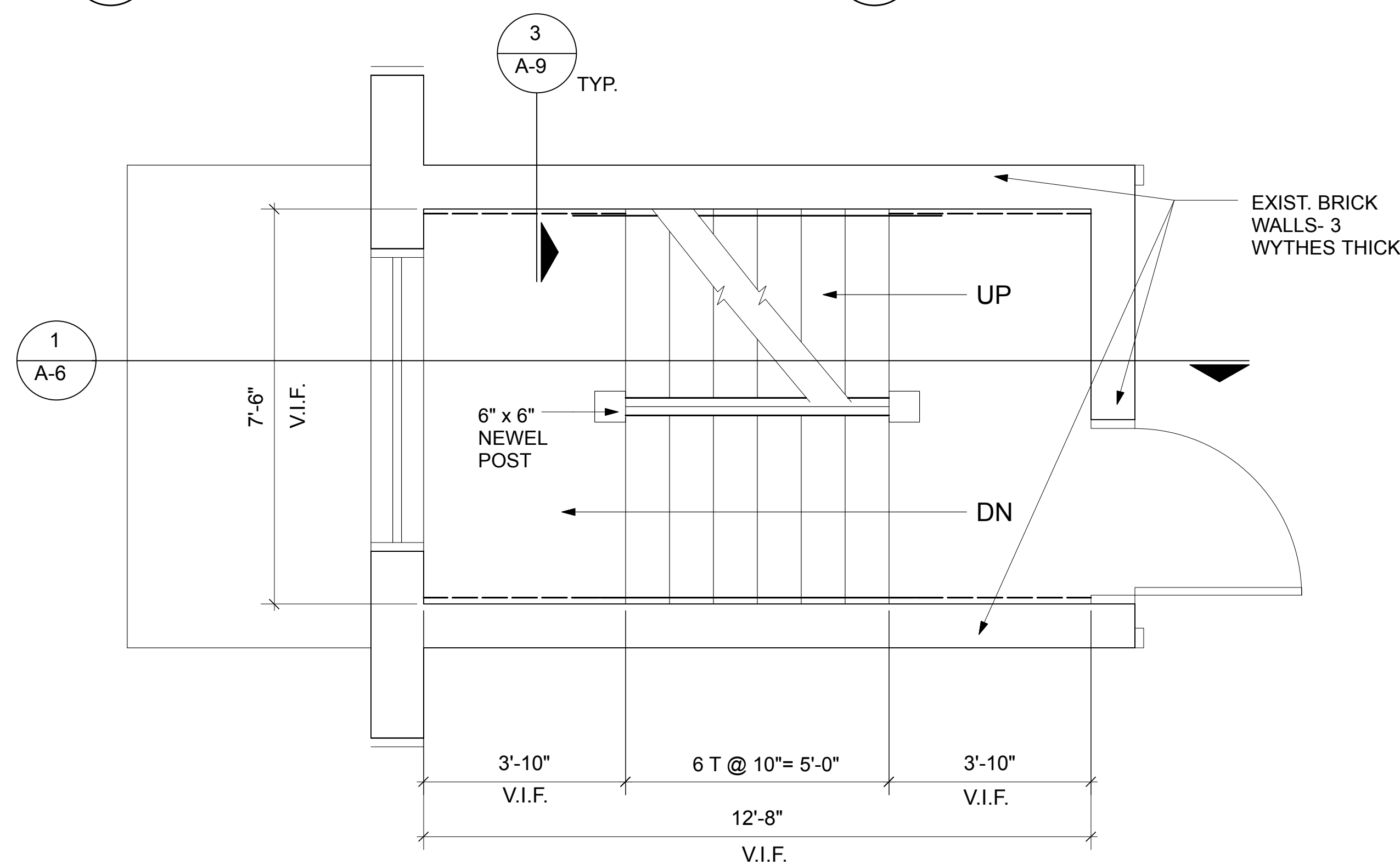
4 STAIR SECTION DETAIL

SCALE: 1 1/2"=1'-0"



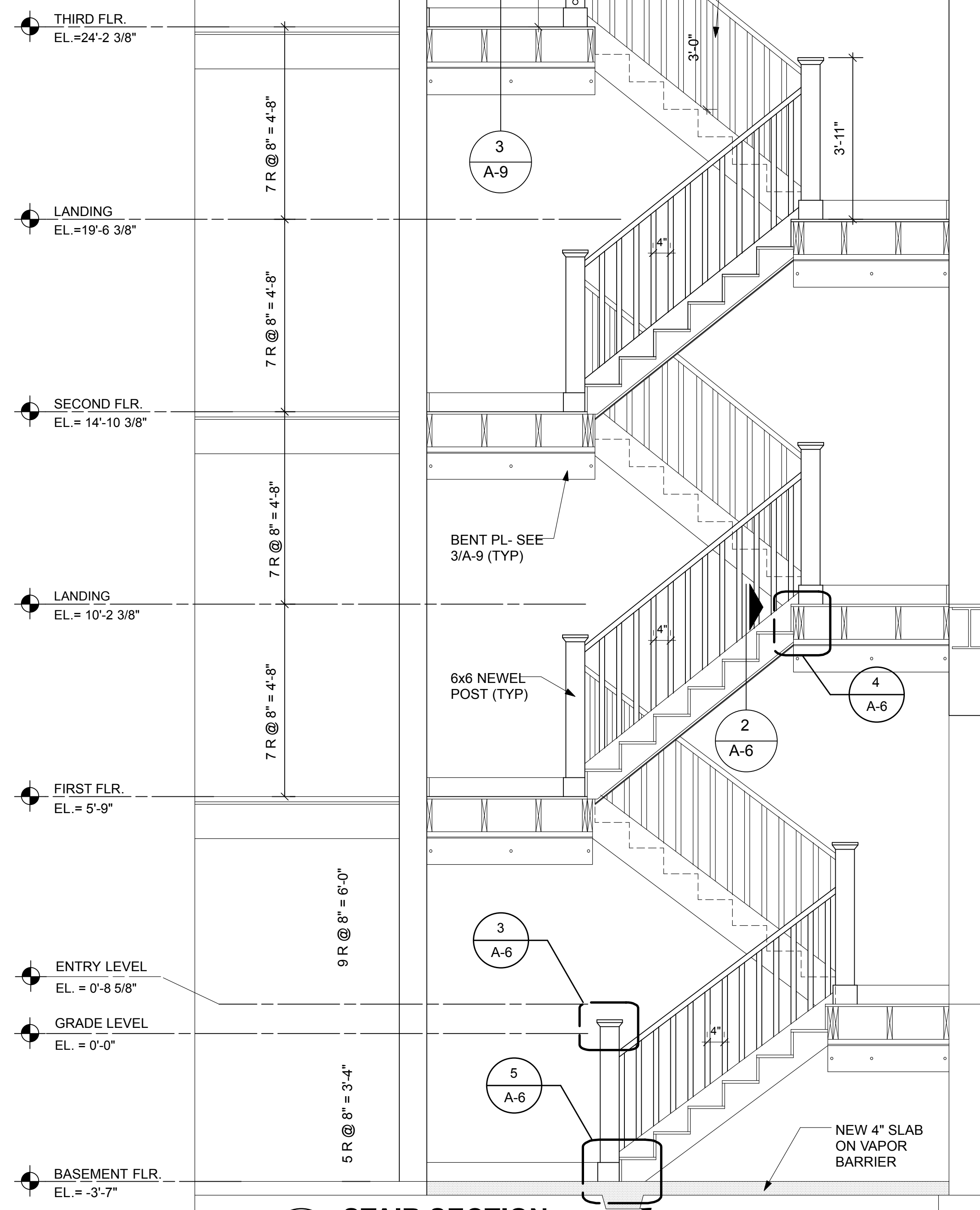
5 STAIR SECTION DETAIL

SCALE: 1 1/2"=1'-0"



6 ENLARGED STAIR PLAN-TYPICAL

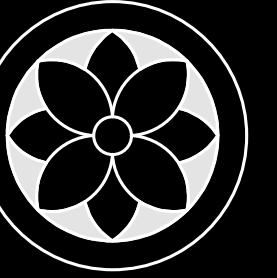
SCALE: 1/2"=1'-0"



1 STAIR SECTION

SCALE: 1/2"=1'-0"

NOTE:
ALL CABINETS #S SHOWN ARE MERILLAT



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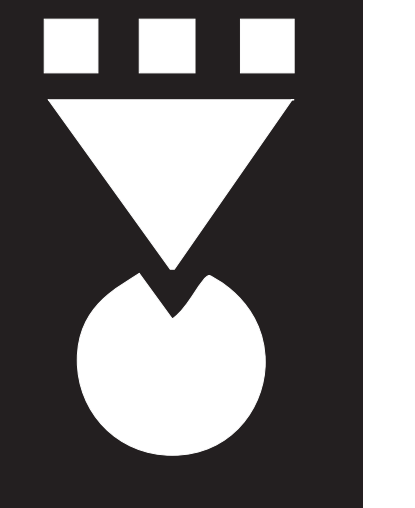
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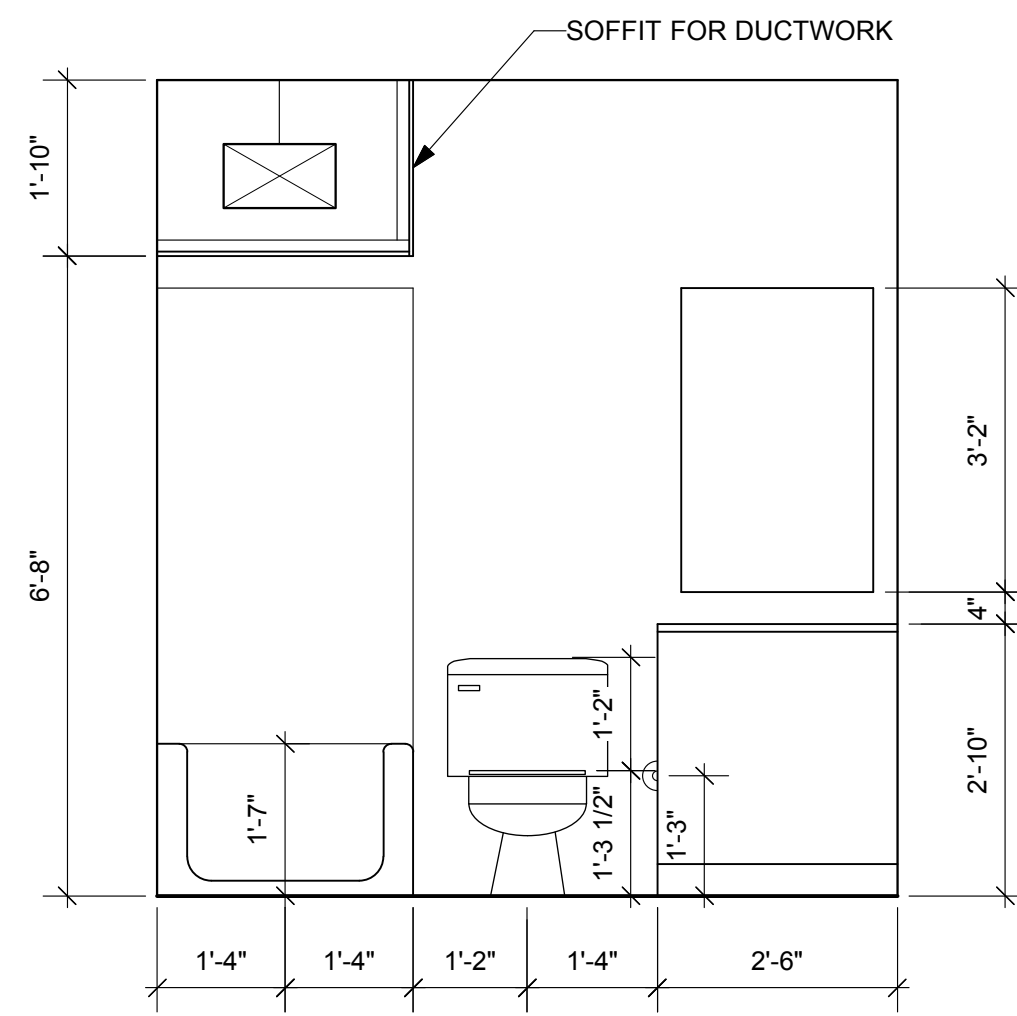
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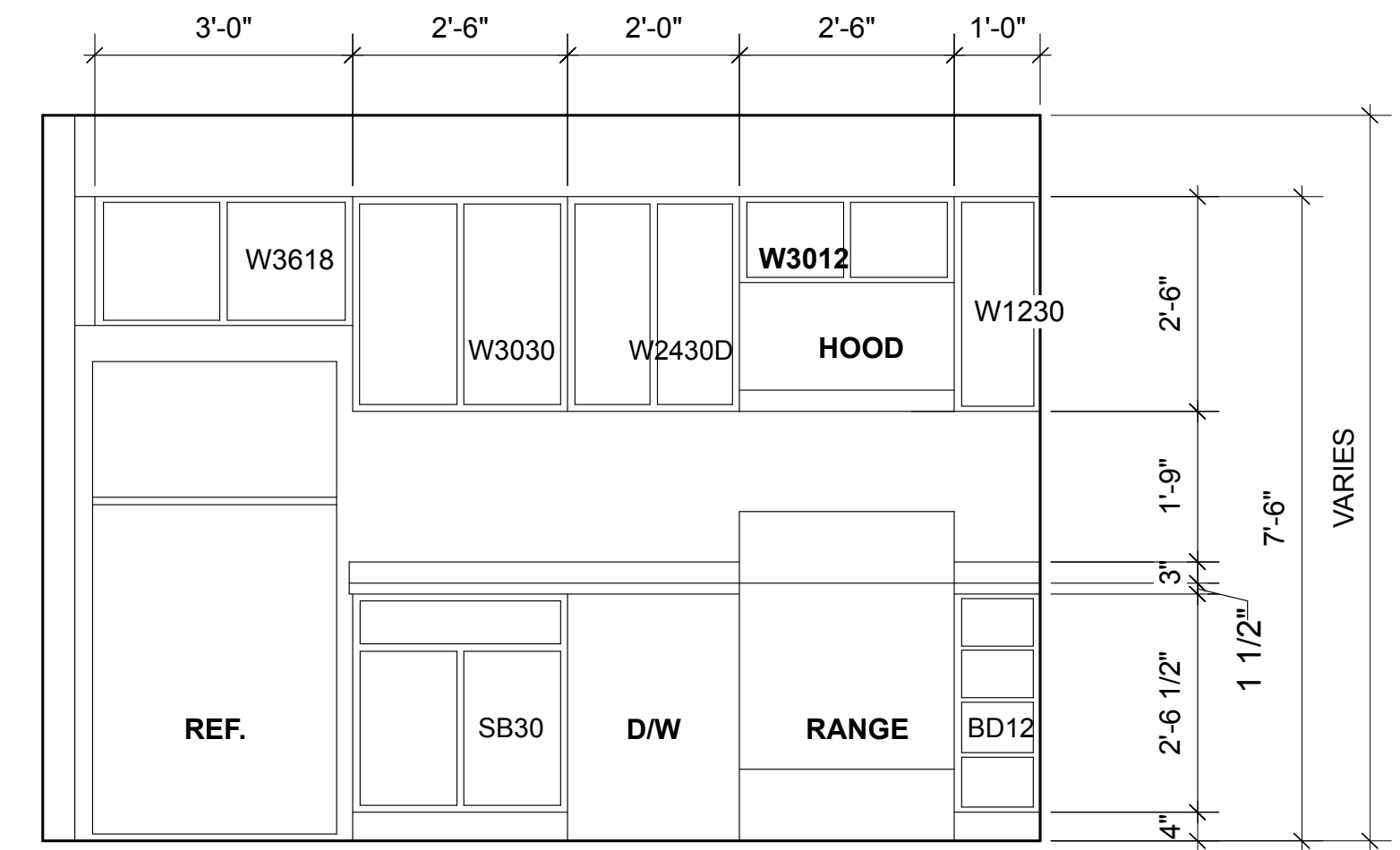


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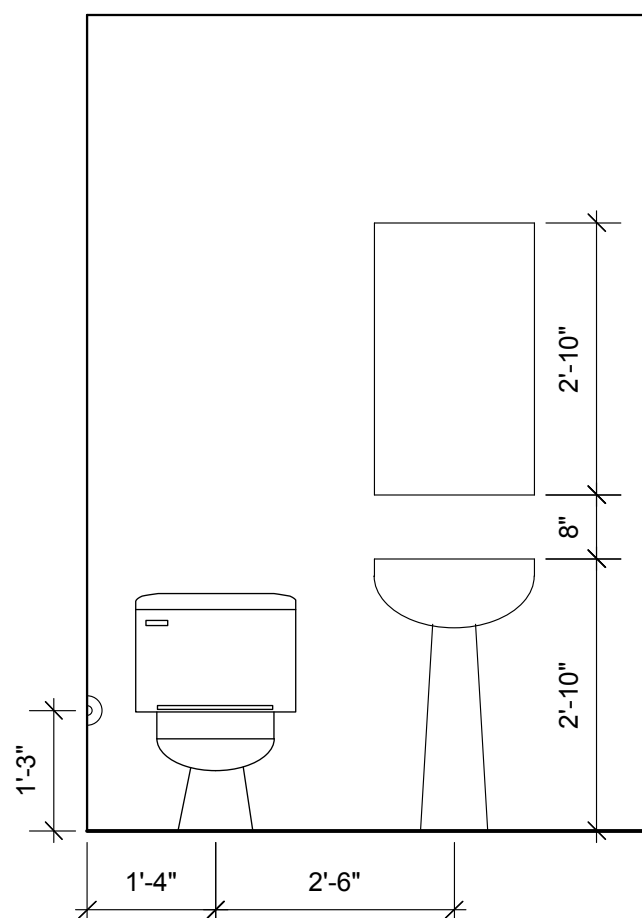
A-7



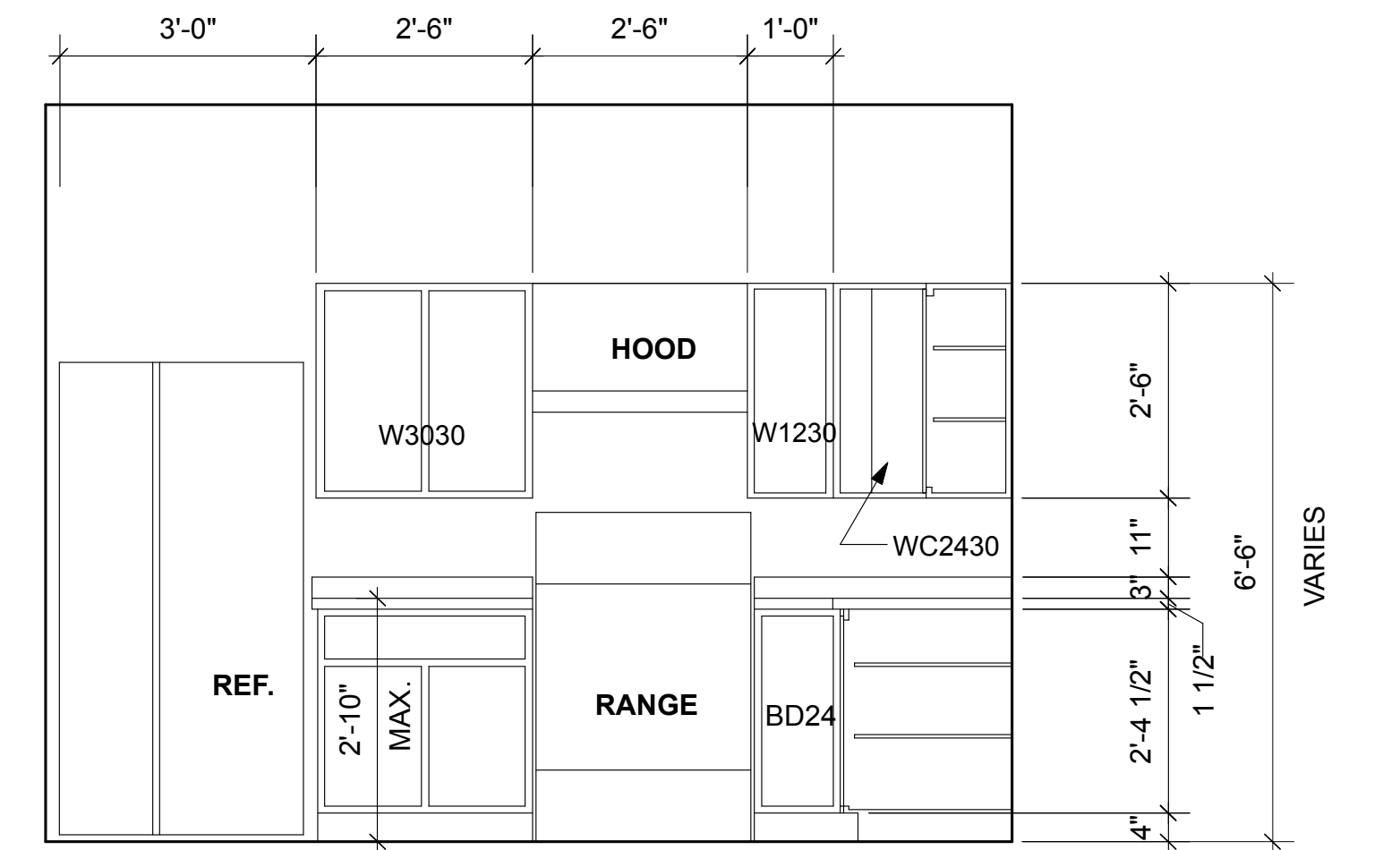
4 BATHROOM ELEVATION
SCALE: 1/2"=1'-0"



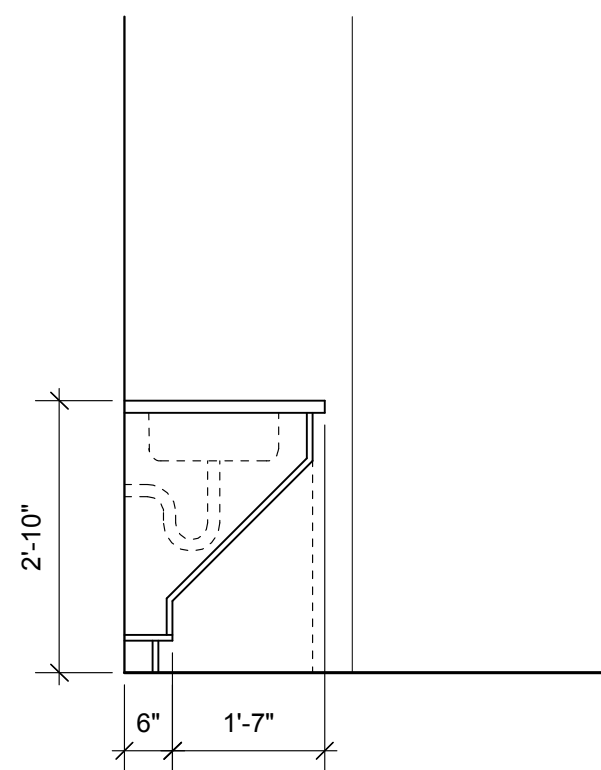
1 TYPICAL KITCHEN ELEVATION
SCALE: 1/2"=1'-0"



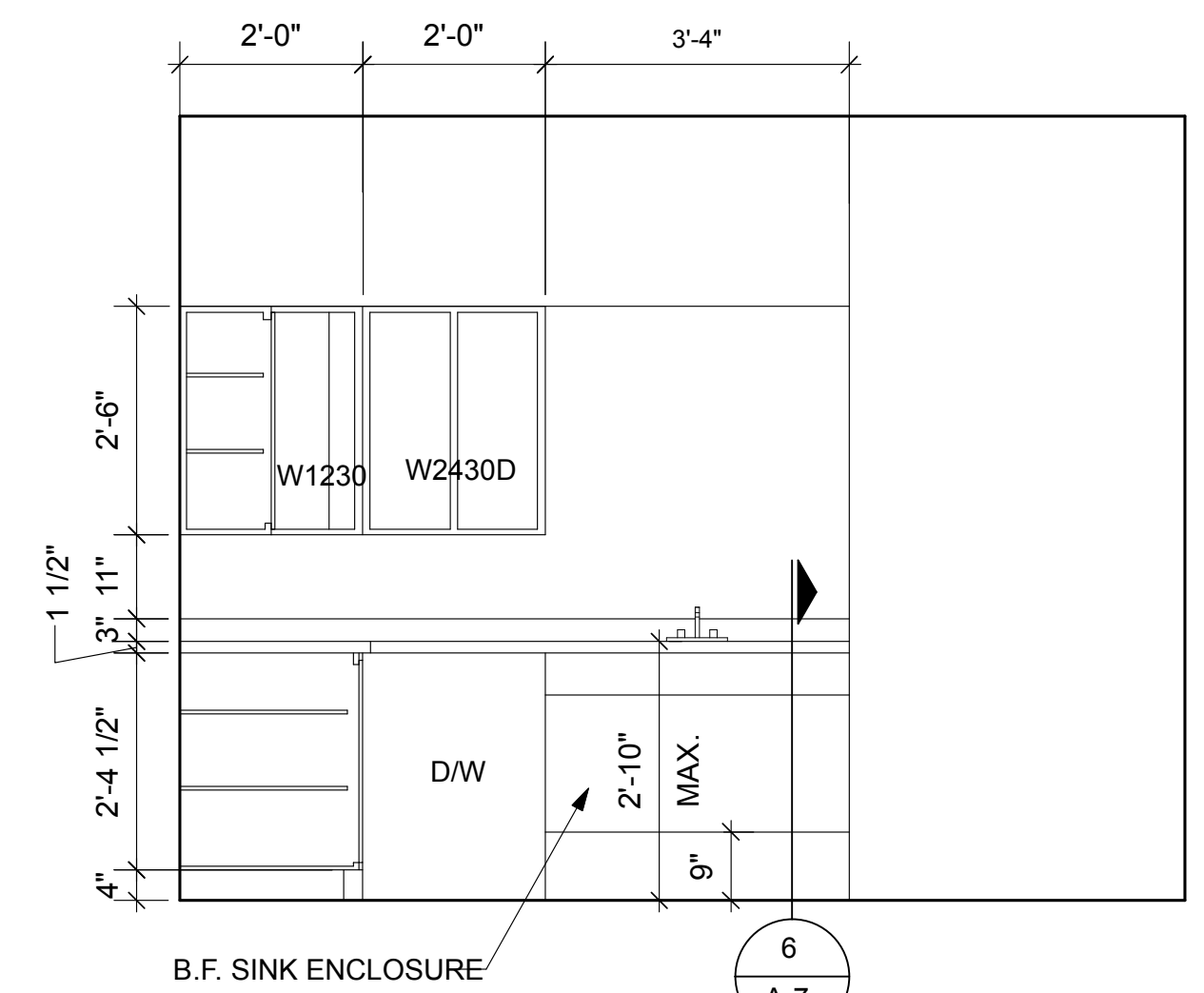
5 HALF BATH ELEVATION
SCALE: 1/2"=1'-0"



2 KITCHEN ELEVATION
SCALE: 1/2"=1'-0"



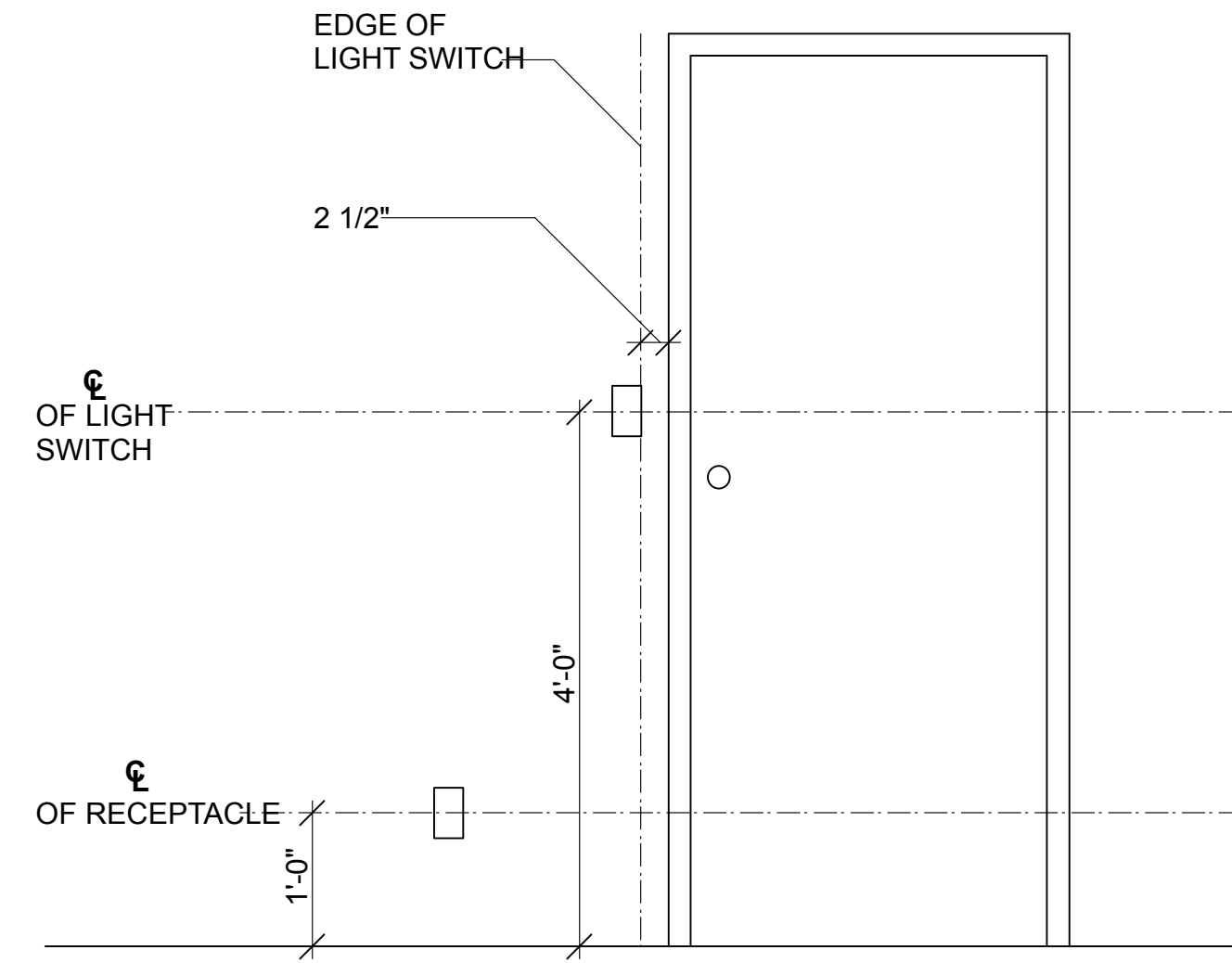
6 BARRIER FREE SINK SECTION
SCALE: 1/2"=1'-0"



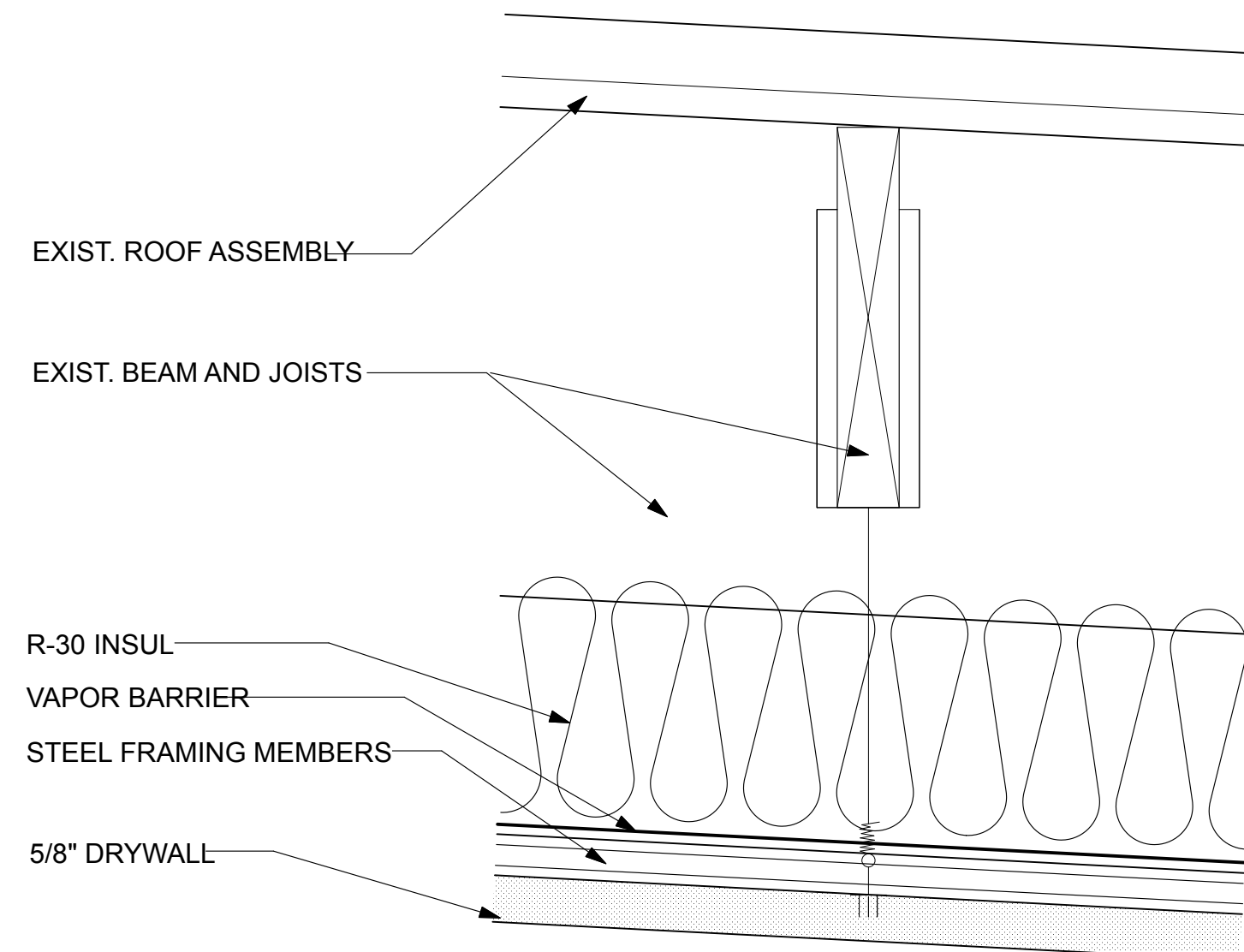
3 KITCHEN ELEVATION
SCALE: 1/2"=1'-0"

B.F. SINK ENCLOSURE

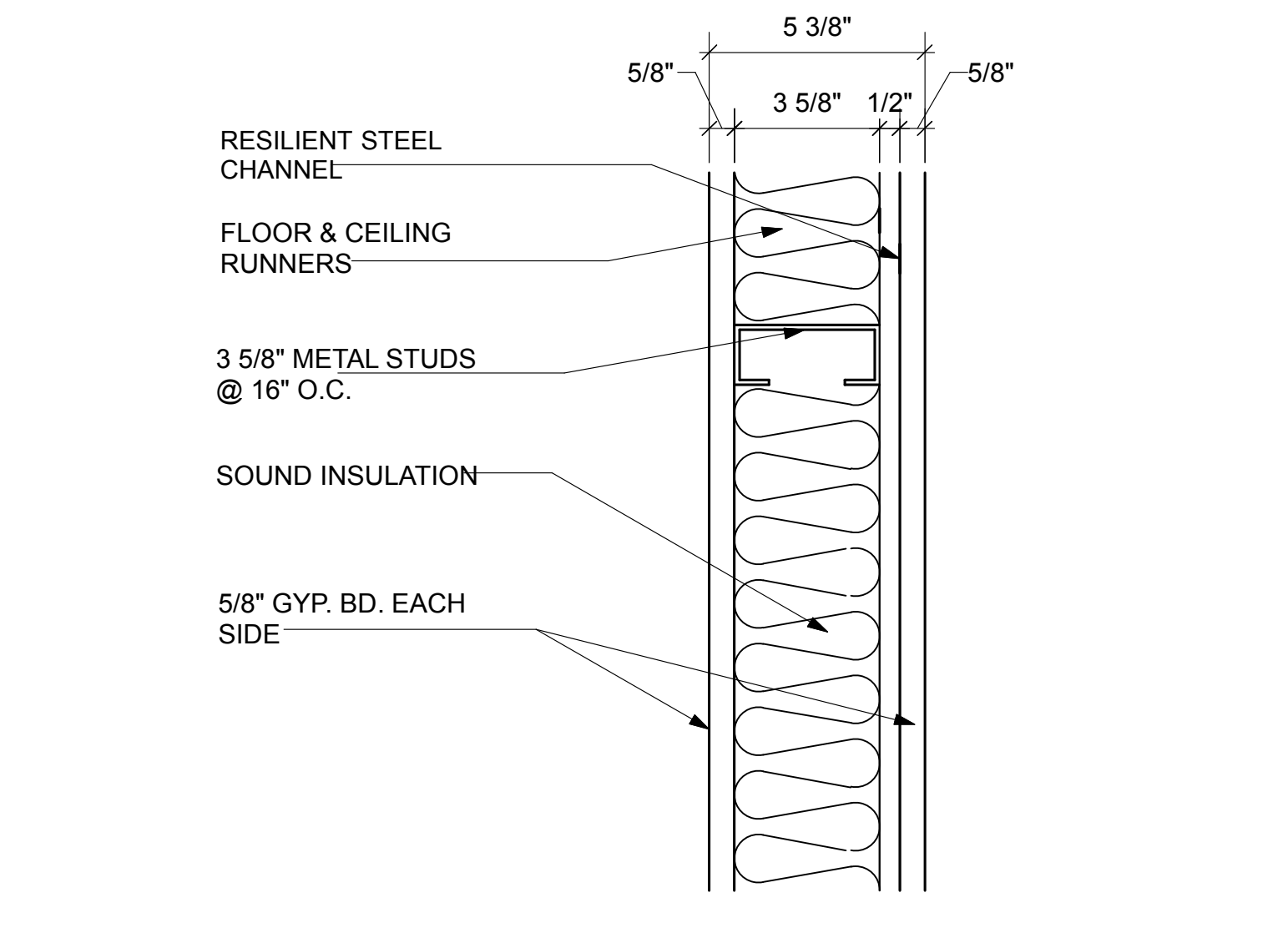
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A-7



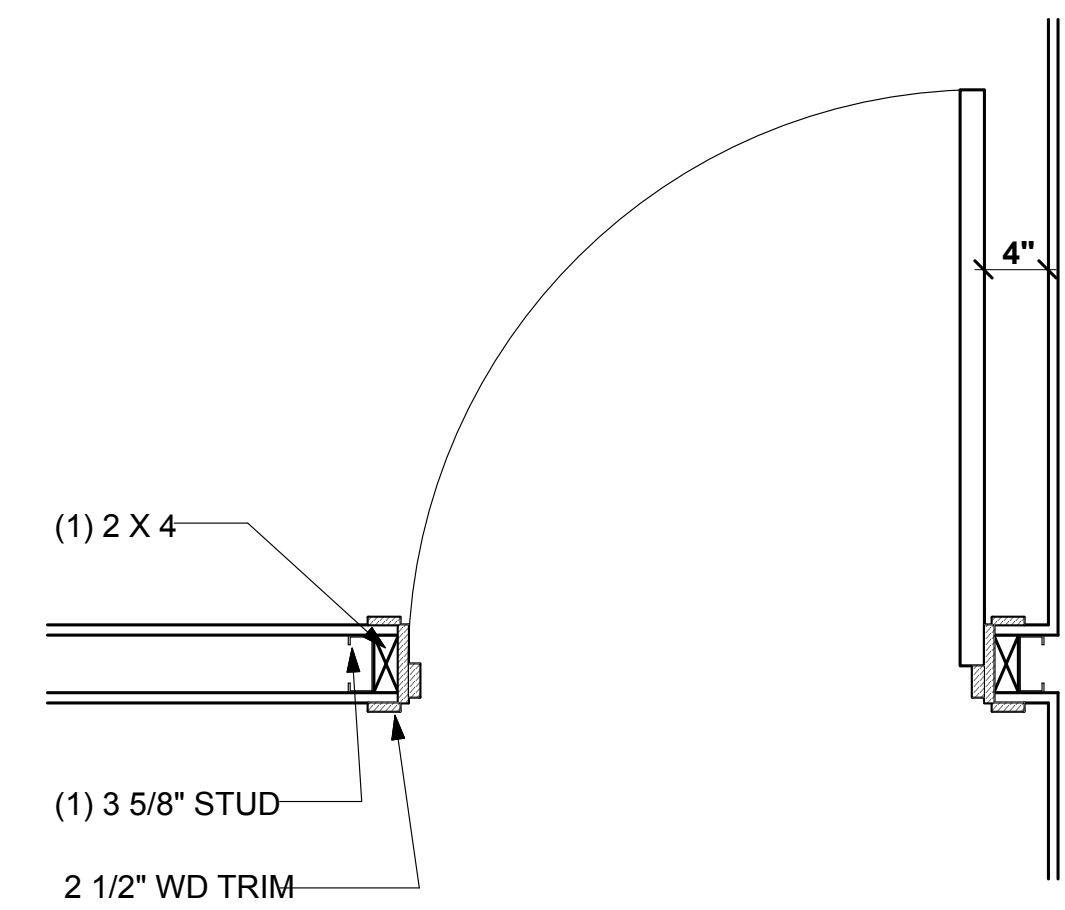
9 TYP. ELECTRICAL LOCATIONS
A-8 SCALE: 3/4"=1'-0"



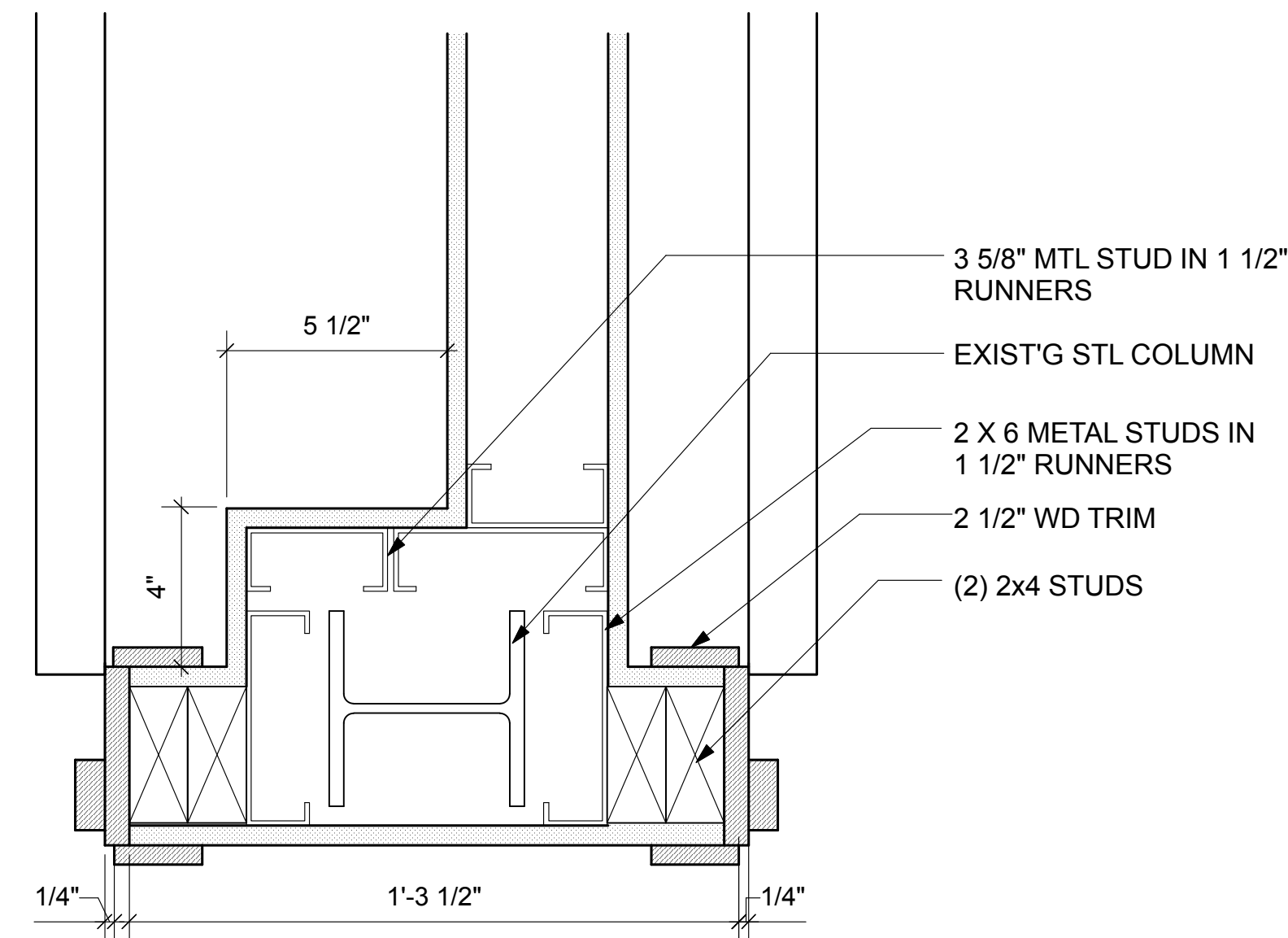
4 THIRD FLOOR CLG. DETAIL
A-4 SCALE: 3"=1'-0"



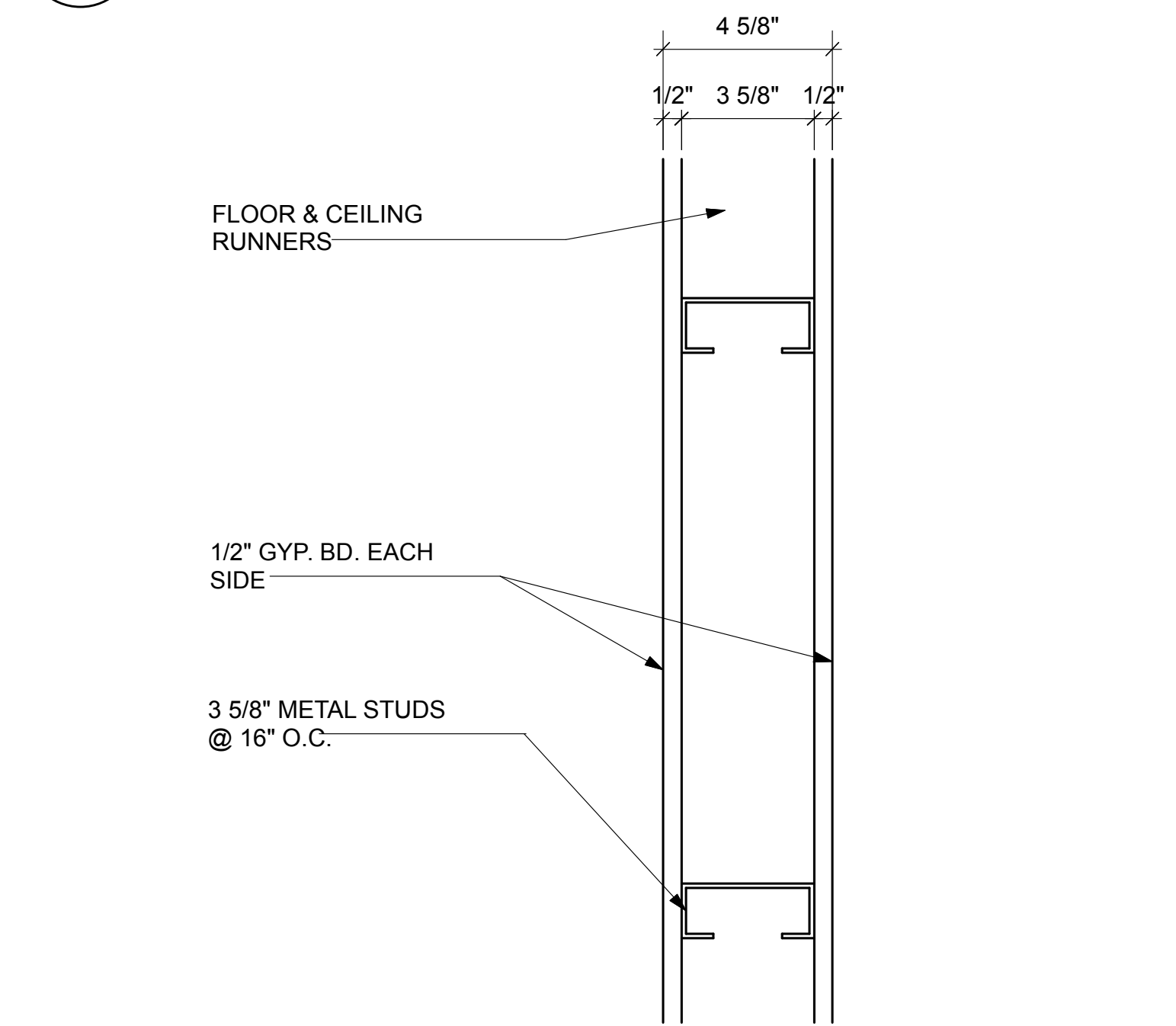
3 UNIT SEPARATION WALL @ CORR.
SCALE: 3"=1'-0" 1 HOUR WALL PER UL# U423



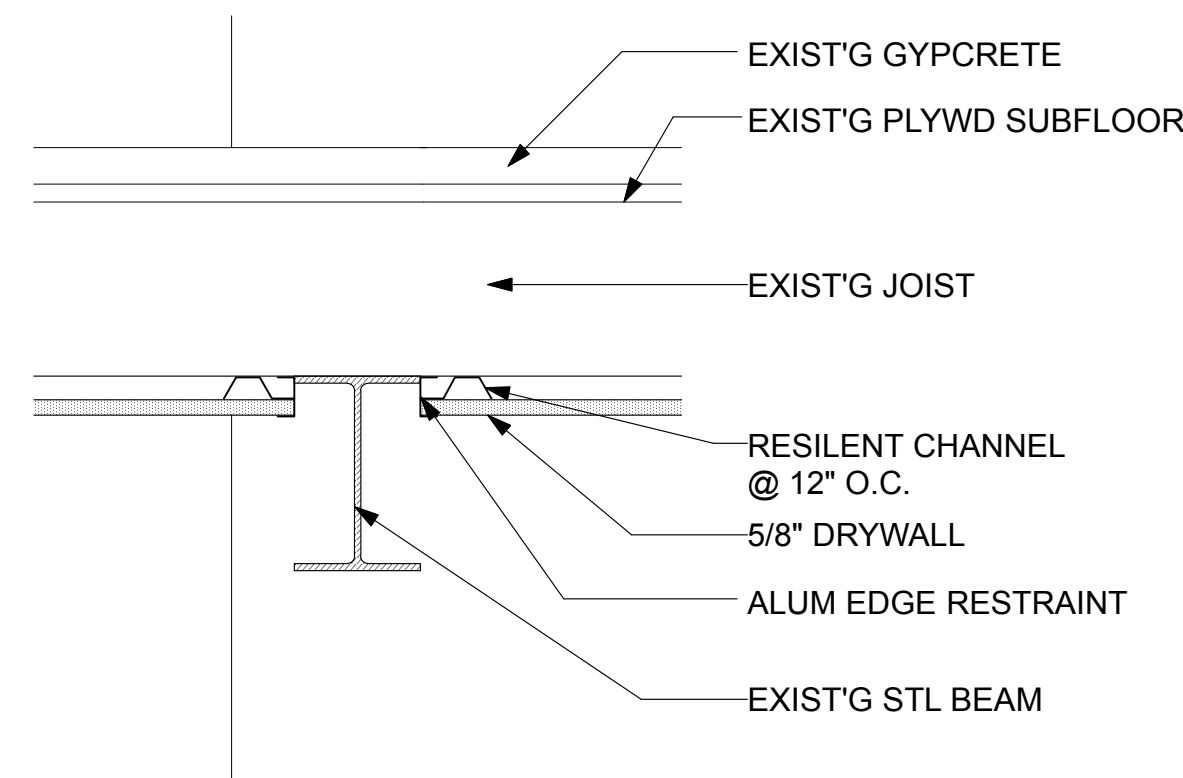
8 TYP. DOOR PLACEMENT
A-8 SCALE: 1"=1'-0"



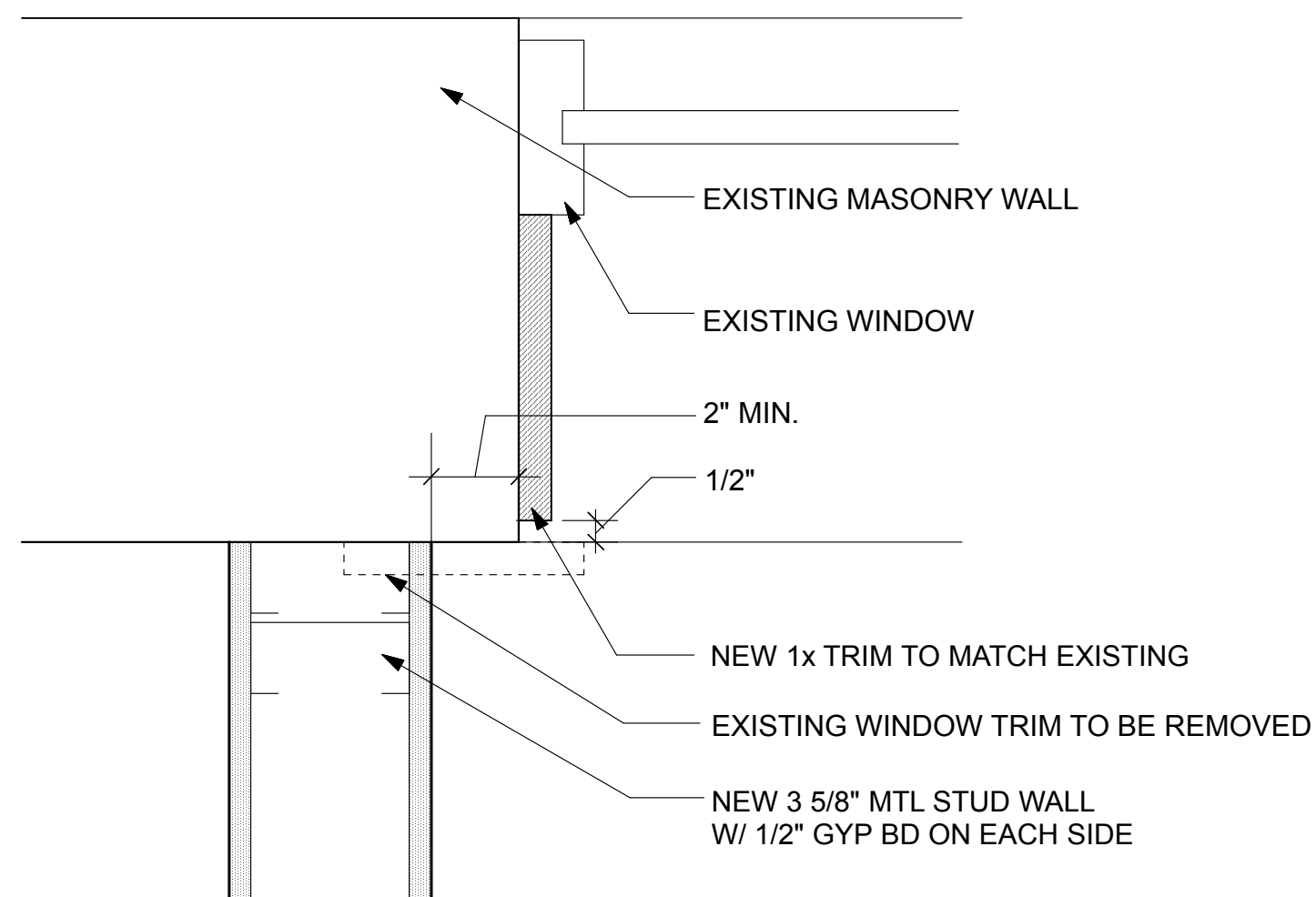
5 COLUMN ENCLOSURE DETAIL
A-1 SCALE: 3"=1'-0"



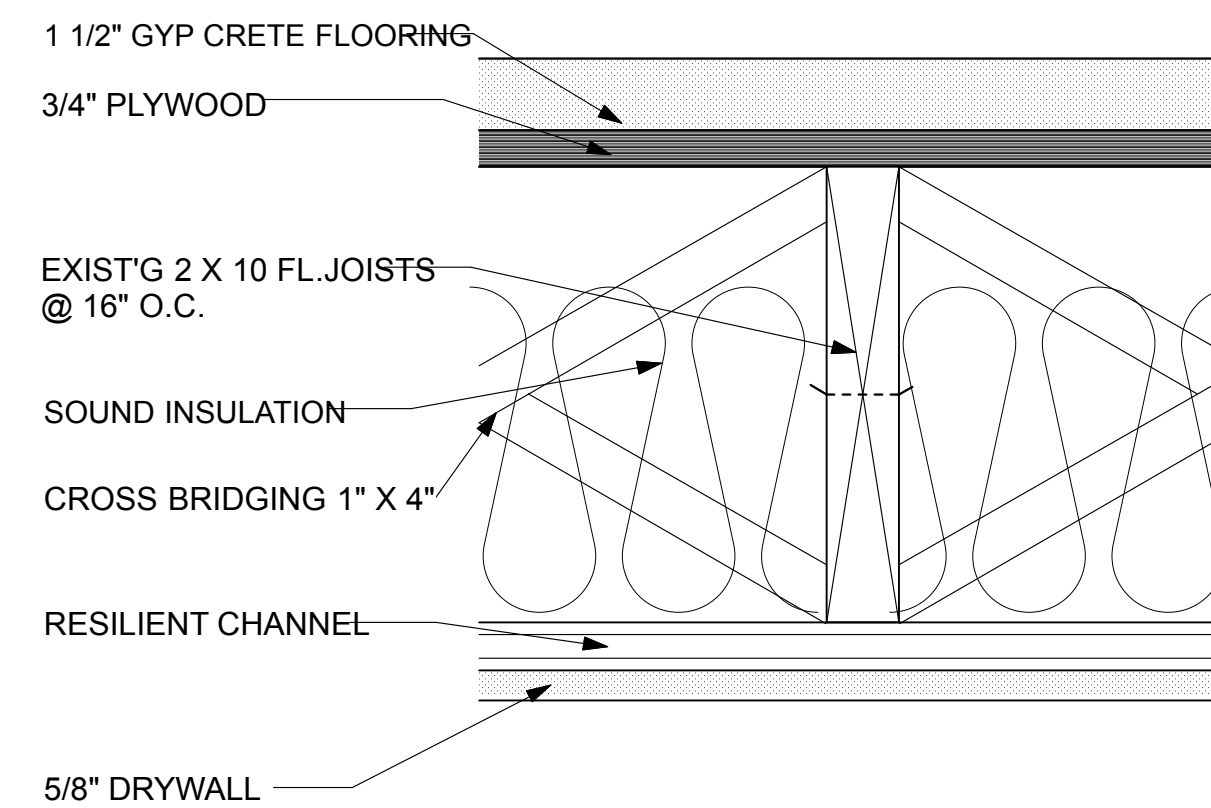
2 TYP. WALL
SCALE: 3"=1'-0"



7 ENLARGED SECTION DETAIL
A-4 SCALE: 1 1/2"=1'-0"



6 ENLARGED FLOOR PLAN DETAIL
A-1 SCALE: 3"=1'-0"



1 UL# L535 - 1 HR. FLOOR
A-4 SCALE: 3"=1'-0" * 1/2 HOUR SEPARATION REQUIRED

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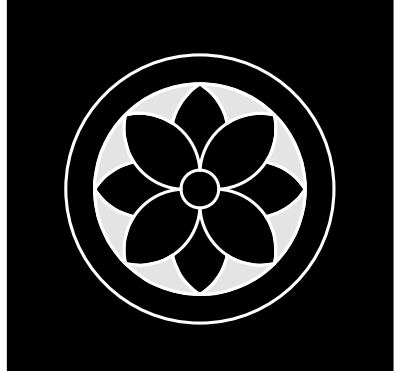
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A-8

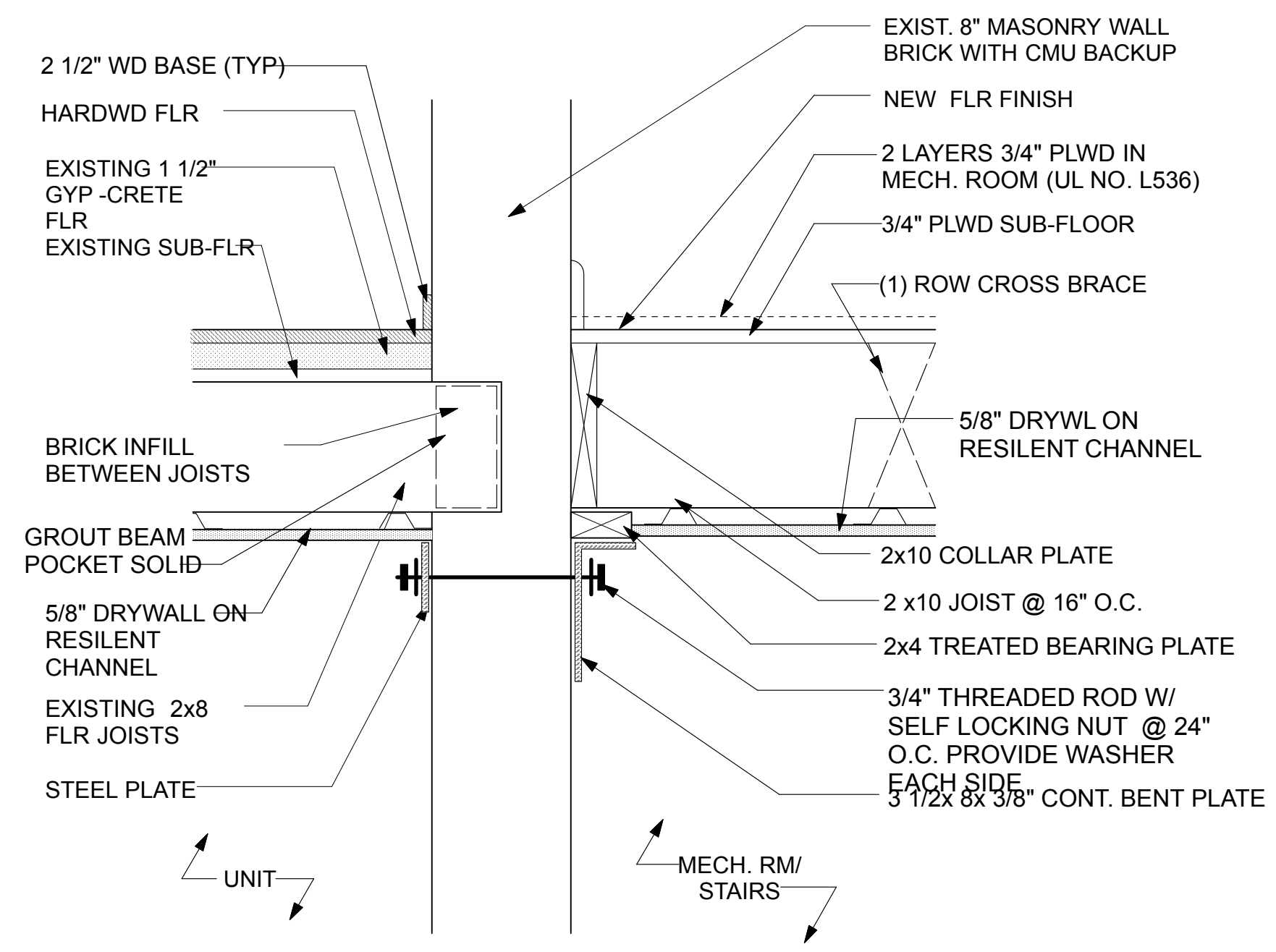


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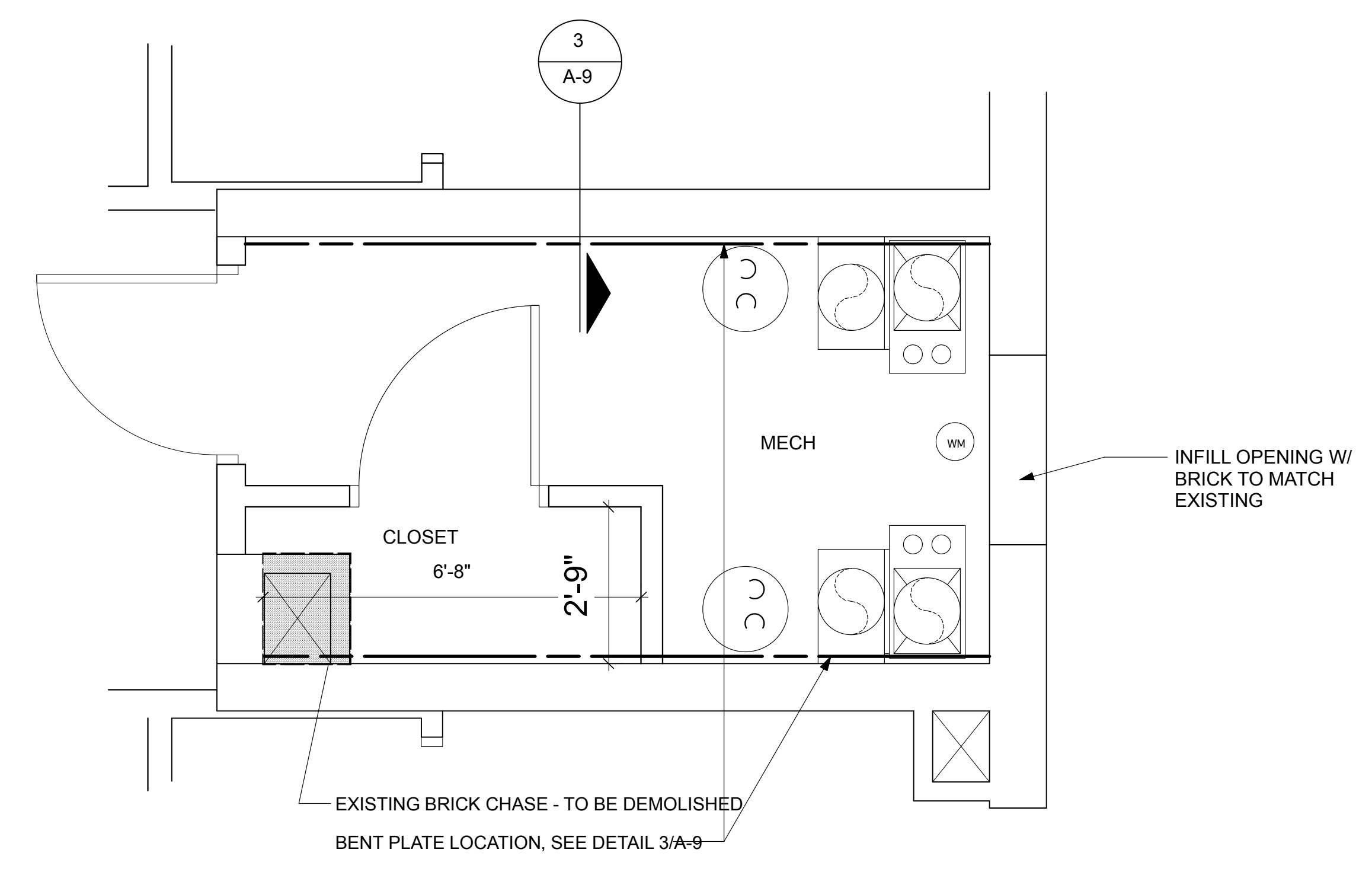
Misc. Details

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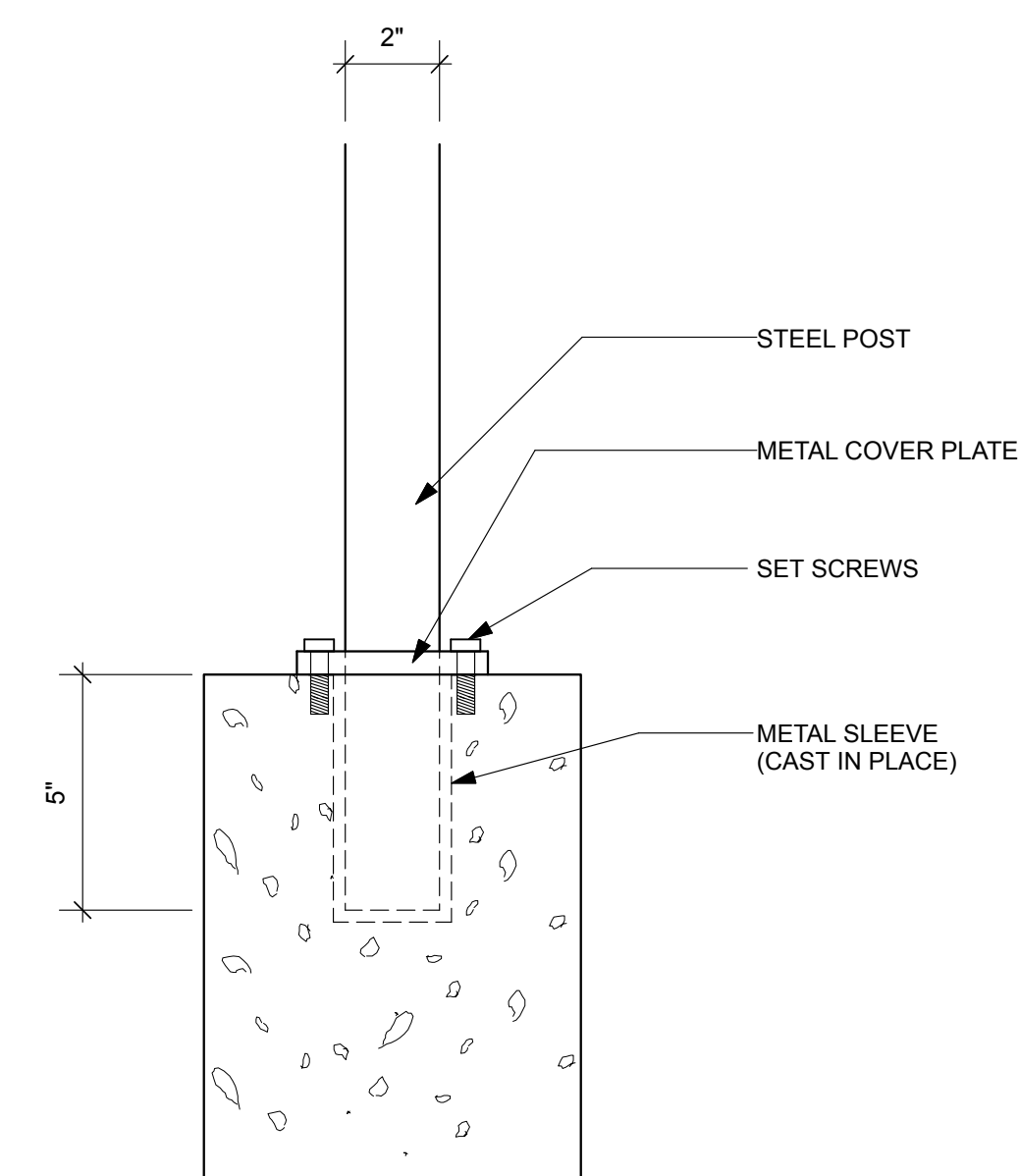
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 1 SUITE 518
 5 DETROIT, MI
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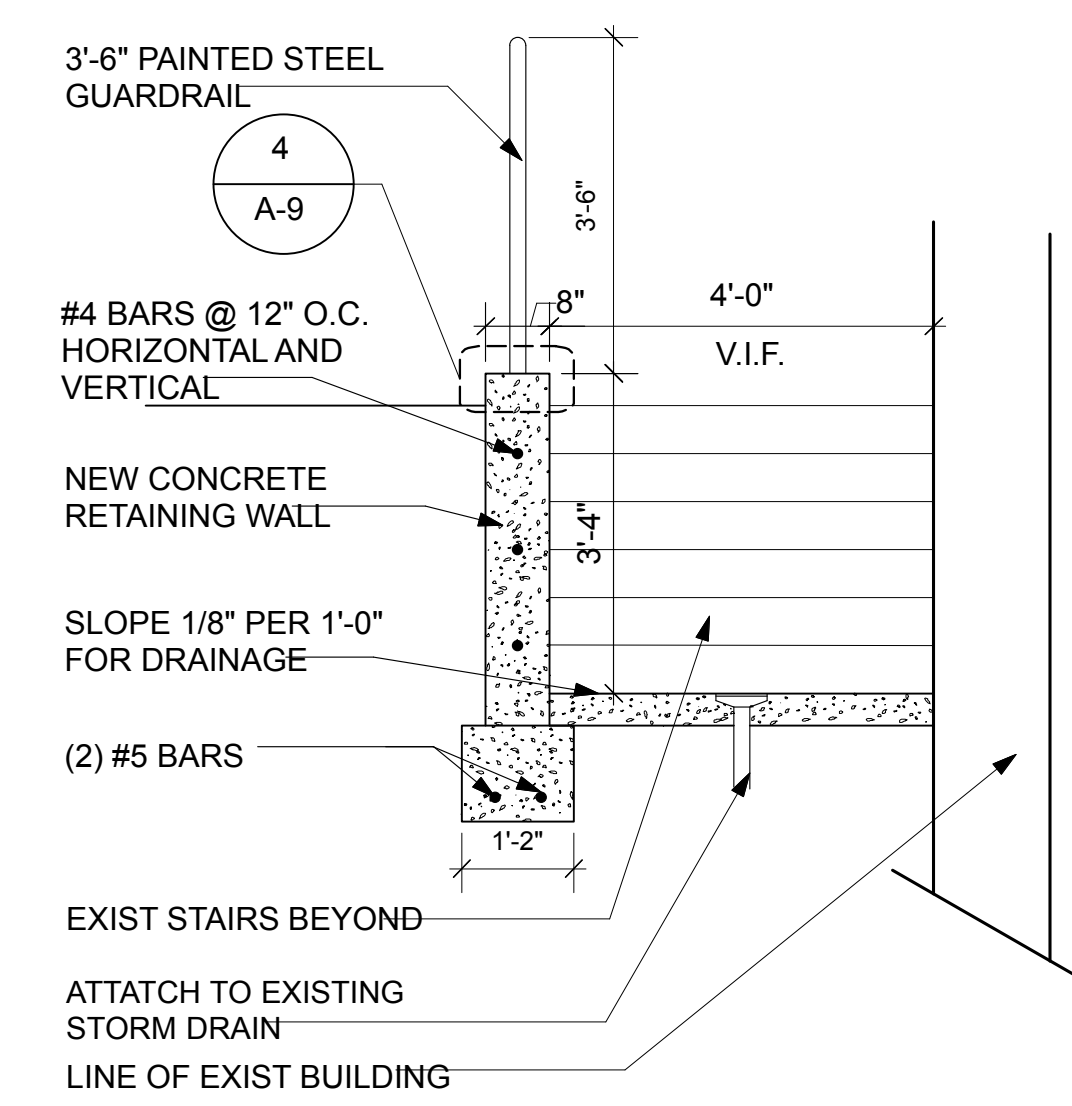
3 NEW FLOOR DETAIL
 SCALE: 1 1/2"=1'-0"



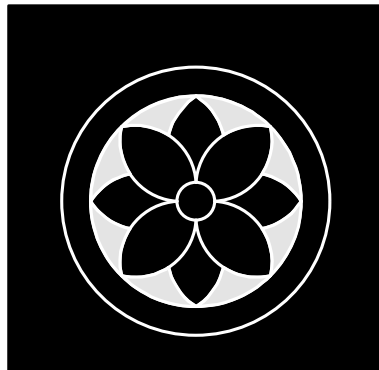
1 ENLARGED MECHANICAL ROOM PLAN
 SCALE: 1/2"=1'-0"



4 CONNECTION DETAIL
 SCALE: 3"=1'-0"



2 RETAINING WALL DETAIL
 SCALE: 1/2"=1'-0"



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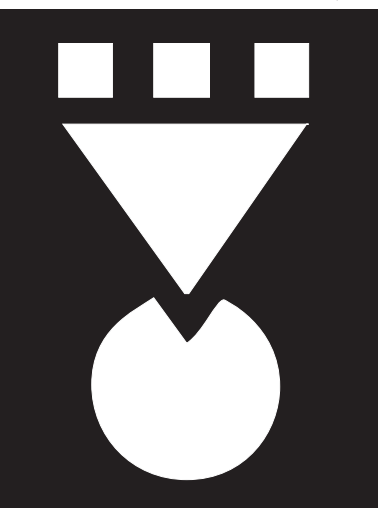
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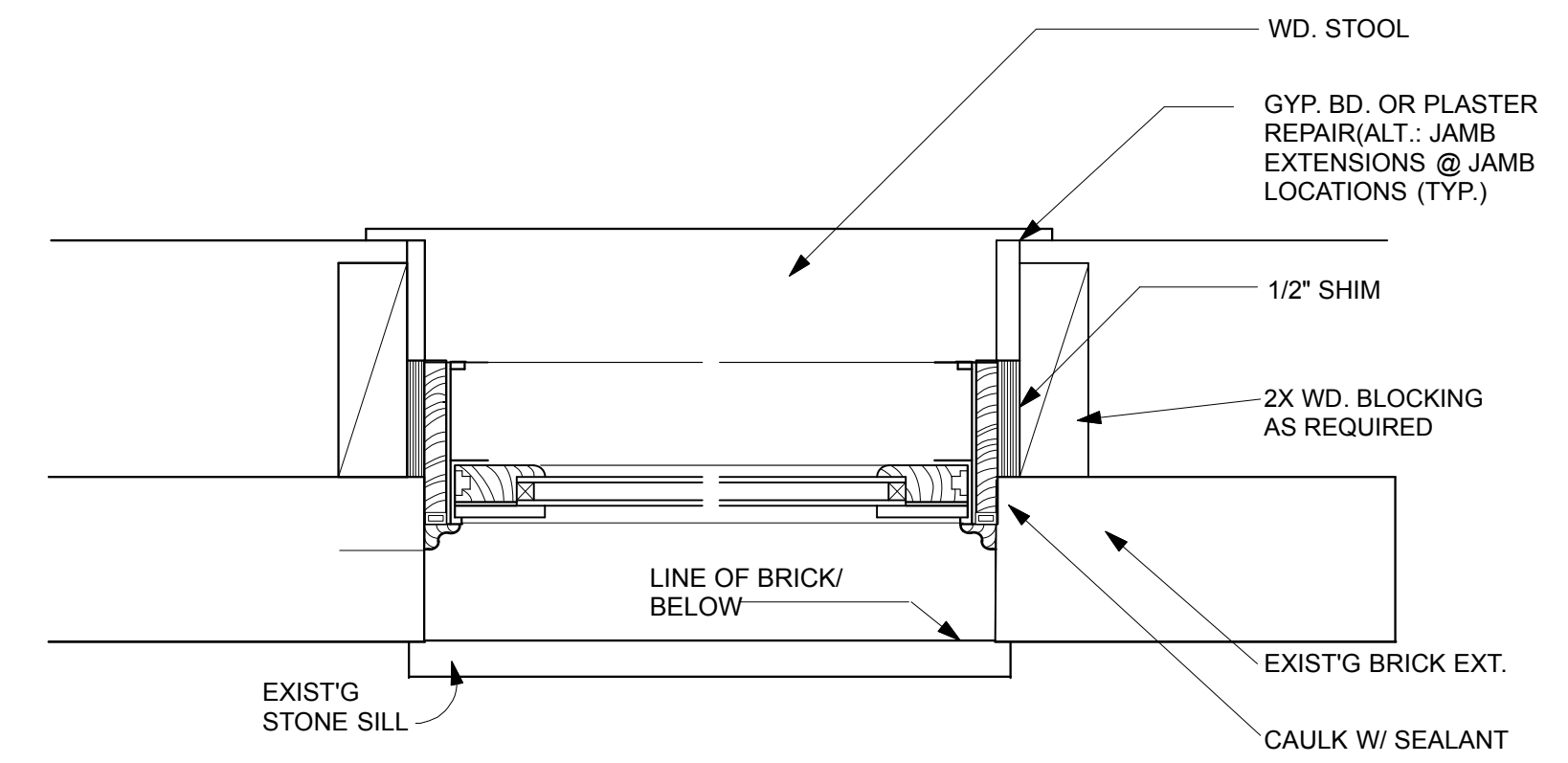
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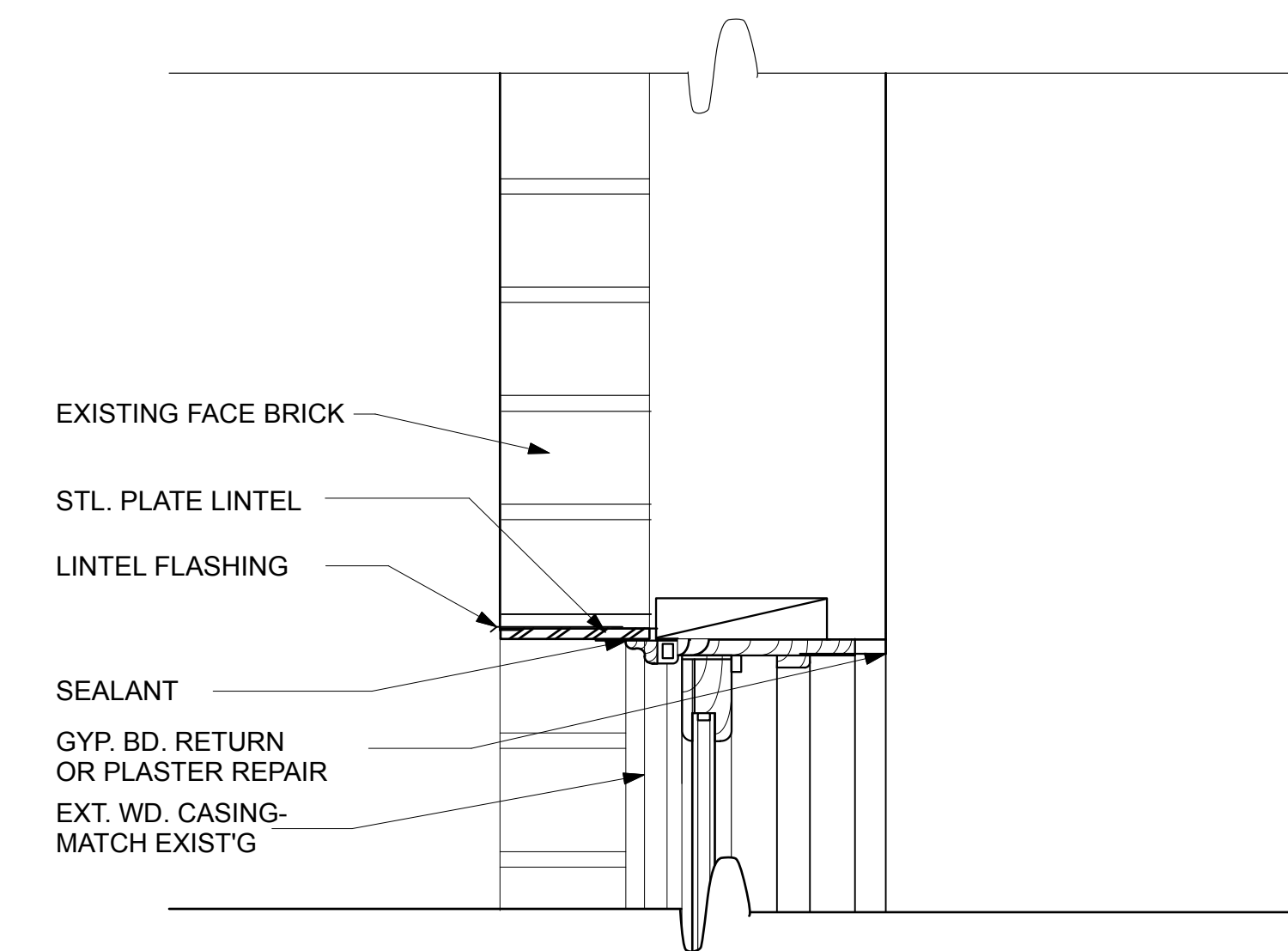


SHEET NUMBER:
A-10



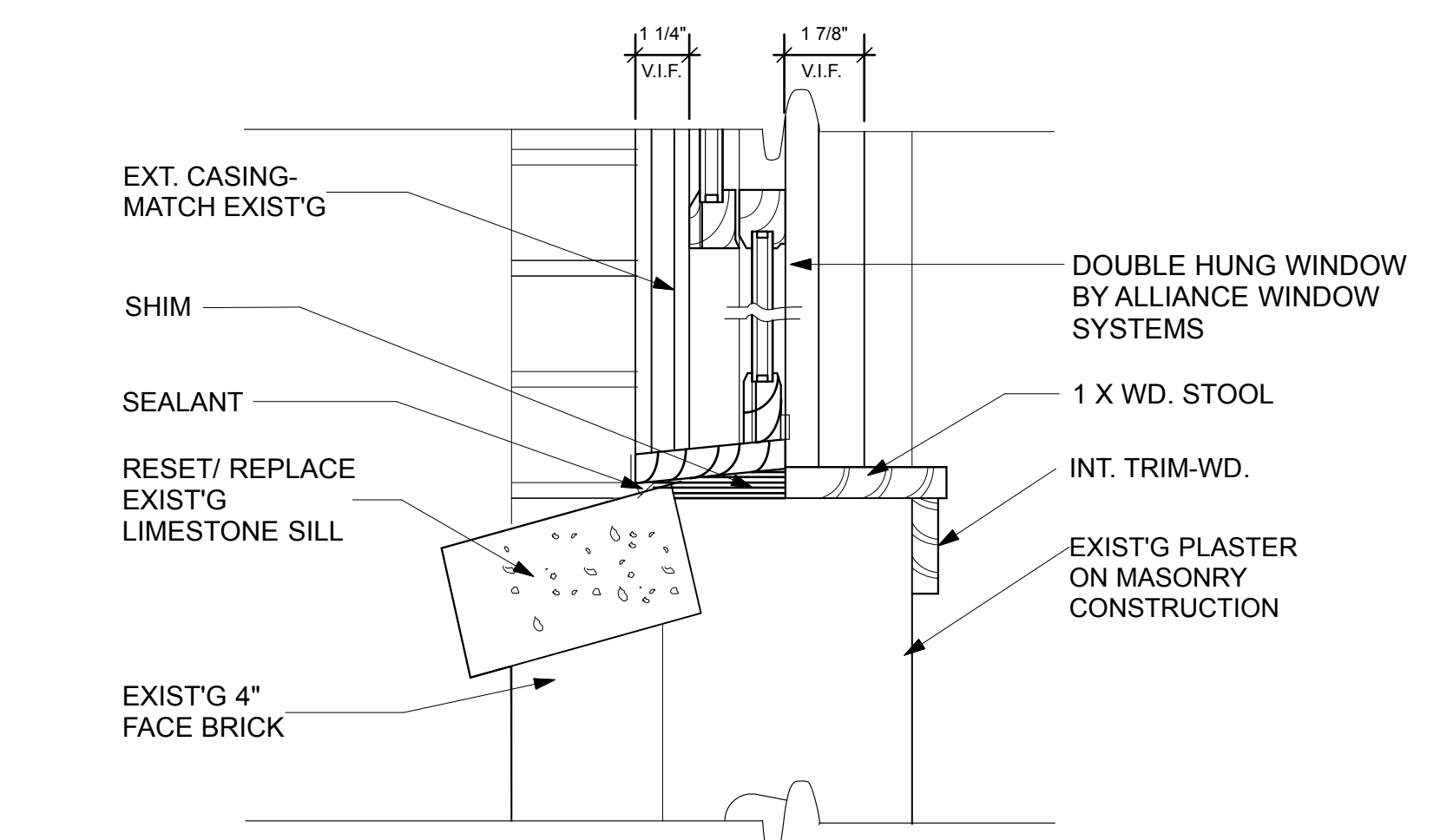
TYP. JAMB DETAIL

SCALE: 3"=1'-0"



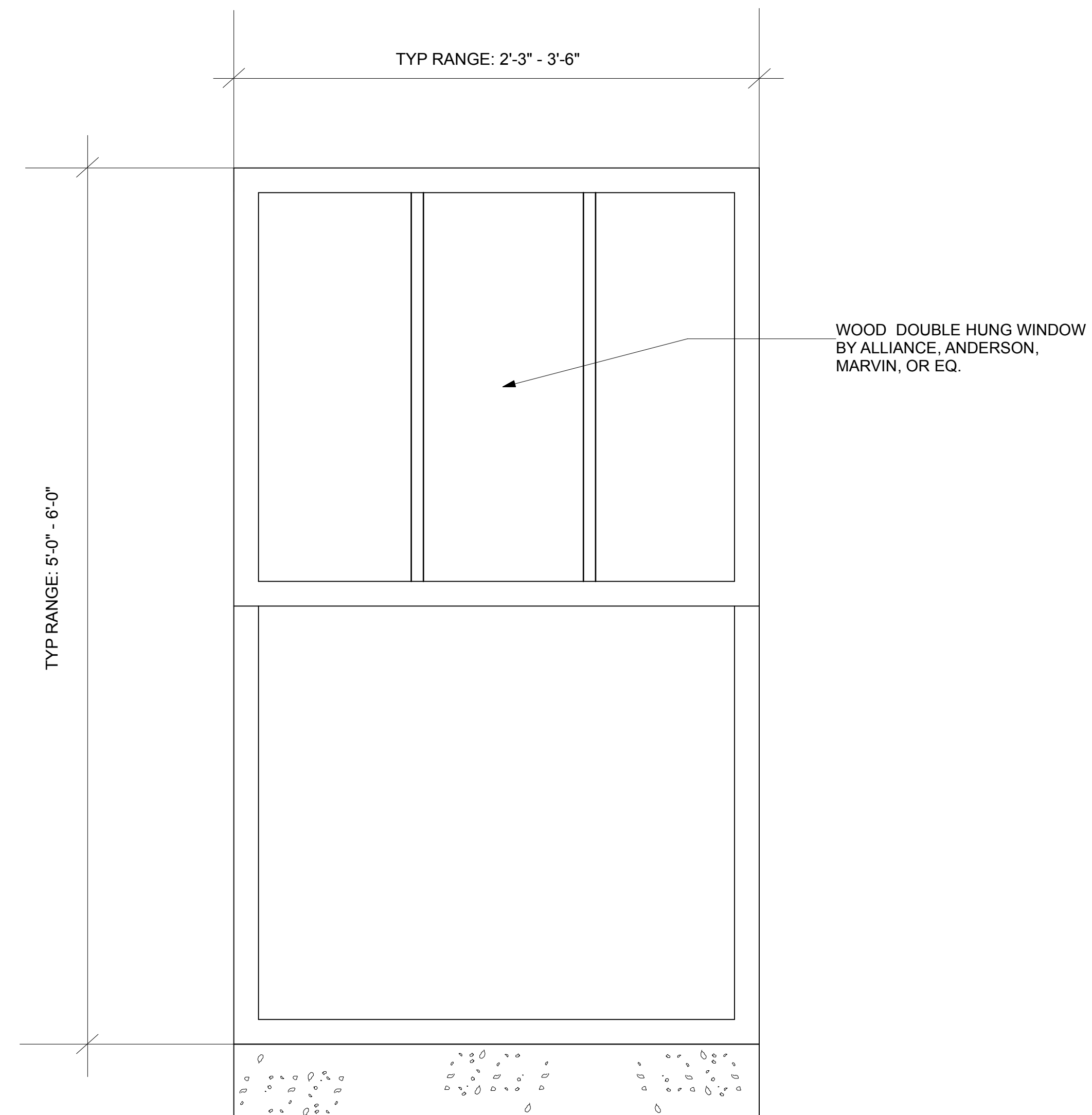
TYP. HEAD DETAIL

SCALE: 3"=1'-0"



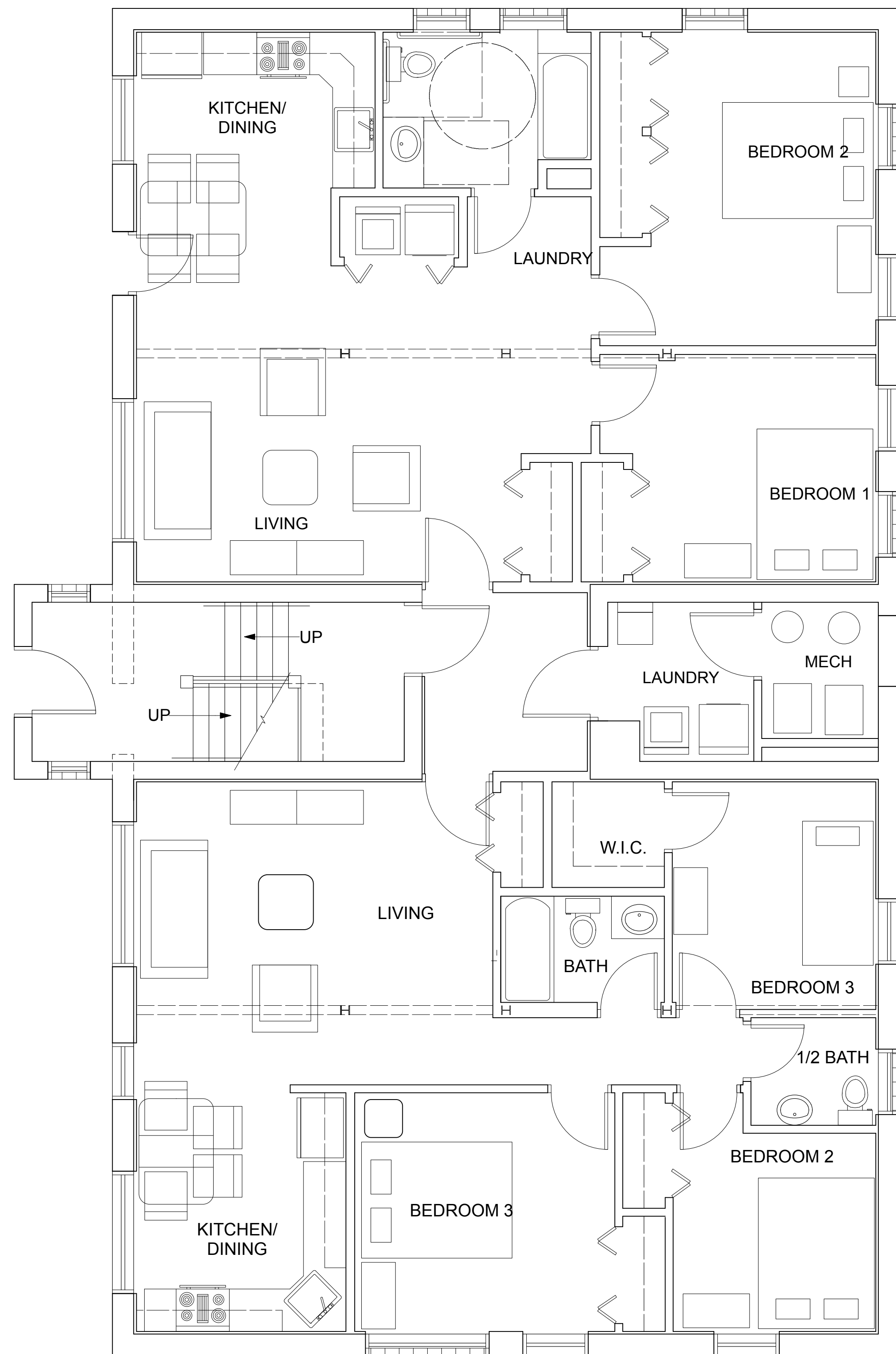
TYP. SILL DETAIL

SCALE: 3"=1'-0"

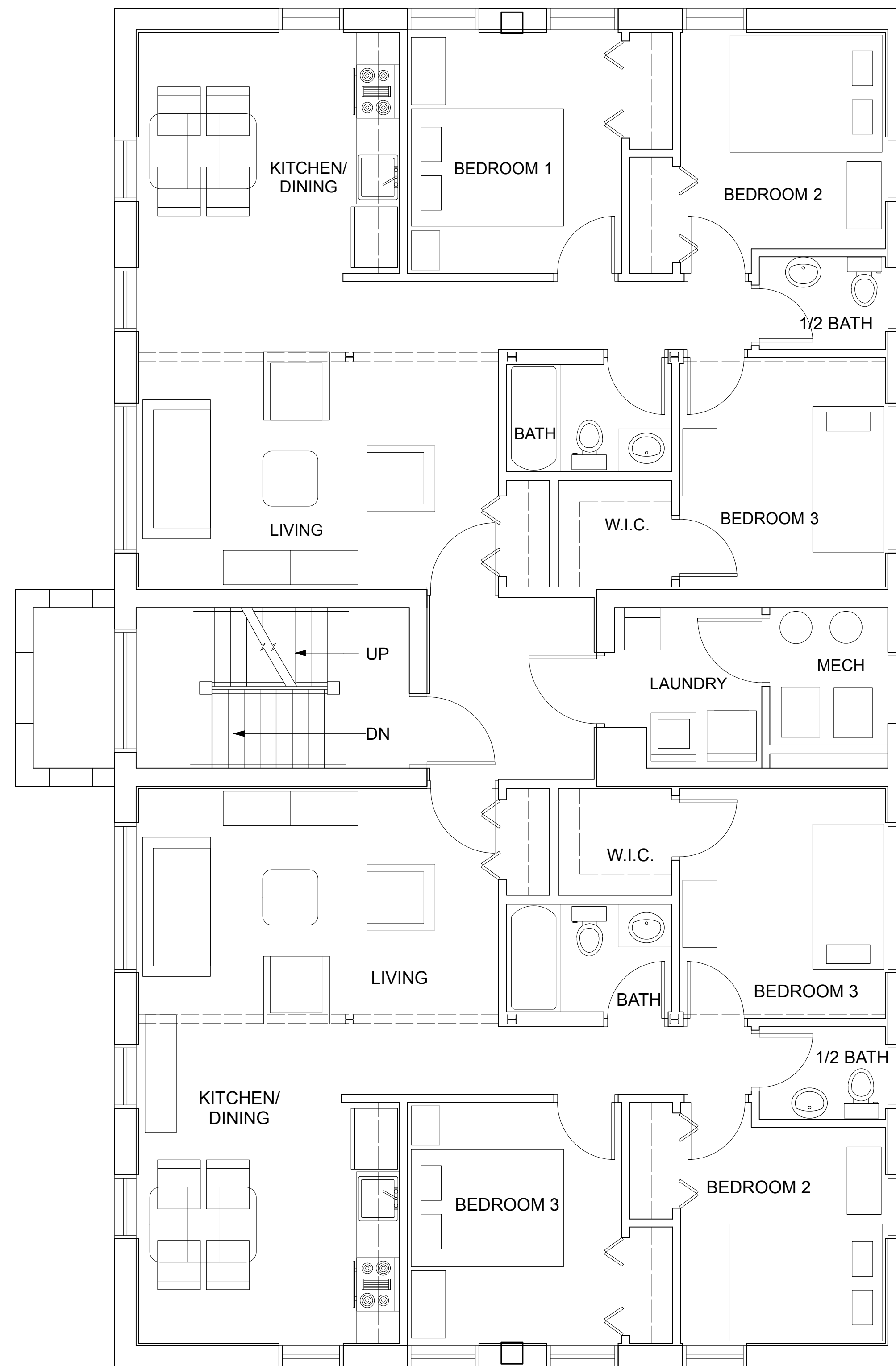


TYP. WINDOW ELEVATION

SCALE: 1 1/2"=1'-0"



BASEMENT FURNITURE PLAN
SCALE: 1/4"=1'-0"



FIRST-THIRD FURNITURE PLAN
SCALE: 1/4"=1'-0"

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Furniture Plans

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Approved:

Project Number:

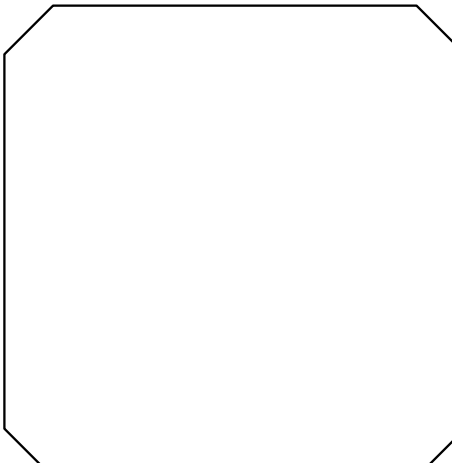
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A DIVISION OF NEURBAN DESIGN GROUP, INC.



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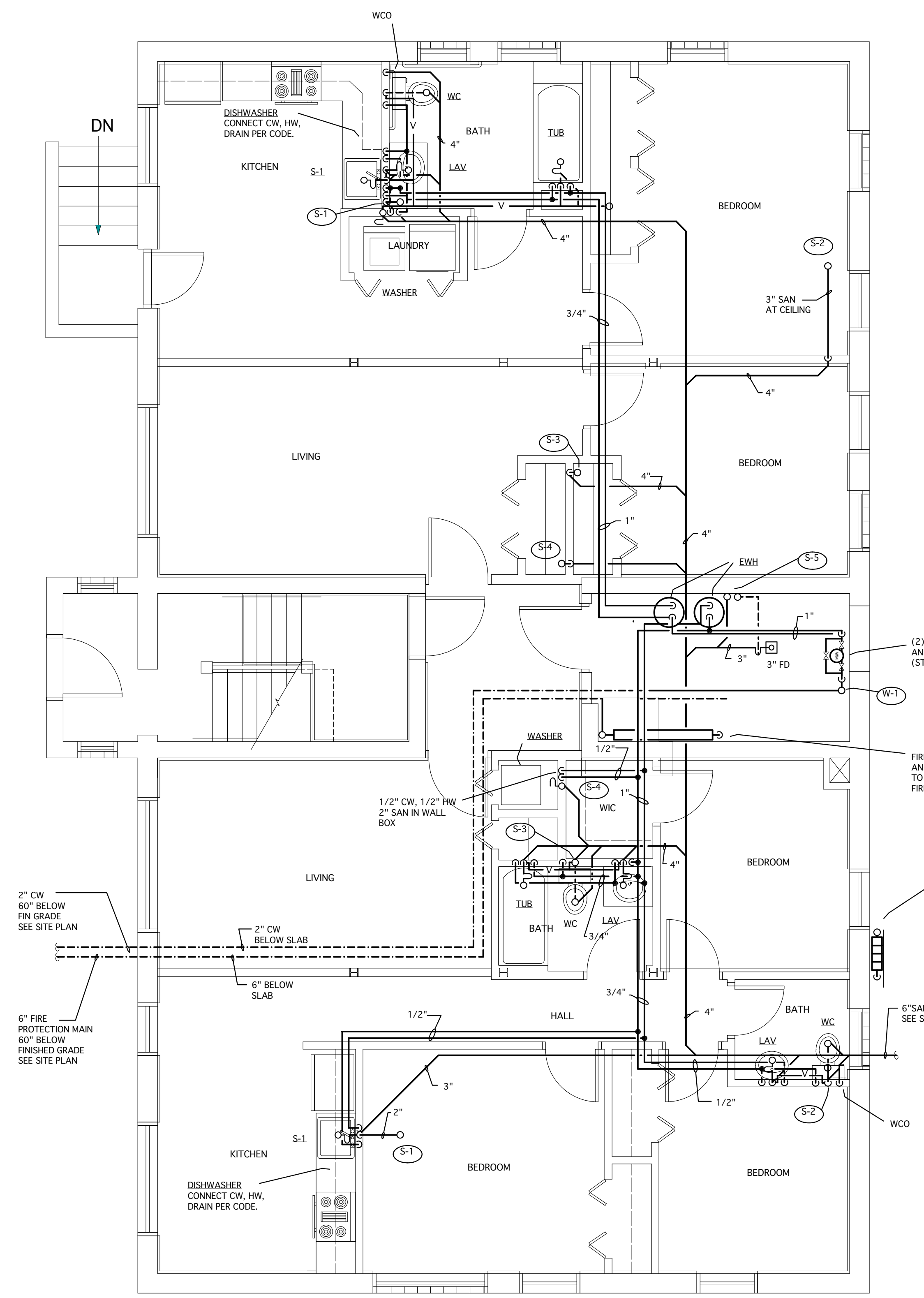
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PROJECT TITLE:
MARLBOROUGH APARTMENTS
 DETROIT, MICHIGAN

SHEET TITLE
BASEMENT AND FIRST FLOOR PLAN - PLUMBING

DRAWN BY:
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PROJECT #
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M-1



ELECTRIC WATER HEATER (EWH)

ELECTRIC WATER HEATER 40 GALLONS CAPACITY,
 TWO HEATING ELEMENTS 4500WATTS EACH
 LOCHINVAR MODEL ETX040KK.
 INSTALL DRAIN PAN FOR WATER HEATERS INSTALLED
 AT 1ST, 2ND AND 3RD FLOORS.

(2) 1" WATER METERS
 AND BY PASS
 (STACKED)

FIRE PROTECTION RISER
 AND CONTINUATION AND CONNECTION
 TO THE SPRINKLER HEADS BY THE
 FIRE PROTECTION SUBCONTRACTOR.

(8) PRV AND GAS METER
 BY THE GAS COMPANY
 EXTEND 1 1/4" GAS TO
 EACH FURNACE AND GAS
 WATER HEATER AT BASEMENT,
 1ST, 2ND, 1ND 3RD FLOORS.

2" CW
 60" BELOW
 FIN GRADE
 SEE SITE PLAN

6" FIRE
 PROTECTION MAIN
 60" BELOW
 FINISHED GRADE
 SEE SITE PLAN

BASEMENT FLOOR PLAN - PLUMBING
 SCALE: 1/4" = 1'-0"

NOTE:

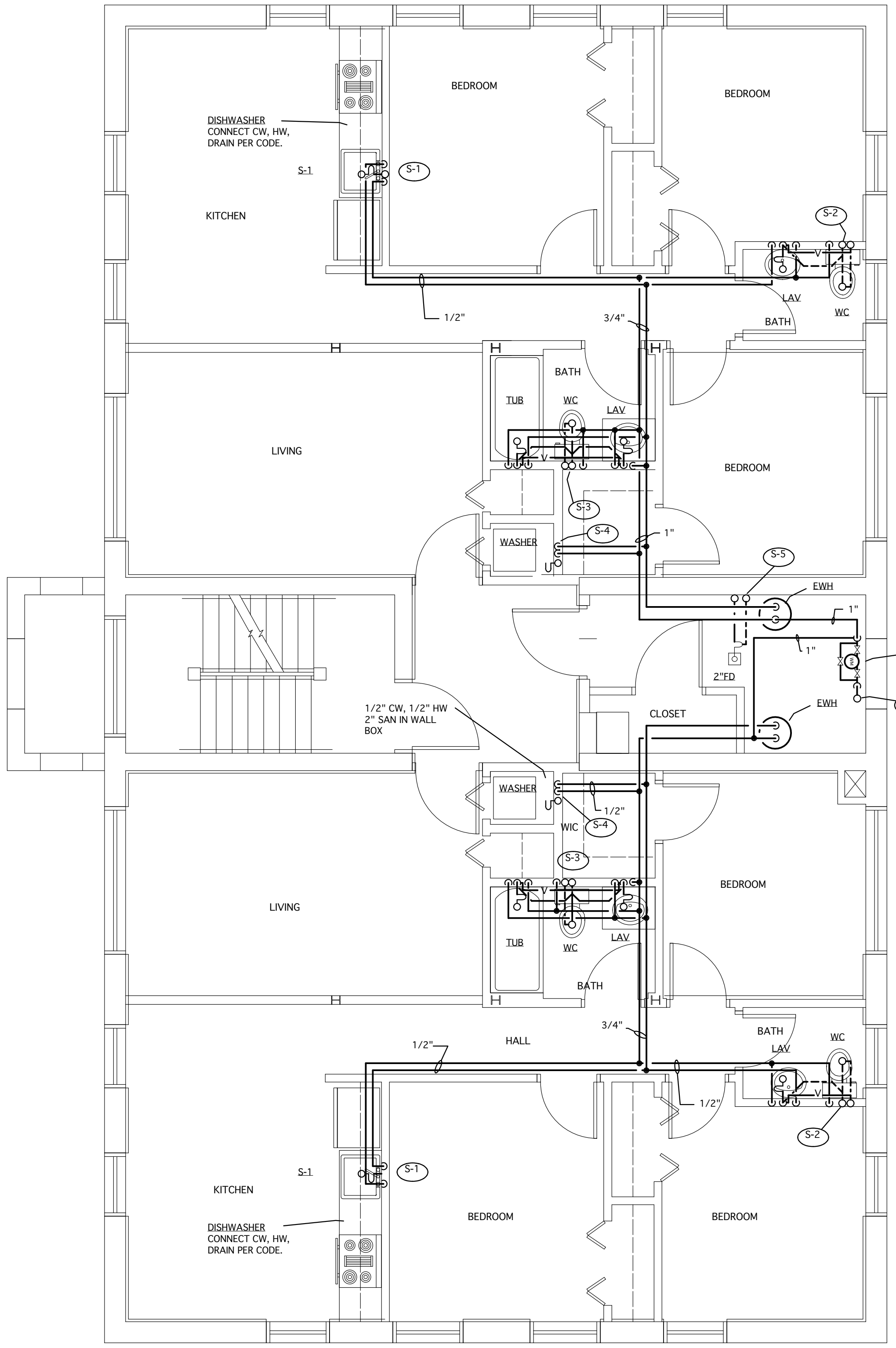
- ALL HORIZONTAL SAN PIPES SHOWN AS DASHED LINES ARE BELOW SLAB AND TO BE SLOPED 1/8" PER FT.
- ALL CW, HW, VENT PIPES ARE AT BASEMENT CEILING UNLESS NOTED OTHERWISE.

PLUMBING FIXTURE SCHEDULE

FIXTURE	COLD WATER	HOT WATER	WASTE	VENT
WC	1/2"	-	4"	2"
LAV	1/2"	1/2"	1 1/2"	1 1/2"
LT	1/2"	1/2"	2"	1 1/2"
S-1	1/2"	1/2"	1 1/2"	1 1/2"
TUB	1/2"	1/2"	2"	1 1/2"
WASHER	1/2"	1/2"	2"	1 1/2"

NOTE:

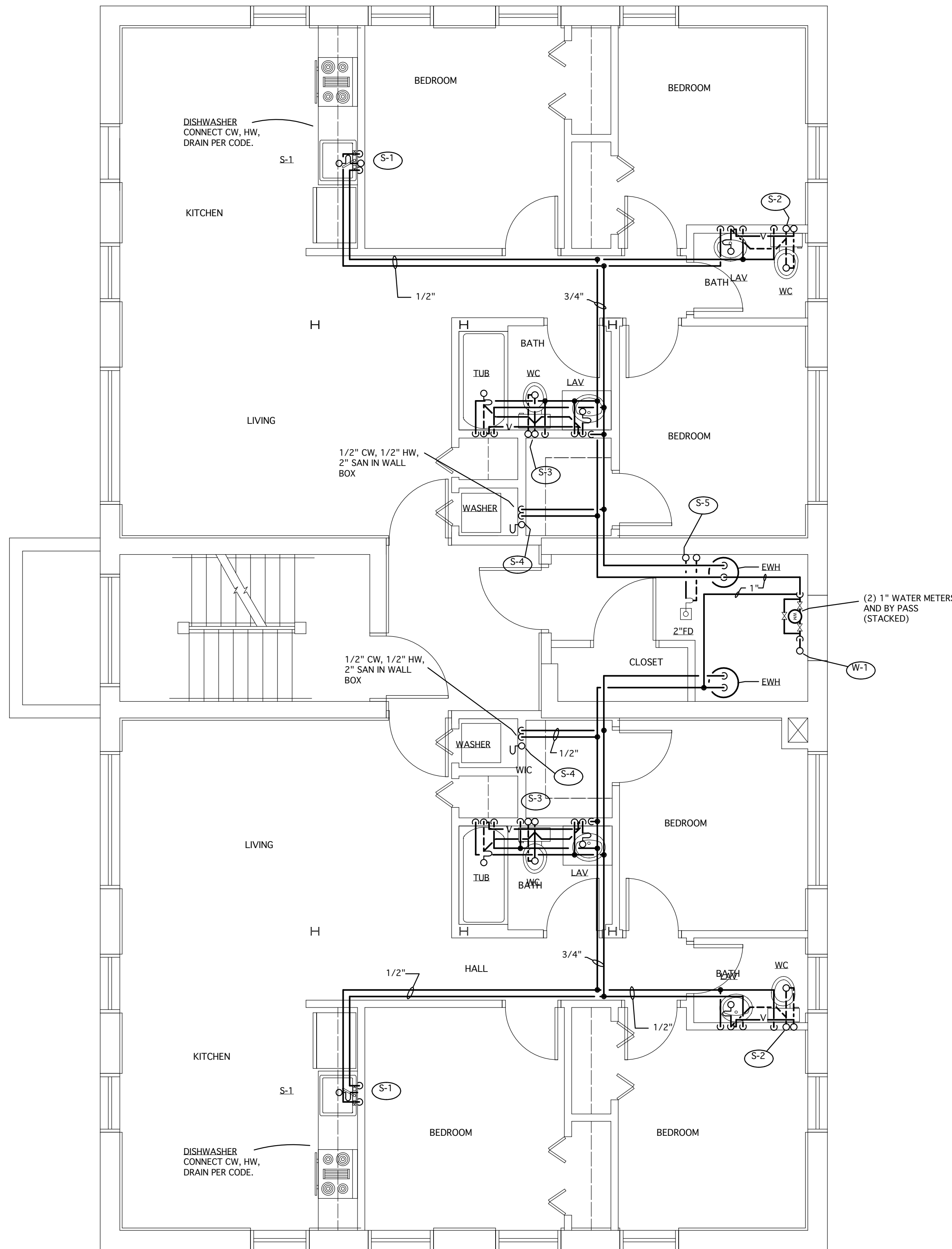
INSTALL 3/4 HP GARBAGE DISPOSER UNDER ALL KITCHEN SINKS.



FIRST FLOOR PLAN - PLUMBING
 SCALE: 1/4" = 1'-0"

NOTE:

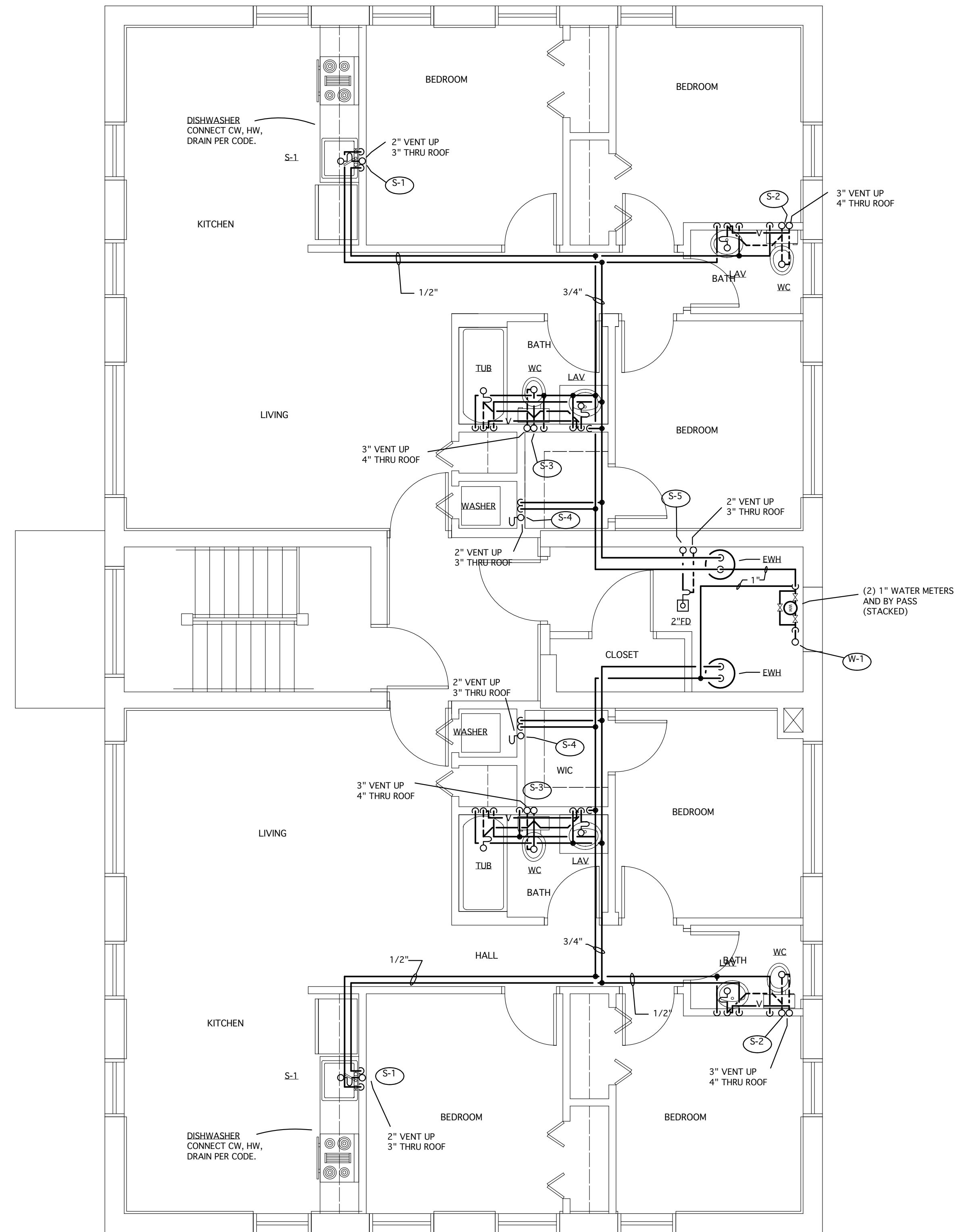
- ALL HORIZONTAL CW, HW AND VENT PIPES ARE AT FIRST FLOOR CEILING, UNLESS NOTE OTHERWISE.
- ALL HORIZONTAL SAN PIPES ARE AT BASEMENT CEILING.
- SEE RISER DIAGRAMS DRAWING M-5.
- INSTALL 30"x30" FIBER GLASS DRAIN PAN UNDER ALL WATER HEATERS.



SECOND FLOOR PLAN - PLUMBING
SCALE: 1/4" = 1'-0"

NOTE:

1. ALL HORIZONTAL CW, HW AND VENT PIPES ARE AT SECOND FLOOR CEILING, UNLESS NOTE OTHERWISE.
2. ALL HORIZONTAL SAN PIPES ARE AT FIRST FLOOR CEILING.
3. SEE RISER DIAGRAMS DRAWING M-5.
4. INSTALL 30"x30" FIBER GLASS DRAIN PAN UNDER ALL WATERS.



THIRD FLOOR PLAN - PLUMBING
SCALE: 1/4" = 1'-0"

NOTE:

1. ALL HORIZONTAL CW, HW AND VENT PIPES ARE AT THIRD FLOOR CEILING, UNLESS NOTE OTHERWISE.
2. ALL HORIZONTAL SAN PIPES ARE AT SECOND FLOOR CEILING.
3. SEE RISER DIAGRAMS DRAWING M-5.
4. INSTALL 30"x30" FIBER GLASS DRAIN PAN UNDER ALL WATERS.

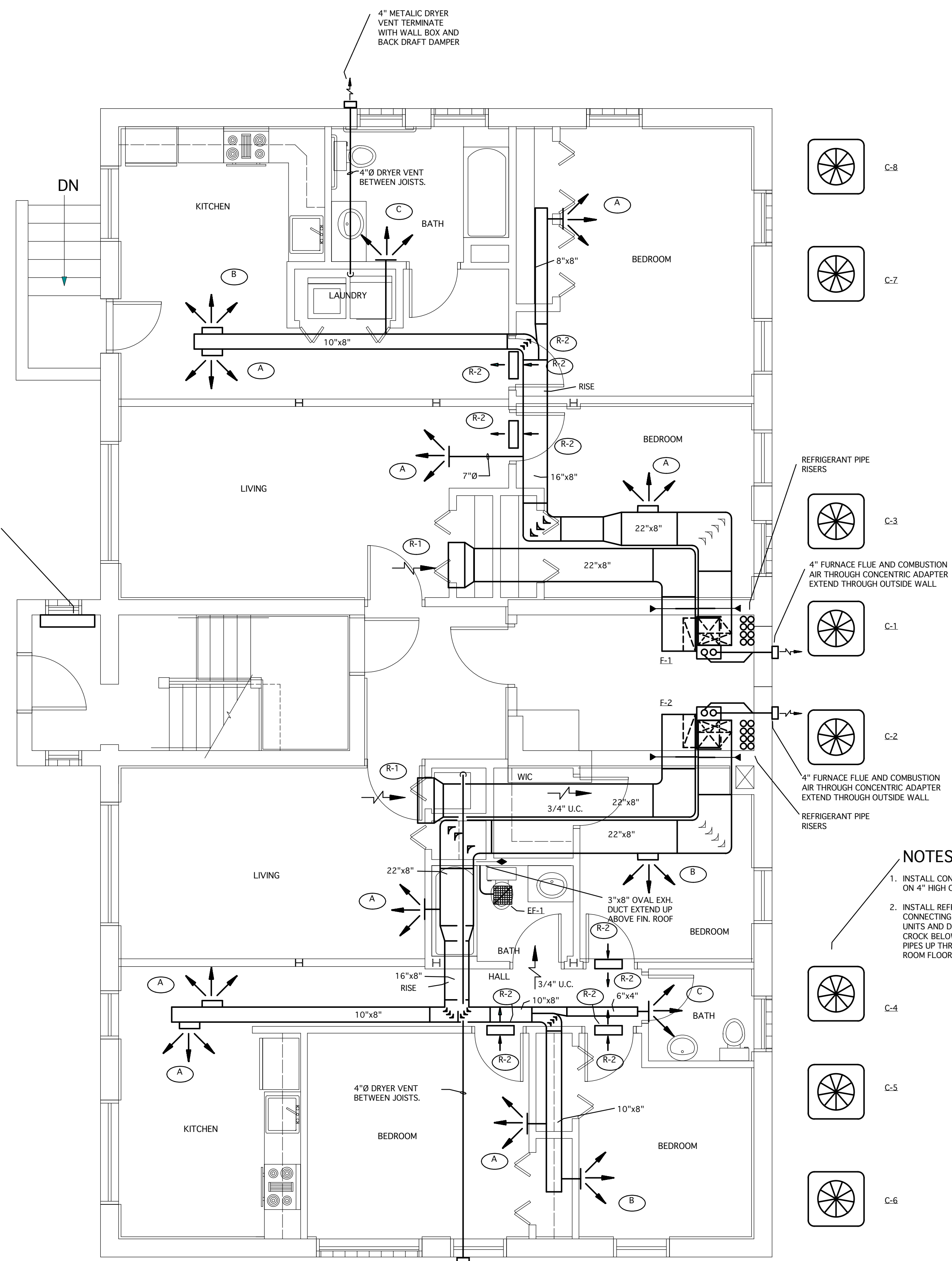
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PROJECT TITLE:
**MARLBOROUGH APARTMENTS
DETROIT, MICHIGAN**

SHEET TITLE
**SECOND
AND THIRD
FLOOR PLAN -
PLUMBING**

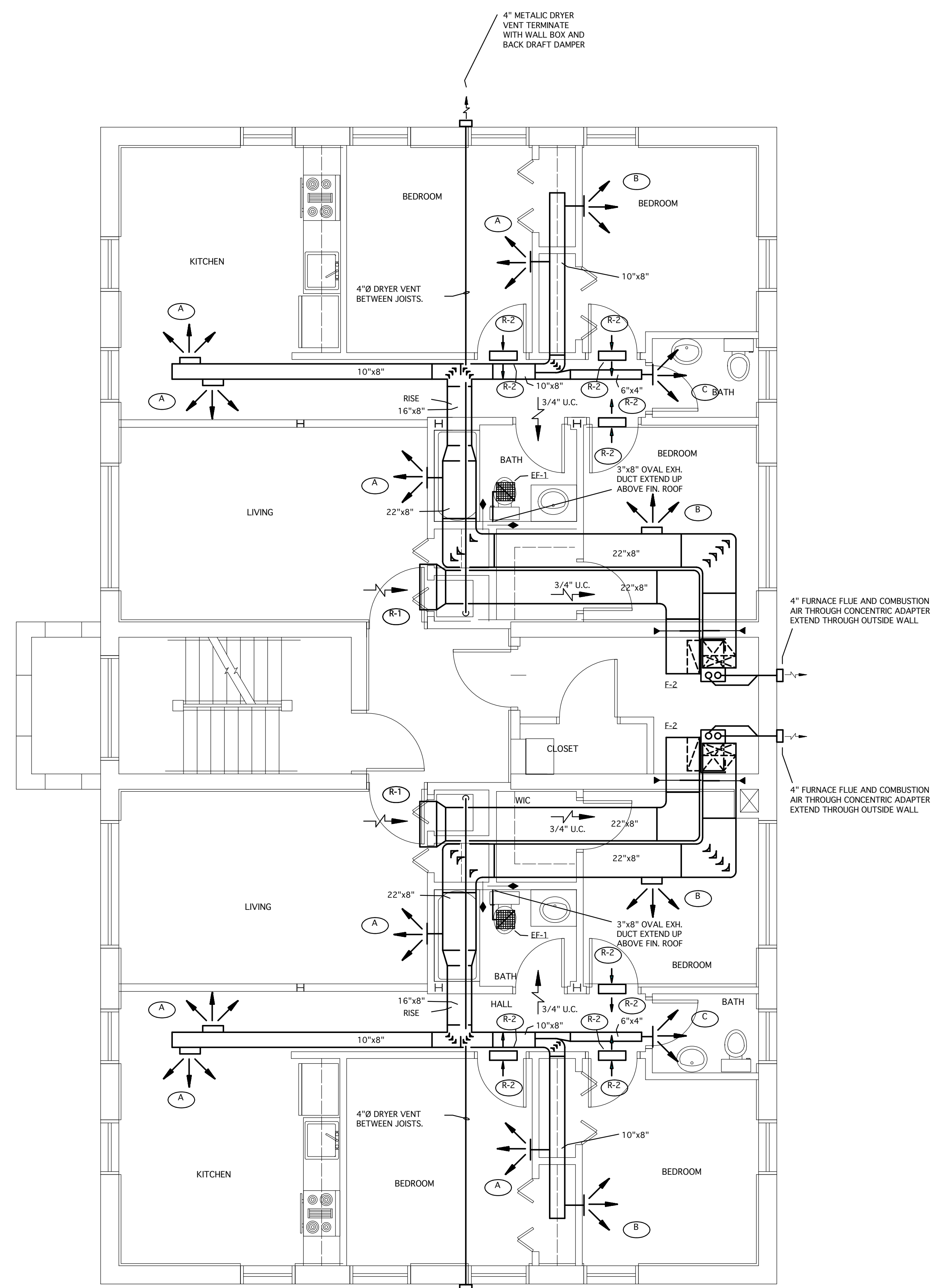
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PROJECT # SHEET #
M-2



BASEMENT FLOOR PLAN - HVAC
SCALE: 1/4" = 1'-0"

- NOTES:**
- TYPE "A" SUPPLY AIR REGISTER 150 CFM EACH, 14"x6" WITH ADJUSTABLE HORIZONTAL BAR AND VOLUME DAMPER.
 - TYPE "B" SUPPLY AIR REGISTER 100 CFM EACH, 14"x6" WITH ADJUSTABLE HORIZONTAL BAR AND VOLUME DAMPER.
 - TYPE "C" SUPPLY AIR REGISTER 50 CFM EACH, 14"x6" WITH ADJUSTABLE HORIZONTAL BAR AND VOLUME DAMPER.
 - TYPE EF-1 CEILING EXHAUST FAN 75 CFM, 25" STATIC PRESSURE WITH BACK DRAFT DAMPER. EXTEND 3"x8" OVAL EXHAUST DUCT TO ABOVE FINISHED ROOF TERMINATE WITH GOOSENECK AND BIRD SCREEN.
 - TYPE "R-1" RETURN AIR GRILLE 30"x8" NEAR CEILING.
 - TYPE "R-2" TRANSFER GRILLE 18"x8" BOTH SIDES OF THE WALL. INSTALL ABOVE DOOR FRAME.



FIRST FLOOR PLAN - HVAC
SCALE: 1/4" = 1'-0"

CONDENSING UNITS (C-1 THRU C-8)

24 MBH COOLING CAPACITY INSTALL ON 4" HIGH PAD
INSTALL ALL REFRIGERANT PIPES INCLUDING VALVES,
SOLENOID VALVES, EXPANSION VALVE, SIGHTGLASS
ETC AND CONNECT TO THE DX COIL IN CORRESPONDING
FURNACE LENNOX OR APPROVED EQUAL.

FURNACE (F-1, F-2)

HIGH EFFICIENCY FURNACE 50 MBH INPUT, 46 MBH OUTPUT.
1/2 HP MOTOR. INSTALL DX COOLING COIL IN DISCHARGE
AIR PLENUM 30 MBH CAPACITY.
FURNISH FURNACE WITH PROGRAMMABLE THERMOSTAT.
LENNOX MODEL G26Q2-50 OR APPROVED EQUAL.

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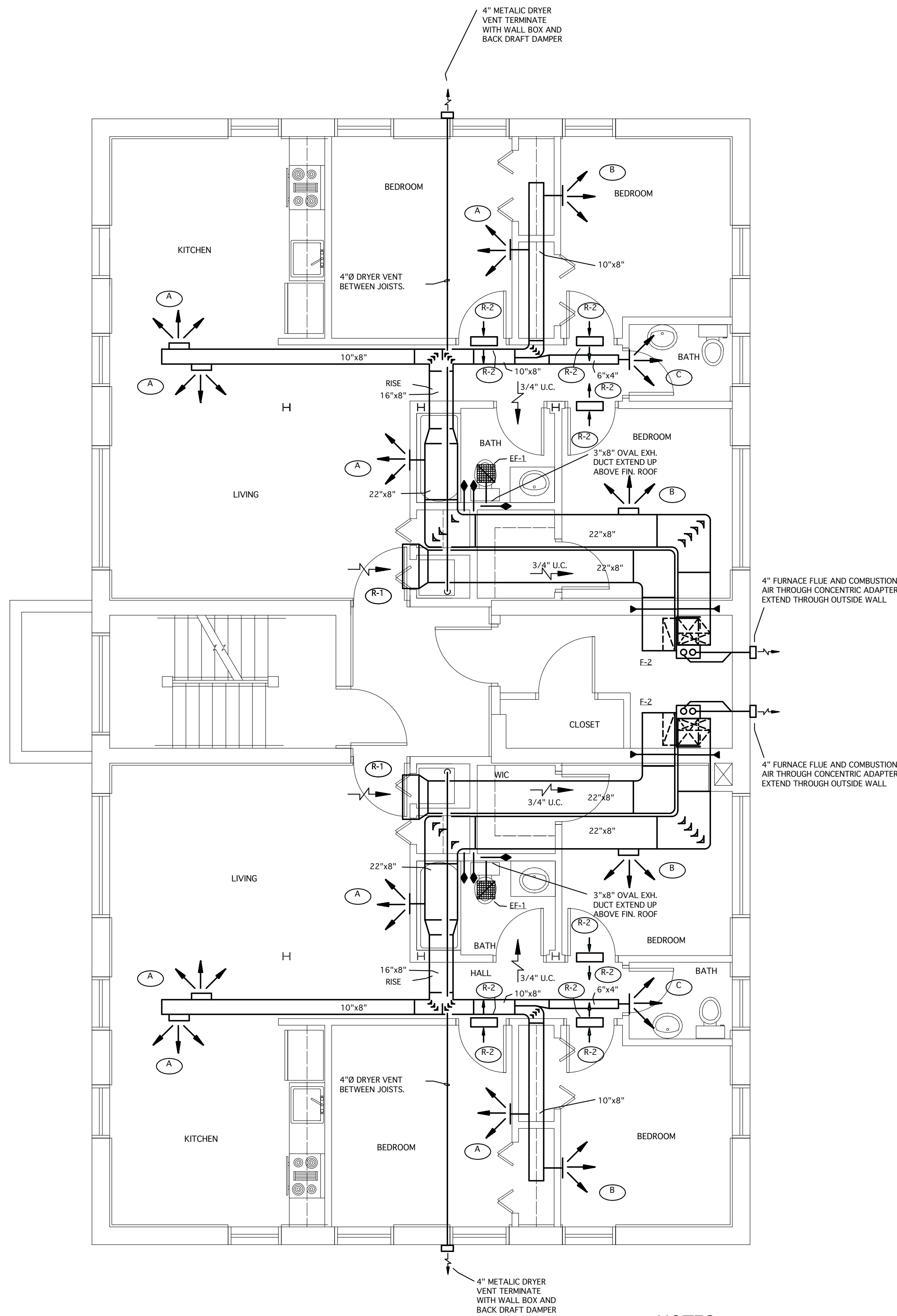
PROJECT TITLE:
MARBOROUGH APARTMENTS
DETROIT, MICHIGAN

SHEET TITLE
BASEMENT AND FIRST FLOOR PLAN - HVAC

DRAWN BY:
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SCALE:
DATE:

PROJECT # SHEET #
M-3

ELECTRIC FORCE FLOW HEATER 5 kw. SEE ELEC. DRAWINGS

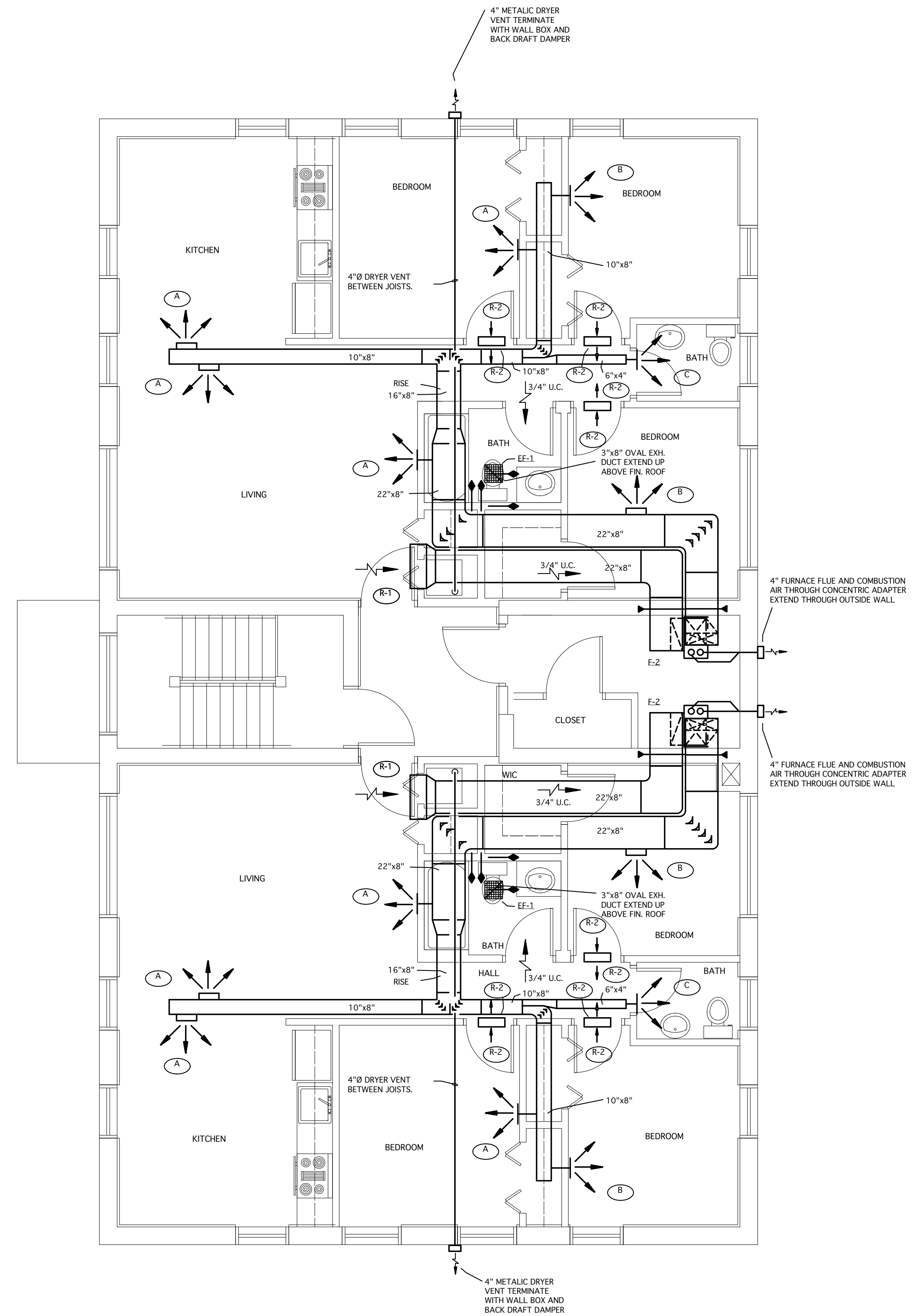


SECOND FLOOR PLAN - HVAC

SCALE: 1/4" = 1'-0"

NOTES:

1. TYPE "A" SUPPLY AIR REGISTER 150 CFM EACH, 14"x6" WITH ADJUSTABLE HORIZONTAL BAR AND VOLUME DAMPER.
2. TYPE "B" SUPPLY AIR REGISTER 100 CFM EACH, 14"x6" WITH ADJUSTABLE HORIZONTAL BAR AND VOLUME DAMPER.
3. TYPE "C" SUPPLY AIR REGISTER 50 CFM EACH, 14"x6" WITH ADJUSTABLE HORIZONTAL BAR AND VOLUME DAMPER.
4. TYPE EF-1 CEILING EXHAUST FAN 75 CFM, 25" STATIC PRESSURE WITH BACK DRAFT DAMPER. EXTEND 3"x8" OVAL EXHAUST DUCT TO ABOVE FINISHED ROOF TERMINATE WITH GOOSENECK SCREEN AND BIRD SCREEN.
5. TYPE "R-1" RETURN AIR GRILLE 30"x8" NEAR CEILING.
6. TYPE "R-2" TRANSFER GRILLE 18"x8" BOTH SIDES OF THE WALL. INSTALL ABOVE DOOR FRAME.



THIRD FLOOR PLAN - HVAC

SCALE: 1/4" = 1'-0"

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PROJECT TITLE:
MARBOROUGH APARTMENTS
 -
DETROIT, MICHIGAN

SHEET TITLE
SECOND AND THIRD FLOOR PLAN - HVAC

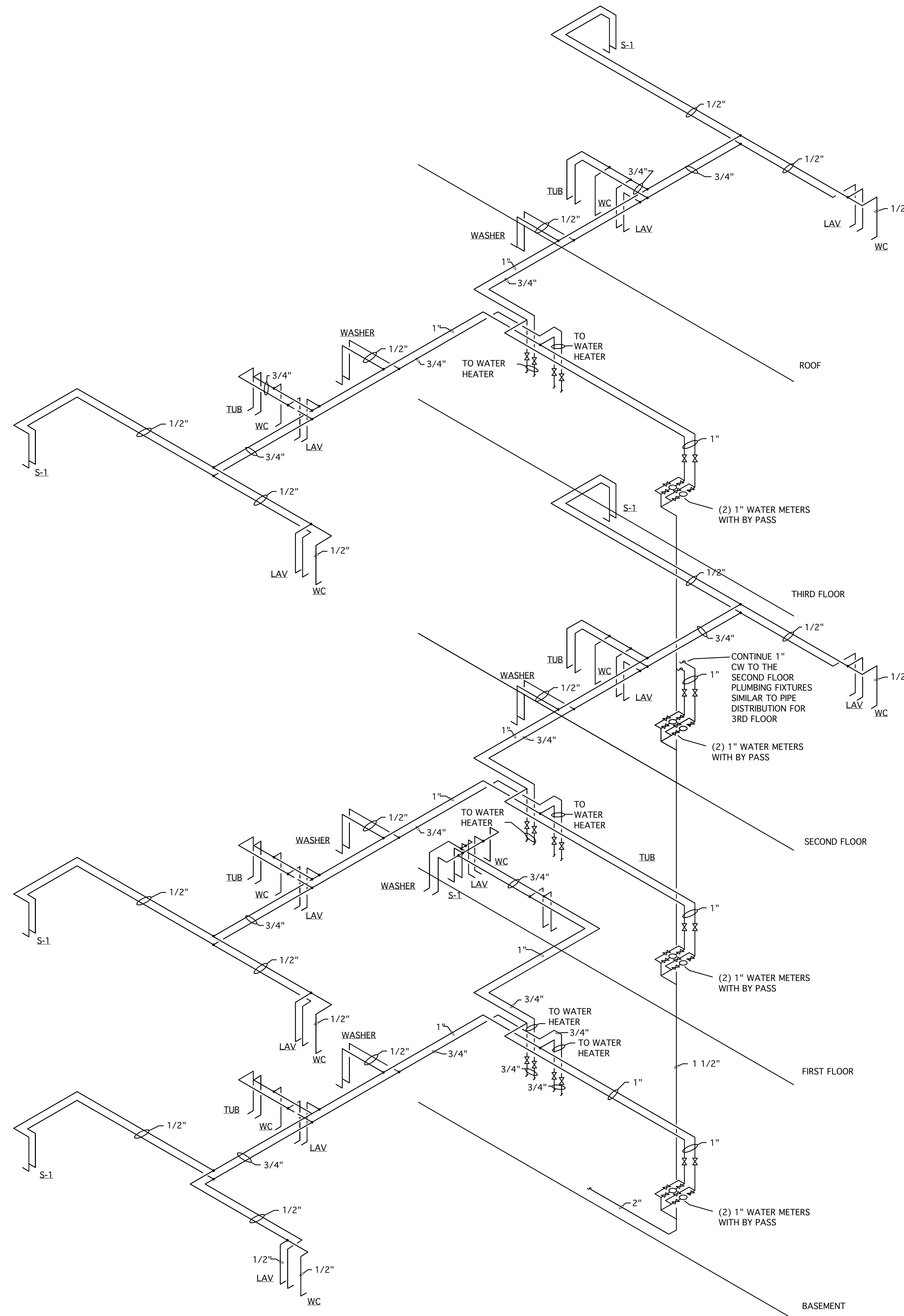
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M-4

PLUMBING FIXTURES PIPE SIZES				
PLAN CODE	COLD WATER	HOT WATER	VENT	WASTE
WC	1/2"	-	2"	4"
LAV	1/2"	1/2"	1 1/2"	1 1/2"
KITCH. SINK	1/2"	1/2"	1 1/2"	1 1/2"
WASHER	1/2"	1/2"	1 1/2"	2"
TUB	1/2"	1/2"	1 1/2"	2"

NOTE:

INSTALL 3/4" HP. GARBAGE DISPOSER UNDER ALL KITCHEN SINKS.



WATER RISERS
NOT TO SCALE

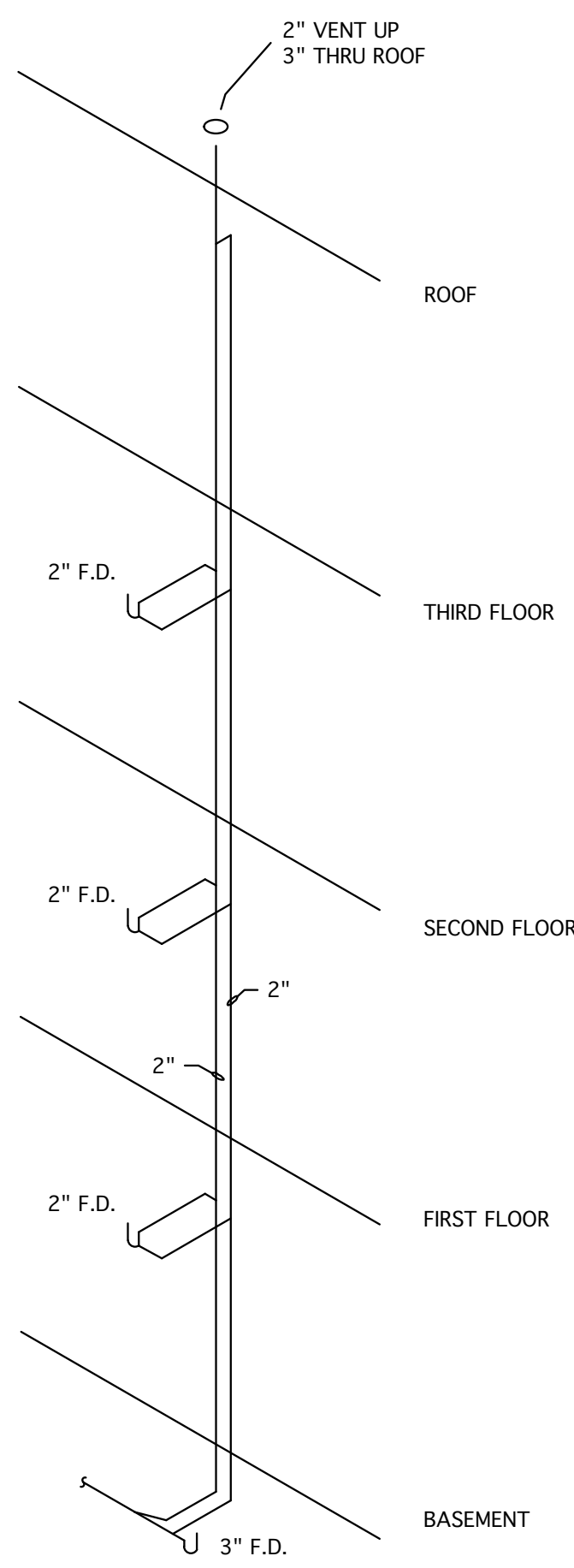
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PROJECT TITLE:
MARLBOROUGH APARTMENTS
 -
DETROIT, MICHIGAN

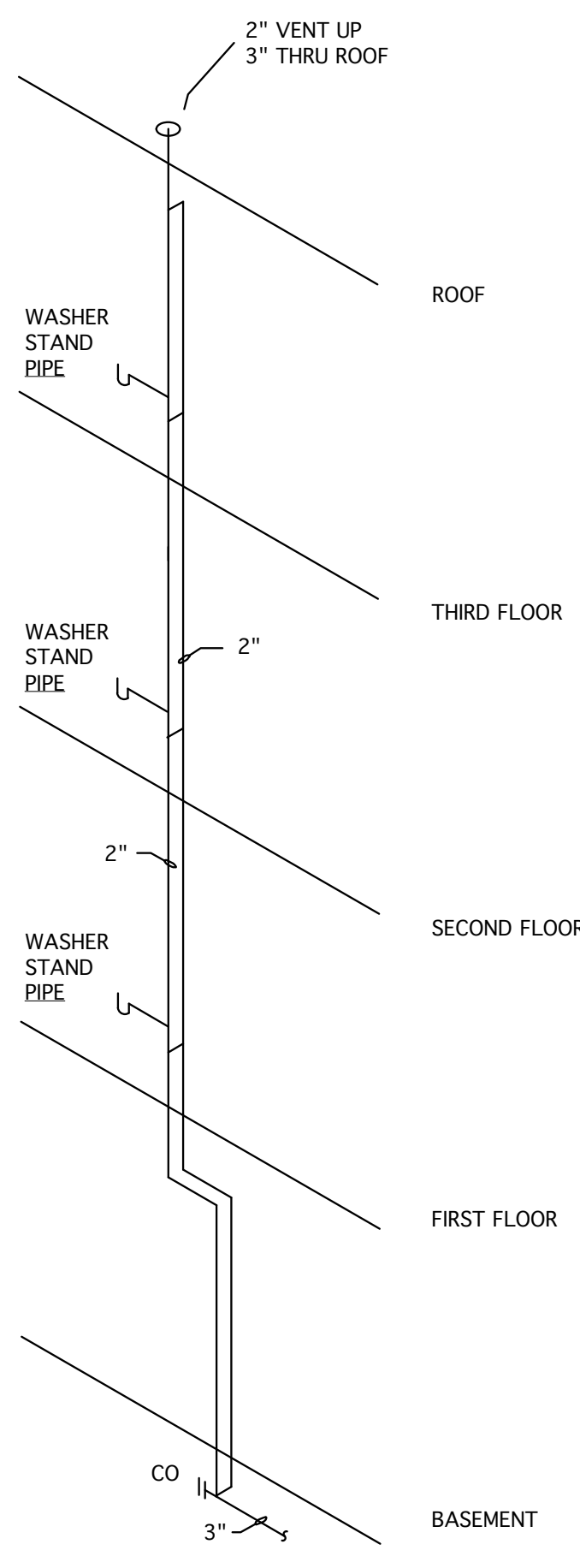
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WATER RISERS

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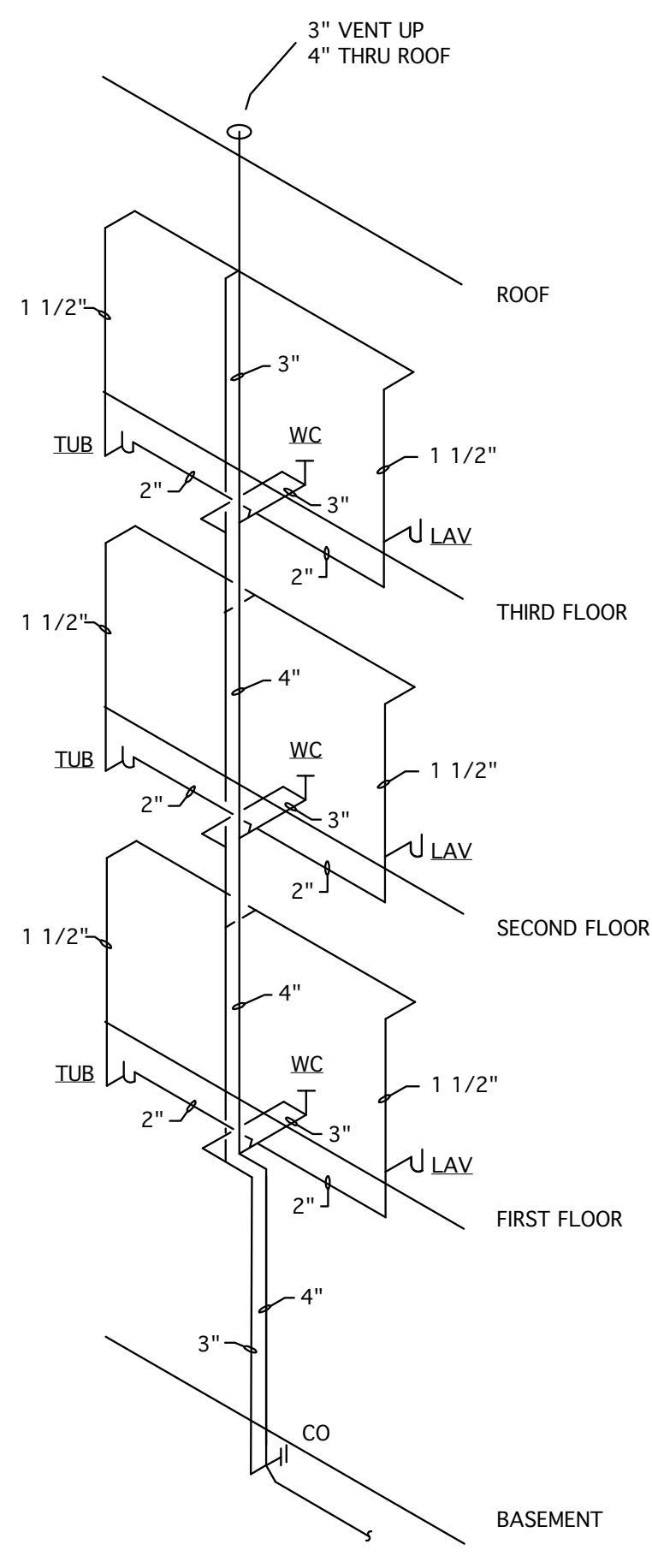
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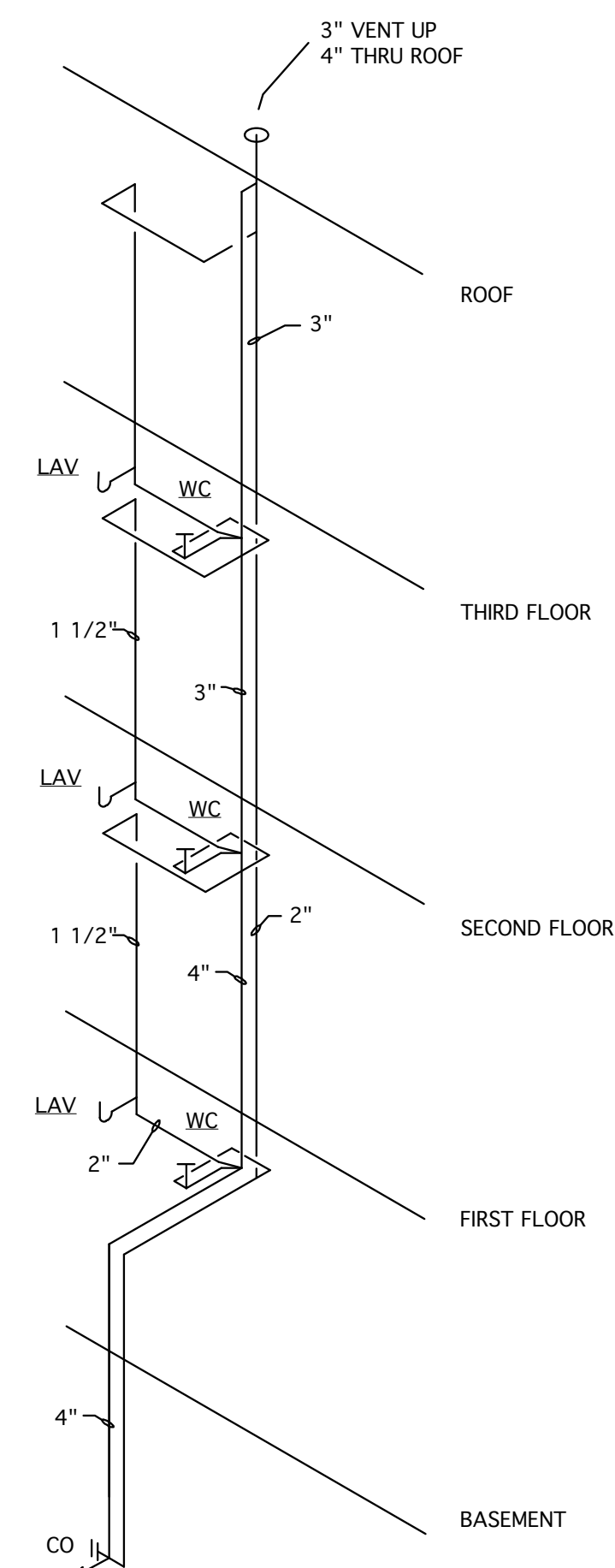
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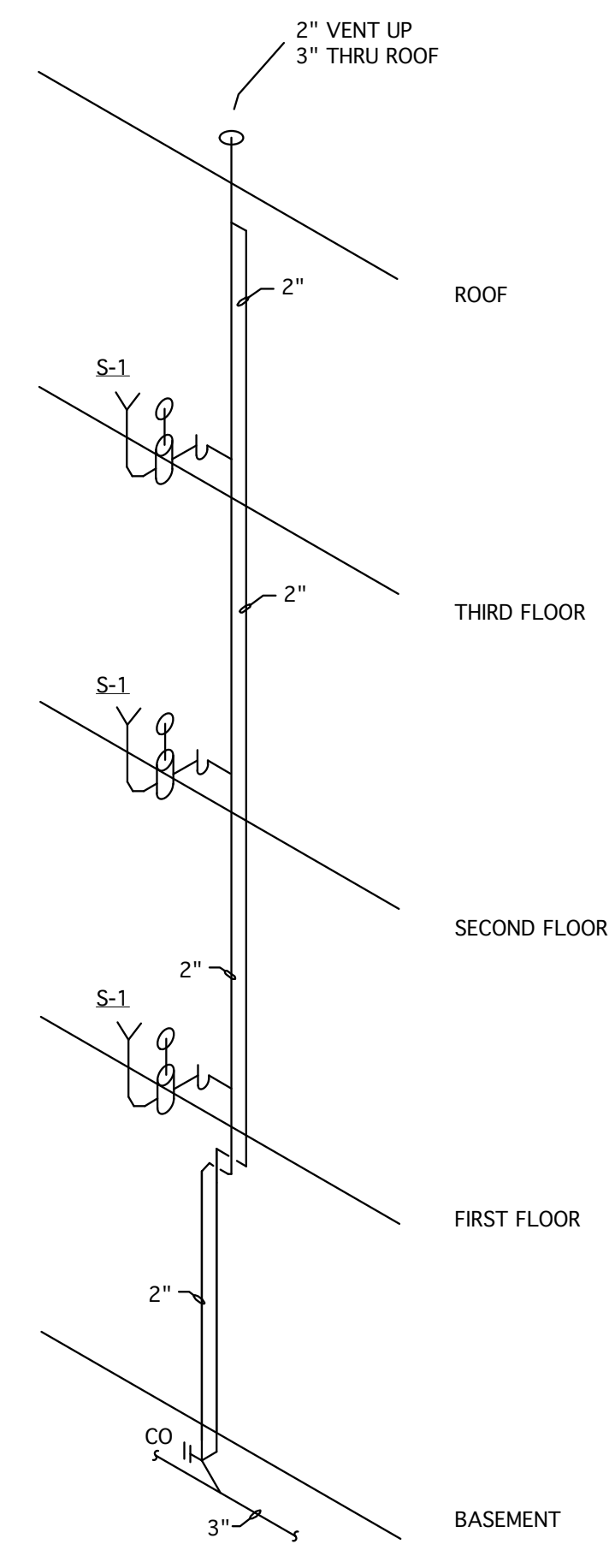
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S-3
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S-2
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S-1
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SANITARY RISERS
NOT TO SCALE

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PROJECT TITLE:
**MARBOROUGH APARTMENTS
-
DETROIT, MICHIGAN**

SHEET TITLE
**SANITARY
RISERS**

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APPROVED BY: _____
SCALE: -
DATE: _____

PROJECT # _____ SHEET #
M-6

MECHANICAL SPECIFICATION

GENERAL NOTES

1. THE ACCOMPANYING DRAWINGS SHOW THE ARRANGEMENT, GENERAL DESIGN AND EXTENT OF THE WORK AND ARE MORE OR LESS DIAGRAMMATICAL WITH EQUIPMENT IN ITS GENERAL LOCATION, EXCEPT THAT IN CERTAIN CASES, THE DRAWINGS MAY INCLUDE DETAILS GIVING EXACT LOCATIONS AND ARRANGEMENTS.
2. THE DRAWINGS ARE NOT INTENDED TO BE SCALED FOR ROUGHING IN NOR TO SERVE AS SHOP DRAWINGS. IF DRAWINGS ARE REQUIRED FOR THIS PURPOSE OR HAVE TO BE MADE FROM FIELD MEASUREMENTS, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PREPARE SUCH DRAWINGS.
3. THE PLANS AND SPECIFICATIONS ARE INTENDED TO INCLUDE ALL WORK AND MATERIALS FOR ENTIRE COMPLETION OF THE WORK. ANY ITEM OF MATERIAL, LABOR OR DETAIL REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK AND OMITTED FROM EITHER THE PLANS AND SPECIFICATIONS OR BOTH, BUT OBVIOUSLY UNDERSTOOD, SHALL BE FURNISHED AS PART OF THE CONTRACT WITHOUT ADDITIONAL COST.
4. UPON COMPLETION OF THE CONTRACT, THE OWNER SHALL RECEIVE THROUGH THE ARCHITECT, A COMPLETE SET OF MANUFACTURER'S OPERATING AND MAINTENANCE INSTRUCTIONS AND PARTS LISTS WITH NUMBERS AND DESCRIPTIONS FOR EACH PIECE OF EQUIPMENT. AT THE COMPLETION OF THE JOB, THE CONTRACTOR SHALL PREPARE A PRINTED SET OF OPERATING INSTRUCTIONS FOR ALL MECHANICAL SYSTEMS AND EQUIPMENT FOR USE BY THE OWNER'S MAINTENANCE PERSONNEL. THE CONTRACTOR SHALL ALSO PROVIDE THE OWNER'S PERSONNEL WITH INSTRUCTIONS IN THE OPERATIONAL USE OF ALL SYSTEMS AND EQUIPMENT.
5. THE CONTRACTOR SHALL PREPARE FABRICATION DRAWINGS AS NECESSARY TO ASSURE THAT ALL OF HIS WORK WILL FIT WITHIN THE ALLOTTED SPACE. THE FABRICATION DRAWINGS SHALL SHOW ALL HVAC AND PLUMBING EQUIPMENT, SPECIALTIES AND DEVICES AND ALL RELATED SHEET METAL DUCTWORK, PLUMBING PIPING, GAS PIPING, FIRE PROTECTION PIPING OR OTHER MECHANICAL ITEMS WHICH ARE TO BE INSTALLED WITHIN THE CEILING SPACE.
6. SHOP DRAWINGS, PORTFOLIOS AND/OR CATALOGUES ON ALL ITEMS OF MECHANICAL EQUIPMENT SPECIFIED HEREIN SHALL BE SUBMITTED TO THE ENGINEER FOR WRITTEN APPROVAL BY THE ENGINEER. NO EQUIPMENT SHALL BE DELIVERED TO THE JOB SITE UNTIL SAID APPROVAL IS ISSUED.
7. AT THE END OF THE JOB, CONTRACTOR SHALL SUBMIT TO THE ENGINEER FOR THE OWNER, PARTS AND MATERIALS MANUALS ON ALL ITEMS OF MECHANICAL EQUIPMENT.
8. THE CONTRACTOR SHALL SUBMIT A MINIMUM OF SEVEN (7) COPIES OF SHOP DRAWINGS COVERING EACH ITEM OF MECHANICAL EQUIPMENT.
9. THE MECHANICAL WORK INTENDED UNDER THESE SPECIFICATIONS, AND AS INDICATED ON THE DRAWINGS SHALL CONSIST OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES TOGETHER WITH SUPERVISION AND TOOLS NECESSARY FOR INSTALLATION OF HEATING, AIR CONDITIONING, PLUMBING, AND FIRE PROTECTION SYSTEMS.
10. ALL WORK SHALL BE IN STRICT CONFORMITY WITH BOCA, OSHA, MIOSHA, AND ALL LOCAL AND STATE RULES, AND REGULATIONS, AND CODES APPLICABLE TO THE TRADE AFFECTED.
11. THE CONTRACTOR SHALL MAKE APPLICATION FOR ALL PERMITS, AND LICENSES NECESSARY FOR THE PROSECUTION OF HIS WORK, AND SHALL PAY ALL FEES, AND COMPLY WITH ALL LAWS, ORDINANCES, RULES AND REGULATIONS GOVERNING THE INSTALLATION OF HIS WORK.
12. THIS CONTRACTOR SHALL PROVIDE ALL LABOR FOR THE COMPLETE ERECTION OF THE INSTALLATION, ALL LABOR TO BE PERFORMED BY COMPETENT WORKMEN SKILLED IN THEIR PARTICULAR BRANCHES OF THE TRADE.
13. THIS CONTRACTOR SHALL REMOVE ALL RUBBISH, AND DIRT RESULTING FROM HIS WORK, FROM THE BUILDING, AND PREMISES. SUCH RUBBISH, AND DIRT SHALL BE REMOVED NOT ONLY ON COMPLETION OF THE WORK, BUT ALSO AT SUCH OTHER TIMES AS THE RUBBISH MAY ACCUMULATE TO THE EXTENT OF INTERFERING WITH THE CONSTRUCTION WORK.
14. THE CONTRACTOR, ON HIS OWN BEHALF, SHALL ISSUE A WRITTEN GUARANTEE COVERING THE WORK UNDER THIS CONTRACT AND INCLUDE THE GUARANTEES OF HIS SUB-CONTRACTORS, ALL OF WHICH HE SHALL BE HELD RESPONSIBLE FOR.
15. ALL GUARANTEES SHALL BE FOR THE OWNER'S PROTECTION AGAINST DEFECTIVE WORKMANSHIP, AND/OR MECHANICAL DEFECTS IN EQUIPMENT AND MATERIALS.
16. GUARANTEE SHALL BE EFFECTIVE FOR A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL CERTIFICATE.
17. SHOULD ANY DEFECTS APPEAR DURING THE PERIOD OF THE GUARANTEE, THE CONTRACTOR SHALL MAKE GOOD ANY SUCH DEFECTS, REPLACING ALL MATERIALS EFFECTED THEREBY, AND MAKE GOOD ANY DAMAGE TO WORK AND MATERIALS INSTALLED BY HIM UNDER HIS CONTRACT.
18. AT THE COMPLETION OF HIS WORK, THE MECHANICAL CONTRACTOR SHALL REMOVE ALL REFUSE, AND DIRT, MAKE ANY, AND ALL ADJUSTMENTS REQUIRED, AND LEAVE HIS WORK IN CLEAN AND PROPER WORKING ORDER.
19. UPON THE COMPLETION OF THE PLUMBING WORK, COMPLETE TESTS SHALL BE MADE TO THE SATISFACTION OF THE ENGINEER. ALL PIPING SHALL BE TESTED AS PRESCRIBED IN THE RULES, AND REGULATIONS OF THE CITY OF DETROIT AND WAYNE COUNTY BOARD OF HEALTH.

EXISTING BUILDING NOTES

1. BEFORE SUBMITTING PROPOSALS FOR THE WORK, EACH BIDDER SHALL BE HELD TO HAVE EXAMINED THE PREMISES, AND SATISFIED HIMSELF AS TO THE EXISTING CONDITIONS UNDER WHICH HE WILL BE OBLIGED TO WORK IN PERFORMING HIS PART OF THE WORK. NO EXTRAS WILL BE ALLOWED THE CONTRACTOR ON ACCOUNT OF HIS FAILURE TO MAKE THE ABOVE MENTIONED EXAMINATION OR NEGLECT TO INCLUDE ALL MATERIALS, AND LABOR REQUIRED TO COMPLETE THE WORK.
2. ALL CHASES, RECESSES, AND CORING OF CONCRETE BLOCK WALLS REQUIRED FOR INSTALLATION OF NEW PIPES SHALL BE BY THE CONTRACTOR.
3. ALL CUTTING, AND PATCHING OF EXISTING WALLS, FLOORS, CEILING, ETC., REQUIRED FOR INSTALLATION OF THE NEW WORK WITHIN THE EXISTING BUILDING SHALL BE DONE BY THIS CONTRACTOR. ALL WORK SHALL BE DONE IN A NEAT MANNER SO AS TO RESTORE ALL DAMAGED SURFACES, USING MATERIALS MATCHING EXISTING.

NEW WORK NOTES

1. ALL EXCAVATION, BACKFILLING, PIPE SLEEVES, ETC., SHALL BE BY THE CONTRACTOR.
2. ALL PATCHING, AND FLASHING OF THE ROOF AREAS FOR EXHAUST AIR OPENING, AND EQUIPMENT ROOF CURBS BY THE CONTRACTOR.
3. PROVIDE SEPIA "AS-BUILT" DRAWINGS AT COMPLETION SHOWING ALL DUCT SIZES, LOCATIONS, DAMPERS, ETC., INSTALLED OR MODIFIED UNDER THIS CONTRACT.

PIPE AND PIPE FITTINGS

1. ALL DOMESTIC COLD WATER, HOT WATER, HOT WATER RECIRCULATING ABOVE GROUND OR EXPOSED SHALL BE TYPE "L" HARD SEAMLESS COPPER TUBING. PIPES BELOW GROUND SHALL BE TYPE "K" COPPER TUBING WITH WROUGHT COPPER FITTINGS, AND SILVER SOLDERED JOINTS.
2. GAS PIPING 3", AND UNDER SHALL BE SCHEDULE 40, ASTM-A120 SCREWED FITTINGS BLACK STEEL.
3. FIRE PROTECTION PIPE SHALL CONFORM WITH NFPA-13 REQUIREMENTS.
4. SANITARY, AND STORM UNDERGROUND SHALL BE SERVICE WEIGHT CAST IRON SOIL PIPE, AND FITTINGS.
5. STORM, SANITARY WASTE AND VENT PIPING ABOVE GROUND SHALL BE SCHEDULE 40, ASTM-D-2447-74, FIRE RETARDANT POLYPROPYLENE CONFORMING TO ASTM-D-635, AND ASTM-D-2843. SANITARY WASTE PIPING CONNECTIONS SHALL BE SCHEDULE 40 P.V.C.
6. INSTALL CLEANOUTS NOT MORE THAN FIFTY FEET APART ON HORIZONTAL WASTE, AND STORM PIPING.
7. HORIZONTAL PIPES SHALL BE SUPPORTED AS LISTED BELOW:

PIPE SIZE	ROD DIAMETER	SPACING
UP TO 1-1/4"	3/8"	8 FT.
1-1/2" AND 2"	3/8"	10 FT.

SHUT OFF VALVES

1. SHUT-OFF VALVES FOR DOMESTIC WATER UP TO, AND INCLUDING 1-1/4" SHALL BE SOLDERED ALL BRASS, 200 POUNDS PRESSURE.
2. SHUT-OFF VALVES SHALL BE LUNKENHEIMER OR NIBCO.

NATURAL GAS VALVES

1. GAS STOP COCKS SHALL BE LEVER HANDLE, CRANE NO. 298.
2. BRANCH LINE VALVES SHALL BE 200 POUNDS SCREWED TYPE FOR SIZES INCLUDING 2".
3. GAS VALVES SHALL BE ACF OR WALWORTH.

INSULATION

1. PROVIDE PIPE INSULATION FOR ALL DOMESTIC HOT WATER, AND DOMESTIC HOT WATER RECIRCULATED PIPES. INSULATION THICKNESS SHALL BE 1" FOR PIPES 1/2" TO 2".
2. INSULATE ALL DOMESTIC COLD WATER PIPES WITH 1" THICK INSULATION.

PLUMBING NOTES

PLUMBING FIXTURES:

ALL PLUMBING FIXTURES INCLUDING WC, LAV, TUB, SHOWER, KITCHEN SINK TO BE SELECTED BY THE OWNER.

AIR DISTRIBUTION

1. GRILLES, REGISTER, DIFFUSERS
 - A. AIR OUTLETS SHALL BE OF SIZE, AND CAPACITIES AS SHOWN ON DRAWINGS AS MANUFACTURED BY TITUS OR KRUEGER.
2. DUCTWORK
 - A. ALL DUCTWORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SMACNA STANDARDS WITH SIZES AS SHOWN ON DRAWINGS.
3. FURNISH, AND INSTALL FUSIBLE LINK FIRE DAMPERS AS REQUIRED WHENEVER A SUPPLY, RETURN, OR EXHAUST AIR DUCTWORK PASSES THROUGH RATED WALLS OR FLOORS.
4. ACCESS DOORS
 - A. INSTALL ACCESS DOORS IN CEILINGS FOR ACCESS TO SHUT-OFF VALVES, AND CONTROLS.
5. INSTALL VOLUME DAMPERS IN ALL SUPPLY AIR DUCTWORK BRANCHES LEADING TO SUPPLY AIR DIFFUSERS.

FIRE PROTECTION

1. THE MECHANICAL WORK INTENDED UNDER THIS SPECIFICATION, AND AS SHOWN OR INDICATED ON THE DRAWINGS HERETOFORE MENTIONED, SHALL CONSIST OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, SPECIALTIES, AND SERVICES, TOGETHER WITH SUPERVISION, TOOLS, SCAFFOLDING, TRANSPORTATION, AND TEMPORARY CONSTRUCTION NECESSARY FOR THE COMPLETE INSTALLATION OF THE FOLLOWING FIRE PROTECTION WORK AS SPECIFIED, ALL COMPLETE, AND TESTED, AND TURNED OVER TO THE OWNER IN PROPER, AND SATISFACTORY OPERATING CONDITION, BRIEFLY DESCRIBED AS FOLLOWS.
2. FURNISH MATERIALS, LABOR, EQUIPMENT, WORKING PLANS, ETC., TO INSTALL AUTOMATIC SPRINKLER SYSTEM FOR BASEMENT, FIRST FLOOR, SECOND FLOOR AND THIRD FLOOR.
3. ALL WORK SHALL BE INSTALLED FOR THE APPROVAL, AND/OR ACCEPTANCE OF THE FOLLOWING:
 - A. FIRE DEPARTMENT OF CITY OF DETROIT.
4. THE FIRE PROTECTION SYSTEM SHALL BE DESIGNED, AND INSTALLED TO COMPLY WITH THE FOLLOWING STANDARDS, AND/OR CODES OF THE LATEST ISSUE:
 - A. NFPA PAMPHLET 13 - SPRINKLER SYSTEMS
5. PREPARE DETAILED SHOP DRAWINGS AND HYDRAULIC CALCULATIONS, ALL TO BE APPROVED BY THE CITY OF DETROIT FIRE DEPARTMENT PRIOR TO INSTALLATION.

TEMPERATURE CONTROLS

1. INSTALL PROGRAMMABLE WALL MOUNTED THERMOSTAT FOR ALL FURNACES.

SYMBOL LEGEND

- GAS VALVE
- GATE VALVE
- WC WATER CLOSET
- FD FLOOR DRAIN
- LAV LAVATORY
- TUB BATH TUB
- W.D. WASHER DRYER
- WR WATER RISER
- SR SANITARY RISER
- DW DISH WASHER
- EF EXHAUST FAN
- C CONDENSING UNIT
- F FURNACE
- S-1 KITCHEN SINK
- EWH ELECTRIC WATER HEATER
- COLD WATER (CW)
- HOT WATER (HW)
- SANITARY (SAN)
- v — VENT
- HORIZONTAL FIRE DAMPER
- VERTICAL FIRE DAMPER
- VOLUME DAMPER
- SANITARY RISER
- WATER RISER

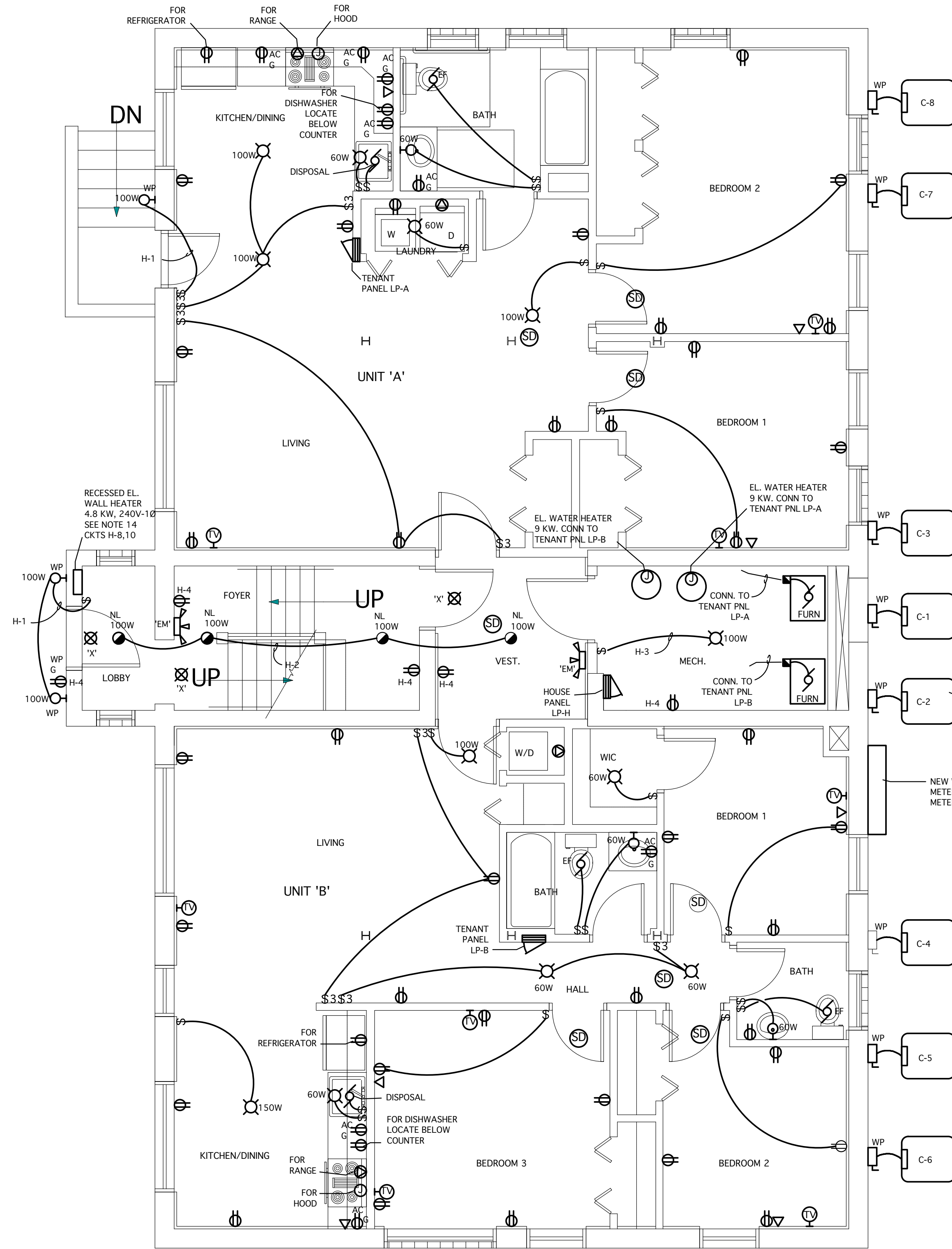
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PROJECT TITLE:
MARBOROUGH APARTMENTS
 -
DETROIT, MICHIGAN

SHEET TITLE
MECHANICAL
SPECIFICATIONS

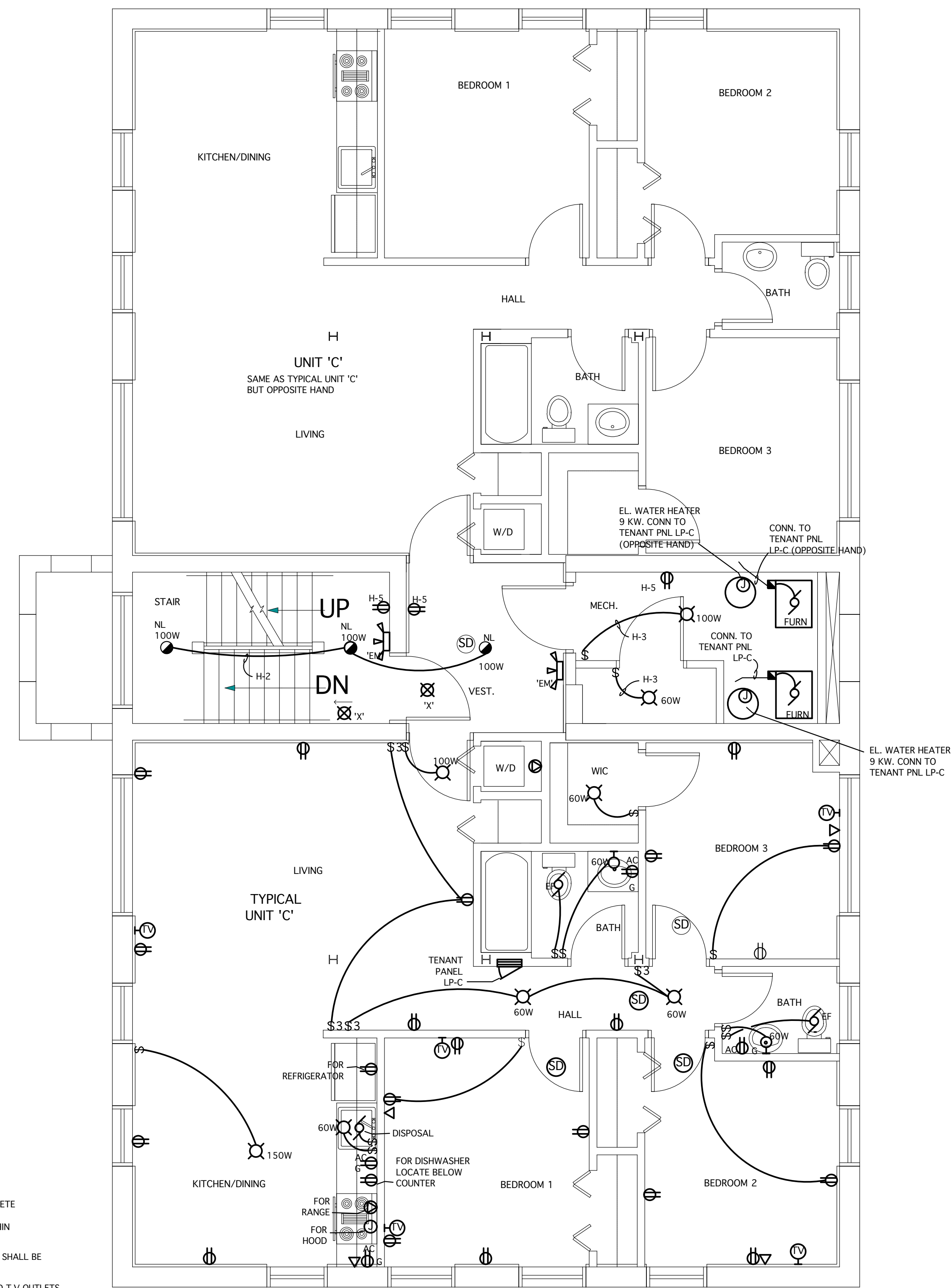
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M-7



BASEMENT FLOOR PLAN - ELECTRICAL

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN - ELECTRICAL

SCALE: 1/4" = 1'-0"

ELECTRICAL NOTES:

- SMOKE DETECTORS TO BE 120V EQUAL TO GENTEX #9120 SERIES COMPLETE WITH BATTERY BACK-UP AND 120V SUPPLY. SMOKE DETECTORS TO BE INTERLOCKED CAUSING ONE DETECTOR TO SET OFF ALL DETECTORS WITHIN THAT UNIT.
- ALL ELECTRICAL OUTLET BOXES LOCATED IN IRR RATED WALL ASSEMBLIES SHALL BE U.L. APPROVED FOR THIS USE
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF TELEPHONE AND T.V. OUTLETS PRIOR TO ROUGH-IN
- INSTALL ELECTRICAL BOXES ON OPPOSITE SIDES OF WALL MIN. 24" APART HORIZONTALLY, WHEREVER POSSIBLE. PROVIDE U.L. LISTED METALLIC BOXES W/U.L. LISTED PUTTY PADS. BOXES SHALL NOT BE INSTALLED BACK TO BACK.
 - NON-METALLIC BOXES, LISTED FOR USE IN STAGGERED STUD CONSTRUCTION SHALL BE MIN. 24" APART, WHEN LOCATED ON OPPOSITE SIDES OF WALL. SEE DETAIL/SECTIONS ON ARCH DRAWINGS.
 - PROVIDE U.L. LISTED NON-METALLIC BOXES. BLOCK OFF STUD SPACE & PROVIDE 5/8" TYPE "X" GYP.BD. ON BACK SIDE, SEAL PERIMETER SEE DETAIL/SECTIONS ON ARCH. DRAWINGS.
- CONTRACTOR SHALL PROVIDE RECEPTACLES INSTALLED PER N.E.C. 210.52
- CLOTHES CLOSET LIGHTS SHALL BE PROVIDED AND LOCATED TO COMPLY WITH N.E.C. 410.8
- PROVIDE PERMANENT SIGNAGE FOR METER UNIT NO'S (PERMANENT FELT TIP MARKER SHALL NOT BE ACCEPTABLE TO OWNER) THIS SIGNAGE IS NOT INCLUDED IN OWNERS SIGNAGE ALLOWANCE.
- PROVIDE STRAPPING OF EXTERIOR CONDUIT AT CONDENSING UNITS TO BE W/NYLON STRAP TIES.
- SEE ARCH. PLANS FOR ELECTRICAL CONTROLS AND OUTLET MOUNTING HEIGHTS.
- PC FIXTURES MUST HAVE GLOBES, NO EXPOSED LAMPS.
- WHERE OUTLETS ARE SHOWN TO BE SWITCHED, SWITCH UPPER OUTLET ONLY
- CONNECT BEDROOM RECEPTACLES TO "ARC FAULT" BREAKERS IF REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- ALL EXIT LIGHTS AND EMERGENCY BATTERY LIGHTS TO BE CONNECTED TO LOCAL LIGHTING CIRCUIT AHEAD OF SWITCHING.
- RECESSED ELECTRIC WALL HEATER 240V, 10, 4800W COMPLETE WITH BUILT-IN THERMOSTAT EQUAL TO QMARK #LFK-484. CONNECT TO 30A-2P BREAKER WITH 2 #10 & 1 #10(G)-3/4".

TYPICAL COND. UNIT
2 TON, 240V-1Ø-3W
CONNECT TO 20A-2P BREAKER
WITH 2 #12 & 1 #12(G)-1/2"

NEW WEATHERPROOF OUTDOOR
METER BANK WITH (8) TENANT
METERS AND HOUSE METER

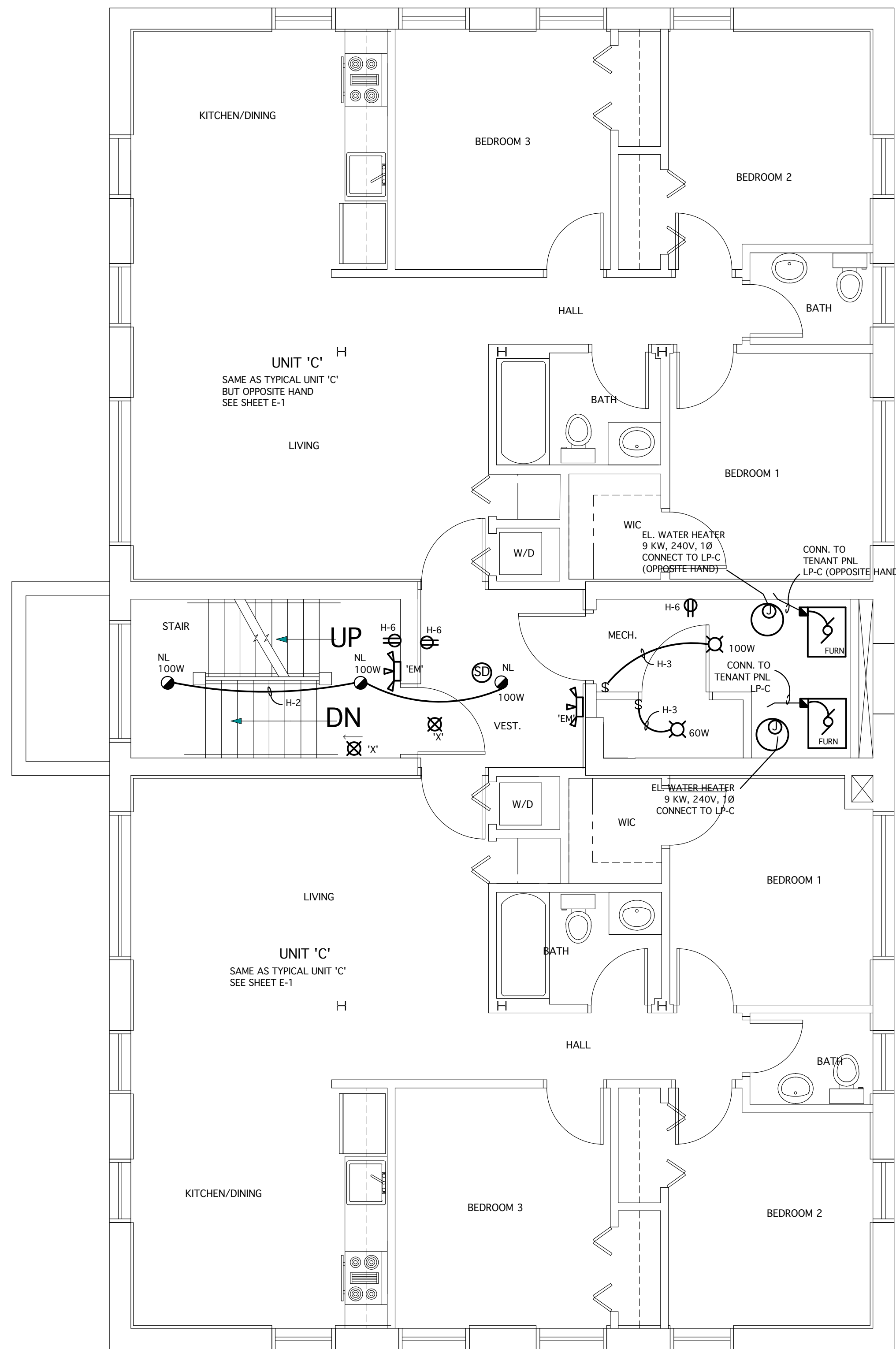
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PROJECT TITLE:
MARBOROUGH APARTMENTS
DETROIT, MICHIGAN

SHEET TITLE
**BASEMENT,
FIRST FLOOR
PLANS -
ELECTRICAL**

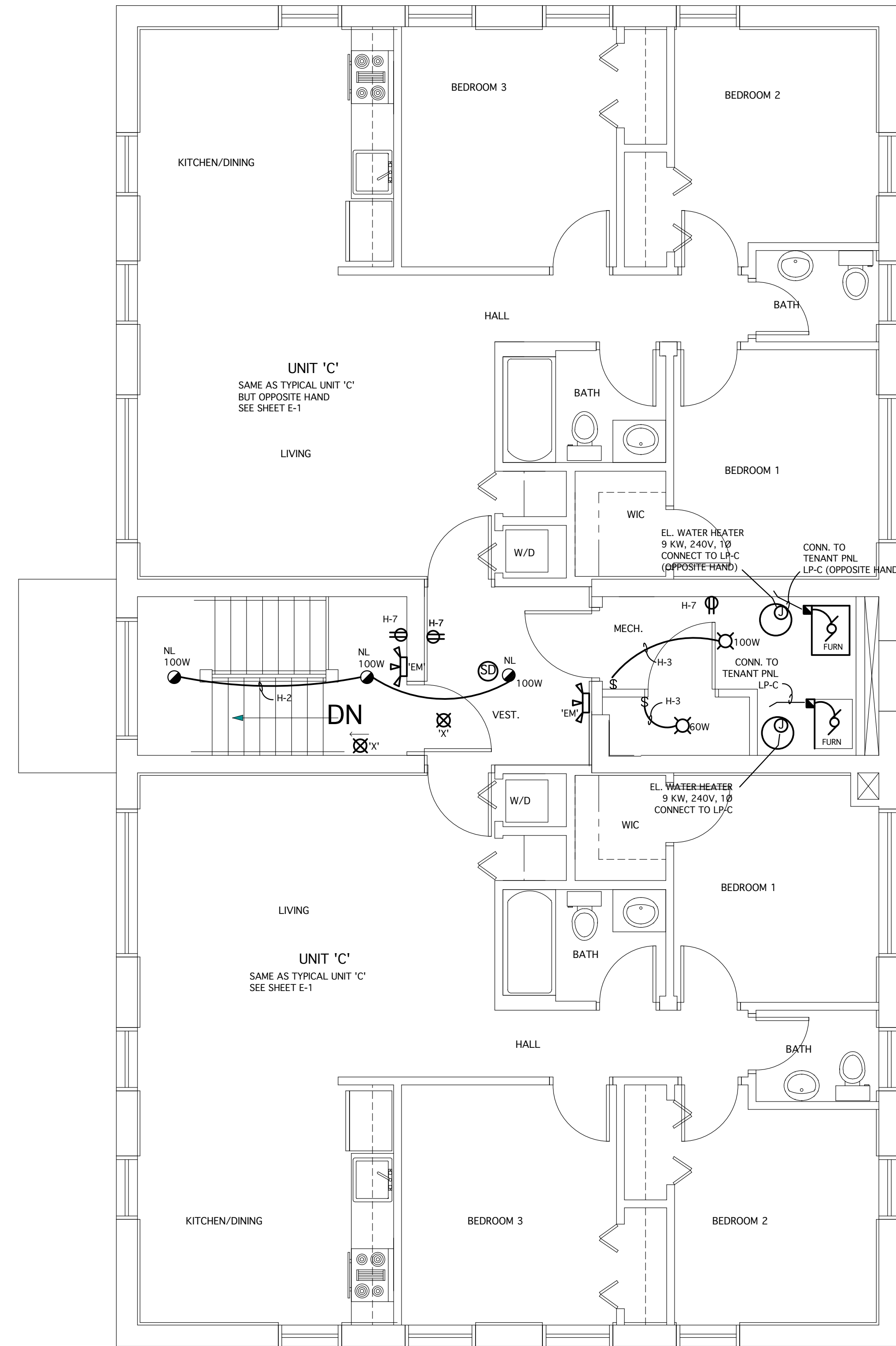
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PROJECT # SHEET #
E-1



SECOND FLOOR PLAN - ELECTRICAL

SCALE: 1/4" = 1'-0"



THIRD FLOOR PLAN - ELECTRICAL

SCALE: 1/4" = 1'-0"

ELECTRICAL NOTES:

1. SMOKE DETECTORS TO BE 120V EQUAL TO GENEX #9120 SERIES COMPLETE WITH BATTERY BACK-UP AND 120V SUPPLY. SMOKE DETECTORS TO BE INTERLOCKED CAUSING ONE DETECTOR TO SET OFF ALL DETECTORS WITHIN THAT UNIT.
2. ALL ELECTRICAL OUTLET BOXES LOCATED IN IRR RATED WALL ASSEMBLIES SHALL BE U.L. APPROVED FOR THIS USE
3. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF TELEPHONE AND T.V OUTLETS PRIOR TO ROUGH-IN
4. INSTALL ELECTRICAL BOXES ON OPPOSITE SIDES OF WALL MIN. 24" APART HORIZONTALLY, WHEREVER POSSIBLE. PROVIDE U.L. LISTED METALLIC BOXES W/U.L LISTED PUTTY PADS. BOXES SHALL NOT BE INSTALLED BACK TO BACK
 - A. NON-METALLIC BOXES, LISTED FOR USE IN STAGGERED STUD CONSTRUCTION SHALL BE MIN. 24" APART, WHEN LOCATED ON OPPOSITE SIDES OF WALL. SEE DETAIL/SECTIONS ON ARCH DRAWINGS.
 - B. PROVIDE U.L. LISTED NON-METALLIC BOXES. BLOCK OFF STUD SPACE & PROVIDE 5/8" TYPE "X" GYP.BD. ON BACK SIDE, SEAL PERIMETER SEE DETAIL/SECTIONS ON ARCH. DRAWINGS.
5. CONTRACTOR SHALL PROVIDE RECEPTACLES INSTALLED PER N.E.C. 210.52
6. CLOTHES CLOSET LIGHTS SHALL BE PROVIDED AND LOCATED TO COMPLY WITH N.E.C. 410.8
7. PROVIDE PERMANENT SIGNAGE FOR METER UNIT NO'S (PERMANENT FELT TIP MARKER SHALL NOT BE ACCEPTABLE TO OWNER) THIS SIGNAGE IS NOT INCLUDED IN OWNERS SIGNAGE ALLOWANCE.
8. PROVIDE STRAPPING OF EXTERIOR CONDUIT AT CONDENSING UNITS TO BE W/NYLON STRAP TIES.
9. SEE ARCH. PLANS FOR ELECTRICAL CONTROLS AND OUTLET MOUNTING HEIGHTS.
10. PC FIXTURES MUST HAVE GLOBES, NO EXPOSED LAMPS.
11. WHERE OUTLETS ARE SHOWN TO BE SWITCHED, SWITCH UPPER OUTLET ONLY
12. CONNECT BEDROOM RECEPTACLES TO "ARC FAULT" BREAKERS IF REQUIRED BY AUTHORITIES HAVING JURISDICTION.
13. ALL EXIT LIGHTS AND EMERGENCY BATTERY LIGHTS TO BE CONNECTED TO LOCAL LIGHTING CIRCUIT AHEAD OF SWITCHING.

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PROJECT TITLE:
MARLBOROUGH APARTMENTS
 -
DETROIT, MICHIGAN

SHEET TITLE
SECOND & THIRD FLOOR PLANS - ELECTRICAL

DRAWN BY:
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PROJECT #
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E-2

ELECTRICAL SPECIFICATIONS

- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND CERTIFICATES OF INSPECTION FOR WORK HEREIN SPECIFIED. THE COST OF SUCH PERMITS AND CERTIFICATES SHALL BE INCLUDED IN HIS BID PROPOSAL.
- THE CONTRACTOR SHALL COMPLY WITH AND ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF ALL FEDERAL, STATE AND LOCAL LAWS, ORDINANCES, REGULATIONS AS WELL AS THE RULES AND STANDARDS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, THE NATIONAL ELECTRIC CODE, THE NEMA, AIEE, OSHA, ADA AND CITY OF DETROIT.
- ALL CONDUIT AND CABLE SHALL BE CONCEALED WHERE POSSIBLE. SHOULD ANY FIELD CONDITIONS PREVENT RUNNING OF CONDUIT, ETC., AS SHOWN ON THE PLANS, THE CONTRACTOR IS REQUIRED TO MAKE ANY MINOR DEVIATIONS THEREFROM AS DETERMINED BY THE ARCHITECT WITHOUT ADDITIONAL COST. CONTRACTOR SHALL BEAR COSTS FOR ALL NECESSARY CUTTING AND PATCHING OF EXISTING WALLS AND FLOORS. SUCH REPAIRS TO BE DONE BY SPECIFIC TRADE INVOLVED.
- THE ELECTRICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF THE GENERAL CONTRACTOR AND WITH OTHER SUB-CONTRACTORS ON THE JOB AND SHALL CHECK WITH ARCHITECT PRIOR TO PLACING OF ANY FLUSH PANELS, DEVICES OR OTHER EQUIPMENT.
- THE ELECTRICAL DRAWING SHOWS THE ARRANGEMENTS, GENERAL DESIGN AND INTENT OF THE WIRING SYSTEM ONLY. THE CIRCUIT RUNS ARE DIAGRAMMATIC; HOWEVER, THE DRAWING MAY INCLUDE DETAILS GIVING SPECIFIC DATA. PULL BOXES OR JUNCTION BOXES, THOUGH NOT SHOWN ON THE PLANS SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR. ELECTRICAL WORK INDICATED ON THE PLANS BUT NOT COVERED BY THIS SPECIFICATIONS OR VICE VERSA, SHALL BE PROVIDED AND INSTALLED BY THIS CONTRACTOR. THE DRAWINGS ARE NOT INTENDED TO BE USED FOR ROUGH-IN DIMENSIONS.
- PROVIDE AND INSTALL AND REMOVE UPON COMPLETION OF PROJECT. A COMPLETE TEMPORARY ELECTRIC SERVICE AND DISTRIBUTION SYSTEM FOR CONSTRUCTION IN FULL ACCORDANCE WITH "GENERAL REQUIREMENTS" AND OSHA AND AS REQUIRED TO MAINTAIN SERVICE DURING OPERATIONAL HOURS AND MECHANICAL SYSTEMS AND ALARM SYSTEMS AFTER HOURS.
- DISCONNECT SWITCHES
 - DISCONNECT SWITCHES SHALL BE UNFUSED AS NOTED ON THE DRAWINGS. QUICK-MAKE, QUICK-BREAK, VISIBLE BLADE TYPE WITH FULL COVER INTERLOCK. SWITCHES RATED 200 AMPERES OR LESS SHALL BE HORSEPOWER RATED. ENCLOSURE SHALL BE NEMA 1 UNLESS OTHERWISE NOTED. MEANS FOR PADLOCKING THE OPERATING HANDLE IN THE "OPEN" OR "CLOSED" POSITION SHALL BE PROVIDED. SWITCHES SHALL BE OF THE VOLTAGE RATINGS AND CURRENT CARRYING CAPACITIES INDICATED ON THE DRAWINGS. SWITCHES SHALL BE AS MANUFACTURED BY WESTINGHOUSE, SQUARE D OR APPROVED EQUAL.
- LIGHTING PANELBOARDS:
 - PANELBOARDS SHALL BE 240/120 VOLTS, SINGLE PHASE, 3 WIRE, SOLID NEUTRAL WITH MAIN LUGS ONLY OR MAIN BREAKER AND CIRCUIT BREAKER BRANCHES OF THE SIZE AND NUMBER AS INDICATED ON THE PLANS.
 - PANELBOARDS SHALL BE DEAD-FRONT TYPE WITH FLUSH OR SURFACE MOUNTED STEEL CABINETS AS SHOWN AND AN INTERIOR ASSEMBLY OF BUS BAR, SUPPORTS AND CIRCUIT BREAKERS. TRIMS SHALL HAVE HINGED DOORS WITH CIRCUIT DIRECTORIES SUITABLE FOR IDENTIFYING THE USE OF PANELBOARD BREAKERS.
 - CIRCUIT BREAKERS SHALL BE MOLDED PLASTIC CAST TYPE AC RATED, QUICK-MAKE, QUICK-BREAK WITH TRIP FREE OPERATING HANDLE, POSITION INDICATOR AND THERMAL MAGNETIC TRIP DEVICE. TWO AND THREE POLE BREAKERS SHALL HAVE A COMMON OPERATING HANDLE AND COMMON TRIP DEVICE. TWO AND THREE POLE BREAKERS SHALL HAVE A COMMON OPERATING HANDLE AND COMMON TRIP MECHANISM. TRIP RATING SHALL BE AS INDICATED ON THE DRAWINGS AND A MINIMUM INTERRUPTING CAPACITY SHALL BE 10,000 AMPERES SYMMETRICAL AT 120 VOLTS.
- FUSES
 - FUSES SHALL BE OF THE DUAL ELEMENT TYPE WITH THERMAL CUTOFF THAT OPENS AT 280 DEGREES F AND WITH COPPER FUSE LINK ELEMENTS FOR SHORT CIRCUIT PROTECTION.
- WIRE AND CABLE (600 VOLT)
 - ALL WIRE AND CABLE SHALL BE 98% CONDUCTIVE COPPER CONDUCTORS, A MINIMUM OF NO. 12 AWG UNLESS OTHERWISE NOTED, ROMEX SHALL BE USED WHEREVER PERMITTED. ALL OTHER WIRING TO BE IN CONDUIT AS FOLLOWS:
 - TYPE TW, THW OR THHN.
 - NO 12 AWG AND SMALL MAY BE SOLID.
 - NO 10 AWG AND LARGER SHALL BE STRANDED.
 - SERVICE ENTRANCE (TYPE SE AND USE) AND NON METALLIC SHEATHED CABLE (NM OR NMC) WITH GROUND WIRE MAY BE USED WHERE PERMITTED BY N.E.Co. AND LOCAL CODE AUTHORITIES.
- CONDUITS
 - CONDUITS 3" AND SMALLER SHALL BE GALVANIZED "THINWALL" TYPE UNLESS OTHERWISE INDICATED ON THE PLANS. CONDUITS LARGER, BELOW OR IN SLAB OR EXPOSED OUTDOORS SHALL BE HOT DIPPED GALVANIZED TYPE OR SHERARDIZED RIGID TYPE. ALL CONDUITS BELOW GRADE AND OUT OF DOORS SHALL BE RIGID PLASTIC PVC WITH GROUND WIRE. "IMC" MAYBE USED WHERE APPROVED BY LOCAL AUTHORITIES.
 - FLEXIBLE METALLIC CONDUIT MAY BE USED WHERE THINWALL CONDUIT IS IMPRACTICAL AND AT MOTOR CONNECTIONS.
 - ALL CONDUITS SHALL BE RUN CONCEALED WHEREVER POSSIBLE. EXPOSED CONDUITS WILL BE PERMITTED IN UNFINISHED AREAS IN MECHANICAL AND ELECTRICAL ROOMS AND UTILITY AREAS.
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE AND PLACE ALL CONDUIT, OUTLETS AND PULL BOXES FOR TELEPHONE SYSTEM EXTENSION PER TELEPHONE COMPANY REQUIREMENTS.
- NAMEPLATES SHALL BE PROVIDED ON ALL MOTOR STARTERS, DISCONNECT SWITCHES, REMOTE SWITCHES, PANELBOARDS AND SIMILAR EQUIPMENT. NAMEPLATES SHALL BE PHENOLIC TYPE WHITE LETTERS ON BLACK BACKGROUND.
- PULL BOXES AND JUNCTION BOXES
 - PROVIDE AND INSTALL PULLBOXES AND JUNCTION BOXES AS INDICATED ON THE PLANS OR AT LOCATIONS REQUIRED FOR THE PROPER PULLING OR NESTING OF WIRES AND CABLES. THEY SHALL HAVE REMOVABLE SCREW-ON COVERS USING BRASS SCREWS TO HOLD COVER IN PLACE.
- WIRING DEVICES
 - DEVICES IN CONCEALED CONDUIT SYSTEMS SHALL BE INSTALLED IN SINGLE OR MULTIPLE GANG BOXES WITH GANG PLATES AS SPECIFIED.
 - RECEPTACLES SHALL HAVE A SEPARATE POLE FOR EQUIPMENT GROUNDING.
 - RECEPTACLES IN GENERAL SHALL BE GROUNDING TYPE, AND SHALL CONFORM TO NEMA PERFORMANCE STANDARDS.
 - DUPLEX AND SINGLE RECEPTACLES SHALL BE GROUNDING TYPE, RATED 15 AMPERES, 125 VOLT, 3-WIRE, COLOR TO BE SELECTED BY ARCHITECT.
 - SPECIAL RECEPTACLES
 - WEATHERPROOF RECEPTACLES SHALL BE FLUSH WITH ALUMINUM COVER AND P & S INTERRUPTER TYPE RECEPTACLE, 1591F/1591WP.

E. TOGGLE SWITCHES

- SWITCHES SHALL BE OF TOTALLY ENCLOSED BAKELITE BASE AND COVER. TERMINALS SHALL BE FOR SIDE OR BACK WIRING.
 - SWITCHES FOR LOCAL CONTROL OF LIGHTING UNITS, OR FOR OTHER SPECIFIED PURPOSES, SHALL BE QUIET TYPE, SPECIFICATION GRADE, WITH PHENOLIC MATERIAL TOGGLE HANDLES RATED 15 OR 20 AMPERES, 120 VOLT.
 - SWITCHES FOR STAIRWELL LIGHTING TO BE LIGHTED HANDLE TYPE.
- LIGHTING FIXTURES
 - THE CONTRACTOR SHALL PROVIDE, INSTALL AND CONNECT ALL LIGHTING FIXTURES, COMPLETE WITH LAMPS.
 - ALL FIXTURES SHALL BEAR THE UNDERWRITER'S LABEL.
 - ALL FIXTURES SHALL BE NEW AND UNDAMAGED.
 - PROVIDE RETAINER CLIPS FOR ALL LAY-IN FIXTURES.
 - ALL FLUORESCENT FIXTURE LENSES MUST BE OF VIRGIN ACRYLIC PLASTIC.
 - ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ORDERING PROPER TYPE FIXTURES FOR THE TYPE OF CEILING BEING USED IN THE VARIOUS AREAS. THE CONTRACTOR SHALL CHECK WITH ARCHITECTURAL DRAWINGS AND ORDER THE PROPER TYPE: I.E., THERMALLY PROTECTED FIXTURES WHERE REQUIRED, FLANGE OR GRID FIXTURES WHERE REQUIRED, ETC.

- SMOKE DETECTORS FOR APARTMENTS TO BE INTERWIRED WITHIN APARTMENT, 120 VOLT EQUAL TO GENTEX #9120 SERIES COMPLETE WITH BATTERY BACK-UP AND 120 VOLT SUPPLY. SMOKE DETECTORS TO BE INTERLOCKED CAUSING ONE DETECTOR TO SET OFF ALL DETECTORS WITHIN THAT UNIT OR HOUSE.
- PROVIDE COMPLETE TELEPHONE SYSTEMS INCLUDING OUTLETS WHERE SHOWN AND TELEPHONE CABLE FROM OUTLETS TO CENTRAL TELEPHONE SYSTEM SERVICE ENTRANCE POINT.
- PROVIDE COMPLETE CABLE TV SYSTEM INCLUDING OUTLETS AND CABLE TO CENTRAL LOCATION, TO INTERFACE WITH LOCAL CABLE COMPANY. VERIFY WITH OWNERS REPRESENTATIVE EXACT METHOD OF INSTALLATION AND TYPE OF JACKS REQUIRED.

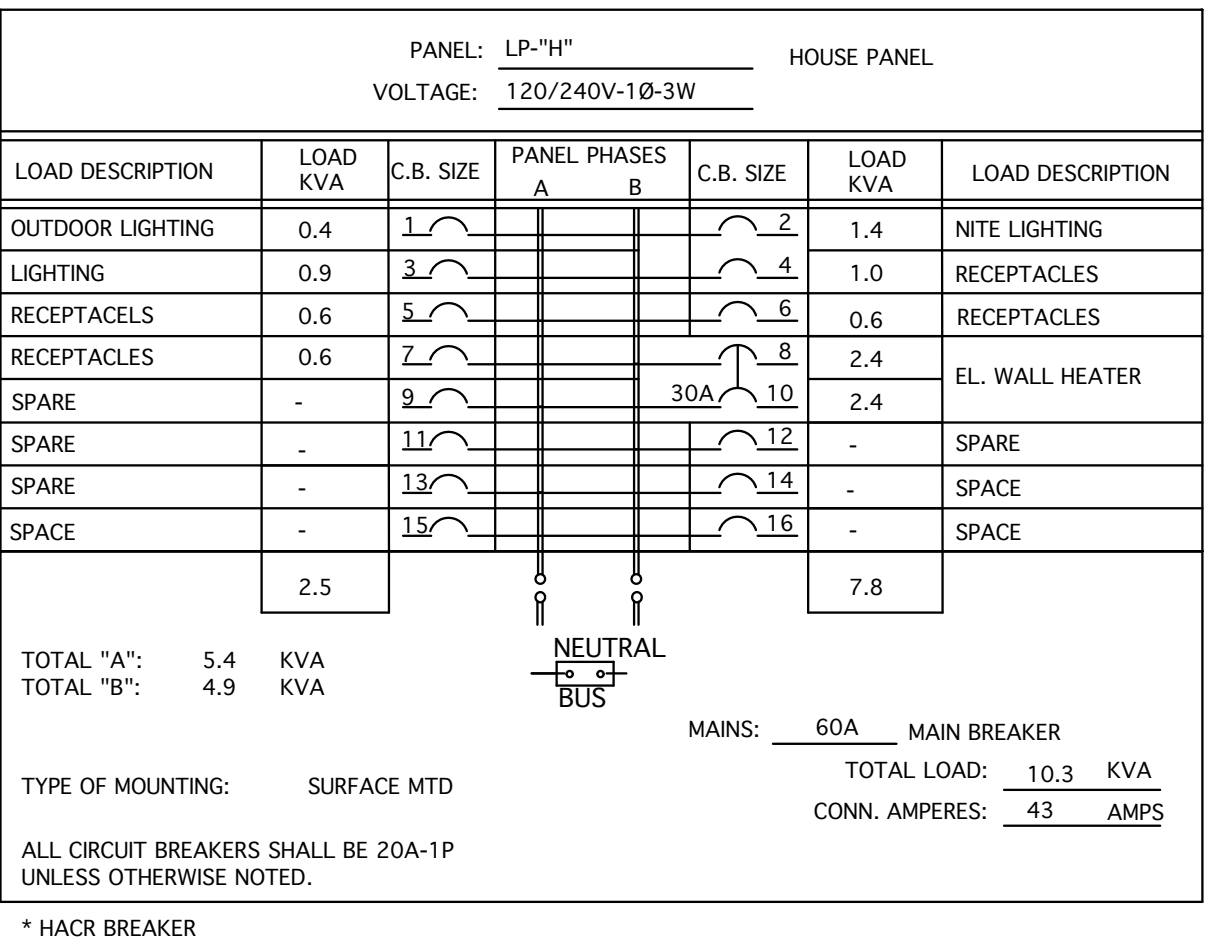
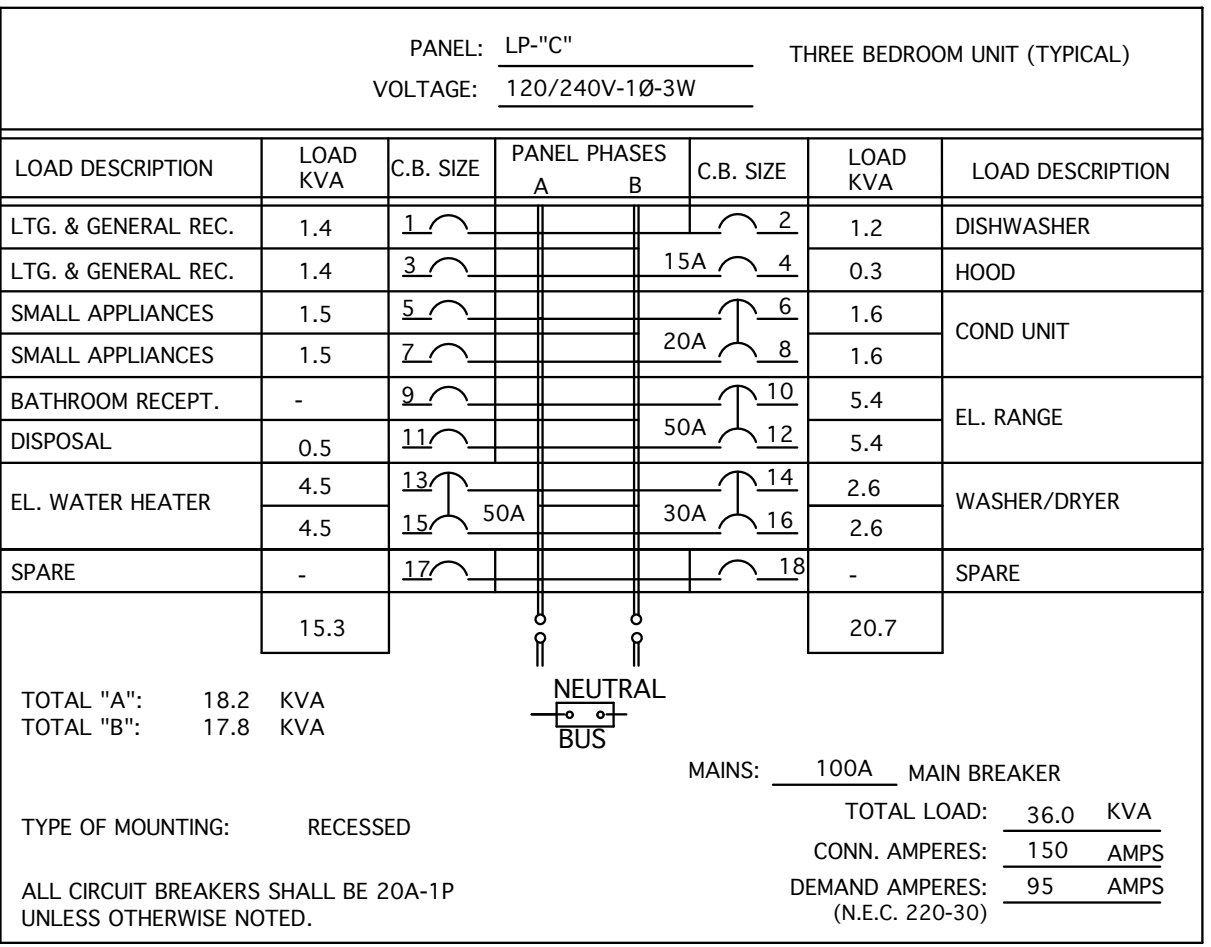
- MULTI-METERING UNITS TO BE OUTDOOR TYPE UTILITY COMPANY APPROVED COMPLETE WITH REQUIRED METER SOCKETS, MAIN BREAKERS, TENANT BREAKERS AND INCOMING SERVICE CUBICLES.
 - UNITS TO BE MODULAR IN DESIGN WITH STACKING METER SOCKETS. HEIGHT OF METERS TO BE UTILITY COMPANY APPROVED. PROVIDE UTILITY SEAL FACILITIES IF REQUIRED.
 - UNITS TO BE FULLY BUSSED.
 - UNITS TO BE EQUAL TO CHALLENGER, GE, CO., SQUARE D COMPANY OR APPROVED EQUAL.
- THE CONTRACTOR SHALL PROVIDE, INSTALL AND CONNECT A COMPLETE SYSTEM OF GROUNDING FOR ALL EQUIPMENT AND STRUCTURES. A GOOD MECHANICAL AND ELECTRICAL CONNECTION SHALL BE MAKE WITH CODE APPROVED GROUNDING CONNECTORS.
- ALL EXPOSED CONDUIT, FITTINGS, CABINETS, PULL BOXES, ETC., SHALL BE COMPLETELY CLEANED AND PAINTED WITH TWO (2) COATS OF LEAD AND OIL PAINT, OF COLOR TO MATCH THE ADJOINING WALLS OR STRUCTURE AND AS DIRECTED BY THE ARCHITECT. ALL PAINTING IS TO BE LEFT IN A NEAT AND CLEAN CONDITION AT FINAL COMPLETION OF THE BUILDING. PANELS SHALL BE PAINTED WITH "DUCO" OR OTHER APPROVED EQUAL.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MISCELLANEOUS IRON THAT HE MAY REQUIRE FOR HIS WORK.
- ON COMPLETION OF HIS WORK, THE INSTALLATION SHALL BE ENTIRELY FREE FROM GROUNDS OR SHORT CIRCUITS. ALL CIRCUITS SHALL BE RUNG OUT AND PROPERLY TICKETED.
- THE CONTRACTOR SHALL GUARANTEE AGAINST MECHANICAL AND ELECTRICAL DEFECTS OF ANY AND ALL EQUIPMENT MATERIALS, AND WORKMANSHIP COVERED BY THESE SPECIFICATIONS AND SHALL MAKE GOOD. REPAIR OR REPLACE AT HIS OWN EXPENSE ANY DEFECTIVE EQUIPMENT, MATERIALS OR WORK OR PAINT WHICH MAY SHOW ITSELF WITHIN A PERIOD OF ONE (1) YEAR AFTER FINAL ACCEPTANCE OF THE WORK.

LEGEND

SYMBOL	DESCRIPTION
○	DOWNLIGHT FIXTURE
○H	WALL MOUNTED LIGHTING FIXTURE
\$ S ; \$:	LIGHT SWITCHES: SINGLE POLE, THREE WAY, FOUR WAY
\$ D	WALL BOX DIMMER SWITCH (1000 WATT MINIMUM)
⊖	DUPLEX RECEPTACLE
⊖G	GROUND FAULT CIRCUIT INTERRUPTER RECEPTACLE
⊖	SPECIAL PURPOSE RECEPTACLE
▷	COMMUNICATION OUTLET
⊙	JUNCTION BOX
⚡	SINGLE PHASE MOTOR
⚡	SINGLE PHASE MOTOR STARTER (WITH PILOT LIGHT)
⊏	DISCONNECT SWITCH
H-TV	TELEVISION ANTENNA OUTLET
SD	SMOKE DETECTOR; H DEPICTS ON HOUSE PANEL
AC	ABOVE COUNTER
WP	WEATHER PROOF DEVICE
⊗	BATTERY BACKUP EXIT LIGHT
⊏	THREE HEADED EMERGENCY BATTERY UNIT

LIGHTING FIXTURE SCHEDULE

TYPE	LAMPS	MANUFACTURER OR APPROVED EQUAL	REMARKS
"X"		ATLITE #PNL-RU	CEILING MTD OR WALL MTD
"EM"		ATLITE #CB6-54-3	CEILING MTD OR WALL MTD



LOAD SUMMARY	LP-"C" (THREE BEDROOM - TYPICAL)
- FLOOR AREA:	2,730
- 910 Sq Ft x 3 WATT =	3,000
- SMALL APPLIANCES	1,500
- LAUNDRY	7,230
- EL. RANGE:	10,800
- WASHER/DRYER:	5,208
- DISPOSAL:	500
- DISHWASHER:	1,200
- HOOD:	300
- EL. WATER HEATER:	9,000
TOTAL:	34,238
COMPLETED LOAD (NEC 220-30)	10,000
10,000 VA @ 100% =	9,695
24,238 VA @ 40% =	3,100
- COND UNIT:	22,795
DEMAND LOAD:	95 AMP
22,795 VA / 240V =	

PANEL LP-A, LP-B AND LP-C (OPPOSITE HAND) SIMILAR

MINIMUM WIRE SIZING SCHEDULE FOR BRANCH CIRCUITS (COPPER CONDUCTORS)

- 15A CIRCUIT - #14
- 20A CIRCUIT - #12
- 30A CIRCUIT - #10
- 40A CIRCUIT - #8
- 50A CIRCUIT - #6

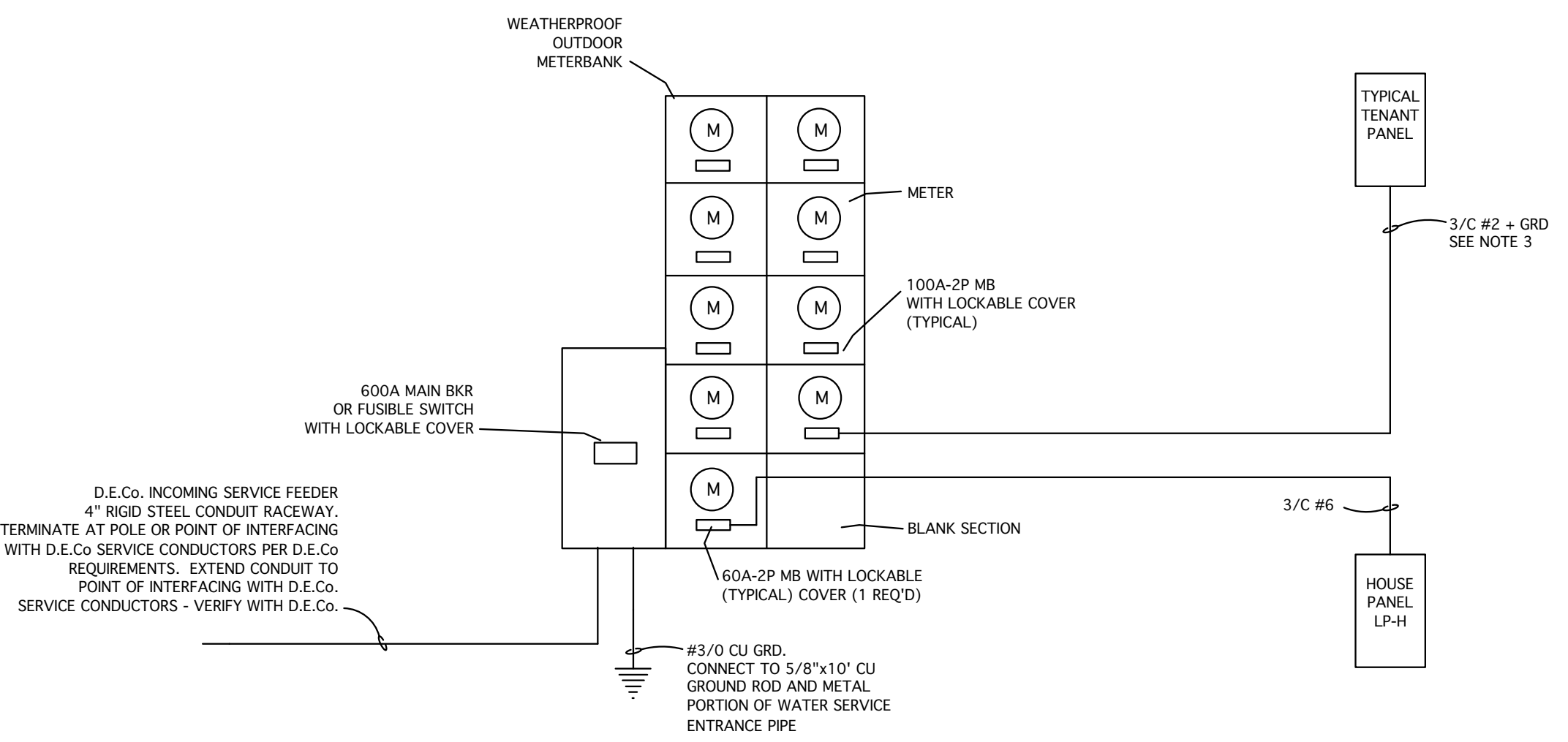
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PROJECT TITLE:
MARBOROUGH APARTMENTS
-
DETROIT, MICHIGAN

SHEET TITLE
ELECTRICAL SPECIFICATIONS, RISER DIAGRAM, SCHEDULES & LEGEND

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PROJECT # SHEET #
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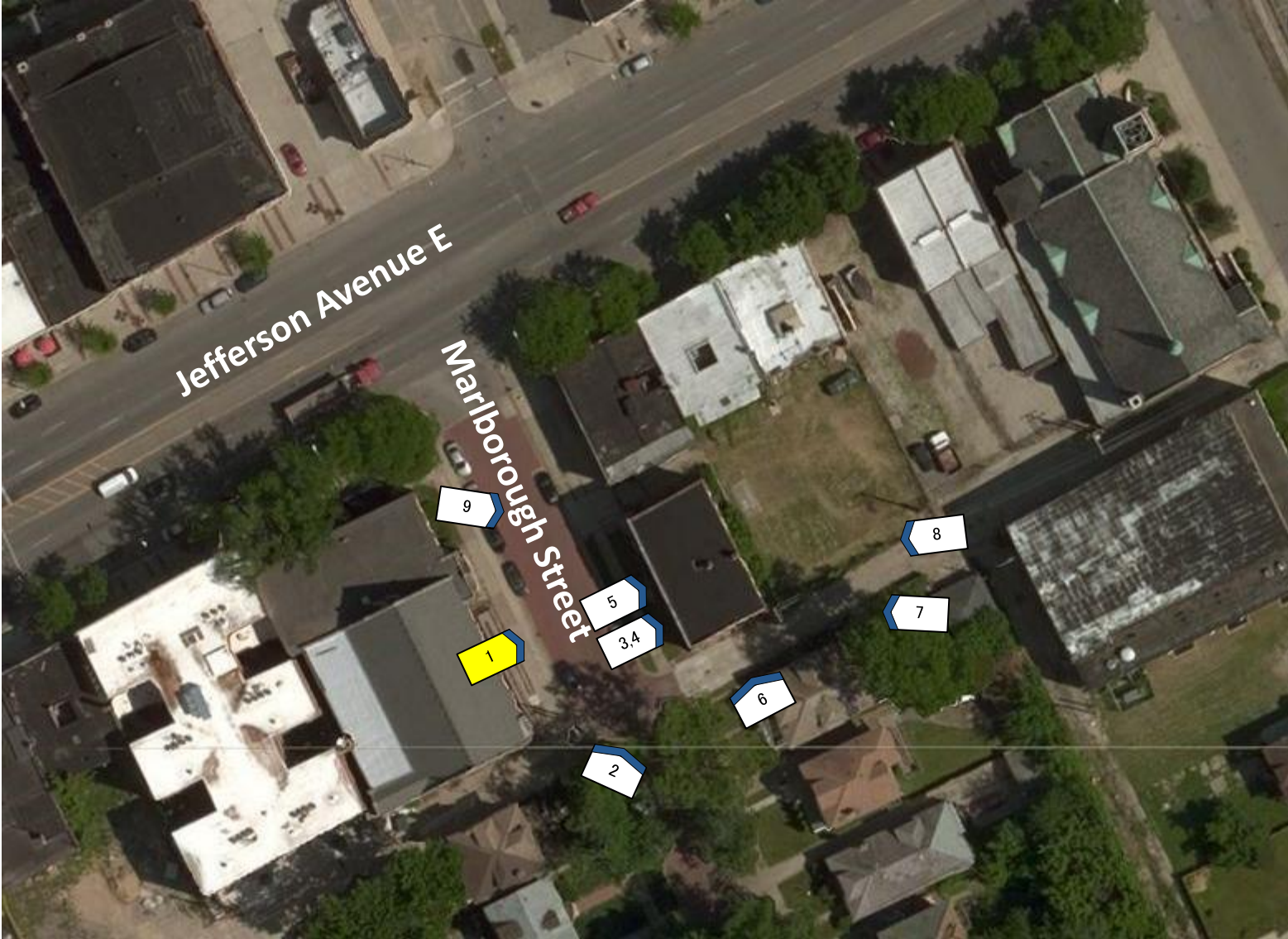


ELECTRICAL RISER DIAGRAM

NO SCALE

NOTES:

- ROUTE ALL PANEL FEEDERS VIA BASEMENT WHERE POSSIBLE. EXACT ROUTING TO BE FIELD VERIFIED AND TO BE PER N.E.C. AND CITY OF DETROIT REQUIREMENTS. USE CONDUIT WHERE NECESSARY. MAX VOLTAGE DROP TO BE 3%.
- PROVIDE COMPLETE GROUNDING PER N.E.C. 250.
- 3/C #2 UP TO 100', 3/C #1 UP TO 190'





1. Exterior View, West Elevation, Looking E



2. Exterior View, West and South Elevations, Looking NE



3. Exterior Detail, West Elevation at South, Upper Floors, Looking W



4. Exterior Detail, West Elevation at South, Lower Floors, Looking W



5. Exterior Detail, West Elevation, Entry at Center, Looking W



6. Exterior View, South Elevation, Looking N



7. Exterior View, South and East Elevations, Looking NW



8. Exterior View, East Elevation, Looking W



9. Exterior View, North Elevation, Looking SE



10. Interior View, First Floor, Entry, Looking W



11. Interior View, First Floor, Stair at Center-West, Looking W



12. Interior View, First Floor at Northwest, Looking SE



13. Interior View, First Floor at Northwest, Looking S



14. Interior View, First Floor at Southeast, Looking N



15. Interior View, Second Floor, Stair at Center-West, Looking W



16. Interior View, Second Floor at Center-West, Looking N



17. Interior View, Second Floor at Northeast, Looking SW



18. Interior View, Second Floor at Southwest, Looking E



19. Interior View, Third Floor at Center-East, Looking E



20. Interior View, Third Floor at Northwest, Looking SE



21. Interior View, Third Floor at Northwest, Looking E



22. Interior View, Third Floor at Southwest, Looking NE



23. Interior View, Third Floor at Southwest, Looking E



24. Interior View, Basement at Center-East, Looking NW



25. Interior View, Basement at Center-South, Looking N



26. Aerial View of Roof (Source: Google)

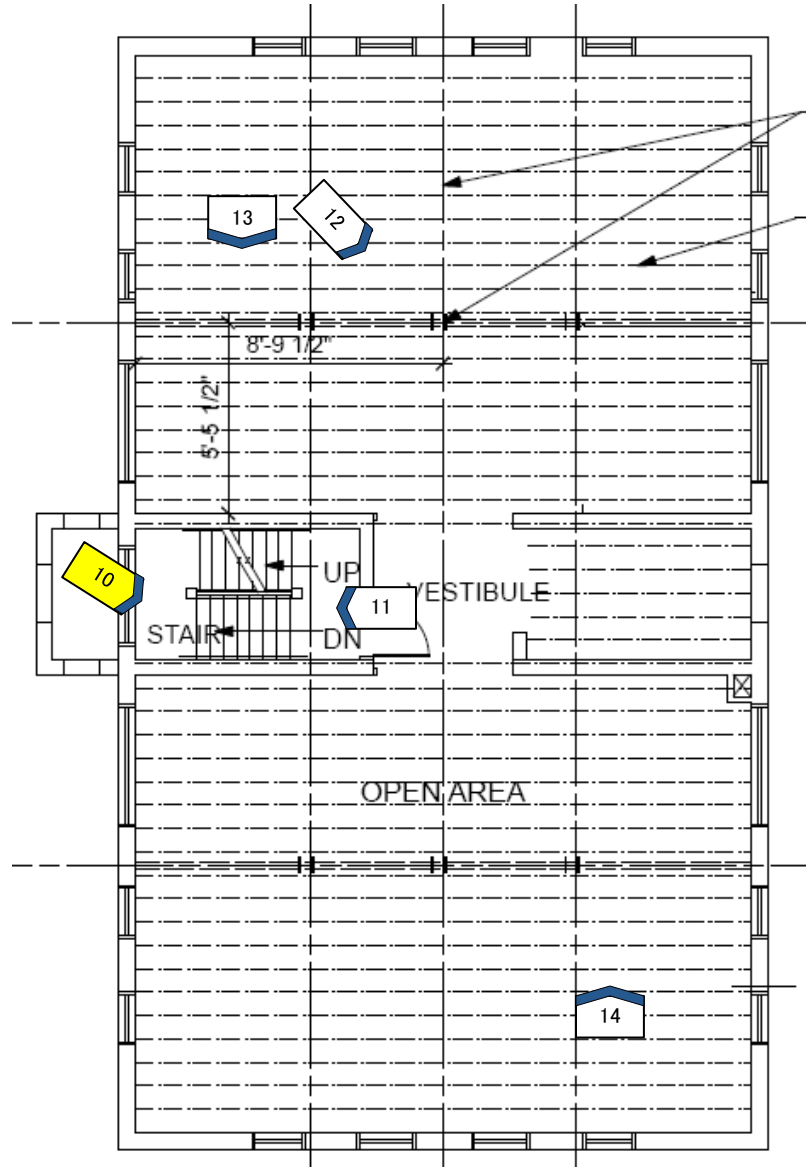
IDAO Apartments [First Floor] Photos 10-14

910 Marlborough Street

Detroit, Michigan

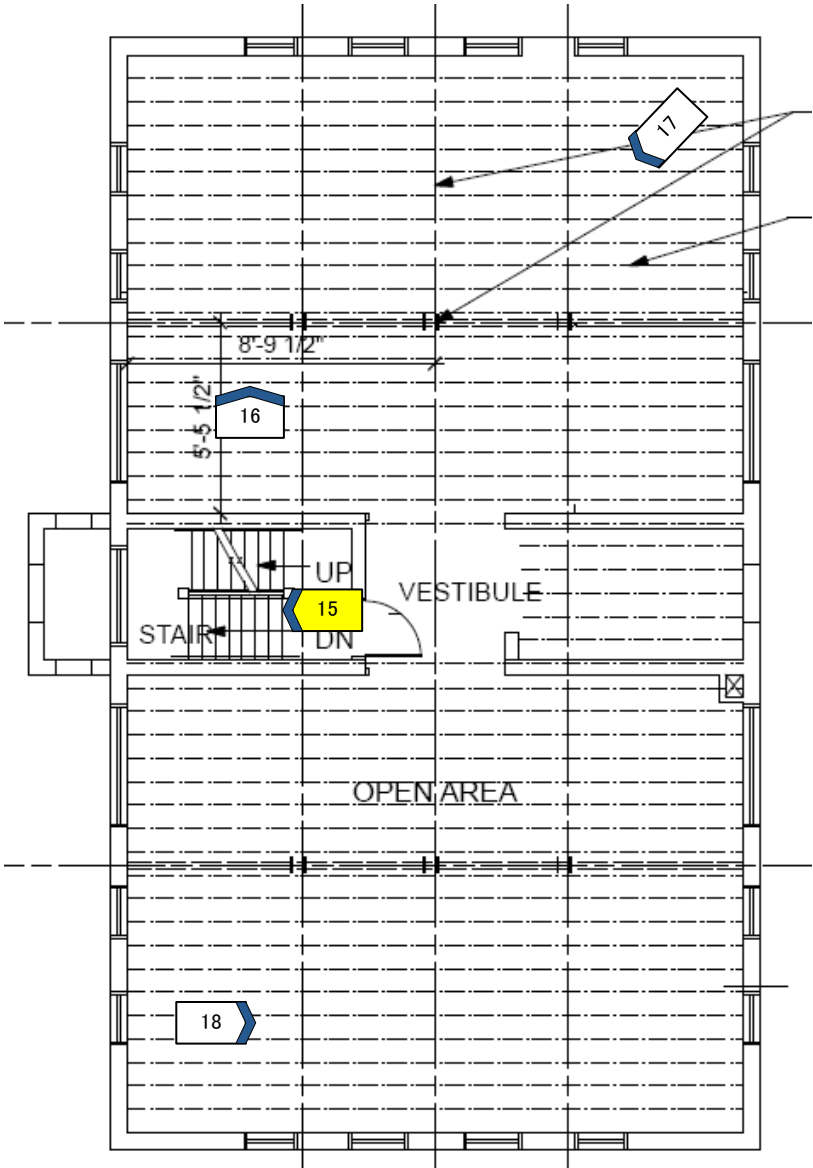
May 2017

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Plan N



IDAO Apartments [Second Floor] Photos 15-18

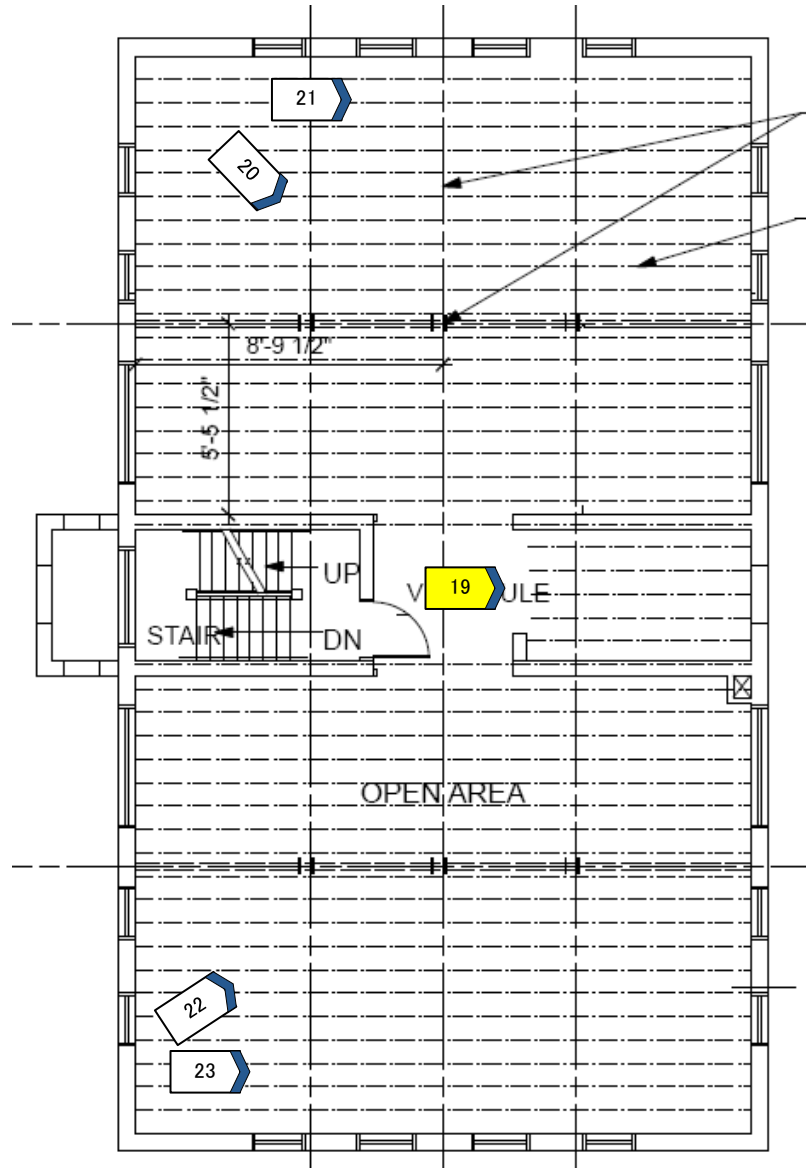
910 Marlborough Street
Detroit, Michigan
May 2017



IDAO Apartments [Third Floor] Photos 19-23

910 Marlborough Street
Detroit, Michigan
May 2017

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Plan N



IDAO Apartments [Basement] Photos 24-25

910 Marlborough Street
Detroit, Michigan
May 2017

