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## FIELD OBSERVATION REPORT

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*Date:* March 31, 2020 (REV April 10, 2020)      *Project:* Stuberstone Lofts  
Concrete Headers  
*From:* Glen L. Spangler      *Client Project No.:* -  
*To:* Robert Knapp      *DNCE Project No.:* 9819-03  
*Company:* -

*Phone:*      *Fax:*

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Observation Information:      Date: 02/11/2020 @ 430 PM

Persons Present:      Glen Spangler (IMEG) Robert Knapp

### Observations:

Robert and I visited 4 units at the above location, Units 100, Unit 300, Unit 400 and Unit 600, due to reports of cracked concrete around the windows. We were also able to observe the exterior of Units 200, 500 and 700.

#### Unit 100

No issues were found around the windows

#### Unit 300

Item No.1:      There is cracking/spalling at the bottom of the beam over the window.

Refer to Photos No. 1, 2 & 3

Suggested repair:      Remove delaminated concrete, clean corroded reinforcing steel. The reinforcing steel will need to be evaluated for section loss to determine if additional reinforcement is required. Apply SIKA Armatec 110 EpoCem to resteel. Replace removed concrete with repair mortar (Xypex MEGA MIX II, hand applied). Shoring may be required.

Item No. 2:      On the exterior of the building, for the beams both above and below of the windows, there are cracks that appear to have been previously repaired by just filling them with joint sealant. Refer to Photos 4 & 5.

Suggested repair:      Route out cracks. Inject with structural crack repair. If concrete is delaminated, remove delaminated concrete, clean corroded reinforcing steel. Replace removed concrete with repair mortar.

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### Unit 400

Item No.3: There is cracking/spalling at the bottom of the beam over the window.

Refer to Photos No. 6 & 7

Suggested repair: Remove delaminated concrete, clean corroded reinforcing steel. The reinforcing steel will need to be evaluated for section loss to determine if additional reinforcement is required. Apply SIKA Armatec 110 EpoCem to resteel. Replace removed concrete with repair mortar (Xypex MEGA MIX II, hand applied). Shoring may be required.

Item No. 4: On the exterior of the building, for the beams both above the windows, there are cracks that appear to have been previously repaired by just filling them with joint sealant. Refer to Photos 8 & 9.

Suggested repair: Route out cracks. Inject with structural crack repair (SIKADUR 35 HI-MOD LV, Cap seal with SIKADUR HI-MOD GEL). If concrete is delaminated, remove delaminated concrete, clean corroded reinforcing steel. Replace removed concrete with repair mortar.

### Unit 600

Item No.5: On the exterior of the building, for the beams above the windows, there is some spall  
Refer to Photos 10 & 11.

Suggested repair: Route out cracks. Inject with structural crack repair (SIKADUR 35 HI-MOD LV, Cap seal with SIKADUR HI-MOD GEL). If concrete is delaminated, Remove delaminated concrete, clean corroded reinforcing steel. The reinforcing steel will need to be evaluated for section loss to determine if additional reinforcement is required. Apply SIKA Armatec 110 EpoCem to resteel. Replace removed concrete with repair mortar (Xypex MEGA MIX II, hand applied). Shoring may be required.

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### Unit 700

No issues were found around the windows inside.

Item No. 6: On the exterior of the building, for the beam above the windows, there are cracks that appear to have been previously repaired by just filling them with joint sealant. Refer to Photo 12.

Suggested repair: Route out cracks. Inject with structural crack repair (SIKADUR 35 HI-MOD LV, Cap seal with SIKADUR HI-MOD GEL). If concrete is delaminated, Remove delaminated concrete, clean corroded reinforcing steel. The reinforcing steel will need to be evaluated for section loss to determine if additional reinforcement is required. Apply SIKA Armatec 110 EpoCem to resteel. Replace removed concrete with repair mortar (Xypex MEGA MIX II, hand applied). Shoring may be required.

Please note, if existing windows are to be replaced with a new window system, they should be designed to take minor movements.

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Photo No. 1 – Unit 300



Photo No. 2 – Unit 300

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Photo No.3 – Unit 300



Photo No. 4 – Exterior above Unit 300

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Photo No. 5 – Exterior below Unit 300



Photo No. 6 – Unit 400

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Photo No. 7 – Unit 400



Photo No. 8 – Exterior Unit 400

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Photo No. 9 – Exterior above Unit 400



Photo No. 10 – Exterior Above Unit 600



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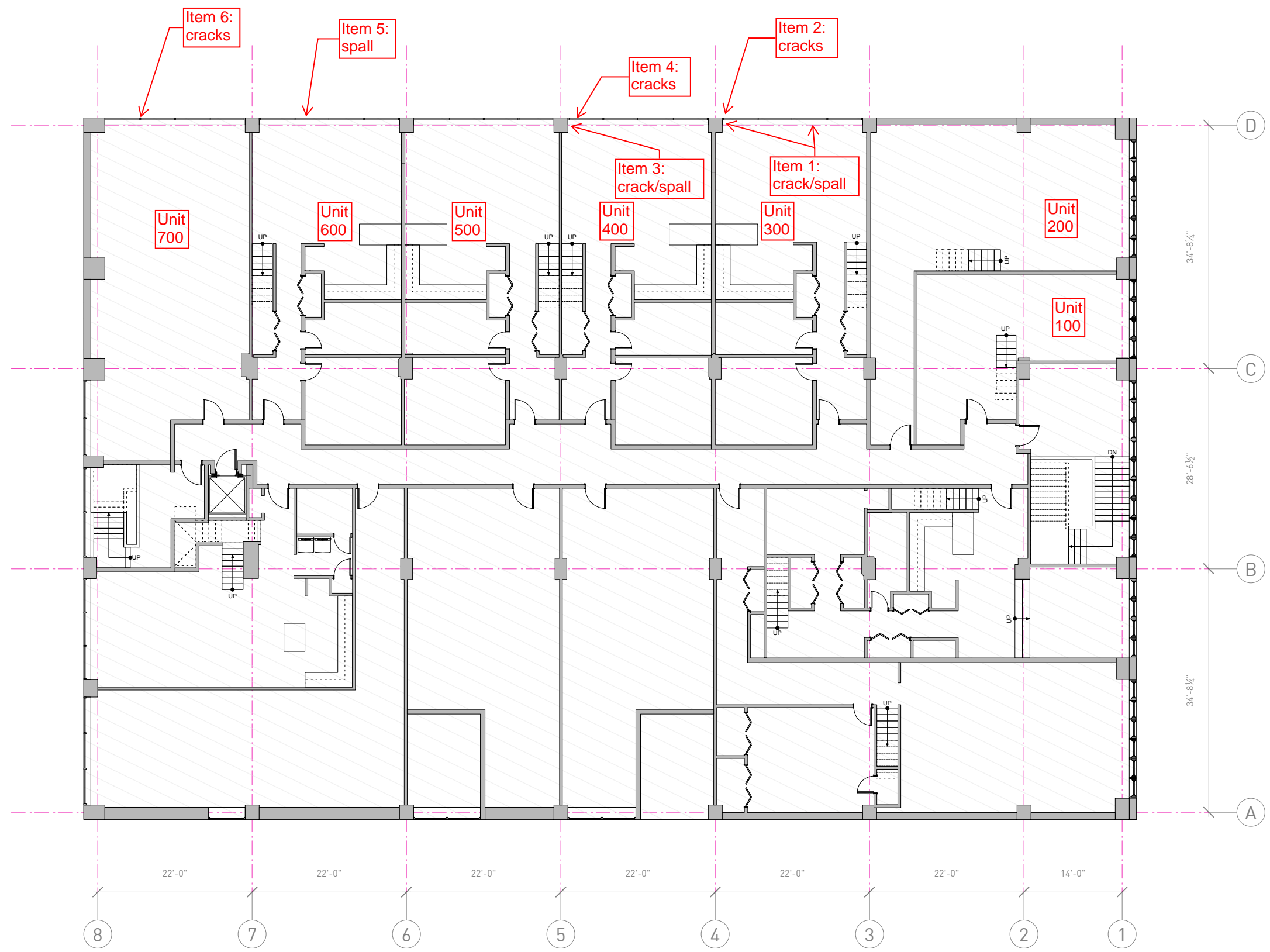
*DNCE Project No.:* 9819-03



Photo No. 11 – Exterior Above Unit 600



Photo No. 12 – Exterior Unit 700



# SK-1

