



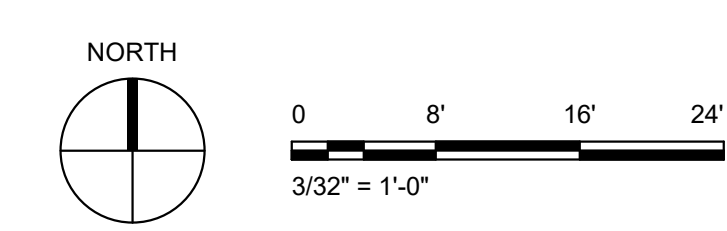
Albert Kahn Associates, Inc.
The Fisher Building
3011 W. Grand Blvd., Suite 1800
Detroit, Michigan 48202-3000

GENERAL NOTES
1. REFER TO SHEET A-001 FOR ABBREVIATIONS, SYMBOLS AND NOTES



1 SECOND FLOOR PLAN
3/32" = 1'-0"
X-301

SCOPE OF WORK IS LIMITED TO WORK AS DESCRIBED ON SHEETS A-401, AC-401, & AD-401



Issue History

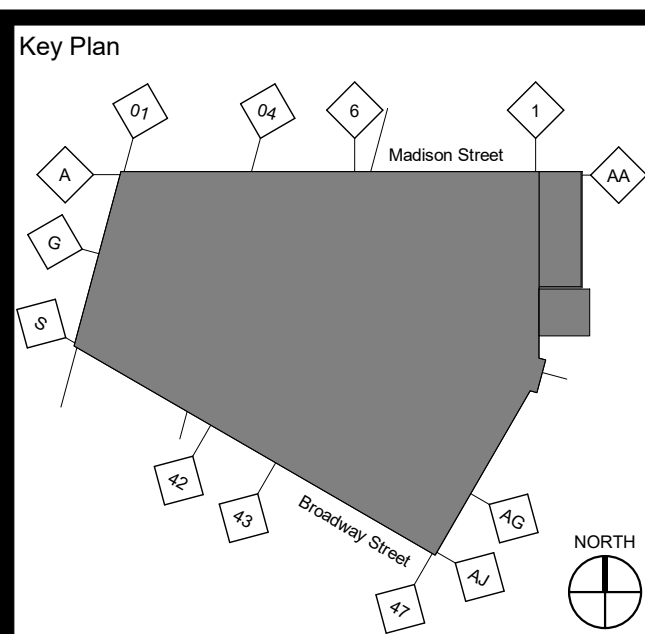
No.	Description	Date
001	HDC REVIEW	01/20/21
	MECHANICAL BID PACKAGE	08/27/20
	OWNER REVIEW	03/06/20
	DESIGN DEVELOPMENT	06/07/19

Refer To Sheet Index For Complete Issue History

No.	Description	Date
2	A-401	
2	AC-401	
2	AD-401	

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Registration Seal



MICHIGAN OPERA THEATRE

Detroit Opera House Renovation - Phase 1A
Detroit, MI

In Charge Z. TOLBERT
Designed ZAT
Drawn By AD
Checked JK
Approved J. GAINES Date 01/20/21
Sheet Title

SECOND FLOOR PLAN

Job No. 08022-D0 Sheet No. A-102



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Detroit, Michigan 48202-3000

GENERAL NOTES:
1. REFER TO SHT A-001 FOR ARCHITECTURAL ABBREVIATIONS, SYMBOLS AND GENERAL NOTES

NOTES:
1. COORD W/ STRUCTURAL FOR REVISIONS TO EXISTING

Issue History

Table with 2 columns: No. and Description. Header row: No. Description Date. Below are several empty rows for issue tracking.

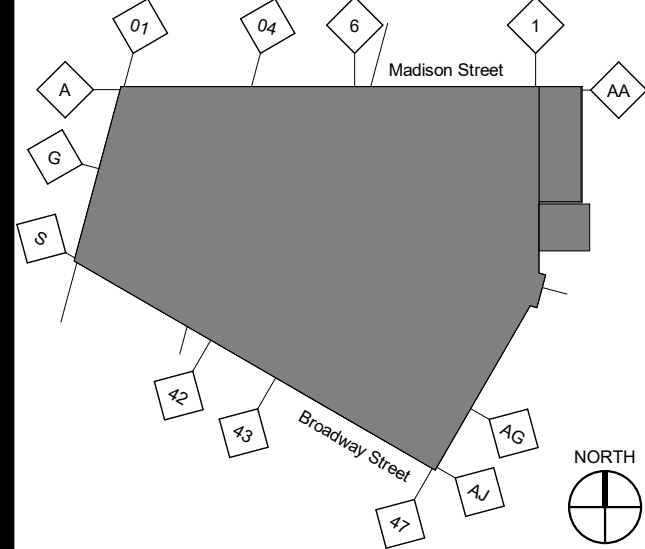
Table with 2 columns: No. and Date. Header row: No. Date. Below are rows for review dates: 001 HDC REVIEW 01/20/21, MECHANICAL BID PACKAGE 08/27/20, OWNER REVIEW 03/06/20.

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Key Plan



MICHIGAN OPERA THEATRE

Detroit Opera House Renovation - Phase 1A
Detroit, MI

In Charge Z. TOLBERT
Designed ZAT
Drawn By AD
Checked JK
Approved J. GAINES Date 01/20/21
Sheet Title

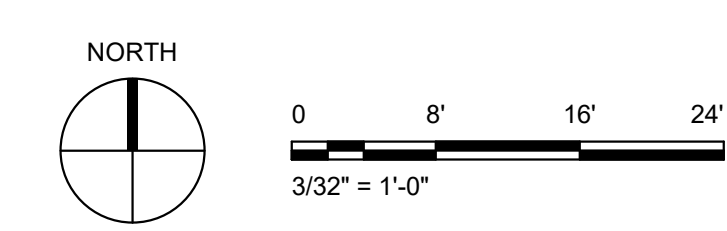
THIRD FLOOR PLAN

Job No. 08022-D0 Sheet No. A-103



1 THIRD FLOOR PLAN
3/32" = 1'-0"
X-301

SCOPE OF WORK IS LIMITED TO WORK AS DESCRIBED ON SHEETS A-401, AC-401, & AD-401





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Issue History

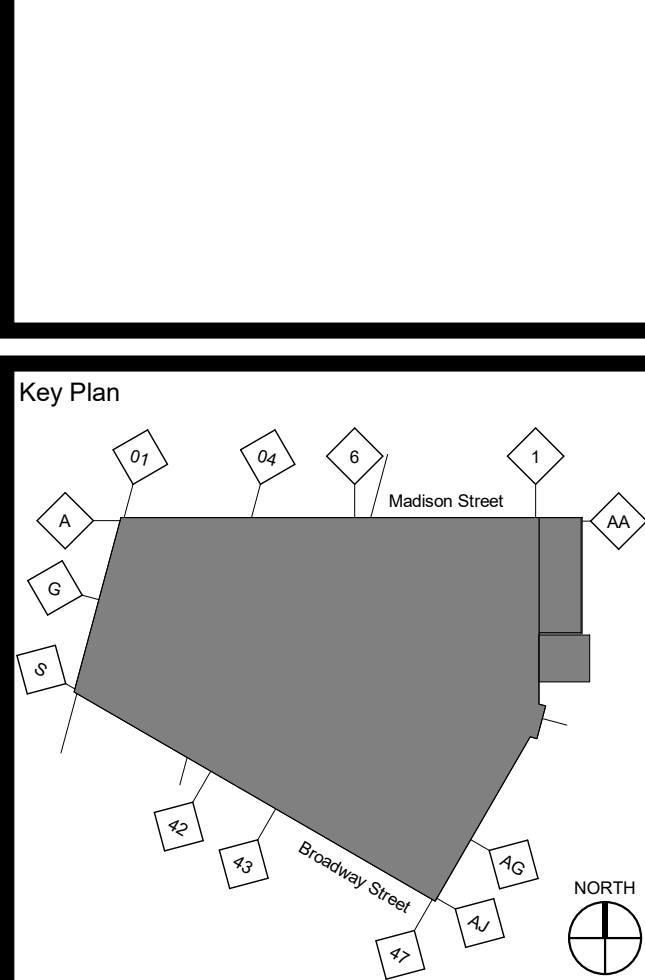
No.	Description	Date
001	HDC REVIEW	01/20/21
	MECHANICAL BID PACKAGE	08/27/20
	OWNER REVIEW	03/06/20

No.	Description	Date

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MICHIGAN OPERA THEATRE

Detroit Opera House Renovation - Phase 1A
Detroit, MI

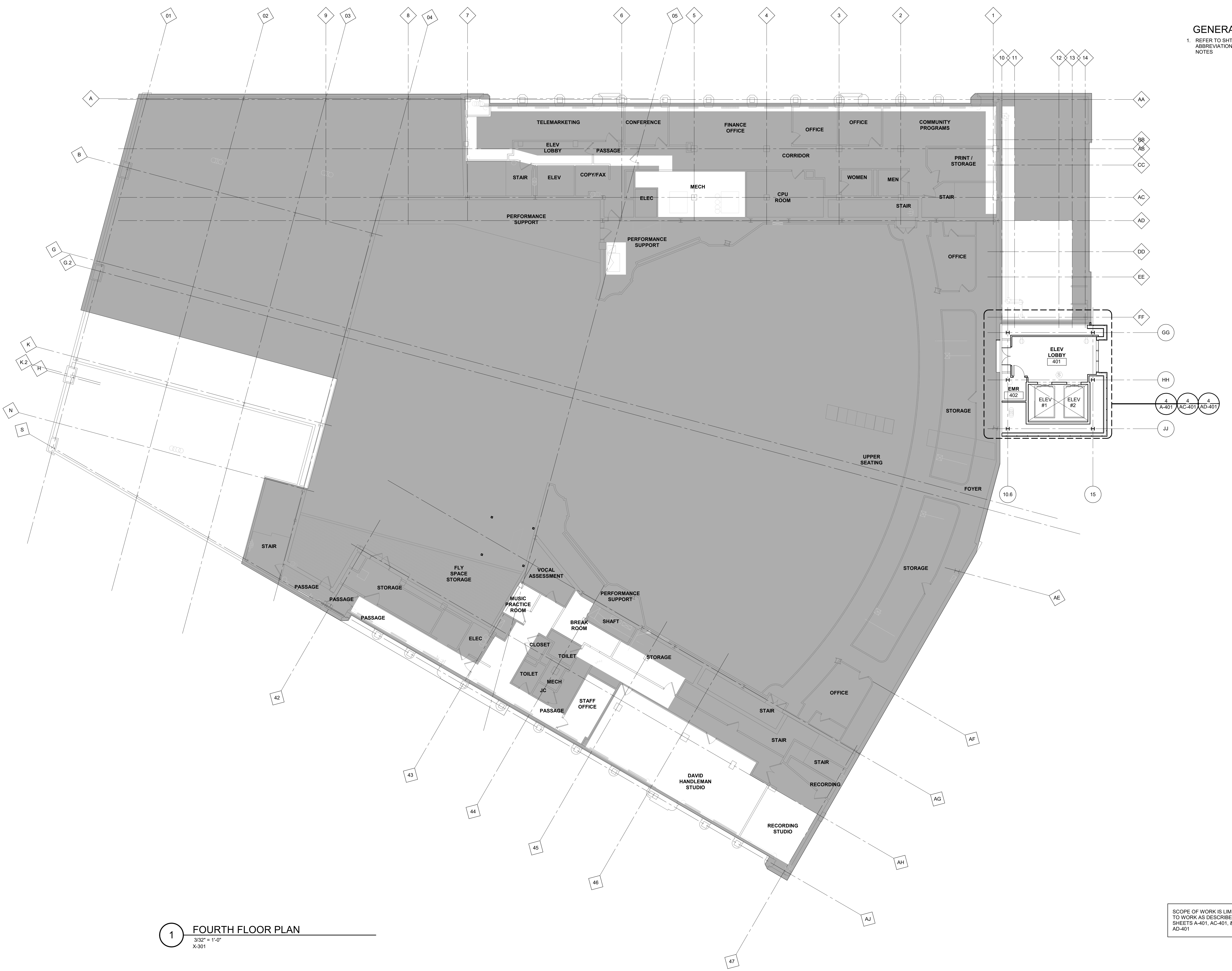
In Charge Z. TOLBERT
Designed ZAT
Drawn By AD
Checked JK
Approved J. GAINES Date 01/20/21
Sheet Title

FOURTH FLOOR PLAN

Job No. 08022-D0 Sheet No. A-104

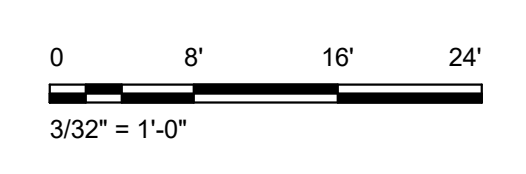
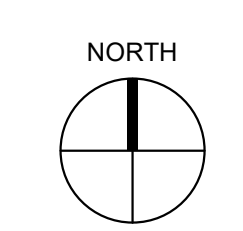
GENERAL NOTES:

1. REFER TO SHEET A-001 FOR ARCHITECTURAL ABBREVIATIONS, SYMBOLS AND GENERAL NOTES



1 FOURTH FLOOR PLAN
3/32" = 1'-0"
X-301

SCOPE OF WORK IS LIMITED TO WORK AS DESCRIBED ON SHEETS A-401, AC-401, & AD-401





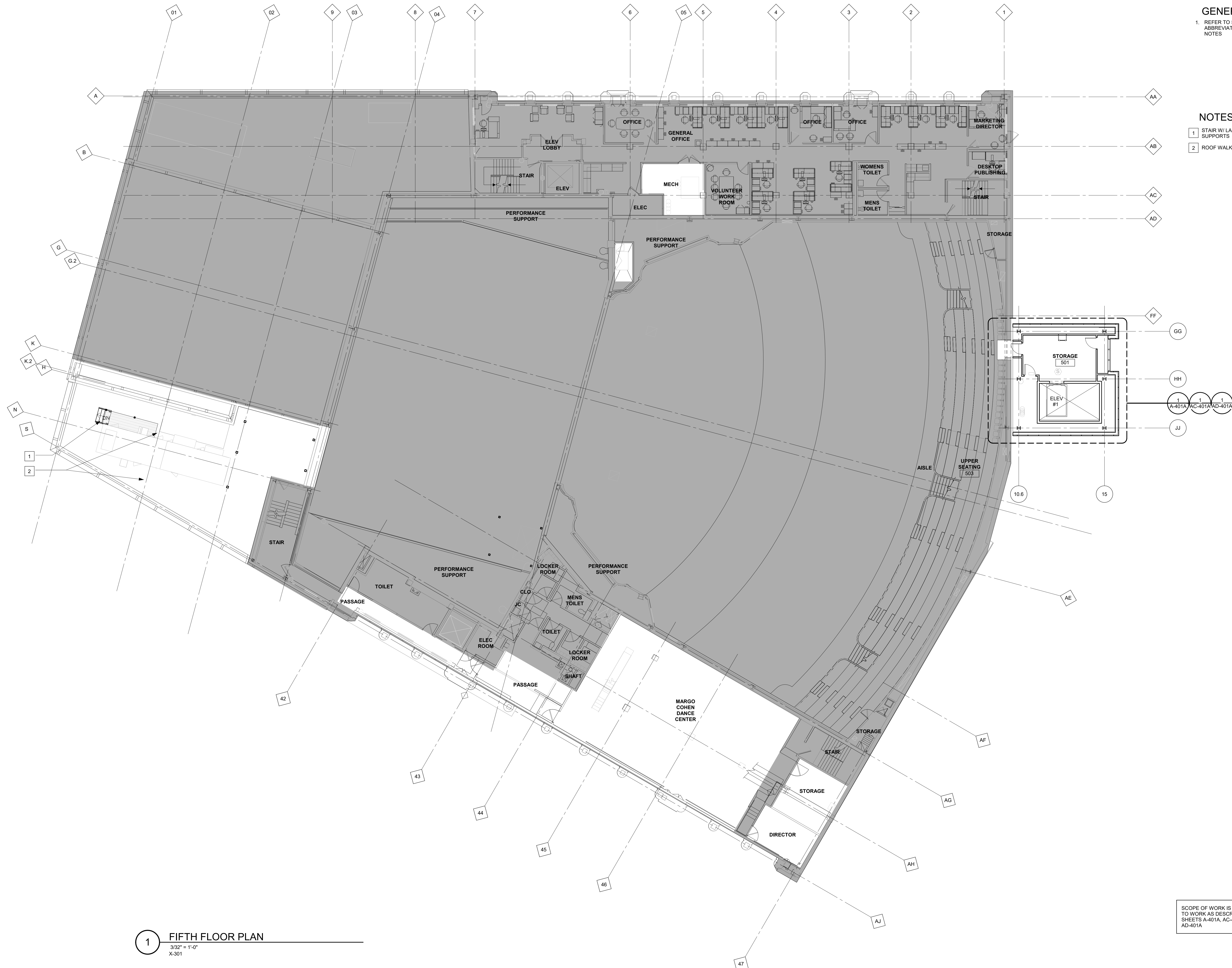
Albert Kahn Associates, Inc.
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3011 W. Grand Blvd., Suite 1800
Detroit, Michigan 48202-3000

GENERAL NOTES:

1. REFER TO SH1 A-001 FOR ARCHITECTURAL ABBREVIATIONS, SYMBOLS AND GENERAL NOTES

NOTES:

- 1 STAIR W/ LANDING W/ NON-PENETRATING SUPPORTS
- 2 ROOF WALK PADS

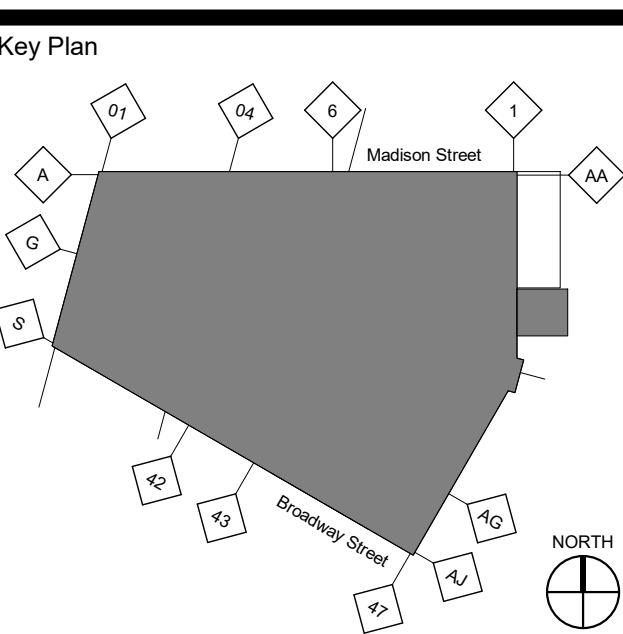


Issue History	
No.	Description

No.	Description	Date
001	HDC REVIEW	01/20/21
	MECHANICAL BID PACKAGE	08/27/20
	OWNER REVIEW	03/06/20

Refer To Sheet Index For Complete Issue History

Registration Seal



MICHIGAN OPERA THEATRE

Detroit Opera House Renovation - Phase 1A
Detroit, MI

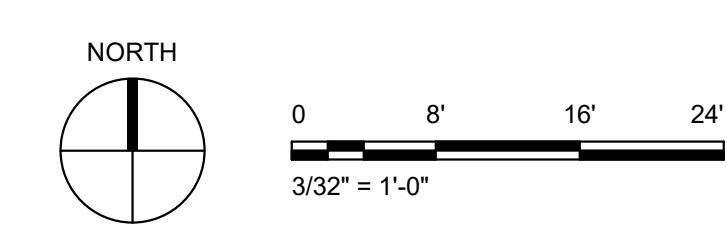
In Charge	Z. TOLBERT
Designed	ZAT
Drawn By	AD
Checked	JK
Approved	J. GAINES
Sheet Title	

FIFTH FLOOR PLAN

Job No. **08022-D0** Sheet No. **A-105**

1 FIFTH FLOOR PLAN
3/32" = 1'-0"
X-301

SCOPE OF WORK IS LIMITED TO WORK AS DESCRIBED ON SHEETS A-401A, AC-401A, & AD-401A





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GENERAL NOTES
1. REFER TO SHEET ABBREVIATIONS FOR ABBREVIATIONS AND NOTES

Issue History

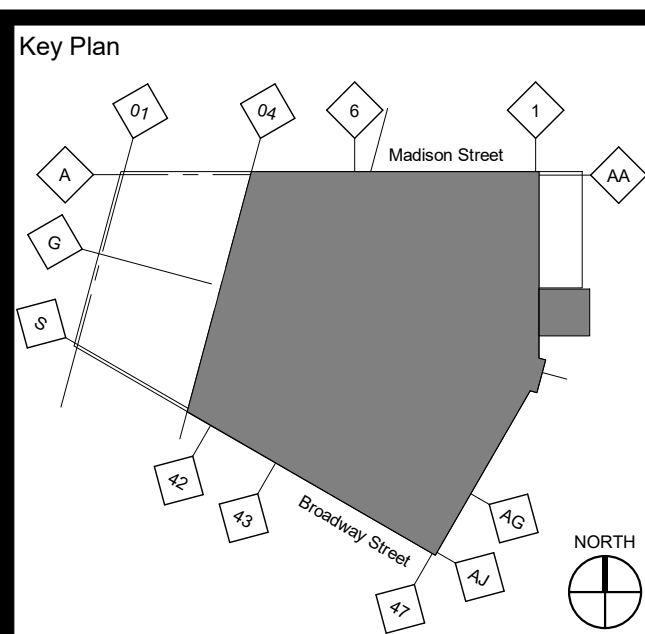
No.	Description	Date
001	HDC REVIEW	01/20/21
	MECHANICAL BID PACKAGE	08/27/20
	OWNER REVIEW	03/06/20

No.	Description	Date

Refer To Sheet Index For Complete Issue History

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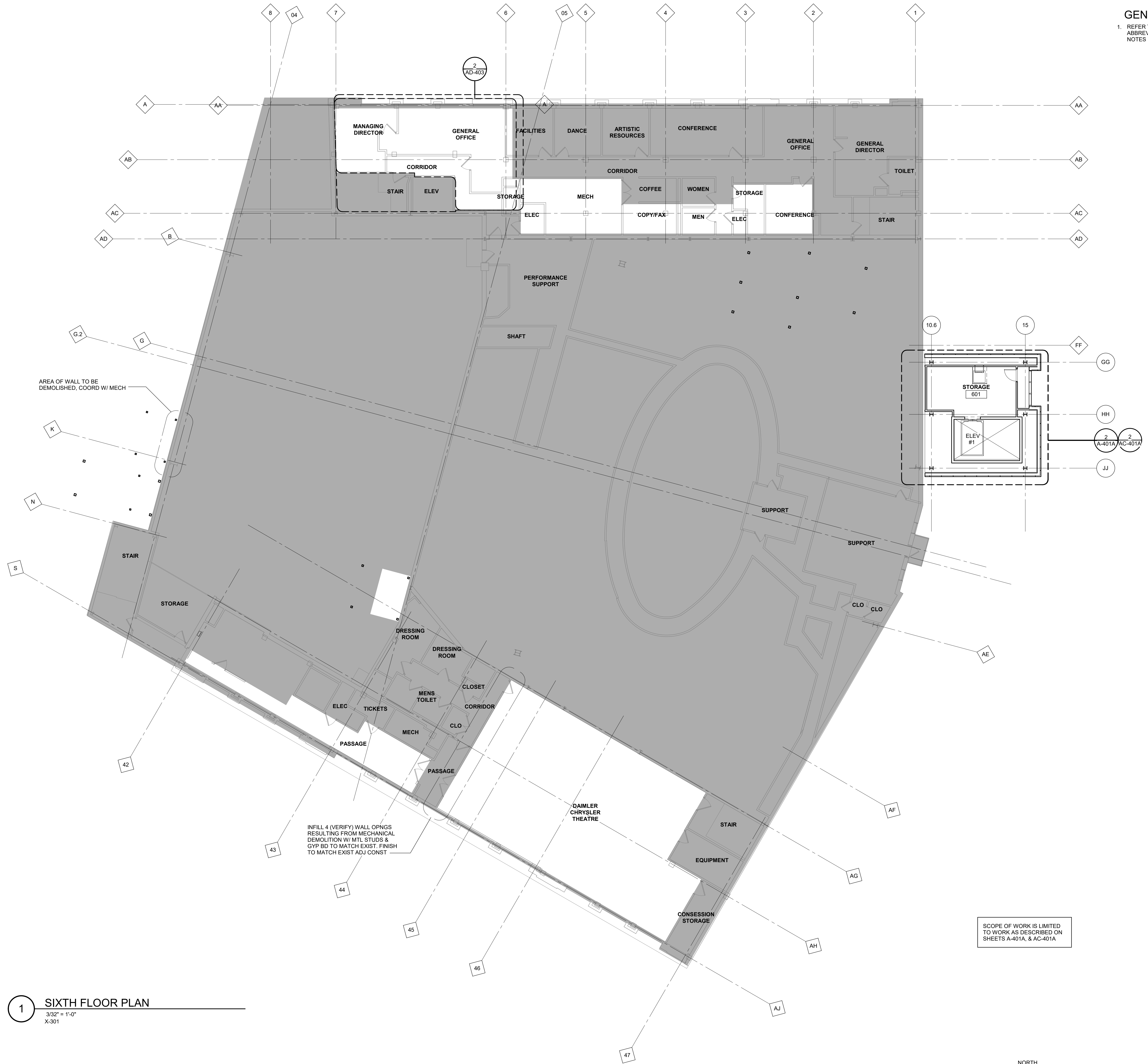


MICHIGAN OPERA THEATRE

Detroit Opera House Renovation - Phase 1A
Detroit, MI

In Charge Z. TOLBERT
Designed ZAT
Drawn By AD
Checked JK
Approved J. GAINES Date 01/20/21
Sheet Title

SIXTH FLOOR PLAN
Job No. 08022-D0 Sheet No. A-106



1 SIXTH FLOOR PLAN
3/32" = 1'-0"
X-301



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Issue History

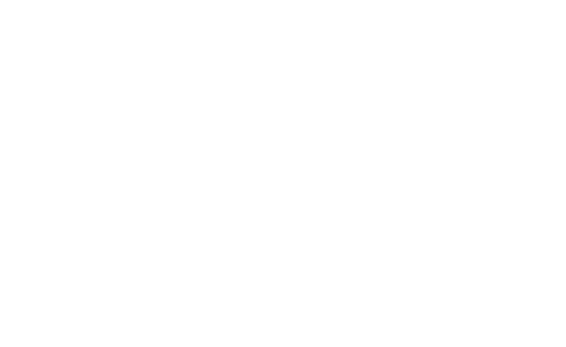
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Table with columns for No., Description, and Date. Includes entries for HDC REVIEW, MECHANICAL BID PACKAGE, and OWNER REVIEW.

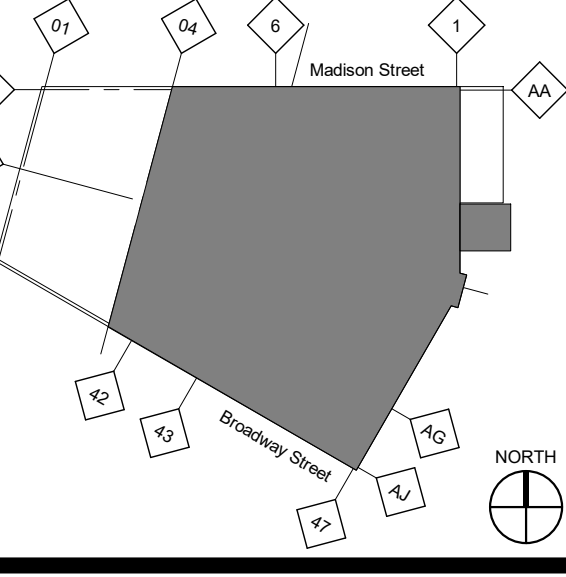
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Key Plan



MICHIGAN OPERA THEATRE

Detroit Opera House Renovation - Phase 1A
Detroit, MI

In Charge Z. TOLBERT
Designed ZAT
Drawn By AD
Checked JK
Approved J. GAINES Date 01/20/21
Sheet Title

SEVENTH FLOOR PLAN

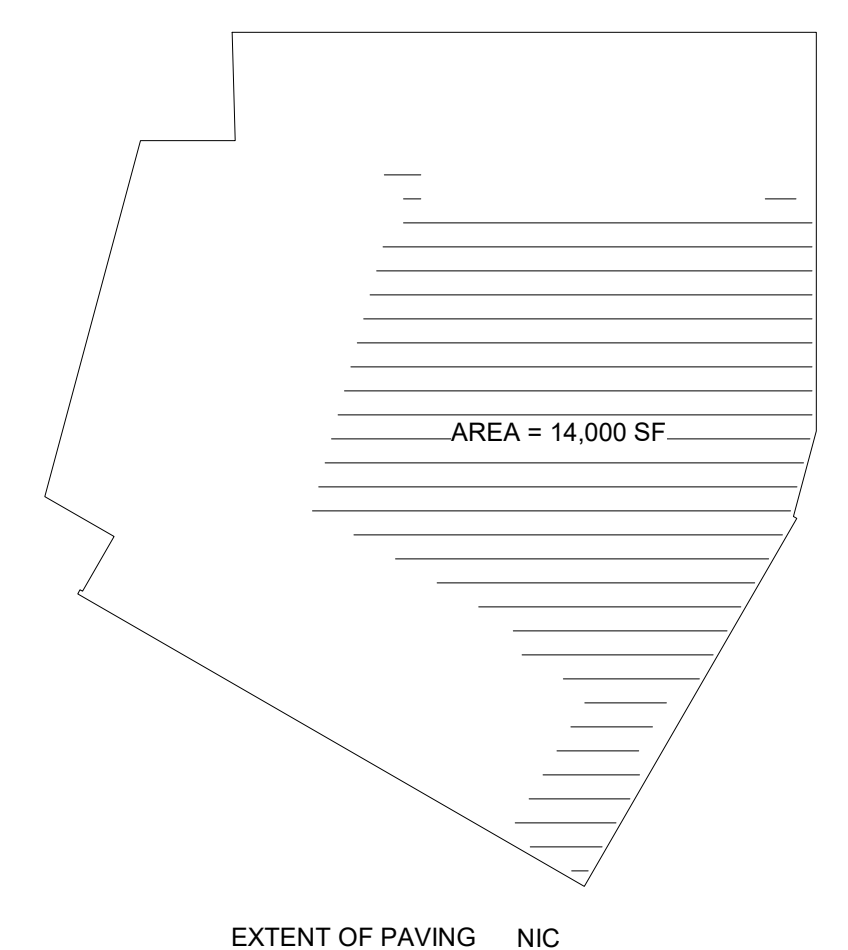
Job No. 08022-D0 Sheet No. A-107

GENERAL NOTES:

- 1. REFER TO SHT A-001 FOR ARCHITECTURAL ABBREVIATIONS, SYMBOLS AND GENERAL NOTES
2. REFER TO SHT A-108 FOR ROOFTOP PAVING SYSTEM AND PLANTERS ON FROOM, PAVERS NOT SHOWN FOR CLARITY
3. REFER TO SHT AD-107 FOR ROOF LEVEL (7TH FLOOR) DEMOLITION. COORD W/ OTHER DISCIPLINES DEMOLITION WORK
4. TAPERED INSULATION IS LOCATED THROUGHOUT ROOF
5. REFER TO AD-107 FOR 7TH FLOOR DEMOLITION PLAN. ALSO COORD W/ MECHANICAL
6. REFER TO SHT A-108 FOR CONST ABOVE THE ROOFING
7. VERIFY CORE OPENING LOCATIONS. DO NOT CORE AN OPENING INTO A CONCRETE BEAM OR JOIST.
8. EXPOSED STEEL FRAMING ON ROOF TO BE PAINTED. INDICATED ON STRUCT DRWGS & SHT A-510. EXIST STEEL TO HAVE CORROSION REMOVED, CLEANED & PREPARED TO RECEIVE PAINTING. GUARD RAILS, CRATING & STAIR ASSEMBLIES NOT TO BE PAINTED.
9. REFER TO THE FOLLOWING FOR TYPICAL ROOF LEVEL DETAILS
- EQUIP SUPPORT CURBS - 2/A-510
- EQUIP SUPPORT CURBS (BLDG RENOV) - 16/A-510
- ROOF EPNG CURBS (ORIG BLDG) - 4/A-510
- ROOF STUB COL @ EXIST TERRA COTTA PARAPET - 5/A-510
- STUB COL (HSS) PENETRATION - 8/A-510
- STUB COL (WF) PENETRATION - 6/A-510

NOTES:

- 1 STAIR W/ LANDING W/ NON-PENETRATING SUPPORTS
2 ROOF WALKWAY



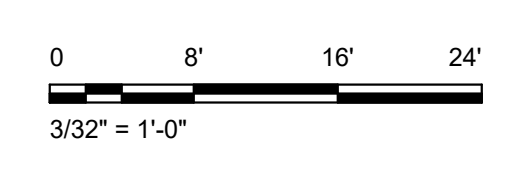
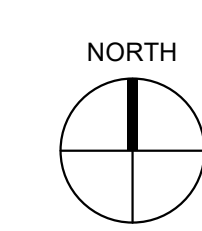
ROOF OPENING SCHEDULE

Table with columns: MARK, OPENING SIZE, DETAIL NUMBER, FURNISHED BY, REMARKS. Lists 13 roof openings with their respective sizes and details.

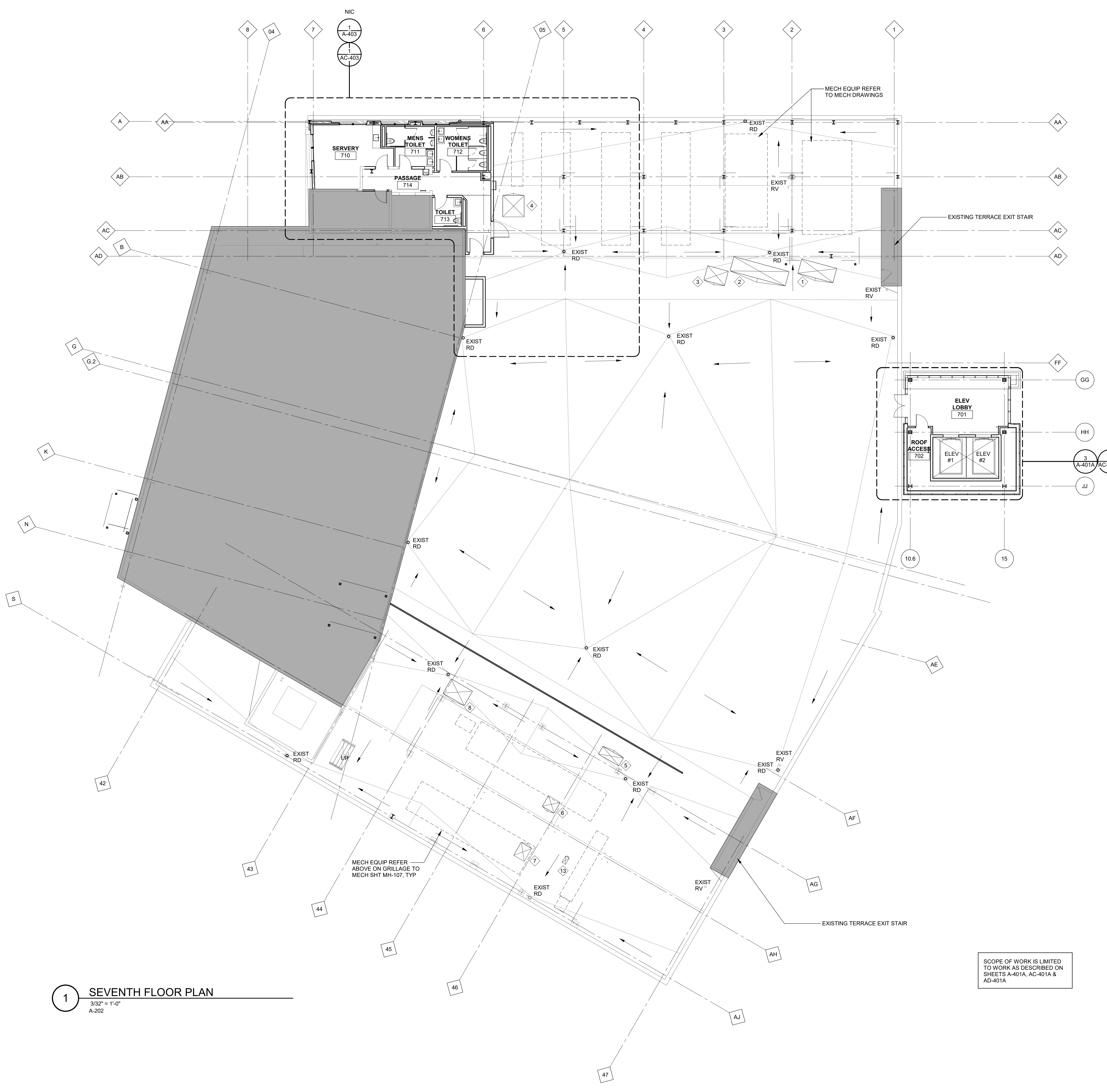
ROOF OPENING NOTES

- 1. SCHEDULED ROOF OPENING SIZES ARE BASED ON PRELIMINARY EQUIPMENT DESIGN. NOT FINAL EQUIPMENT PURCHASED. COORDINATE OPENING SIZES AND LOCATIONS WITH EQUIPMENT SUPPLIER (OR MECHANICAL CONTRACTOR) PRIOR TO FABRICATION OF CURBS, CURB FRAMING, AND ROOF DECK OPENINGS. COORDINATE FINAL ROOF OPENING LOCATIONS WITH STRUCTURAL DRAWINGS.
2. ANY TRADE REQUIRING OPENINGS IN THE ROOF DECK IS TO COORDINATE SIZE, LOCATION, AND SUPPORT WITH THE ARCHITECTURAL CONTRACTOR PRIOR TO CUTTING OPENINGS.
3. ANY TRADE REQUIRING PENETRATIONS OF THE METAL ROOF DECK IS RESPONSIBLE FOR CUTTING AND REMOVING THE DECK WITHIN THE CURBED ROOF OPENINGS AND/OR FRAMED ROOF OPENINGS, AND RESPONSIBLE FOR PROTECTING THE ROOF OPENINGS.
4. THE CONTRACTOR CUTTING AND REMOVING ROOF DECK FOR OPENINGS SHALL FURNISH AND INSTALL SHEET METAL CLOSURE CHANNELS AT THE PERIMETER OF THE OPENINGS, TYPICAL.
5. THE ROOFING CONTRACTOR IS TO INSURE THAT THE TOPS OF ROOF CURBS ARE INSTALLED LEVEL.

SCOPE OF WORK IS LIMITED TO WORK AS DESCRIBED ON SHEETS A-401A, AC-401A & AD-401A

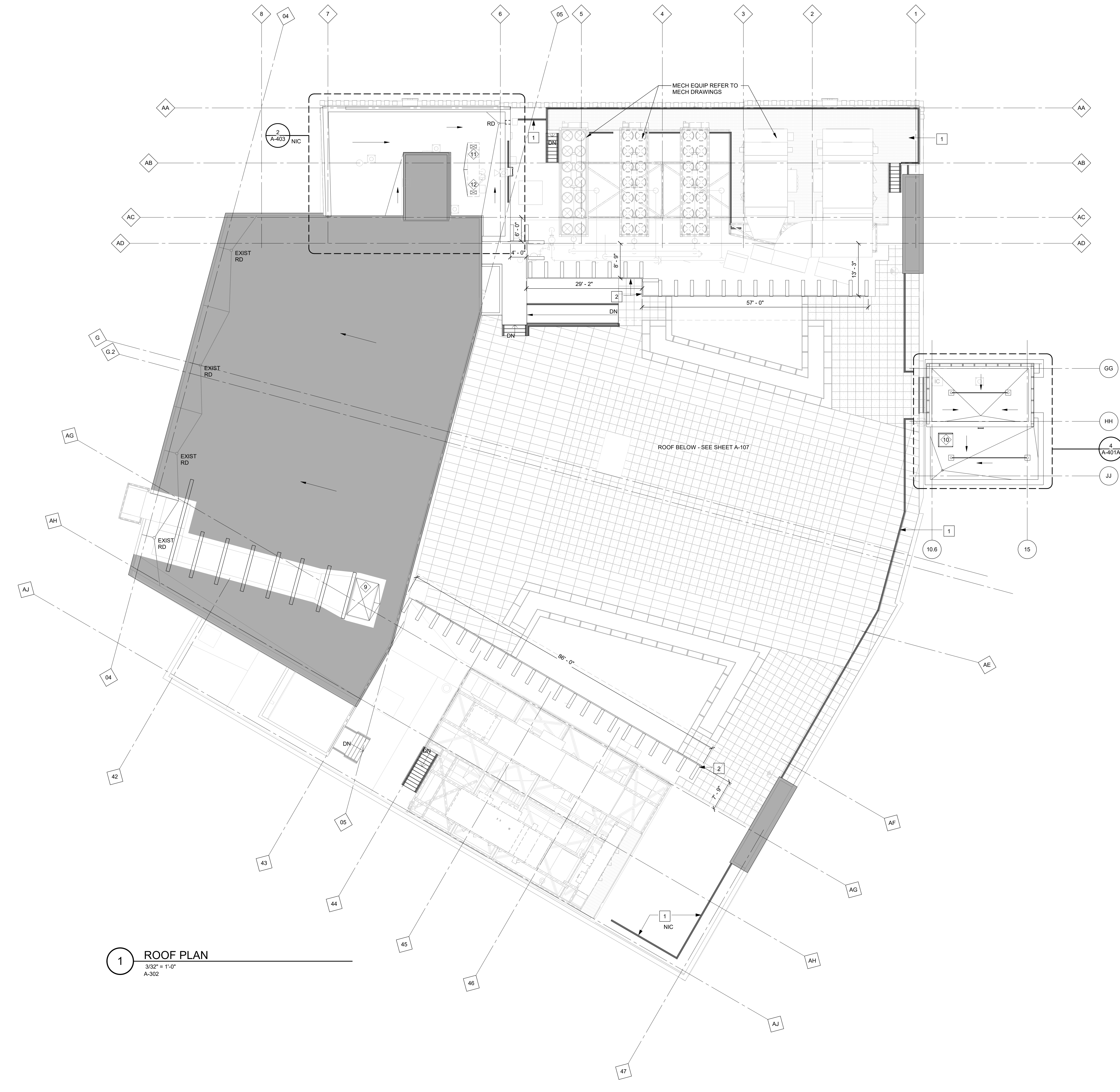


1 SEVENTH FLOOR PLAN
3/32" = 1'-0"
A-212



- GENERAL NOTES:**
- REFER TO SHT A-001 FOR ARCHITECTURAL ABBREVIATIONS, SYMBOLS AND GENERAL NOTES
 - REFER TO SHT A-107 FOR ROOF OPENING NOTES

- NOTES:**
- REUSED BALLASTED GUARD RAIL TYP. LOCATE ON PAVERS.
 - SCREEN WALL, TYP REFER TO DETAIL
 - MECH EQUIP REFER TO MECH SHT MH-107



1 ROOF PLAN
3/32" = 1'-0"
A-302

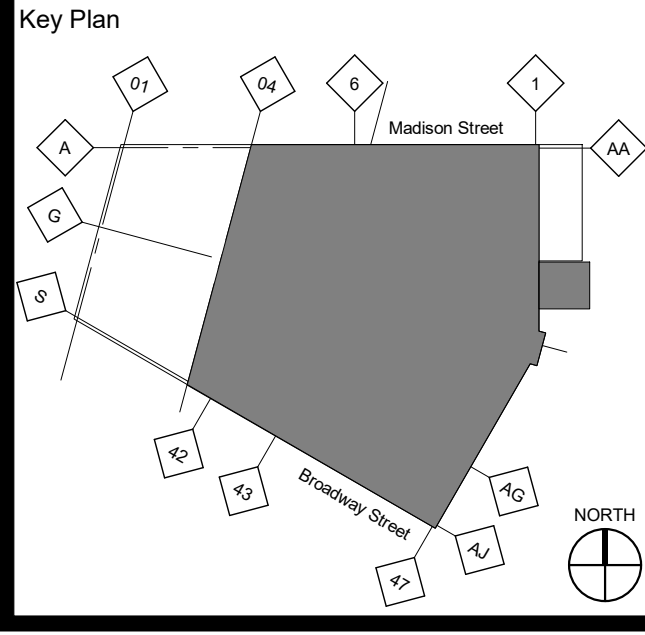
Issue History

No.	Description	Date
001	HDC REVIEW	01/20/21
	MECHANICAL BID PACKAGE	08/27/20
	OWNER REVIEW	03/06/20

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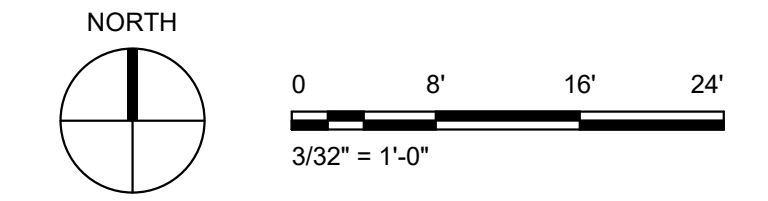
MICHIGAN OPERA THEATRE

Detroit Opera House Renovation - Phase 1A
Detroit, MI

In Charge Z. TOLBERT
Designed ZAT
Drawn By AD
Checked JK
Approved J. GAINES Date 01/20/21
Sheet Title

SEVENTH FLOOR ROOF PLAN
Job No. 08022-D0 Sheet No. A-108

SCOPE OF WORK IS LIMITED TO WORK AS DESCRIBED ON SHEETS A-401A





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Detroit, Michigan 48202-3000

Issue History

No.	Description	Date

No.	Description	Date
201	HDC REVIEW	01/20/21
	OWNER REVIEW	03/06/20

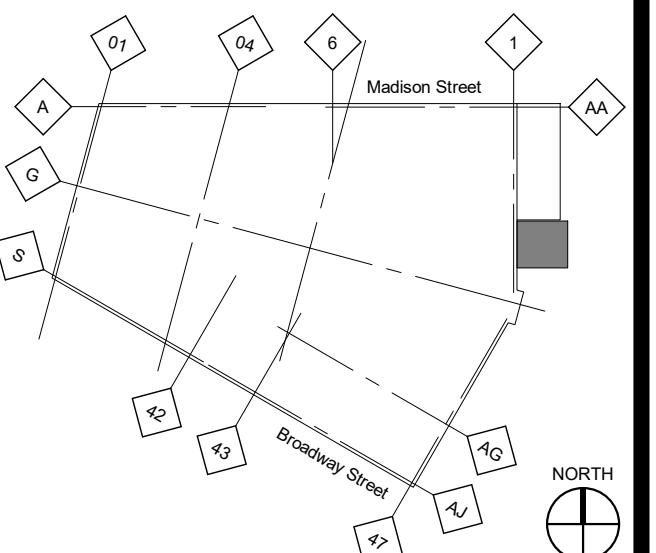
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Key Plan



MICHIGAN OPERA THEATRE

Detroit Opera House Renovation - Phase 1A
Detroit, MI

In Charge Z. TOLBERT
Designed ZAT
Drawn By AD
Checked Checker
Approved Approver Date 01/20/21
Sheet Title

ELEVATOR TOWER - ELEVATIONS

Job No. 08022-D0 Sheet No. A-201

GENERAL NOTES:

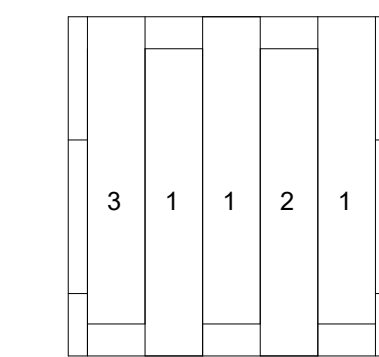
TYP PANEL DIMENSIONS AND PLACE ARE INDICATED AT ENLARGED ELEV A-201/3 UNO

NOTES:

ELEVATION LEGEND	
	SPANDREL GLASS - IG - 2
	VISION GLASS - IG - 1
	CAST STONE

MATERIALS:

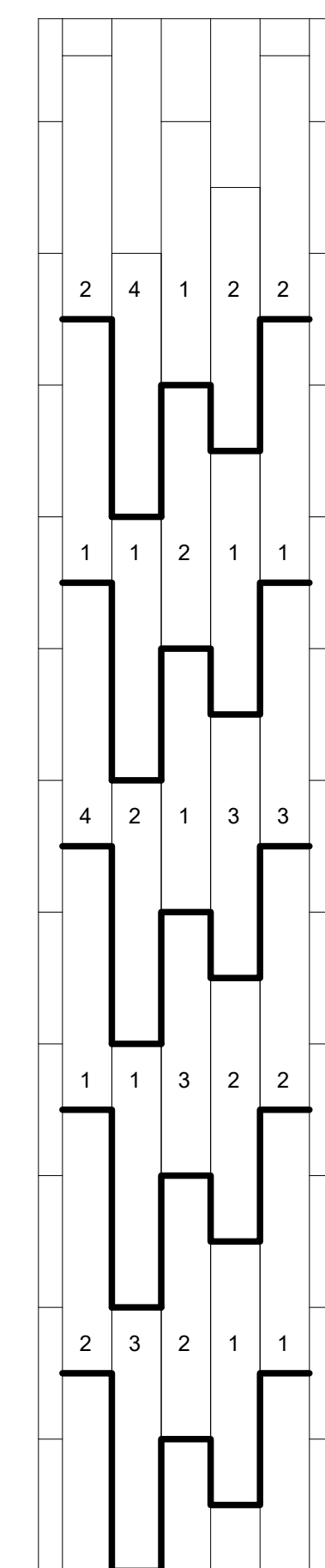
INSULATED METAL PANEL
SPANDREL GLASS - IG
VISION GLASS - IG
CAST STONE



WEST ELEVATION

NOTES:

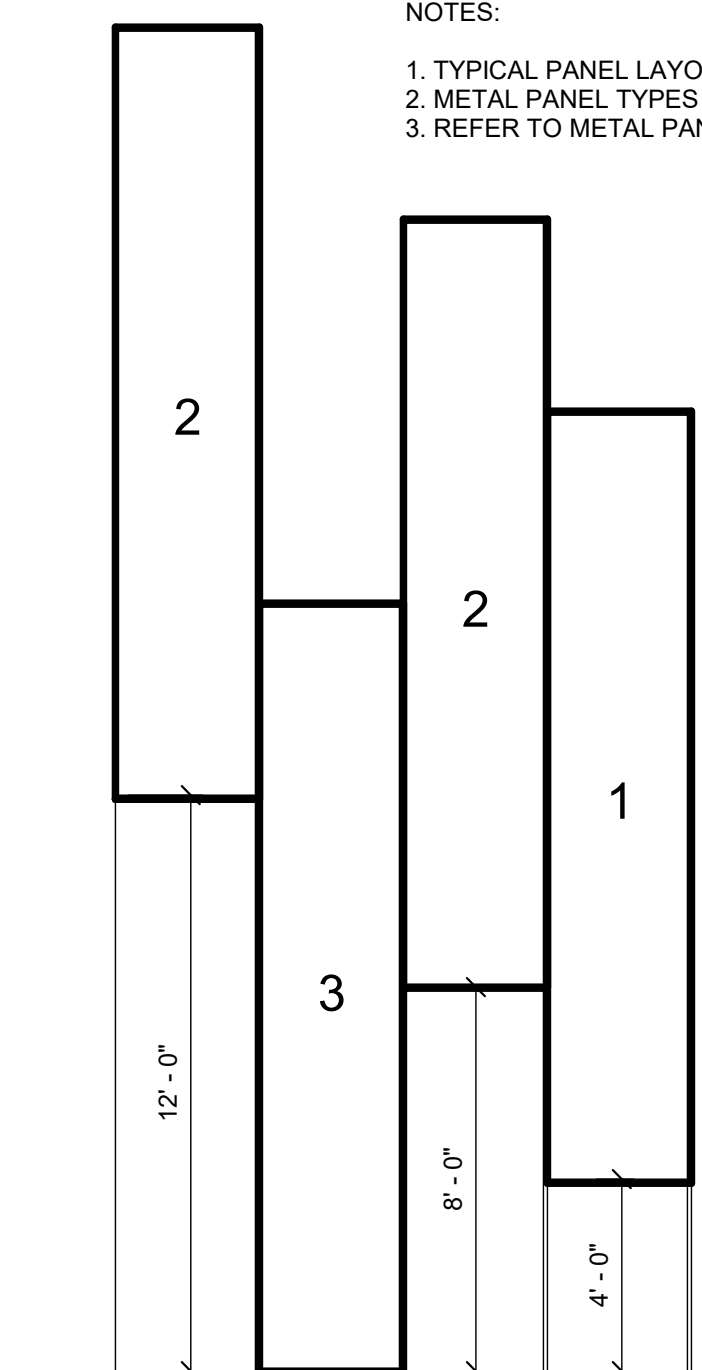
1. REFER TO THIS SHEET FOR METAL PANEL TYPES
2. REFER TO ELEVATIONS FOR ATYPICAL PANELS AND CORNER DIMS



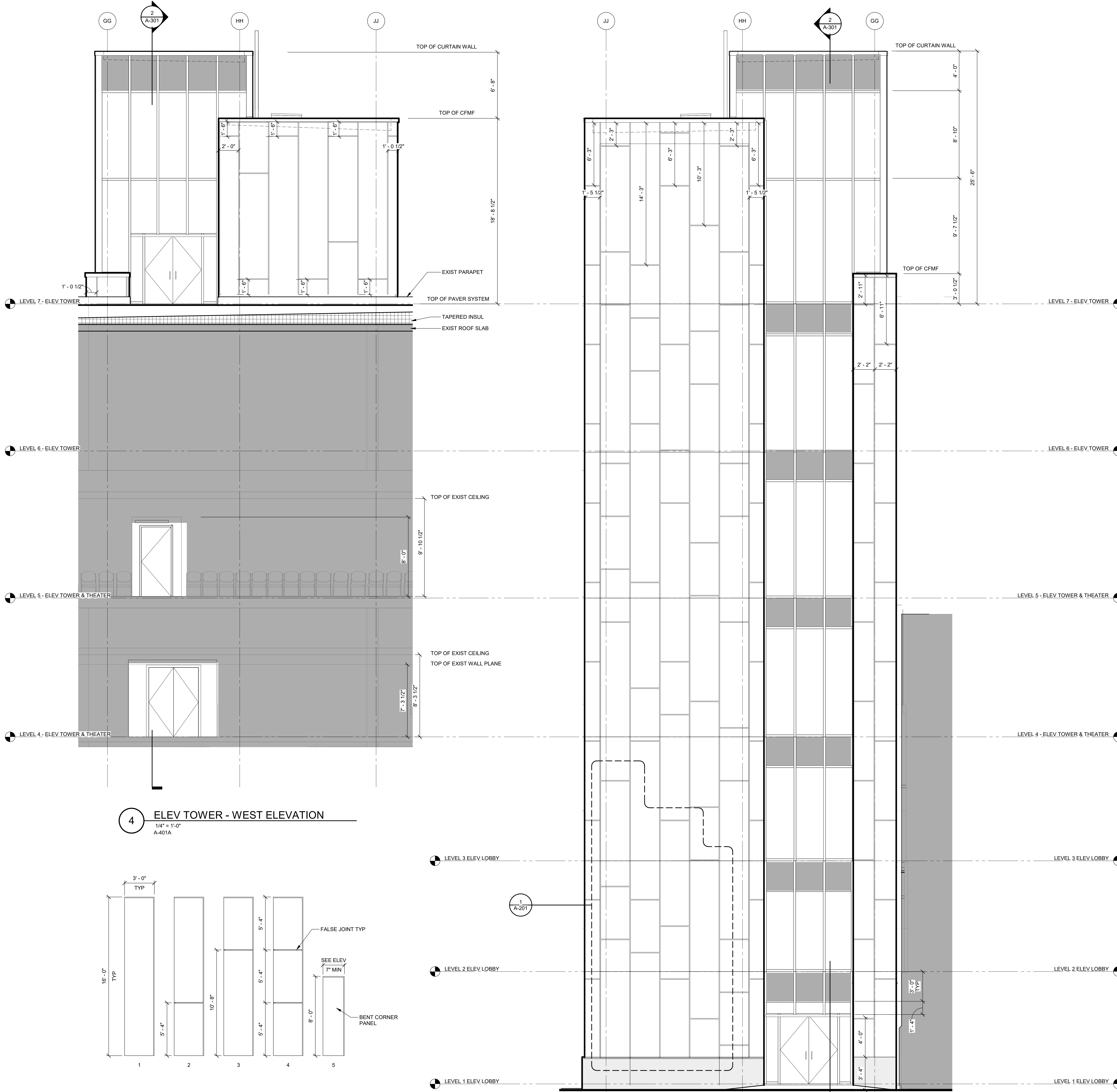
EAST ELEVATION

5 PANEL LAYOUT KEY PLAN
1" = 10'-0"

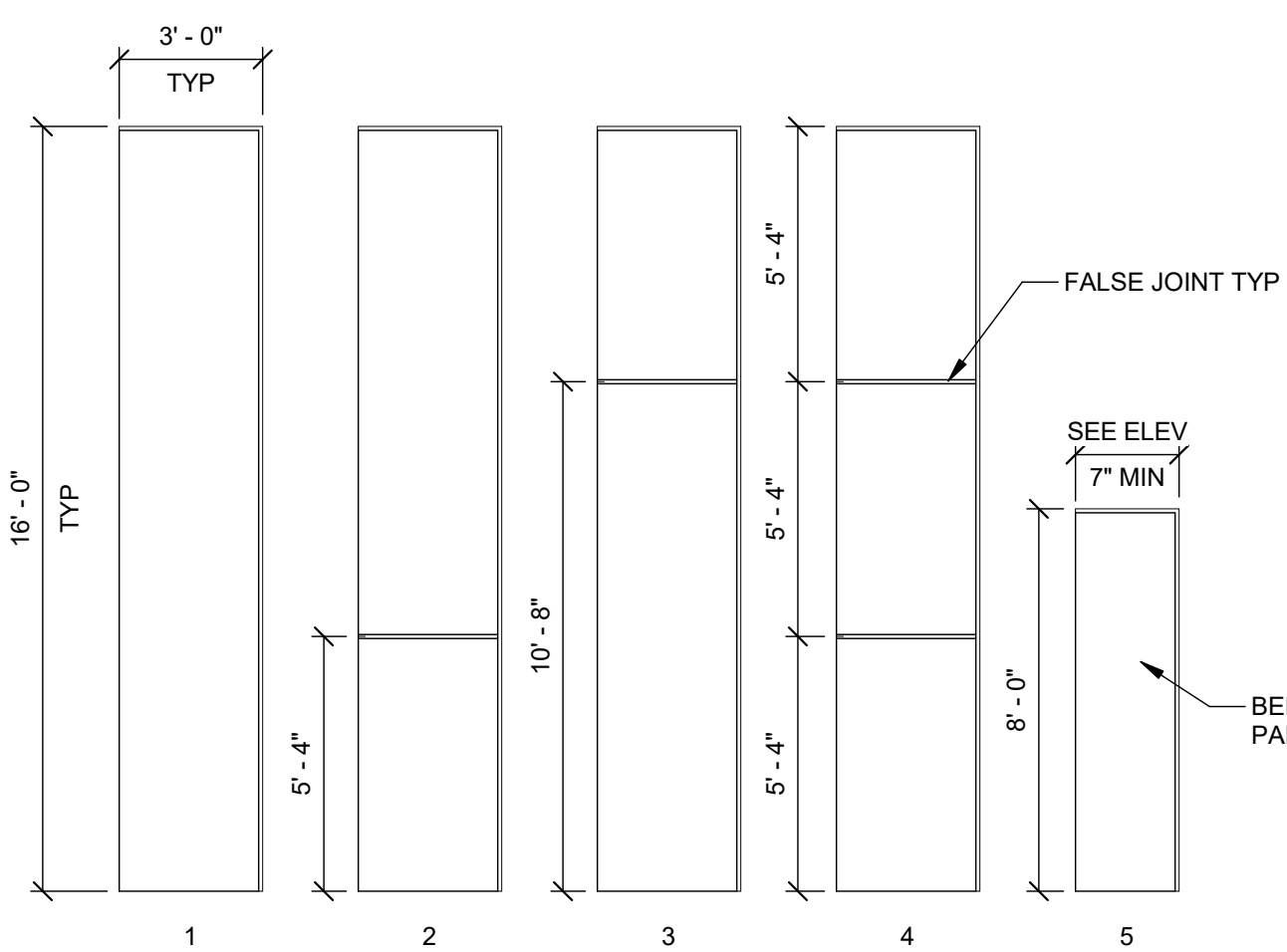
- NOTES:
1. TYPICAL PANEL LAYOUT REPEATS UNO
 2. METAL PANEL TYPES DIFFER IN EACH PANEL LAYOUT
 3. REFER TO METAL PANEL TYPES FOR DIMS



1 TYPICAL PANEL LAYOUT
1/4" = 1'-0"
A-201



4 ELEV TOWER - WEST ELEVATION
1/4" = 1'-0"
A-401A



3 METAL PANEL TYPES
1/4" = 1'-0"

2 ELEV TOWER - EAST ELEVATION
1/4" = 1'-0"
A-401

1 A-201

LEVEL 3 ELEV LOBBY

LEVEL 2 ELEV LOBBY

LEVEL 1 ELEV LOBBY

LEVEL 7 - ELEV TOWER

LEVEL 6 - ELEV TOWER

LEVEL 5 - ELEV TOWER & THEATER

LEVEL 4 - ELEV TOWER & THEATER

LEVEL 7 - ELEV TOWER

LEVEL 6 - ELEV TOWER

LEVEL 5 - ELEV TOWER & THEATER

LEVEL 4 - ELEV TOWER & THEATER

LEVEL 3 ELEV LOBBY

LEVEL 2 ELEV LOBBY

LEVEL 1 ELEV LOBBY

1 A-201

1 A-201



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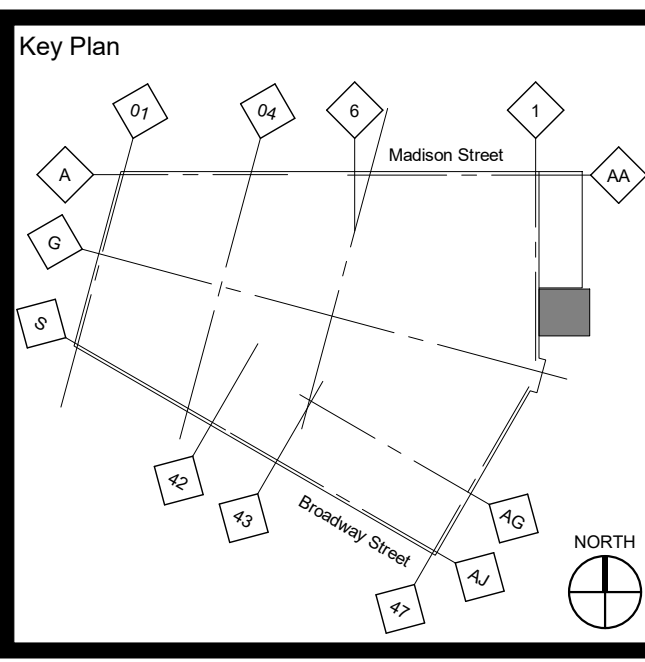
Issue History

No.	Description	Date
201	HDC REVIEW	01/20/21
	OWNER REVIEW	03/06/20

Refer To Sheet Index For Complete Issue History

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**MICHIGAN
OPERA
THEATRE**
Detroit Opera House Renovation -
Phase 1A
Detroit, MI

In Charge Z. TOLBERT
Designed ZAT
Drawn By AD
Checked Checker
Approved Approver Date 01/20/21
Sheet Title

**ELEVATOR TOWER -
ELEVATIONS**
Job No. 08022-D0 Sheet No. A-201A

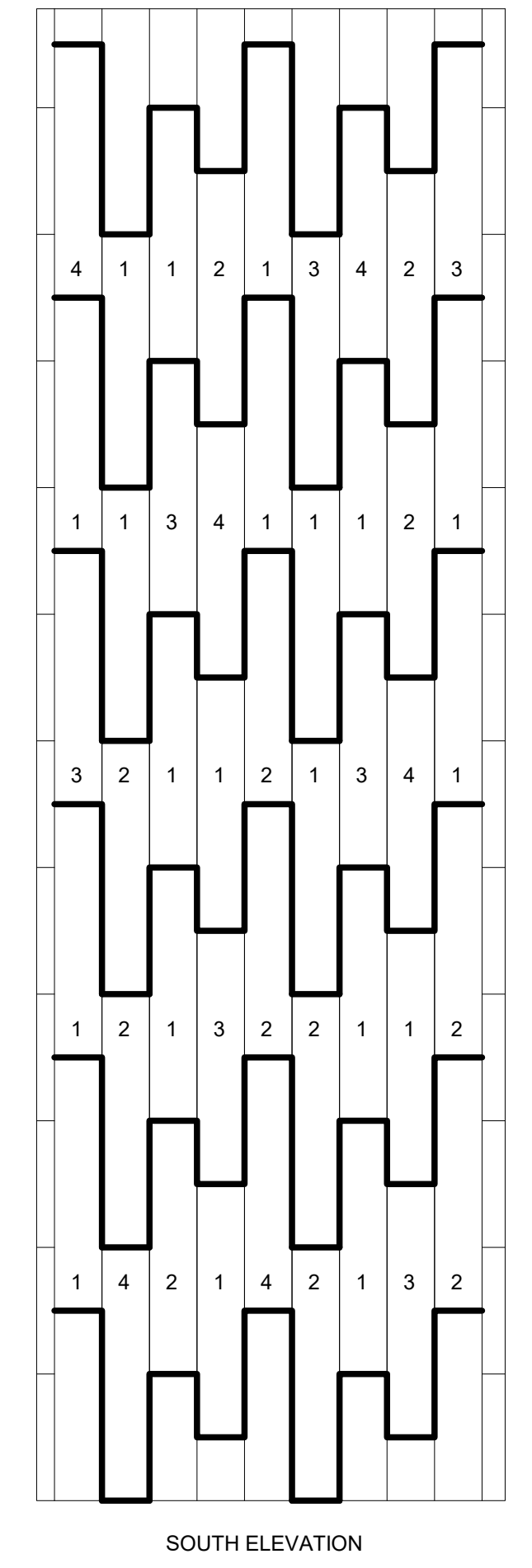
GENERAL NOTES:

TYP PANEL DIMENSIONS AND PLACE ARE INDICATED AT ENLARGED ELEV A-201/3 UNO

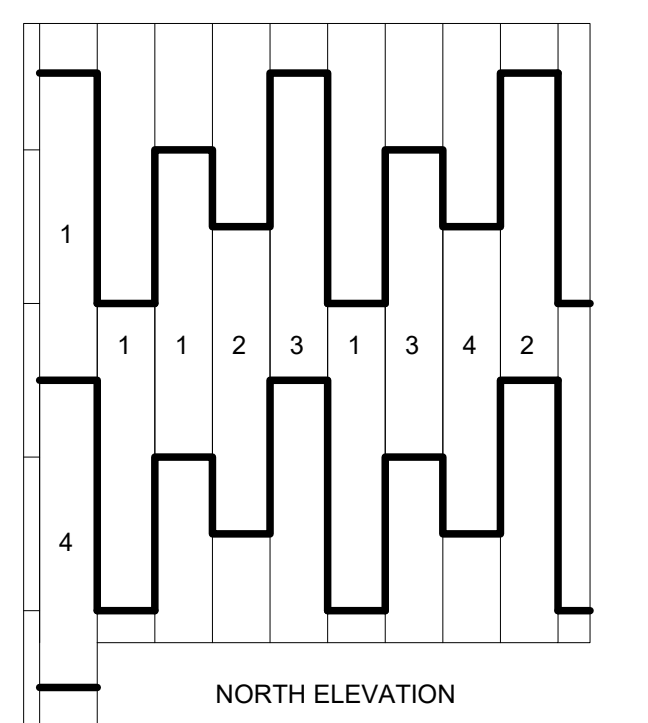
NOTES:

ELEVATION LEGEND	
	SPANDREL GLASS - IG - 2
	VISION GLASS - IG - 1
	CAST STONE

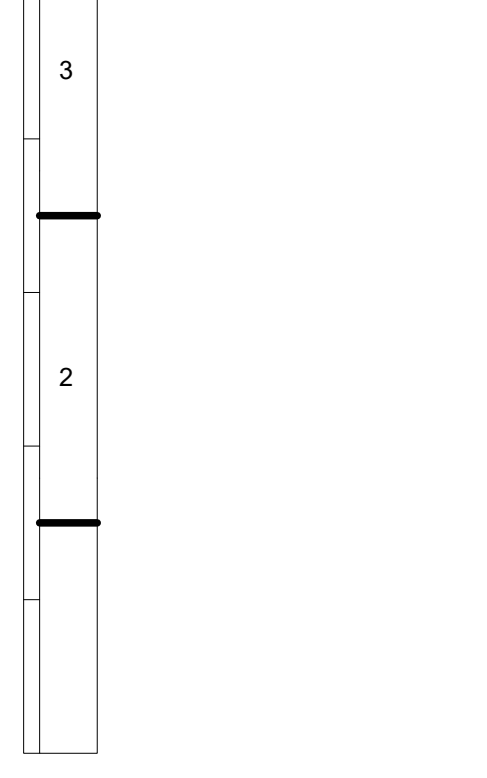
MATERIALS:
INSULATED METAL PANEL
SPANDREL GLASS - IG
VISION GLASS - IG
CAST STONE



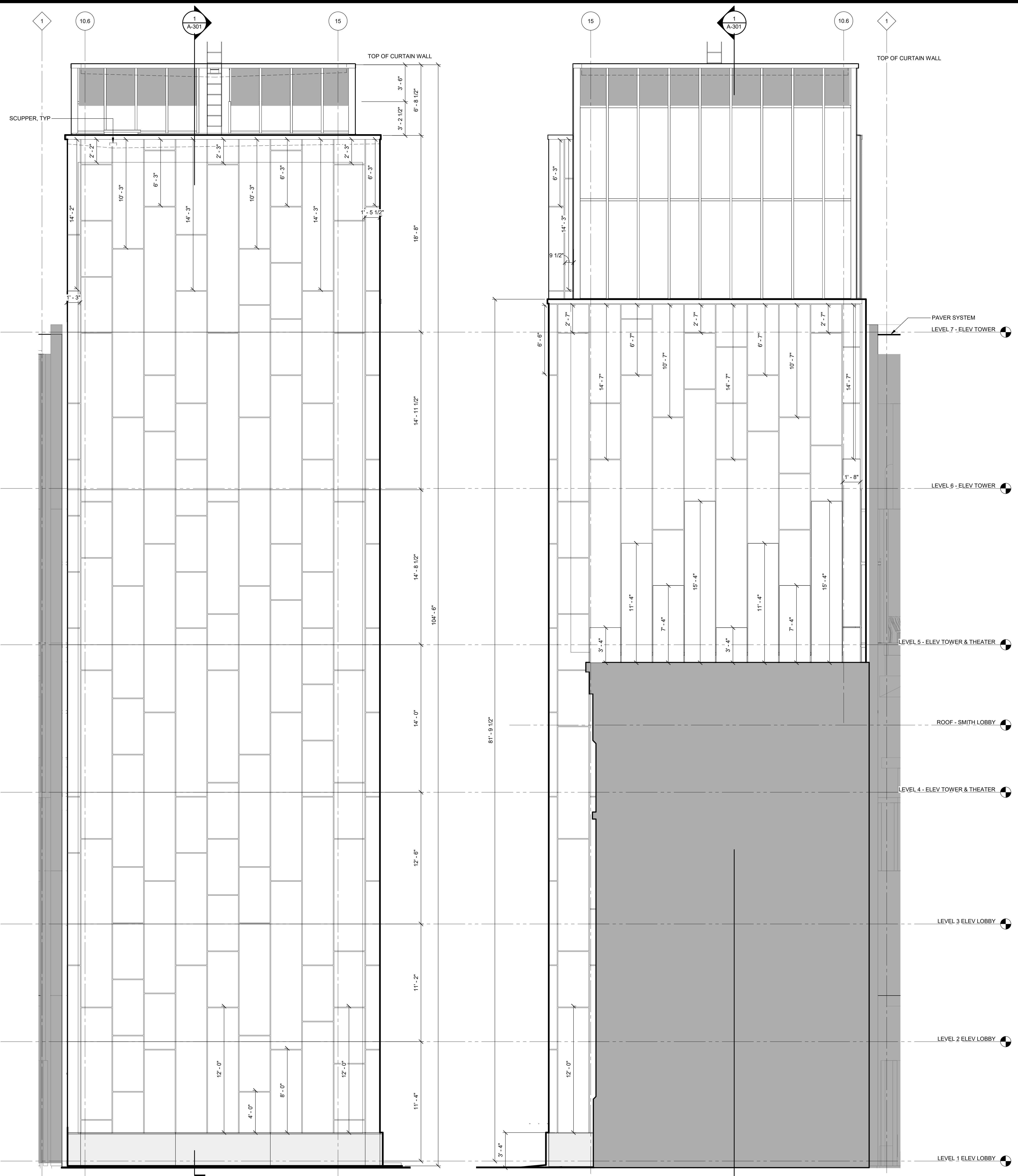
- NOTES:**
- REFER TO SHEET A-201 FOR METAL PANEL TYPES
 - REFER TO ELEVATIONS FOR ATYPICAL PANELS AND CORNER DIMS



NORTH ELEVATION



SOUTH ELEVATION



1 ELEV TOWER - SOUTH ELEVATION
1/4" = 1'-0"
A-401

2 ELEV TOWER - NORTH ELEVATION
1/4" = 1'-0"
A-401

3 PANEL LAYOUT KEY PLAN
1" = 10'-0"

Issue History

No.	Description	Date
001	HDC REVIEW	01/20/21
	OWNER REVIEW	03/06/20

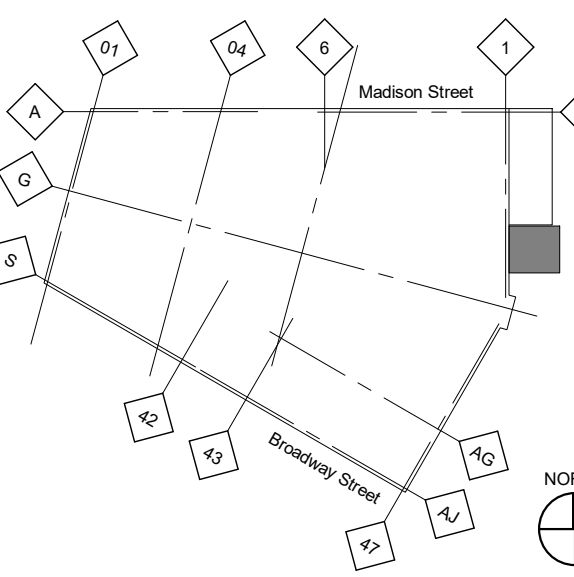
Refer To Sheet Index For Complete Issue History

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Key Plan



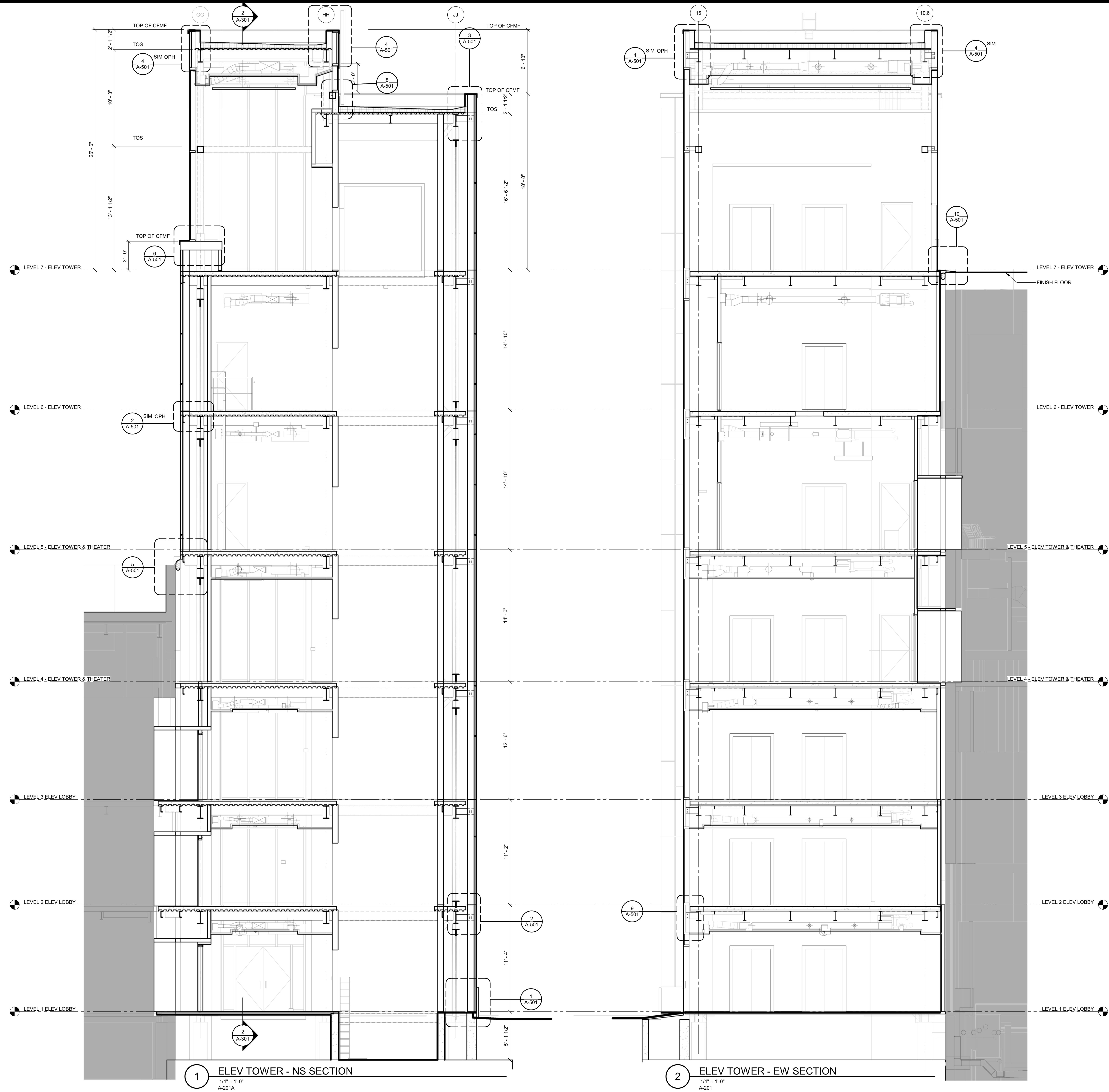
MICHIGAN OPERA THEATRE

Detroit Opera House Renovation - Phase 1A
Detroit, MI

In Charge Z. TOLBERT
Designed ZAT
Drawn By AD
Checked Checker
Approved Approver Date 01/20/21
Sheet Title

ELEVATOR TOWER SECTIONS

Job No. 08022-D0 Sheet No. A-301



1 ELEV TOWER - NS SECTION
1/4" = 1'-0"
A-201A

2 ELEV TOWER - EW SECTION
1/4" = 1'-0"
A-201



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Detroit, Michigan 48202-3000

Issue History

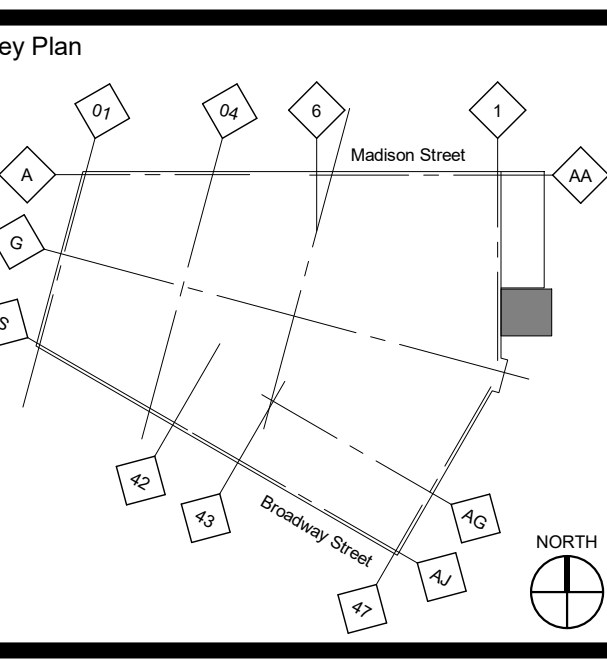
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Refer To Sheet Index For Complete Issue History

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Detroit Opera House Renovation - Phase 1A
Detroit, MI

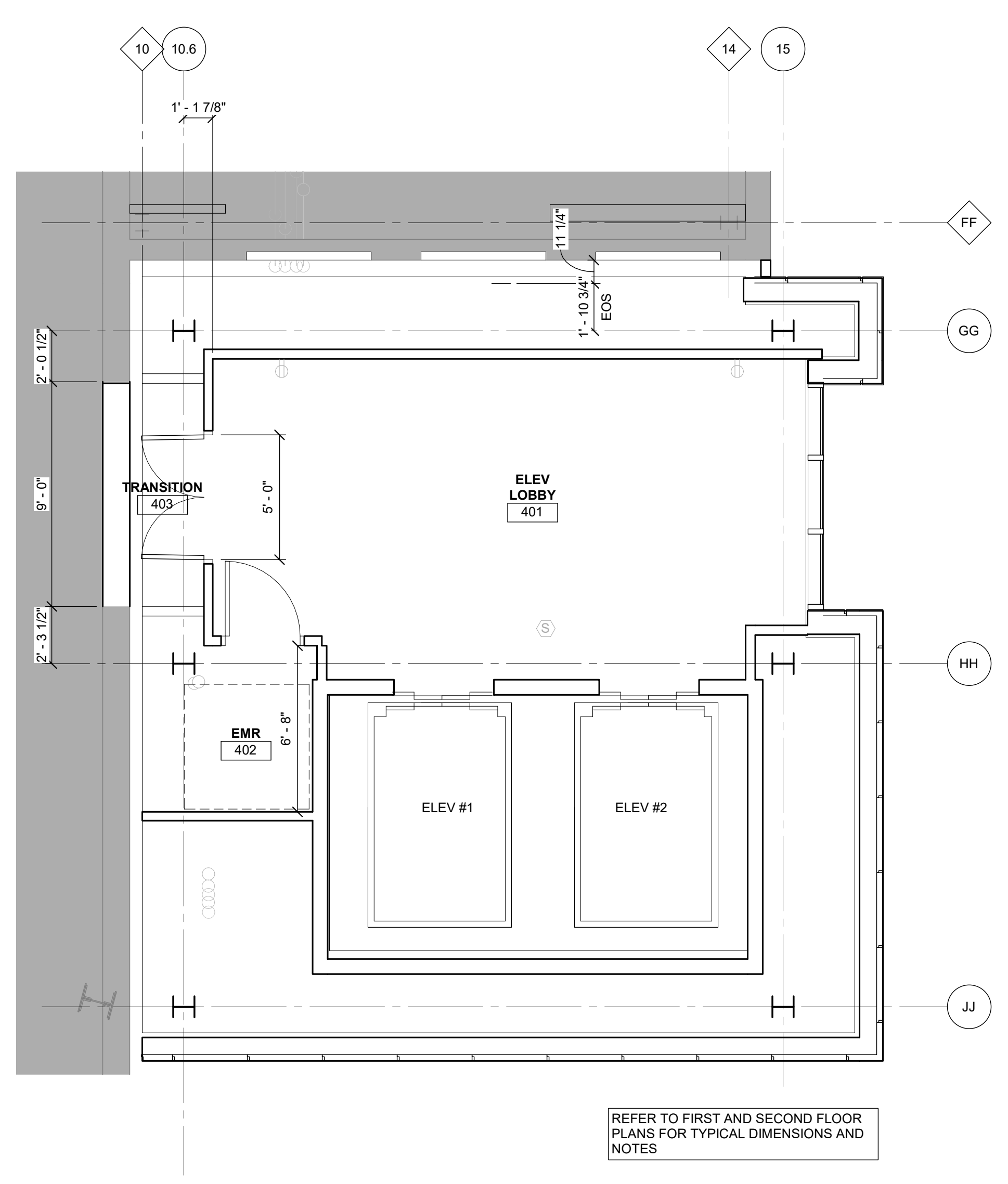
In Charge Z. TOLBERT
Designed ZAT
Drawn By AD
Checked Checker
Approved Approver Date 01/20/21
Sheet Title

ELEVATOR TOWER PLANS

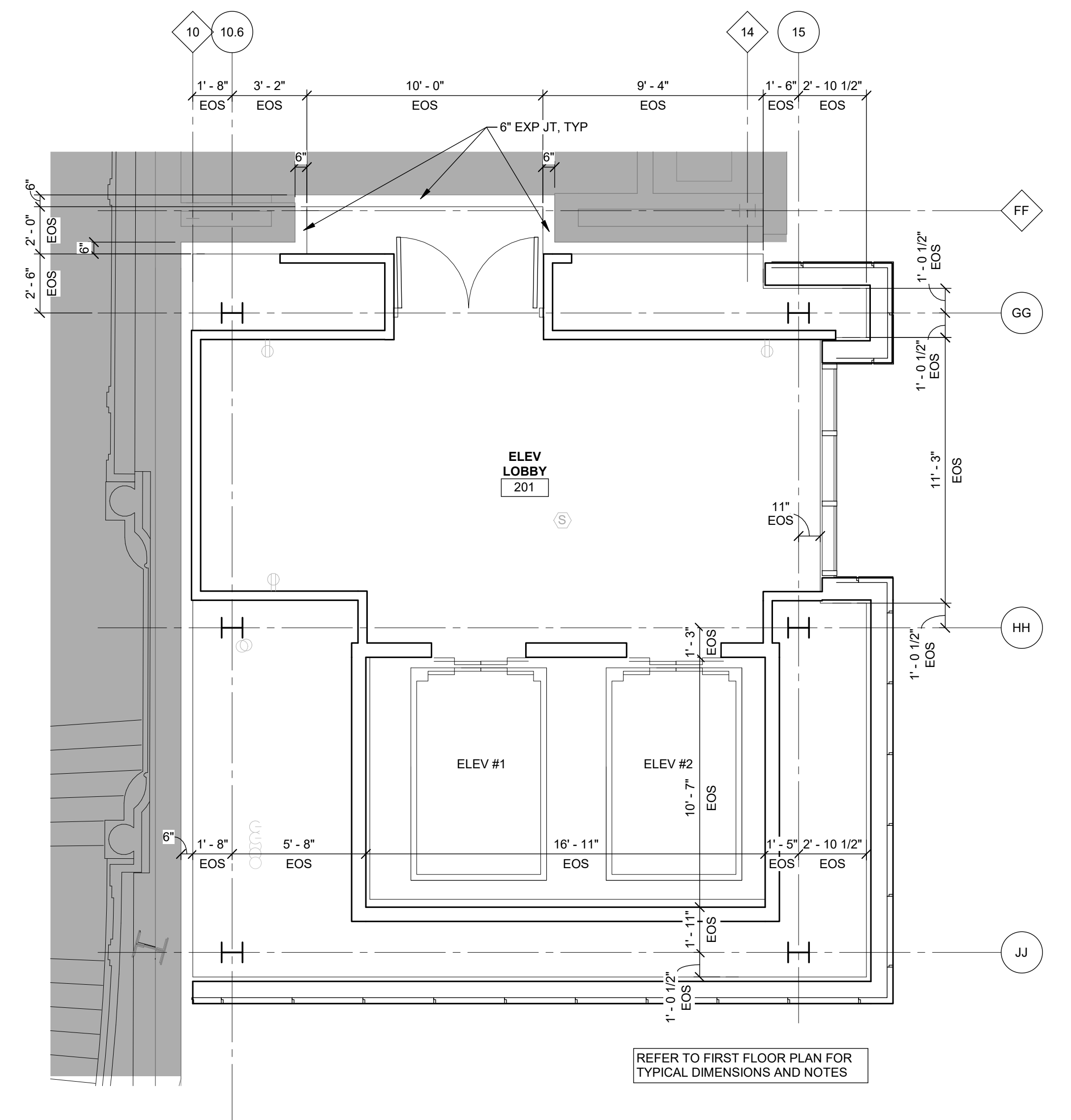
Job No. 08022-D0 Sheet No. A-401

GENERAL NOTES:
EOS INDICATED EDGE OF STEEL

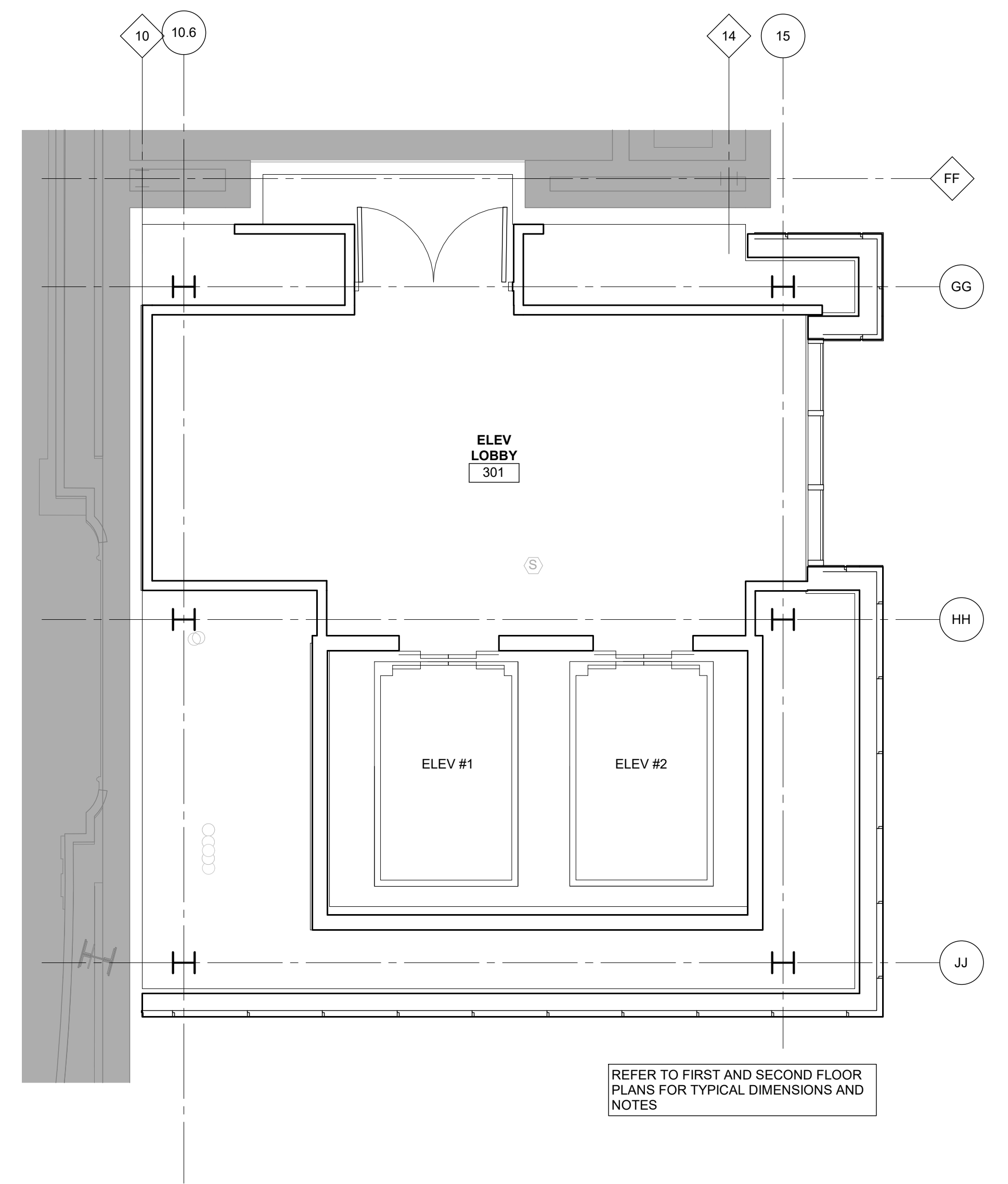
NOTES:
PLACEHOLDER



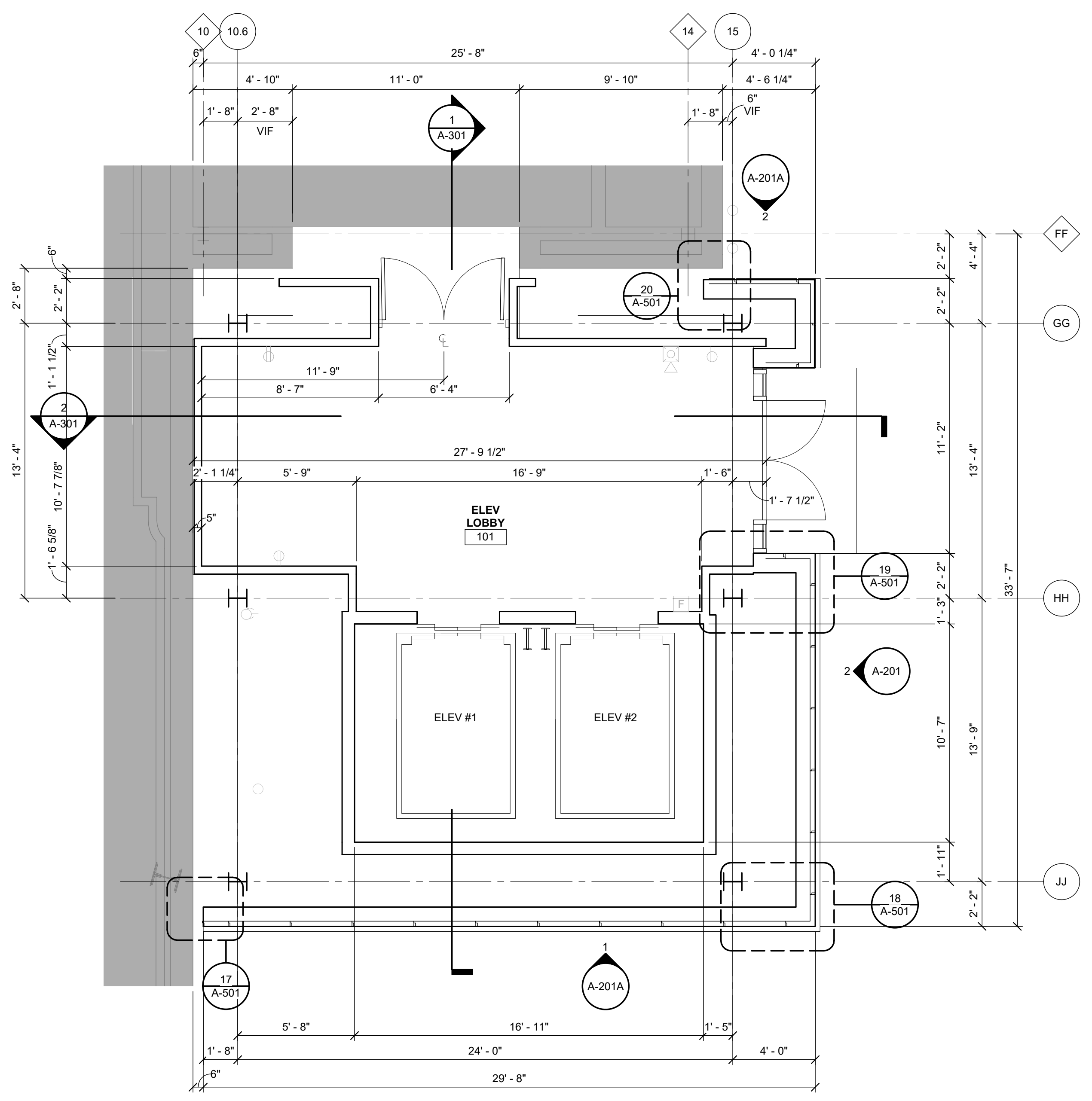
4 ELEV TOWER - FOURTH FLOOR PLAN
1/4" = 1'-0"
A-104



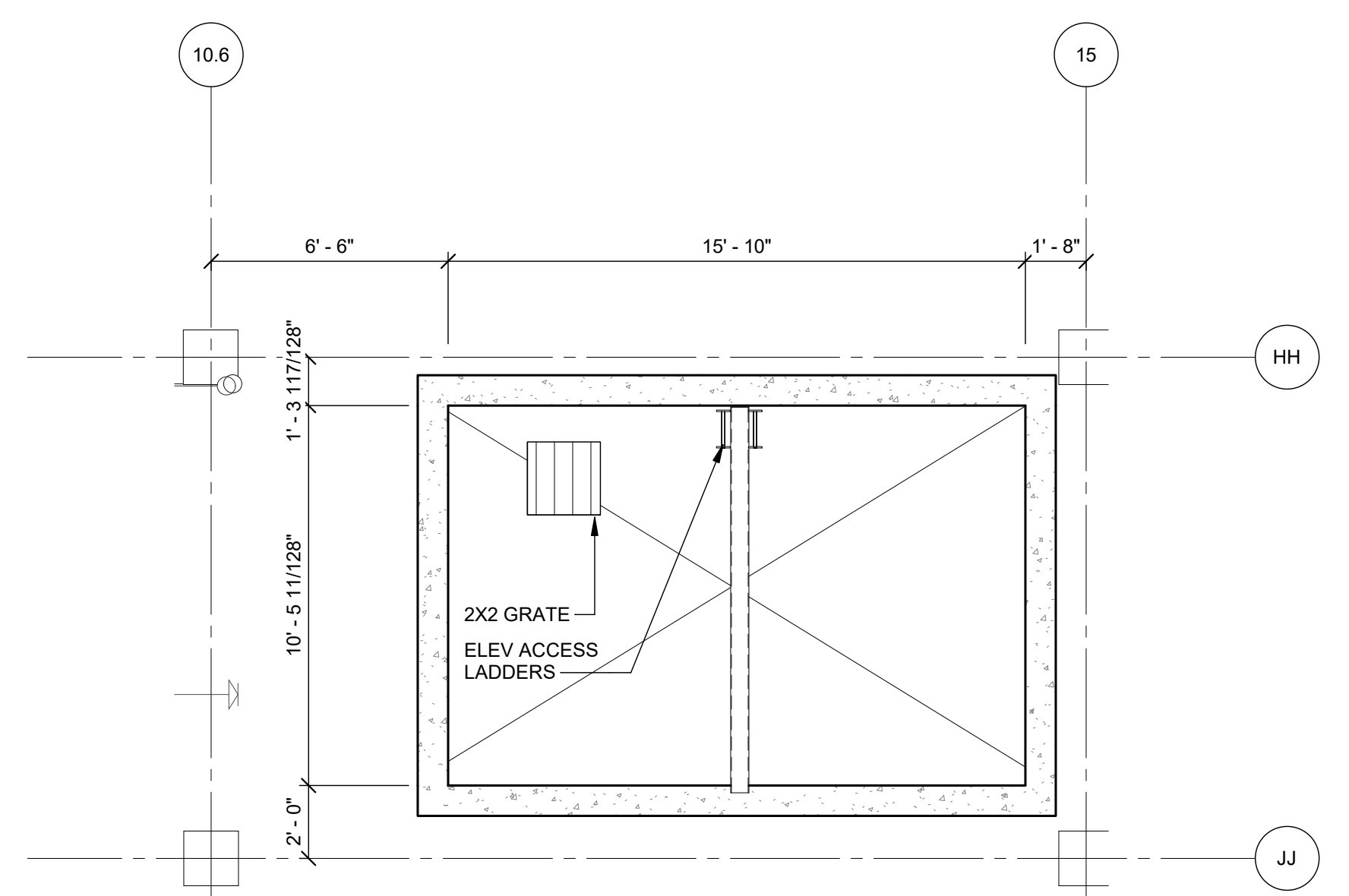
2 ELEV TOWER - SECOND FLOOR PLAN
1/4" = 1'-0"
A-102



3 ELEV TOWER - THIRD FLOOR PLAN
1/4" = 1'-0"
A-103



1 ELEV TOWER - FIRST FLOOR PLAN
1/4" = 1'-0"
A-101



1A ELEVATOR PIT
1/4" = 1'-0"

REFER TO FIRST AND SECOND FLOOR PLANS FOR TYPICAL DIMENSIONS AND NOTES

REFER TO FIRST FLOOR PLAN FOR TYPICAL DIMENSIONS AND NOTES

REFER TO FIRST AND SECOND FLOOR PLANS FOR TYPICAL DIMENSIONS AND NOTES



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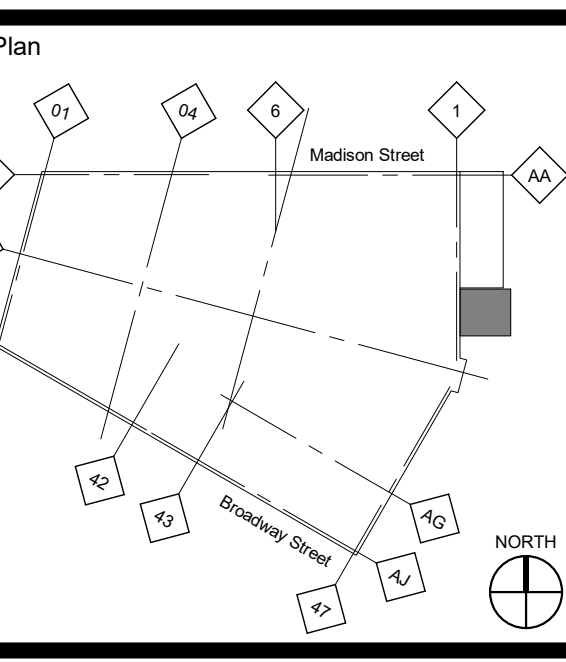
Issue History

No.	Description	Date
201	HDC REVIEW	01/20/21
	OWNER REVIEW	03/06/20

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Detroit Opera House Renovation - Phase 1A
Detroit, MI

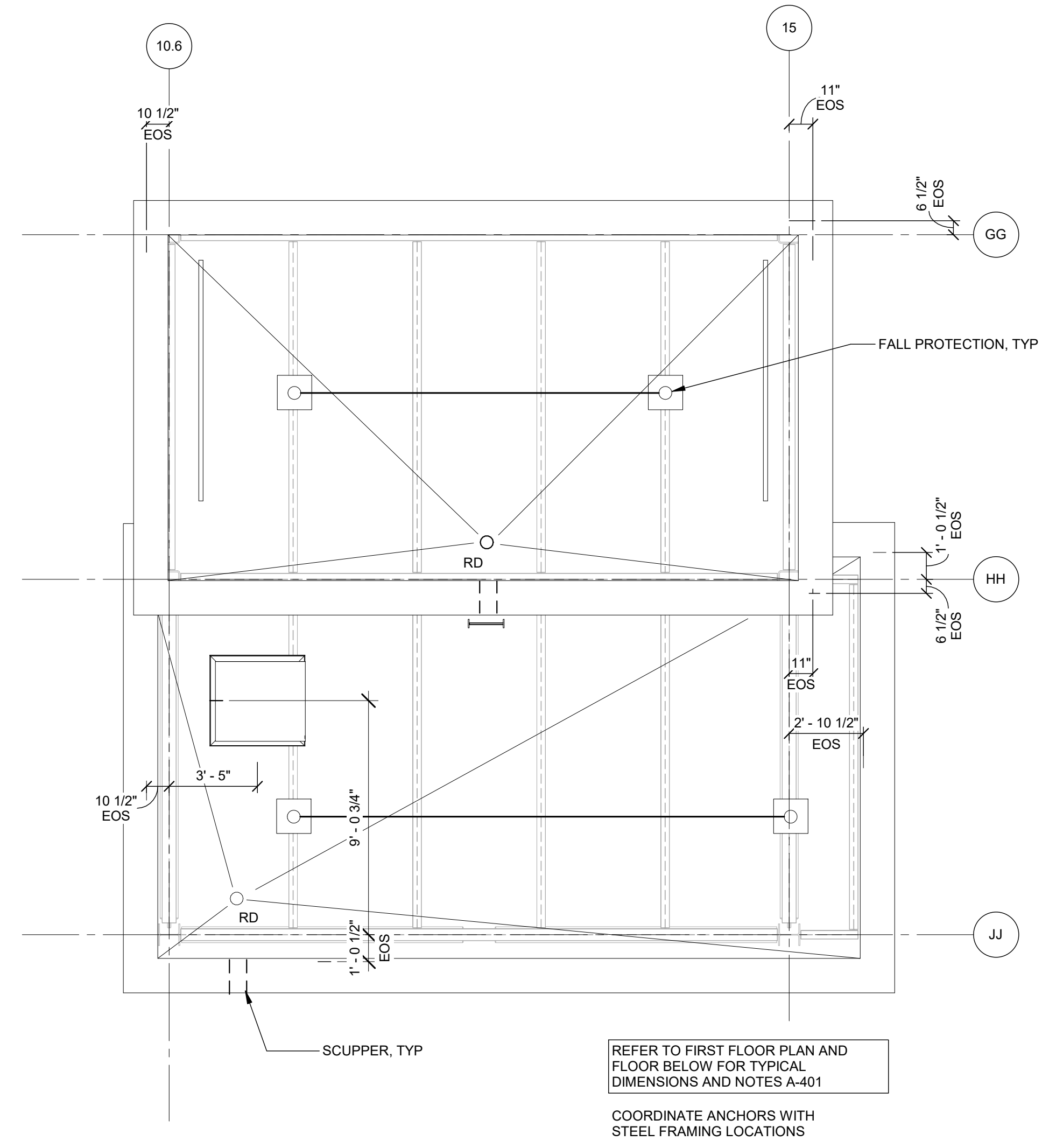
In Charge	Z. TOLBERT
Designed	ZAT
Drawn By	AD
Checked	Checker
Approved	Approver
Sheet Title	Date 01/20/21

ELEVATOR TOWER PLANS

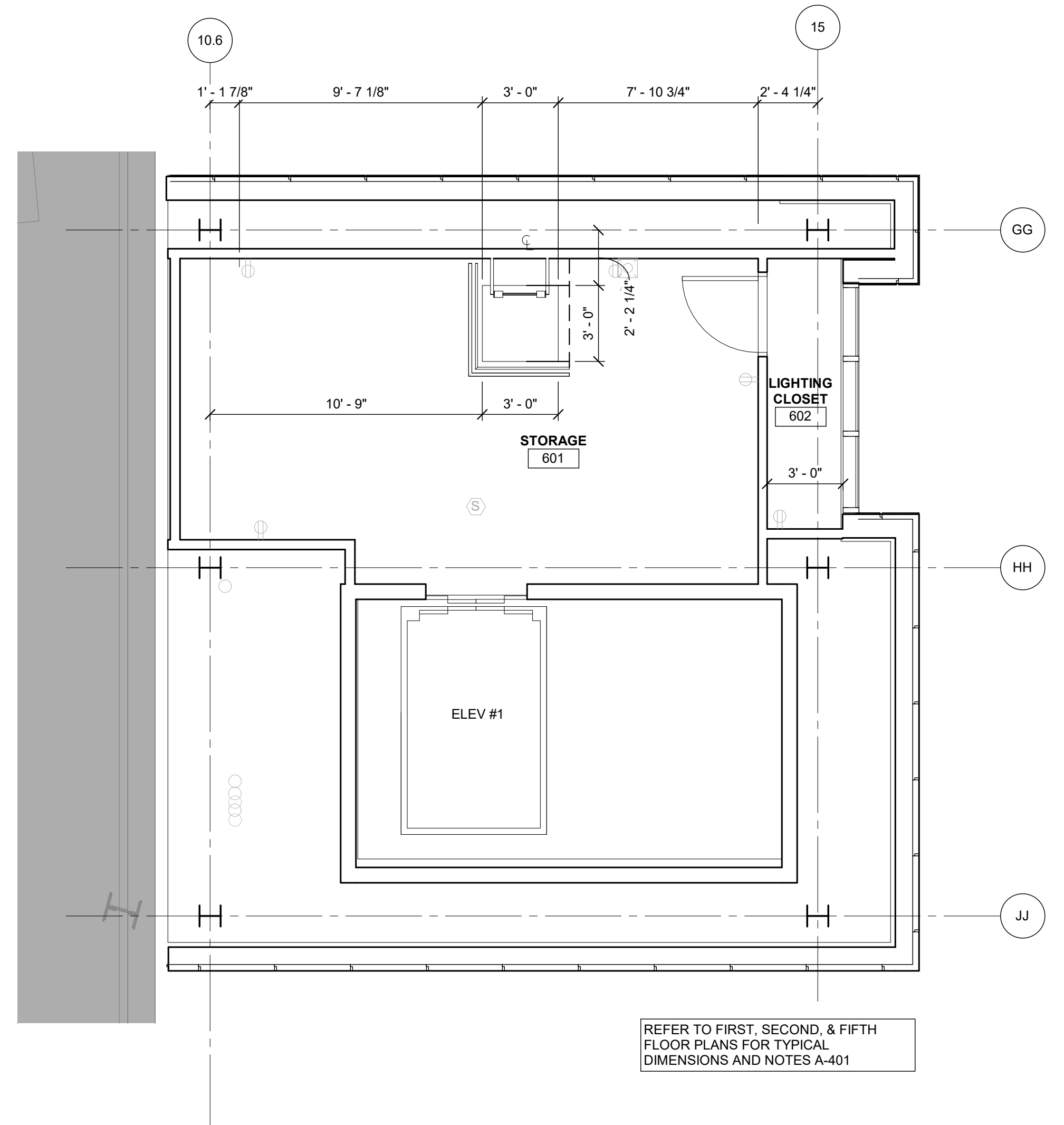
Job No. 08022-D0 Sheet No. A-401A

GENERAL NOTES:
PLACEHOLDER

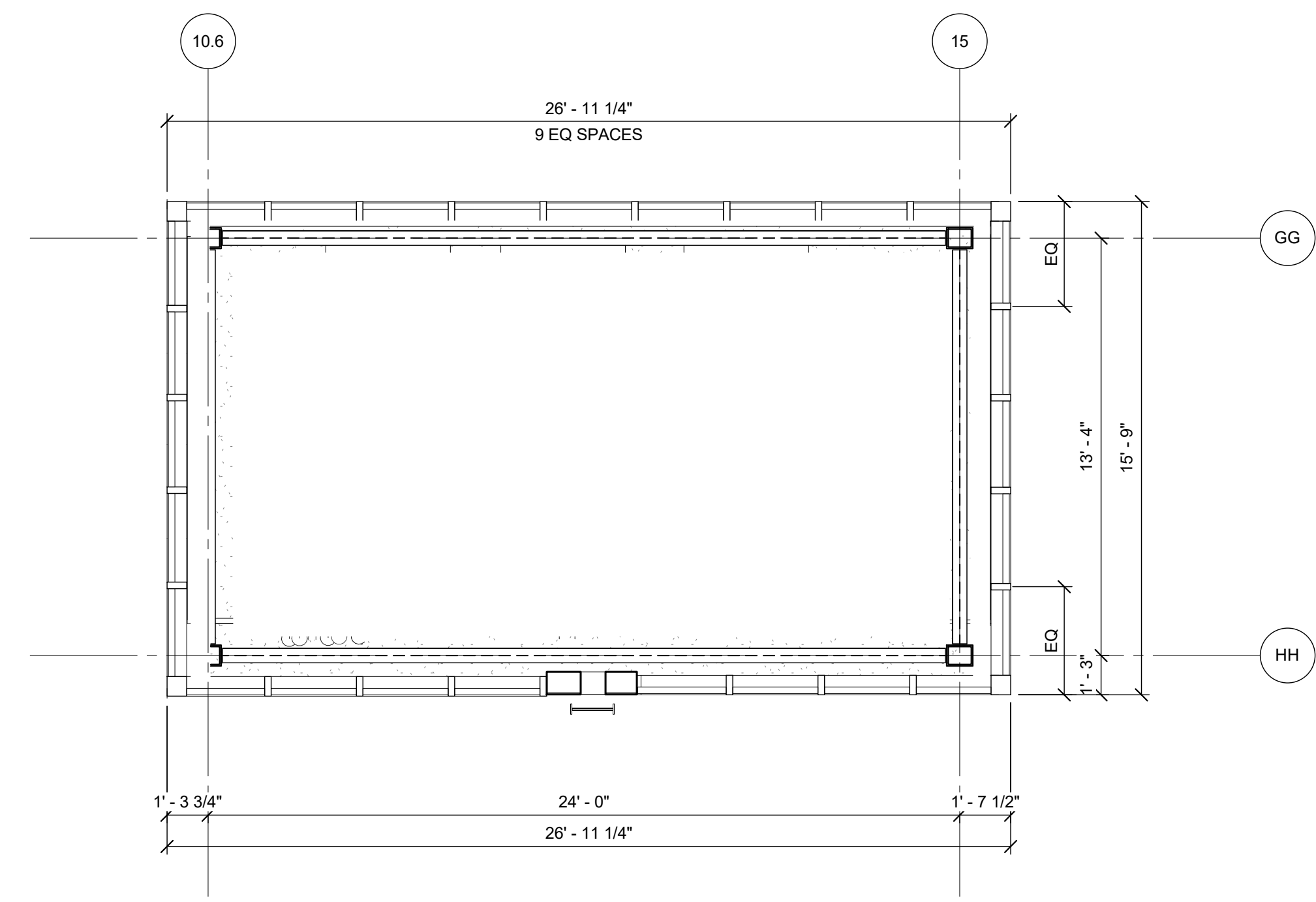
NOTES:
PLACEHOLDER



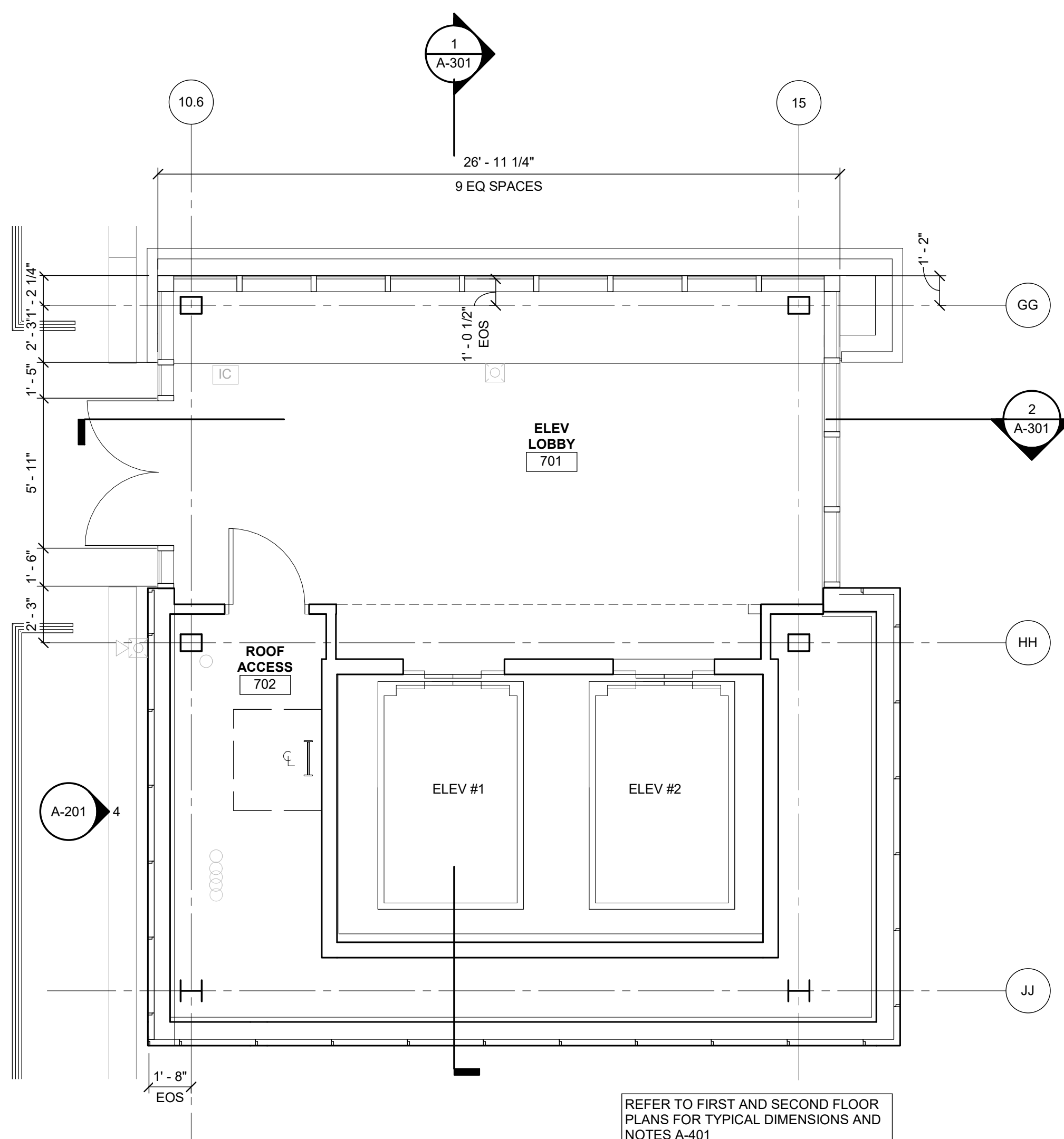
4 ELEV TOWER - ROOF PLAN
1/4" = 1'-0"
A-108



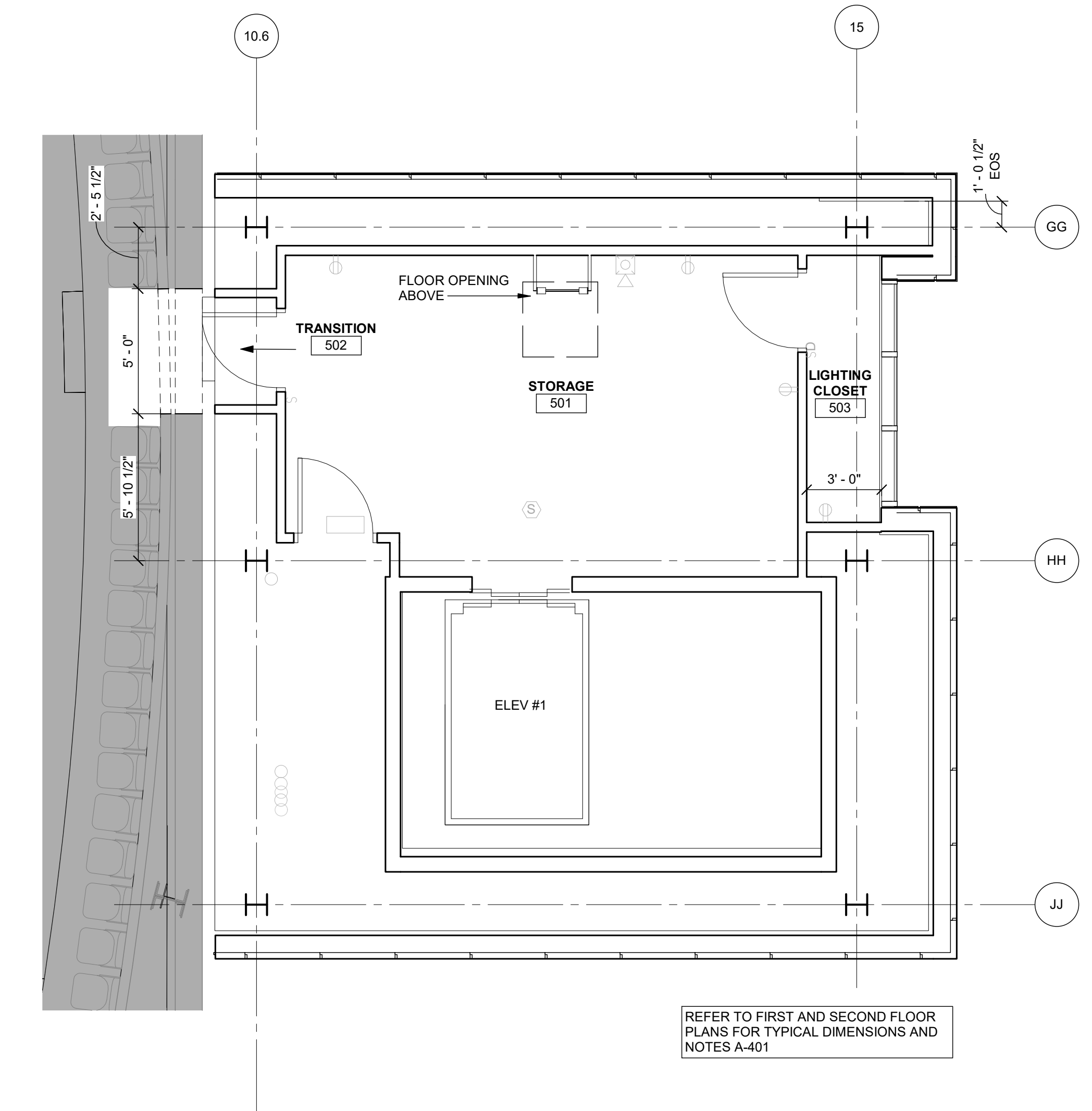
2 ELEV TOWER - SIXTH FLOOR PLAN
1/4" = 1'-0"
A-108



5 ELEV TOWER - CLERESTORY PLAN
1/4" = 1'-0"



3 ELEV TOWER - SEVENTH FLOOR PLAN
1/4" = 1'-0"
A-107



1 ELEV TOWER - FIFTH FLOOR PLAN
1/4" = 1'-0"
A-105



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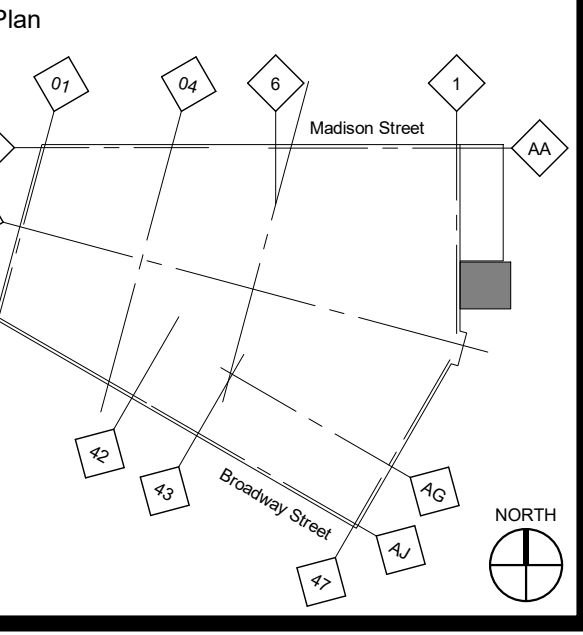
Issue History

No.	Description	Date
201	HDC REVIEW	01/20/21
	OWNER REVIEW	03/06/20

No.	Description	Date

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Detroit, MI

In Charge Z. TOLBERT
Designed ZAT
Drawn By AD
Checked Checker
Approved Approver Date 01/20/21
Sheet Title

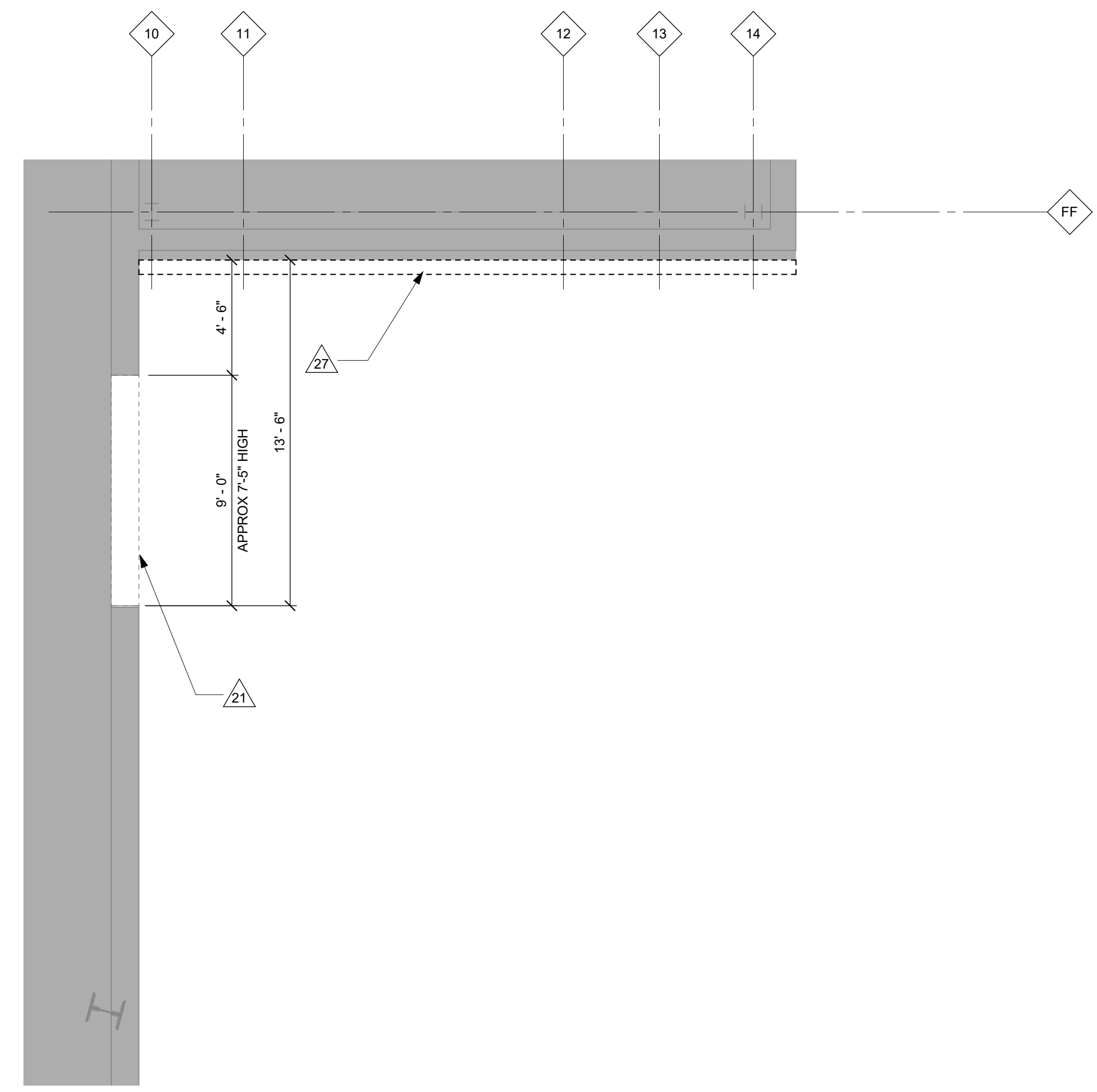
ELEVATOR TOWER DEMO PLAN
Job No. 08022-D0 Sheet No. AD-401

GENERAL DEMOLITION NOTES

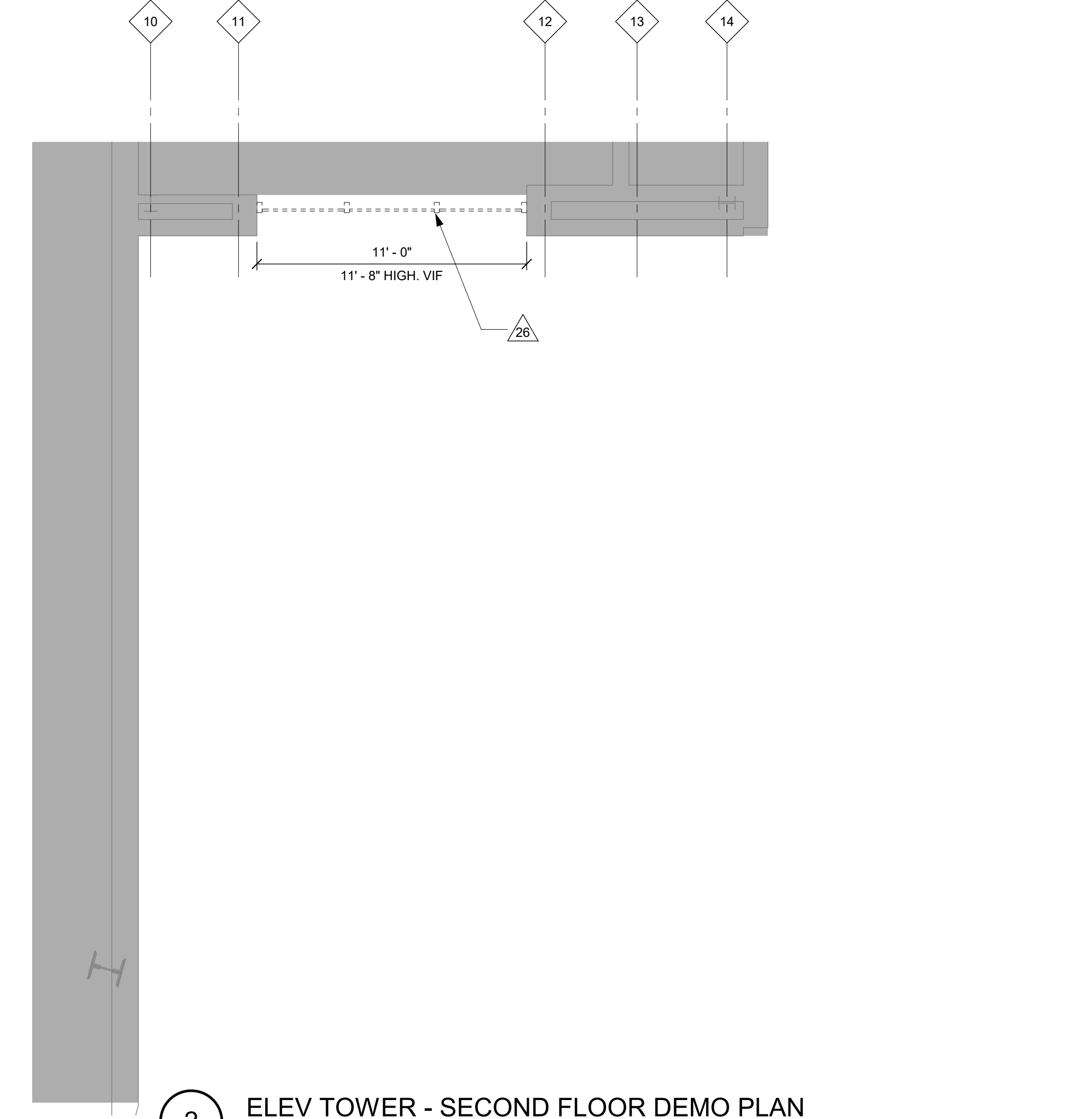
- REMOVE WALL CONSTRUCTION AND FLOOR CONSTRUCTION AS INDICATED BY DASHED LINES. ALSO REFER TO SHEET A-001.
- PROVIDE TEMPORARY BRACING AND/OR SUPPORT REED TO PREVENT DAMAGE TO OR FAILURE OF EXIST STRUCTURE.
- FIELD VERIFY EXACT LOCATION, SIZE, AND TYPE OF EXISTING UNDERGROUND UTILITIES SERVING EXISTING BUILDING. PROTECT EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.
- REMOVE THRESHOLDS, AT DEPRESSED THRESHOLDS AND FLOOR TRANSITIONS.
- FURNISH AND INSTALL FULL HT SMOKE TIGHT/SOUND CONTROL TEMPORARY PARTITIONS TO SEPARATE CONSTRUCTION FROM OCCUPIED AREAS. SEE PARTITION TYPE T1 ON AD-101. CONTRACTOR TO BUILD TYPE T1 PART WITH SHAFT WALL CONSTRUCTION WHEN ACCESS TO DEMO SIDE OF PLAN IS LIMITED. CONTRACTOR TO PROVIDE DOOR IN TEMP PARTN FOR ACCESS.
- NOT ALL CONDITIONS DESCRIBED IN THE FOLLOWING DEMOLITION NOTES OCCUR IN EACH AREA OF THE DEMOLITION. FIELD VERIFY EXISTING CONDITIONS AND MATERIALS OF EACH FLOOR AND AREA TO BE DEMOLISHED.
- DEMOLITION PLANS REPRESENT APPROXIMATE LOCATION OF EXISTING WALLS TO BE DEMOLISHED. FIELD VERIFY TYPE OF CONSTRUCTION AND HEIGHT OF WALLS. PLANS DO NOT NECESSARILY INDICATE ALL DEMO WALLS, COUNTERS, CLOSETS, SINKS, ETC. PRIOR TO DEMOLITION FIELD VERIFY THAT WALLS TO BE REMOVED DO NOT PROVIDE SUPPORT FOR EXISTING BUILDING ELEMENTS AND EXISTING CONSTRUCTION TO REMAIN. NOTIFY A/E IF DEMOLITION WALLS SUPPORT EXISTING BUILDING ELEMENTS.
- REMOVE ALL WALL COVERINGS ON EXISTING WALLS TO REMAIN THAT FACE AREAS OF DEMOLITION. REMOVAL SHALL INCLUDE ANY RESIDUAL MATERIAL AFTER DEMOTION, I.E. PIECES OF WALL COVERING OR BACKING. REMOVAL OF WALL COVERINGS IS TO BE DONE W/O DAMAGING THE EXISTING WALL SURFACE TO REMAIN.
- FIELD VERIFY THE PRESENCE OF MECHANICAL AND ELECTRICAL, PIPES, CONDUIT, ETC. IN ALL WALLS TO BE DEMOLISHED.
- VERIFY WITH CONSTRUCTION MANAGER TECHNICAL REPRESENTATIVE TO ACCESS THE DEMOLITION AREA, INGRESS AND EGRESS ROUTES FOR MATERIAL AND EQUIPMENT.
- PROTECT EXISTING ELEVATOR CABS FROM DAMAGE TO FLOOR, WALLS AND CEILINGS
- PROTECT EXISTING FLOORS, WALLS AND CORNERS TO REMAIN ALONG WORK ACCESS ROUTES.
- CONTAIN DUST AND DEBRIS WITHIN THE DEMOLITION AREA.
- DEMOLISH AND REMOVE CARPET, PAD, TACK STRIP, AND VINYL TILE. REMOVE ALL FLOOR MATERIALS INCLUSIVE OF SETTING BEDS, SUBFLOOR MATERIAL ETC. REMOVE MASTIC TO PROVIDE A CLEAN FLOOR THAT IS ACCEPTABLE TO THE SUBCONTRACTOR INSTALLING NEW FINISH MATERIAL.
- DEMOLISH AND REMOVE DOORS, VINYL BASE, CONDUIT, WIRING, CONVECTOR COVERS WITH SUPPORT FRAMING, DUPLEXES, TELEPHONE OUTLETS, CABLES, SHELVING, METAL STUD AND GYPSUM BOARD WALLS, CLOSETS, CABINETS, FILES, COUNTERS, WOOD MOLDING, SHELVES AND ENCLOSURES WHERE APPLICABLE.
- DEMOLISH AND REMOVE SUSPENDED ACOUSTIC LAY-IN OR SPLINE CEILING INCLUSIVE OF HANGERS AND CARRYING CHANNELS, WIRES, CABLES, CONDUIT, ADHERED CEILING TILES, FLEX CONDUIT, ELECTRICAL BOXES, SMOKE DETECTORS, LIGHT FIXTURES AND WIRING, DUCT WORK, PIPING AND SUPPORT HANGERS. CUT HANGERS FLUSH.
- CONTRACTOR SHALL ASSIST IN COORDINATING THE IDENTIFICATION OF UTILITIES TO REMAIN.
- DEMOLITION FOR THE FLOOR AREAS SHALL ENCOMPASS THE SPACE FROM THE TOP OF THE CONCRETE FLOOR TO THE UNDERSIDE OF THE EXISTING INTERSTITIAL STRUCTURE ABOVE UNLESS NOTED OTHERWISE.
- ALL DEMOLITION MATERIALS AND DEBRIS SHALL BE DISPOSED OF ACCORDING TO FEDERAL STATE AND LOCAL REGULATIONS.
- CONTRACTOR SHALL PERFORM WORK IN A MANNER THAT DOES NOT DAMAGE THE EXISTING STRUCTURE. DEMOLITION SHALL NOT COMPRISE THE STRUCTURAL INTEGRITY OF ANY WALLS, FLOORS, VEILINGS, SUPPORTS, STRUCTURE, ETC TO REMAIN.
- AT LOCATIONS WHERE EXISTING WALLS ARE TO BE REMOVED NEAR EXISTING WALLS TO REMAIN, PERFORM DEMOLITION WITHOUT DISTURBING EXISTING ELEMENTS TO REMAIN. WALLS TO REMAIN SHALL BE INTACT AND HAVE A NEAT SURFACE WITH NO PROJECTIONS GREATER THAN 1/2" FROM THE FACE OF WALL
- REMOVE EXISTING ROOF CURB REFER TO MECH DWGS

DEMOLITION KEYNOTES

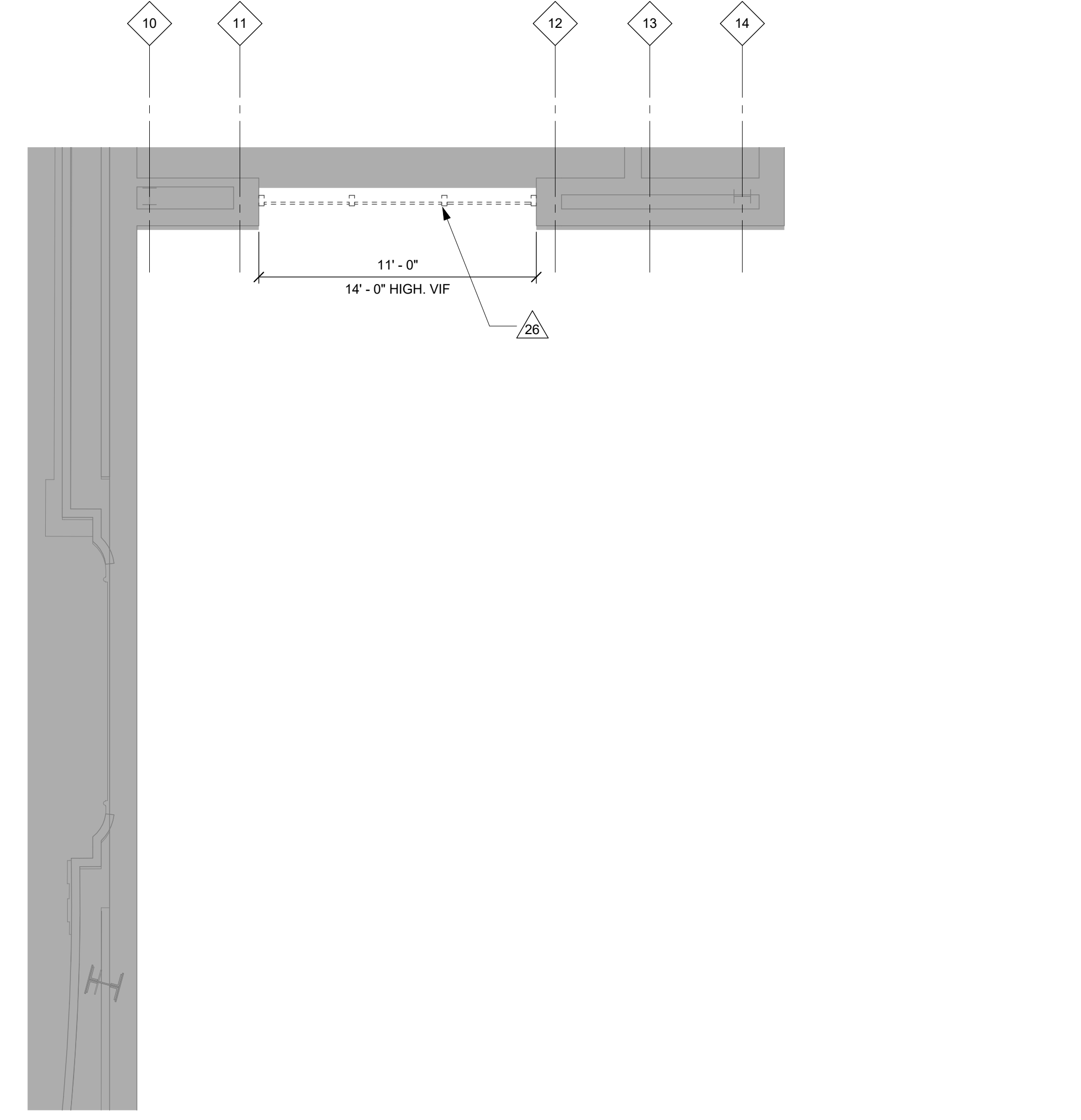
- 1 REMOVE BOTTOM PORTION OF WALL
- 2 REMOVE EXISTING PIPE
- 3 REMOVE EXISTING LOUVER
- 4 REMOVE EXIST STRUCTURAL SUPPORT AND ASSOCIATED CATWALK
- 5 REMOVE EXIST PAVERS, GRAVEL, ROOFING, INSULATION, AND CINDER FILL TO STRUCTURAL SLAB
- 6 REMOVE EXIST PARAPET
- 7 REMOVE EXIST SLAB AND FOUNDATION
- 8 REMOVE EXIST DOOR
- 9 REMOVE EXIST EXTERIOR DOOR HANDLE, AND REWORK DOOR
- 10 REMOVE SCREEN WALL
- 11 REMOVE STORAGE ENCLOSURE
- 12 REMOVE BLEACHERS
- 13 REMOVE PORTION OF CEILING AS REQUIRED TO COMPLETE NEW WORK
- 14 REMOVE EXISTING GUARD RAIL, SALVAGE FOR REUSE
- 15 "NOT USED"
- 16 REMOVE EXIST PAVEMENT
- 17 REMOVE PORTABLE RESTROOMS AND ASSOCIATED PIPING, REFER TO MECH
- 18 "NOT USED"
- 19 REMOVE EXISTING ROOF CURB REFER TO MECH DWGS
- 20 "NOT USED"
- 21 MAS WALL AND SILL AT DOOR TO BE REMOVED TO CONC SLAB BELOW
- 22 DISASSEMBLE EXISTING FENCE, SALVAGE FOR REUSE
- 23 REMOVE EXISTING RAMP, PLATFORM, AND/OR STAIR
- 24 REMOVE EXIST SEATING
- 25 REMOVE EXISTING LADDER, SALVAGE FOR REUSE
- 26 REMOVE EXIST GLAZED CURTAIN WALL
- 27 REMOVE TOP PORTION OF EXISTING MAS WALL PARAPET



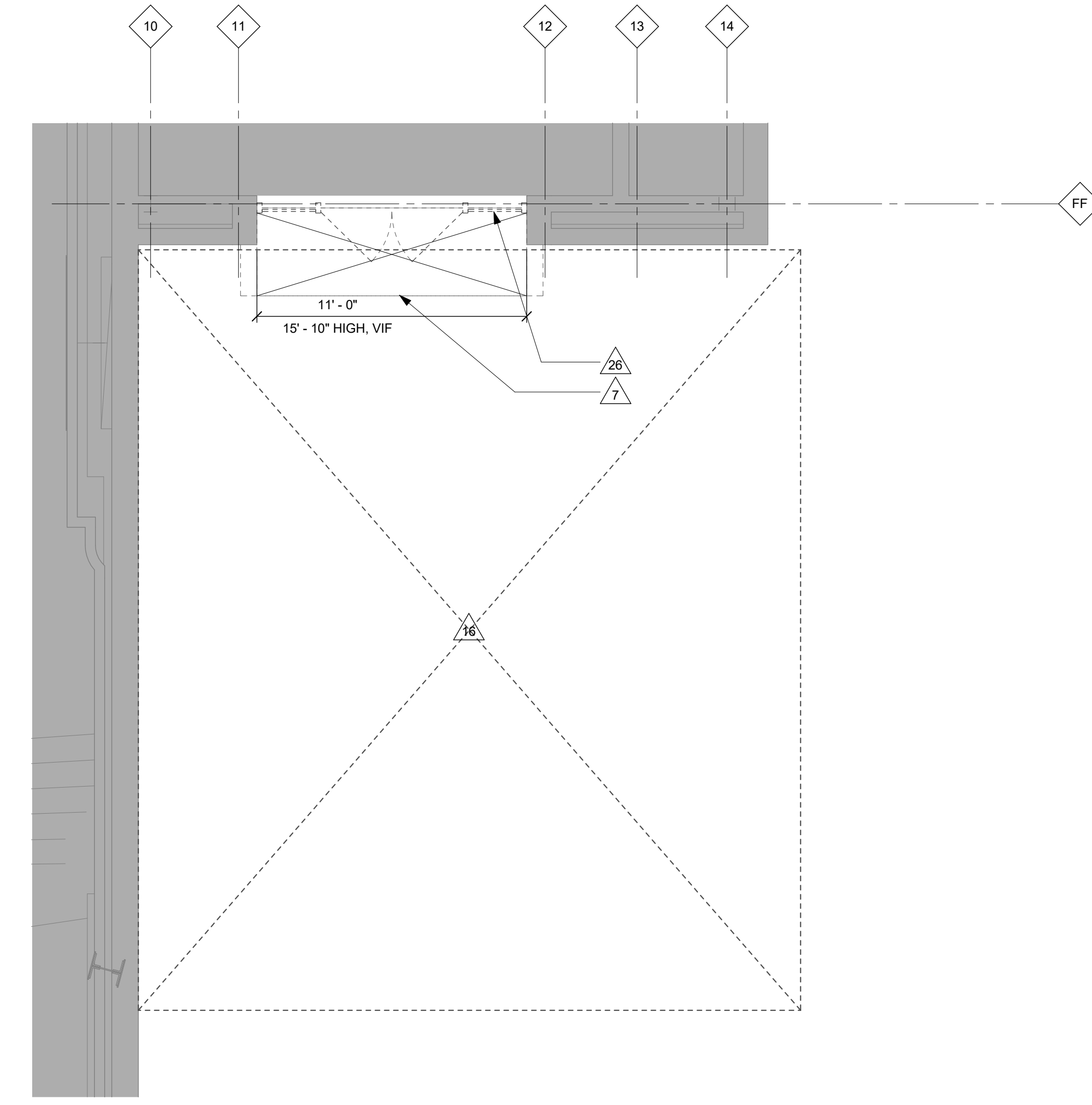
4 ELEV TOWER - FOURTH FLOOR DEMO PLAN
1/4" = 1'-0"
A-104



2 ELEV TOWER - SECOND FLOOR DEMO PLAN
1/4" = 1'-0"
A-102



3 ELEV TOWER - THIRD FLOOR DEMO PLAN
1/4" = 1'-0"
A-103



1 ELEV TOWER - FIRST FLOOR DEMO PLAN
1/4" = 1'-0"
A-101



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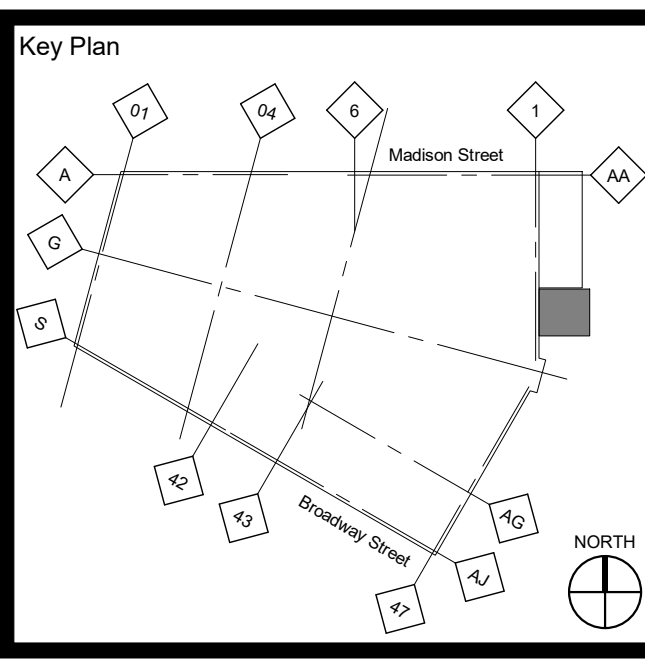
Issue History

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Detroit Opera House Renovation - Phase 1A
Detroit, MI

In Charge Z. TOLBERT
Designed ZAT
Drawn By AD
Checked Checker
Approved Approver Date 01/20/21
Sheet Title

ELEVATOR TOWER DEMO PLAN
Job No. 08022-D0 Sheet No. AD-401A

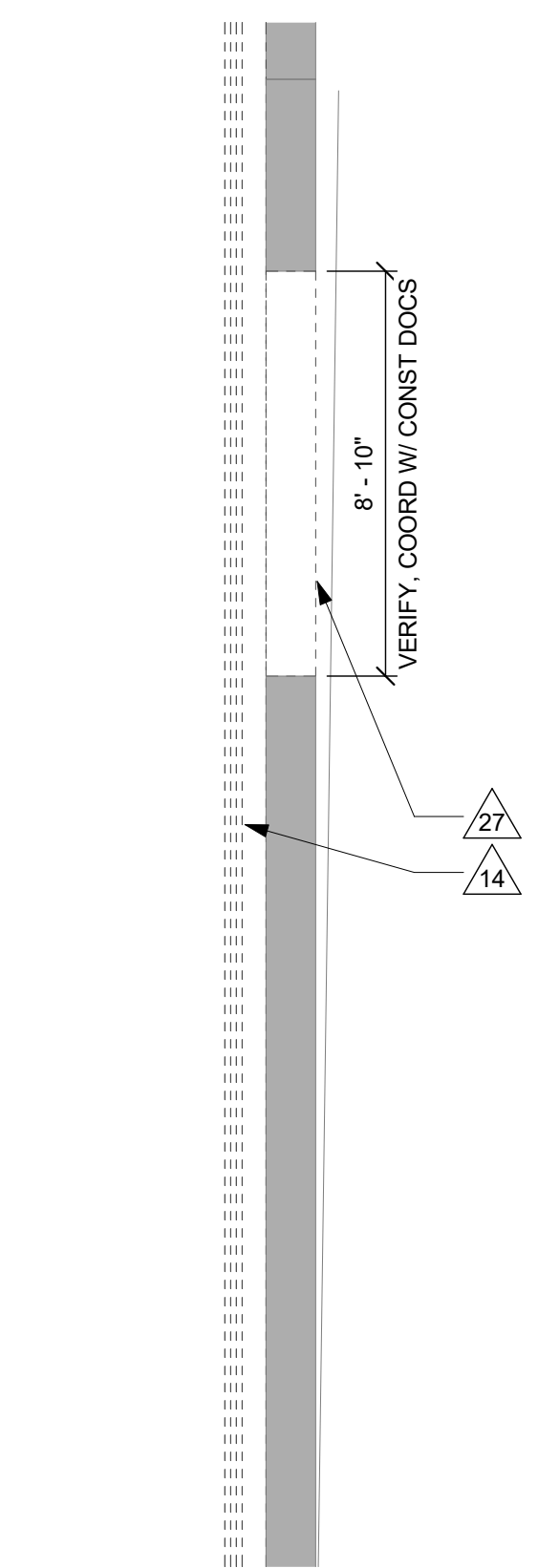
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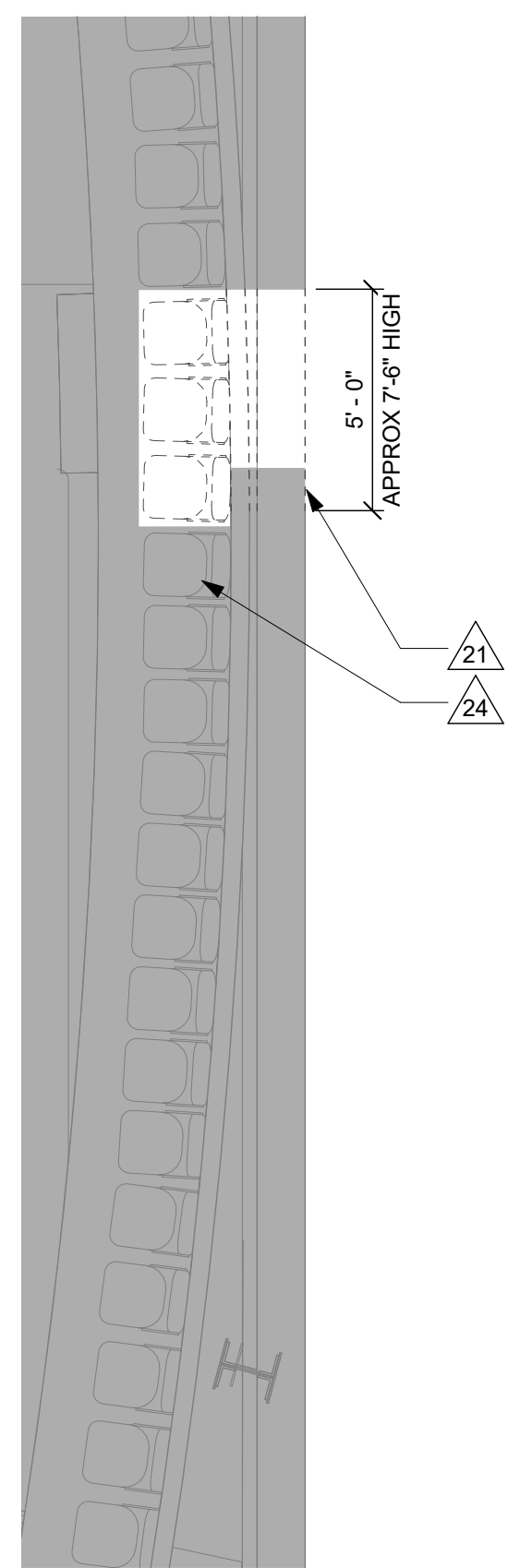
DEMOLITION KEYNOTES

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- REMOVE EXIST GLAZED CURTAIN WALL
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2 ELEV TOWER - SEVENTH FLOOR DEMO PLAN
1/4" = 1'-0"
A-107



1 ELEV TOWER - FIFTH FLOOR DEMO PLAN
1/4" = 1'-0"
A-105



3 SMITH LOBBY SOUTH ELEVATION
1/4" = 1'-0"
AD-101

