

# Corktown Sites 1&2

HDC DESIGN  
FEBRUARY 22, 2021

THE FORBES COMPANY

  
Hunter Pasteur  
HOMES

Oxford  
Capital Group, LLC

  
NEUMANN  
SMITH  
architecture

ELKUS | MANFREDI  
ARCHITECTS

giffels  
webster





HISTORIC DISTRICT EXTENTS

MICHIGAN AVE

11TH ST

1

10TH ST

CHURCH ST

2

TRUMBULL AVE.

8TH ST

LEVERETTE ST

**SITE 1 : RESIDENTIAL**

- Michigan Ave. Building
- 7 stories / 82' 6" high
- 9,385 SF Retail
- 188 Units
- 29 parking spaces
- 10th Street Townhouses
- 7 Units
- 3 stories / 35' high plus patially enclosed 4th floor roof deck
- 17 Parking Spaces

**SITE 2 : GARAGE**

- 3 stories / 35' high
- 3,066 SF Retail
- 401 Garage Parking Spaces

**SITE PLAN**



**MASSING : AERIAL VIEW LOOKING EAST**

**CORKTOWN** › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › **SITES 1&2**

THE FORBES COMPANY > HUNTER PASTEUR HOMES < OXFORD CAPITAL  
 ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG

# SITE 1



Residential

Michigan Ave. Building

- 7 stories / 82' 6" high
- 188 Units
- 29 spaces

## SITE 1: SITE PLAN

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

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GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



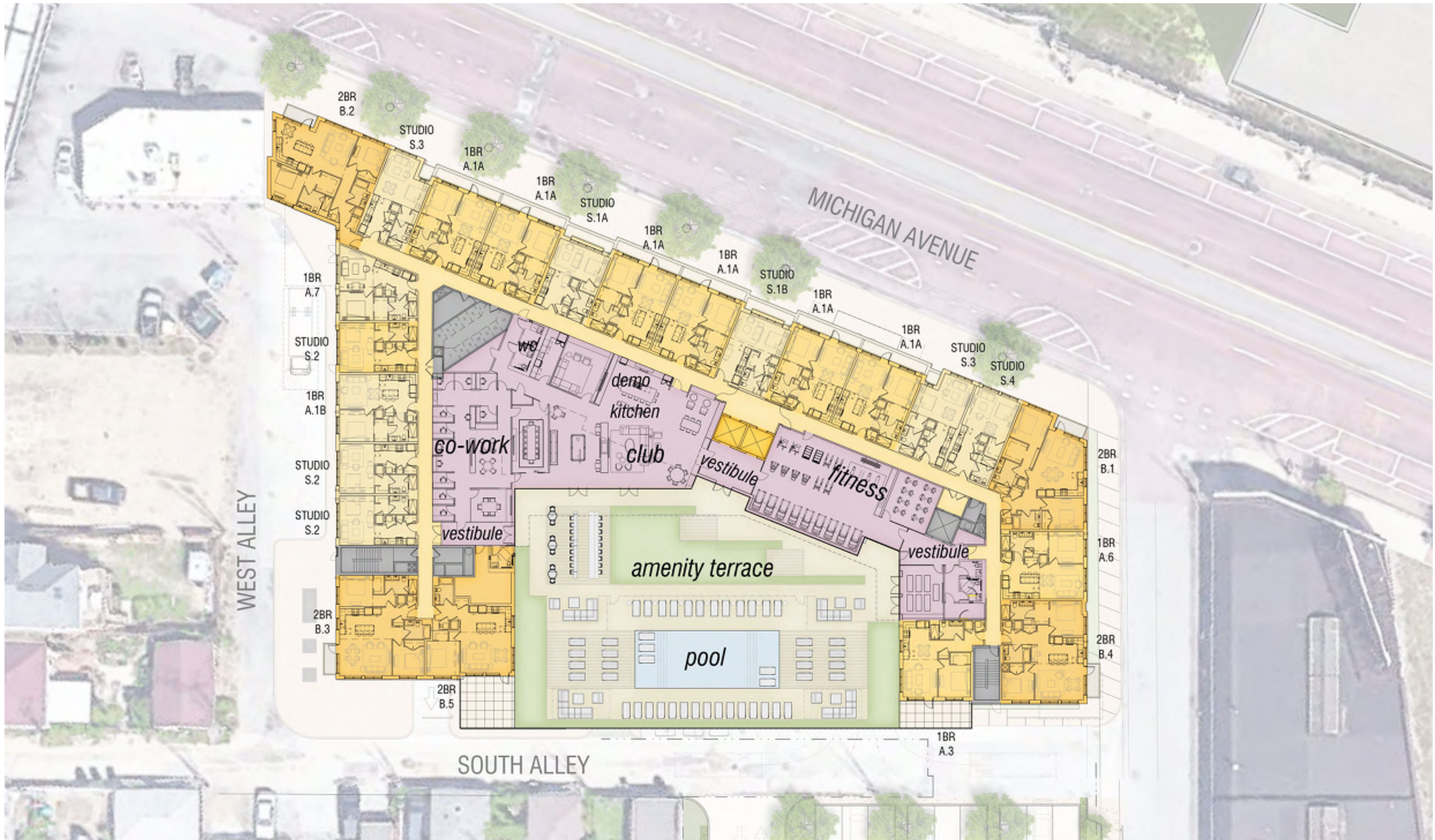
**SITE 1: LEVEL 01 PLAN**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

0 15' 30'



THE FORBES COMPANY > HUNTER PASTEUR HOMES < OXFORD CAPITAL  
 ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



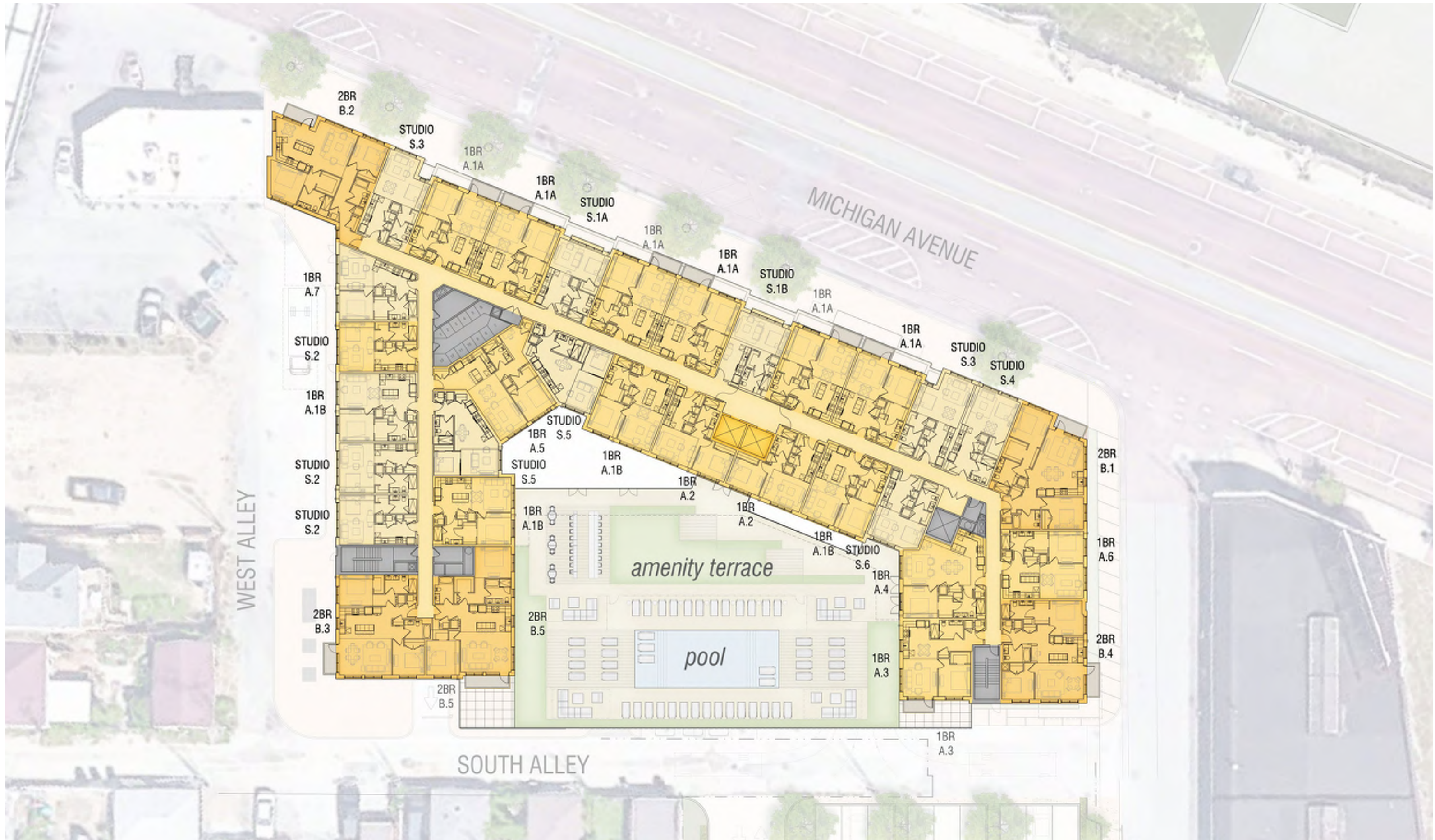
**SITE 1: LEVEL 02 PLAN**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

0 15' 30'



THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL  
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 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



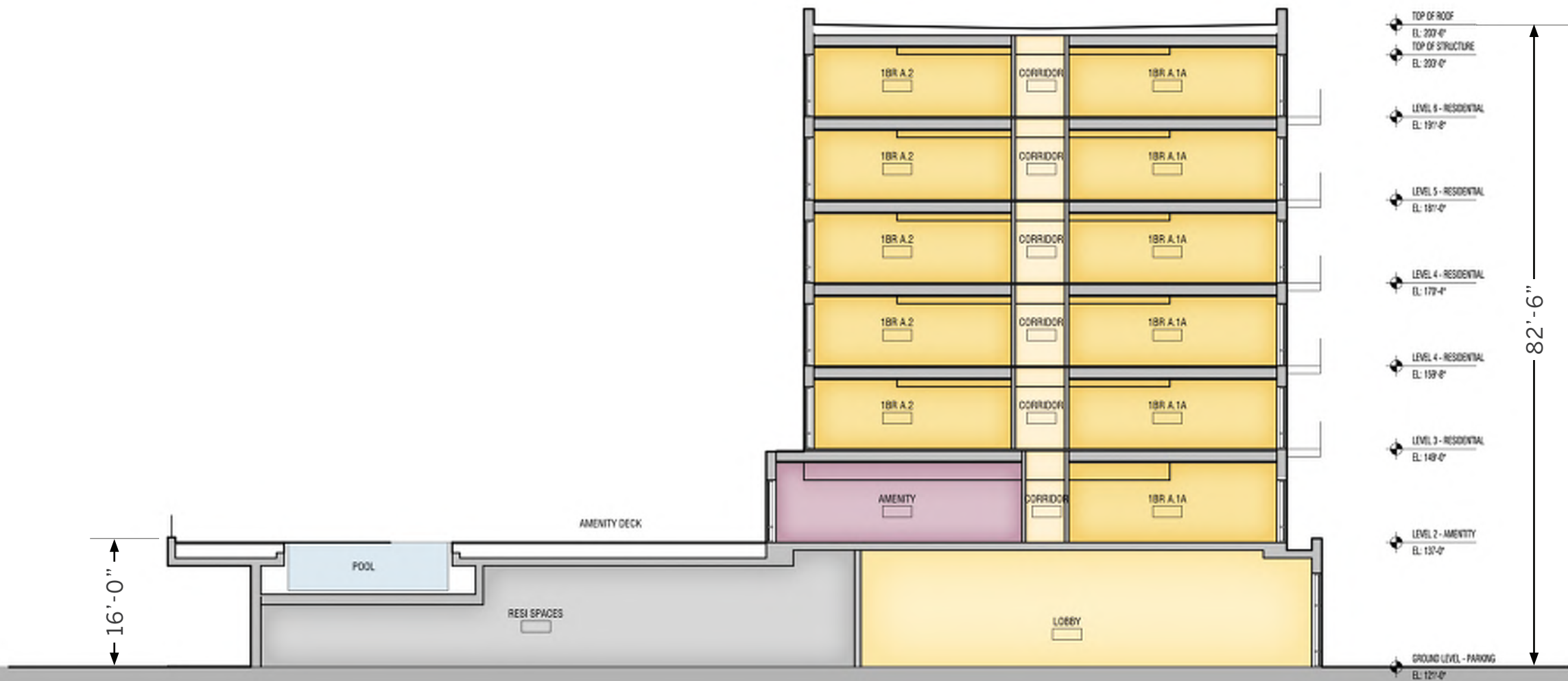
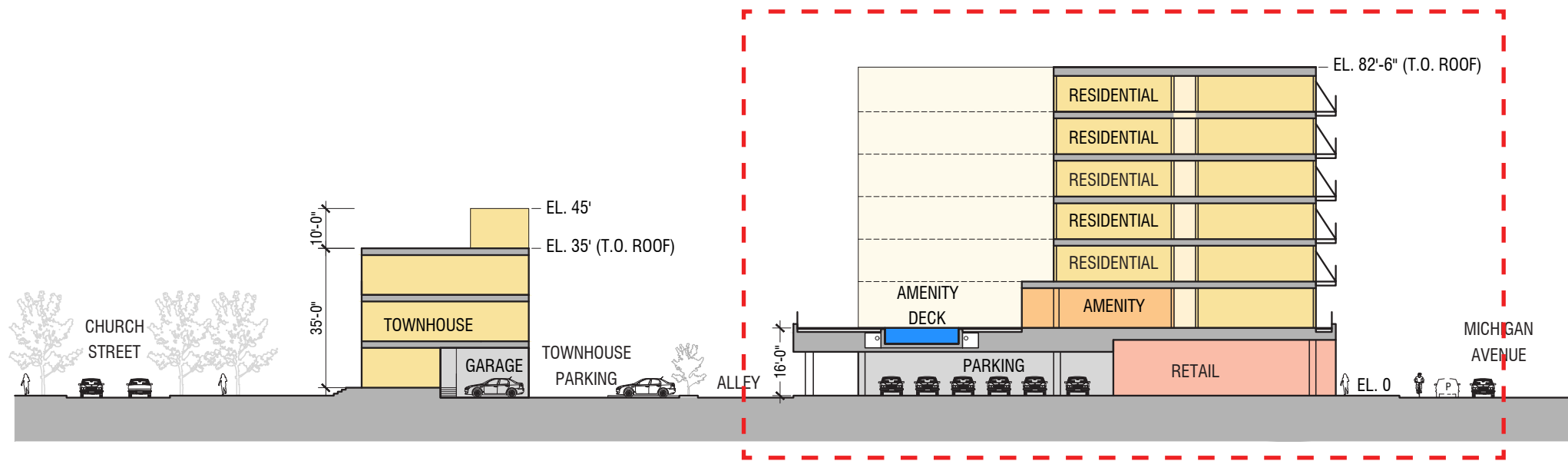
**SITE 1: LEVEL 03-07 PLAN**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

0 15' 30'



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 ELKUS MANFREDI ARCHITECTS > NEUMANN SMITH ARCHITECTURE  
 GIFFELS WEBSTER > RESURGENT ENGINEERING > IMEG



**SITE 1: BUILDING SECTION**

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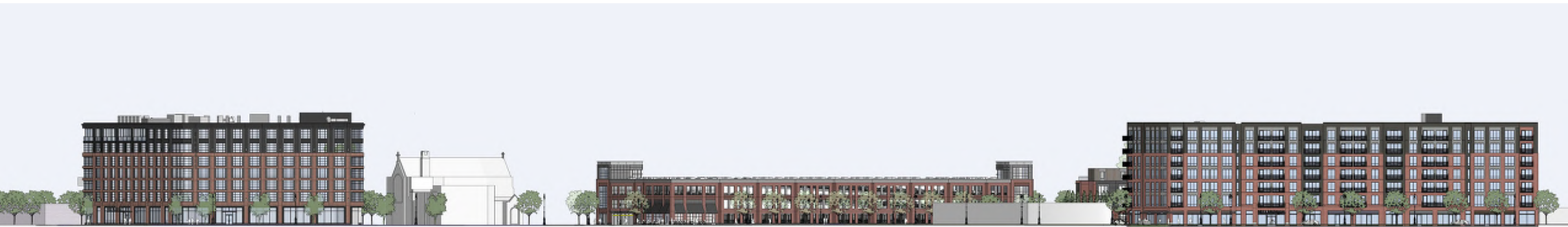


© ELKUS MANFREDI ARCHITECTS

**SITE 1: MICHIGAN AVE VIEW**

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## SITE 1: CONTEXT ELEVATION

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GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



10TH STREET

MICHIGAN AVENUE

- 1 BRICK
- 2 METAL #1 DARK GREY
- 3 METAL #2 MEDIUM GREY
- 4 METAL #3 WHITE
- 5 STONE BASE
- 6 GLASS #1 RESIDENTIAL WINDOW
- 7 GLASS #2 STOREFRONT

**SITE 1: NORTH ELEVATION**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

THE FORBES COMPANY > HUNTER PASTEUR HOMES < OXFORD CAPITAL  
 ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



10TH STREET

MICHIGAN AVENUE

- 1 BRICK
- 2 METAL #1  
DARK GREY
- 3 METAL #2  
MEDIUM GREY
- 4 METAL #3  
WHITE
- 5 STONE BASE
- 6 GLASS #1  
RESIDENTIAL  
WINDOW
- 7 GLASS #2  
STOREFRONT

**SITE 1: EAST ELEVATION**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL  
 ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



TOWNHOUSE  
OUTLINE

10TH STREET

- 1 BRICK
- 2 METAL #1  
DARK GREY
- 3 METAL #2  
MEDIUM GREY
- 4 METAL #3  
WHITE
- 5 STONE BASE
- 6 GLASS #1  
RESIDENTIAL  
WINDOW
- 7 GLASS #2  
STOREFRONT
- 8 CMU BASE

**SITE 1: SOUTH ELEVATION**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL  
ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
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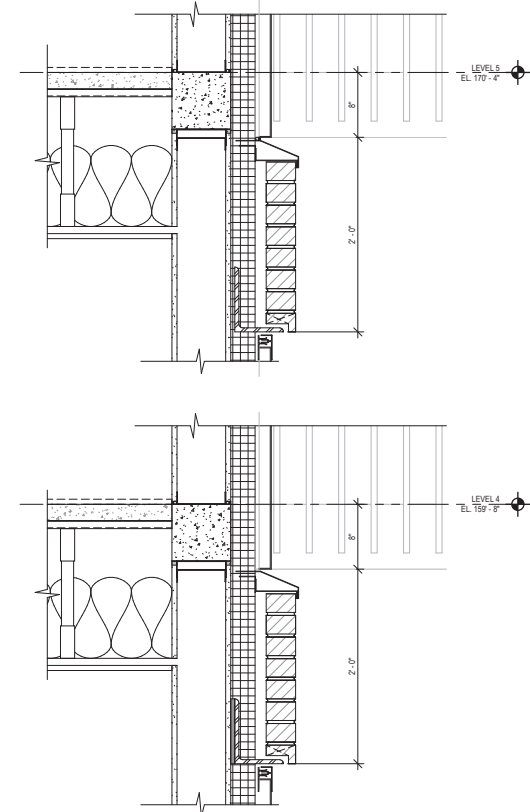
MICHIGAN AVENUE

- 1 BRICK
- 2 METAL #1  
DARK GREY
- 3 METAL #2  
MEDIUM GREY
- 4 METAL #3  
WHITE
- 5 STONE BASE
- 6 GLASS #1  
RESIDENTIAL  
WINDOW
- 7 GLASS #2  
STOREFRONT

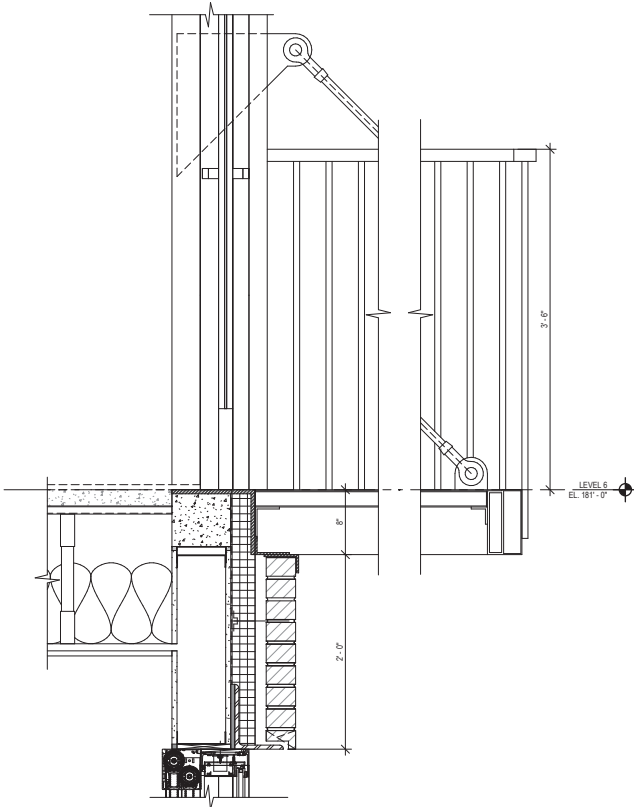
**SITE 1: WEST ELEVATION**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

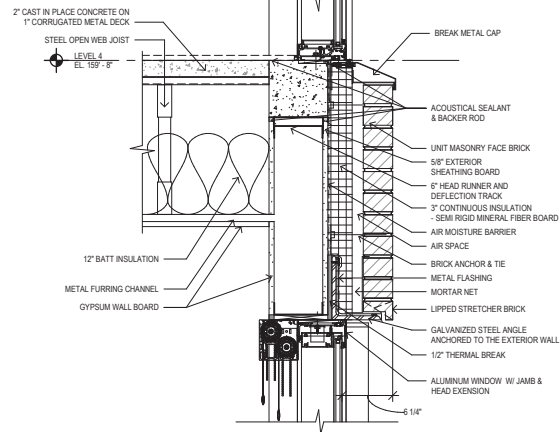
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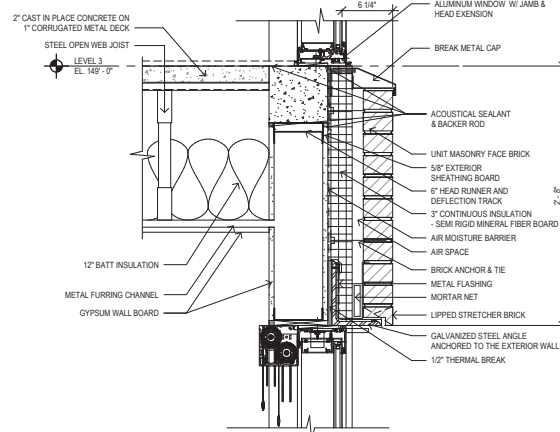
8 Detail 8  
A421



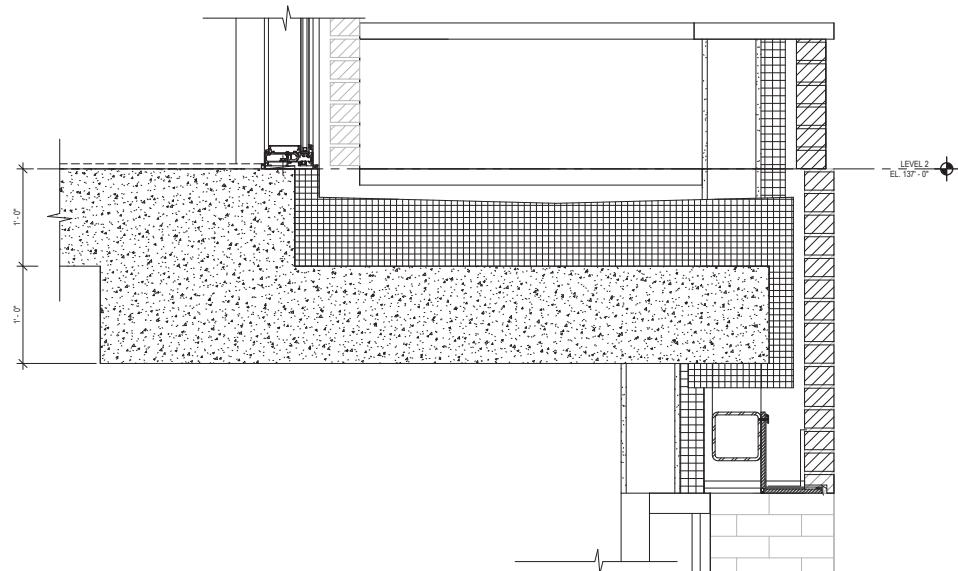
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A421



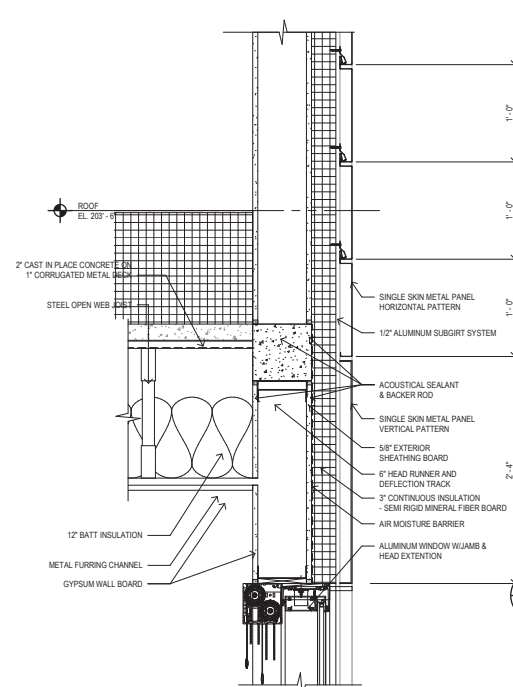
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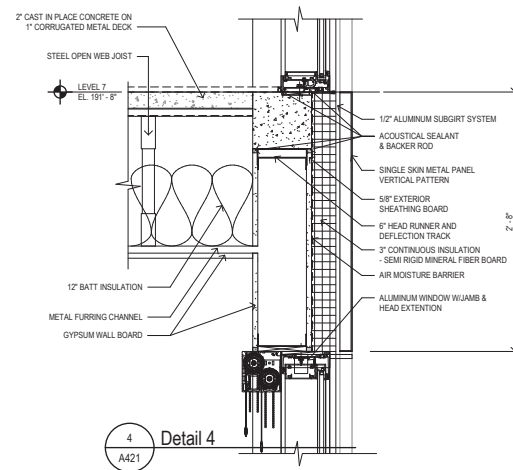
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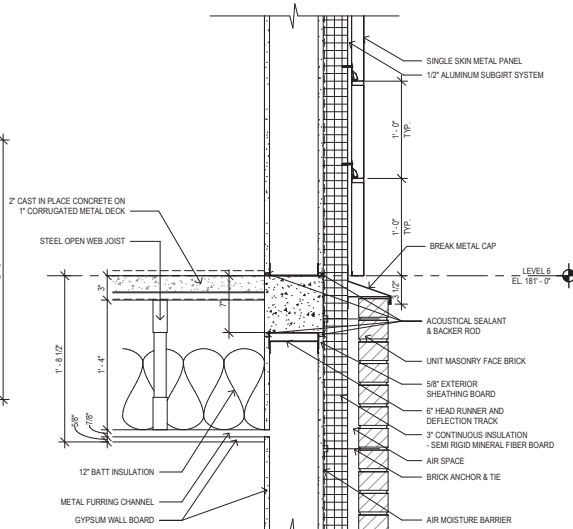
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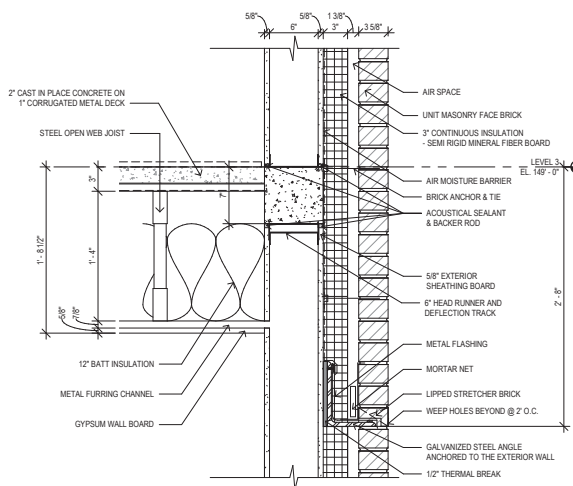
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A421



4 Detail 4  
A421

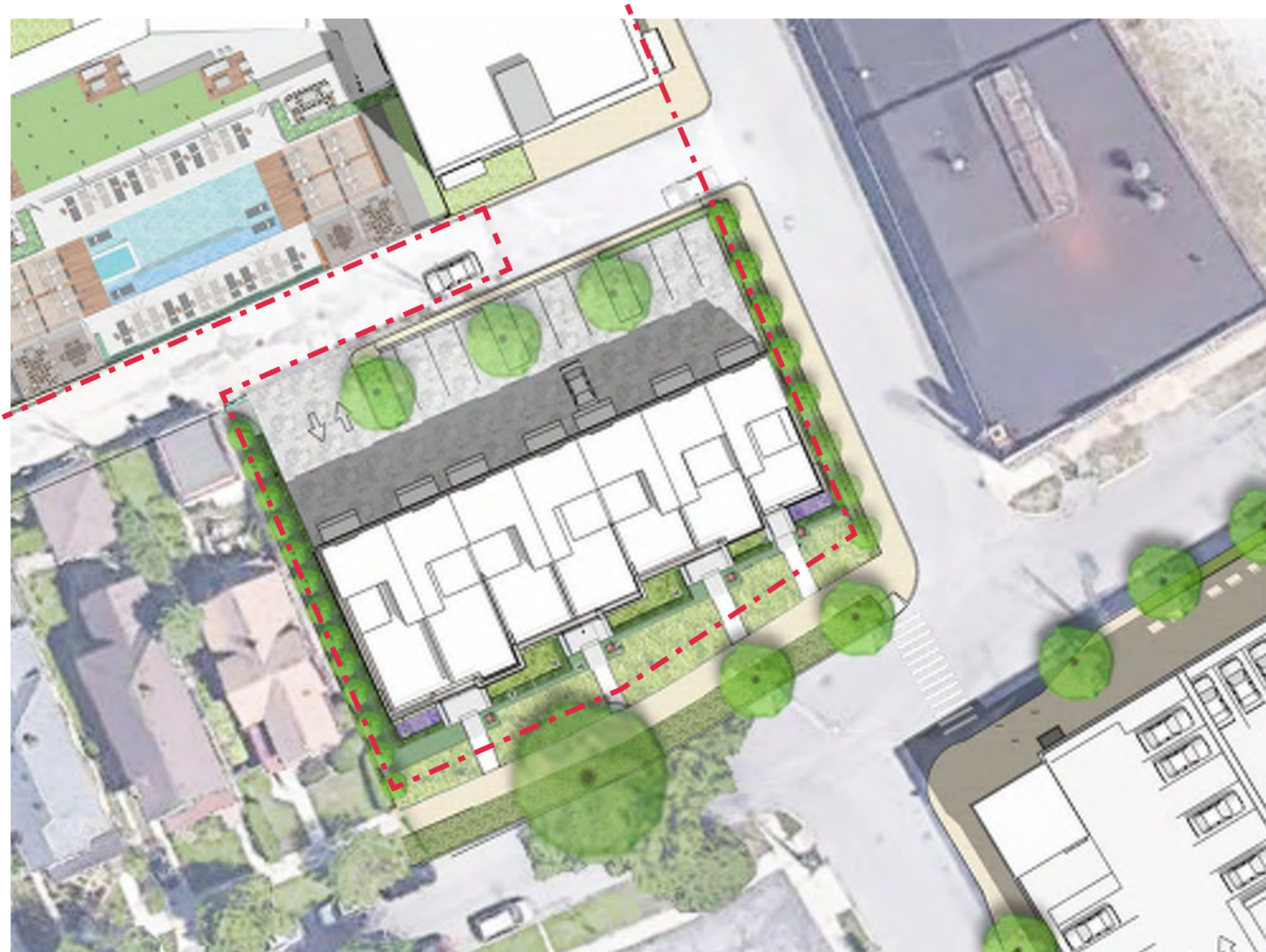


2 Detail 2  
A421



1 Detail 1  
A421

**SITE 1: EXTERIOR DETAILS**



# SITE 1 TOWNHOUSES

## 10th Street Townhouses

- 3 stories / 35' high plus partially enclosed 4th floor roof deck.
- 7 Units
- 17 Spaces

## SITE 1 TOWNHOUSES: SITE PLAN

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL  
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GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG





**SITE 1 TOWNHOUSES: LEVEL 01 PLAN**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2



THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL  
 ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



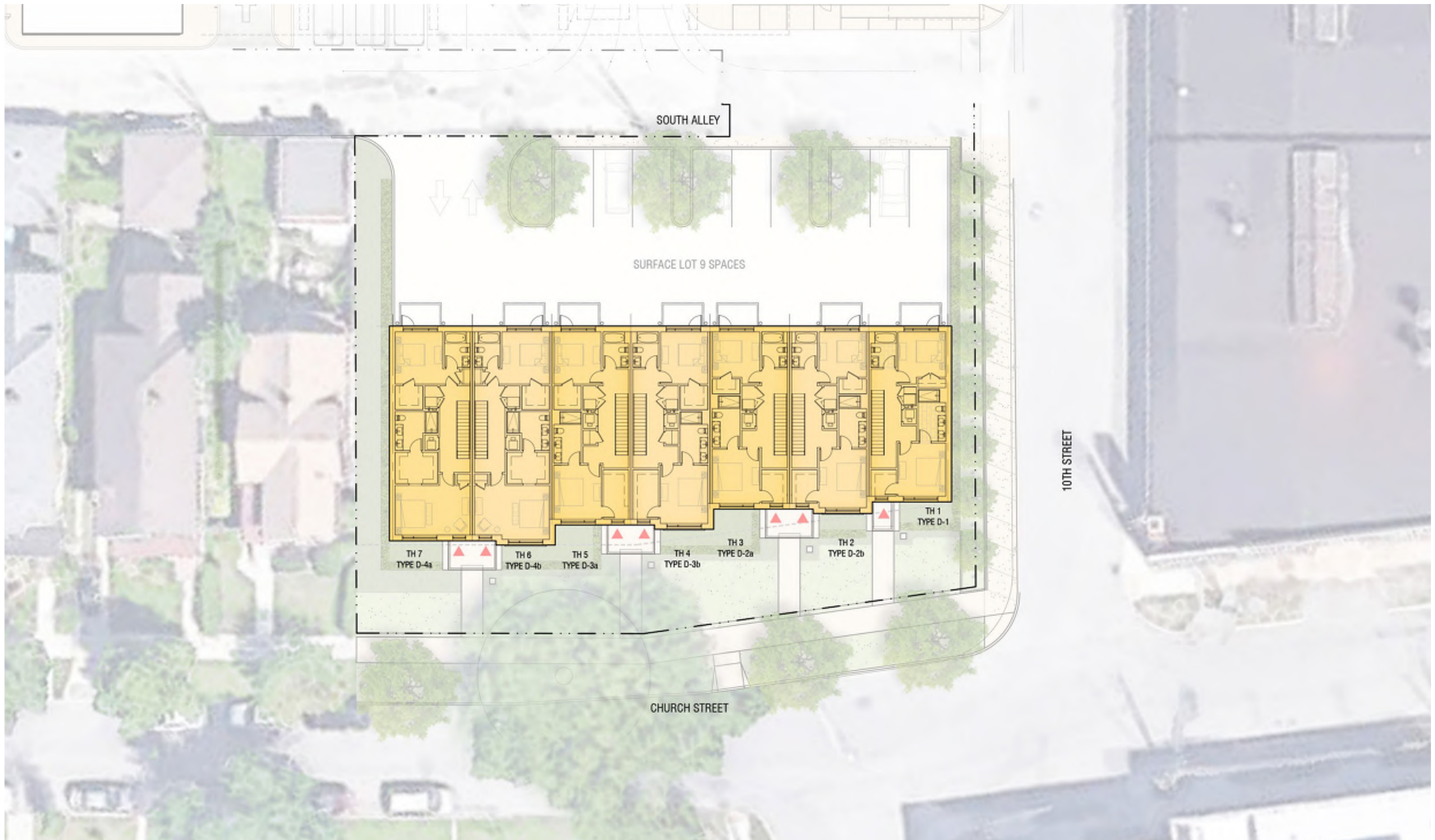
**SITE 1 TOWNHOUSES: LEVEL 02 PLAN**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

0 8' 16'



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 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



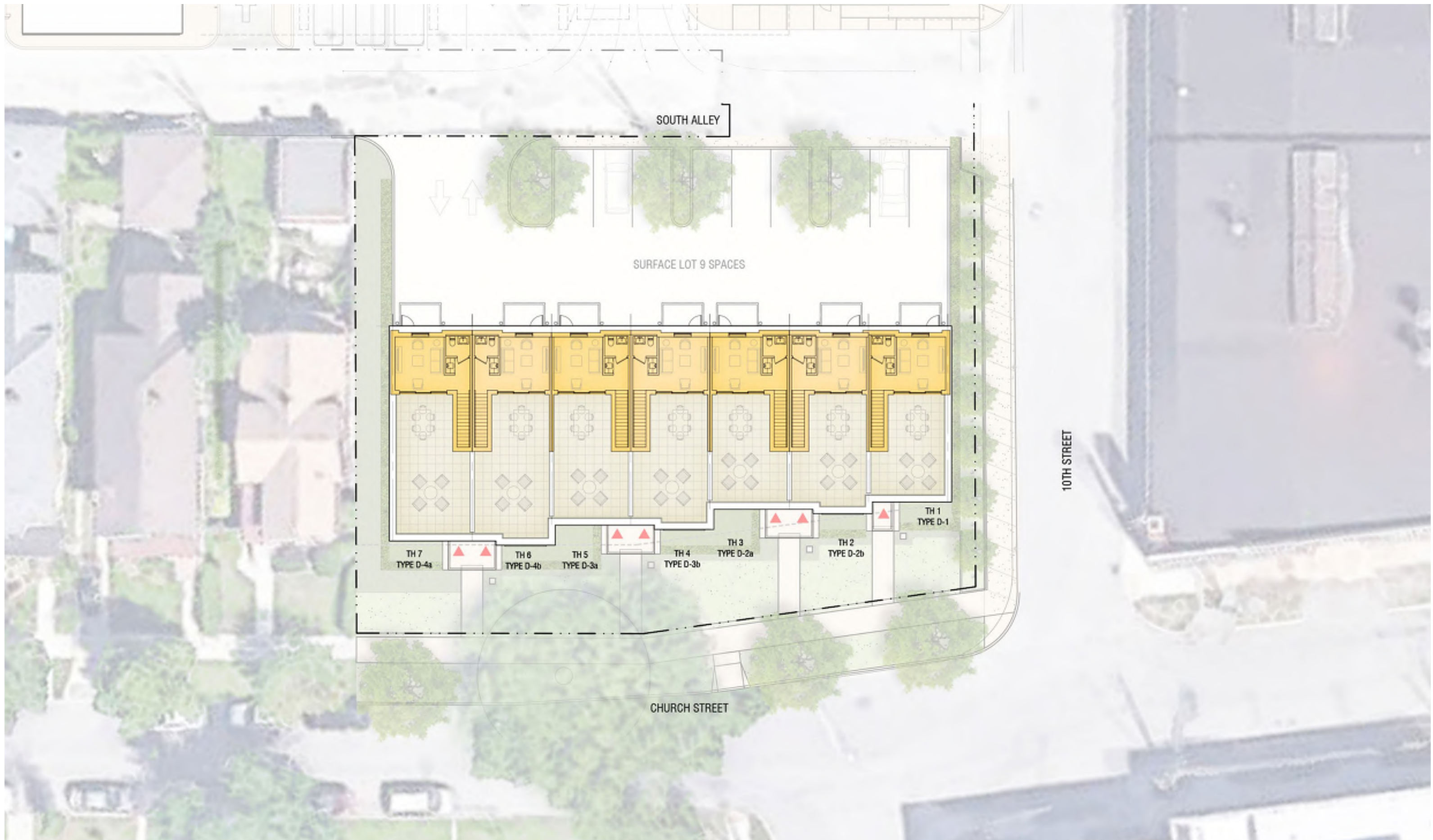
**SITE 1 TOWNHOUSES: LEVEL 04 PLAN**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

0 8' 16'



THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL  
 ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



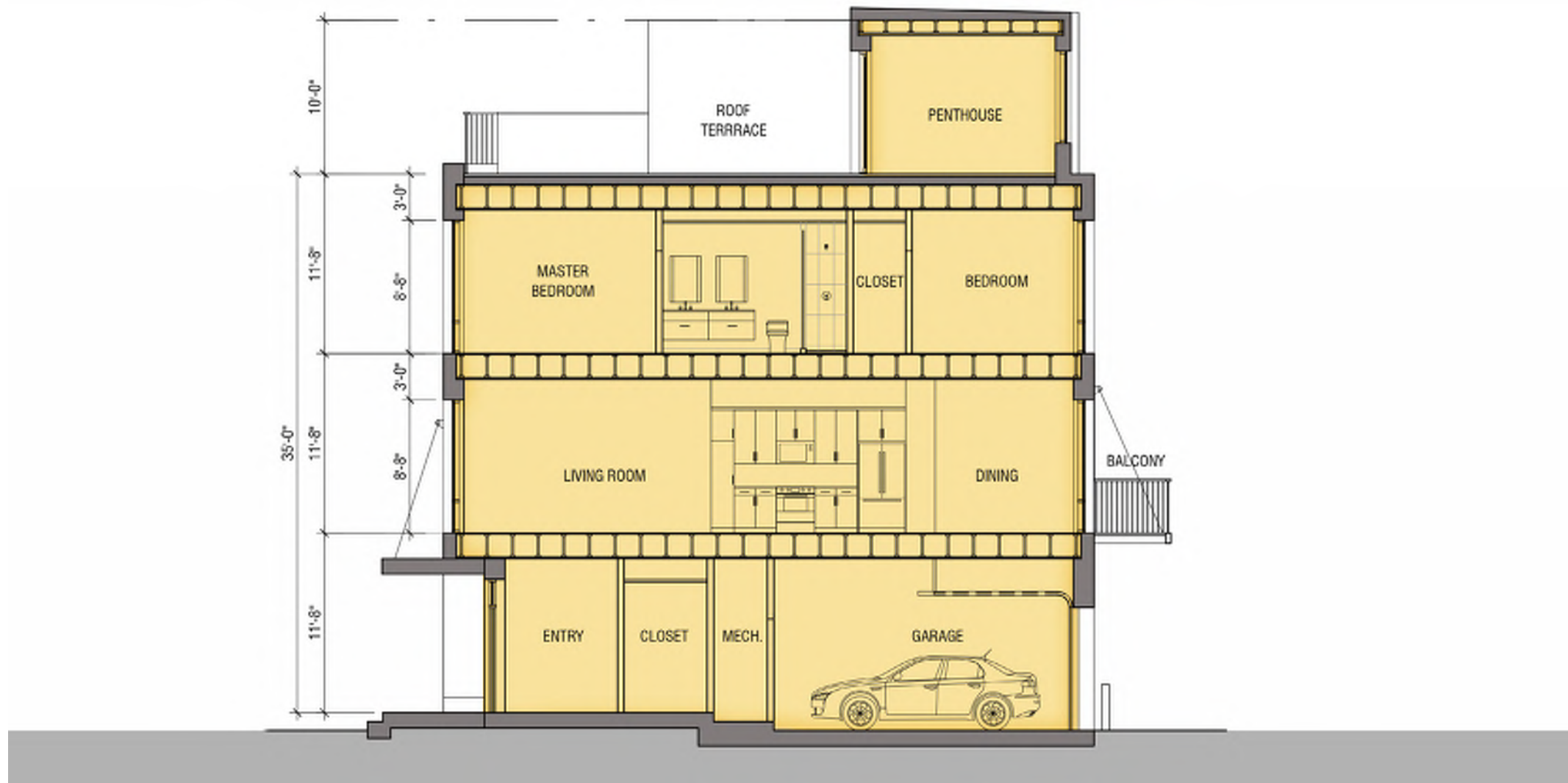
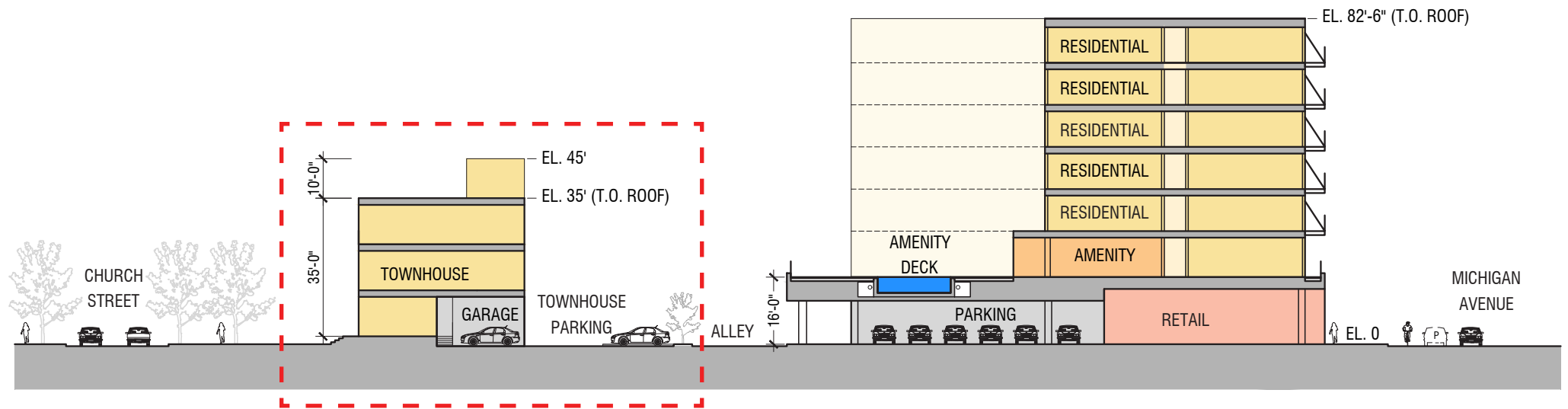
**SITE 1 TOWNHOUSES: LEVEL ROOF PLAN**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

0 8' 16'



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 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



**SITE 1 TOWNHOUSES: SECTION**

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**SITE 1 TOWNHOUSES: VIEW FROM CHURCH STREET**

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GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



**SITE 1 TOWNHOUSES: VIEW FROM GARAGE**

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GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



10TH STREET

- 1** BRICK
- 2** METAL #1 MEDIUM GREY
- 3** METAL #2 DARK GREY
- 4** METAL #3 BRONZE
- 5** STONE BASE
- 6** GLASS #1 RESIDENTIAL WINDOW

**SITE 1 TOWNHOUSES: SOUTH ELEVATION**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

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 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG





2

4

1

- 1 BRICK
- 2 METAL #1 MEDIUM GREY
- 3 METAL #2 DARK GREY

- 4 METAL #3 BRONZE
- 5 STONE BASE
- 6 GLASS #1 RESIDENTIAL WINDOW

CHURCH STREET

**SITE 1 TOWNHOUSES: EAST ELEVATION**

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ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



10TH STREET

1

- 1** BRICK

**2** METAL #1 MEDIUM GREY

**3** METAL #2 DARK GREY
- 4** METAL #3 BRONZE

**5** STONE BASE

**6** GLASS #1 RESIDENTIAL WINDOW

**SITE 1 TOWNHOUSES: NORTH ELEVATION**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

THE FORBES COMPANY > HUNTER PASTEUR HOMES < OXFORD CAPITAL  
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 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



1

4

2

CHURCH STREET

- 1 BRICK
- 2 METAL #1 MEDIUM GREY
- 3 METAL #2 DARK GREY
- 4 METAL #3 BRONZE
- 5 STONE BASE
- 6 GLASS #1 RESIDENTIAL WINDOW

**SITE 1 TOWNHOUSES: WEST ELEVATION**

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**SITE 1 TOWNHOUSES: CHURCH STREET ELEVATION**

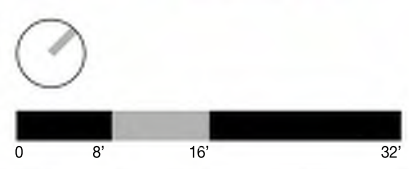
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**Note Key**

- 1. Concrete Sidewalk
- 2. Concrete Planter Curb
- 3. Bollard Light
- 4. Townhome Porch
- 5. Existing Tree to Remain
- 6. Deciduous Shade Tree
- 7. Deciduous Columnar Tree
- 8. Evergreen Hedge - 24" ht.
- 9. Ornamental Grass - 15" ht.
- 10. Evergreen Groundcover - 6" ht.
- 11. Flowering Perennial - 30" ht.
- 12. Ornamental Grass - 36" ht.
- 13. Lawn
- 14. Accent Planter with Annual Flower Display



**SITE 1 TOWNHOUSES: LANDSCAPE PLAN**

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# SITE 2

## Garage

- 3 stories / 35' high
- 3,066 SF Retail
- 401 Garage Parking Spaces



## SITE 2 : SITE PLAN

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GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



**SITE 2 : LEVEL 01 PLAN**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

0 16' 32'

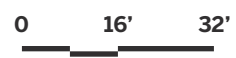


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 GIFFELS WEBSTER > RESURGENT ENGINEERING > IMEG



**SITE 2 : LEVEL 02 PLAN**

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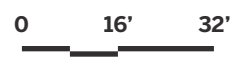
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 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG





**SITE 2 : LEVEL 03 PLAN**

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 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG

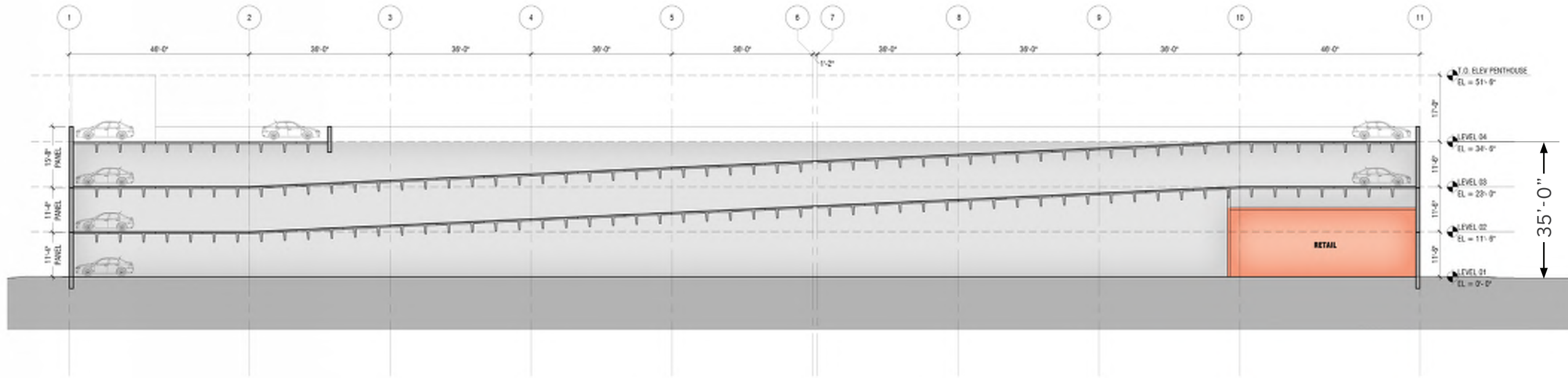


**SITE 2 : LEVEL ROOF PLAN**

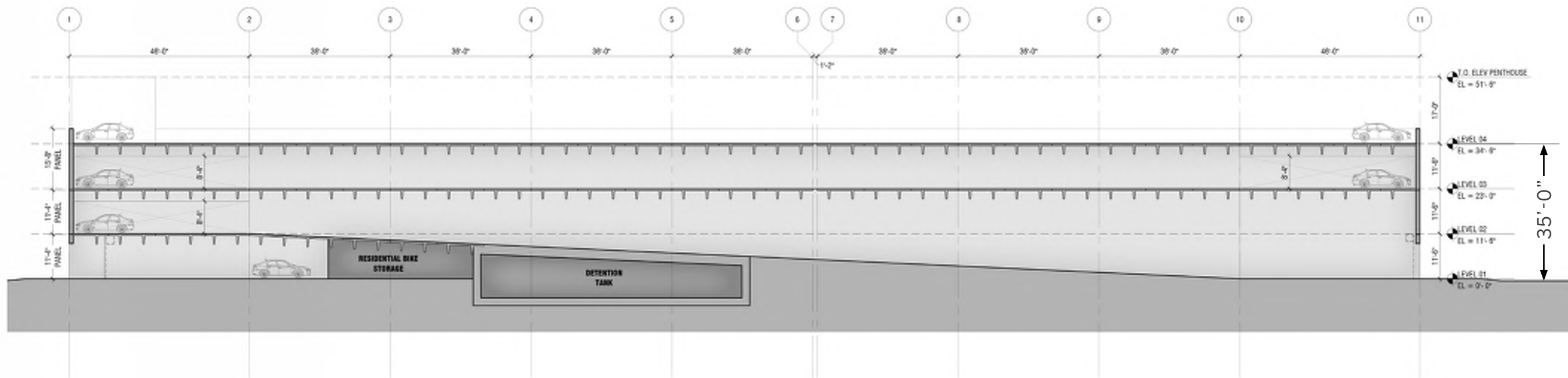
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 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



**2** EW SECTION 2  
SCALE 1/16" = 1'-0"



**1** EW SECTION 1  
SCALE 1/16" = 1'-0"

**SITE 2 : SECTIONS**



**SITE 2 : AERIAL VIEW**

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**SITE 2 : VIEW FROM MICHIGAN AVE**

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**SITE 2 : VIEW FROM NEIGHBORHOOD**

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ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



CHURCH STREET

10TH STREET

7

4

6

1

2

8

5

1

BRICK

2

ACCENT BRICK

3

METAL #1  
MEDIUM GREY

4

METAL #2  
DARK GREY

5

STONE BASE

6

PRECAST  
CONCRETE

7

GLASS #2  
STOREFRONT

8

DECORATIVE  
METAL GRILL

**SITE 2 : NORTH ELEVATION**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

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GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



CHURCH STREET

1

2

5

7

6

4

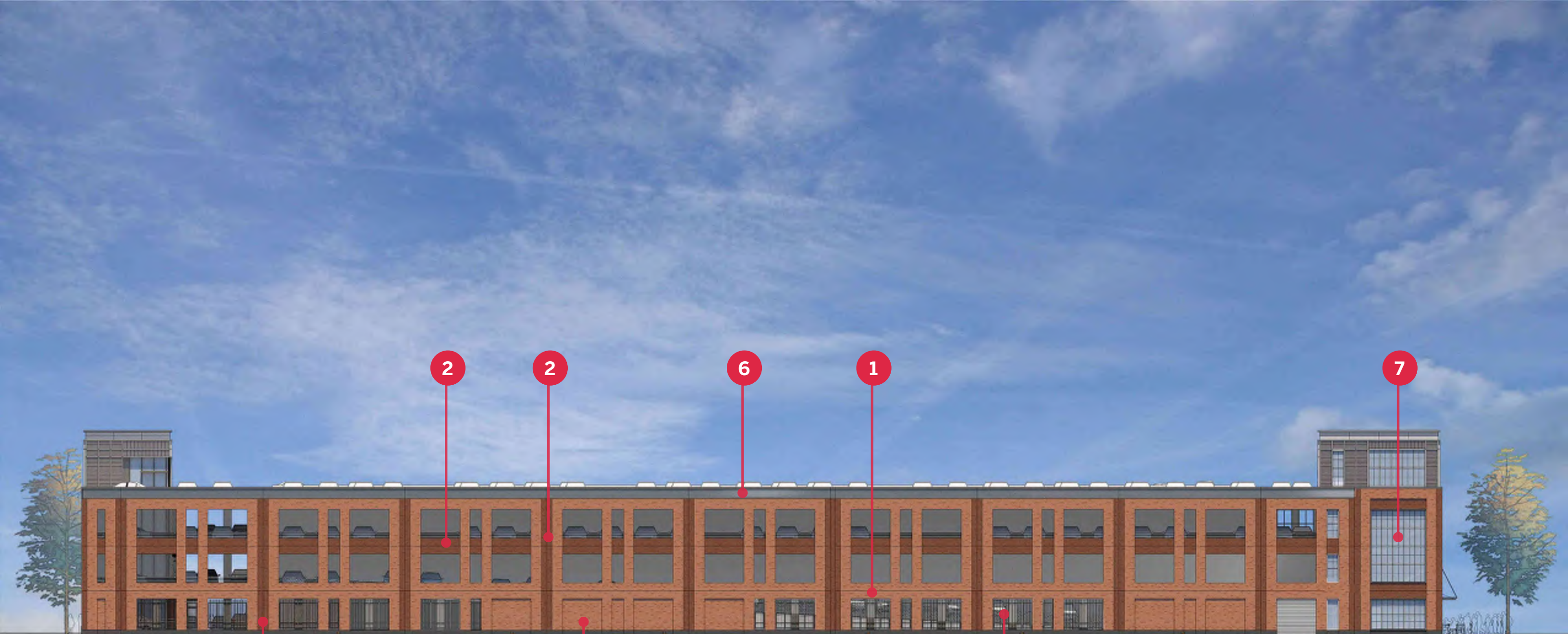
- 1 BRICK
- 2 ACCENT BRICK
- 3 METAL #1 MEDIUM GREY
- 4 METAL #2 DARK GREY
- 5 STONE BASE
- 6 PRECAST CONCRETE
- 7 GLASS #2 STOREFRONT
- 8 DECORATIVE METAL GRILL

**SITE 2 : EAST ELEVATION**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL  
 ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG





CHURCH STREET

10TH STREET

2

1

8

- 1 BRICK
- 2 ACCENT BRICK
- 3 METAL #1 MEDIUM GREY
- 4 METAL #2 DARK GREY
- 5 STONE BASE
- 6 PRECAST CONCRETE
- 7 GLASS #2 STOREFRONT
- 8 DECORATIVE METAL GRILL

**SITE 2 : SOUTH ELEVATION**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL  
 ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



CHURCH STREET

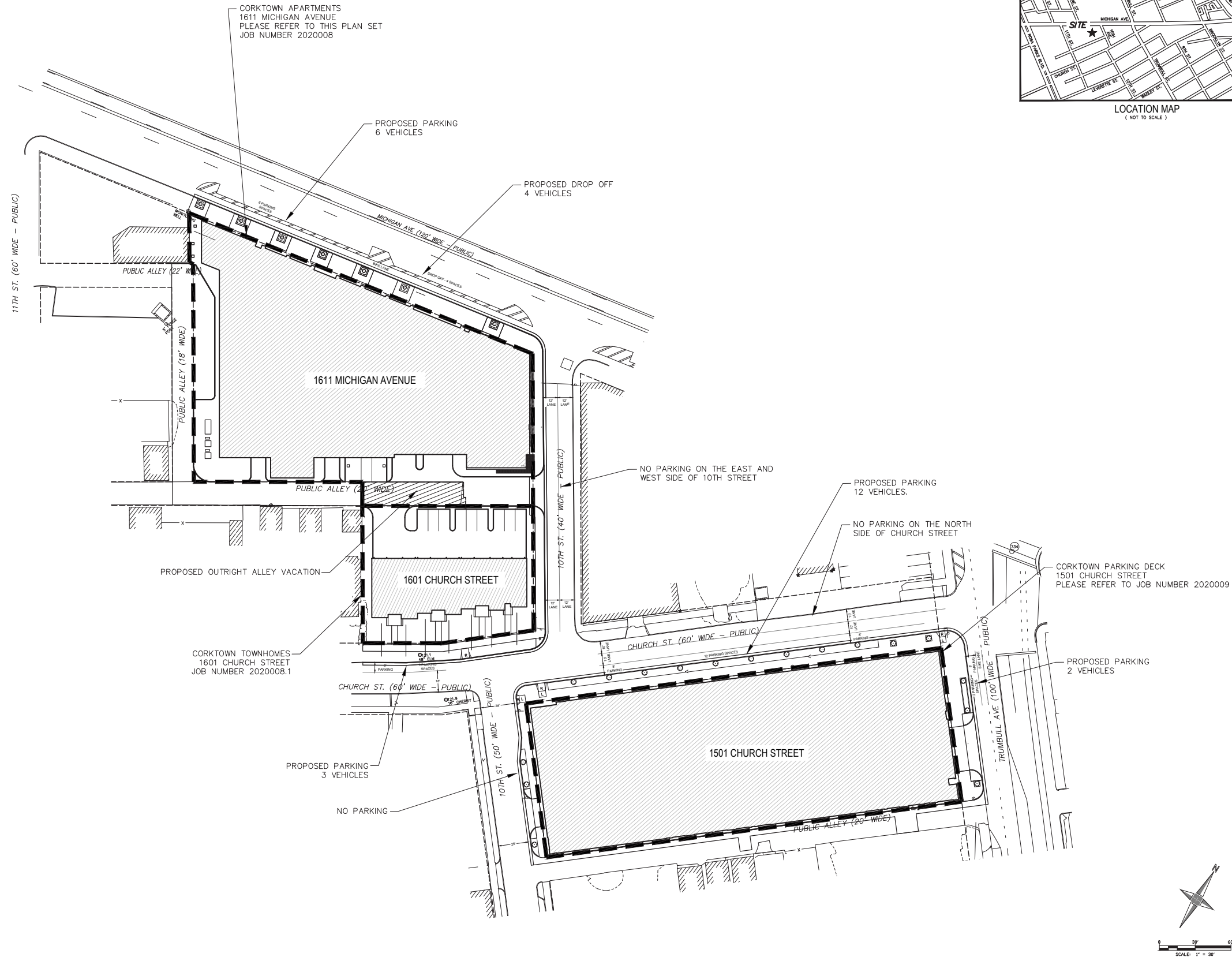
- 1** BRICK
- 2** ACCENT BRICK
- 3** METAL #1  
MEDIUM GREY
- 4** METAL #2  
DARK GREY
- 5** STONE BASE
- 6** PRECAST  
CONCRETE
- 7** GLASS #2  
STOREFRONT
- 8** DECORATIVE  
METAL GRILL

**SITE 2 : WEST ELEVATION**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL  
 ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG





**CIVIL : SITE PLAN**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

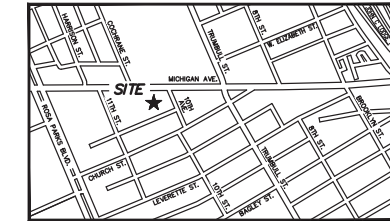
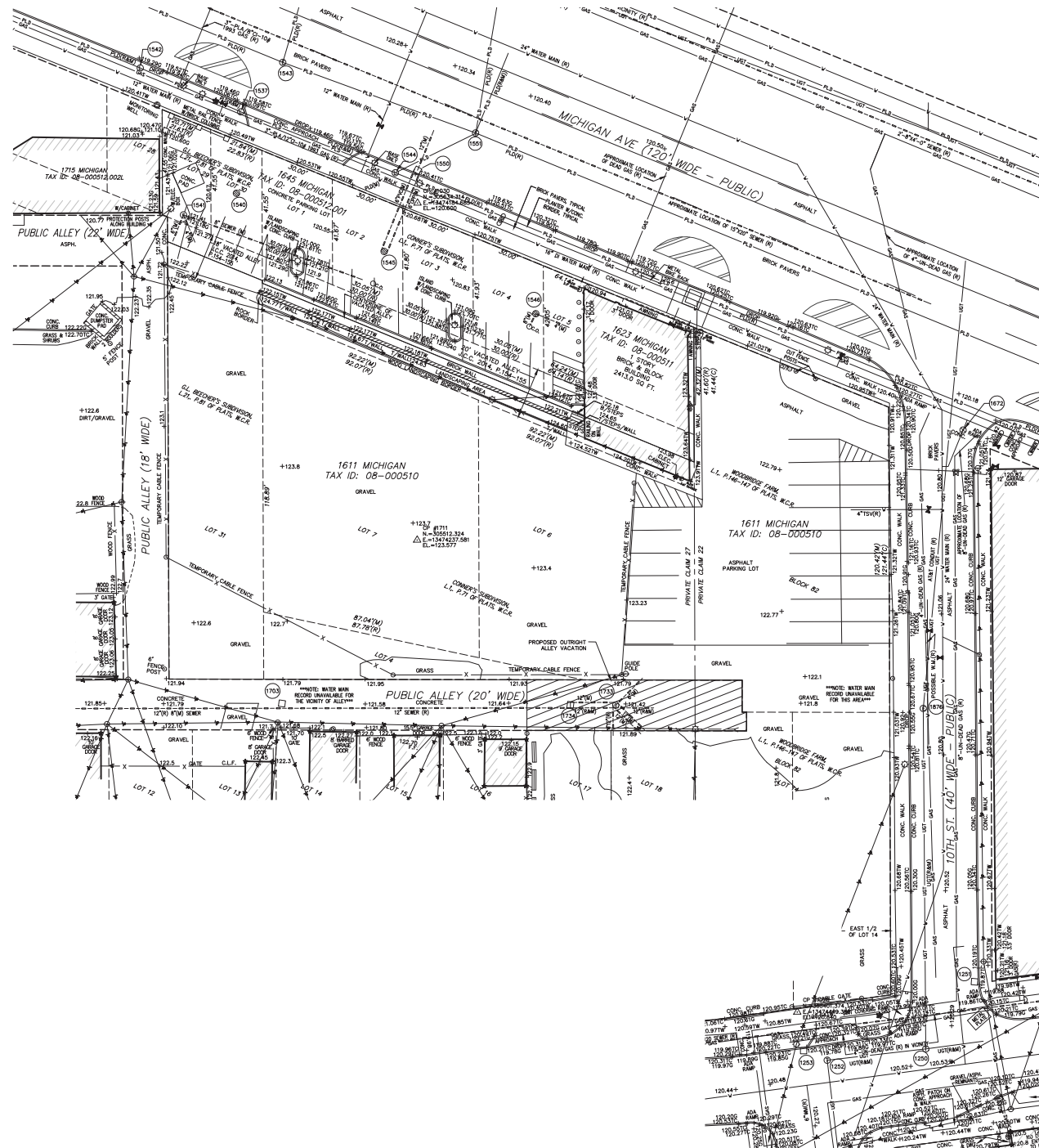
THE FORBES COMPANY > HUNTER PASTEUR HOMES < OXFORD CAPITAL  
ELKUS MANFREDI ARCHITECTS > NEUMANN SMITH ARCHITECTURE  
GIFFELS WEBSTER > RESURGENT ENGINEERING > IMEG

PROPERTY DESCRIPTION

MICHIGAN AVE.  
 (TAX RECORD)  
 LOCATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:  
 1/2 OF MICHIGAN AVENUE, THE NORTH 180 FEET OF BLOCK #2, EXCLUDING MICHIGAN AVENUE AS WEENED, OF CONNORS SUBDIVISION, LIBER 1, PAGE 146 OF PLATS, WAYNE COUNTY RECORDS.  
 LOTS 4 THROUGH 7, EXCLUDING THAT PART DEEDED FOR ALLEY, OF CONNORS SUBDIVISION, LIBER 1, PAGE 146 OF PLATS, WAYNE COUNTY RECORDS.  
 LOT 31 OF G.L. BEECHERS SUBDIVISION, LIBER 21, PAGE 81 OF PLATS, WAYNE COUNTY RECORDS.  
 THAT PART OF LOT 4, LYING SOUTH OF, AND ADJACENT TO, SAID LOTS 6 AND 7, AND EAST AND ADJACENT TO, SAID LOT 31 OF PRIVATE CLAIM 27.  
 D. 00000310

MICHIGAN AVE.  
 LOCATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:  
 1/2 OF MICHIGAN AVENUE, LOT 4, EXCLUDING MICHIGAN AVENUE AS WEENED, OF CONNORS SUBDIVISION, LIBER 1, PAGE 146 OF PLATS, WAYNE COUNTY RECORDS.  
 D. 00000311

MICHIGAN AVE.  
 LOCATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:  
 1/2 OF MICHIGAN AVENUE, LOTS 4, 1, 2, AND 3, EXCLUDING MICHIGAN AVENUE AS WEENED, OF CONNORS SUBDIVISION, LIBER 1, PAGE 146 OF PLATS, WAYNE COUNTY RECORDS.  
 LOTS 30 THROUGH 28, EXCLUDING MICHIGAN AVENUE AS WEENED, OF G.L. BEECHERS SUBDIVISION, LIBER 21, PAGE 81 OF PLATS, WAYNE COUNTY RECORDS.  
 D. 00000312-2019



LEGEND - EXISTING

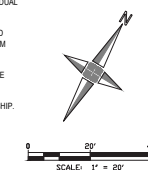
SECTION LINE	① SAN. MH
E/P AVEMENT	○ C.O. SAN. CLEAN OUT
CURB	▲ SAN. RISER
E/ GRAVEL	⊠ SAN. PUMP STATION
CL. ROAD	⊠ COMB. MH
E/ BRICK	⊠ GATE VALVE
E/ BROOK	⊠ HYDRANT
MISC. LINE	⊠ WATER VALVE
FENCE	⊠ WATER METER
GUARD RAIL	⊠ WELL HEAD
WALL	⊠ FCC CONNECTION
BLDG. LINE	⊠ STORM MH
OVERHEAD WIRES	⊠ CATCH BASIN
RAILING	⊠ BEEHIVE CB
OVERHANG LINE	⊠ CULVERT E.S.
1/2 BANK	⊠ ROOF/DOWN SPOUT
E/ BANK	⊠ C.O. STORM CLEAN OUT
DL. DITCH/STREAM	⊠ ROUND CB
SHRUB LINE	⊠ LIGHT POLE
TREE LINE	⊠ UTILITY POLE
WATER EDGE	⊠ ELEC. TRANS.
METLAND LINE	⊠ AIR CONDITIONER
STORM LINE	⊠ ELEC. MH
SAN. LINE	⊠ ELEC. METER
WATER LINE	⊠ ELEC. RISER
GAS LINE	⊠ FLD. LINE
UG. ELEC. LINE	⊠ STEAM LINE
UG. TELE. LINE	⊠ ELECTRIC OVERHEAD TELEPHONE OVERHEAD
UG. CABLE TV LINE	⊠ TELE. LIGHTING MH
PAINT STRIKE	⊠ MSC. TOPOG. SHOT
COMBINED SEWER	⊠ FOUND IRON
FLD. LINE	⊠ FOUND NAIL
STEAM LINE	⊠ F. CUT CROSS
TELE. LINE	⊠ SECTION COR.
⊠ GAS METER	⊠ FENCE POST
⊠ GAS RISER	⊠ CABLE RISER
⊠ GAS VALVE	⊠ PAY PHONE
⊠ GAS MH	⊠ MANHOLE
⊠ TELE. RISER	⊠ SIGN
⊠ TELE. MH	⊠ PROT. POST/GUARD POST
⊠ TELE. CROSS BOX	⊠ GUY
⊠ FOUND PPE	⊠ DECIDUOUS TREE
⊠ FOUND MON.	⊠ CONIFEROUS TREE
⊠ FOUND NAIL	⊠ DEAD TREE
⊠ FOUND IRON	⊠ UTILITY FLAG
⊠ FOUND NAIL	⊠ BLDG. CORNER (FIELD LOCATED)
⊠ FOUND IRON	⊠ HANDICAP PARKING
⊠ FOUND IRON	⊠ F.I.P. FOUND IRON PIPE
⊠ FOUND IRON	⊠ M. MEASURED
⊠ FOUND IRON	⊠ RECORD
⊠ FOUND IRON	⊠ F.M. FOUND MONUMENT
⊠ FOUND IRON	⊠ S.N. SET NAIL
⊠ FOUND IRON	⊠ CMP
⊠ FOUND IRON	⊠ ROP
⊠ FOUND IRON	⊠ G.L. GROUND LIGHT

BENCH MARK DATA

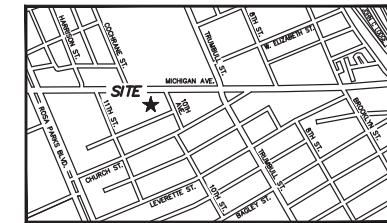
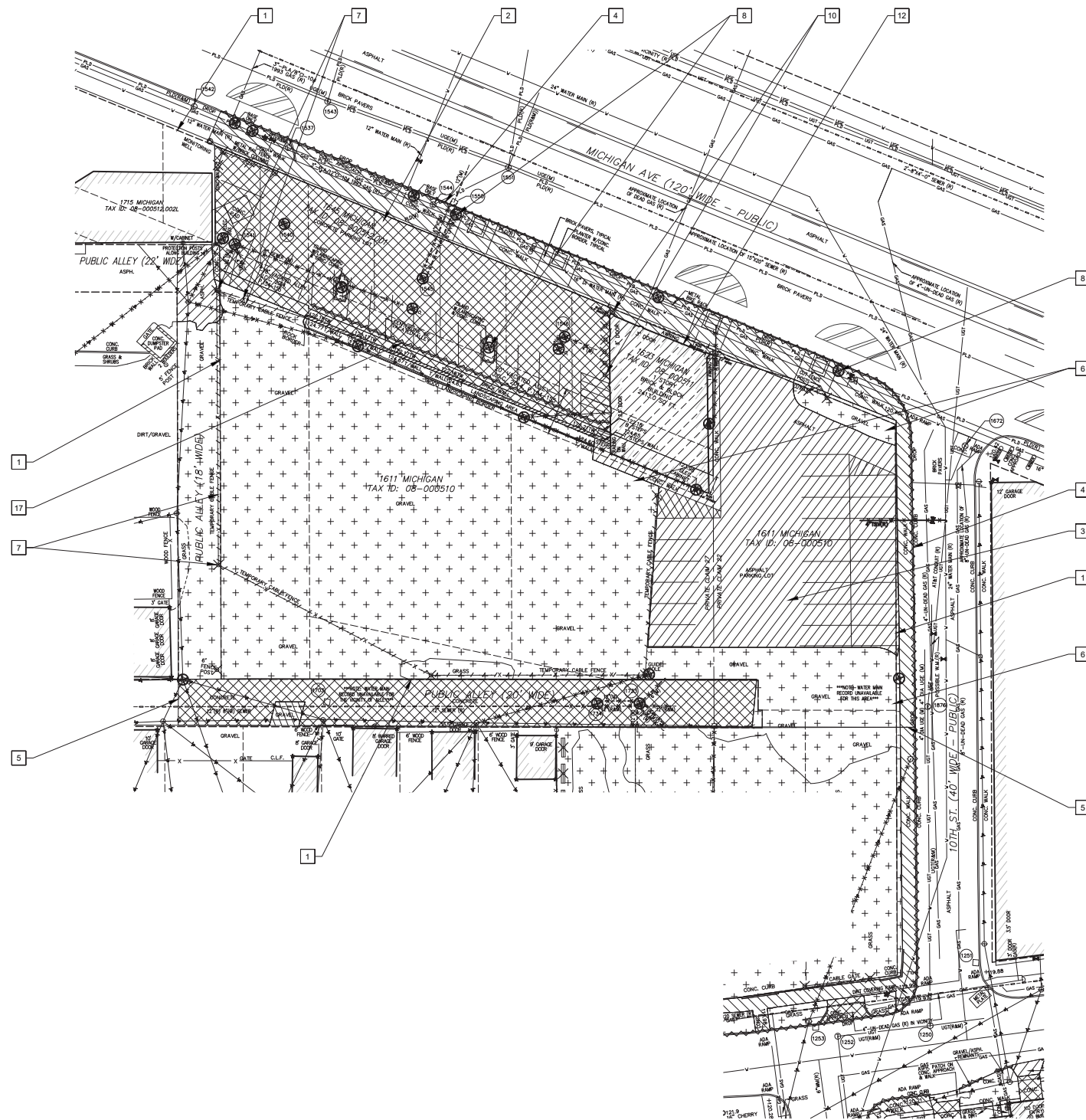
- (CITY OF DETROIT) DATUM
- BENCH MARK 1  
 MAG. SPIKE IN THE NORTHEAST FACE OF A LIGHT POLE, LOCATED ON THE WEST SIDE OF TRUMBULL AVENUE, PLUS OR MINUS 150 FEET NORTH OF THE CENTERLINE OF LEVERETTE STREET.  
 ELEVATION: 122.3178  
 (SHOWN GRAPHICALLY)
  - BENCH MARK 2  
 ARROW ON HYDRANT (WITH YEAR STAMP 1940), LOCATED AT THE SOUTHEAST CORNER OF MICHIGAN AVENUE AND 8TH STREET.  
 ELEVATION: 123.06  
 (OUT OF SCOPE OF PLOTTED AREA)
  - BENCH MARK 3  
 ARROW ON HYDRANT (1922), LOCATED ON THE NORTHWEST CORNER OF CHURCH STREET AND 10TH STREET.  
 ELEVATION: 122.79  
 (SHOWN GRAPHICALLY)
  - BENCH MARK 4  
 ARROW ON HYDRANT (1940), LOCATED ON THE SOUTH SIDE OF MICHIGAN AVENUE, WEST OF THE WESTERLY ENTRANCE TO A PARKING LOT AT ADDRESS 1645 MICHIGAN AVENUE.  
 ELEVATION: 123.13  
 (SHOWN GRAPHICALLY)
  - BENCH MARK 5  
 MAG. NAIL IN THE NORTH FACE OF A UTILITY POLE, LOCATED ON THE SOUTHWEST CORNER OF 10TH STREET AND THE PUBLIC ALLEY, WHICH IS BETWEEN CHURCH STREET AND LEVERETTE STREET.  
 ELEVATION: 120.17  
 (SHOWN GRAPHICALLY)

NOTES:

- STEAM UTILITY MAPS WERE NOT AVAILABLE AT TIME OF SURVEY.
- NO WATER UTILITY MAP WAS AVAILABLE THAT SHOWED THE AREA OF A 20' WIDE PUBLIC ALLEY, LOCATED BETWEEN MICHIGAN AVE. & CHURCH ST., & BETWEEN 10TH ST. & A 16' WIDE PUBLIC ALLEY. THEREFORE, WATER MAIN MAY EXIST, ALTHOUGH NOT SHOWN. CONTACT MISS DIG TO LOCATE ALL WATER MAIN, PRIOR TO CONSTRUCTION.
- TREE SIZES AND SPECIES ARE THE BEST ESTIMATION OF THE FIELD SURVEYOR. SPECIFIC QUESTIONS REGARDING INDIVIDUAL TREES SHOULD BE DIRECTED TO A QUALIFIED FORESTER.
- THE BASIS OF BEARING FOR THE OVERALL PARCEL AS FIELD SURVEYED IS BASED ON STATE PLANE COORDINATE SYSTEM (NAVD83).
- NO TITLE COMMITMENT POLICY WAS PROVIDED, THEREFORE EASEMENTS MAY EXIST THAT ARE NOT SHOWN.
- NO CERTIFICATION CAN BE MADE AS TO LIMITS OF OWNERSHIP.



1 EXISTING CONDITIONS  
 C-200 1" = 20'



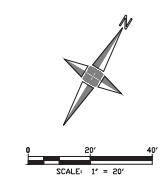
LOCATION MAP  
( NOT TO SCALE )

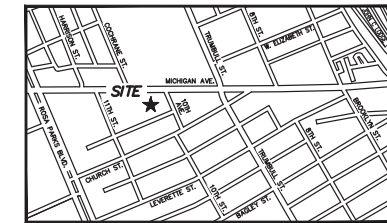
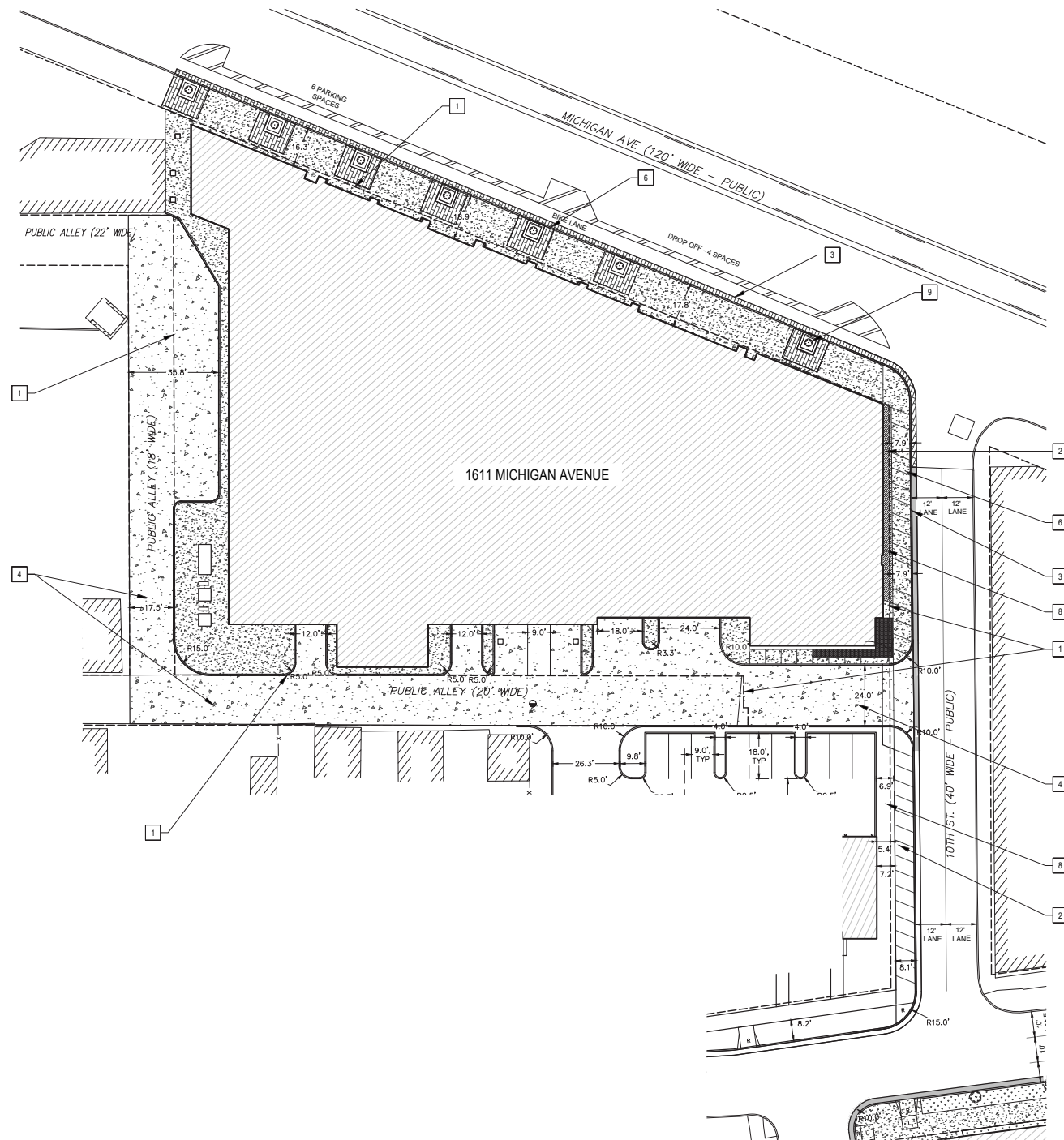
**DEMOLITION PLAN - LEGEND**

REMOVE/DEMOLISH UTILITY LINE	- x - x - x - x - x - x -
REMOVE/DEMOLISH CURB AND GUTTER	~ ~ ~ ~ ~
REMOVE FENCE	- . - . - . - . - . - . -
REMOVE/DEMOLISH UTILITY STRUCTURE	⊗
REMOVE TREE, SHRUB, OR ITEM	×
REMOVE EXISTING BUILDING	[Diagonal Hatching]
REMOVE CONCRETE PAVEMENT	[Cross Hatching]
REMOVE ASPHALT PAVEMENT	[Parallel Hatching]
REMOVE CONCRETE SIDEWALK	[Diagonal Hatching]
REMOVE GRASS, BRUSH, GRAVEL AND/OR DEBRIS	[Plus Sign Hatching]

- DEMOLITION PLAN - KEY NOTES**
- 1 EXISTING PROPERTY LINE, TYP
  - 2 REMOVE AND DISPOSE OF CONCRETE PAVEMENT, TYP
  - 3 REMOVE AND DISPOSE OF ASPHALT PAVEMENT, TYP
  - 4 REMOVE AND DISPOSE OF CONCRETE CURB, TYP
  - 5 SAWCUT EXISTING PAVEMENT, TYP
  - 6 CLEAR AREA OF GRAVEL, GRASS, BRUSH AND/OR DEBRIS, TYP
  - 7 EXISTING FENCE AND FENCE POSTS TO BE REMOVED
  - 8 COORDINATE WITH DTE AND THE PUBLIC LIGHTING AUTHORITY TO REMOVE/RELOCATE ELECTRIC POLES, OVERHEAD LINES, AND LIGHTING AS NEEDED FOR PROPERTY IMPROVEMENTS
  - 9 EXISTING CATCH BASIN/MANHOLE STRUCTURE TO BE REMOVED
  - 10 REMOVE AND DISPOSE OF BOLLARDS, TYP.
  - 11 EXISTING TREE TO BE REMOVED
  - 12 REMOVE EXISTING BUILDING AND FOUNDATIONS IN ACCORDANCE WITH SITE PLAN. FILL WITH CLASS II SAND COMPACTED TO 95%
  - 13 EXISTING BRICK PAVERS TO BE REMOVED AND SALVAGED FOR REUSE.
  - 14 EXISTING SEWER TO BE REMOVED
  - 15 EXISTING GAS TO BE REMOVED/RELOCATED; COORDINATE WITH DTE GAS
  - 16 EXISTING WATER PIPE AND STRUCTURES TO BE REMOVED. COORDINATE WITH DWS
  - 17 REMOVE BRICK WALL AND ADJACENT LANDSCAPE

1 DEMOLITION PLAN  
C-300 1" = 20'





LOCATION MAP  
(NOT TO SCALE)

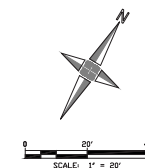
PAVING PLAN - LEGEND

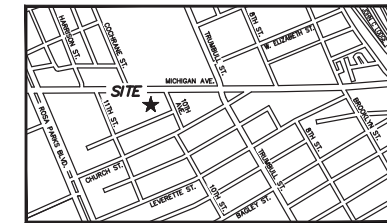
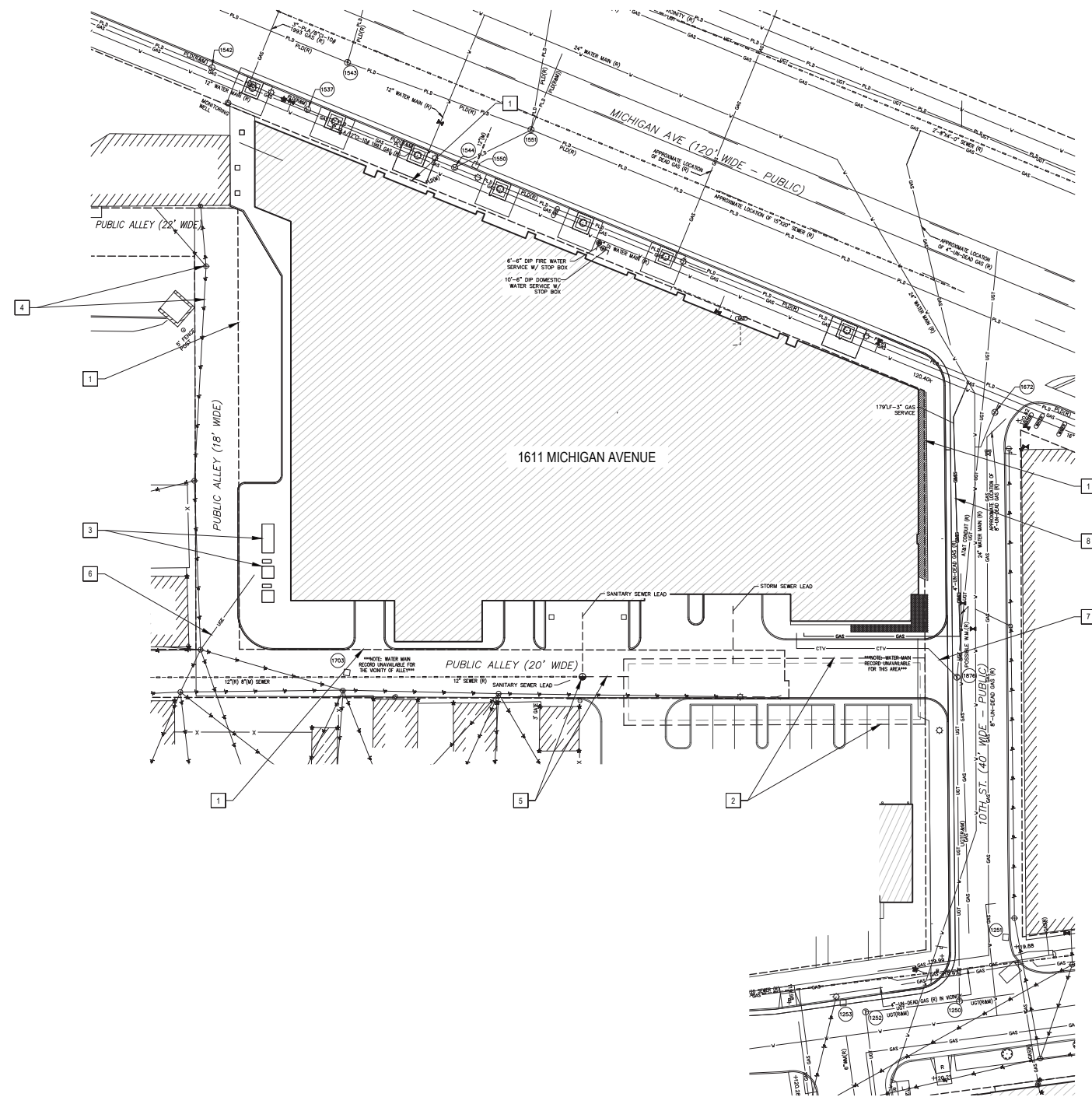
- 4" CONCRETE SIDEWALK PAVEMENT
- 6" CONCRETE SIDEWALK PAVEMENT
- 8" CONCRETE PAVEMENT
- PAVEMENT REPAIR PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS
- ASPHALT PAVEMENT
- LANDSCAPING, SEE SHEET L-100 FOR PLANTING LOCATIONS AND SPECIES

PAVING PLAN - KEY NOTES

- | # | NOTE  |
|---|---|
| 1 | RIGHT-OF-WAY LINE, TYP.   |
| 2 | NEW 4" CONCRETE SIDEWALK PAVEMENT. SEE DETAIL ON SHEET C-800  |
| 3 | 2'-0" (MIN.) WIDE PAVEMENT REPAIR PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS. EXISTING STREET PAVEMENT SHALL BE MILLED AND REPAIRED TO NEW GUTTER GRADE PER GRADING PLAN. PAVEMENT SHALL HAVE UNIFORM SLOPE TOWARDS FACE OF CURB. |
| 4 | NEW 8" CONCRETE ALLEY PAVEMENT PER CITY OF DETROIT STANDARDS  |
| 5 | NEW 6" CONCRETE PAVEMENT. SEE DETAIL ON SHEET C-800.  |
| 6 | PROVIDE AND INSTALL NEW INTEGRAL CURBS AND SIDEWALK. SEE DETAIL ON SHEET C-800.   |
| 7 | ADA COMPLIANT BARRIER FREE CURB RAMP PER CITY OF DETROIT STANDARDS  |
| 8 | PLEASE REFER TO GMA LANDSCAPE PLANS FOR PLANTER BED AND PLANTING DETAILS ON 10TH STREET.  |
| 9 | PLEASE REFER TO SHEET L-100 FOR LANDSCAPE DETAILS ON MICHIGAN AVENUE.   |

1 PAVING PLAN  
C-500 1" = 20'





LOCATION MAP  
(NOT TO SCALE)

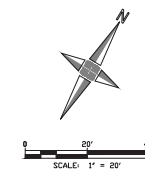
UTILITY PLAN - LEGEND

STORM SEWER	---
SANITARY SEWER	---
PERFORATED DRAIN	---
WATER SERVICE	---
UNDERGROUND ELECTRIC	---
GAS SERVICE	---
COMMUNICATIONS	---
FIRE HYDRANT	⊗
STOP BOX AND VALVE	⊙
FIRE DEPARTMENT CONNECTION	⊕
CATCH BASIN	■
SANITARY SEWER DRAIN	⊞
SANITARY CLEANOUT	⊞
SANITARY MANHOLE	⊙
STORM MANHOLE	⊙
STORM SEWER CLEANOUT	⊙
UNDERGROUND DETENTION SYSTEM	⎓

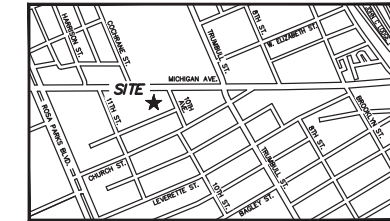
UTILITY PLAN - KEY NOTES

- 1 EXISTING PROPERTY LINE, TYP.
- 2 ESTIMATE OF SIZE AND LOCATION OF SHARED CONTECH UNDERGROUND DETENTION SYSTEM BASED ON PRELIMINARY CALCULATIONS
- 3 ELECTRICAL EQUIPMENT, SEE MEP PLANS FOR DETAILS
- 4 COORDINATE WITH DTE AND THE PUBLIC LIGHTING AUTHORITY TO REMOVE/RELOCATE ELECTRIC POLES, OVERHEAD LINES, AND LIGHTING AS NEEDED FOR PROPERTY IMPROVEMENTS, TYP.
- 5 NEW STORM MANHOLE AND NEW PVC PIPE FOR STORM
- 6 NEW DTE UNDERGROUND CONDUIT FOR SERVICE
- 7 NEW COMMUNICATIONS LINE
- 8 NEW GAS LINE

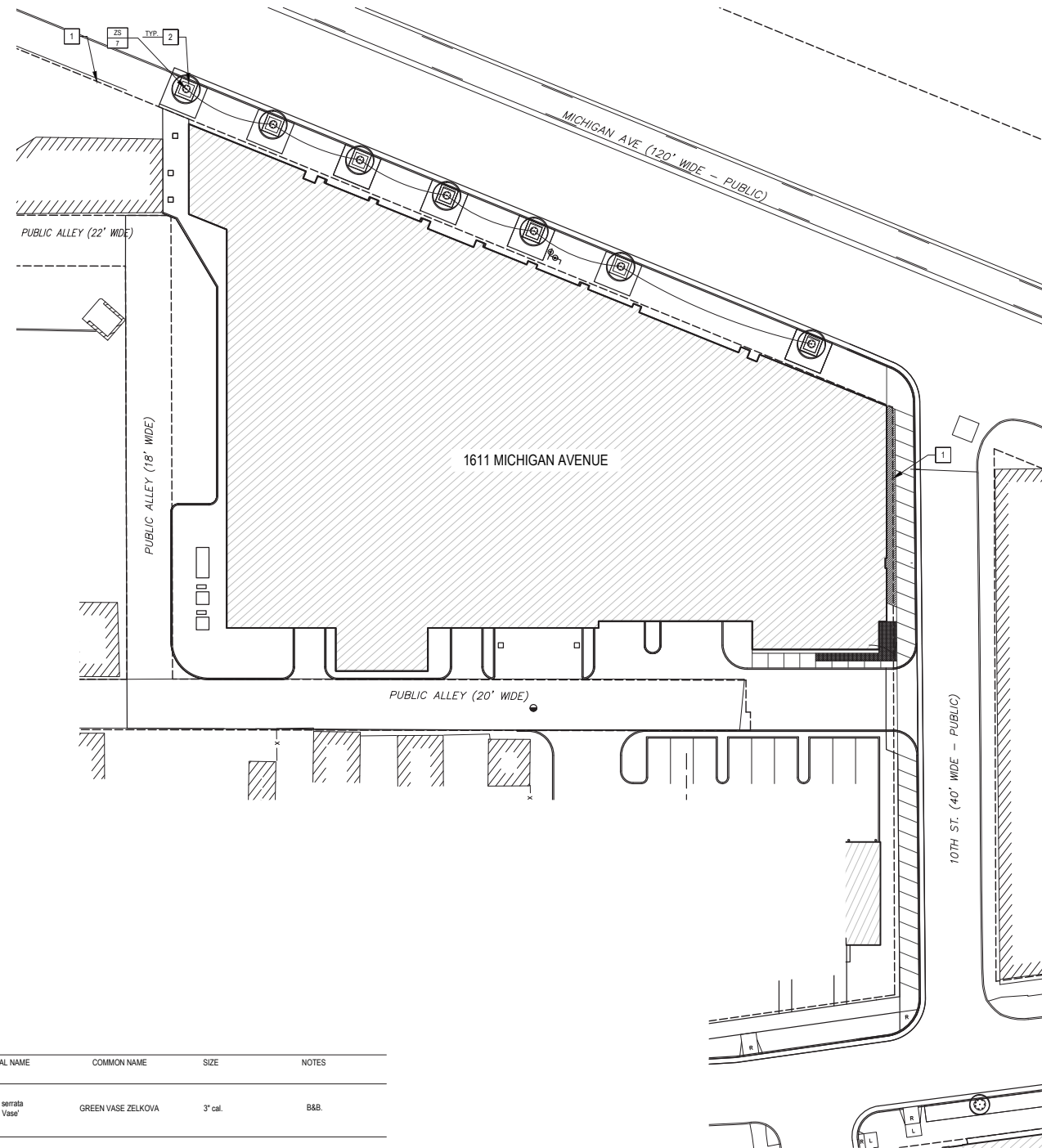
1 UTILITY PLAN  
C-700 1" = 20'







LOCATION MAP  
( NOT TO SCALE )



**GENERAL NOTES:**

1. All Construction shall conform to the current standards and specifications of local ordinances.
2. All areas not built, landscaped, or paved upon shall receive seasoned double shredded hardwood bark mulch.
3. During installation and construction, the Contractor must provide a watering method for all plant material until it has become established.
4. Two (2) year guarantee period begins at Final Acceptance of landscape material by the City's representative, a landscape architect, and prior to the authorization of the occupancy permit.
5. A minimum of one cultivation in each month of June, July, and August shall be performed within the 2-year warranty period.
6. The development of this site will not result in any increase in dust, odor, smoke, fumes, noise, lights, or other objectionable features.

**LANDSCAPE CONTRACTOR'S  
"TWO-YEAR IRRIGATION REQUIREMENT PERIOD"**

It shall be the responsibility of the landscape contractor to provide water as required to ensure delivery of proper and adequate water supply to all plant material to ensure the establishment of healthy plant material for their first year of growth. Following the landscape contractor's two-year irrigation requirement period, the contractor shall provide the owner with suggested irrigation maintenance schedule for their use.

**PLANT NOTES:**

1. Plant materials shall be sound, healthy, vigorous, free from plant diseases and insects or their eggs, and shall have normal, healthy root systems. Caliper measurements shall be taken 6" above the ground level. All other measurements shall be in accordance with the latest edition of "American Standard for Nursery Stock" (ANSI Z-60.1 + A3002004).
2. Planting bed soil shall be an equal mix of screened organic topsoil, sphagnum peat moss, and clean sand. To deter weed growth during establishment, apply a pre-emergent ("Preen" or equal) after planting, 2-3 times per growing season, at the rate recommended by product manufacturer.
3. Planting pockets shall be no deeper than twice the height of the root ball.
4. All tree wrap shall be removed upon planting.
5. Mulch shall be double shredded seasoned hardwood bark mulch. Contractor to submit sample for approval by landscape architectural engineer prior to placement.
6. Plants shall be guaranteed for two complete growing seasons (24 months). Dead material shall be replaced as needed prior to expiration of the guarantee period.
7. Remove the top 1/2 of burlap, twine and/or metal cage on root ball. If wrapped in plastic covering or nylon cording, all of these types of material should be removed.
8. Plant material shall be used in compliance with provisions of the local ordinance and shall be nursery grown, free of pests and diseases, hardy in this county, in conformance with the Standards of the American Association of Nurserymen, and shall pass inspections required under state regulations. In addition, plant materials shall be northern grown, No. 1 Grade.
9. Plant material shall be planted within the annual planting window of March 15 through November 15.
10. All plant ID tags are to remain until all plants are accepted on site.
11. Any plant substitutions must be submitted in writing and approved by the landscape architect prior to installation.
12. Grass seed shall be certified turf grass seed complying with A.S.P.A specifications, and free of weed seeds and undesirable native grasses. Seeded areas shall not be permitted to dry out. All lawn areas shall be fertilized and watered as required during the first growing season to maintain a dense and vigorous growing lawn. Areas scheduled for lawn seed shall receive a minimum of 3" of screen topsoil at 3" depth unless otherwise noted on plans.

**LAWN SEED MIX:**

- 30% Perennial Ryegrass
- 20% Park Kentucky Bluegrass
- 45% Creeping Red Fescue
- 5% Annual Ryegrass
- 4 lb /1000 sf Seeding Rate

**PLANT LEGEND**

SYMBOL	TYPE	ABBR	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
	DECIDUOUS TREES	ZS	7	Zelkova serrata 'Green Vase'	GREEN VASE ZELKOVA	3" cal.	B&B.

**LANDSCAPE PLAN - KEY NOTES**

SOD LAWN

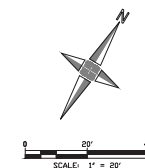
**LANDSCAPE PLAN - LEGEND**

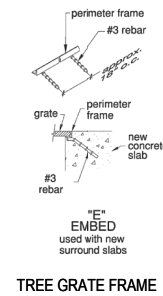
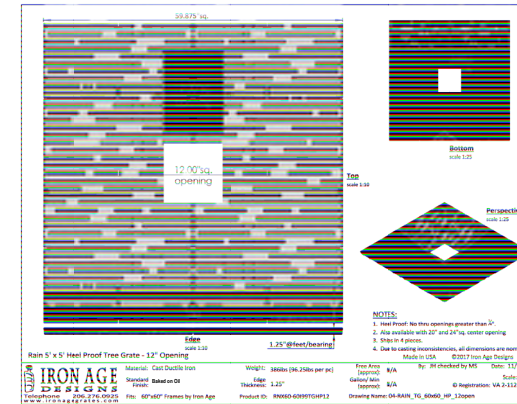
# NOTE

1 EXISTING PROPERTY LINE, TYP.

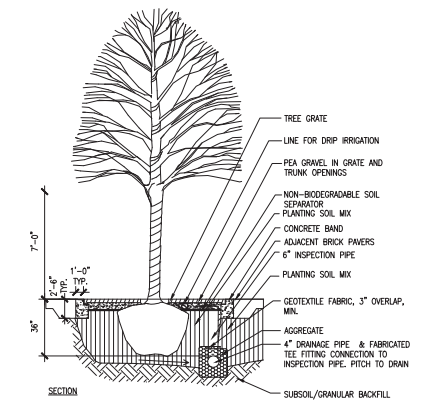
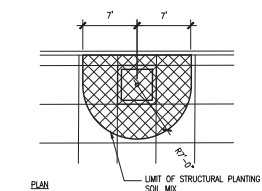
2 DECIDUOUS TREE IN TREE GRATE, SEE DETAIL L-600, TYP.

1 LANDSCAPE PLAN  
L-100 1" = 20'



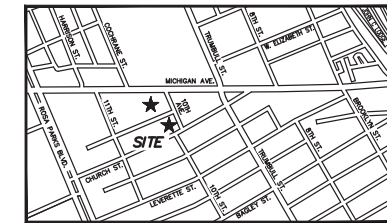


IRON AGE 'RAIN' 5' X 5' BAKED ON OIL FINISH TREE GRATE

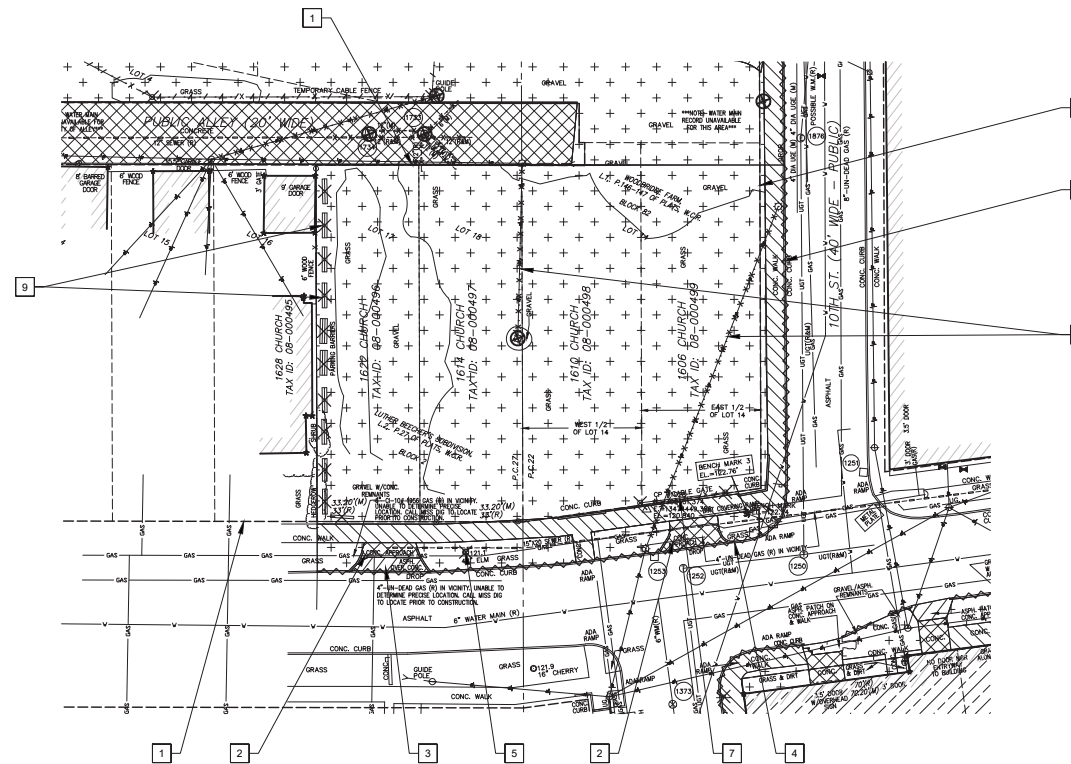


DECIDUOUS TREE IN TREE GRATE





LOCATION MAP  
( NOT TO SCALE )



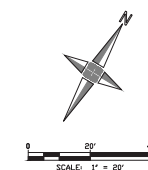
DEMOLITION PLAN - LEGEND

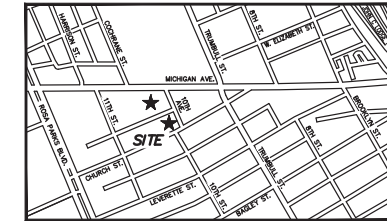
- REMOVE/DEMOLISH UTILITY LINE
- REMOVE/DEMOLISH CURB AND GUTTER
- REMOVE FENCE
- REMOVE/DEMOLISH UTILITY STRUCTURE
- REMOVE TREE, SHRUB, OR ITEM
- REMOVE EXISTING BUILDING
- REMOVE CONCRETE PAVEMENT
- REMOVE ASPHALT PAVEMENT
- REMOVE CONCRETE SIDEWALK
- REMOVE GRASS, BRUSH, GRAVEL AND/OR DEBRIS

DEMOLITION PLAN - KEY NOTES

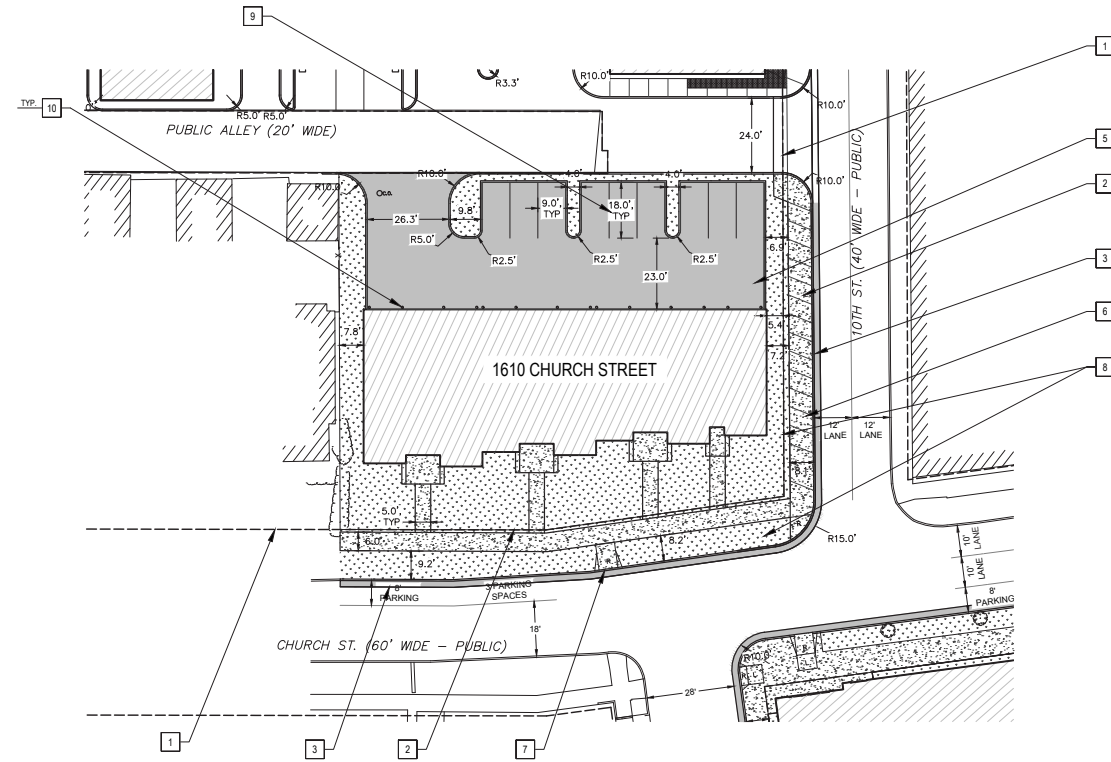
- 1 EXISTING PROPERTY LINE, TYP
- 2 REMOVE AND DISPOSE OF CONCRETE PAVEMENT, TYP
- 3 REMOVE AND DISPOSE OF ASPHALT PAVEMENT, TYP
- 4 REMOVE AND DISPOSE OF CONCRETE CURB, TYP
- 5 EXISTING TREE TO BE REMOVED
- 6 CLEAR AREA OF GRAVEL, GRASS, BRUSH AND/OR DEBRIS, TYP
- 7 EXISTING FENCE AND FENCE POSTS TO BE REMOVED
- 8 COORDINATE WITH DTE AND THE PUBLIC LIGHTING AUTHORITY TO REMOVE/RELOCATE ELECTRIC POLES, OVERHEAD LINES, AND LIGHTING AS NEEDED FOR PROPERTY IMPROVEMENTS
- 9 EXISTING PARKING BARRIERS TO BE REMOVED

1 DEMOLITION PLAN  
C-300 1" = 20'





LOCATION MAP  
( NOT TO SCALE )



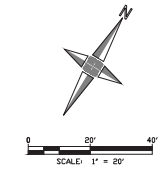
PAVING PLAN - LEGEND

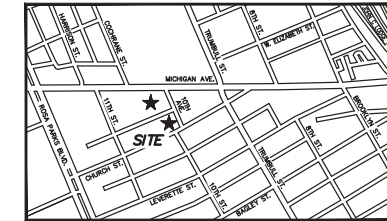
- 4" CONCRETE SIDEWALK PAVEMENT
- 6" CONCRETE SIDEWALK PAVEMENT
- 8" CONCRETE PAVEMENT
- PAVEMENT REPAIR PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS
- ASPHALT PAVEMENT
- LANDSCAPING, SEE SHEET L-100 FOR PLANTING LOCATIONS AND SPECIES

PAVING PLAN - KEY NOTES

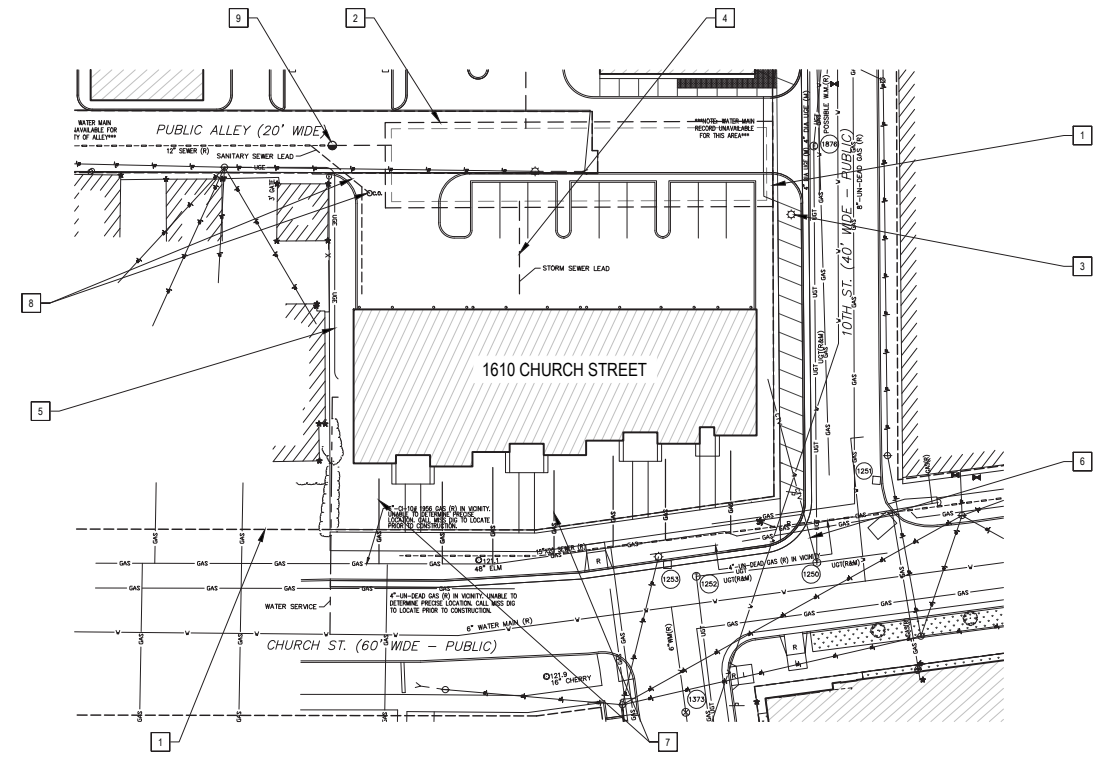
- | #  | NOTE  |
|----|---|
| 1  | RIGHT-OF-WAY LINE, TYP.   |
| 2  | NEW 4" CONCRETE SIDEWALK PAVEMENT, SEE DETAIL ON SHEET C-800  |
| 3  | 2'-0" (MIN.) WIDE PAVEMENT REPAIR PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS. EXISTING STREET PAVEMENT SHALL BE MILLED AND REPAIRED TO NEW GUTTER GRADE PER GRADING PLAN. PAVEMENT SHALL HAVE UNIFORM SLOPE TOWARDS FACE OF CURB. |
| 4  | NEW 8" CONCRETE ALLEY PAVEMENT PER CITY OF DETROIT STANDARDS  |
| 5  | ASPHALT PAVEMENT, SEE DETAIL ON SHEET C-800   |
| 6  | PROVIDE AND INSTALL NEW INTEGRAL CURBS AND SIDEWALK, SEE DETAIL ON SHEET C-800.   |
| 7  | ADA COMPLIANT BARRIER FREE CURB RAMP PER CITY OF DETROIT STANDARDS  |
| 8  | PLEASE REFER TO THE LANDSCAPE PLANS FOR PLANTER BED AND PLANTING DETAILS.   |
| 9  | PAVEMENT MARKINGS, SEE DETAIL ON SHEET C-800  |
| 10 | BOLLARDS  |

1 PAVING PLAN  
C-500 1" = 20'





LOCATION MAP  
( NOT TO SCALE )



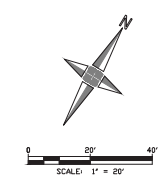
UTILITY PLAN - LEGEND

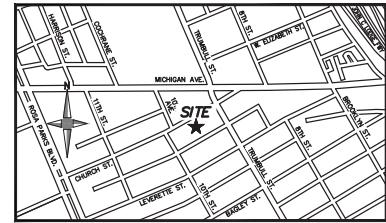
STORM SEWER	---
SANITARY SEWER	---
PERFORATED DRAIN	---
WATER SERVICE	---
UNDERGROUND ELECTRIC	---
GAS SERVICE	---
COMMUNICATIONS	---
FIRE HYDRANT	⊙
STOP BOX AND VALVE	⊙
FIRE DEPARTMENT CONNECTION	⊙
CATCH BASIN	■
SANITARY SEWER DRAIN	■
SANITARY CLEANOUT	○
SANITARY MANHOLE	⊙
STORM MANHOLE	⊙
STORM SEWER CLEANOUT	○
UNDERGROUND DETENTION SYSTEM	[---]

UTILITY PLAN - KEY NOTES

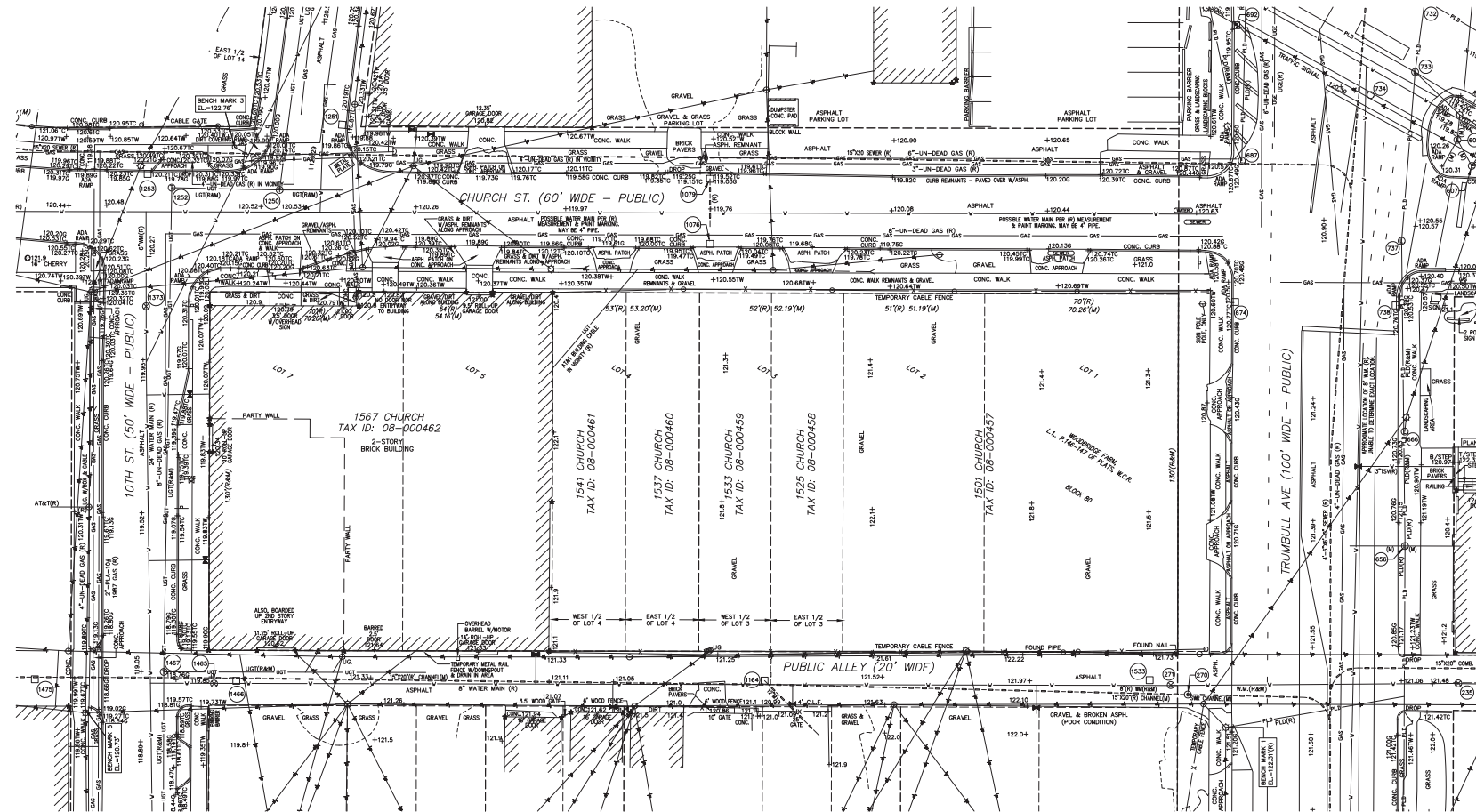
- 1 EXISTING PROPERTY LINE, TYP.
- 2 ESTIMATE OF SIZE AND LOCATION OF SHARED UNDERGROUND DETENTION SYSTEM BASED ON PRELIMINARY CALCULATIONS
- 3 COORDINATE WITH THE PUBLIC LIGHTING AUTHORITY TO REMOVE/RELOCATE POLES, OVERHEAD LINES, AND LIGHTING AS NEEDED FOR PROPERTY IMPROVEMENTS, TYP.
- 4 NEW PVC PIPE FOR STORM
- 5 NEW DTE UNDERGROUND CONDUIT FOR SERVICE
- 6 NEW COMMUNICATIONS LINE
- 7 NEW GAS LINE, TYP.
- 8 NEW SANITARY LINE AND SANITARY CLEANOUT
- 9 PROPOSED MANHOLE INSTALLED AS A PART OF THE 1611 MICHIGAN AVENUE PROJECT

1 UTILITY PLAN  
C-700 1" = 20'





LOCATION MAP  
(NOT TO SCALE)



LEGEND - EXISTING

SECTION LINE	○ SAN. MH
E/ PAVEMENT	○ SAN. CLEAN OUT
CURB	△ SAN. RISER
L/ GRAVEL	□ SAN. PUMP STATION
CL. ROAD	□ COMB. MH
E/ WALK	○ GATE VALVE
RAILROAD	○ HYDRANT
E/ BRICK	○ WATER VALVE
MISC. LINE	○ WATER METER
FENCE	○ WELL HEAD
GUARD RAIL	○ FDC CONNECTION
WALL	○ STORM MH
BLDG. LINE	○ CATCH BASIN
OVERHEAD WIRES	○ BEDVAE CB
RAILING	○ CULVERT E.S.
OVERHANG LINE	○ ROOF/DOWN SPOUT
1/2 BANK	○ WATER EDGE
B/ BANK	○ CONC. STORM CLEAN OUT
CL. STORM/STREAM	○ ROUND CB
SHRUB LINE	○ LIGHT POLE
TREE LINE	○ UTILITY POLE
WATER EDGE	○ ELEC. TRANS.
○ CONC. STORM CLEAN OUT	○ AIR CONDITIONER
○ ROUND CB	○ ELEC. MH
○ LIGHT POLE	○ ELEC. METER
○ UTILITY POLE	○ ELEC. RISER
○ ELEC. TRANS.	○ STEAM MH
○ AIR CONDITIONER	○ PUBLIC LIGHTING MH
○ ELEC. MH	○ MISC. TOPO. SHOT
○ ELEC. METER	○ FOUND IRON
○ ELEC. RISER	○ FOUND NAIL
○ STEAM MH	○ F. OUT CROSS
○ PUBLIC LIGHTING MH	○ SECTION COR.
○ MISC. TOPO. SHOT	○ FENCE POST
○ FOUND IRON	○ CABLE RISER
○ FOUND NAIL	○ FOUND PIPE
○ F. OUT CROSS	○ FOUND MON.
○ SECTION COR.	○ ASPH. ASPHALT
○ FENCE POST	○ CONC. CONCRETE
○ CABLE RISER	○ PROT. POST/GUARD POST
○ FOUND PIPE	○ G.P. GUARD POST
○ FOUND MON.	○ CL.F. CHAIN-LINE FENCE
○ ASPH. ASPHALT	○ D.H. OVERHANG
○ CONC. CONCRETE	○ BULK CORNER (FIELD LOADED)
○ PROT. POST/GUARD POST	○ FOUND IRON
○ G.P. GUARD POST	○ S.I. SET IRON
○ CL.F. CHAIN-LINE FENCE	○ F.I.P. FOUND IRON PIPE
○ D.H. OVERHANG	○ M. MEASURED
○ BULK CORNER (FIELD LOADED)	○ R. RECORDED
○ FOUND IRON	○ F.M. FOUND MONUMENT
○ S.I. SET IRON	○ S.N. SET NAIL
○ F.I.P. FOUND IRON PIPE	○ M.P. MOUND
○ M. MEASURED	○ EXISTING ELEVATION
○ R. RECORDED	○ G.L. GROUND LIGHT
○ F.M. FOUND MONUMENT	
○ S.N. SET NAIL	
○ M.P. MOUND	
○ EXISTING ELEVATION	
○ G.L. GROUND LIGHT	

BENCH MARK DATA

(CITY OF DETROIT) DATUM

BENCH MARK 1  
MAG. SPIKE IN THE NORTHEAST FACE OF A LIGHT POLE, LOCATED ON THE WEST SIDE OF TRUMBULL AVENUE, PLUS OR MINUS 150 FEET NORTH OF THE CENTERLINE OF LEVERETTE STREET.  
ELEVATION: 122.31(F)  
(SHOWN GRAPHICALLY)

BENCH MARK 2  
ARROW ON HYDRANT (WITH YEAR STAMP 1960), LOCATED AT THE SOUTHEAST CORNER OF MICHIGAN AVENUE AND 8TH STREET.  
ELEVATION: 123.08  
(OUT OF SCOPE OF PLOTTED AREA)

BENCH MARK 3  
ARROW ON HYDRANT (1922), LOCATED ON THE NORTHWEST CORNER OF CHURCH STREET AND 10TH STREET.  
ELEVATION: 122.76  
(SHOWN GRAPHICALLY)

BENCH MARK 4  
ARROW ON HYDRANT (1940), LOCATED ON THE SOUTH SIDE OF MICHIGAN AVENUE, WEST OF THE WESTERLY ENTRANCE TO A PARKING LOT AT ADDRESS 1645 MICHIGAN AVENUE.  
ELEVATION: 123.17  
(SHOWN GRAPHICALLY)

BENCH MARK 5  
MAG. NAIL IN THE NORTH FACE OF A UTILITY POLE, LOCATED ON THE SOUTHWEST CORNER OF 10TH STREET AND THE PUBLIC ALLEY, WHICH IS BETWEEN CHURCH STREET AND LEVERETTE STREET.  
ELEVATION: 120.77  
(SHOWN GRAPHICALLY)

NOTES:

- STEAM UTILITY MAPS WERE NOT AVAILABLE AT TIME OF SURVEY.
- NO WATER UTILITY MAP WAS AVAILABLE THAT SHOWED THE AREA OF A 20' WIDE PUBLIC ALLEY LOCATED BETWEEN MICHIGAN AVE., A CHURCH ST., & BETWEEN 10TH ST. & A 16' WIDE PUBLIC ALLEY. THEREFORE, WATER MAIN MAY EXIST, ALTHOUGH NOT SHOWN. CONTACT MISS DIG TO LOCATE ALL WATER MAIN, PRIOR TO CONSTRUCTION.
- TREE SIZES AND SPECIES ARE THE BEST ESTIMATION OF THE FIELD SURVEYOR. SPECIFIC QUESTIONS REGARDING INDIVIDUAL TREES SHOULD BE DIRECTED TO A QUALIFIED FORESTER.
- THE BASIS OF BEARING FOR THE OVERALL PARCEL AS FIELD SURVEYED IS BASED ON STATE PLANE COORDINATE SYSTEM (NAV88).
- NO TITLE COMMITMENT POLICY WAS PROVIDED, THEREFORE EASEMENTS MAY EXIST THAT ARE NOT SHOWN.
- NO CERTIFICATION CAN BE MADE AS TO LIMITS OF OWNERSHIP.

PROPERTY DESCRIPTION

(PER TAX RECORD)

1567 CHURCH ST.

LAND LOCATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:  
SOUTH OF CHURCH STREET, LOTS 5 THROUGH 7, BLOCK 80, OF WOODBRIDGE FARM, LIBER 1, PAGES 146 THROUGH 147 OF PLATS, WAYNE COUNTY RECORDS.  
(TAX ID: 08000462)

1541 CHURCH ST.

LAND LOCATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:  
SOUTH OF CHURCH STREET, THE WEST 1/2 OF LOT 4, BLOCK 80, OF WOODBRIDGE FARM, LIBER 1, PAGES 146 THROUGH 147 OF PLATS, WAYNE COUNTY RECORDS.  
(TAX ID: 08000461)

1537 CHURCH ST.

LAND LOCATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:  
SOUTH OF CHURCH STREET, THE EAST 1/2 OF LOT 4, BLOCK 80, OF WOODBRIDGE FARM, LIBER 1, PAGES 146 THROUGH 147 OF PLATS, WAYNE COUNTY RECORDS.  
(TAX ID: 08000460)

1533 CHURCH ST.

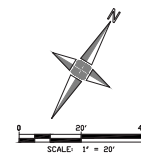
LAND LOCATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:  
SOUTH OF CHURCH STREET, THE WEST 1/2 OF LOT 3, BLOCK 80, OF WOODBRIDGE FARM, LIBER 1, PAGES 146 THROUGH 147 OF PLATS, WAYNE COUNTY RECORDS.  
(TAX ID: 08000459)

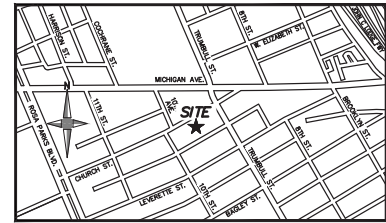
1525 CHURCH ST.

LAND LOCATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:  
SOUTH OF CHURCH STREET, THE EAST 1/2 OF LOT 3, BLOCK 80, OF WOODBRIDGE FARM, LIBER 1, PAGES 146 THROUGH 147 OF PLATS, WAYNE COUNTY RECORDS.  
(TAX ID: 08000458)

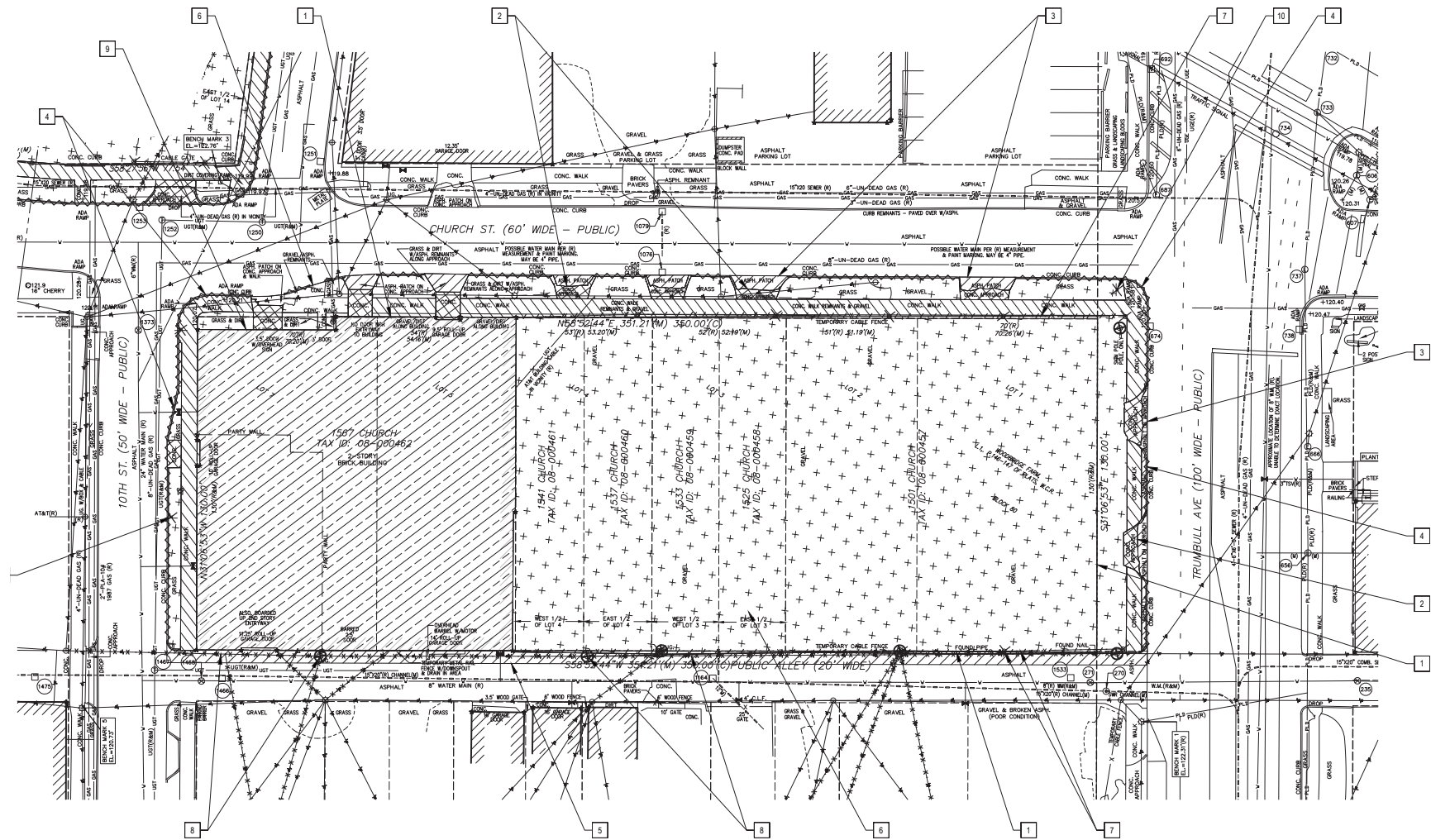
1501 CHURCH ST.

LAND LOCATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:  
SOUTH OF CHURCH STREET, LOTS 1 THROUGH 2, BLOCK 80, OF WOODBRIDGE FARM, LIBER 1, PAGES 146 THROUGH 147 OF PLATS, WAYNE COUNTY RECORDS.





LOCATION MAP  
( NOT TO SCALE )

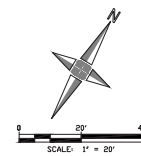


DEMOLITION PLAN - LEGEND

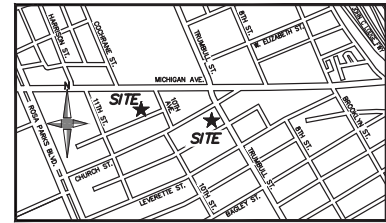
- REMOVE/DEMOLISH UTILITY PIPE
- REMOVE/DEMOLISH CURB AND GUTTER
- REMOVE FENCE
- REMOVE/DEMOLISH UTILITY STRUCTURE
- REMOVE TREE, SHRUB, OR ITEM
- REMOVE EXISTING BUILDING
- REMOVE CONCRETE PAVEMENT
- REMOVE ASPHALT PAVEMENT
- REMOVE CONCRETE SIDEWALK
- REMOVE GRASS, BRUSH AND/OR DEBRIS

DEMOLITION PLAN - KEY NOTES

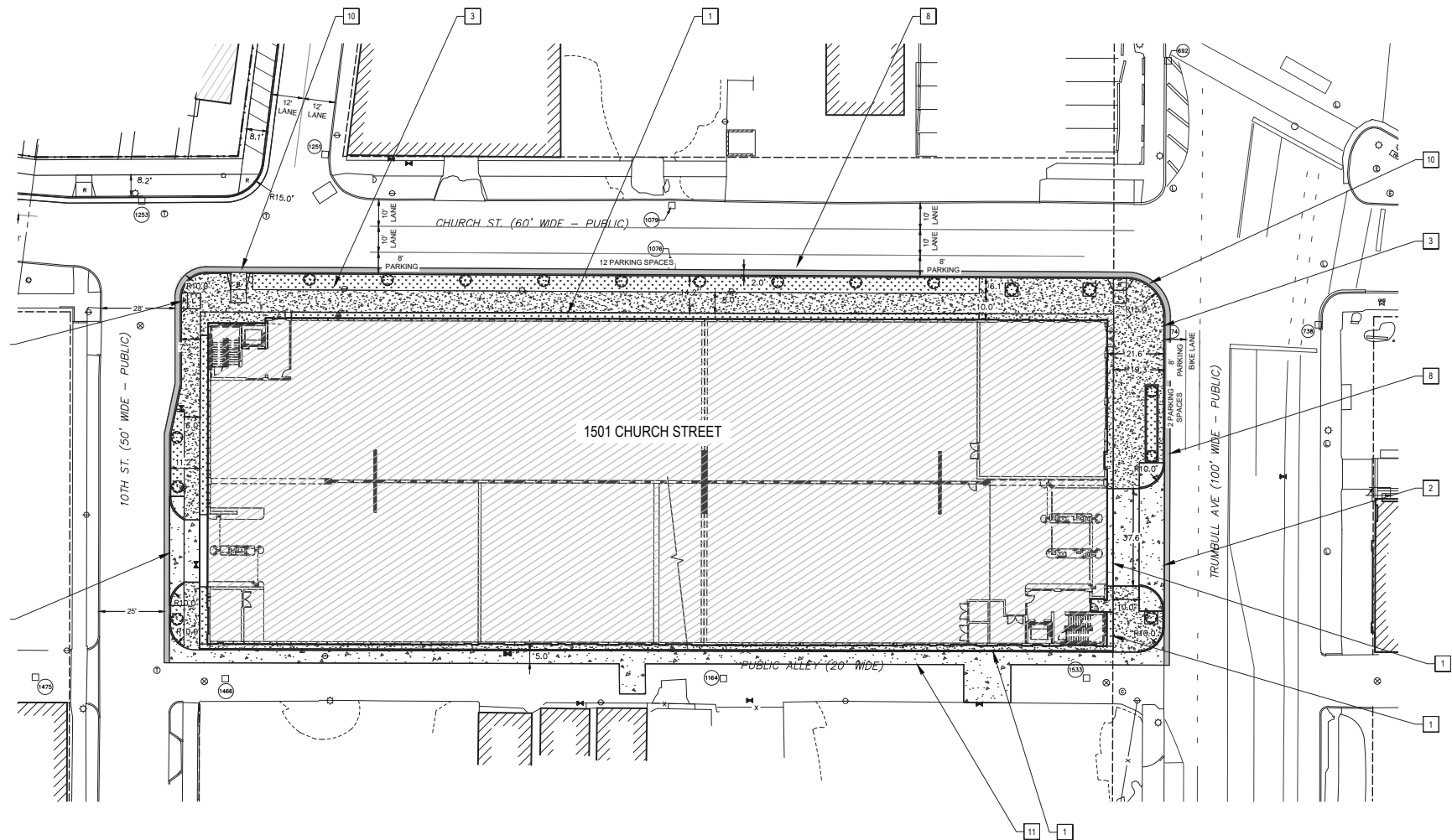
- 1 EXISTING PROPERTY LINE, TYP
- 2 REMOVE AND DISPOSE OF CONCRETE PAVEMENT, TYP
- 3 REMOVE AND DISPOSE OF ASPHALT PAVEMENT, TYP
- 4 REMOVE AND DISPOSE OF CONCRETE CURB, TYP
- 5 SAWCUT EXISTING PAVEMENT, TYP
- 6 CLEAR AREA OF GRAVEL, GRASS, BRUSH AND/OR DEBRIS, TYP
- 7 EXISTING FENCE AND FENCE POSTS TO BE REMOVED
- 8 COORDINATE WITH THE PUBLIC LIGHTING AUTHORITY TO REMOVE/RELOCATE ELECTRIC POLES, OVERHEAD LINES, AND LIGHTING AS NEEDED FOR PROPERTY IMPROVEMENTS
- 9 REMOVE EXISTING BUILDING AND FOUNDATIONS IN ACCORDANCE WITH SITE PLAN. FILL WITH CLASS II SAND COMPACTED TO 95%
- 10 REMOVE, STOCKPILE, AND REPLACE EXISTING SIGN







LOCATION MAP  
( NOT TO SCALE )



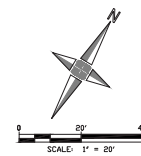
PAVING PLAN - LEGEND

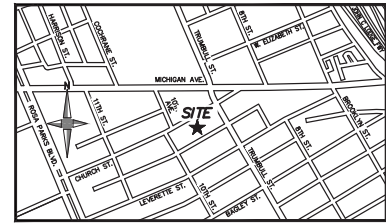
- 4" CONCRETE SIDEWALK PAVEMENT
- 6" CONCRETE SIDEWALK PAVEMENT
- 8" CONCRETE PAVEMENT
- BRICK PAVERS
- PAVEMENT REPAIR PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS
- ASPHALT PAVEMENT
- LANDSCAPING. SEE SHEET L-100 FOR PLANTING LOCATIONS AND SPECIES

PAVING PLAN - KEY NOTES

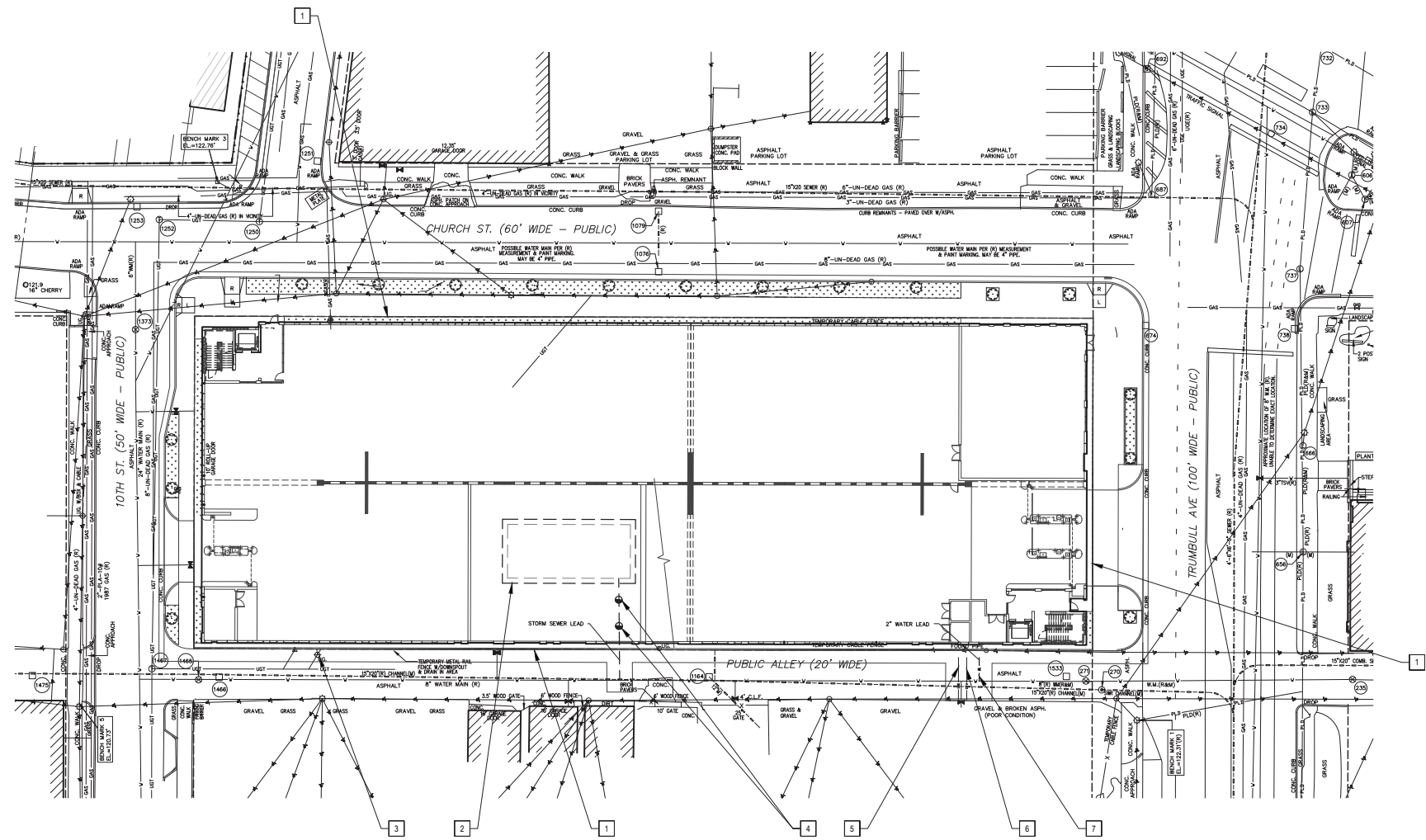
- # NOTE
- 1 EXISTING PROPERTY LINE. TYP.
  - 2 PROVIDE AND INSTALL NEW 8" CONCRETE DRIVE APPROACH WITH 6" CONCRETE SIDEWALK ON EACH SIDE FROM THE APPROACH TO THE END OF THE DRIVEWAY RADIUS ON EACH SIDE - TYP.
  - 3 NEW 4" CONCRETE SIDEWALK PAVEMENT. SEE DETAIL ON SHEET C-800.
  - 4 NEW 6" CONCRETE PAVEMENT. SEE DETAIL ON SHEET C-800.
  - 5 INSTALL ASPHALT PAVEMENT
  - 6 INSTALL BRICK PAVERS
  - 7 PROVIDE AND INSTALL NEW INTEGRAL CURB AND SIDEWALK. SEE DETAIL ON SHEET C-800.
  - 8 2" (MIN.) WIDE PAVEMENT REPAIR PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS. EXISTING STREET PAVEMENT SHALL BE MILLED AND REPAIRED TO NEW GUTTER GRADE PER GRADING PLAN. PAVEMENT SHALL HAVE UNIFORM SLOPE TOWARDS FACE OF CURB.
  - 9 JOINT TO JOINT PAVEMENT REPAIR FOR INSTALLATION OF NEW UTILITIES PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS
  - 10 ADA COMPLIANT BARRIER FREE CURB RAMP PER CITY OF DETROIT STANDARDS
  - 11 NEW 8" CONCRETE ALLEY PAVEMENT PER CITY OF DETROIT STANDARDS

1 PAVING PLAN  
C-500 1" = 20'





LOCATION MAP  
( NOT TO SCALE )

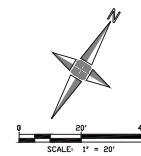


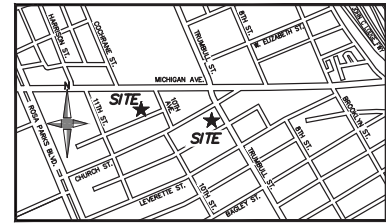
UTILITY PLAN - LEGEND

STORM SEWER	---
SANITARY SEWER	---
PERFORATED DRAIN	---
WATER SERVICE	---
UNDERGROUND ELECTRIC	---
GAS SERVICE	---
COMMUNICATIONS	---
FIRE HYDRANT	●
STOP BOX AND VALVE	○
FIRE DEPARTMENT CONNECTION	○
CATCH BASIN	■
SANITARY SEWER DRAIN	○
SANITARY CLEANOUT	○
SANITARY MANHOLE	○
STORM MANHOLE	○
STORM SEWER CLEANOUT	○
UNDERGROUND DETENTION SYSTEM	[---]

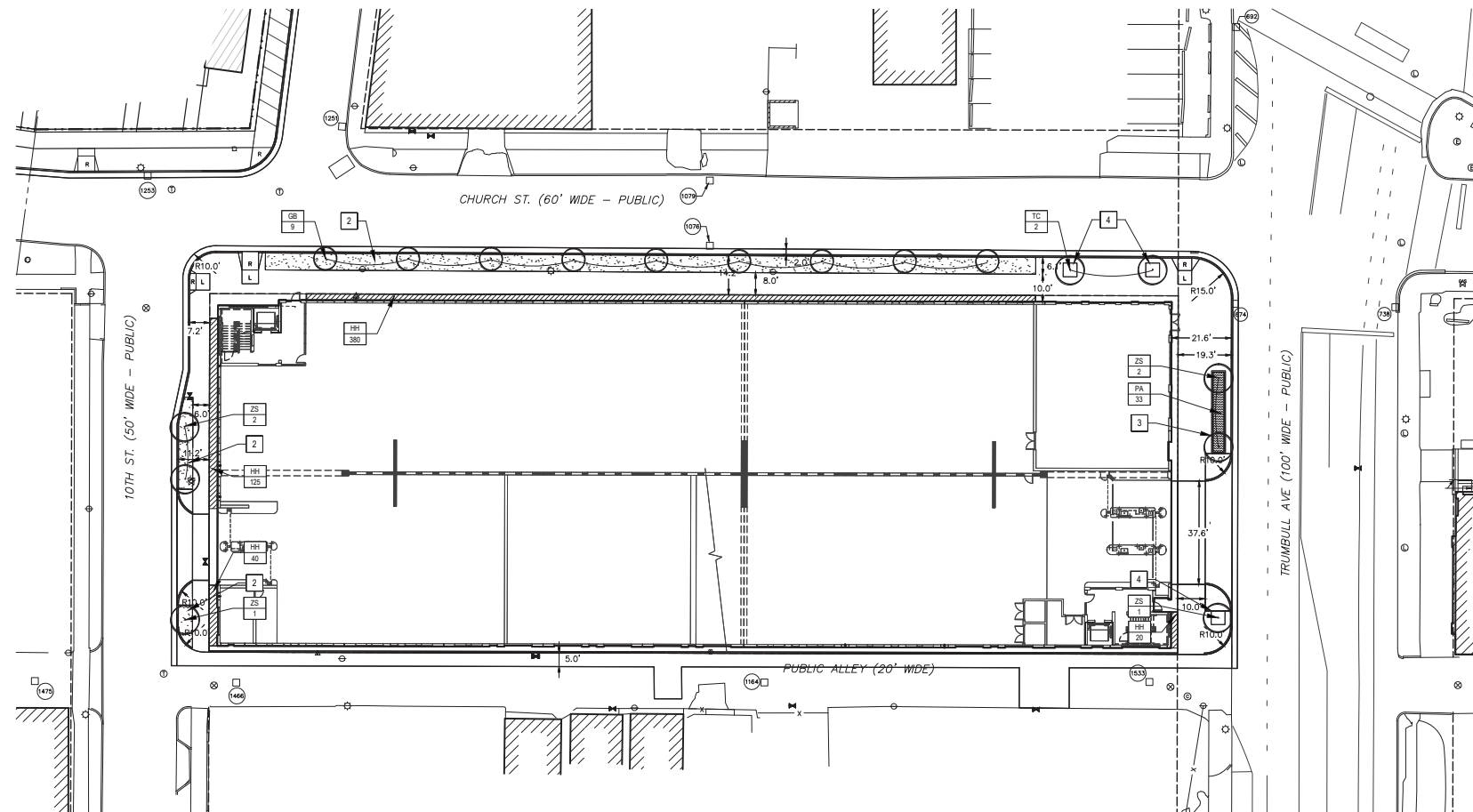
UTILITY PLAN - KEY NOTES

- 1 EXISTING PROPERTY LINE, TYP.
- 2 ESTIMATE OF SIZE AND LOCATION OF UNDERGROUND DETENTION SYSTEM BASED ON PRELIMINARY CALCULATIONS
- 3 COORDINATE WITH DTE AND THE PUBLIC LIGHTING AUTHORITY TO REMOVIERELOCATE ELECTRIC POLES, OVERHEAD LINES, AND LIGHTING AS NEEDED FOR PROPERTY IMPROVEMENTS, TYP.
- 4 NEW STORM MANHOLE AND NEW PVC PIPE FOR STORM
- 5 NEW DTE UNDERGROUND CONDUIT FOR SERVICE
- 6 NEW COMMUNICATIONS LINE
- 7 NEW 2" WATER SERVICE





LOCATION MAP  
( NOT TO SCALE )



LANDSCAPE PLAN - KEY NOTES

SOD LAWN

LANDSCAPE PLAN - LEGEND

- # NOTE
- 1 EXISTING PROPERTY LINE, TYP.
  - 2 SOD LAWN, TYP.
  - 3 PLANTER CURB, SEE DETAIL L-500, TYP.
  - 4 DECIDUOUS TREE IN TREE GRATE, SEE DETAIL L-500, TYP.

GENERAL NOTES:

1. All construction shall conform to the current standards and specifications of local ordinances.
2. All areas not built, landscaped, or paved upon shall receive seasoned double shredded hardwood bark mulch.
3. During installation and construction, the Contractor must provide a watering method for all plant material until it has become established.
4. Two (2) year guarantee period begins at Final Acceptance of landscape material by the City's representative, a landscape architect, and prior to the authorization of the occupancy permit. A minimum of one cultivation in each month of June, July, and August shall be performed within the 2-year warranty period.
5. The development of this site will not result in any increase in dust, odor, smoke, fumes, noise, lights, or other objectionable features.

LANDSCAPE CONTRACTOR'S  
"TWO-YEAR IRRIGATION REQUIREMENT PERIOD"

It shall be the responsibility of the landscape contractor to provide water as required to ensure delivery of proper and adequate water supply to all plant material to ensure the establishment of healthy plant material for their first year of growth. Following the landscape contractor's two-year irrigation requirement period, the contractor shall provide the owner with suggested irrigation maintenance schedule for their use.

PLANT NOTES:

1. Plant materials shall be sound, healthy, vigorous, free from plant diseases and insects or their eggs, and shall have normal, healthy root systems. Caliper measurements shall be taken 5" above the ground level. All other measurements shall be in accordance with the latest edition of "American Standard for Nursery Stock" (ANSI Z-60.1 - A3020204).
2. Planting bed soil shall be an equal mix of screened organic topsoil, sphagnum peat moss, and clean sand. To deter weed growth during establishment, apply a pre-emergent ("Premer" or equal) after planting, 2-3 times per growing season, at the rate recommended by product manufacturer.
3. Planting pockets shall be no deeper than twice the height of the root ball.
4. All tree wrap shall be removed upon planting.
5. Mulch shall be double shredded seasoned hardwood bark mulch. Contractor to submit sample for approval by landscape architect/engineer prior to placement.
6. Plants shall be guaranteed for two complete growing seasons (24 months). Dead material shall be replaced as needed prior to expiration of the guarantee period.
7. Remove the top 1/2 of burlap, twine and/or metal cage on root ball. If wrapped in plastic covering or nylon cording, all of these types of material should be removed.
8. Plant material shall be used in compliance with provisions of the local ordinance and shall be nursery grown, free of pests and diseases, hardy in this county, in conformance with the Standards of the American Association of Nurserymen, and shall pass inspections required under state regulations. In addition, plant materials shall be northern grown, No. 1 Grade.
9. Plant material shall be planted within the annual planting window of March 15 through November 15.
10. All plant ID tags are to remain until all plants are accepted on site.
11. Any plant substitutions must be submitted in writing and approved by the landscape architect prior to installation.
12. Grass seed shall be certified turf grass seed complying with A.S.P.A. specifications, and free of weed seeds and undesirable native grasses. Seeded areas shall not be permitted to dry out. All lawn areas shall be fertilized and watered as required during the first growing season to maintain a dense and vigorous growing lawn. Areas scheduled for lawn seed shall receive a minimum of 3" of screen topsoil at 3" depth unless otherwise noted on plans.

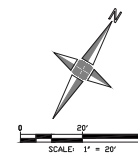
LAWN SEED MIX:

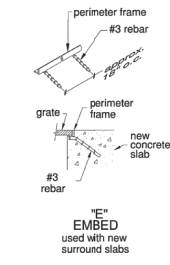
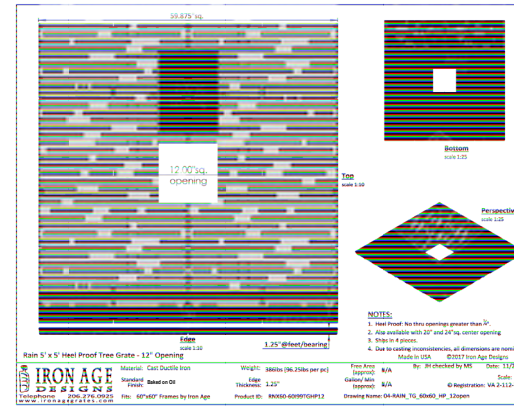
- 30% Perennial Ryegrass
- 20% Park Kentucky Bluegrass
- 45% Creeping Red Fescue
- 5% Annual Ryegrass
- 4 lb / 1000 sf Seeding Rate

PLANT LEGEND

SYMBOL	TYPE	ABBR	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
	DECIDUOUS TREES	GB	9	Ginkgo biloba "Princeton Sentry"	PRINCETON SENTRY GINKGO	3" cal.	B&B.
		TC	2	Tilia cordata "Greenspire"	GREENSPIRE LINDEN	3" cal.	B&B.
		ZS	6	Zelkova serrata "Green Vase"	GREEN VASE ZELKOVA	3" cal.	B&B.
	ORNAMENTAL GRASSES	PA	33	Penisetum alopecuroides "Hamel"	DWARF FOUNTAIN GRASS	#3 cont.	Plant 24 in O.C., Staggered Rows
	CLIMBING VINES	HH	565	Hedera helix	ENGLISH IVY	#1 cont.	Plant 15 in O.C.

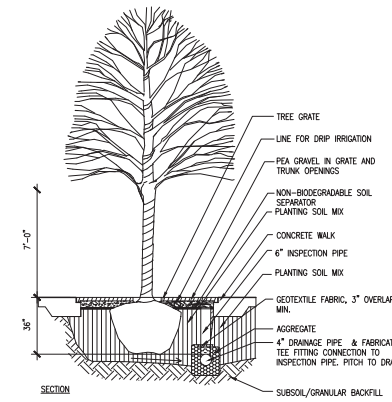
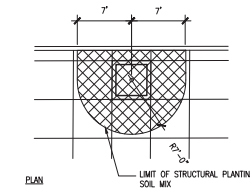
1 LANDSCAPE PLAN  
L-100 1" = 20'



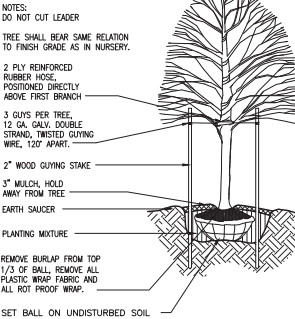
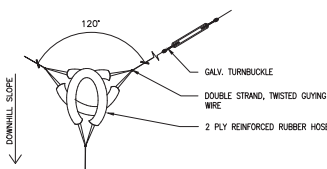


TREE GRATE FRAME

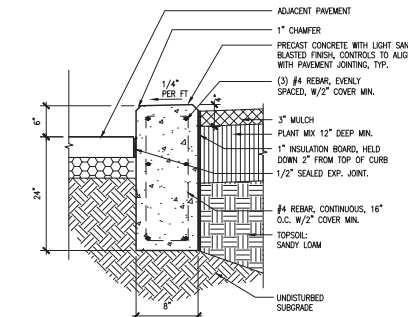
IRON AGE 'RAIN' 5' X 5' BAKED ON OIL FINISH TREE GRATE



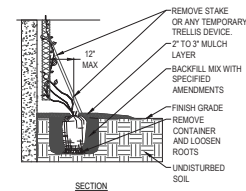
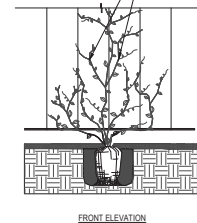
DECIDUOUS TREE IN TREE GRATE



DECIDUOUS TREE WITH UPRIGHT STAKING

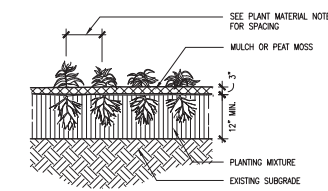


PLANTER CURB



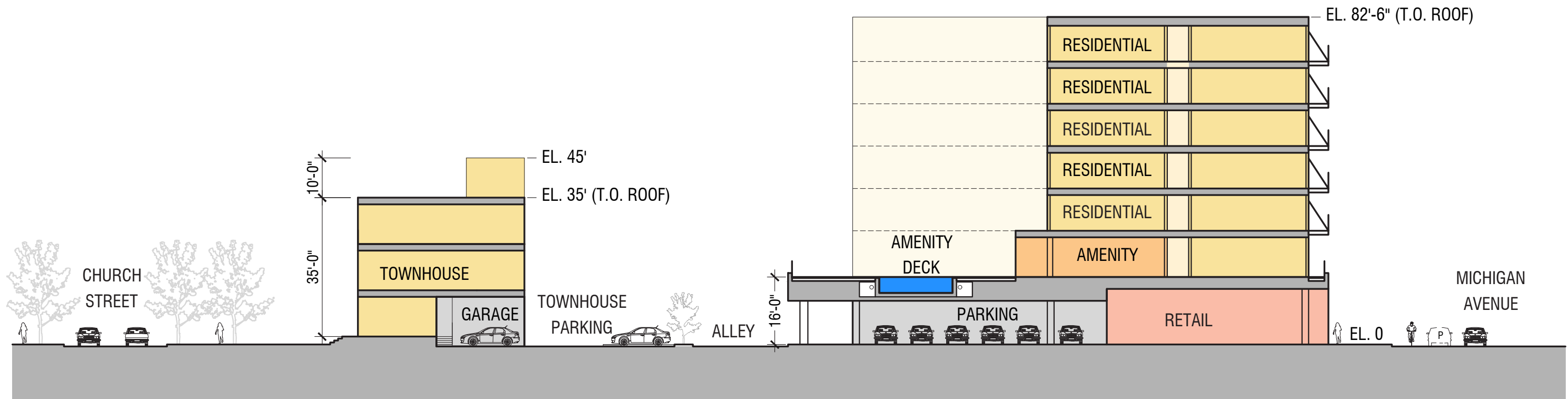
NOTES:  
1. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT.  
2. IRRIGATION WILL BE REQUIRED. INSTALL PER IRRIGATION PLANS.

VINE TRELLIS PLANTING DETAIL



NOTES:  
PLANTS TO BE SET WITH BOTTOM LEAVES PARALLEL WITH GRADE AFTER MULCH.

PERENNIAL PLANTING DETAIL



**SITE 1: OVERALL SECTION**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL  
 ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG