

LOCATION PLAN

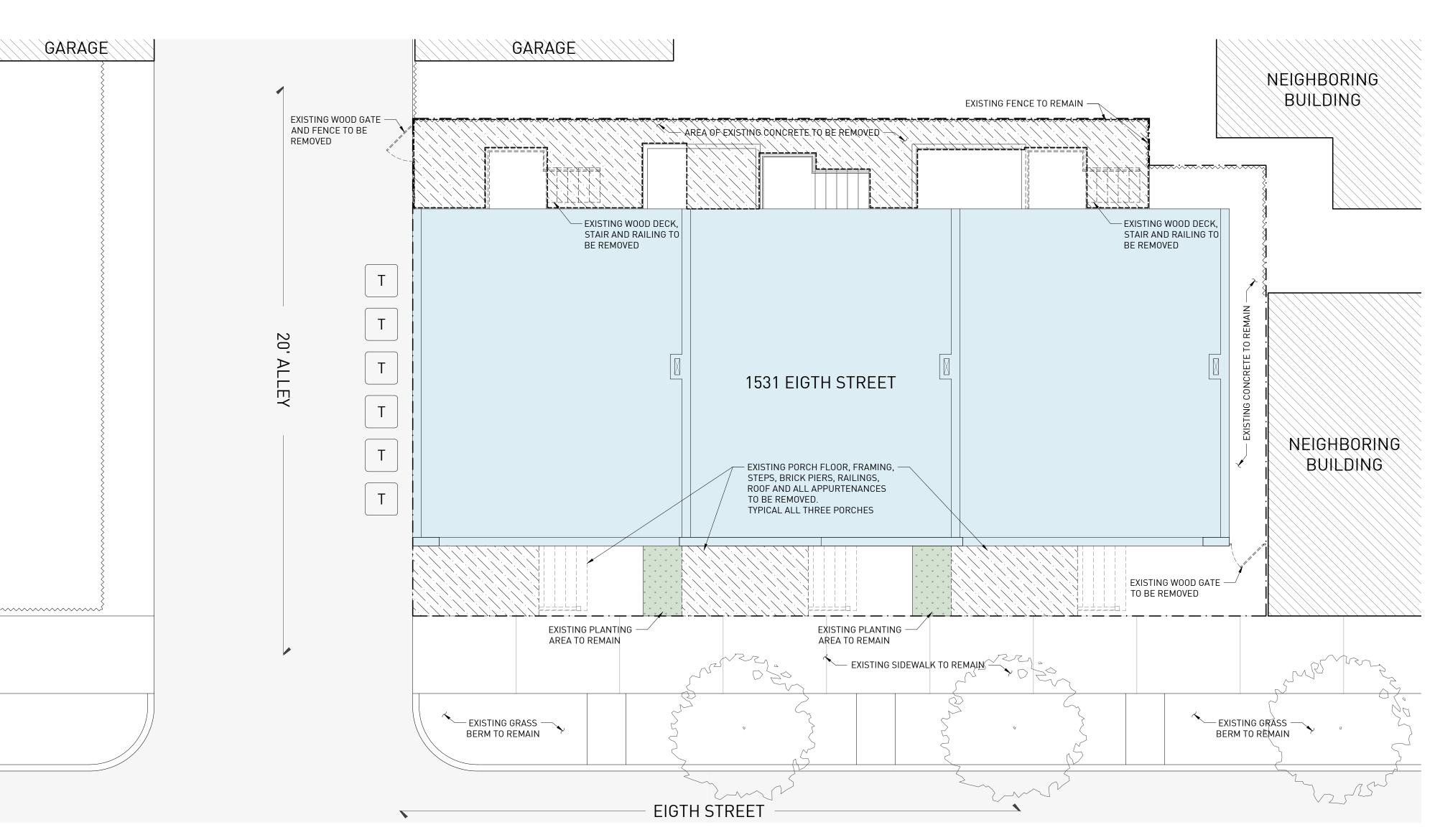
ISSUED FOR:

PERMIT REVIEW 11.18.2020

1531 8TH STREET

Detroit, MI, 48216

Christian Hurttienne Architects, LLC 2111 Woodward Ave., Suite #201, Detroit, MI 48201 313.825.2005x101 Chris@cha-c.com	



EXISTING SITE PLAN

ORIGINAL IMAGE SCALE: 3/16" = 1'-0"



CHRISTIAN HURTTIENNE ARCHITECTS

2111 WOODWARD AVENUE, #201, MI 48201 313.825.2005 CHA-C.COM

ALL CONTRACTORS (GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH) ARE TO VERIFY AND MEMBERS OR AGENTS OF EITHER OR BOTH! ARE TO VERIFY AND COORDINATE ALL CONDITIONS, DIMENSIONS, QUANTITIES AND DETAILS, STATED OR NOT, WITHIN THESE DRAWINGS AND WITHIN THE SPECIFICATIONS BEFORE COMMENCING WITH THE WORK. IF A DIMENSIONAL ERROR OR CONFLICT OCCURS BETWEEN THESE DRAWINGS, THE SPECIFICATIONS OR THE EXISTING / PROPOSED CONDITIONS, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK. ANY PARTY (GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH) WHO FAIL TO DO SO TAKE FULL RESPONSIBILITY OF ANY ERRORS, CONFLICTS, SCHEDULE AND COST IMPLICATIONS.



CONSULTING ENGINEERS 6765 DALY ROAD WEST BLOOMFIELD, MI 48322-4585 T/ (248) 932.2010 F/ (248) 932.3088 info@desainasr.com DNCE Project No.19-1272- 00

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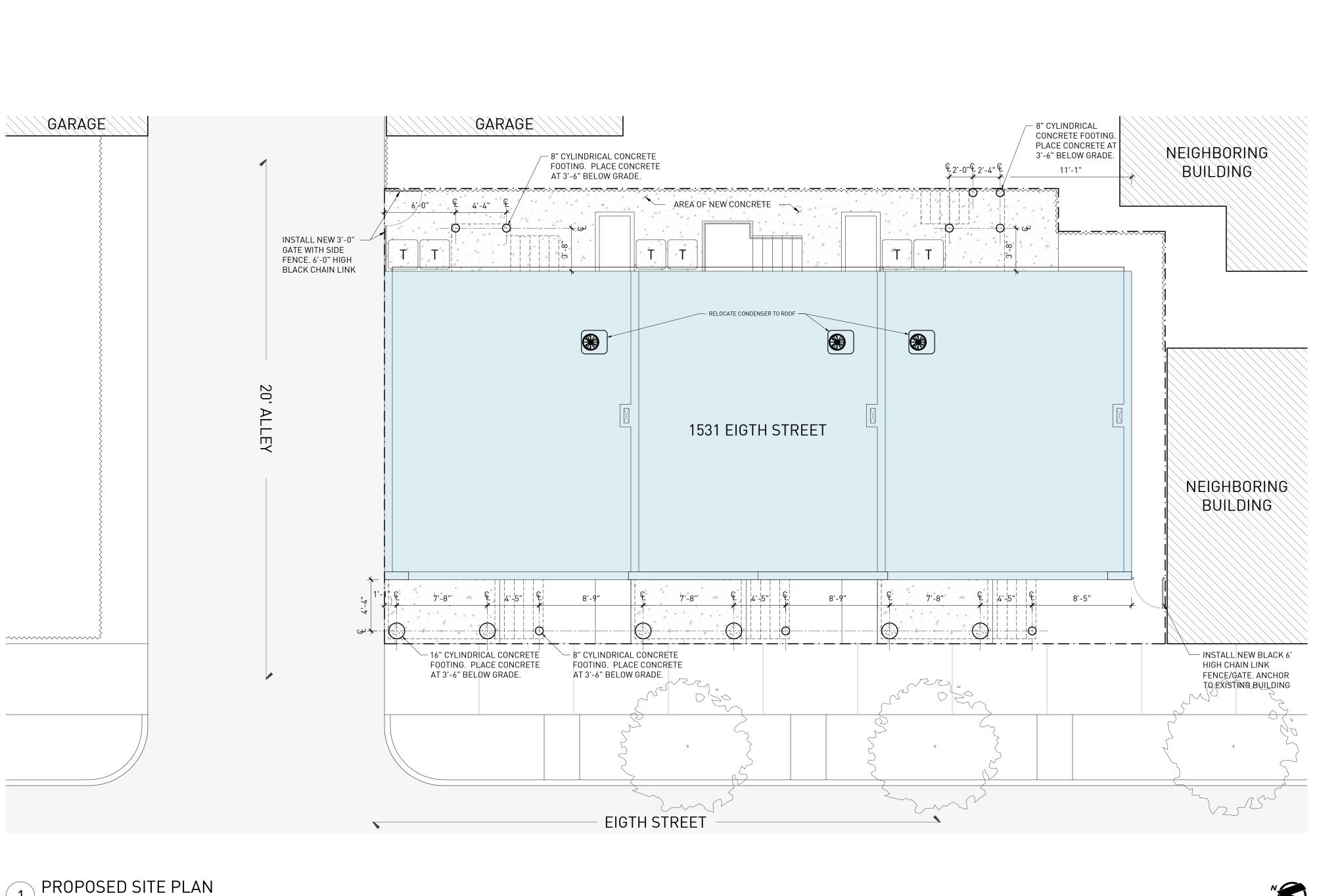
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PERMIT

DESCRIPTION DATE PERMIT REVIEW



EXISTING SITE PLAN





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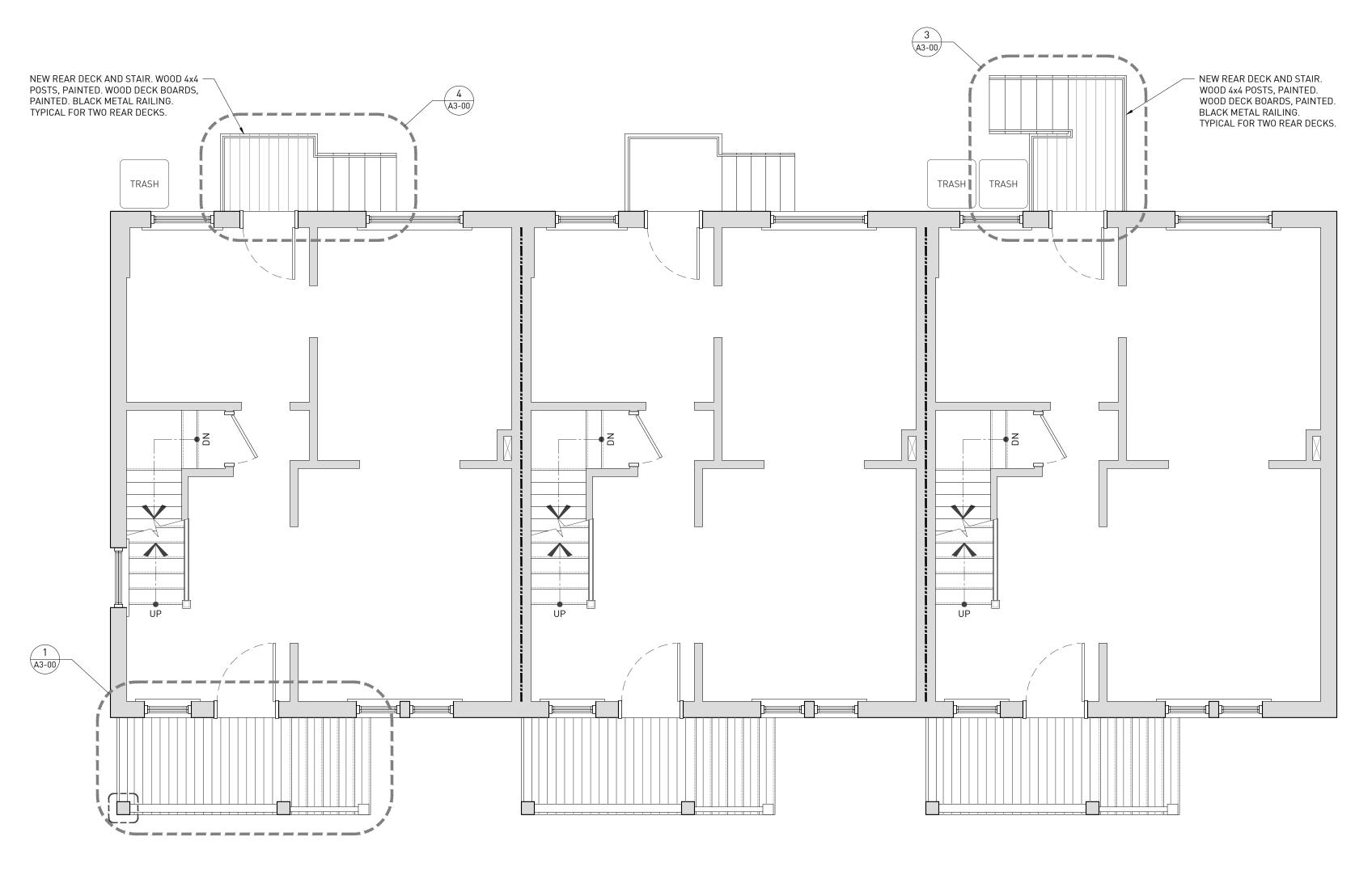
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PROPOSED SITE PLAN

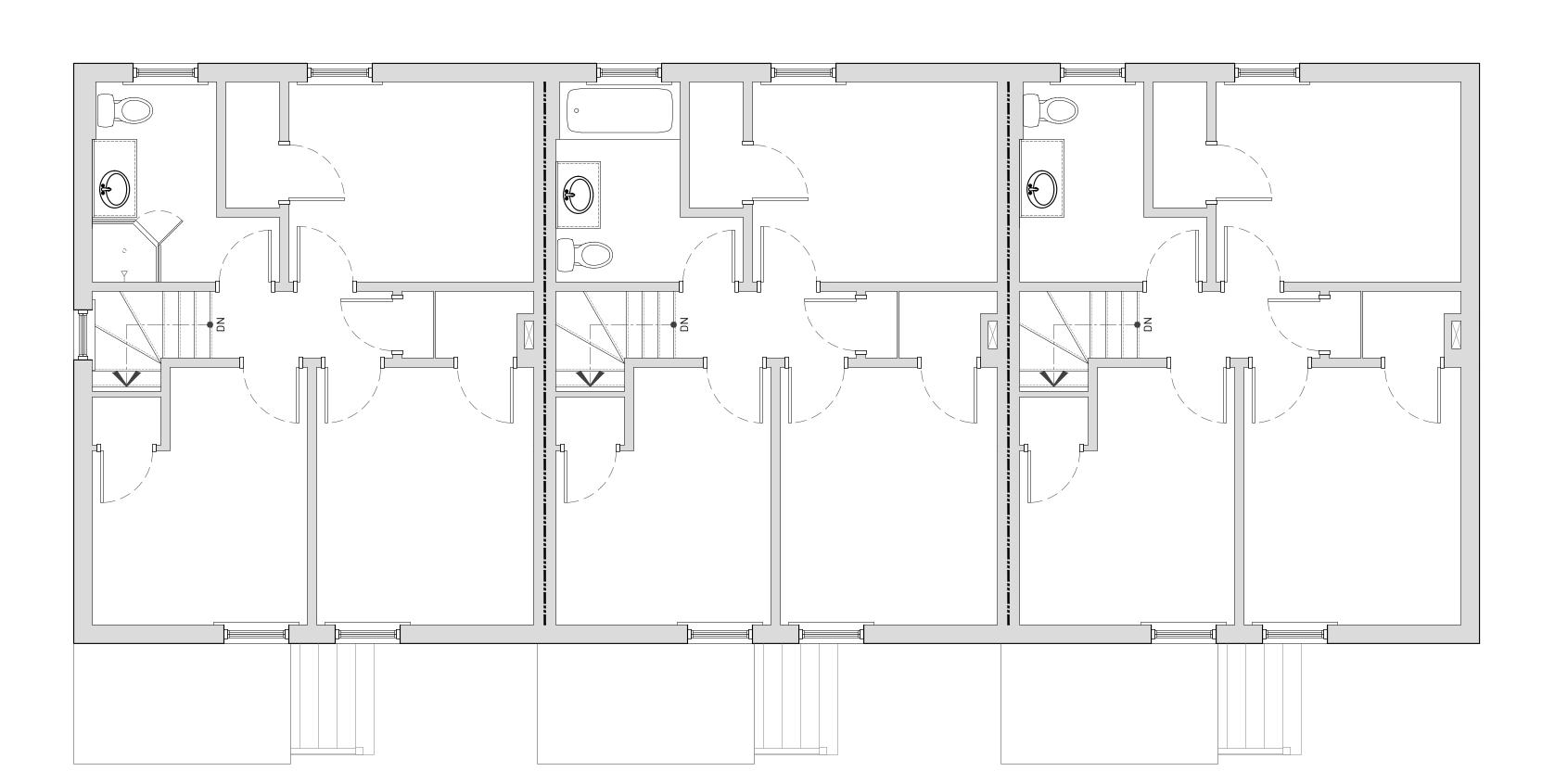
ORIGINAL IMAGE SCALE: 3/16" = 1'-0"



RECONSTRUCT NEW FRONT PORCHES

- NEW BRICK PIERS
- WOOD FRAMED
- WOOD TRIM, PAINTED
- WOOD DECKING, PAINTED
- WOOD RAILINGS, PAINTED
- WOOD COLUMNS, TRIM AND SOFFITS, PAINTED
- WOOD CEILING, PAINTED
- NEW BLACK ASPHALT ROOF
- WOOD DECORATIVE RAILING, PAINTED

1 FIRST LEVEL PLAN
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"



2 SECOND LEVEL PLAN
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"

SYMBOLS

NOTE: SOME SYMBOLS MAY NOT BE APPLICABLE.

EXISTING MASONRY WALL CONSTRUCTION.

EXISTING WALL CONSTRUCTION.

NEW 8" MASONRY WALL CONSTRUCTION WITH 2X6 METAL 'FURRED' CONSTRUCTION WITH BATT INSULATION AND 5/8" GYPSUM BOARD.

NEW 4" MASONRY WALL CONSTRUCTION WITH 2X6 METAL 'FURRED' CONSTRUCTION WITH BATT INSULATION AND 5/8" GYPSUM BOARD.

NEW METAL-FRAMED WALL CONSTRUCTION

ARCHITECTURE GENERAL NOTES

- ALL NEW WALL AND PARTITION CONSTRUCTION IS TO BE PER WALL ASSEMBLY A2 SHEET A5-01, UNLESS OTHERWISE NOTED.
- 2. ALL WALL ASSEMBLIES MAY OCCUR AT EXISTING FRAMING LOCATIONS TO REMAIN. ALL ASSEMBLIES, EXISTING OR NEW, ARE TO PERFORM ACCORDING TO ASSEMBLY DETAILS, ASSOCIATED UL RATINGS AND SPECIFICATIONS.
- WHERE A NEW ASSEMBLY IS TO COORDINATE WITH AN EXISTING ASSEMBLY, MAKE ALL NECESSARY PREPARATIONS TO ENSURE SMOOTH, CONSISTENT AND UN-NOTICABLE FINISH ACROSS ENTIRE SURFACE.
 FIRE-SEAL / FIRE-CAULK SEALANT TO BE INSTALLED AT ALL INTERSECTIONS, CONSTRUCTION ASSEMBLIES,
- PENETRATIONS, OR AS REQUIRED TO COMPLETE FIRE-BLOCKING CLOSURES AS PER APPLICABLE BUILDING CODE.

 5. ALL WALL ASSEMBLIES LOCATED AT OR ADJACENT TO AN EXISTING EXTERIOR WALL, OR ARE LOCATED ADJACENT TO A

'COLD-ZONE', ARE TO RECEIVE A MINIMUM OF R-21

- INSULATION, WITH VAPOR BARRIER (WARM SIDE), PER CODE.
 6. ALL LOCATIONS OF CEMENTITIOUS TILE BACKER BOARD ARE TO BE COORDINATED WITH THE OWNER AND SCHEDULED WALL ASSEMBLY. MAINTAIN ALL REQUIRED FIRE RATINGS ACCORDING TO WALL ASSEMBLY DETAILS, ASSOCIATED UL
- 7. GENERAL CONTRACTOR PROVIDE BLOCKING WHERE REQUIRED TO SUPPORT MILLWORK, STOREFRONT EQUIPMENT, OR OTHER FINISHES.

RATINGS AND SPECIFICATIONS.

CHITECT!

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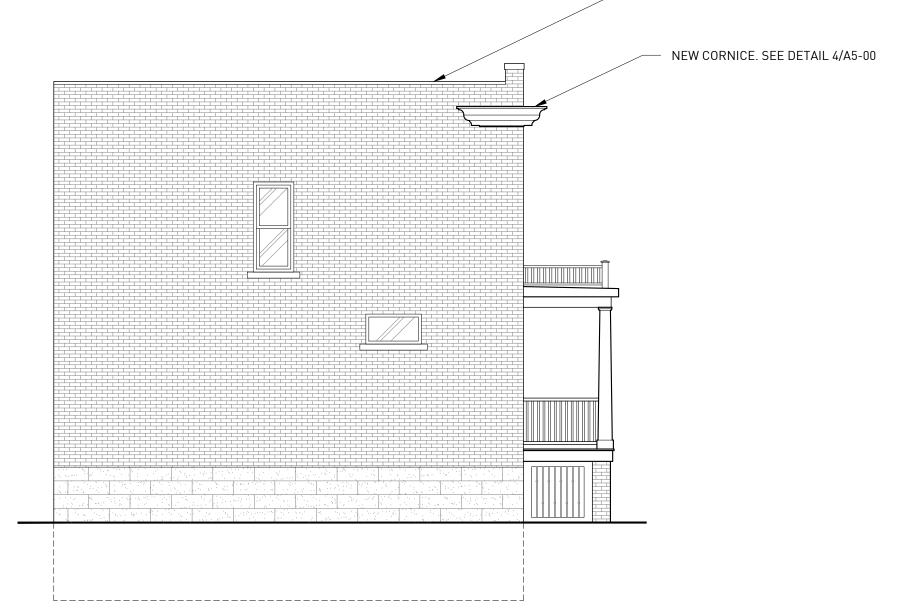
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ARCHITECTURE PLANS



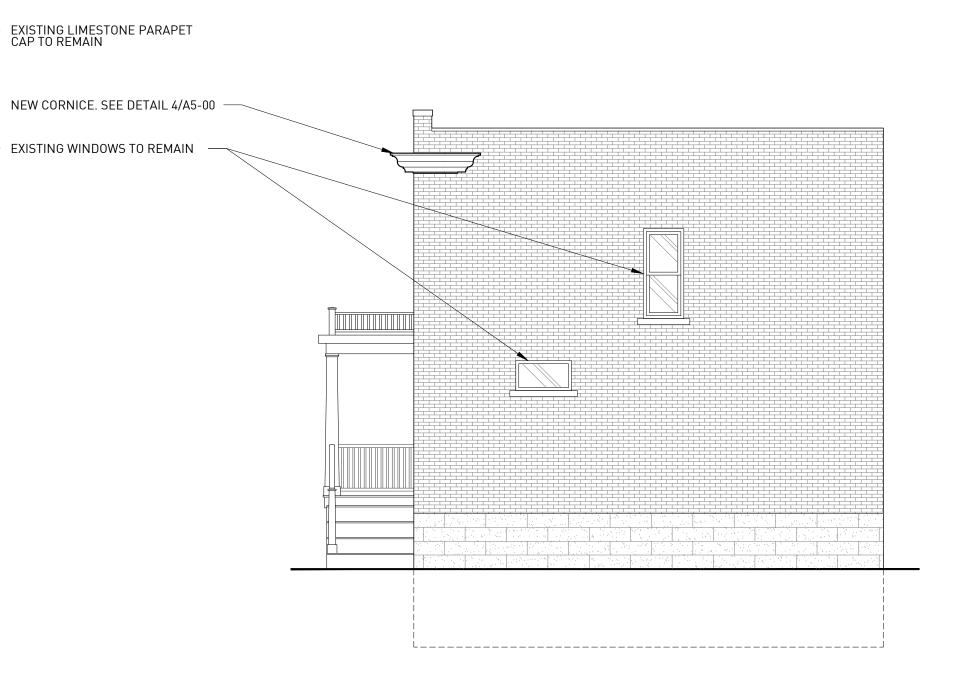


EXISTING CLAY TILE PARAPET CAP TO REMAIN

2 SOUTH ELEVATION ORIGINAL IMAGE SCALE: 3/16" = 1'-0"

EXISTING BASEMENT WINDOWS TO REMAIN

3 WEST ELEVATION
ORIGINAL IMAGE SCALE: 3/16" = 1'-0"



4 NORTH ELEVATION
ORIGINAL IMAGE SCALE: 3/16" = 1'-0"



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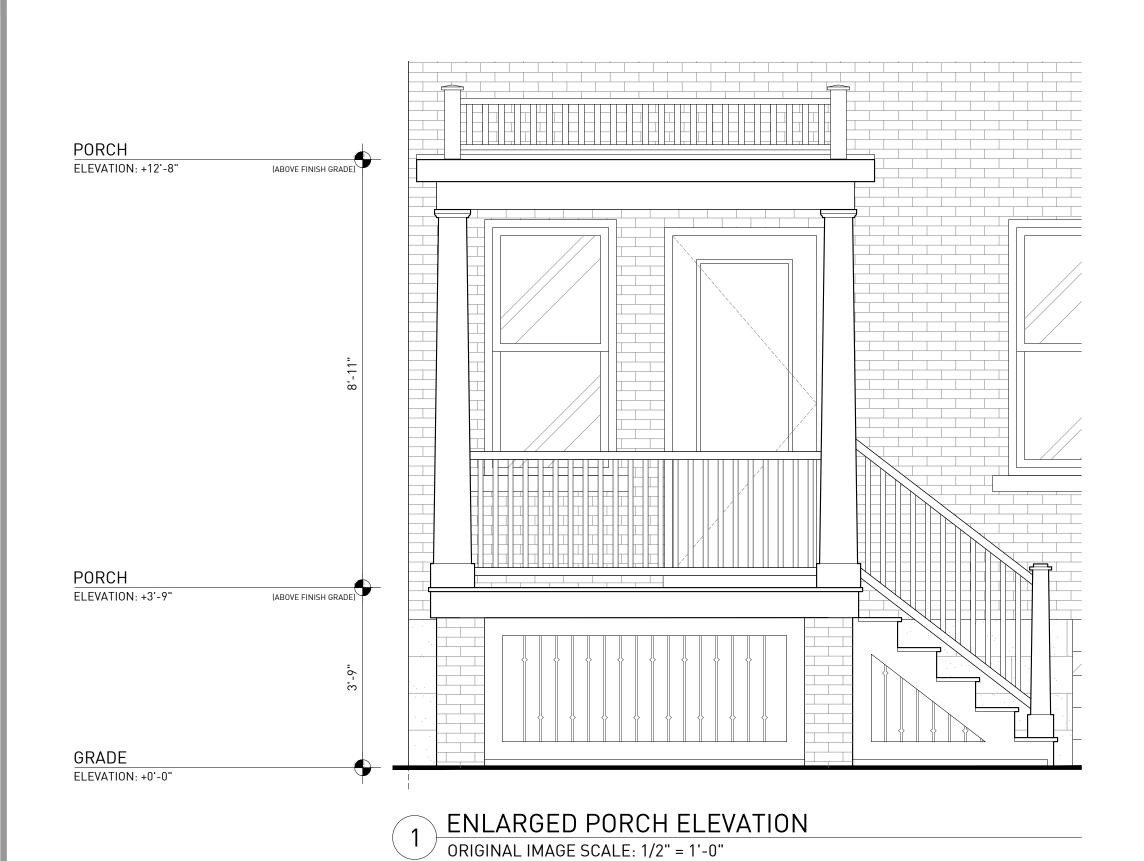
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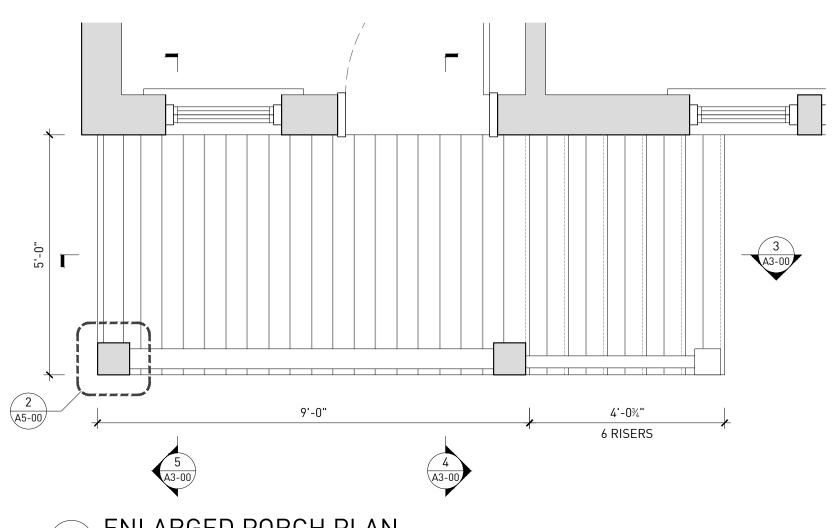
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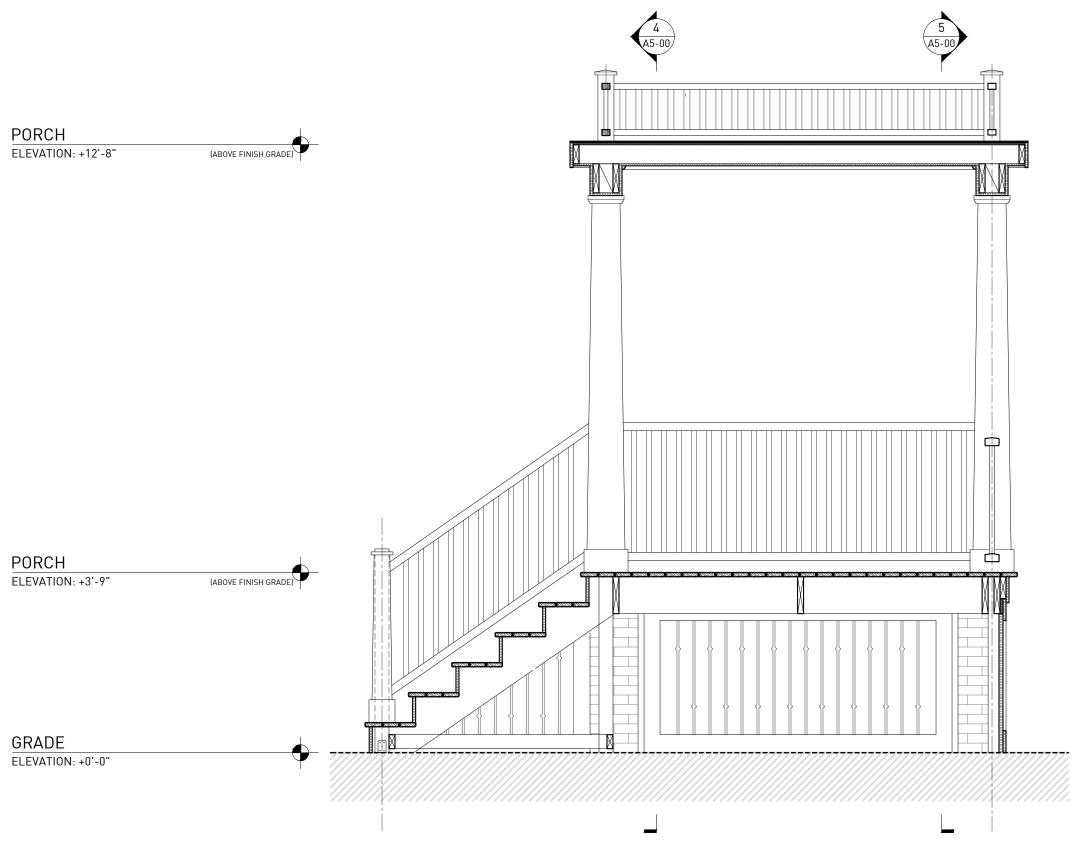


ELEVATIONS AND SECTIONS

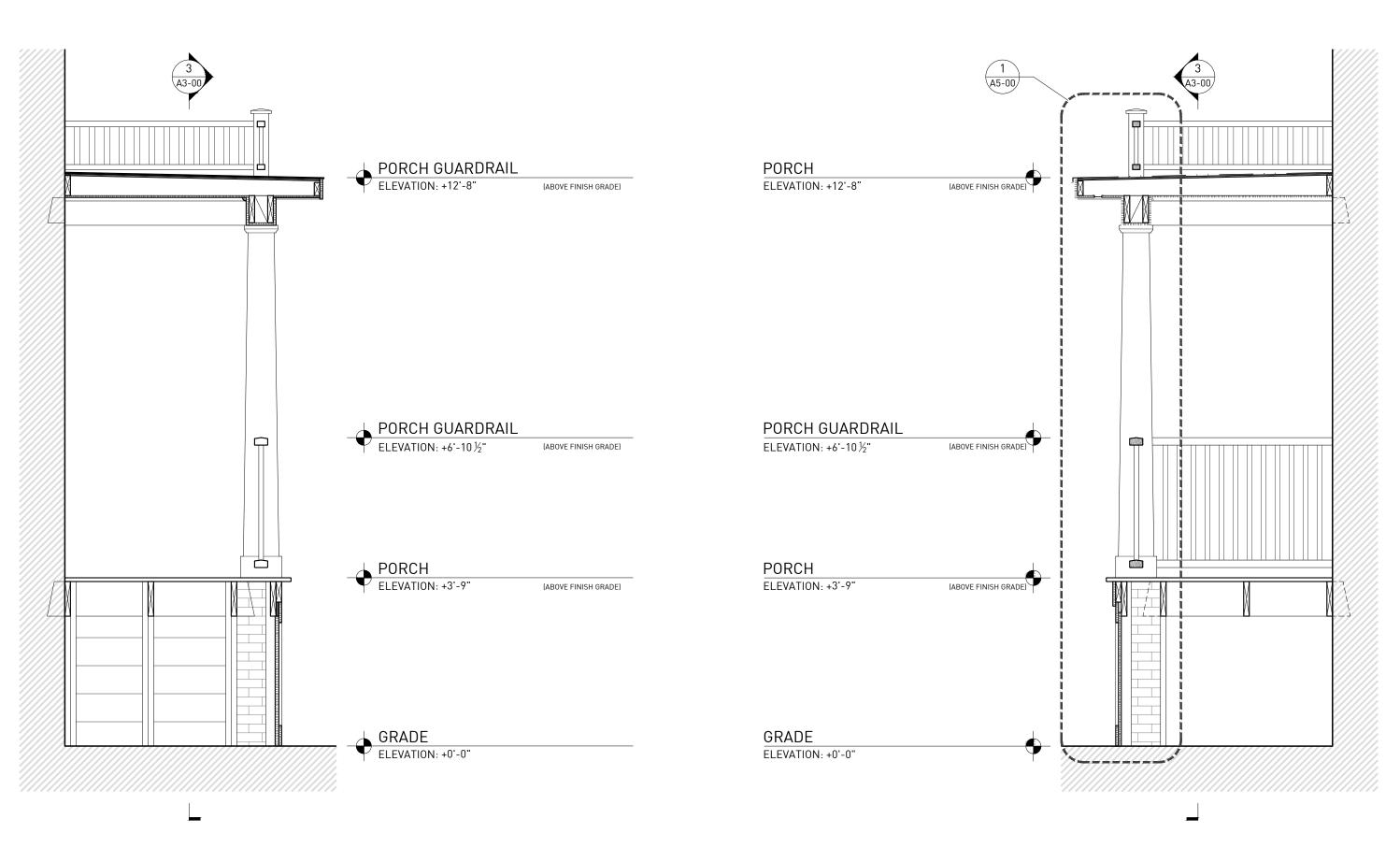




2 ENLARGED PORCH PLAN
ORIGINAL IMAGE SCALE: 1/2" = 1'-0"



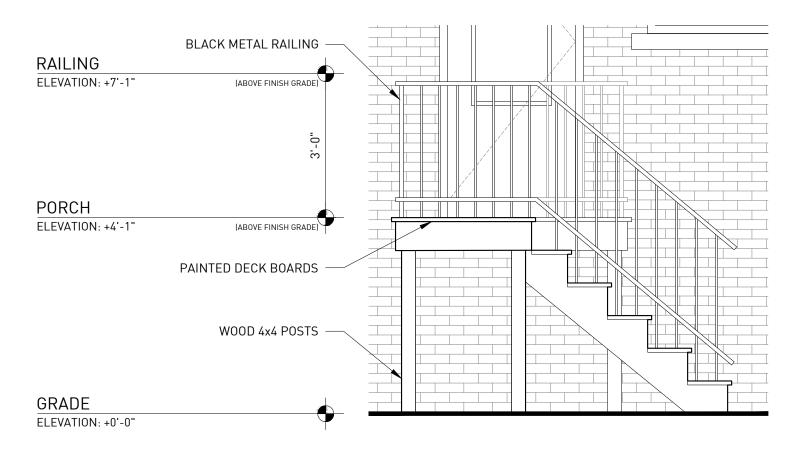
3 PORCH SECTION
ORIGINAL IMAGE SCALE: 1/2" = 1'-0"

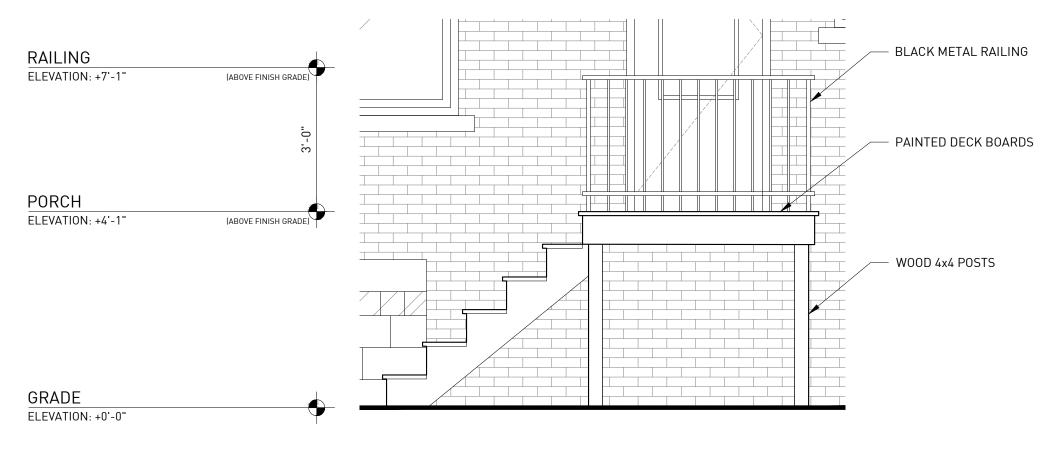


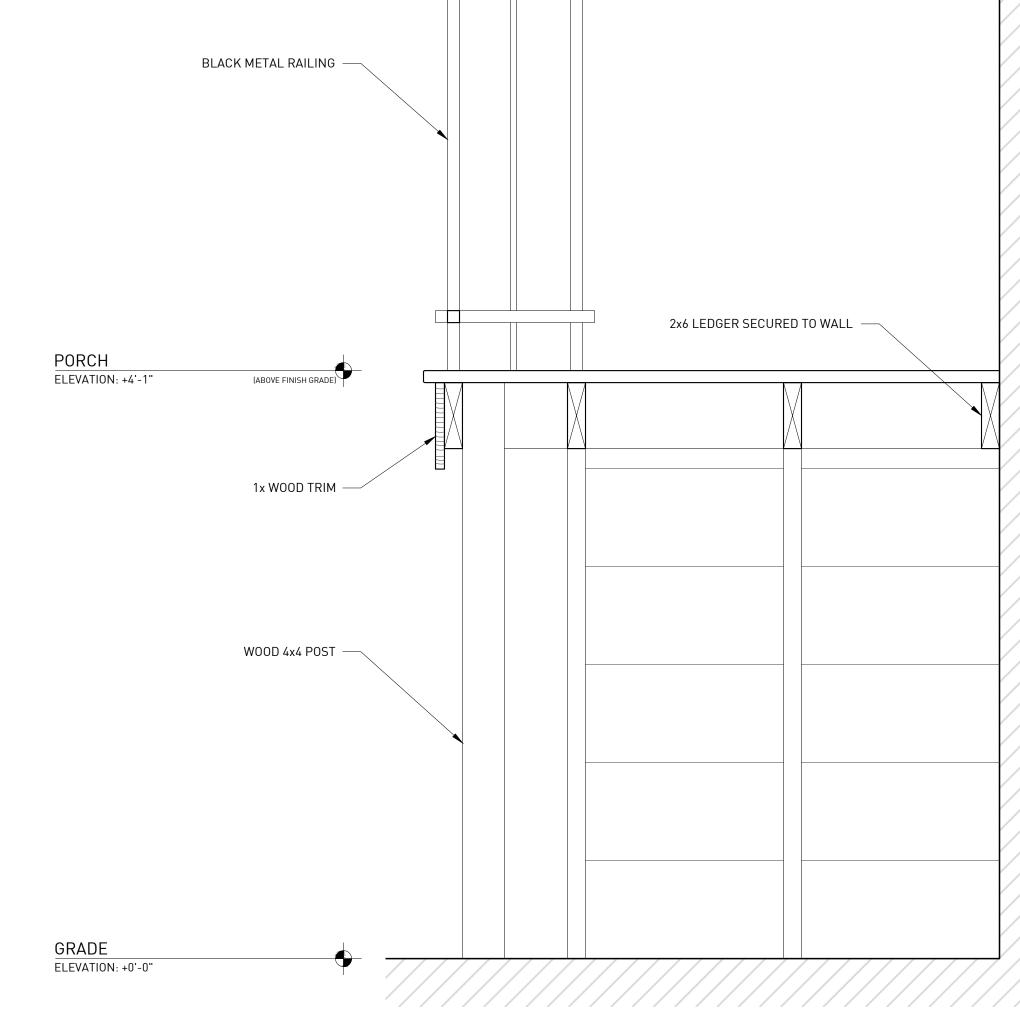
PORCH SECTION
ORIGINAL IMAGE SCALE: 1/2" = 1'-0"

DORCH SECTION
ORIGINAL IMAGE SCALE: 1/2" = 1'-0"









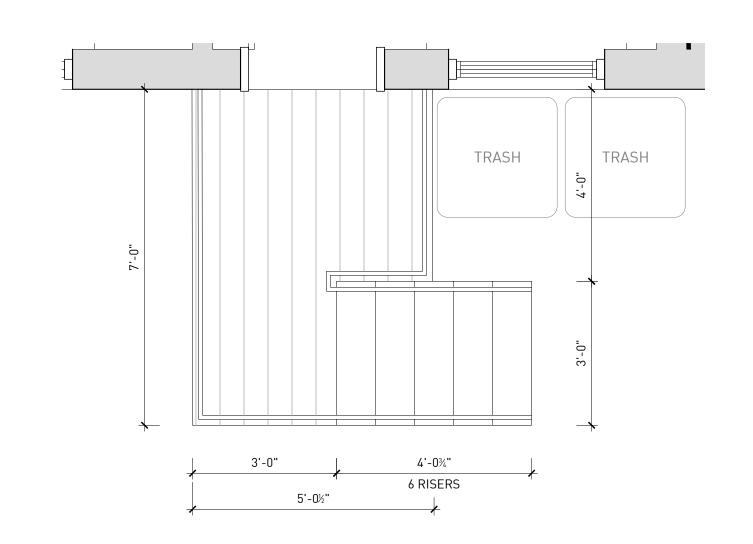
RAILING

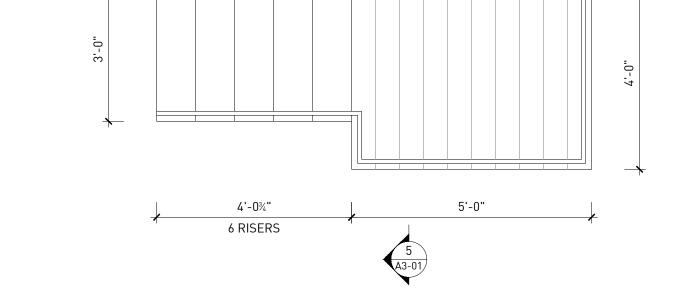
ELEVATION: +7'-1"

(ABOVE FINISH GRADE)

1 ENLARGED PORCH ELEVATION
ORIGINAL IMAGE SCALE: 1/2" = 1'-0"





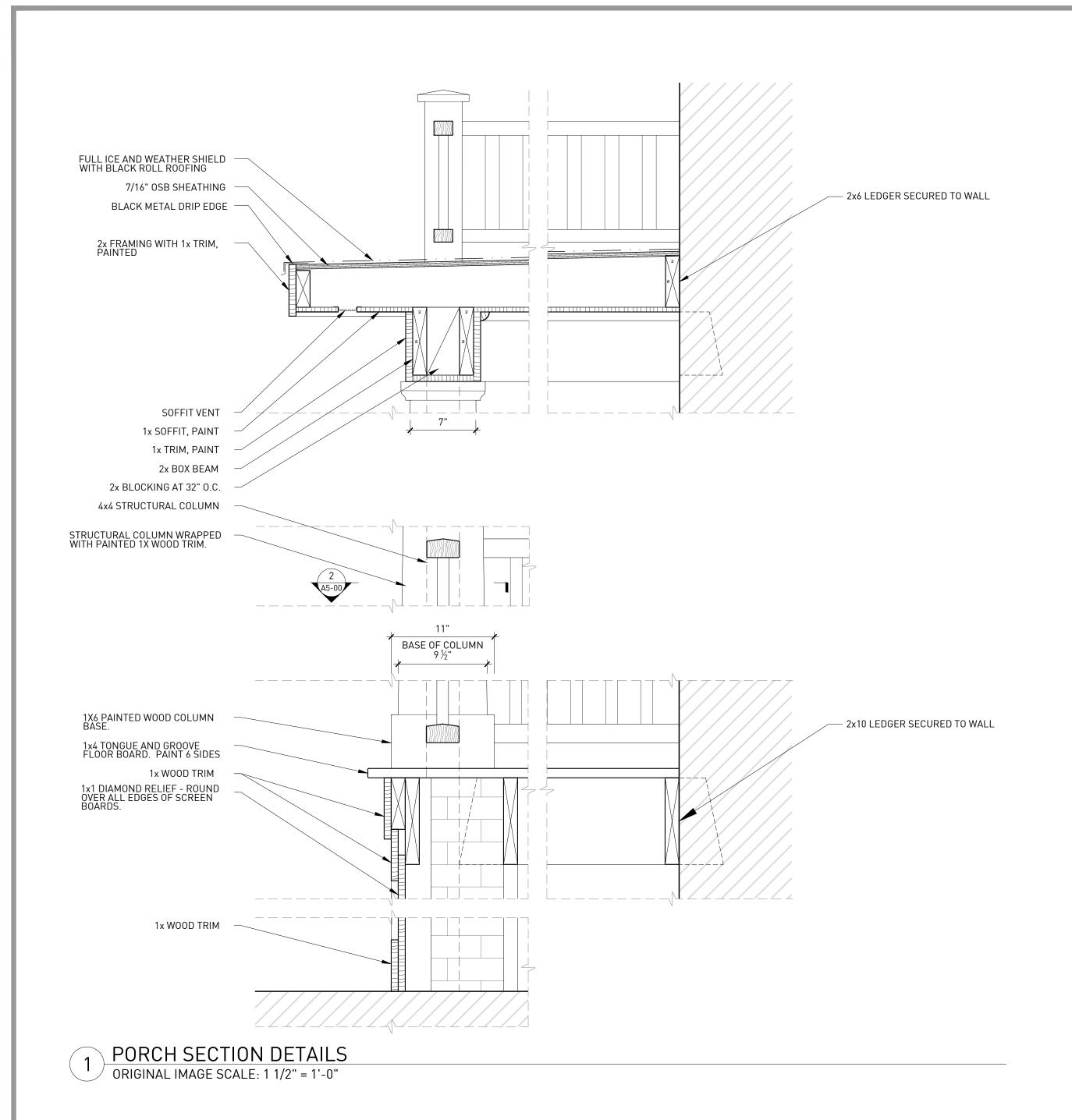


4 ENLARGED PORCH PLAN
ORIGINAL IMAGE SCALE: 1/2" = 1'-0"



5 ENLARGED PORCH SECTION
ORIGINAL IMAGE SCALE: 1-1/2" = 1'-0"





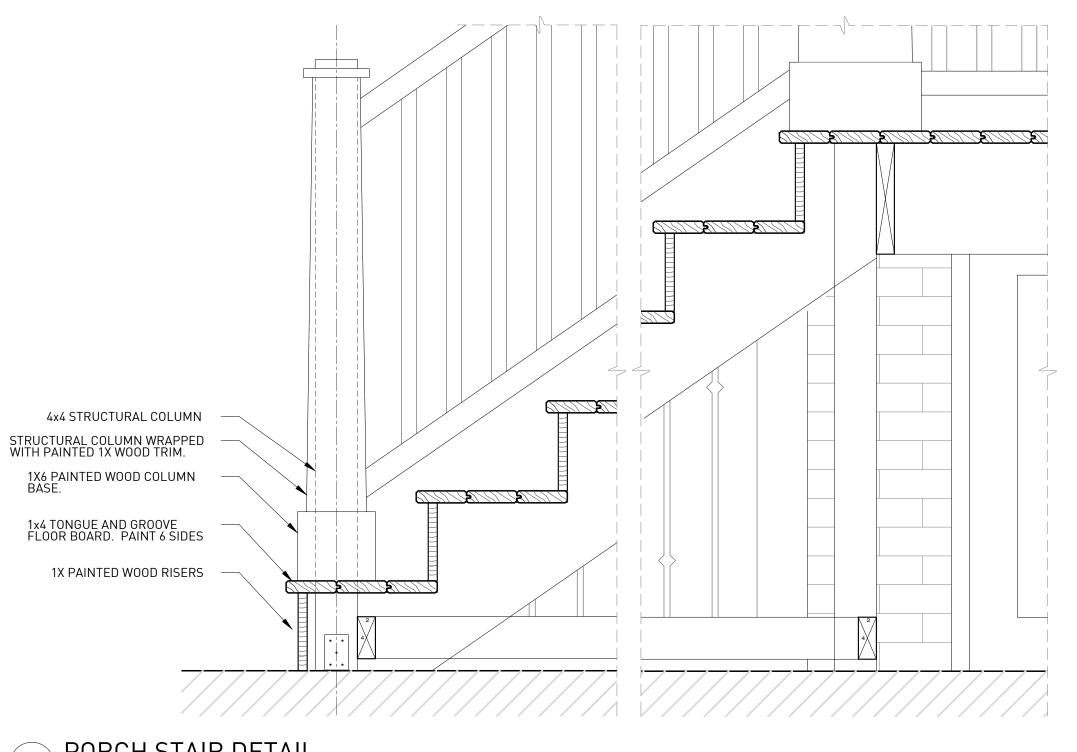
1x6 PAINTED WOOD TRIM AT BASE OF COLUMN

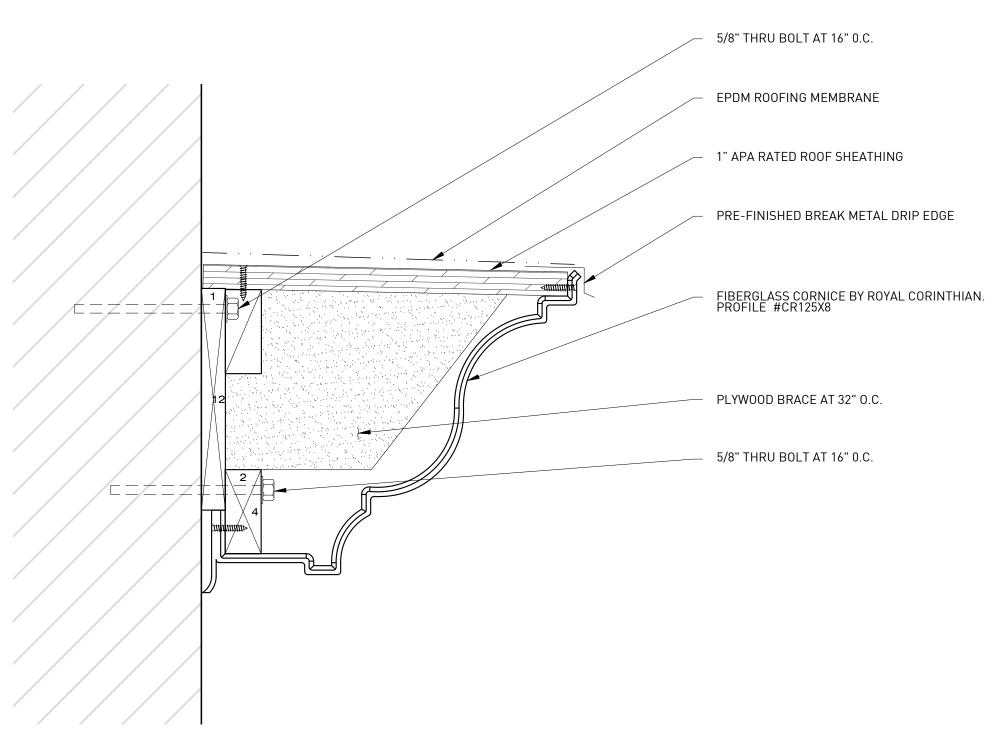
BLOCKING AS NEEDED TO TAPER SIDES OF COLUMN

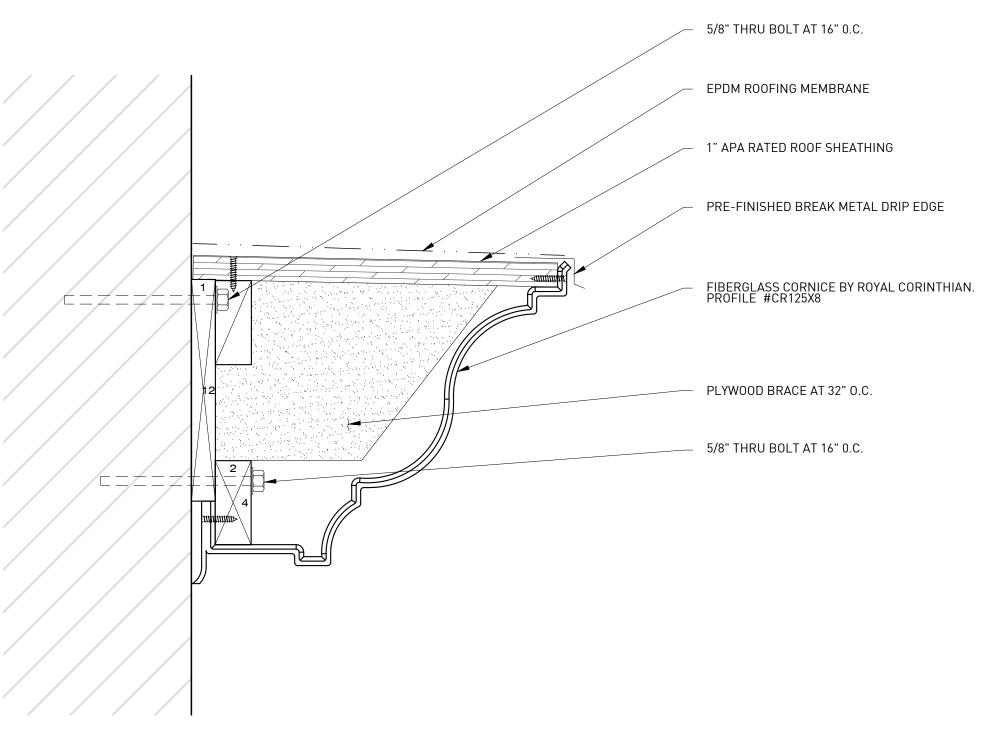
2 PORCH COLUMN PLAN DETAIL ORIGINAL IMAGE SCALE: 1 1/2" = 1'-0"

1x PAINTED WOOD

4x4 STRUCTURAL COLUMN







DETAILS

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