

WILLIAMS RESIDENCE ACCESSORY STRUCTURE

550 FISKE DR.
DETROIT, MI 48214

ARCHITECT

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GENERAL SCOPE OF WORK

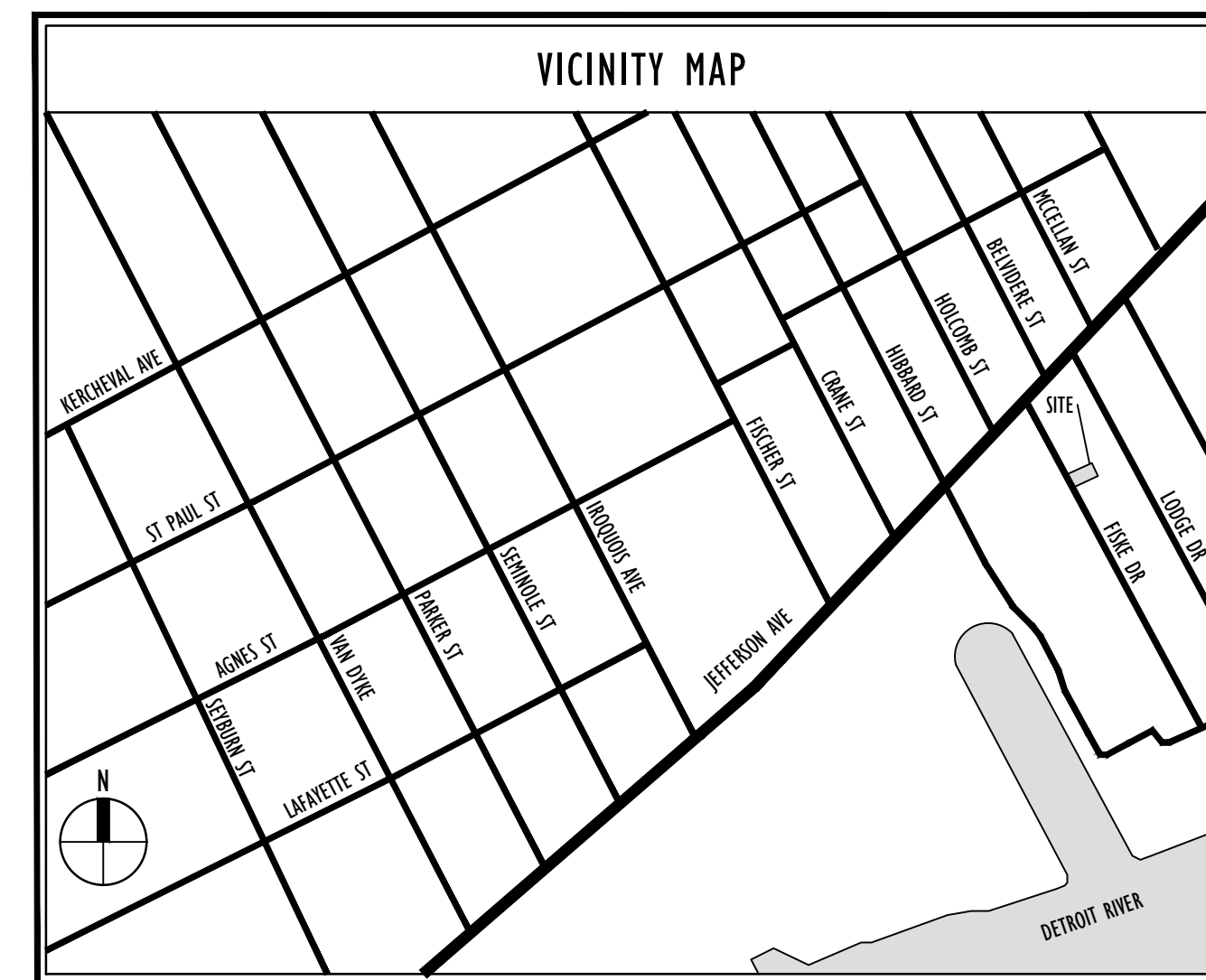
THE ADDITION OF A NEW SINGLE STORY ACCESSORY STORAGE STRUCTURE IN THE REAR YARD.

BUILDING CODE INFORMATION

APPLICABLE CODES:
1. MICHIGAN RESIDENTIAL CODE 2015
2. MICHIGAN UNIFORM ENERGY CODE 2015

ZONING INFORMATION

SEE SITE PLAN SP1.1



SHEET INDEX		ISSUED FOR	
DRAWING INDEX KEY:		12.02.20 BIDS / PERMITS	
<input type="checkbox"/>	NOT ISSUED	12.18.20 ADDENDUM #1	
<input type="checkbox"/>	PREVIOUSLY ISSUED		
<input checked="" type="checkbox"/>	ISSUED		
<input checked="" type="checkbox"/>	REFERENCE		
GENERAL			
TS1.1	TITLE SHEET, SHEET INDEX, AND VICINITY MAP		
SP1.1	ARCHITECTURAL SITE PLAN		
ARCHITECTURAL			
A1.3	GARAGE FLOOR PLAN - NEW WORK		
A2.2	GARAGE EXTERIOR ELEVATIONS		
A3.2	GARAGE BUILDING/ WALL SECTIONS		

SYMBOL LEGEND	ABBREVIATION
	ARROWS INDICATES ELEVATED SECTION
	ELEVATION NUMBERS
	SHEET NUMBER WHERE ELEVATION IS LOCATED
	ELEVATION NUMBER
	SHEET NUMBER WHERE ELEVATION IS LOCATED
	DETAIL REFERENCE NUMBER
	SHEET NUMBER WHERE DETAIL IS LOCATED
	DETAIL NUMBER
	DETAIL NAME
	SCALE: 1/2" = 1'-0" - DRAWING SCALE
	SHEET NUMBER WHERE DETAIL IS REFERENCED
	HEIGHT ABOVE FINISHED FLOOR
	REFERENCE POINT OF ELEVATION
	HEIGHT ABOVE FINISHED FLOOR
	NOTE: DATUM SYMBOL INDICATES A SPECIFIC REFERENCE HEIGHT OF MATERIAL INDICATED
	ROOM NAME
	ROOM NUMBER
	NUMBERS DESIGNATE VERTICAL COLUMN LINES
	LETTERS DESIGNATE HORIZONTAL COLUMN LINES
	CIRCLES REPRESENT NEW COLUMN LINES
	DASHED CIRCLES REPRESENT EXISTING COLUMNS
	EXISTING DOOR SYMBOL
	NEW DOOR SYMBOL
	DOOR DESIGNATION
	WALL TYPE DESIGNATION NUMBER - COORDINATE WITH SCHEDULE
	EQUIPMENT DESIGNATION NUMBER - COORDINATE WITH PLAN NOTES
	KEY NOTE DESIGNATION NUMBER - COORDINATE WITH PLAN NOTES
	ADDENDUM DESIGNATION NUMBER
	BULLETIN DESIGNATION NUMBER
	MATCH LINE
	SHEET REFERENCE FOR DRAWING CONTINUATION
MATERIAL LEGEND	
	ACOUSTICAL CEILING
	BATT/LOOSE INSULATION
	BLOCKING/ROUGH LUMBER
	CONCRETE
	FINISHED WOOD
	GLASS
	GYPSUM WALLBOARD
	MASONRY
	PARTICLE BOARD
	PLYWOOD

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12.02.20	
12.18.20	ADDENDUM #1

FILE 1939_TSI-1_Coversheet.dwg
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CHECKED KEVIN J. CROSBY
SEAL

CLIENT
CHARLES WILLIAMS

PROJECT
WILLIAMS RESIDENCE ADDITION
550 FISKE FISKE DR
DETROIT, MI 48214

JOB NO.
1939

SHEET
TITLE SHEET

SHEET NO.
TSI.1

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FILE 1939_ASP1.1_SitePlan.dwg

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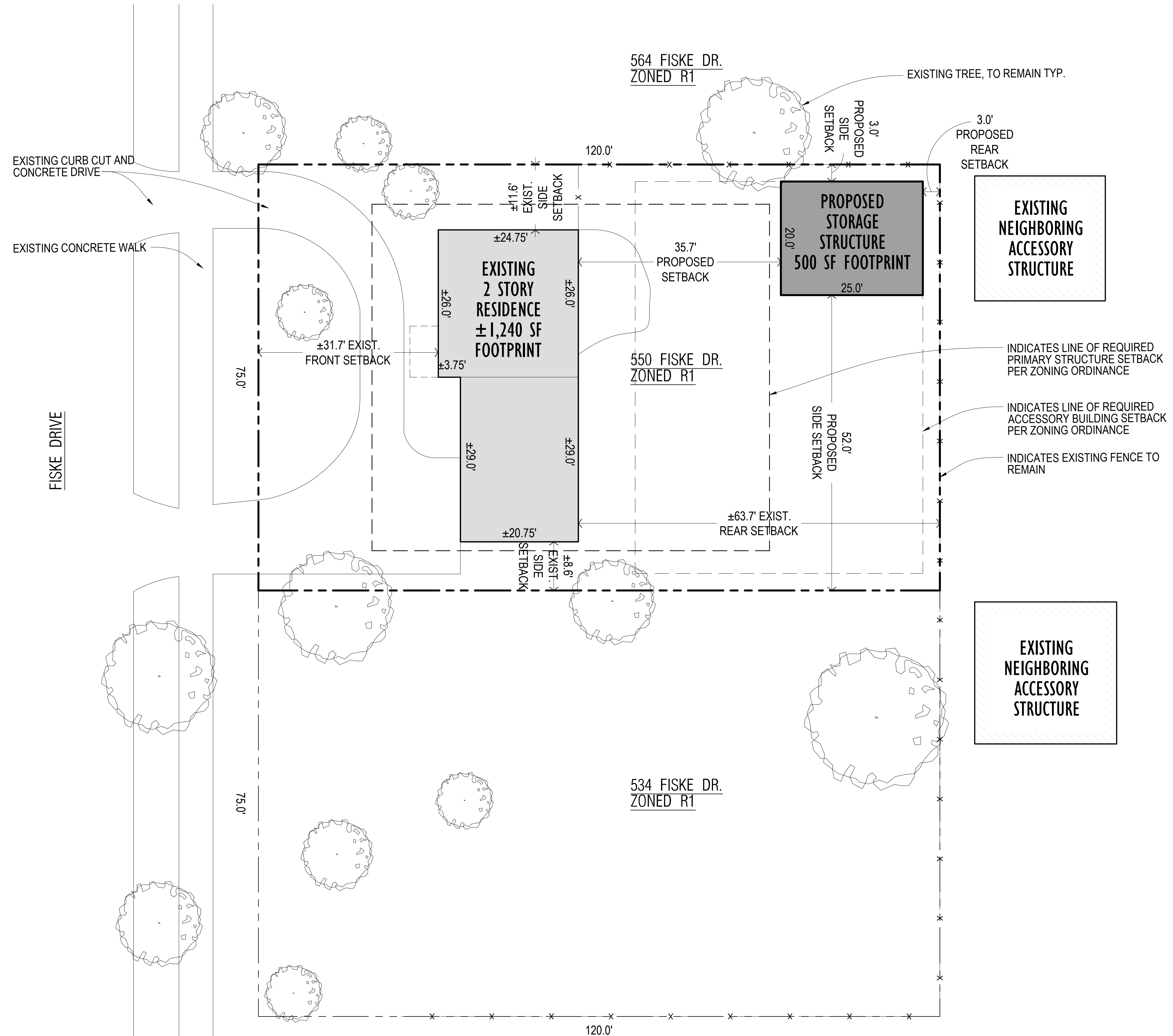
1939

SHEET
ARCHITECTURAL SITE PLAN

SHEET NO.

SPI.1

SITE DATA SUMMARY TABLE	
CURRENT ZONING	R1 - SINGLE FAMILY RESIDENTIAL
SITE AREA	9,000 S.F. ±.2 ACRES
MAX. LOT COVERAGE	35%
BUILDING LOT COVERAGE	
EXISTING RESIDENCE	1,240 S.F.
PROPOSED ACCESSORY STRUCTURE	500 S.F.
PROPOSED TOTAL BUILDING LOT COVERAGE	1,740 S.F.
PROPOSED TOTAL LOT COVERAGE	19%
BUILDING SETBACKS (RESIDENCE)	
FRONT	REQUIRED: 20 FEET EXISTING: ±31.7 FEET
SIDE	REQUIRED: 4 FEET EXISTING: ±8.6 FEET
CUMULATIVE SIDE	REQUIRED: 14 FEET EXISTING: ±11.6 FEET
REAR	REQUIRED: 30 FEET EXISTING: ±63.7 FEET
BUILDING SETBACKS (ACCESSORY STRUCTURE)	
REAR	REQUIRED: 3 FEET PROPOSED: 3 FEET
SIDE:	REQUIRED: 3 FEET PROPOSED: 3 FEET
ACCESSORY STRUCTURE	
MUST BE LOCATED IN REAR YARD	
< 50% OF REQUIRED REAR SETBACK AREA	
> 10 FEET FROM ANY SINGLE OR TWO FAMILY DWELLING	
MAX. HEIGHT:	15 FEET
PROPOSED HEIGHT:	±11.6 FEET (TOP OF ROOF STRUCTURE)



ARCHITECTURAL SITE PLAN
SCALE: 1"=10'-0"

FLOOR PLAN GENERAL NOTES:

1. ASSUMED SOIL CAPACITY IS 3,000#/SQ. FT. THE CONTRACTOR SHALL DETERMINE THE BEARING CAPACITY THROUGH FIELD-TESTING.
2. EXTERIOR MASONRY WALLS DIMENSIONED TO FACE OF MASONRY. EXTERIOR SIDED WALLS DIMENSIONED TO FACE OF SHEATHING
3. COORDINATE BUILT-IN FURNITURE, FINISHES, FIXTURES, TRIM, & OTHER SIMILAR DETAILS w/ OWNER
4. ALL DOOR SIZES ARE LABEL IN FEET AND INCHES: 3080 = 3'-0" WIDE x 8'-0" HIGH
5. UNLESS NOTED OTHERWISE ON THE CONSTRUCTION DOCUMENTS, LOCATE ALL DOORS MINIMUM 4" FROM ADJACENT WALL, ON HINGE SIDE. IF CASING LARGER THEN 2 1/4" IS SELECTED, ADJUST AS NECESSARY. IF DOORS ARE NOT LOCATED NEXT TO ADJACENT WALL, CENTER ON SPACE THEY ENTER INTO

FRAMING GENERAL NOTES:

1. HEADERS FOR OPENINGS UP TO 6'-0" LONG SHALL BE MIN. (2) 2x8 AND BEAR ON (2) 2x4 BUILT-UP COLUMN AT EACH END U.O.N.
2. HEADERS FOR OPENINGS FROM 6'-0" TO 10'-0" SHALL BE MIN (2) 2x12 AND SHALL BEAR ON (3) 2x4 BUILT-UP COLUMNS AT EACH END U.O.N.
3. SEALED DRAWINGS FOR PRE-ENGINEERED ROOF TRUSSES SHALL BE AVAILABLE ONSITE AT THE TIME OF ROUGH-FRAMING INSPECTION.
4. ALL FRAMING IN CONTACT WITH MASONRY SHALL BE M.R.T. TREATED
5. LVL PROPERTIES: E= 1,800,000 PSI, Fb= 2,400 PSI
6. MULTIPLE STUDS SHALL BE REQUIRED UNDER TRUSS GIRDER BEARING POINTS - COORDINATE WITH TRUSS MANUFACTURER. VERIFY ADDITIONAL HEADER SUPPORT WITH STRUCTURAL ENGINEER IF REQUIRED.

ROOF PLAN GENERAL NOTES:

1. PROVIDE CONTINUOUS RIDGE VENT AND/OR ROOF VENTS PER MIRC 2015. VENTS TO BE HIDDEN FROM STREET VIEW
2. ROOF CONTRACTOR SHALL INSPECT EXISTING ROOF STRUCTURE AND FLASHING CONDITIONS FOR DEFICIENCIES AND REPAIR AND REPLACE AS REQ. PER OWNER'S DIRECTION.

FLOOR PLAN KEY NOTES:

- 1 7th O.H. DOOR w/ OPENER
- 2 INDICATES LINE OF O.H. DOOR ABOVE
- 3 POURED CONCRETE SLAB
- 4 DOOR AND FRAME AS SCHEDULED
- 5 WINDOW AND FRAME AS SCHEDULED
- 6 16" WIDE REINF. CONC. TRENCH FOOTING FROM 4" BELOW FINISH FLOOR TO 42" MIN BELOW GRADE. SEE GENERAL NOTES THIS SHEET & SECTION. FINAL DESIGN BY PROFESSIONAL ENGINEER.
- 7 4" CMU STARTER COURSE
- 8 25 YR ARCHITECTURAL SHINGLES
- 9 LINE OF NEW EXTERIOR WALL SHEATHING FACE BELOW
- 10 CONCRETE APRON: SLOPE TO GRADE
- 11 1-HR FIRE RESISTANCE RATED WALL PER AMERICAN WOOD COUNCIL ASSEMBLY W54-1.3 AS NOTED: SEE SECTION AND DETAIL

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12.18.20	ADDENDUM #1

FILE 1939_A1.3_Garage_FirstFloorPlan
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SEAL

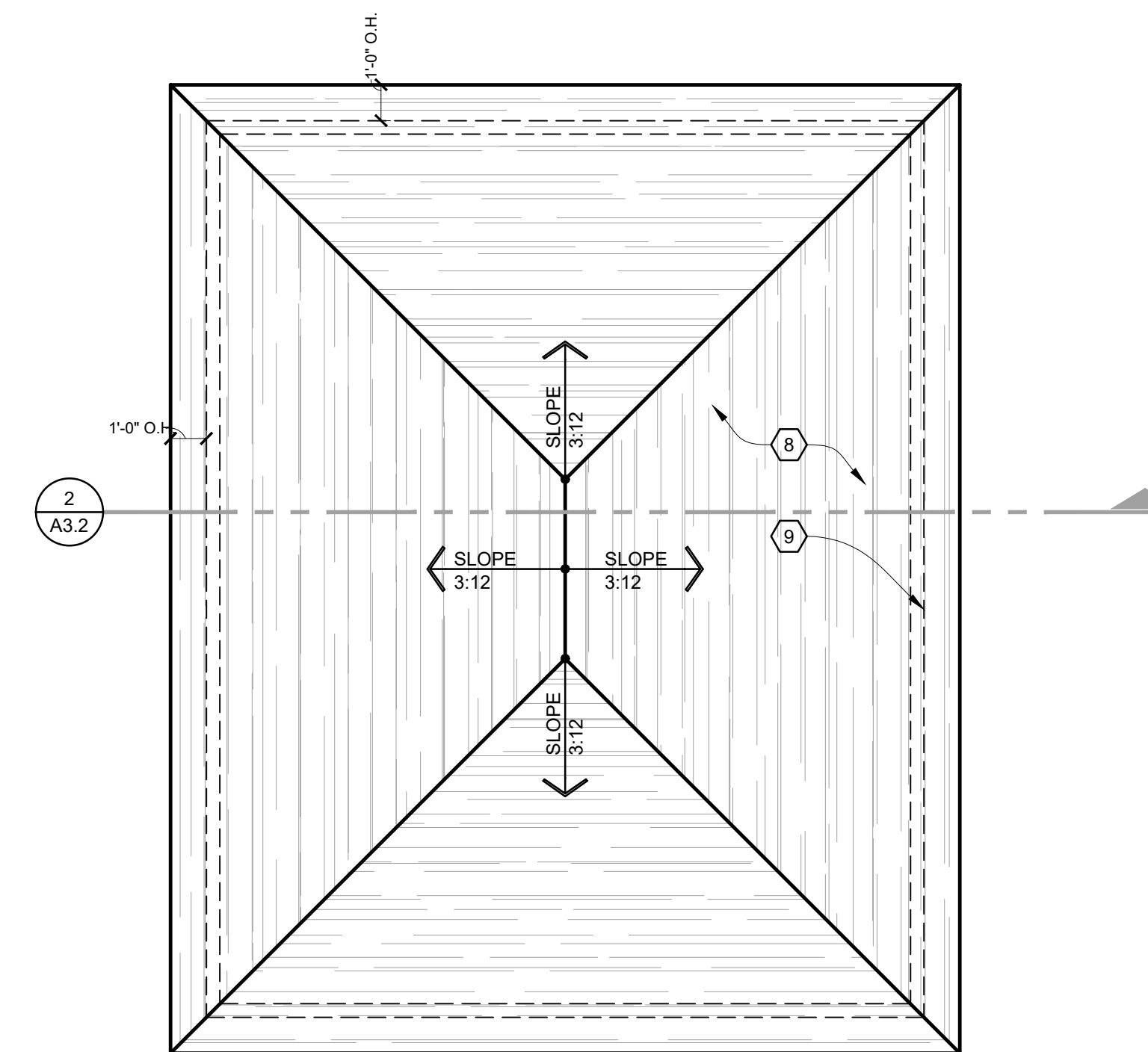
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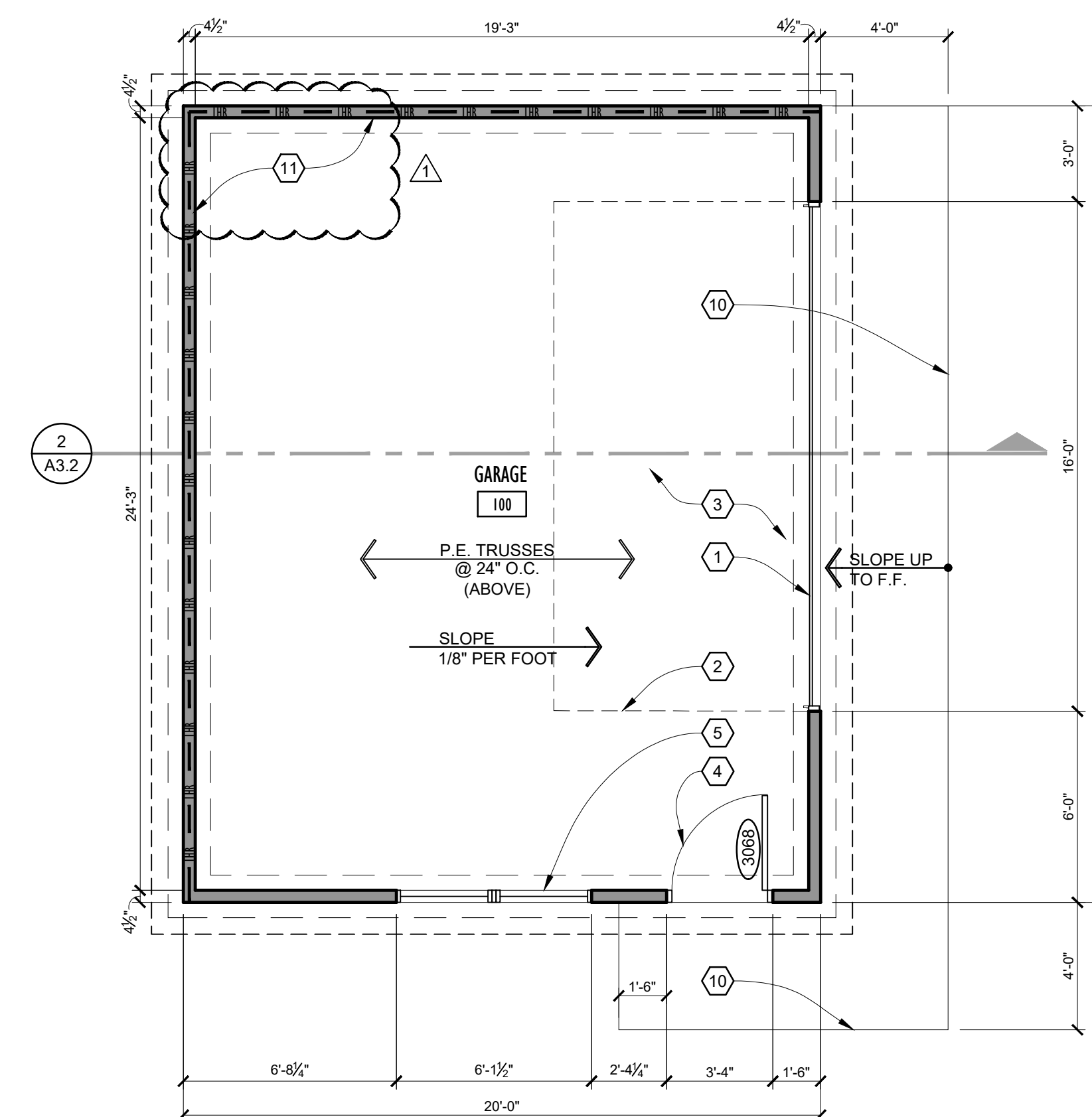
JOB NO.
1939

SHEET
GARAGE PLAN
- NEW WORK

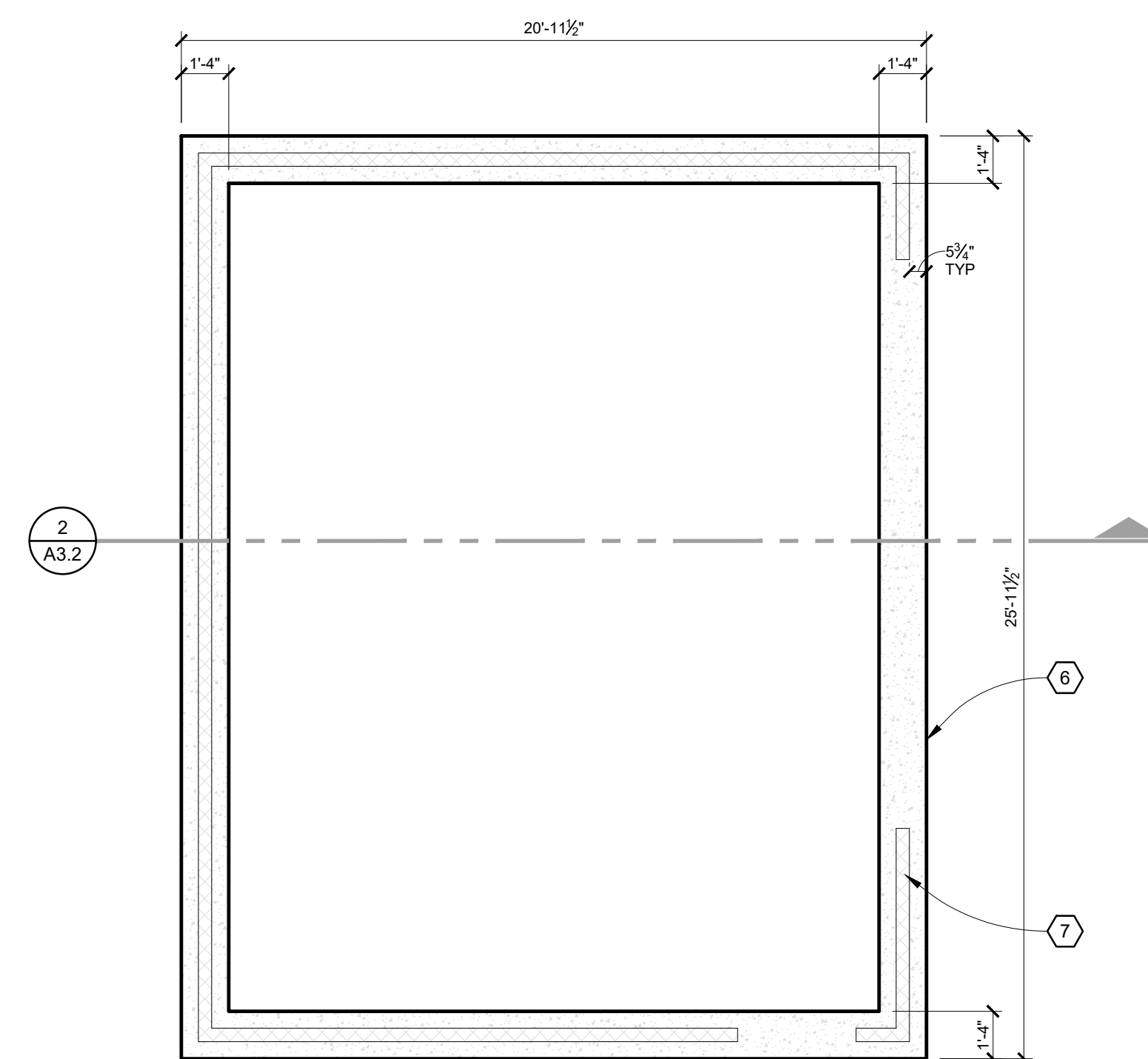
SHEET NO.
A1.3



GARAGE ROOF PLAN - NEW WORK
SCALE: 1/4"=1'-0"



GARAGE PLAN - NEW WORK
SCALE: 1/4"=1'-0"



GARAGE FOUNDATION PLAN - NEW WORK
SCALE: 1/4"=1'-0"

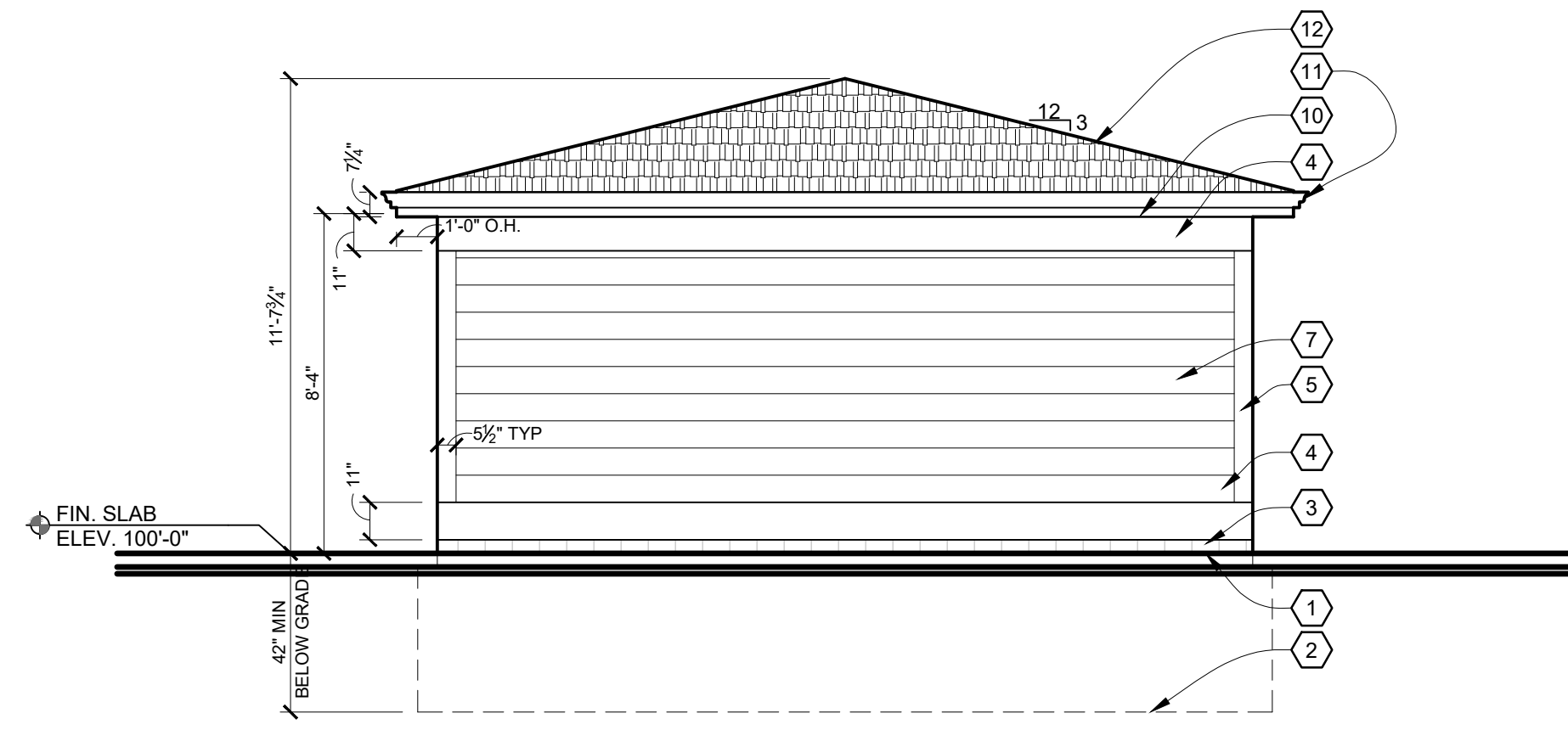
GENERAL ELEVATION NOTES:

1. ALL FINISH/ TRIM SUPPLIERS SHALL SUBMIT SHOP DRAWINGS OR SAMPLES OF ALL FINISH MATERIALS FOR APPROVAL BY OWNER/ ARCHITECT PRIOR TO ORDERING.
2. ALL CUT ENDS OR DRILLED LUMBER SHALL BE REPAIRED WITH SEALER.
3. PROVIDE 1x BLOCKING BEHIND ALL WALL MOUNTED ITEMS, VERIFY SIZES.

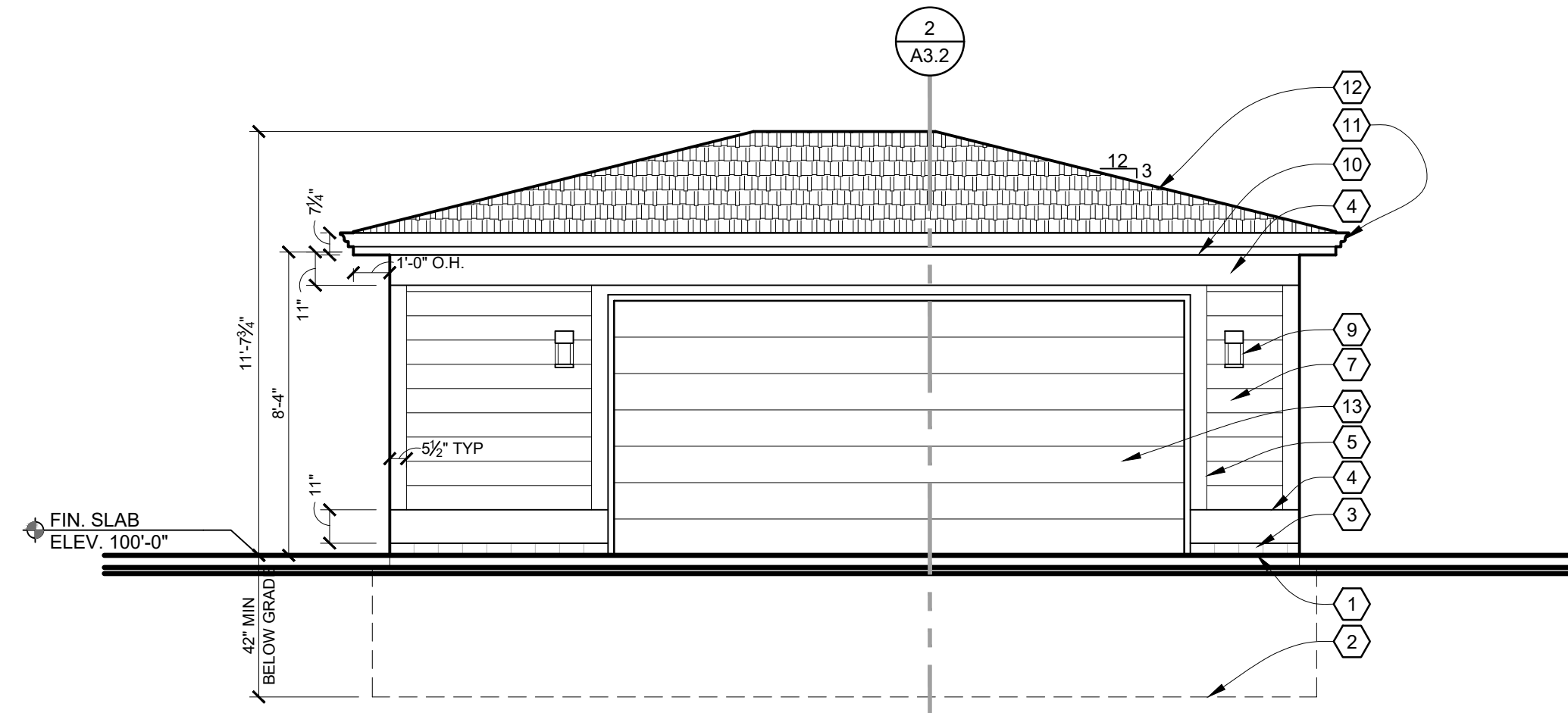
EXTERIOR ELEVATION KEY NOTES:

- 1 INDICATES LINE OF GRADE
- 2 INDICATES LINE OF NEW TRENCH FOOTING TO MIN 3'-6" BELOW FINISHED GRADE
- 3 4" CMU STARTER COURSE
- 4 1x TRIM BOARD; MRT, PAINT.
- 5 1x TRIM; TYP. PAINT.
- 6 DOOR & FRAME; PAINT.
- 7 JAMES HARDIE SIDING w/ 8" REVEAL; COLOR TBD BY OWNER
- 8 WINDOW AND FRAME
- 9 EXTERIOR WALL SCONCE AS SELECTED BY OWNER
- 10 1x8 MRT WD. FASCIA BD; PRIME & PAINT
- 11 CONTINUOUS PRE-FINISHED SEAMLESS ALUM. GUTTER SYSTEM w/ DOWN SPOUTS
- 12 ARCHITECTURAL SHINGLES ON NEW CONSTRUCTION; SEE ROOF PLAN
- 13 7" O.H. DOOR w/ OPENER

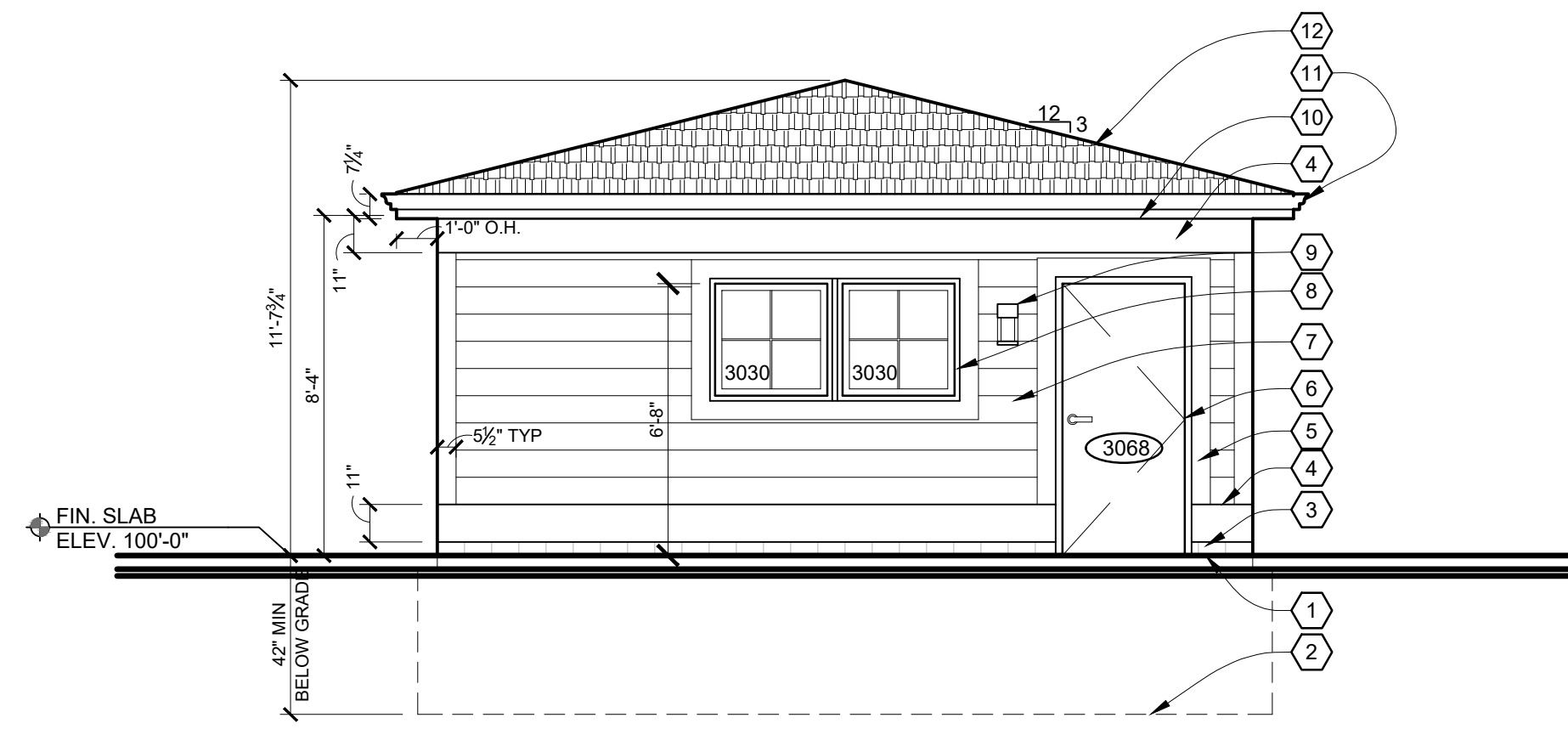
NOTE:
CONTRACTOR TO PROVIDE AND INSTALL CONTINUOUS ALUM. GUTTERS, DOWNSPOUTS AND SPLASH BLOCKS IN APPROPRIATE LOCATIONS; COORDINATE COLOR AND PROFILE SELECTION w/ OWNER



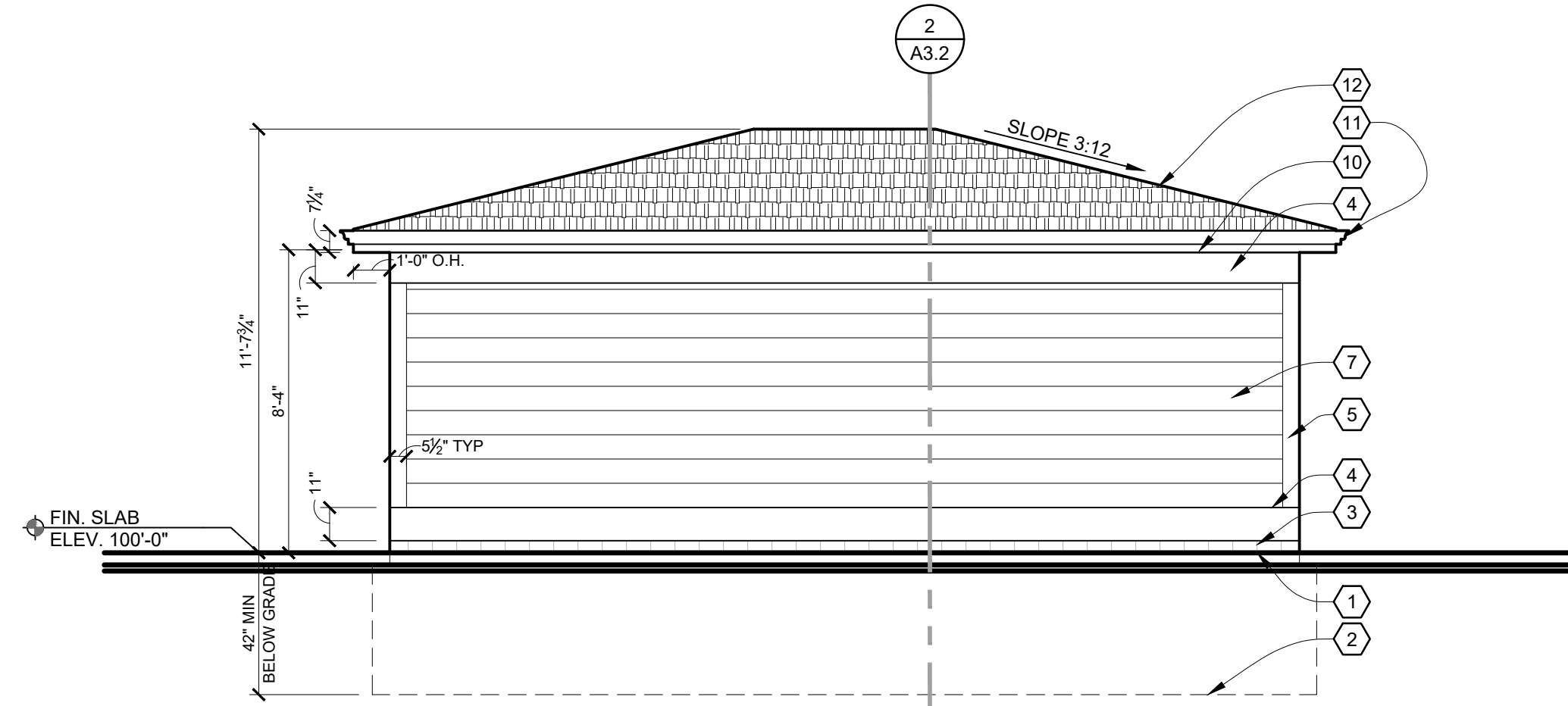
NORTH ELEVATION
SCALE: 1/4"=1'-0"



EAST ELEVATION
SCALE: 1/4"=1'-0"



SOUTH ELEVATION
SCALE: 1/4"=1'-0"



WEST ELEVATION
SCALE: 1/4"=1'-0"

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FILE 1939_A2-3_GarageExtElevations.dwg

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SHEET
GARAGE
EXTERIOR ELEVATIONS

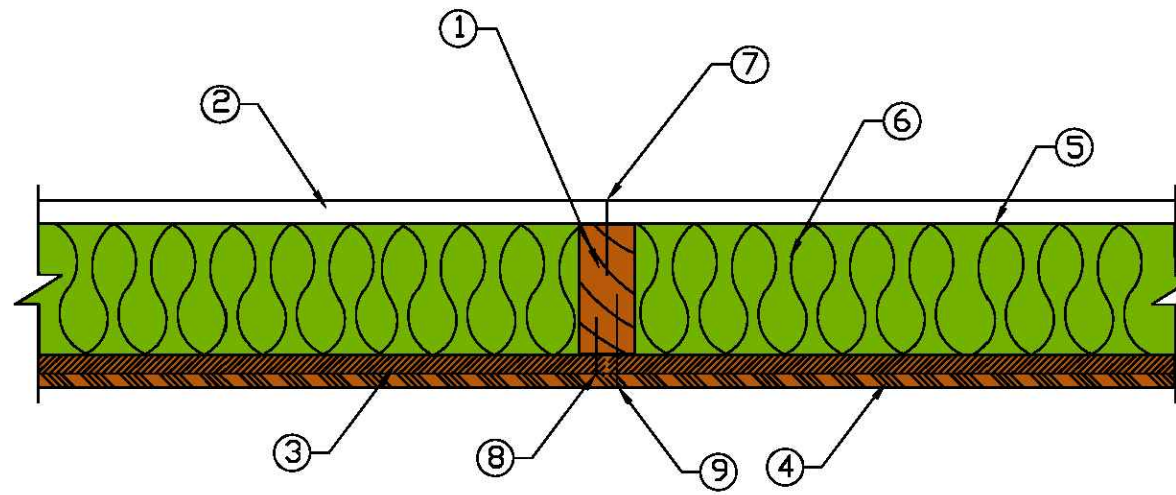
SHEET NO.

A2.2

**WALL SECTION KEY NOTES:
(TYPICAL THIS SHEET ONLY)**

- 1 CONCRETE TRENCH FOOTING w/ #4 BARS 24" O.C. VERT. AND 24" O.C. HORIZ.
- 2 CONTINUOUS PRE-FINISHED ALUMINUM FLASHING w/ DRIP EDGE
- 3 SLAB ON GRADE 4" CONCRETE SLAB ON 6 MIL. VAPOR BARRIER ON 4" COMPACTED SAND BASE.
- 4 1/2" EXPANSION JOINT.
- 5 INDICATES LINE OF GRADE; PITCH AWAY FROM STRUCTURE
- 6 1/2" ANCHOR BOLT @ 32" O.C. 12" FROM CORNERS AND ENDS
- 7 2x4 MRT SILL PLATE w/ SILL SEALER
- 8 EXTERIOR NON-RATED WALL JAMES HARDIE SIDING w/ 8" REVEAL (OR ALT. VINYL SIDING) ON AIR INFILTRATION BARRIER ON 1/2" APA RATED SHEATHING ON 2x4 WD STUDS @ 16" O.C. ON 1/2" GYP. BD. (GYP. BD FINISH OPTIONAL. COORDINATE w/ OWNER)
- 9 1x TRIM BOARD, MRT, PAINT. COORDINATE w/ EXTERIOR ELEVATIONS
- 10 2x4 DOUBLE TOP PLATE
- 11 CONTINUOUS PRE-FINISHED SEAMLESS ALUM. GUTTER SYSTEM
- 12 1x8 MRT WD. FASCIA BD. PRIME & PAINT
- 13 ROOFING 25 YR ARCHITECTURAL SHINGLES ON 15# FELT (TAPE) ON 1/2" APA RATED SHEATHING - SEE ROOF PLAN
- 14 2x WD. BLOCKING/ FRAMING
- 15 PRE-FINISHED VENTED SOFFIT PANELS
- 16 PRE-MANUFACTURED ROOF TRUSSES @ 24" O.C.
- 17 EXTERIOR 1-HR RATED WALL JAMES HARDIE SIDING w/ 8" REVEAL (ALT VINYL SIDING) ON AIR INFILTRATION BARRIER ON 1/2" APA RATED SHEATHING ON 2x4 WD STUDS @ 16" O.C. w/ MINERAL WOOL INSULATION, 4 MIL VAPOR BARRIER AND 5/8" TYPE X GYP. BD. AT INTERIOR FACE OF WALL; INSTALL PER AMERICAN WOOD COUNCIL ASSEMBLY WS4-1.3; SEE DESCRIPTION, THIS SHEET.

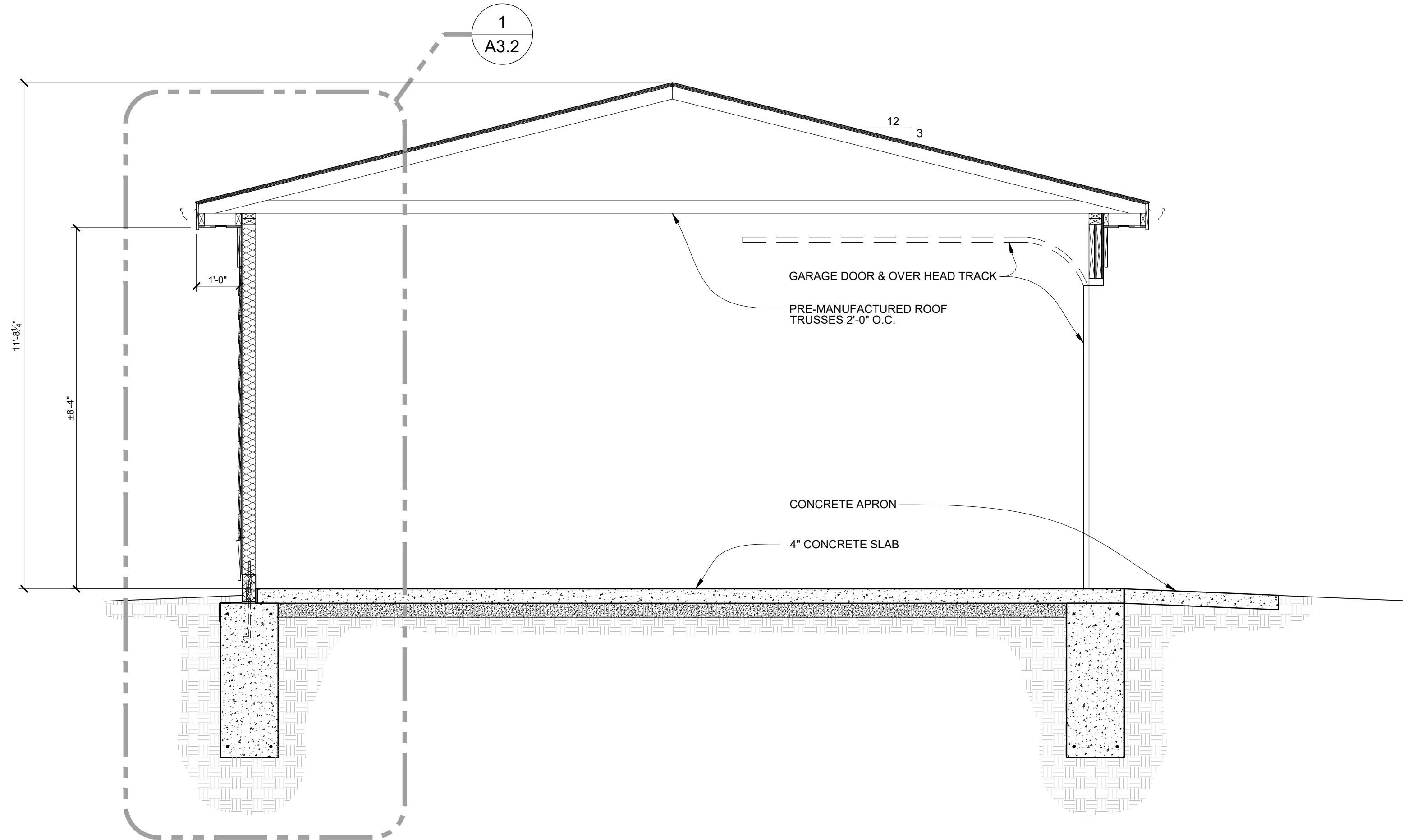
**WS4-1.3 One-Hour Fire-Resistance-Rated Wood-Frame Wall Assembly
(Rated from gypsum wallboard side)
2x4 Wood Stud Wall - 78% Design Load - ASTM E 119/NFPA 251**



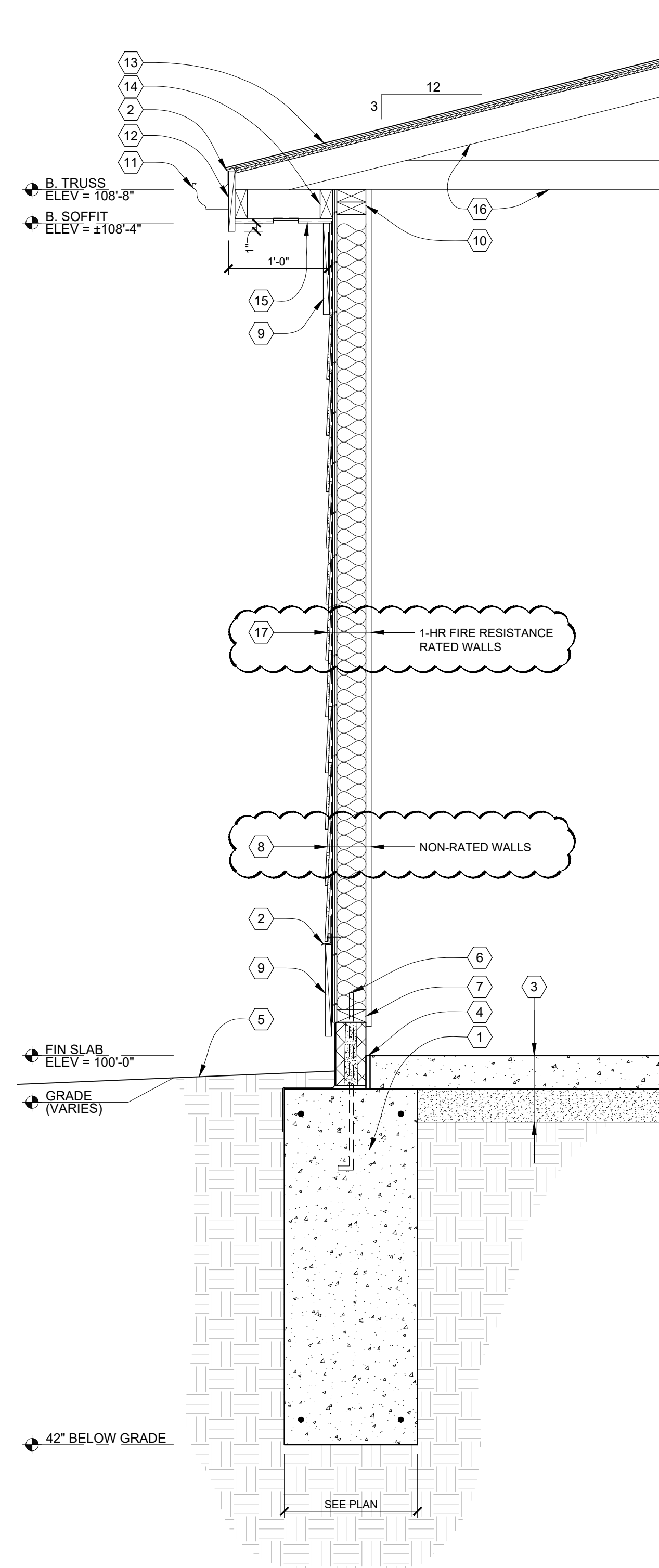
1. Framing - Nominal 2x4 wood studs, spaced 16 in. o.c., double top plates, single bottom plate
2. Interior Sheathing - 5/8 in. Type X gypsum wallboard, 4 ft. wide, applied vertically, unblocked
3. Exterior Sheathing - Minimum 1/2 in. fiberboard sheathing. *Alternate construction - minimum 1/2 in. lumber siding or 1/2 in. wood-based sheathing.*
4. Exterior Siding - 3/8 in. hardboard shiplap edge panel siding. *Alternate construction - lumber, wood based, vinyl, or aluminum siding.*
5. Vapor Barrier - 4-mil polyethylene sheeting
6. Insulation - 3-1/2-inch-thick mineral wool insulation (2.5 pcf, nominal)
7. Gypsum Fasteners - 6d cement coated box nails spaced 7 in. o.c.
8. Fiberboard Fasteners - 1-1/2 in. galvanized roofing nails - 6 in. o.c. in the field, 3 in. o.c. panel edges
9. Hardboard Fasteners - 8d galvanized nails - 8 in. o.c. in the field, 4 in. o.c. panel edges
10. Joints and Fastener Heads - Wallboard joints covered with paper tape and joint compound; fastener heads covered with joint compound

Tests conducted at the Gold Bond Building Products Fire Testing Laboratory
Test No: WP-584 (Fire Endurance & Hose Stream) March 19, 1981
Third Party Witness: Warnock Hersey International, Inc.
Report WHI-690-003

This assembly was tested at 78% design load using an l/d of 33, calculated in accordance with the 2018 National Design Specification® for Wood Construction. The authority having jurisdiction should be consulted to assure acceptance of this report.



2 BUILDING SECTION
A3.2 SCALE: 1/2"=1'-0"



1 WALL SECTION
A3.2 SCALE: 1"=1'-0"

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12.18.20	ADDENDUM #1

FILE:1939_A3.3_GarageSections.dwg
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CHECKED: KEVIN J. CROSBY
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SHEET
GARAGE SECTIONS

SHEET NO.
A3.2