

WINDOW SURVEY

Introduction

Survey Methods

The 2nd story windows were surveyed by a visual survey from the interior using a camera. The survey focused on the existing conditions of the wood frames, operability of the window sashes and condition of the glass. The purpose was to determine if the condition of the windows and frames was suitable to be restored or if new window units were required.

Detailed drawings and dimensions were recorded for a typical window unit that was accessible. This information is included in the attached window sheets. Due to the condition of the building interior, access to each individual window was not possible and the dimensions given are based on the typical window. Conditions are also based on the review of accessible windows and appear to be typical for the majority of windows.

Existing Conditions

General

The existing windows are wood single-hung units and also three bay windows. The bay windows consist of three individual single-hung windows. The glass is single pane at all windows. The windows at the rear (west) elevation have all been enclosed with brick masonry but at the interior the wood frames remain. All of the windows exhibit signs of prolonged neglect, atmospheric build up and scaling paint.

Conditions

The majority of the windows are in poor condition while the second half being in fair condition. In the most extreme locations the wood has deteriorated severely with rot occurring mainly at the sills, lower rail and at the bottom of the side stiles. The majority of windows also have broken or removed ropes and pulleys making the windows inoperable. The majority of windows have either missing or broken glass panes.

Recommendations

General

The wood windows are in poor condition and require replacement. Many of the windows have already been removed and the historic material remaining is either broken or in poor condition.

Aluminum windows are recommended to replace the deteriorated wood windows. The Aluminum windows should be configured to fit within the existing masonry openings. The window profiles will be similar in style and will preserve the slight lines of the existing windows. While the new windows will not be operable, they will maintain the single-hung appearance of the originals.

Refer to attached drawings and photos for additional information.

Window #	Intact/ Missing	Conditions							Bricked Over	Comments	Overall Rating		
		Stool	Apron	Casing	Rail	Stile	Sash Stop	Ropes					Glass
200	Intact	Poor	Fair	Fair	Poor	Fair/Poor	Fair	No	Broken bottom pane	No	window is covered	Fair	Poor = 29
201	Intact	Poor	Fair	Fair	Fair	Fair/Poor	Fair	No	Broken Top Pane	No	window is covered	Fair	Fair = 21
202	Intact	Poor	Fair	Fair	Fair	Fair	Fair	No	Good	No	window is covered	Fair	Good = 0
203	Intact	Poor	Fair	Fair	Poor	Fair	Fair	Yes	Broken bottom pane	No	window is covered, broken stops, top pane is dropped	Poor	N/A = 2
204	Intact	Poor	Fair	Fair	Poor	Fair	Fair	Broken	Broken bottom pane	No	window is covered, broken stops	Poor	Total = 52
205	Intact	Poor	Fair	Fair	Poor	Fair	Fair	No	Good	No	window is covered, broken stops	Poor	
206	Missing	Poor	Poor	Poor	Poor	Poor	Poor	No	Missing	No	windows are removed from the wall	Poor	
207	Missing	Poor	Poor	Poor	Poor	Poor	Poor	No	Missing	No	windows are removed from the wall	Poor	
208	Missing	Poor	Poor	Poor	Poor	Poor	Poor	No	Missing	No	windows are removed from the wall	Poor	
209	Missing	Poor	Poor	Poor	Poor	Poor	Poor	Broken	Fair	No	windows are removed from the wall	Poor	
210	Missing	Poor	Poor	Poor	Poor	Poor	Poor	Broken	Fair	No	windows are removed from the wall	Poor	
211	Missing	Poor	Poor	Poor	Poor	Poor	Poor	Broken	Fair	No	windows are removed from the wall	Poor	

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Window #	Intact/ Missing	Conditions								Bricked Over	Comments	Overall Rating
		Stool	Apron	Casing	Rail	Stile	Sash Stop	Ropes	Glass			
212a	Top pane missing	Poor	Poor	Poor	Very Poor	Poor	Poor	No	Broken upper pane	No	one frame is removed, heavily deteriorated bottom rail	Poor
212b	Missing	Poor	Poor	Poor	Very Poor	Very Poor	Poor	No	Broken	No	center window covered, frames removed from wall, heavily deteriorated rails and stiles	Poor
212c	Missing	Poor	Poor	Poor	Poor	Poor	Poor	No	Good	No	frames removed from wall, heavily deteriorated rails and stiles	Poor
213	Intact	Poor	Fair	Fair	Poor	Fair	Poor	No	Missing bottom pane	No	window is covered, frame is warped, broken stops and a heavily deteriorated bottom rail	Poor
214	Intact	Poor	Fair	Fair	Very Poor	Fair	Poor	No	Broken top pane	No	broken stops, deteriorated bottom rail and vertical rails	Poor
215	Intact	Poor	Fair	Fair	Very Poor	Fair	Poor	Broken	Good	No	broken stops, deteriorated bottom rail and vertical rails	Poor
216	Intact	Poor	Fair	Fair	Poor	Fair	Fair	No	Covered	No	window is covered	Fair
217	Intact	Poor	Fair	Fair	Poor	Fair	Fair	No	Good	No	window has spray foam insulation in the panes, deteriorated vertical stiles and bottom rail and broken stops	Fair
218	Missing	Poor	N/A	N/A	N/A	N/A	Fair	No	Missing	No	window is covered, frames are removed from the wall	Poor
219a	Intact	Poor	Fair	Fair	Poor	Poor	Fair	No	Good	No	heavily deteriorated bottom rail and vertical stiles	Poor
219b	Intact	Poor	Fair	Fair	Poor	Poor	Fair	No	Good	No	heavily deteriorated bottom rail and vertical stiles	Poor
219c	Intact	Poor	Fair	Fair	Poor	Poor	Fair	No	Good	No	heavily deteriorated bottom rail and vertical stiles	Poor
220	Intact	Poor	Fair	Fair	Poor	Poor	Fair	No	Good	No	Deteriorated bottom rail	Poor
221	Intact	Poor	Fair	Fair	Poor	Poor	Fair	No	Good	No		Poor
222	Intact	Poor	Fair	Fair	Poor	Poor	Fair	Yes	Broken/partially covered	No	partially covered window, upper glass is dropping, deteriorated bottom rail and one rope remaining	Poor
223	Intact	Poor	Fair	Fair	Poor	Fair	Fair	No	Good / Covered	No	window is covered	Poor
224	Intact	Poor	Fair	Fair	Poor	Fair	Fair	Yes	Good	No	Deteriorated vertical stile, intact ropes	Fair
225	Intact	Poor	Fair	Fair	Poor	Fair	Fair	Yes	Good	No	Deteriorated vertical stile, intact ropes	Fair
226a	Intact	Poor	Fair	Fair	Poor	Fair	Fair	No	Good	No		Fair
226b	Intact	Poor	Fair	Fair	Poor	Poor	Fair	No	Missing bottom pane	No	bottom frame is covered, deteriorated bottom rail	Poor
226c	Intact	Poor	Fair	Fair	Poor	Fair	Fair	No	Good	No	deteriorated bottom rail and vertical stiles	Fair
227	Intact	Poor	Fair	Fair	Poor	Fair	Fair	Yes	Good	No	ropes and anchors intact, window is operable	Fair
228	Intact	Poor	Fair	Fair	Poor	Fair	Fair	No	Good	Yes	Inaccessible	Fair
229	Intact	Poor	Fair	Fair	Poor	Poor	Fair	No	Missing	Yes		Poor
230	Missing	N/A	N/A	N/A	N/A	N/A	N/A	N/A	Missing	Yes	Fire damage window, no material or integrity remaining	Poor

WINDOW SURVEY

Window #	Intact/ Missing	Conditions								Bricked Over	Comments	Overall Rating
		Stool	Apron	Casing	Rail	Stile	Sash Stop	Ropes	Glass			
231	Missing	N/A	N/A	N/A	N/A	N/A	N/A	N/A	Missing	Yes	Fire damage window, no material or integrity remaining	Poor
232	Missing	Poor	N/A	N/A	N/A	N/A	Fair	No	Missing	Yes	Missing window	Poor
233	Intact	Poor	Fair	Fair	Fair	Fair	Fair	No	Good	Yes		Fair
234	Intact	Poor	Fair	Fair	Fair	Fair	Fair	No	Good	Yes		Fair
235	Intact	Poor	Fair	Fair	Fair	Fair	Fair	No	Good	Yes		Fair
236	Intact	Poor	Fair	Fair	Fair	Fair	Fair	No	Broken both	Yes		Fair
237	Intact	Poor	Fair	Fair	Fair	Fair	Fair	No	Broken both	Yes	mortar over lower frame	Fair
238	N/A										Inaccessible	N/A
239	N/A										Inaccessible	N/A
240	Intact	Poor	Fair	Fair	Fair	Fair	Fair	No	Missing both	Yes	window is covered	Fair
241	Intact	Poor	Fair	Fair	Poor	Fair	Fair	No	Missing Top Pane	Yes	broken top window frame	Poor
242	Intact	Poor	Fair	Fair/Poor	N/A	N/A	Fair	N/A	Good	Yes	bars in front of window and board covering lower pane	Fair
243	Intact	Fair	Fair	Fair	Fair	Fair	Fair	N/A	Good	Yes	bars in front of window	Fair
244	Intact	Poor	Fair	Fair	Poor	Fair/Poor	Fair	No	Missing top pane	No	window is covered	Fair
245	Intact	Poor	Fair	Fair	Poor	Fair/Poor	Fair	No	Missing top pane	No	window is covered	Fair

WINDOW CONDITIONS



UNIT 201: BROKEN GLASS IN WINDOW FRAME



UNIT 203: REMOVED FRAMES AND STOPS



UNIT 204: DETERIORATED STOOP AND CASING



UNIT 202: BROKEN TOP RAIL



UNIT 204: REMOVED FRAMES WITH BROKEN GLASS



UNIT 204: DETERIORATED LOWER RAIL

WINDOW CONDITIONS



UNIT 206: MISSING WINDOW WITH BRICK INFILL



UNIT 206: DETERIORATED LOWER RAIL



UNIT 207: BROKEN AND MISSING STOP



UNIT 206: BROKEN ROPES AND ANCHORS



UNIT 206: BROKEN AND OUT OF ALIGNMENT RAILS



UNIT 207: INAPPROPRIATE MATERIAL

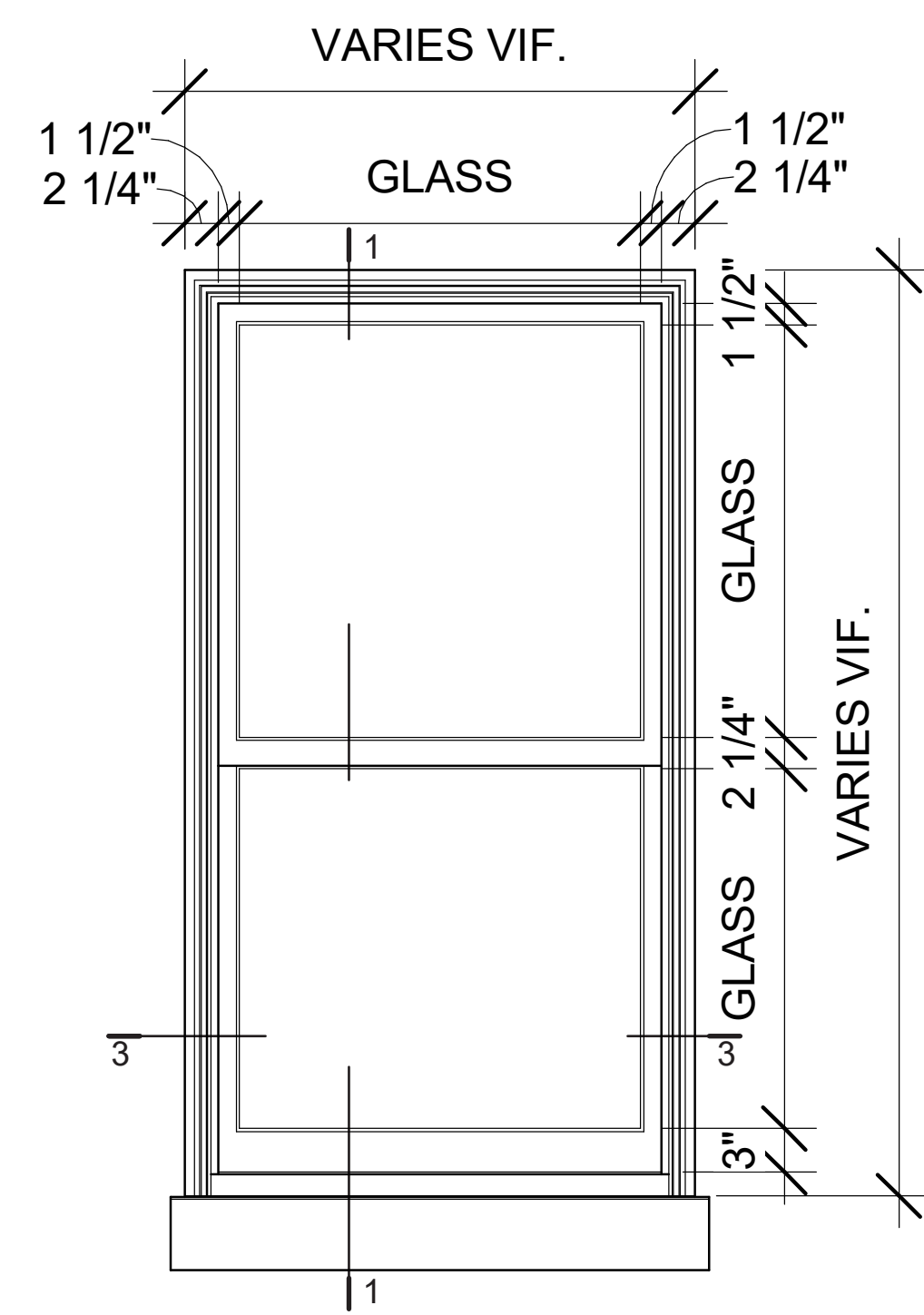
WINDOW DETAILS - TYPICAL



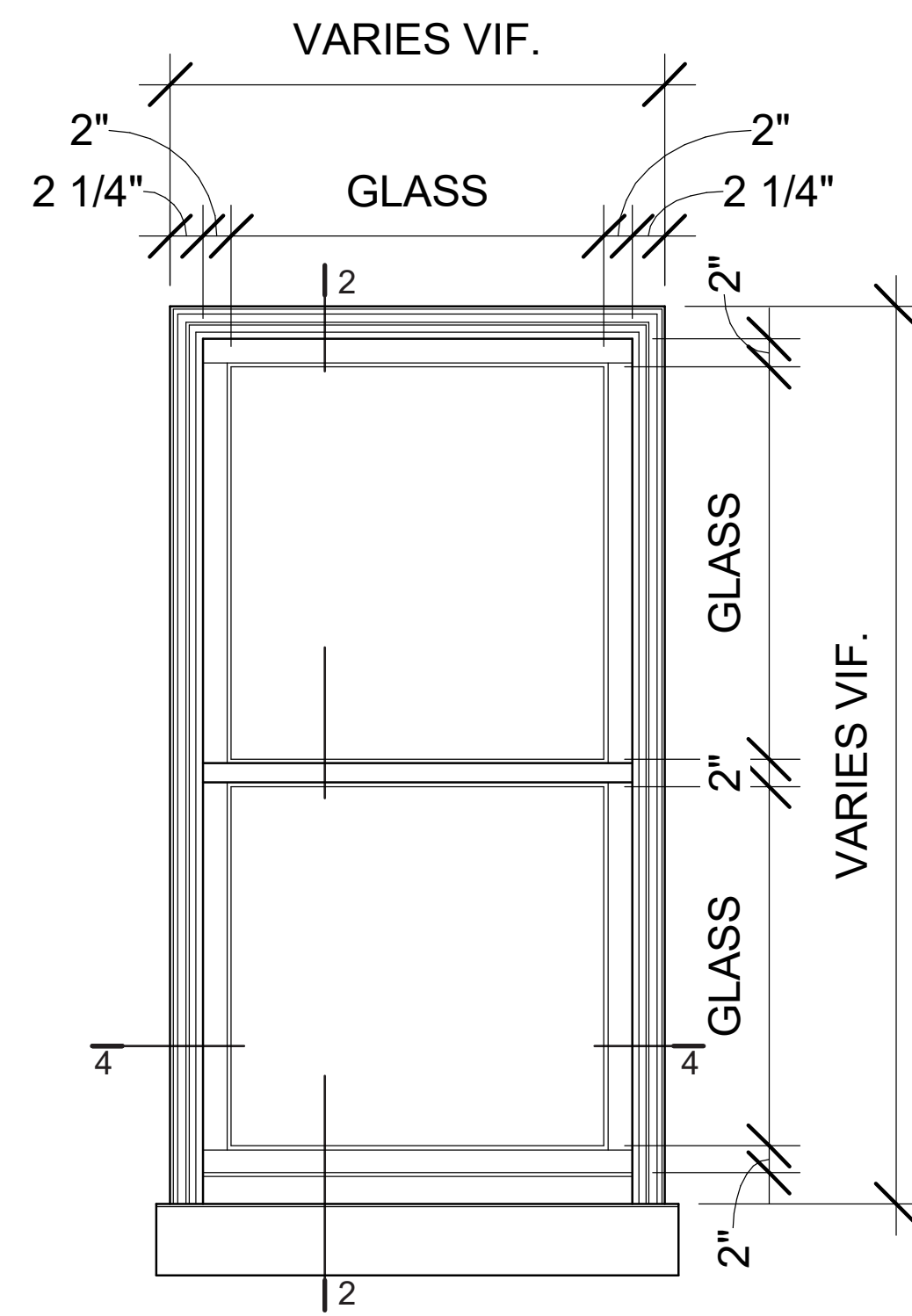
EXTERIOR WINDOW ELEVATION



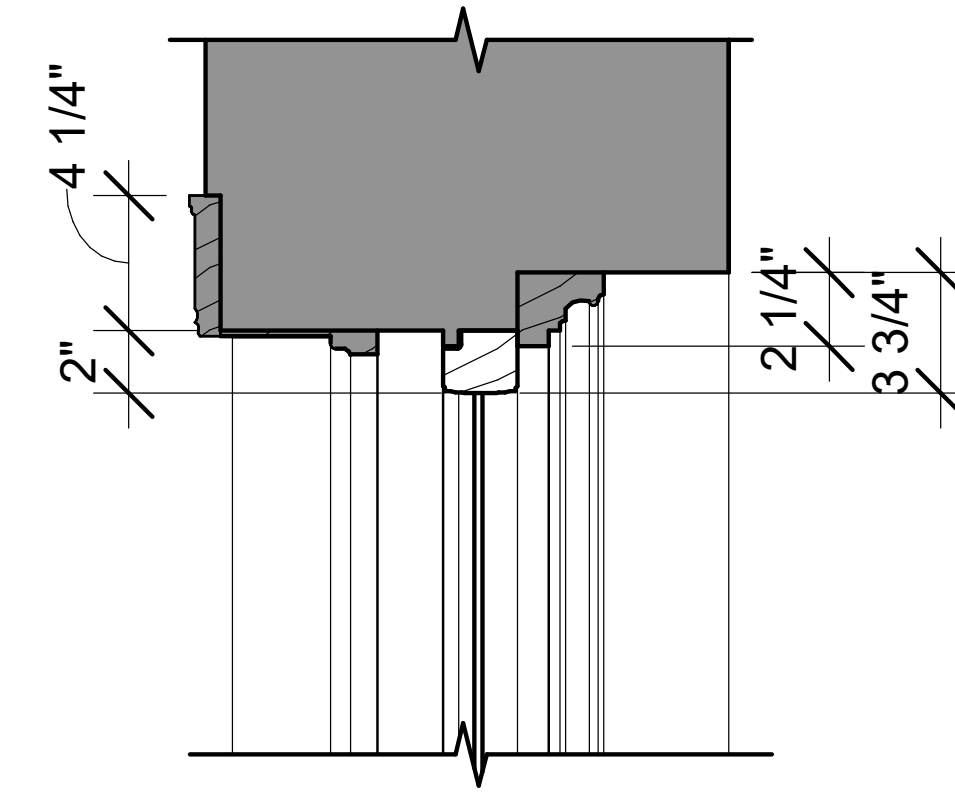
INTERIOR WINDOW ELEVATION (TYPICAL)



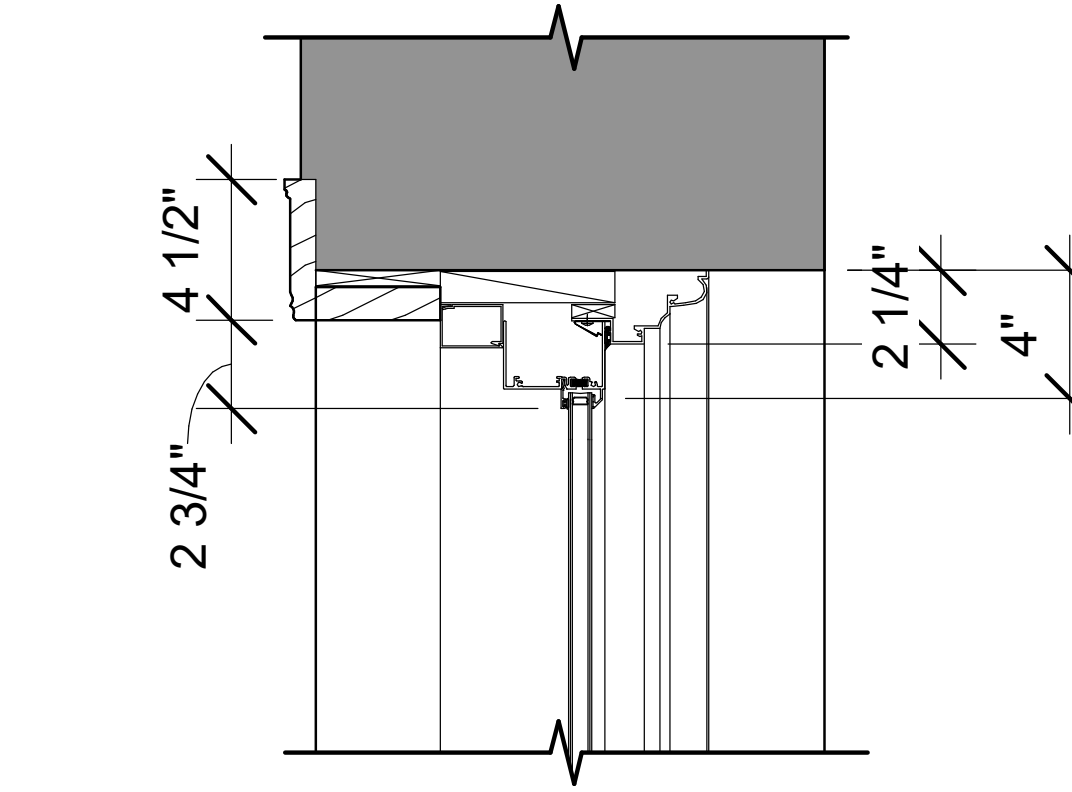
EXISTING WINDOW ELEVATION



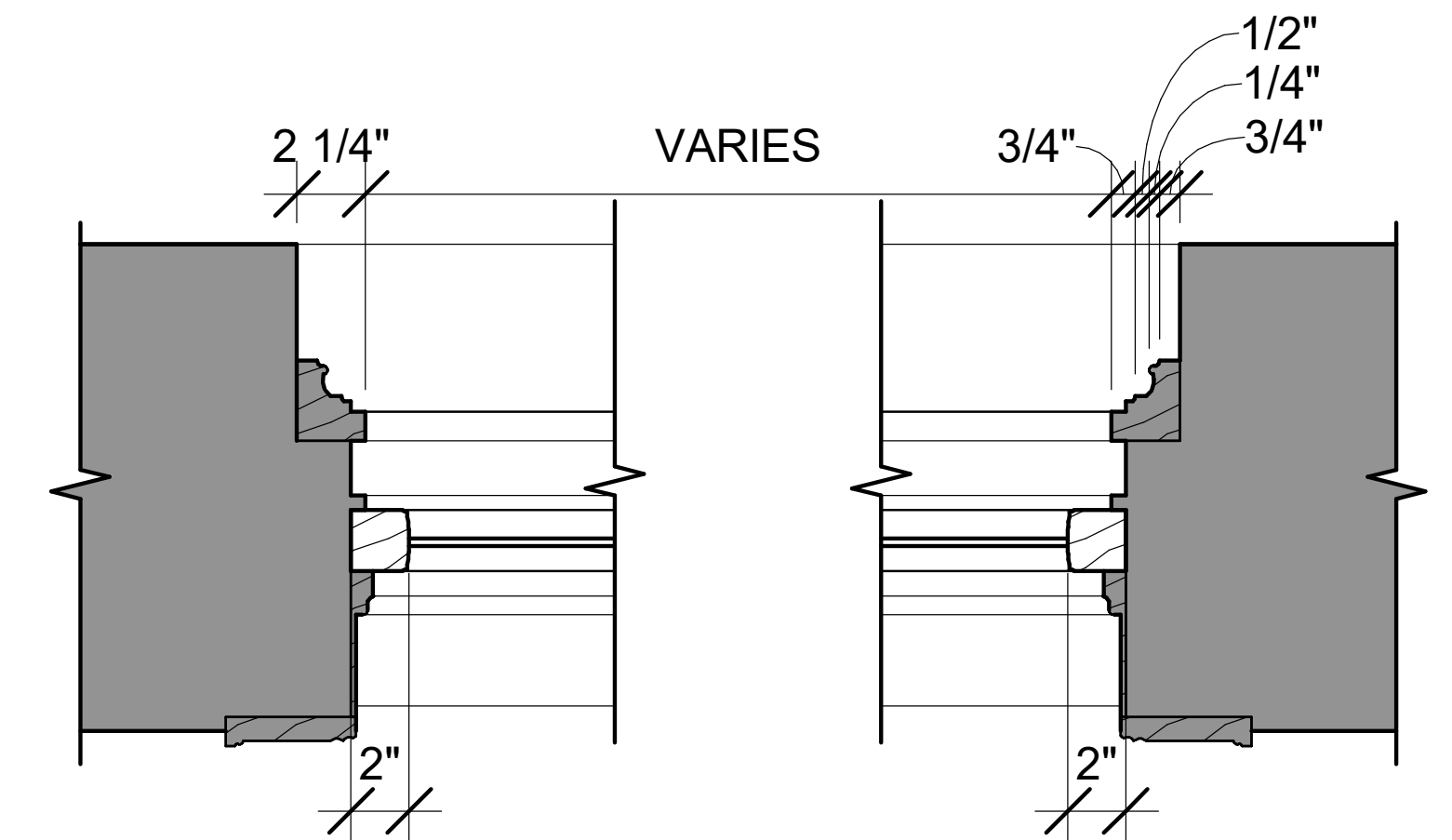
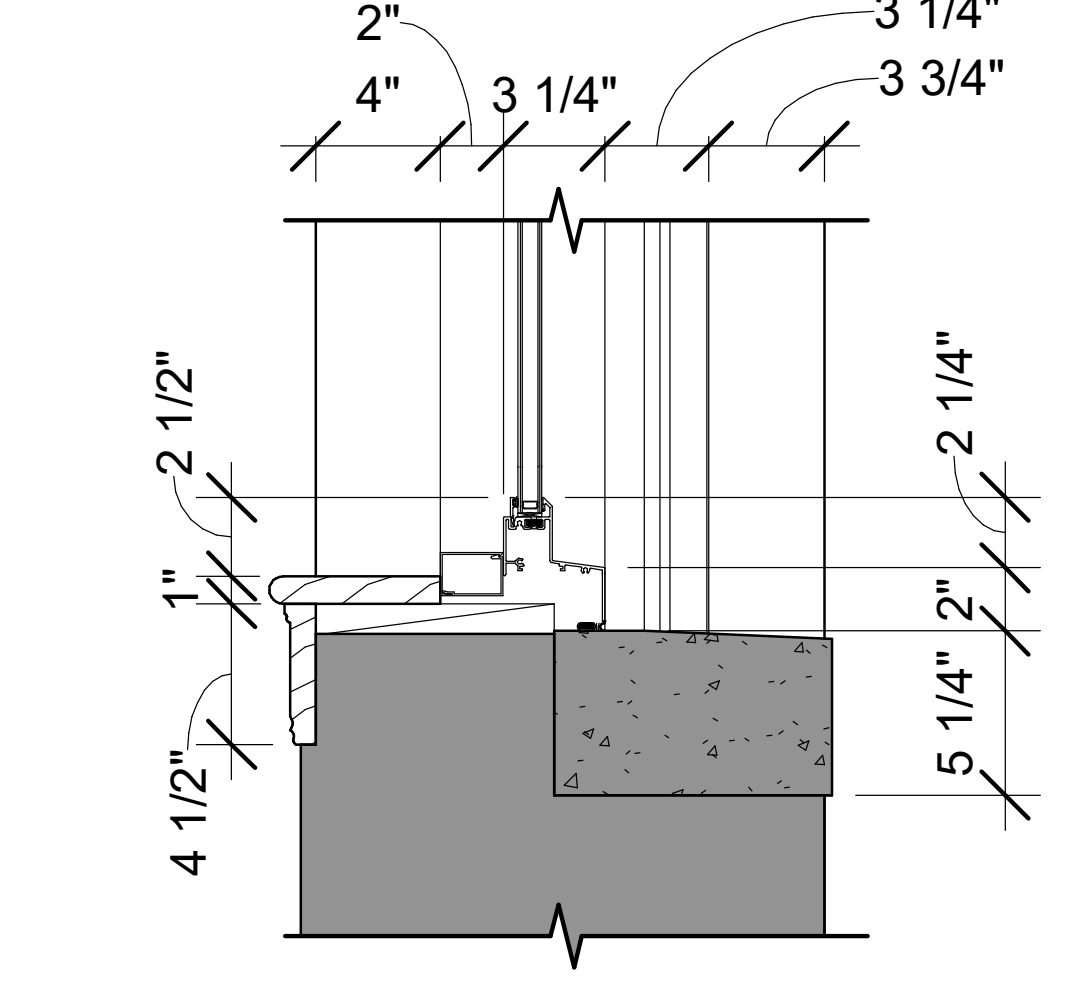
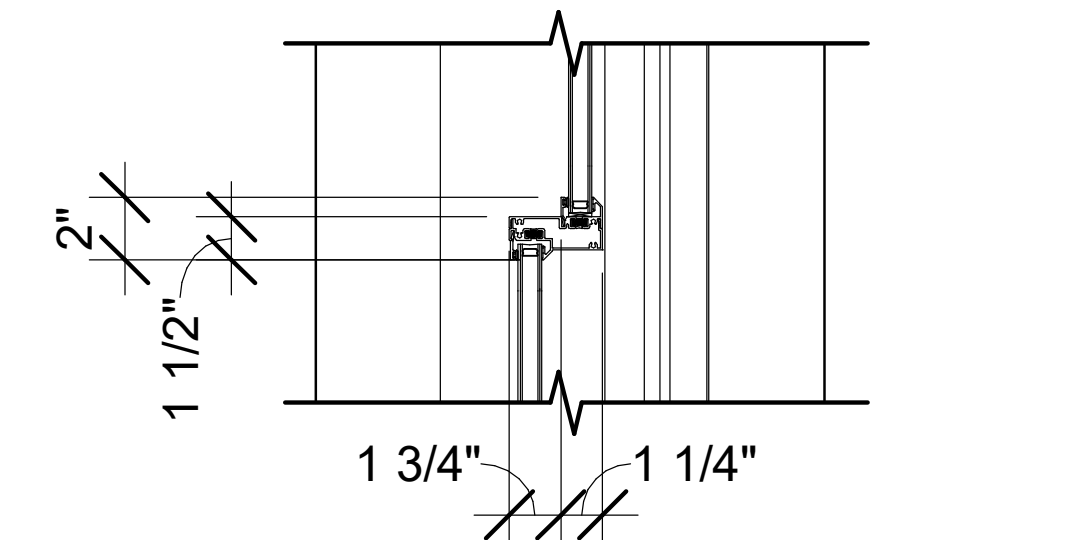
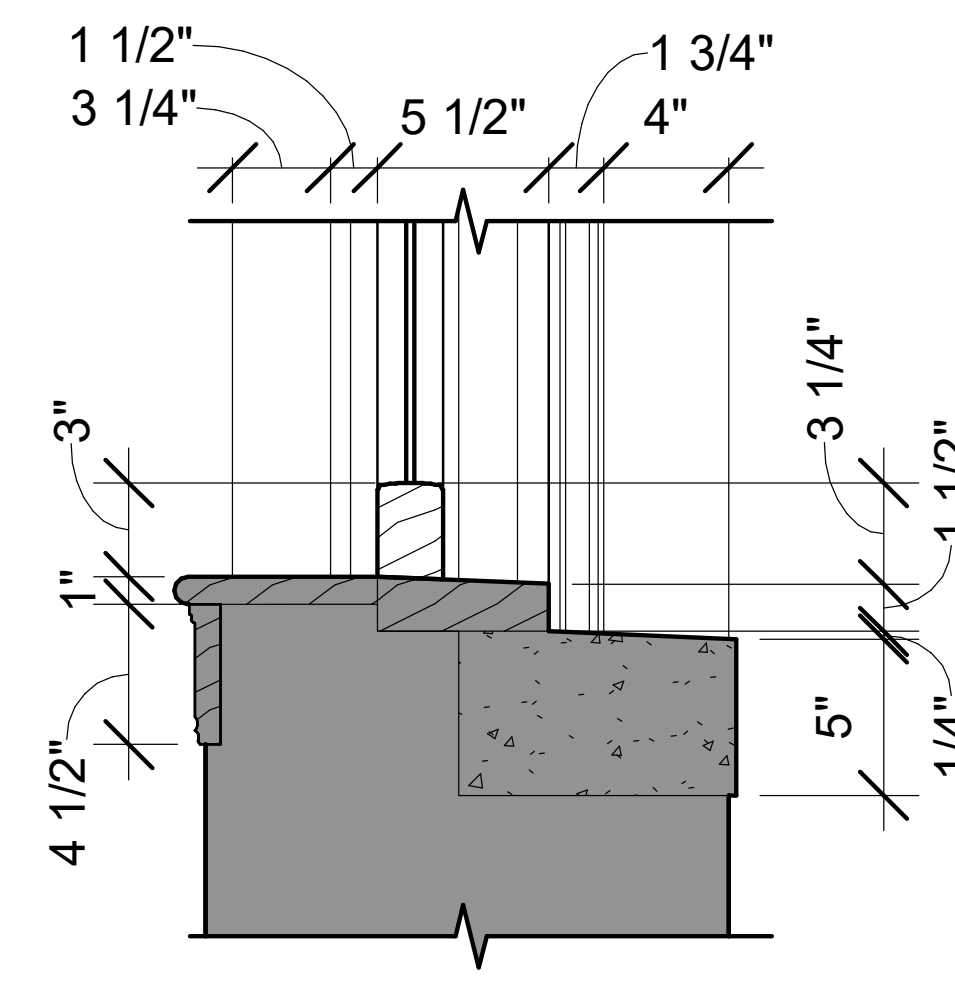
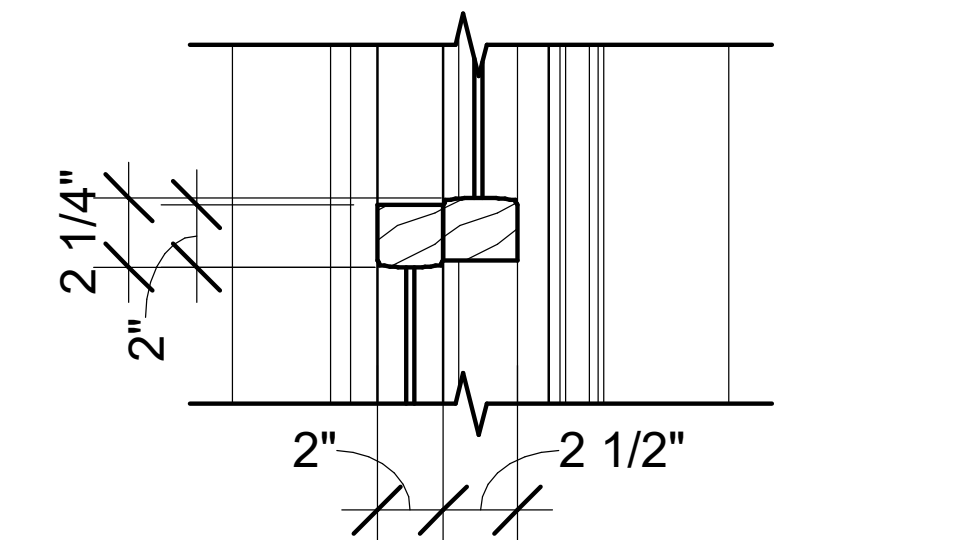
PROPOSED WINDOW ELEVATION



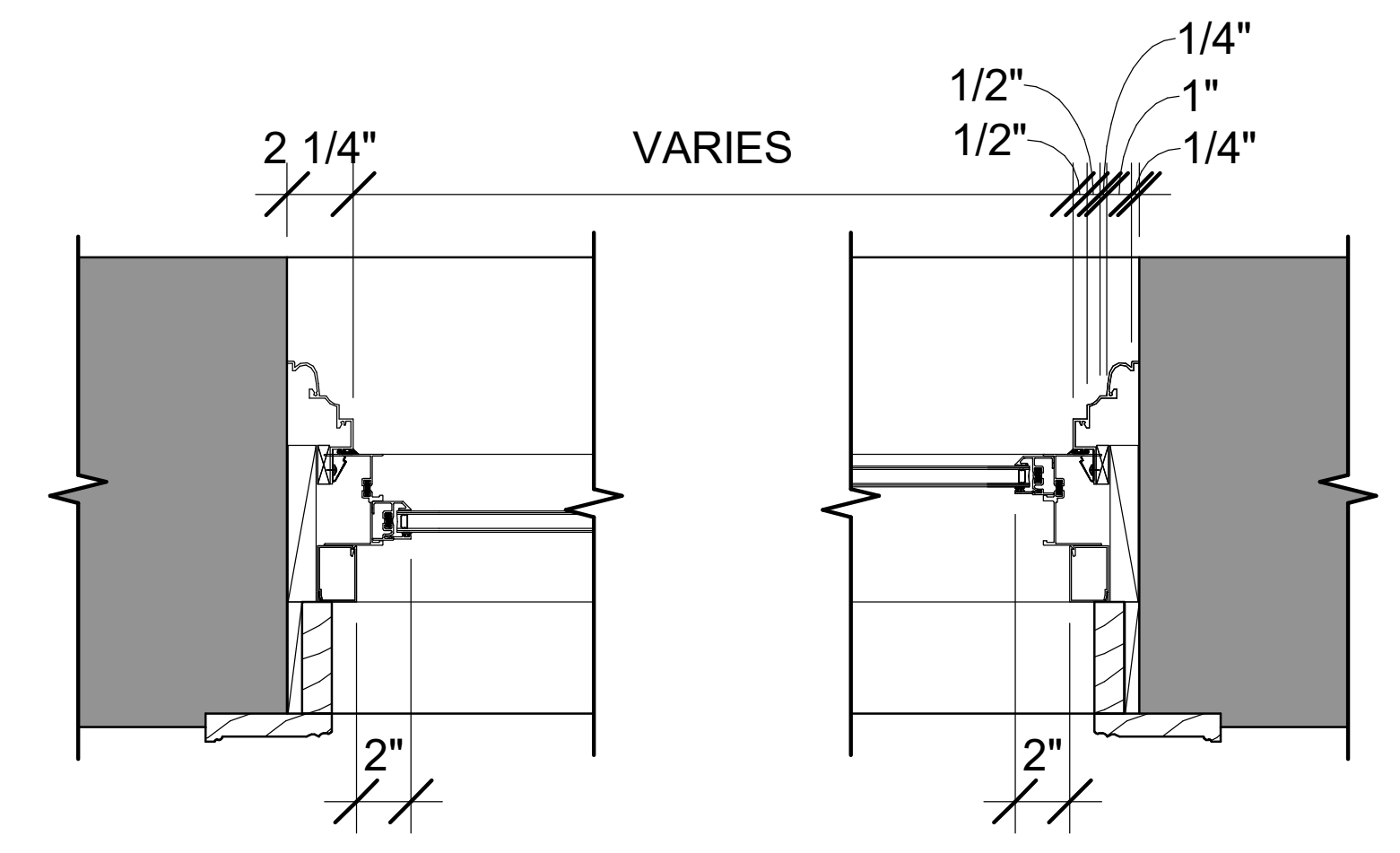
1 - EXISTING WINDOW DETAIL



2 - PROPOSED WINDOW DETAIL



3 - EXISTING WINDOW JAMB DETAIL



4 - PROPOSED WINDOW JAMB

WINDOW CONDITIONS



UNIT 208: DETERIORATED STILE



UNIT 208: DETERIORATED STILE



UNIT 208: FIRE DAMAGE

MATERIALS & PALETTE

PAINT COLORS

Paint Locations	Mark	Manufacturer	Color Ref #	Color Name
Painted Brick Dark Color	PT-1	Benjamin Moore	2108-30	Brown Horse
Painted Brick Light Color & Painted Metal Panels and Doors	PT-2	Benjamin Moore	OC-141	China White
Dark Base below storefront	PT-3	Benjamin Moore	2114-10	Bittersweet Chocolate



PAINTED BRICK - PT-1



PAINTED BRICK - PT-2



PAINTED BRICK - PT-3



ALUMINUM STOREFRONT



AWNINGS OVER 2ND FLOOR WINDOWS

Sumbrella Fabric Awning

Color: Apex Crimson

SKU: 2646-0000



GOOSE NECK EXTERIOR LIGHT FIXTURE

HTM Lighting Solutions

12" Architectural Bronze Angle Shade With Gooseneck

Architectural Bronze Finish



EXTERIOR METAL CANOPY OVER WEST ENTRY & OVERHEAD DOOR ON NORTH ELEVATION

CONCEPT RENDERS



CONCEPT RENDERS

