



**4100 Woodward Block**  
HDC Submission  
01-22-2021

SW-11



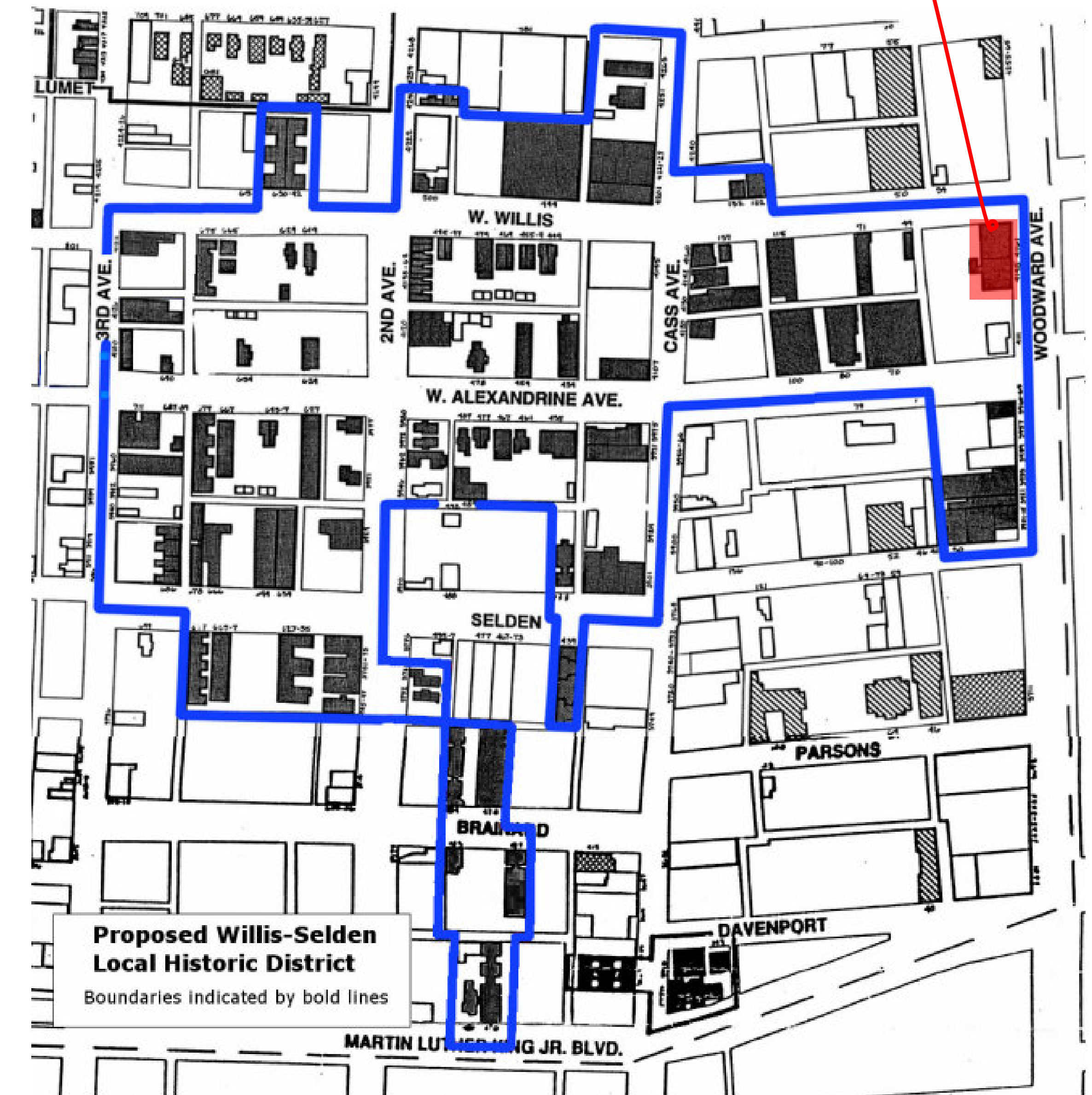
# PROJECT DESCRIPTION & AREA DIAGRAMS

## PROJECT NARRATIVE:

The 4100 block of Woodward Ave. has been a Mixed-Use Commercial/Residential building since it was first constructed in the early 20th century. However, it is believed that the last residential tenants moved out of the upper floors in the late 1960's. The building has hosted a variety of commercial tenants during its long life, most recently a Flower Shop, a Restaurant and a Liquor Store. The second floor has been entirely abandoned for over 50 years. The building has load-bearing masonry exterior walls, interior masonry tenant separations, wood floor and roof joists as well as wood interior non-bearing-wall construction. New steel structure has been added to replace some of the original interior masonry components over the years. The second floor windows, and the exterior brick masonry are original to the building. All of the first floor storefronts as well as a 1-story kitchen addition at the building's rear were installed after 1970. The building's footprint measures 14,200 square feet.

The general intent of the project is to completely gut the interior of the building, remove the second floor framing entirely as well as all of the interior masonry walls, and then open up the entire volume of the interior as a white box for a future Grocer Tenant to build-out and occupy. Our current proposal also involves any structural re-framing and re-roofing required to preserve the historic exterior envelope. Years of leaks and intermittent exposure to the elements will require the evaluation and replacement of wood joists and other natural materials slated to remain. We also propose to undo a lot of the unsympathetic construction that has occurred over the years and catch up on the deferred maintenance through which the building has suffered. The intent is to simulate the look of the original building, retaining existing historic materials wherever possible and using modern materials where necessary to accurately recreate the original detailing without creating a false sense of history.

4100 Woodward Block



Proposed Willis-Selden Local Historic District







LAND USE AND ZONING		
4133 WOODWARD AVENUE, PID: 02001798		
SPECIAL DEVELOPMENT DISTRICT, MIXED-USE (SD2), TRADITIONAL MAIN STREET OVERLAY (TMSO) & WILLIS-SELDEN HISTORIC DISTRICT		
PROPOSED USE		
RETAIL STORE	PERMITTED USE	
ACCESSORY PARKING LOT	PERMITTED USE	
ZONING REQUIREMENT	REQUIRED	PROPOSED
MINIMUM LOT AREA	N/A	0.87 AC (38,065 SF)
MINIMUM LOT WIDTH	N/A	180.8 FT
MINIMUM LOT DEPTH	N/A	205.6 FT
MAXIMUM BUILDING HEIGHT	40 FT (2 STORIES)	< 40 FT (1 STORY)
MINIMUM FRONT YARD SETBACK	0 FT	0.0 FT
MINIMUM SIDE YARD SETBACK	0 FT	0.0 FT
MINIMUM REAR YARD SETBACK	0 FT	81.7 FT
MINIMUM R.O.W. LANDSCAPE STRIP	5 FT	5.0 FT

LAND USE AND ZONING		
67 W WILLIS AVENUE, PID: 02000855		
SPECIAL DEVELOPMENT DISTRICT, MIXED-USE (SD2) & WILLIS-SELDEN HISTORIC DISTRICT		
PROPOSED USE		
REMOTE PARKING LOT	CONDITIONAL USE	PROPOSED
ZONING REQUIREMENT	REQUIRED	PROPOSED
MINIMUM LOT AREA	N/A	0.20 AC (8,536 SF)
MINIMUM LOT WIDTH	N/A	50.0 FT
MINIMUM LOT DEPTH	N/A	170.7 FT
MAXIMUM BUILDING HEIGHT	40 FT (2 STORIES)	N/A
MINIMUM FRONT YARD SETBACK	0 FT	N/A
MINIMUM SIDE YARD SETBACK	0 FT	N/A
MINIMUM REAR YARD SETBACK	0 FT	N/A
MINIMUM R.O.W. LANDSCAPE STRIP	5 FT	6.3 FT

OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 50-14-91	RETAIL USE: 1 SPACE PER 200 SF GFA (11,256 SF) / (200 SF) = 56 SPACES <sup>(1)</sup> TOTAL: (56) / (0.75) = 42 SPACES <sup>(2)</sup>	56 SPACES ON-SITE 21 SPACES (REMOTE) TOTAL: 77 SPACES
§ 50-14-231 / 232	90' PARKING DIMENSIONS: <sup>(3)</sup> 9 FT X 20 FT W/ 20 FT AISLE	9 FT X 20 FT W/ 20 FT AISLE
§ 50-14-231 / 232	45' PARKING DIMENSIONS: <sup>(3)</sup> 9 FT X 20 FT W/ 12 FT AISLE	9 FT X 20 FT W/ 12 FT AISLE
§ 50-14-114	LOADING ZONE REQUIREMENTS: (BUILDINGS 10,000 SF-25,000 SF) 2 SPACES REQUIRED: 10 FT X 35 FT	2 SPACES: 18 FT X 36 FT

- THE PLANNING DEPARTMENT MAY WAIVE UP TO 3,000 SF TO RETAIL USES WITHIN THE SD2 ZONE, PER §50-14-153(C) OF THE CITY ZONING ORDINANCE (14,256 SF - 3,000 SF) = 11,256 SF TO BE USED TO CALCULATE PARKING REQUIREMENTS.
- WHEN BUILDING LOCATED WITHIN 0.25 MILES OF BUS TRANSIT, STREET CAR/ TROLLEY OR LIGHT RAIL THE PARKING REQUIREMENT IS REDUCED TO 0.75 OF REQUIRED.
- PARKING LENGTH MAY BE REDUCED BY 2 FEET WHEN ABUTTING LANDSCAPING, PROVIDED A 6" CURB/WHEEL STOP.

**PARKING NARRATIVE:**

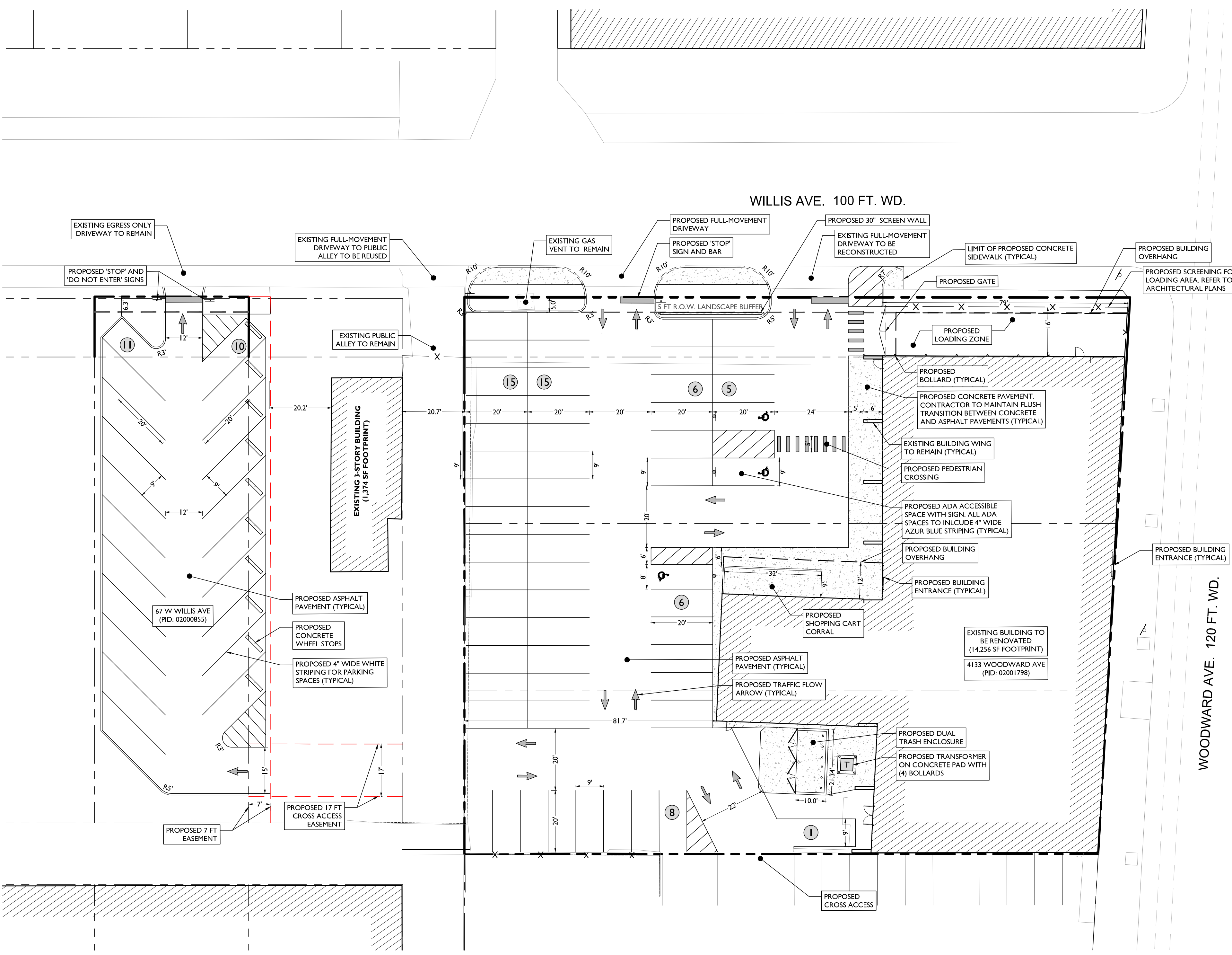
THE SUBJECT SITE'S EXISTING PARKING LOT EXISTS IN A STATE OF DISREPAIR, WITH AREAS OF BROKEN ASPHALT, FREQUENT POTHOLES AND CONTINUOUS GROUND FOLIAGE PENETRATING THROUGH THE FADING PAVEMENT. THE LOT IS PROPOSED TO BE RESURFACED AND RESTRIPTED TO ALLOCATE PARKING AND DISTINGUISH LANES OF TRAFFIC.

THE PROPOSED SITE INCLUDES A TOTAL OF 77 PARKING SPACES WHERE 42 SPACES ARE REQUIRED BY THE CITY OF DETROIT'S ZONING CODE. HOWEVER, PER THE LATEST STUDIES COMPLETED BY THE INSTITUTE OF TRANSPORTATION ENGINEERS (ITE), SUPERMARKETS IN URBAN/SUBURBAN SETTINGS REQUIRE APPROXIMATELY 3.7 TO 5.1 PARKING SPACES PER 1,000 SF GFA. THIS WOULD EQUATE TO 53 TO 73 REQUIRED SPACES ON THE SUBJECT SITE. THE PROPOSED TENANT WOULD IDEALLY PREFER UPWARDS OF 125 PARKING SPACES. BUT DUE TO THE NATURE OF THE URBAN PROPERTY, THE 77 PROPOSED SPACES WOULD BE ADEQUATE, AND MEET THE INTENT AND INTENSITY OF THE PROPOSED USE.

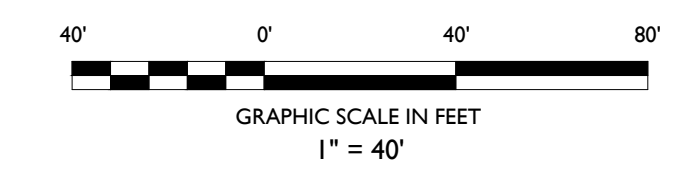
REFERENCE: INSTITUTE OF TRANSPORTATION ENGINEERS, PARKING GENERATION MANUAL, 5TH EDITION (JANUARY 2019)

SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - - - -	SETBACK LINE
=====	PROPOSED CURB
=====	PROPOSED FLUSH CURB
=====	PROPOSED WALL
○ ○ ○	PROPOSED SIGNS / BOLLARDS
■	PROPOSED BUILDING
□	PROPOSED CONCRETE
- x - x -	PROPOSED CHAINLINK FENCE
∩	PROPOSED BUILDING DOORS

ISSUE	DATE	BY	DESCRIPTION
2	01/22/2021	KHPD	SUBMISSION FOR HDC APPROVAL
1	01/02/2021	KHPD	FOR CLIENT/TENANT REVIEW



- GENERAL NOTES**
- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
  - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
  - ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
  - THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
  - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
  - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
  - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
  - CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
  - THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
  - THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
  - THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
  - SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



NOT APPROVED FOR CONSTRUCTION

**STONEFIELD**  
engineering & design

Detroit, MI • Rutherford, NJ • New York, NY  
Princeton, NJ • Tampa, FL • Boston, MA  
www.stonefielddesign.com

607 Shelby Suite 200, Detroit, MI 48226  
Phone 248.247.1115

**SITE IMPROVEMENT PLANS**

**4133 WOODWARD AVENUE**

**PROPOSED MARKET AND ASSOCIATED SITE IMPROVEMENTS**

PID: 02001798 & 02000855  
4133 WOODWARD AVENUE, 67 W WILLIS AVENUE  
CITY OF DETROIT  
WAYNE COUNTY, MICHIGAN



**STONEFIELD**  
engineering & design

SCALE: 1" = 40' PROJECT ID: DET-200073

TITLE: **SITE PLAN**

DRAWING: **C-2**

V:\02000855\0200073\020073\020073\INVESTMENTS\4133 WOODWARD AVENUE - DETROIT - HICAD\01\020073\020073.DWG



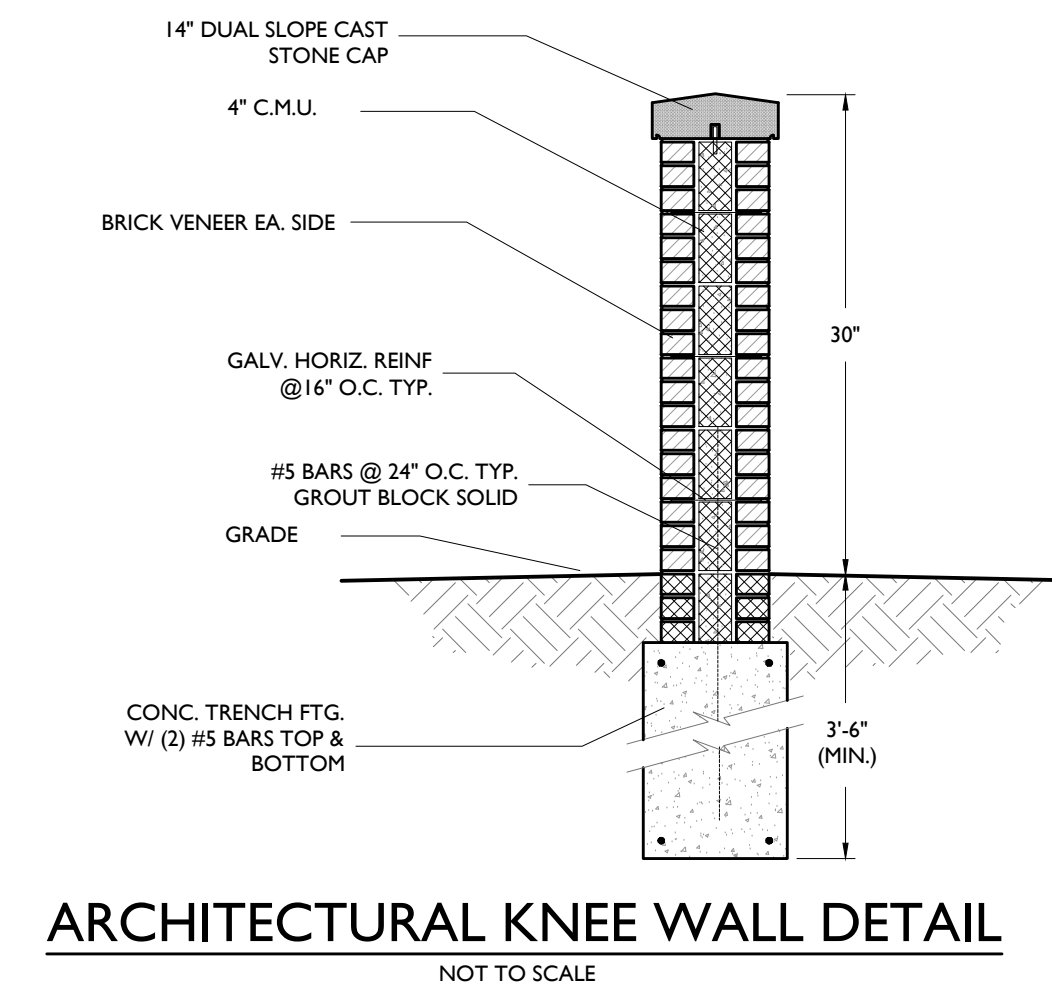
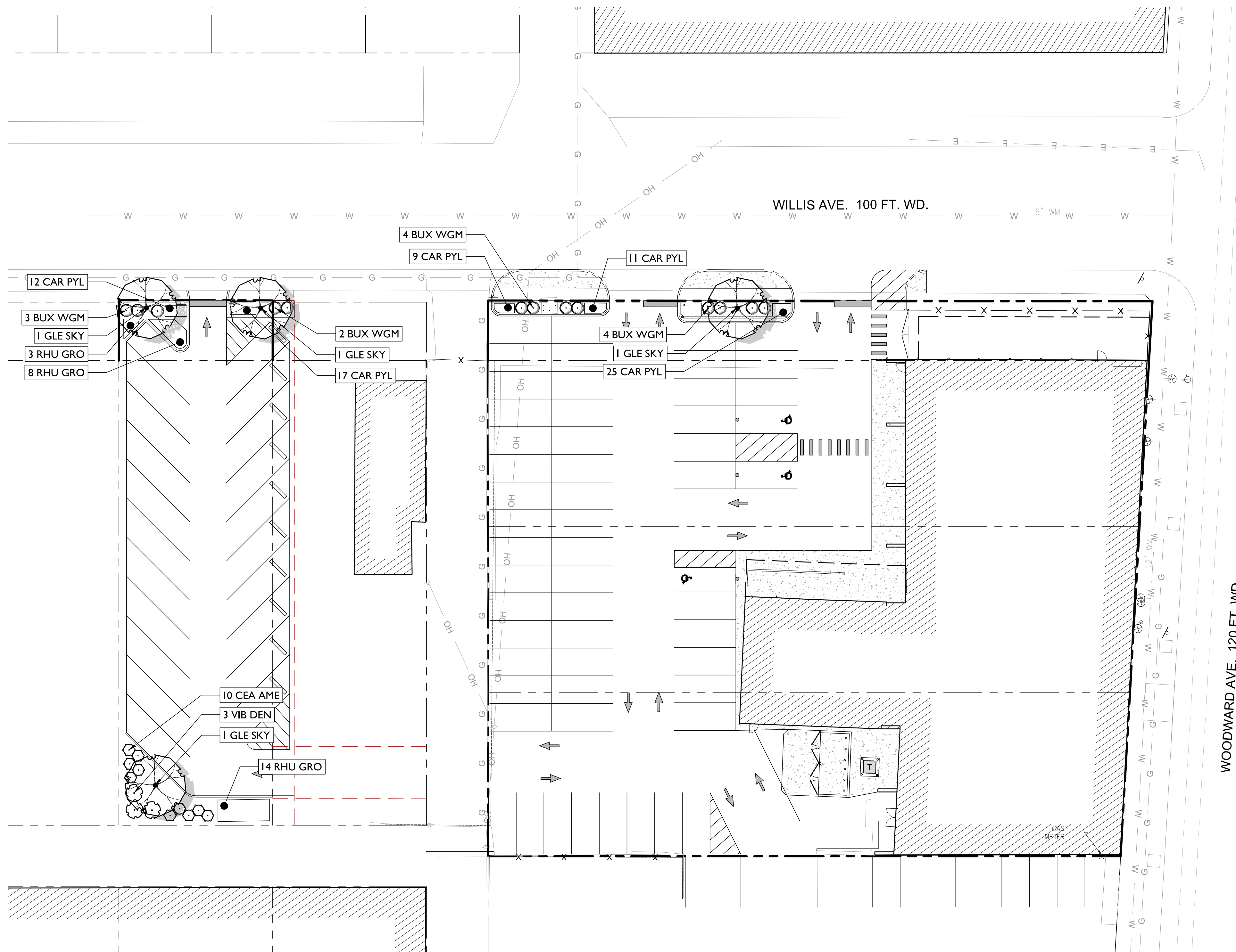
LANDSCAPING AND BUFFER REQUIREMENTS		
4133 WOODWARD AVENUE, PID: 02001798		
CODE SECTION	REQUIRED	PROPOSED
§ 50-14-341	RIGHT-OF-WAY SCREENING: MINIMUM 5 FT WIDE R.O.W. LANDSCAPE BUFFER 30"-36" BERM, HEDGE, OR MASONRY WALL SHALL BE PROVIDED WITHIN LANDSCAPE BUFFER	5.0 FT PROVIDED
§ 50-14-341	REQUIRED LANDSCAPE BUFFER TREES: 1 TREE PER 30 LF OF LANDSCAPE BUFFER (136 LF)/(30 LF) = 5 TREES	(EN)
§ 50-14-343(1)	INTERIOR LANDSCAPING: 18 SF INTERIOR LANDSCAPING PER PARKING SPACE (56 PARKING SPACES)/(18 SF) = 1,008 SF LANDSCAPE ISLANDS MUST BE 150 SF & 7 FEET WIDE	(EN)
§ 50-14-343(4)	REQUIRED PARKING LOT TREES: 1 TREE PER 250 SF OF REQUIRED INTERIOR LANDSCAPING (1,008 SF)/(250 SF) = 4 TREES	(EN)
§ 50-14-347	SIGHT TRIANGLES: 20' SIGHT TRIANGLE AT R.O.W. ACCESS POINTS	PROVIDED

(EN) EXISTING NON-CONFORMITY

LANDSCAPING AND BUFFER REQUIREMENTS		
67 W WILLIS AVENUE, PID: 02000855		
CODE SECTION	REQUIRED	PROPOSED
§ 50-14-341	RIGHT-OF-WAY SCREENING: MINIMUM 5 FT WIDE R.O.W. LANDSCAPE BUFFER 30"-36" BERM, HEDGE, OR MASONRY WALL SHALL BE PROVIDED WITHIN LANDSCAPE BUFFER	6.3 FT PROVIDED
§ 50-14-341	REQUIRED LANDSCAPE BUFFER TREES: 1 TREE PER 30 LF OF LANDSCAPE BUFFER (50 LF)/(30 LF) = 2 TREES	2 TREES
§ 50-14-343(1)	INTERIOR LANDSCAPING: REQUIREMENT TRIGGERED AT 25 PARKING SPACES (21 PARKING SPACES) = 0 SF	1,595 SF
§ 50-14-343(4)	REQUIRED PARKING LOT TREES: 1 TREE PER 250 SF OF REQUIRED INTERIOR LANDSCAPING (0 SF)/(250 SF) = 0 TREES	0 TREES
§ 50-14-347	SIGHT TRIANGLES: 20' SIGHT TRIANGLE AT R.O.W. ACCESS POINTS	PROVIDED

PLANT SCHEDULE							
DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
	GLE SKY	4	GLEDITSIA TRIACANTHOS 'SKYLINE'	SKYLINE HONEY LOCUST	2.5" - 3" CAL	B&B	AS SHOWN
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
	CEA AME	10	CEANOTHUS AMERICANUS	NEW JERSEY TEA	24" - 30"	POT	AS SHOWN
	VIB DEN	3	VIBURNUM DENTATUM	VIBURNUM	24" - 30"	POT	AS SHOWN
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
	BUX WGM	13	BUXUS MICROPHYLLA JAPONICA 'WINTER GEM'	WINTER GEM JAPANESE BOXWOOD	18" - 24"	POT	AS SHOWN
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
	CAR PYL	74	CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	1 GAL.	POT	18" o.c.
	RHU GRO	25	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	3 GAL.	POT	36" o.c.

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.



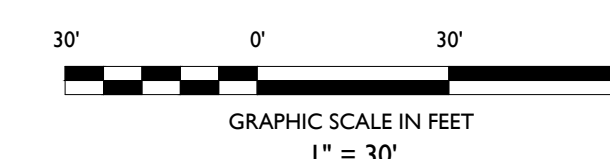
ARCHITECTURAL KNEE WALL DETAIL  
NOT TO SCALE

**IRRIGATION NOTE:**

IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM ON-SITE DYNAMIC WATER PRESSURE AVAILABLE MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN HARDSCAPE AREAS.

**LANDSCAPING NOTES**

- THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
- THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
- THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
- THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.



NOT APPROVED FOR CONSTRUCTION



Detroit, MI • Rutherford, NJ • New York, NY  
Princeton, NJ • Tampa, FL • Boston, MA  
www.stonefielddesign.com

607 Shelby Suite 200, Detroit, MI 48226  
Phone 248.247.1115

**SITE IMPROVEMENT PLANS**  
**4133 WOODWARD AVENUE**  
**PROPOSED MARKET AND**  
**ASSOCIATED SITE IMPROVEMENTS**

PID: 02001798 & 02000855  
4133 WOODWARD AVENUE, 67 W WILLIS AVENUE  
CITY OF DETROIT  
WAYNE COUNTY, MICHIGAN



SCALE: 1" = 30' PROJECT ID: DET-200073

TITLE:

LANDSCAPING PLAN

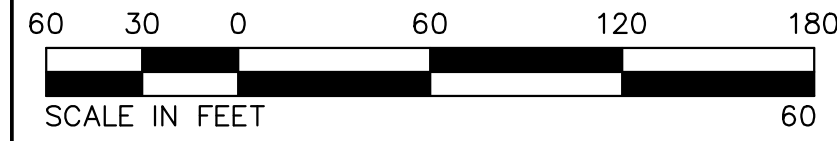
DRAWING:

C-3



# 4133 WOODWARD

PART OF PLAT OF SUB'N OF PARK LOTS 61 & 62  
CITY OF DETROIT, WAYNE COUNTY, MICHIGAN



**DESCRIPTION AS SHOWN ON TITLE COMMITMENT:**

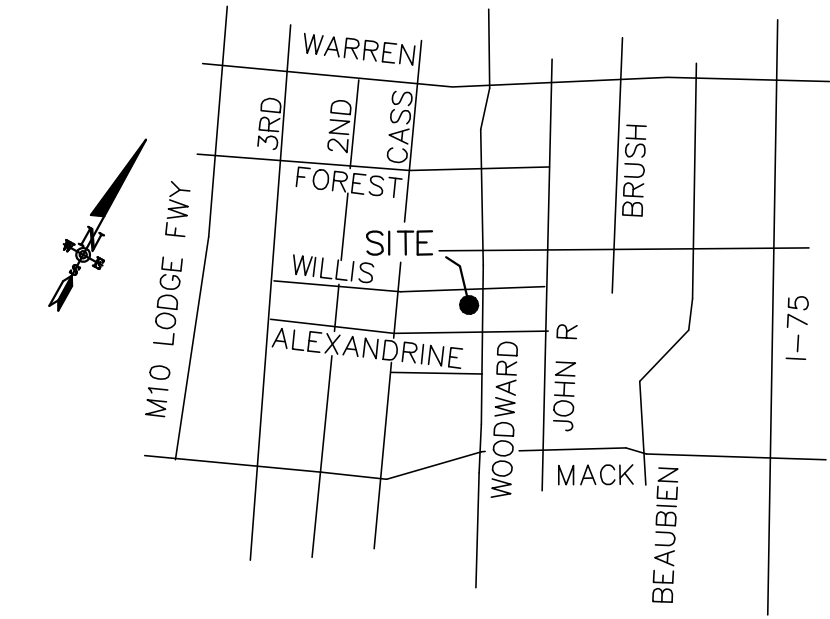
LOTS 7, 8 and 9, PLAT OF SUBDIVISION OF PARK LOTS 61 AND 62 AS RECORDED IN LIBER 1, PAGE 128 OF PLATS, WAYNE COUNTY RECORDS

**DESCRIPTION AS SURVEYED:**

LOTS 7, 8 and 9, PLAT OF SUBDIVISION OF PARK LOTS 61 AND 62 AS RECORDED IN LIBER 1, PAGE 128 OF PLATS, WAYNE COUNTY RECORDS DESCRIBED AS:  
BEGINNING AT THE SOUTHWEST CORNER OF WOODWARD AVENUE (120 FEET WIDE) AND WILLIS AVENUE (100 FEET WIDE) AND PROCEEDING ALONG THE WEST LINE OF WOODWARD AVENUE S25°21'58"E 161.43 FEET TO THE SOUTH LINE OF LOT 7 OF SAID PLAT; THENCE ALONG SAID LINE S61°21'00"W 205.59 FEET TO THE WEST LINE OF SAID LOT, ALSO THE EAST LINE OF A PUBLIC ALLEY (20 FEET WIDE); THENCE ALONG SAID LINE N28°39'00"W 161.17 FEET TO THE NORTH LINE OF LOT 9, ALSO THE SOUTH LINE OF WILLIS AVENUE (100 FEET WIDE); THENCE ALONG SAID LINE N61°21'00"E 214.84 FEET TO THE POINT OF BEGINNING.

**EXCEPTIONS:**

- RIGHTS OR CLAIMS OF PARTIES IN POSSESSION NOT SHOWN BY THE PUBLIC RECORDS.
- ANY FACTS, RIGHTS, INTERESTS OR CLAIMS NOT SHOWN BY THE PUBLIC RECORDS BUT THAT COULD BE ASCERTAINED BY AN INSPECTION OF THE LAND OR BY MAKING INQUIRY OF PERSONS IN POSSESSION THEREOF OF THE LAND.
- EASEMENTS, CLAIM OF EASEMENTS OR ENCUMBRANCES THAT ARE NOT SHOWN IN THE PUBLIC RECORDS AND EXISTING WATER, MINERAL, OIL AND EXPLORATION RIGHTS.
- ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION, OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE INCLUDING DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, SHORTAGE IN AREA, OR ANY OTHER FACTS THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND, AND THAT ARE NOT SHOWN IN THE PUBLIC RECORDS.
- ANY LIEN OR RIGHT TO LIEN FOR SERVICES, LABOR OR MATERIAL THEREFOR OR HEREAFTER FURNISHED, IMPOSED BY LAW AND NOT SHOWN BY THE PUBLIC RECORDS.
- THE LIEN, IF ANY, OF REAL ESTATE TAXES, ASSESSMENTS, AND/OR WATER AND SEWER CHARGES, NOT YET DUE AND PAYABLE OR THAT ARE NOT SHOWN AS EXISTING LIENS IN THE RECORDS OF ANY TAXING AUTHORITY THAT LEVIES TAXES OR ASSESSMENTS ON REAL PROPERTY OR IN THE PUBLIC RECORDS; INCLUDING THE LIEN FOR TAXES, ASSESSMENTS, AND/OR WATER AND SEWER CHARGES, WHICH MAY BE ADDED TO THE TAX ROLLS OR TAX BILL AFTER THE EFFECTIVE DATE. THE COMPANY ASSUMES NO LIABILITY FOR THE TAX INCREASES OCCASIONED BY THE RETROACTIVE REVALUATION OR CHANGES IN THE LAND USAGE.
- DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY CREATED, FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE EFFECTIVE DATE HEREOF BUT PRIOR TO THE DATE THE PROPOSED INSURED ACQUIRES FOR VALUE OF RECORD THE ESTATE OR INTEREST OR MORTGAGE THEREON COVERED BY THIS COMMITMENT.
- TERMS AND PROVISIONS CONTAINED IN LETTER RECORDED BY THE CITY OF DETROIT BUILDINGS AND SAFETY ENGINEERING DEPARTMENT RE: LEGALIZATION OF EXISTING CARRY-OUT RESTAURANT RECORDED IN LIBER 47548, PAGE 342, WAYNE COUNTY RECORDS.
- RIGHTS OF TENANTS IN POSSESSION OR PURSUANT TO UNRECORDED LEASES.



**NOTES:**

PARCEL IS IN FLOOD ZONE "X" DEFINED AS AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOODING BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 26163C 0285E.

SUBJECT PROPERTY IS ZONED SD2, SPECIAL DEVELOPMENT, MIXED-USE AND IS DESIGNATED AS A LOCAL HISTORIC DISTRICT.

**BENCHMARKS:**

CITY OF DETROIT DATUM

RAILROAD SPIKE IN NORTHEAST FACE OF UTILITY POLE APPROXIMATELY 40 FEET NW OF SW CORNER OF SITE.  
ELEV: 145.84

CITY BENCHMARK 30-353 NE QUADRANT OF ALEXANDRINE AND 2ND, DISK IN HANDHOLE.  
ELEV: 140.59

**BASIS OF BEARINGS:**

BASIS OF BEARINGS IS THE SOUTH LINE OF WILLIS, AS OCCUPIED, AS SHOWN ON THE PLAT OF SUBDIVISION OF PARK LOTS 61 AND 62 AS RECORDED IN LIBER 1, PAGE 128 OF PLATS, WAYNE COUNTY RECORDS

**CERTIFICATION:**

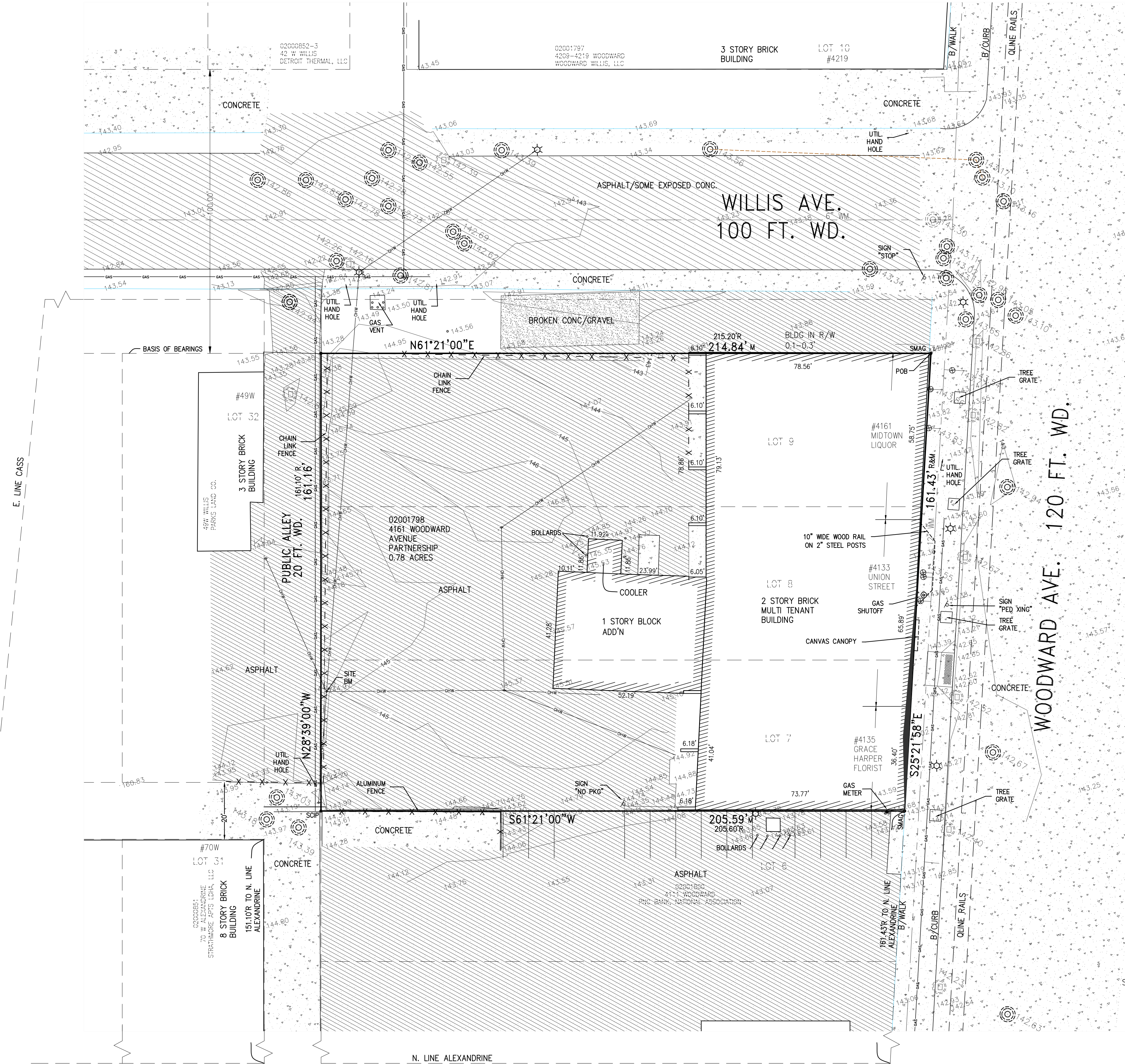
TO MKIEZI INVESTMENTS, LLC, 4161 WOODWARD AVENUE PARTNERSHIP, SEAVER TITLE AGENCY AND OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7g, 11 AND 13 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON 06-22-2018.

PER TITLE COMMITMENT NO. 82-15438632-SCM OF OLD REPUBLIC NATIONAL TITLE COMPANY, SEAVER TITLE AGENCY, DATED AT BLOOMFIELD HILLS, MICHIGAN MARCH 30, 2018 AT 8:00 A.M.

**LEGEND:**

- POINT OF BEGINNING
- EXISTING UTILITY POLE
- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- EXISTING STORM SEWER
- EXISTING OVERHEAD WIRES
- EXISTING FENCE
- PARCEL LINE
- OLD PLAT LINES
- PROPERTY BOUNDARY
- CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- SET CAPPED IRON PIPE
- SET MAGNETIC NAIL



SIGNED: MICHAEL L. PRIEST, P.S.  
LICENSE NO. 22733

**PREPARED FOR:**  
MANNIK & SMITH GROUP, INC.  
1160 DUBLIN ROAD, SUITE 100  
COLUMBUS, OH 43215  
ATTN: MR. STEVEN HERMILLER  
SCALE: 1" = 20'

DATE: 09-19-2018  
JOB NO.: 2018.22

**ENGINEERS SURVEYORS**  
**MLP**  
AND ASSOCIATES, INC.  
Michael L. Priest & Associates, Inc.  
40655 Koppemick Road, Canton, MI 48187  
phone: (734) 459-8560  
fax: (734) 459-2585

ALTA/NSPS LAND TITLE SURVEY  
**4133 WOODWARD**  
PART OF PARK LOTS 61 & 62  
CITY OF DETROIT, WAYNE COUNTY, MICHIGAN

**SHEET**  
**01**



# EXISTING CONDITION PHOTOS

## EXTERIOR





# EXISTING CONDITION PHOTOS

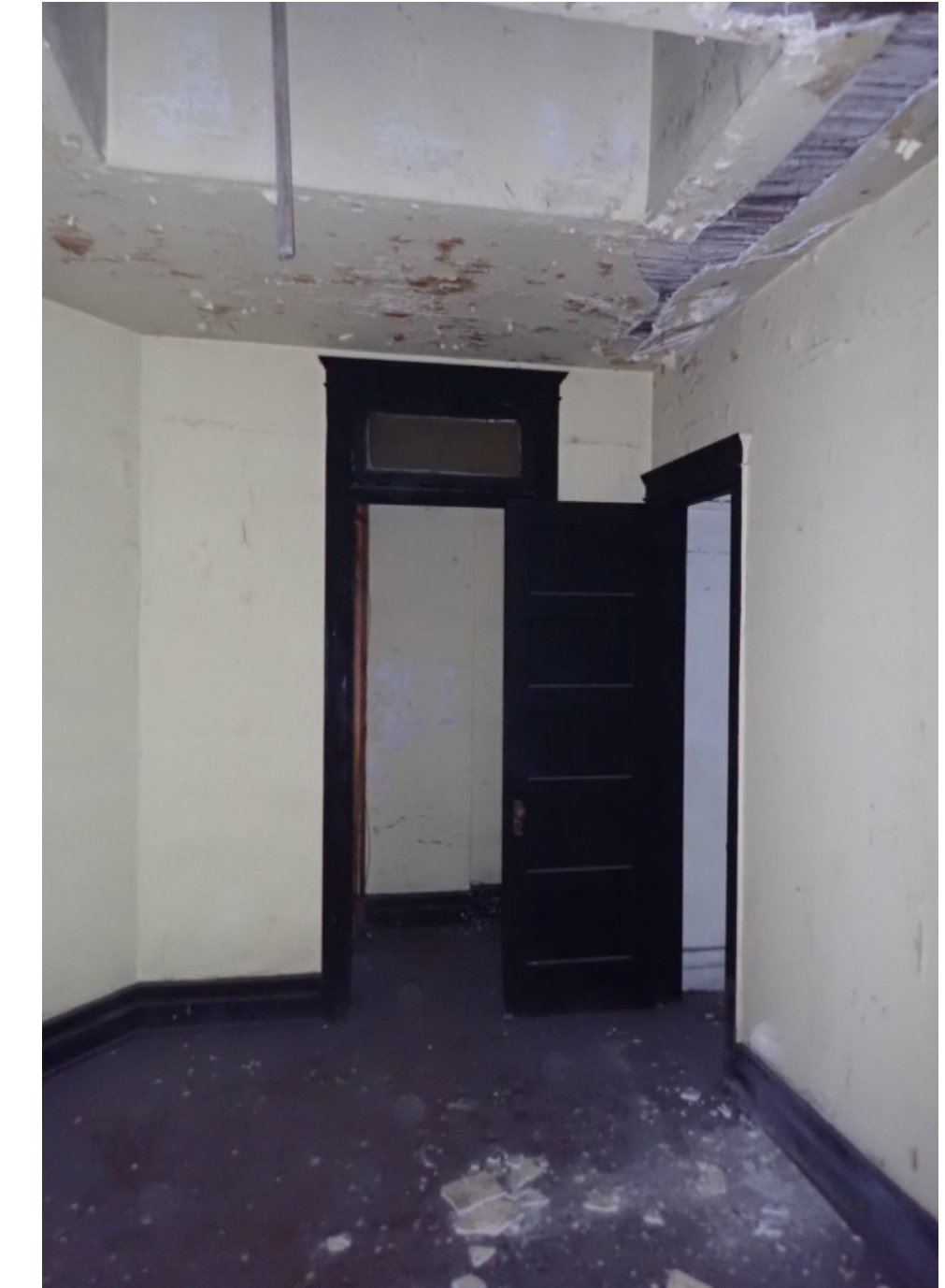
EXTERIOR - EAST ELEVATION FIRST LEVEL





# EXISTING CONDITION PHOTOS

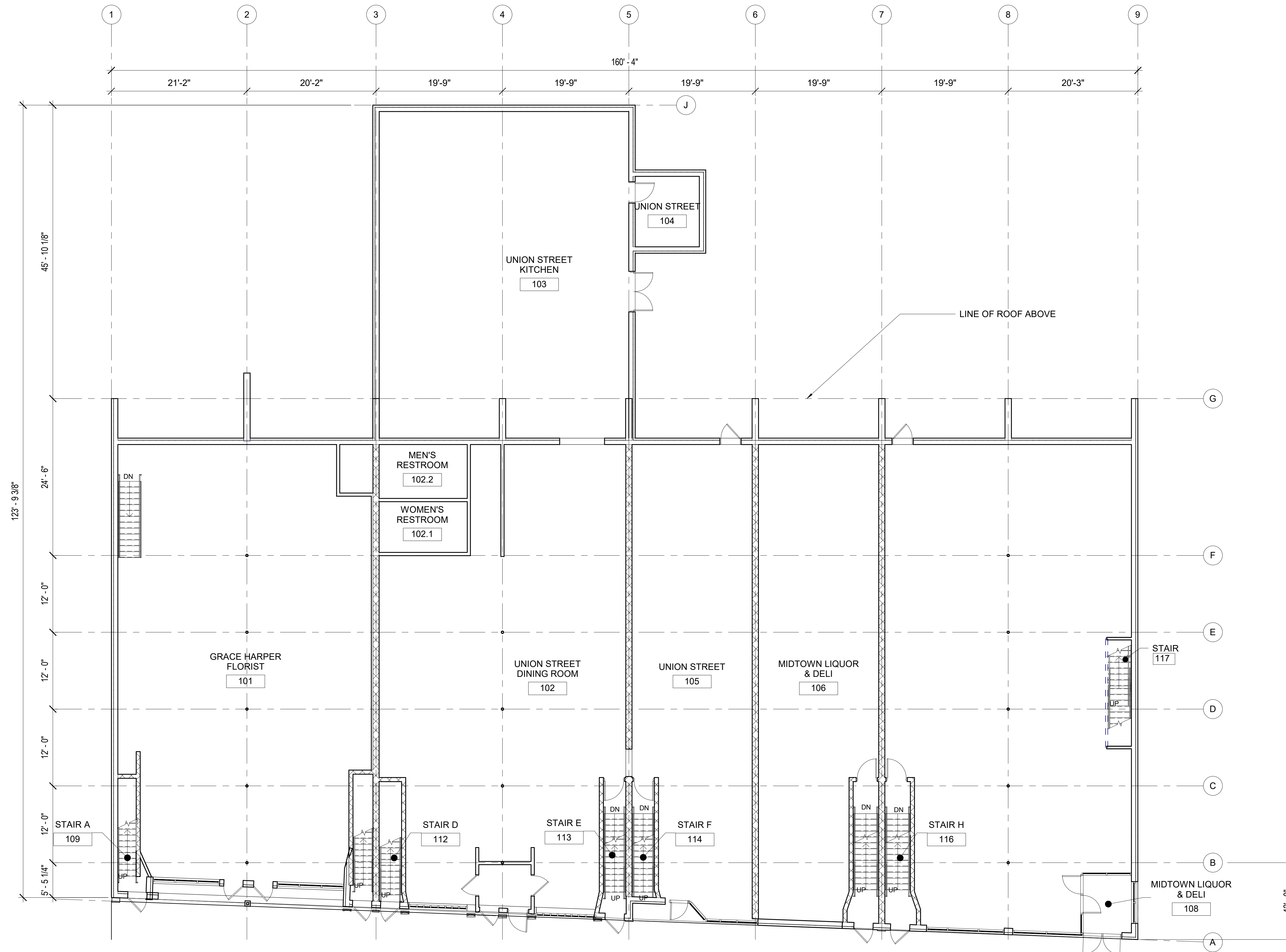
## INTERIOR





# FIRST FLOOR EXISTING FLOOR PLAN

1/8" = 1'



4100 WOODWARD BLOCK  
MKIEZI INVESTMENTS

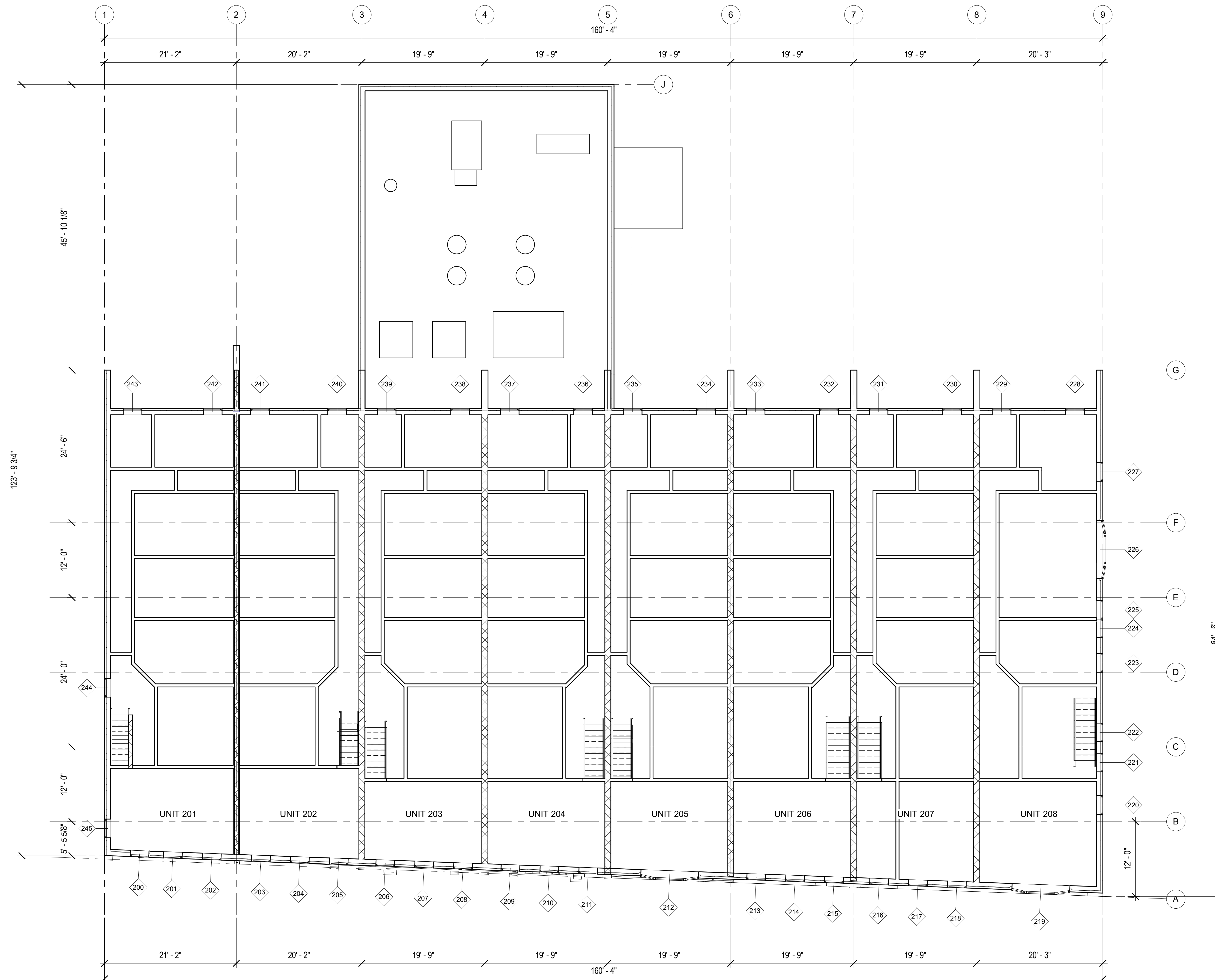


NOT FOR CONSTRUCTION  
HDC SUBMISSION 01/22/2021



# SECOND FLOOR EXISTING FLOOR PLAN

1/8" = 1'



4100 WOODWARD BLOCK  
MKIEZI INVESTMENTS



NOT FOR CONSTRUCTION  
HDC SUBMISSION 01/22/2021

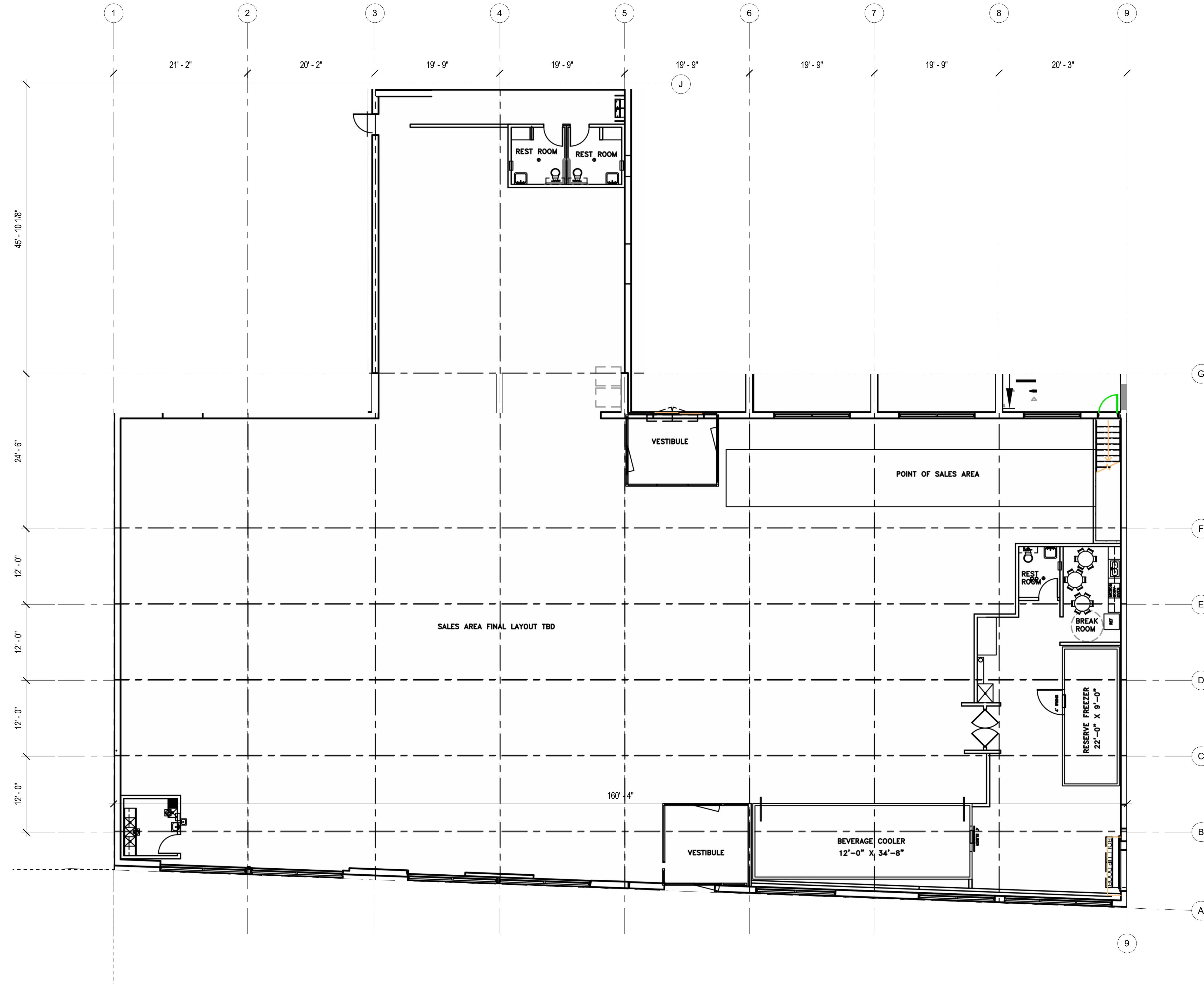






# PROPOSED LEVEL 1 PLAN

1/8" = 1'



4100 WOODWARD BLOCK  
MKIEZI INVESTMENTS

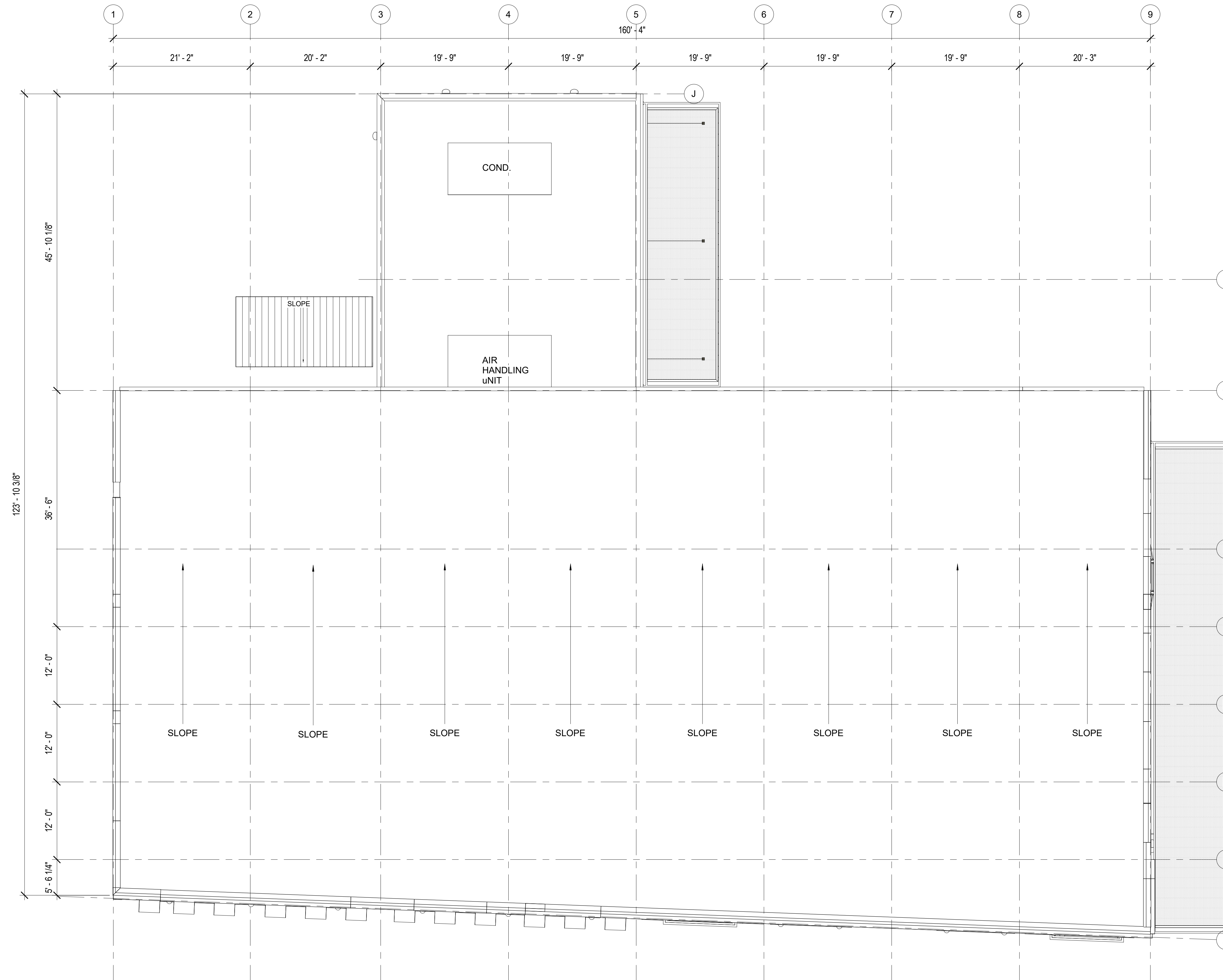


NOT FOR CONSTRUCTION  
HDC SUBMISSION 01/22/2021



# PROPOSED ROOF PLAN

1/8" = 1'



## ROOF SCOPE:

- ROOF:** REMOVE EXISTING ROOFING SYSTEM DOWN TO ROOF DECKING. INSPECT AND REPLACE DETRIORATED AND DAMAGED DECKING.

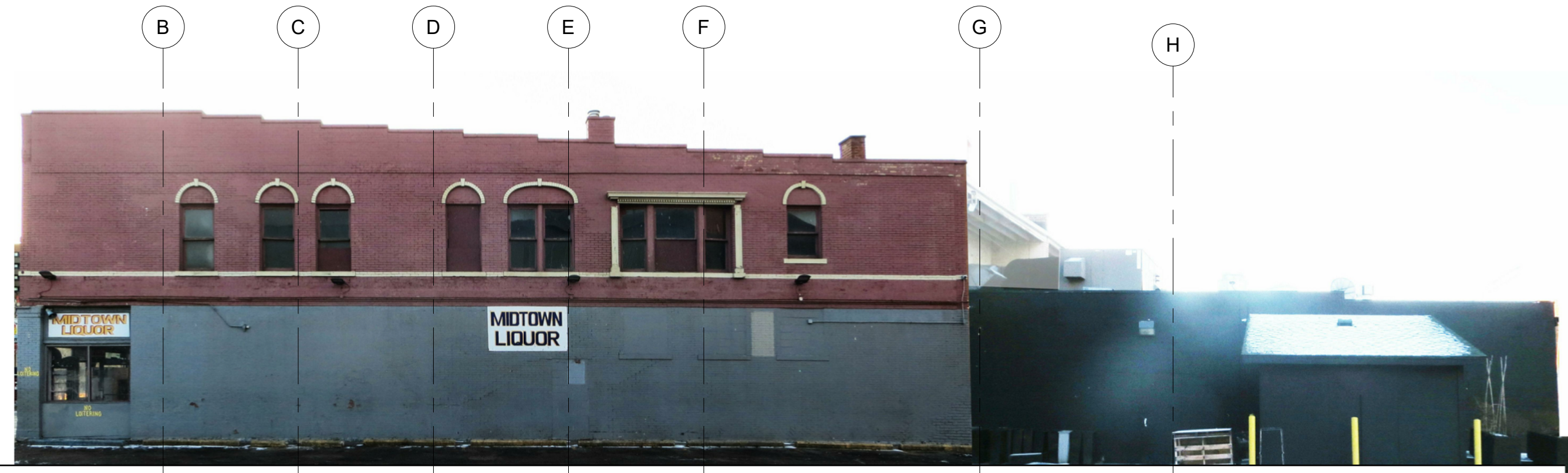
PROVIDE ROOF MEMBRANE, PROTECTION BOARD, AND TAPERED INSULATION OVER 4" BASE LAYER OF RIGID BOARD INSULATION, TYPICAL FOR ALL ROOF SURFACES.

ROOF DRAINAGE WILL BE A COMBINATION OF GUTTERS AND ROOF DRAINS.

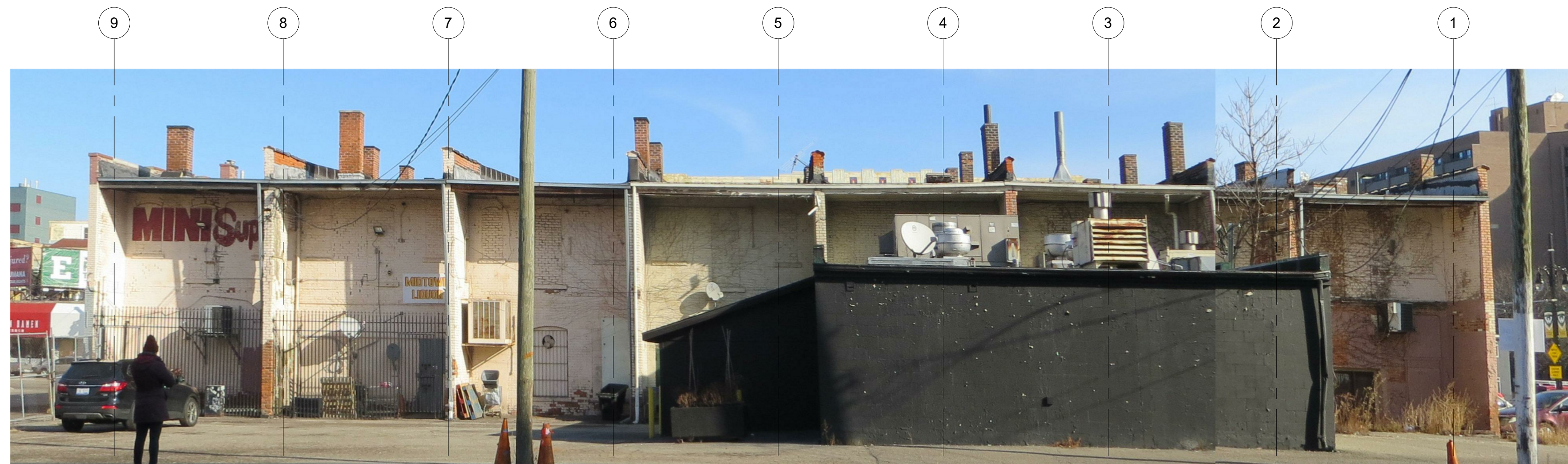


# EXISTING ELEVATIONS

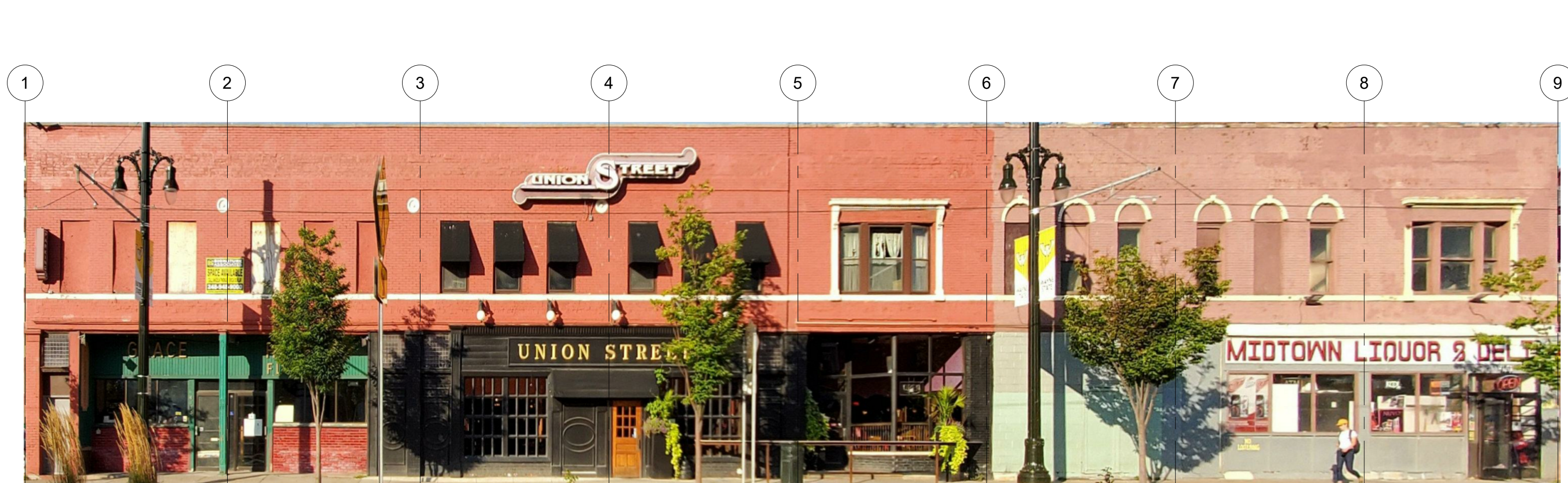
1" = 10'



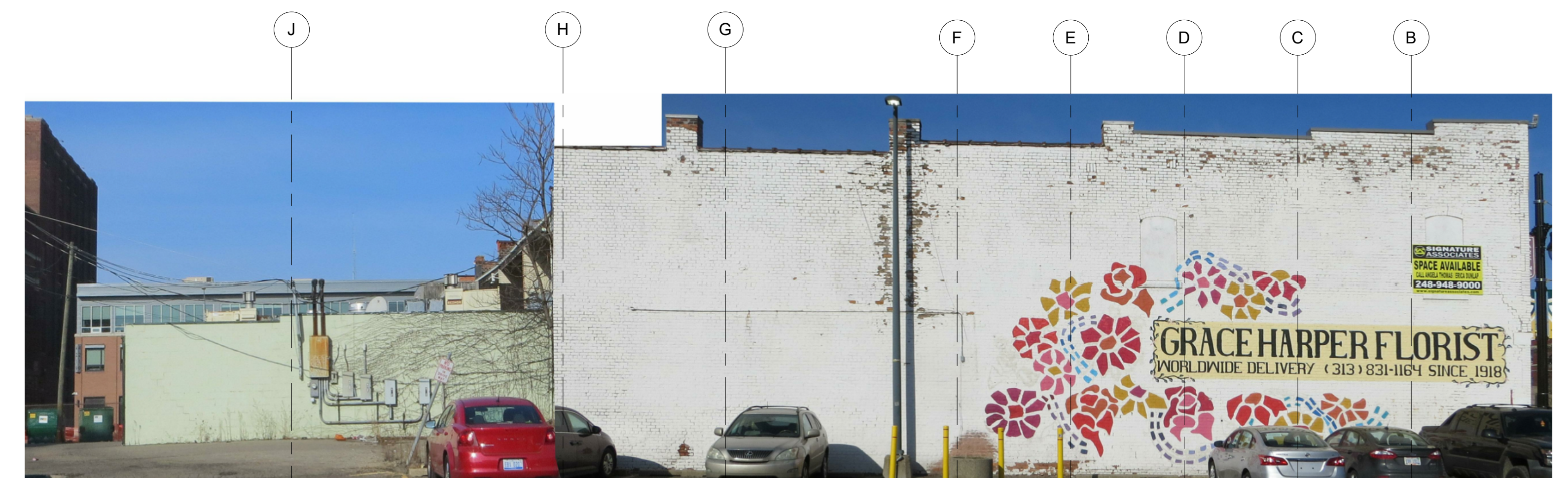
EXISTING NORTH ELEVATION



EXISTING WEST ELEVATION



EXISTING EAST ELEVATION

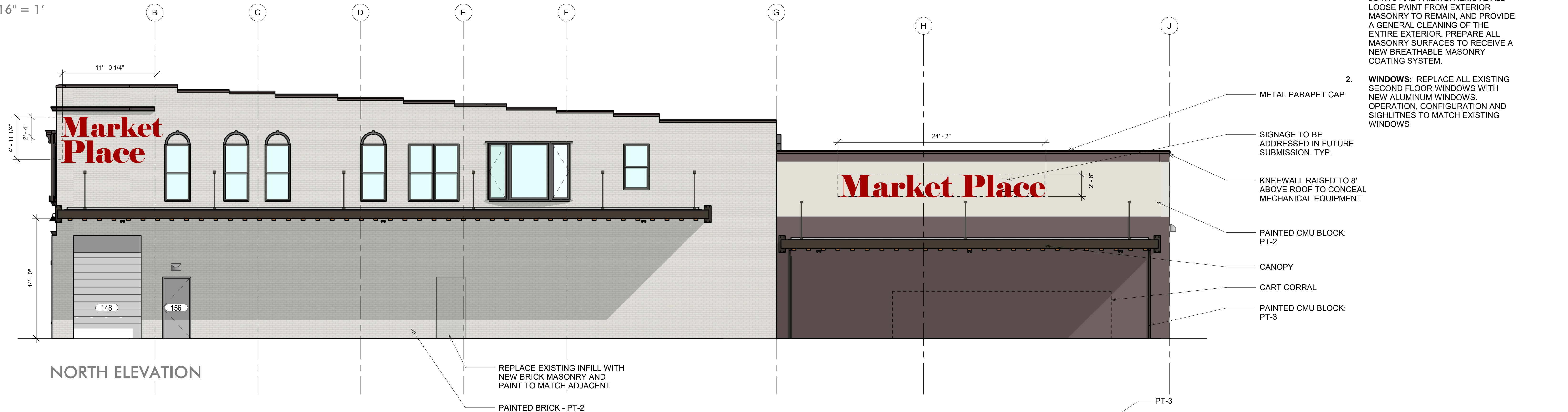


EXISTING SOUTH ELEVATION



# PROPOSED BUILDING ELEVATIONS

3/16" = 1'

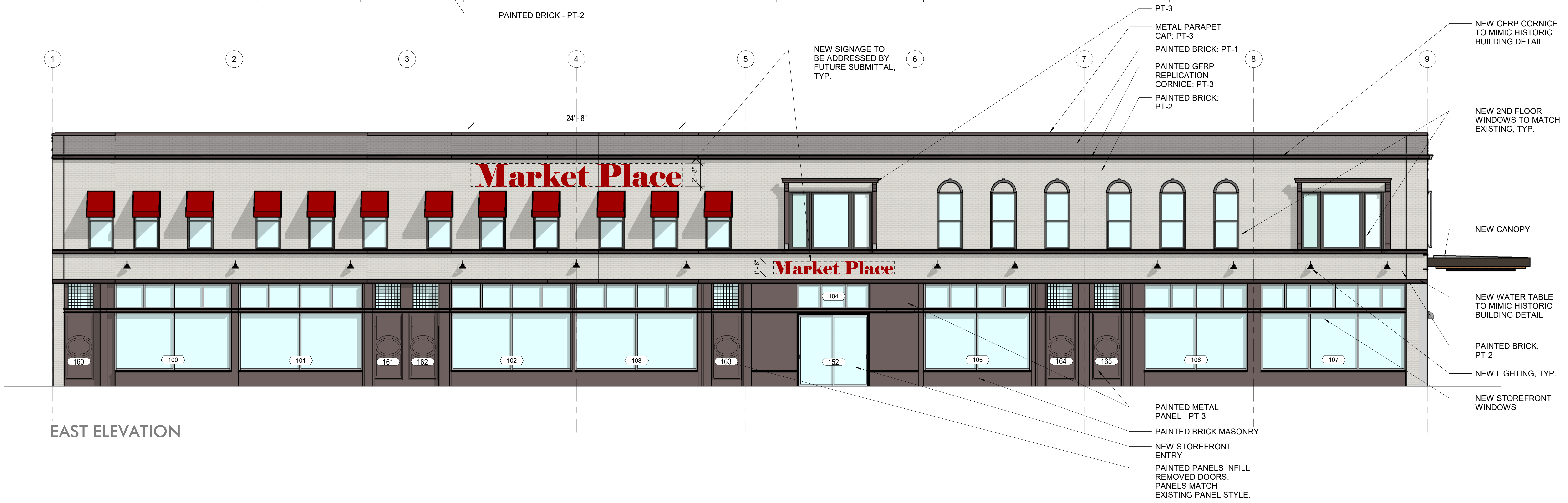


NORTH ELEVATION

**EXTERIOR SCOPE:**

- EXISTING MASONRY:** REPLACE DAMAGED BRICK. REPOINT WHERE JOINTS ARE FAILING. REMOVE ALL LOOSE PAINT FROM EXTERIOR MASONRY TO REMAIN, AND PROVIDE A GENERAL CLEANING OF THE ENTIRE EXTERIOR. PREPARE ALL MASONRY SURFACES TO RECEIVE A NEW BREATHABLE MASONRY COATING SYSTEM.
- WINDOWS:** REPLACE ALL EXISTING SECOND FLOOR WINDOWS WITH NEW ALUMINUM WINDOWS. OPERATION, CONFIGURATION AND SIGHLINES TO MATCH EXISTING WINDOWS

- METAL PARAPET CAP
- SIGNAGE TO BE ADDRESSED IN FUTURE SUBMISSION, TYP.
- KNEEWALL RAISED TO 8' ABOVE ROOF TO CONCEAL MECHANICAL EQUIPMENT
- PAINTED CMU BLOCK: PT-2
- CANOPY
- CART CORRAL
- PAINTED CMU BLOCK: PT-3



EAST ELEVATION

4100 WOODWARD BLOCK

MKIEZI INVESTMENTS



NOT FOR CONSTRUCTION  
HDC SUBMISSION 01/22/2021

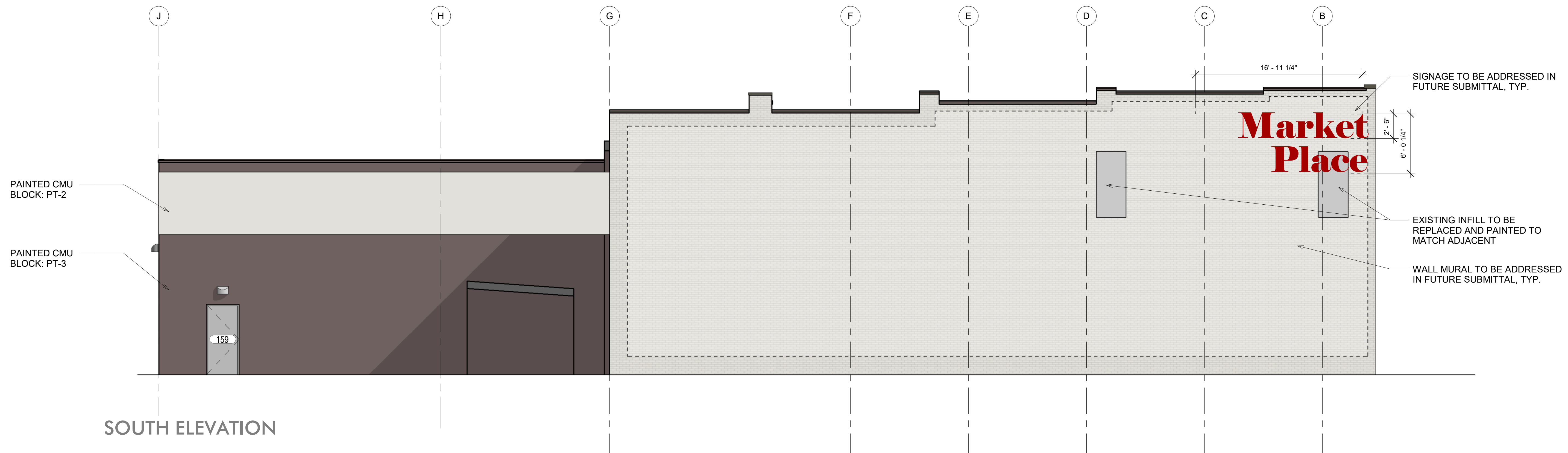


# PROPOSED BUILDING ELEVATIONS

3/16" = 1'

## EXTERIOR SCOPE:

- EXISTING MASONRY:** REPLACE DAMAGED BRICK. REPOINT WHERE JOINTS ARE FAILING (ASSUME 20%). REMOVE ALL LOOSE PAINT FROM EXTERIOR MASONRY TO REMAIN, AND PROVIDE A GENERAL CLEANING OF THE ENTIRE EXTERIOR. PREPARE ALL MASONRY SURFACES TO RECEIVE A NEW BREATHABLE MASONRY COATING SYSTEM.
- WINDOWS:** REPLACE ALL EXISTING SECOND FLOOR WINDOWS WITH ALUMINUM WINDOWS. OPERATION, CONFIGURATION AND SIGHTLINES TO MATCH EXISTING WINDOWS



SOUTH ELEVATION



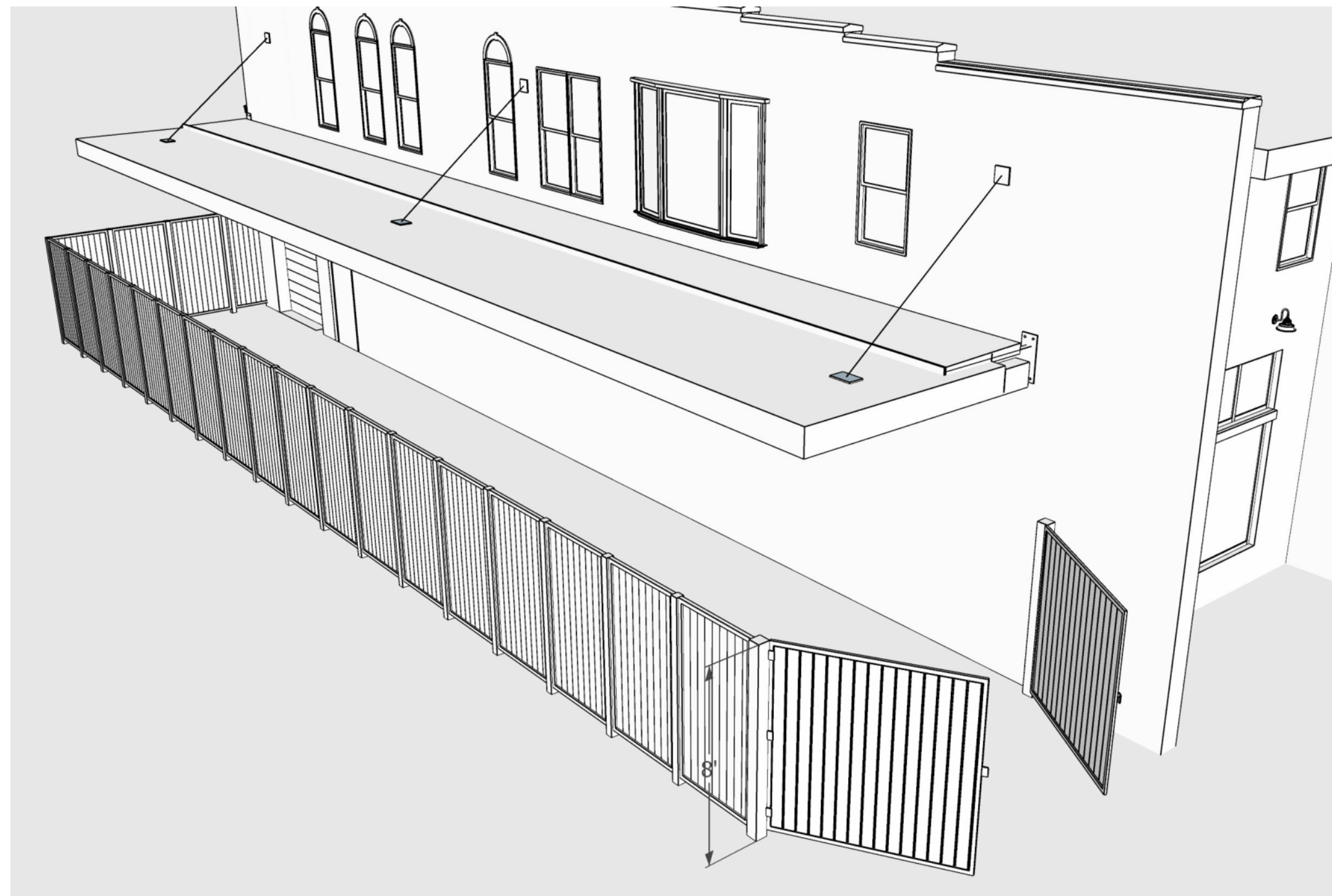
WEST ELEVATION

4100 WOODWARD BLOCK

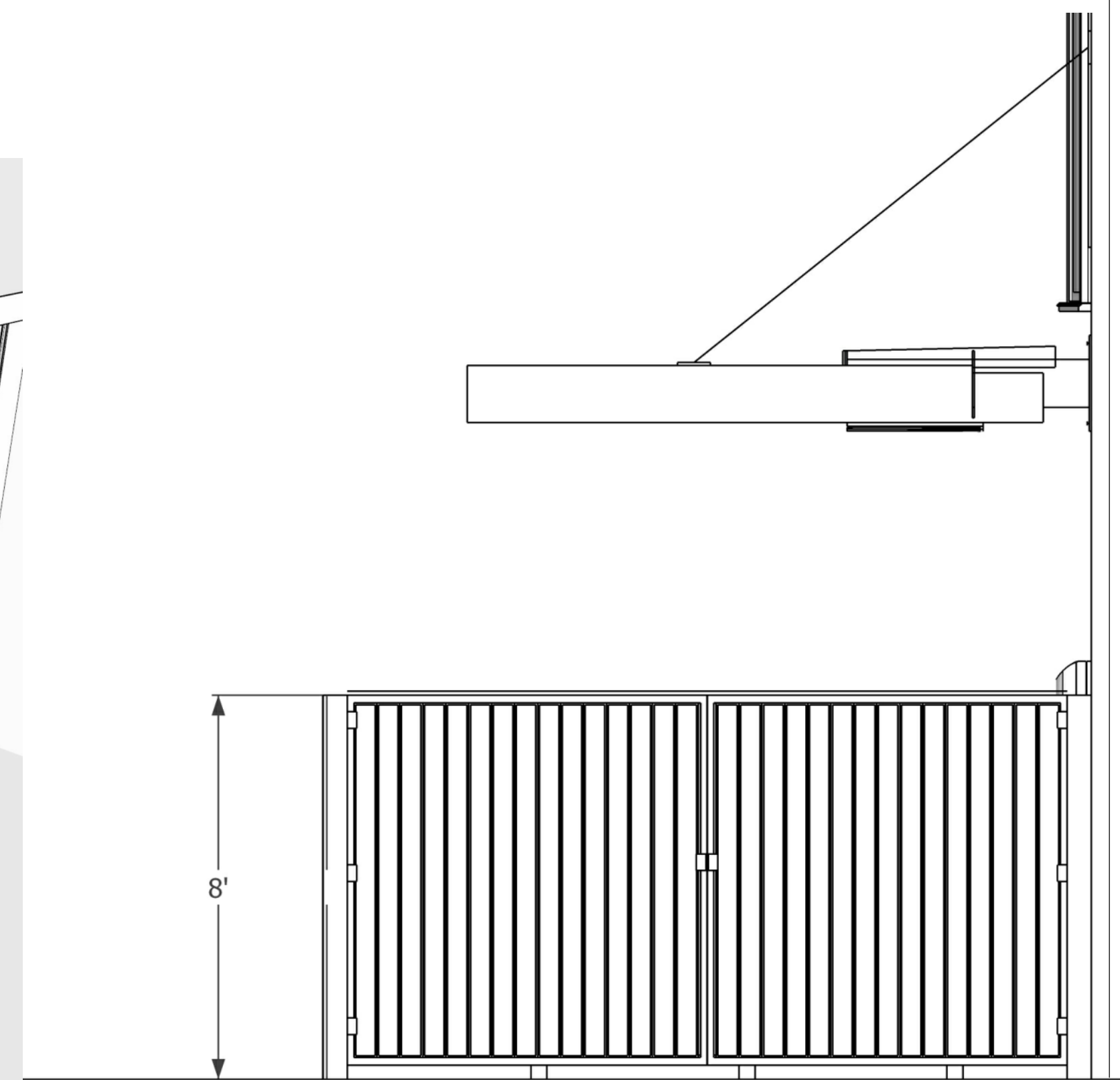
MKIEZI INVESTMENTS



# SITE ELEMENTS



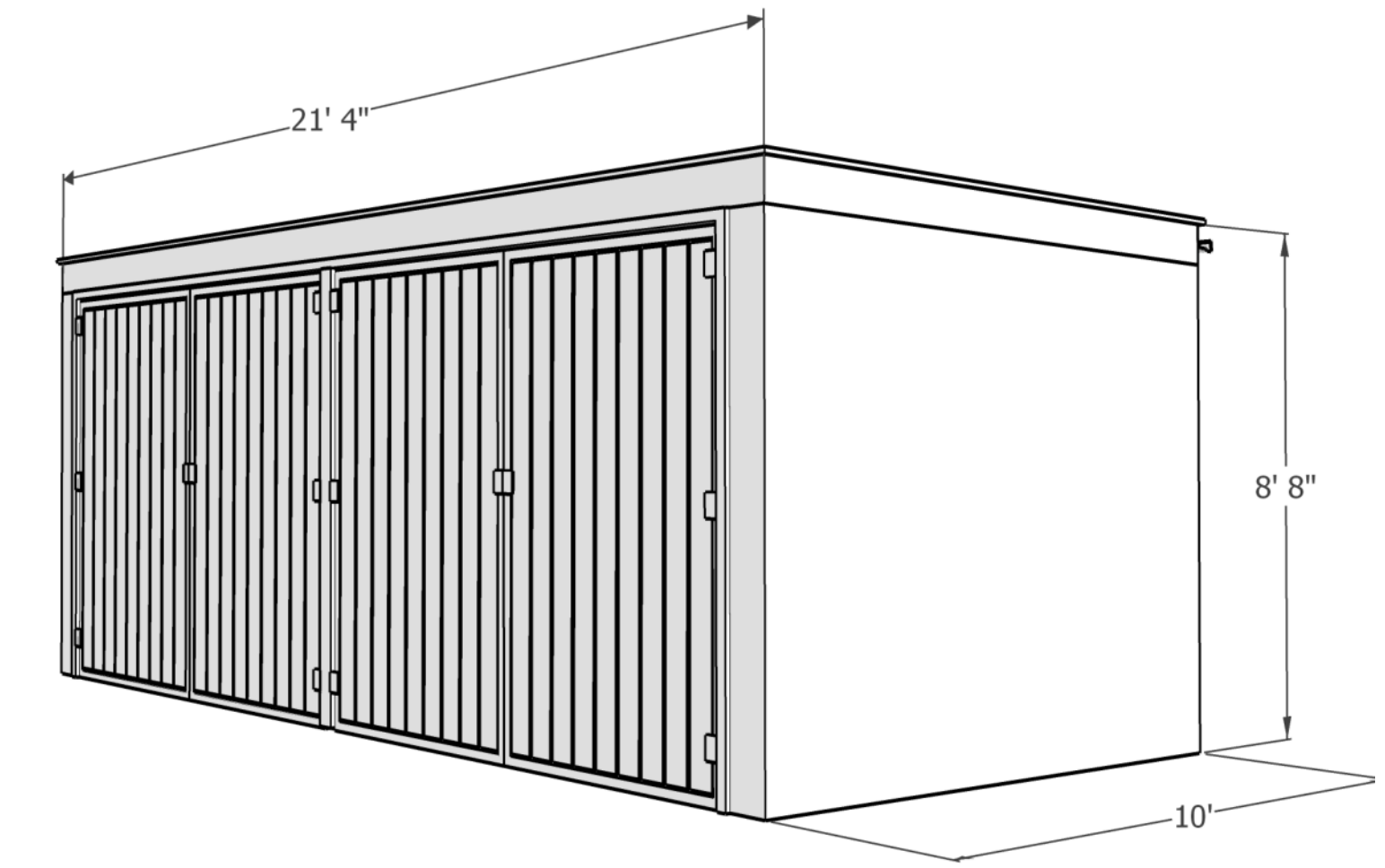
SITE SCREEN - AERIAL VIEW



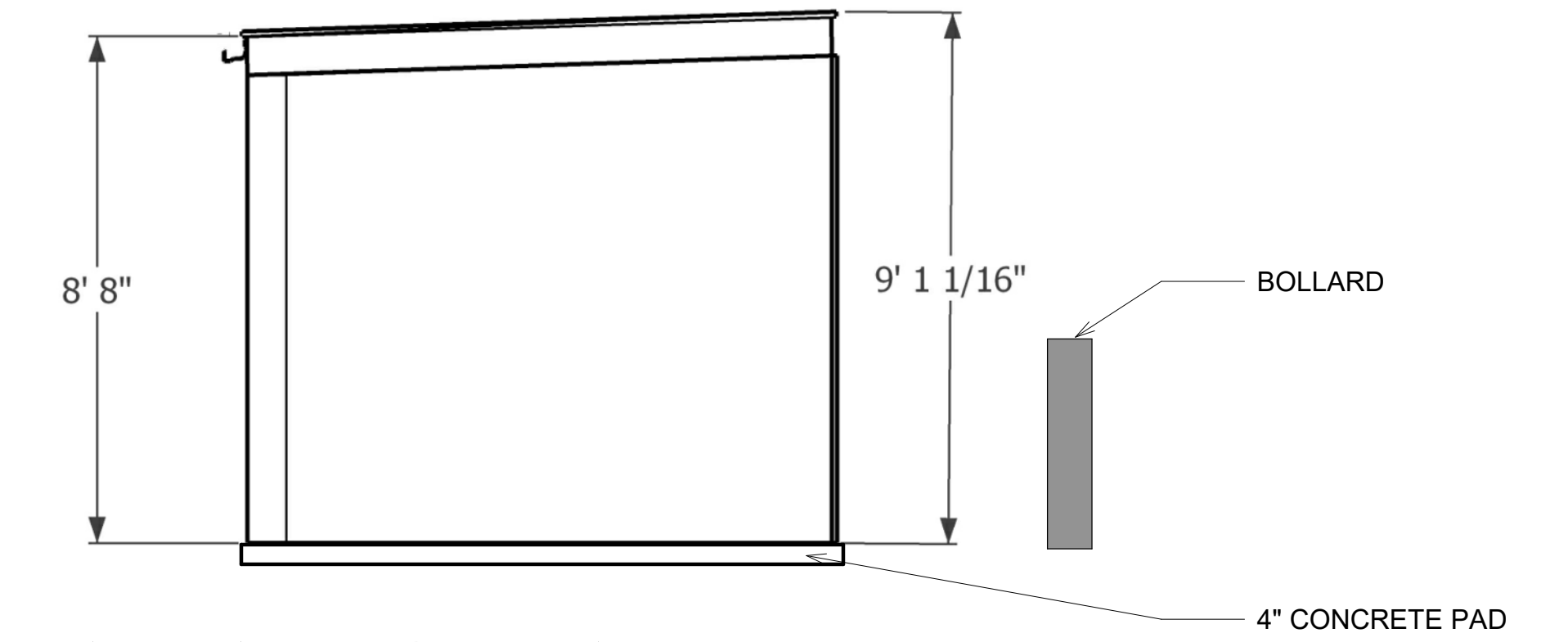
SITE SCREEN GATE - WEST VIEW  
3/8" = 1'



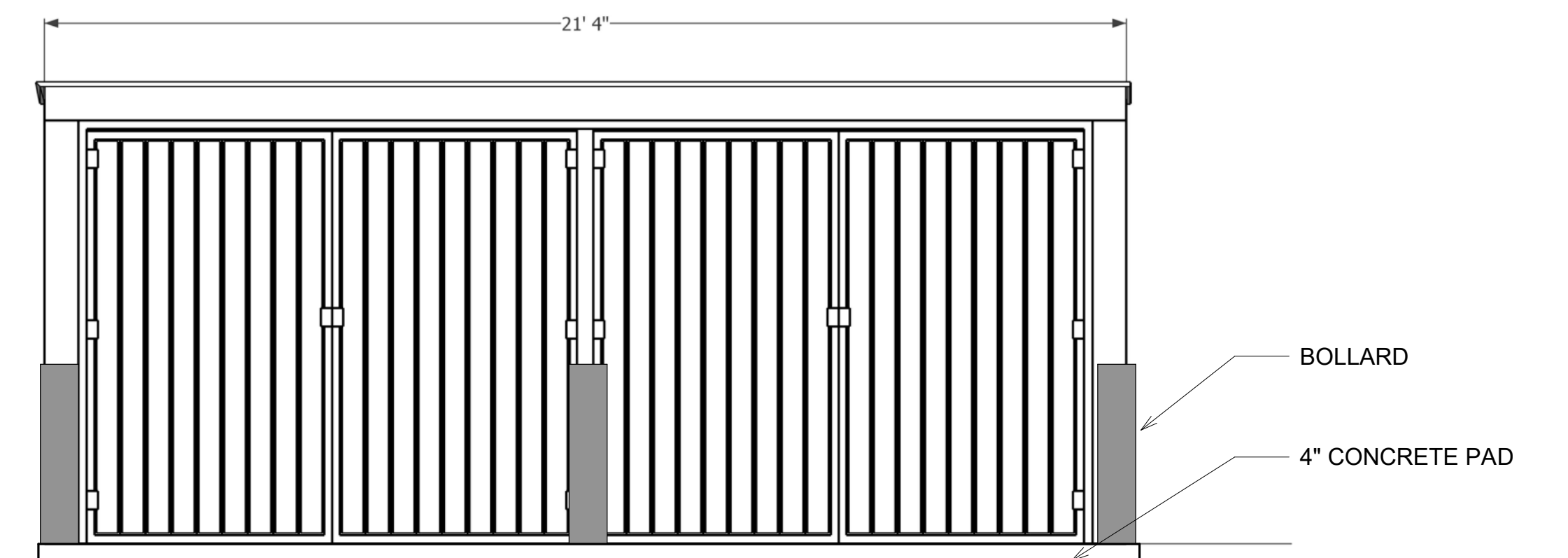
SITE SCREEN - NORTH ELEVATION  
3/16" = 1'



GARBAGE ENCLOSURE - AERIAL VIEW  
3/8" = 1'



GARBAGE ENCLOSURE - NORTH ELEV.  
3/8" = 1'

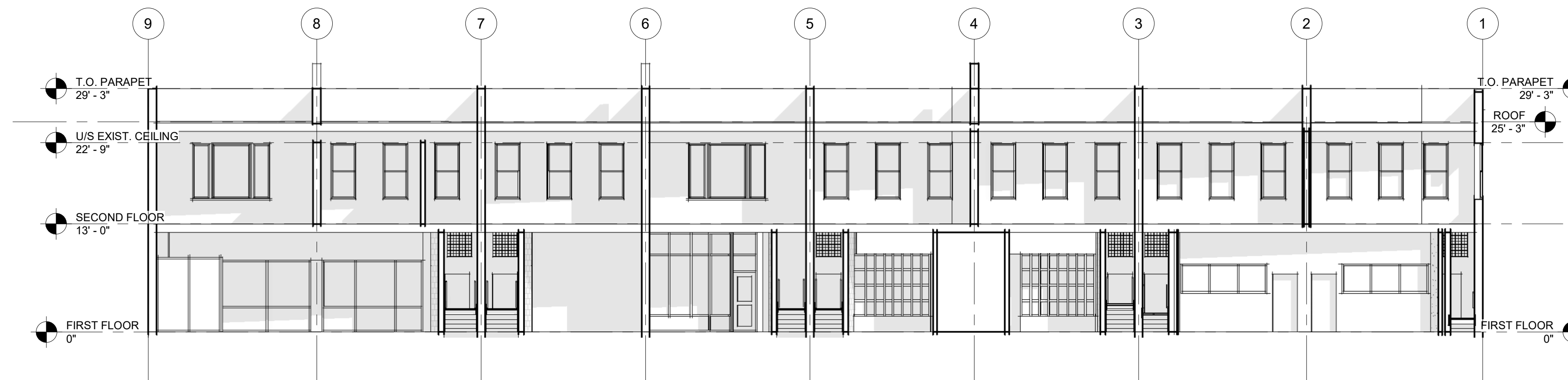


GARBAGE ENCLOSURE - WEST ELEV.  
3/8" = 1'



# BUILDING SECTIONS & LINE OF SITE STUDY

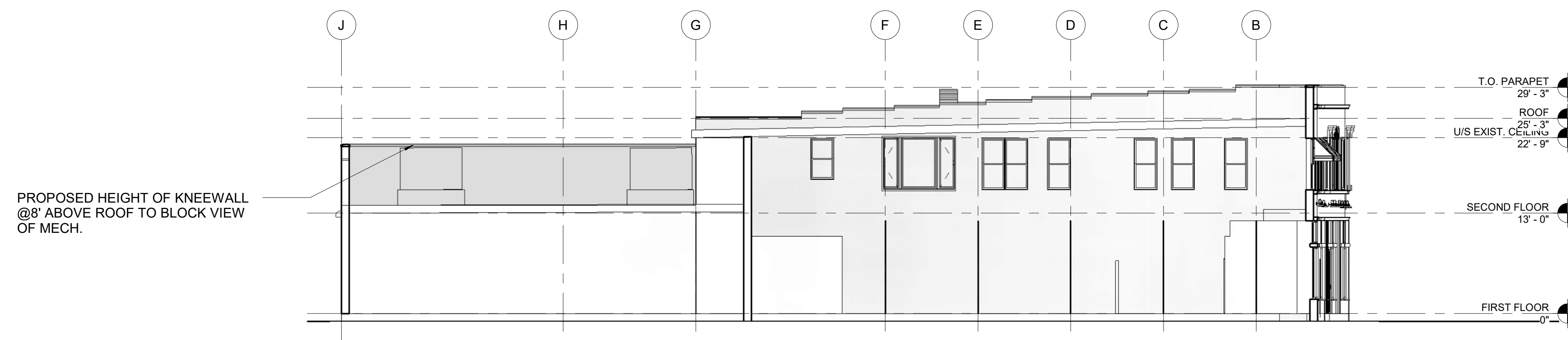
1" = 10'



EXISTING NORTH-SOUTH BUILDING SECTION - LOOKING EAST



PROPOSED NORTH-SOUTH BUILDING SECTION - LOOKING EAST

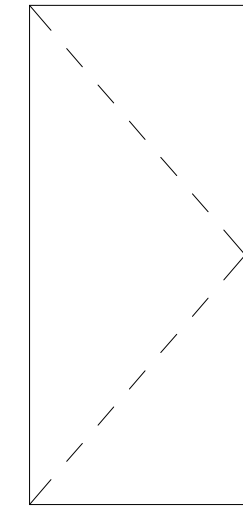


PROPOSED EAST-WEST BUILDING SECTION - LOOKING NORTH



# DOOR, WINDOW & STOREFRONT SCHEDULES & DETAILS

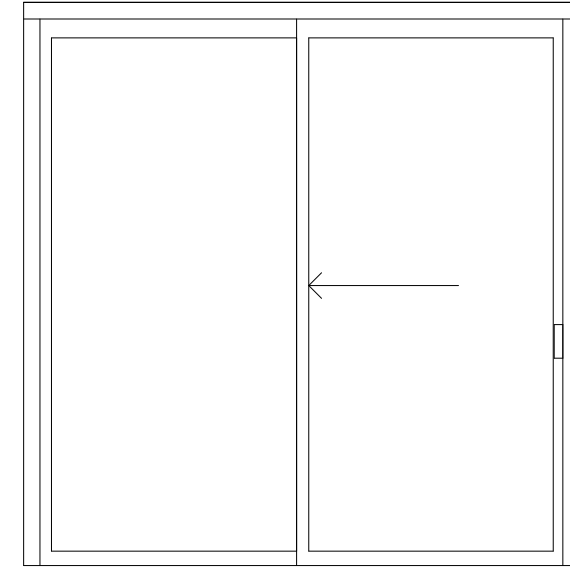
Door Schedule			
Mark	Door Type	Height	Width
145	D1	7' - 0"	3' - 0"
148	D2	12' - 0"	7' - 10 1/2"
151	D3	8' - 4"	8' - 0"
152	D3	8' - 4"	8' - 0"
156	D1	7' - 0"	3' - 0"
159	D1	7' - 0"	3' - 0"
160	D4	7' - 10"	3' - 4"
161	D4	7' - 10"	3' - 4"
162	D4	7' - 10"	3' - 4"
163	D4	7' - 10"	3' - 4"
164	D4	7' - 10"	3' - 4"
165	D4	7' - 10"	3' - 4"
166	D5	7' - 10"	3' - 4"



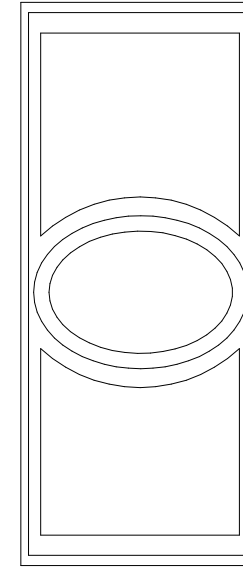
D1 - HM DOOR FLAT PANEL



D2 - OVERHEAD DOOR



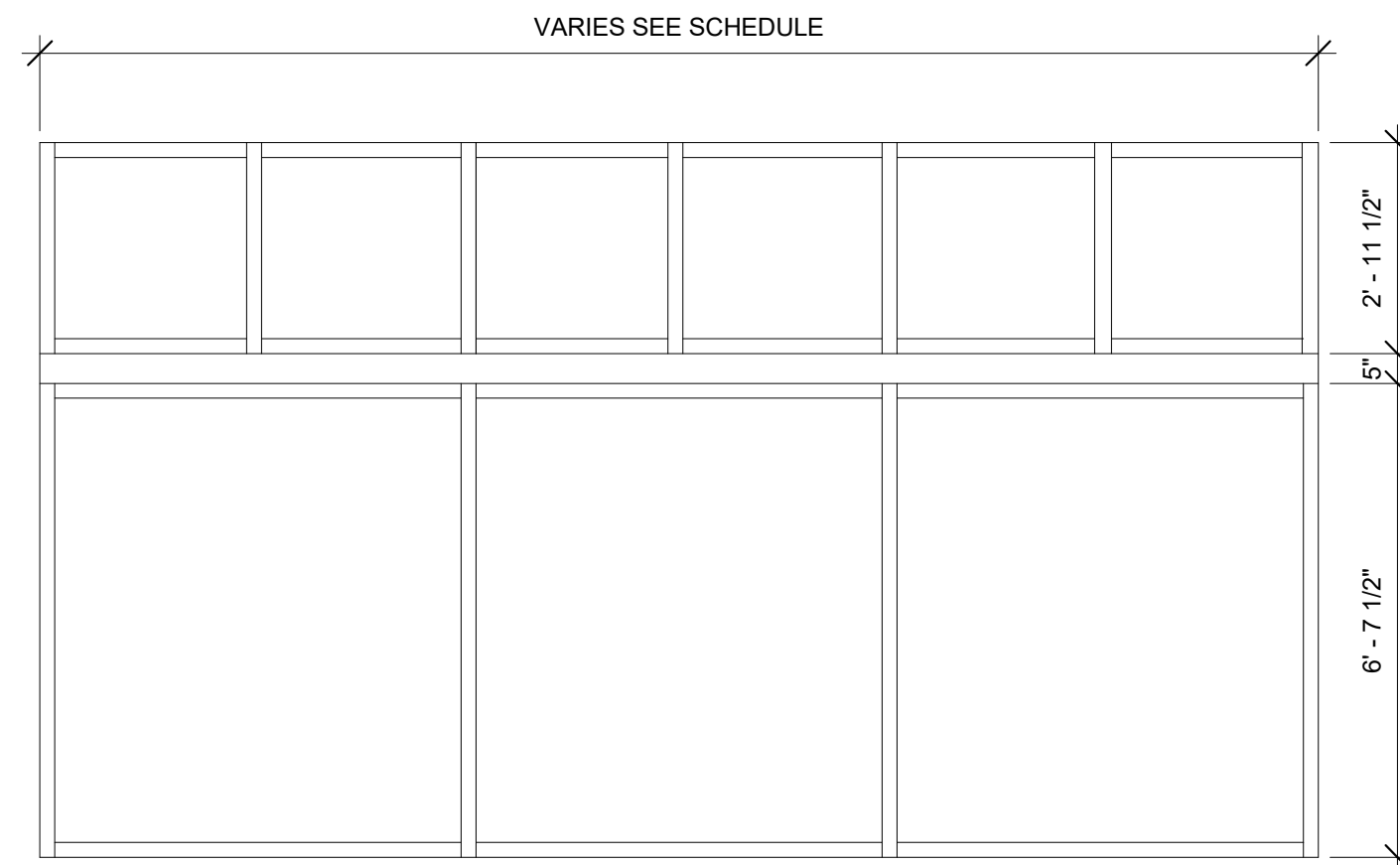
D3 - SLIDING ENTRY DOOR



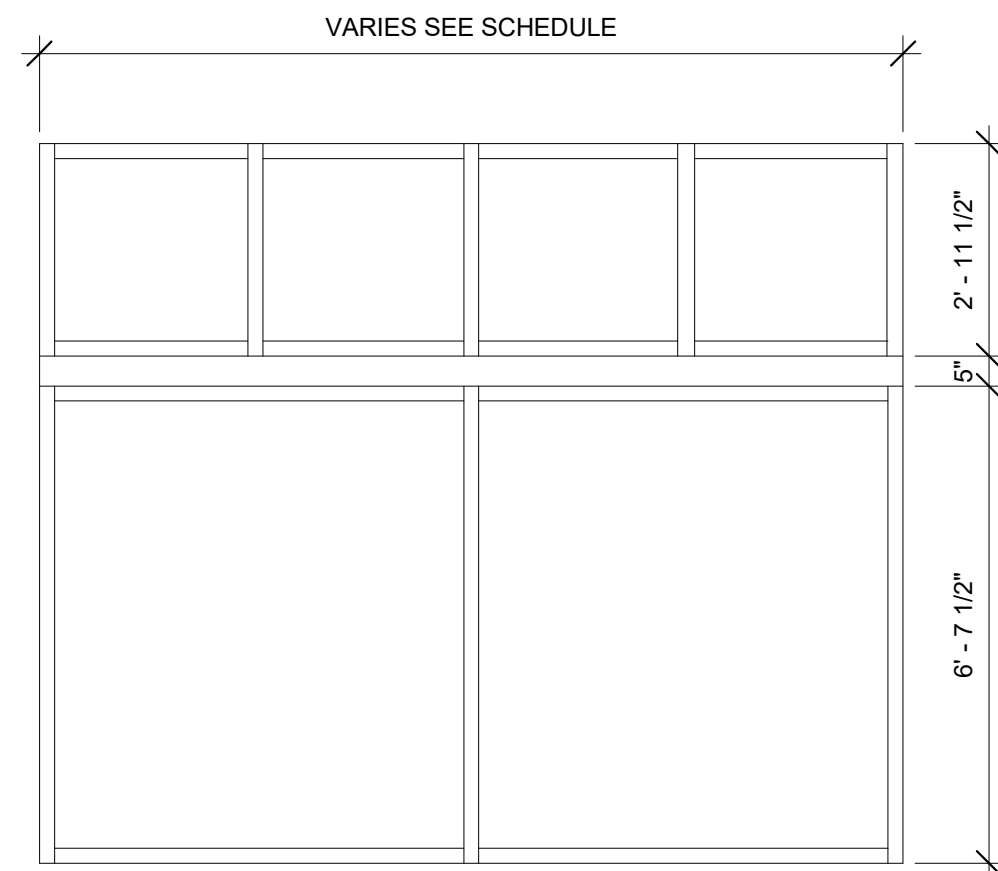
D4 - PANEL  
DOOR INFILL PANEL

## DOOR TYPES

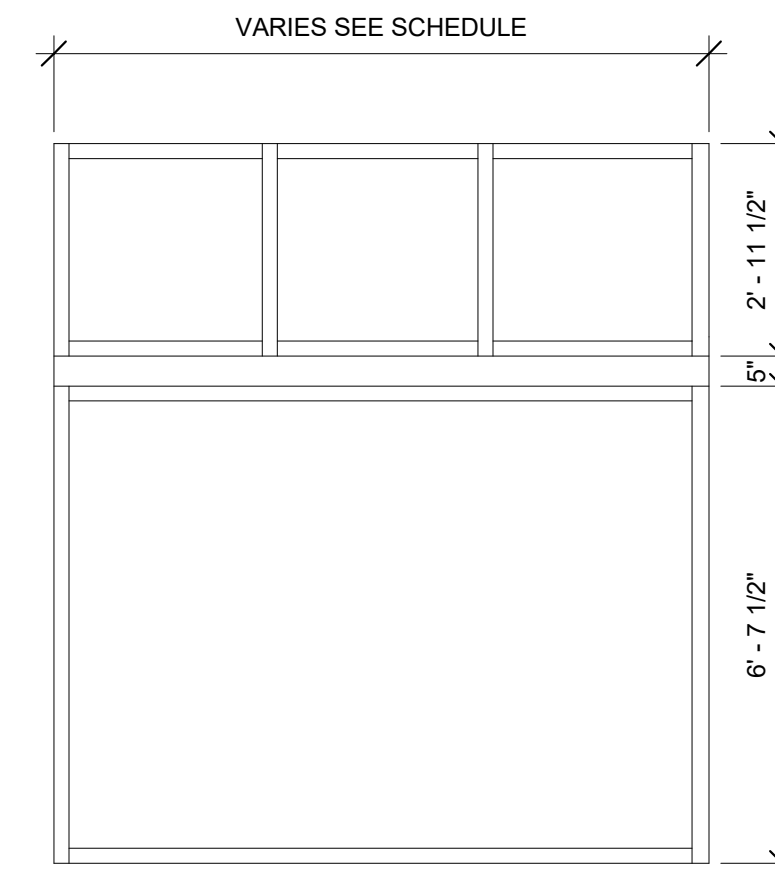
Storefront Schedule		
Mark	Storefront Type	Width
100	ST-2	13' - 8"
101	ST-2	14' - 7 1/2"
102	ST-2	14' - 1 1/2"
103	ST-2	14' - 4 1/16"
104	ST-4	8' - 6"
105	ST-2	12' - 6 7/8"
106	ST-2	12' - 0 13/16"
107	ST-1	16' - 11"
108	ST-3	9' - 0"
109	ST-2	12' - 0"
110	ST-2	12' - 0"



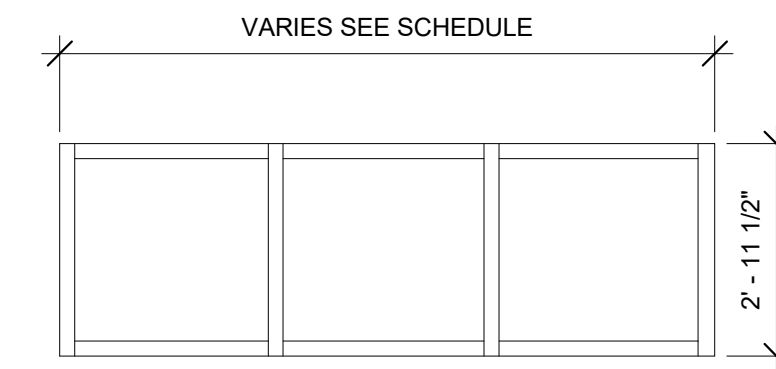
ST-1



ST-2



ST-3



ST-4

## STOREFRONT TYPES