



**STOWERS RESIDENCE**  
**14805 FAUST**  
**DETROIT, MI 48223**  
**313-574-1962 / 248-943-1168**  
**PROPOSED 20' X 21' GARAGE**  
**HIP ROOF AND CONCRETE**

**GENERAL NOTES**

- THESE PLANS ARE PROTECTED BY COPYRIGHT AND ARE NOT TO BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE AUTHOR
- APPLICABLE BUILDING CODES ARE AS FOLLOWS  
 - MICHIGAN RESIDENTIAL BUILDING CODE 2015  
 - CITY OF DETROIT BUILDING CODE  
 - CITY OF DETROIT ZONING CODE
- PRIOR TO THE START OF CONSTRUCTION, THE LICENSED CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR WORK TO COMMENCE
- ALL FEDERAL, STATE, AND LOCAL CODES SHALL BE CONSIDERED A PART OF THE SPECIFICATIONS OF THE BUILDING AND SHOULD BE ADHERED TO EVEN IF THEY ARE IN CONFLICT WITH THIS DOCUMENT
- ANY CHANGES REQUESTED TO PLANS PRIOR TO CONSTRUCTION MUST BE REPORTED IN THE FASHION DICTATED BY THE AUTHOR OF THIS DOCUMENT AND AGREED TO BY BOTH CUSTOMER AND AUTHOR
- APPROVAL OF THESE PLANS BY THE REQUIRED MUNICIPAL REVIEWER SIGNIFIES A THOROUGH REVIEW AND ADHERENCE TO THE REQUIRED INSPECTION SCHEDULE BY THE CONTRACTOR LIMITS THE INDEMNITY OF THE MUNICIPALITY

**GENERAL SITE NOTES**

- IT SHALL BE THE RESPONSIBILITY OF THE PERMIT HOLDER TO LOCATE ALL UTILITIES PRIOR TO OR DURING CONSTRUCTION AND THE HOMEOWNER SHALL BE RESPONSIBLE FOR EXISTING AND FUTURE SPRINKLER HEADS
- GENERAL CONTRACTOR OR PERMIT HOLDER WILL VERIFY ALL SITE MEASUREMENTS PRIOR TO SITE (1) SOIL EROSION AND (2) STORM WATER RUN OFF DURING CONSTRUCTION
- WHEN POSSIBLE, IT SHALL BE COMMON PRACTICE TO LOCATE BUILDING SERVICE MODULES (SUCH AS METERS, CLEAN OUTS, VENT STACK, ETC.) OUT OF DIRECT LINE OF SITE FROM THE STREET

**CONTRACT NOTES**

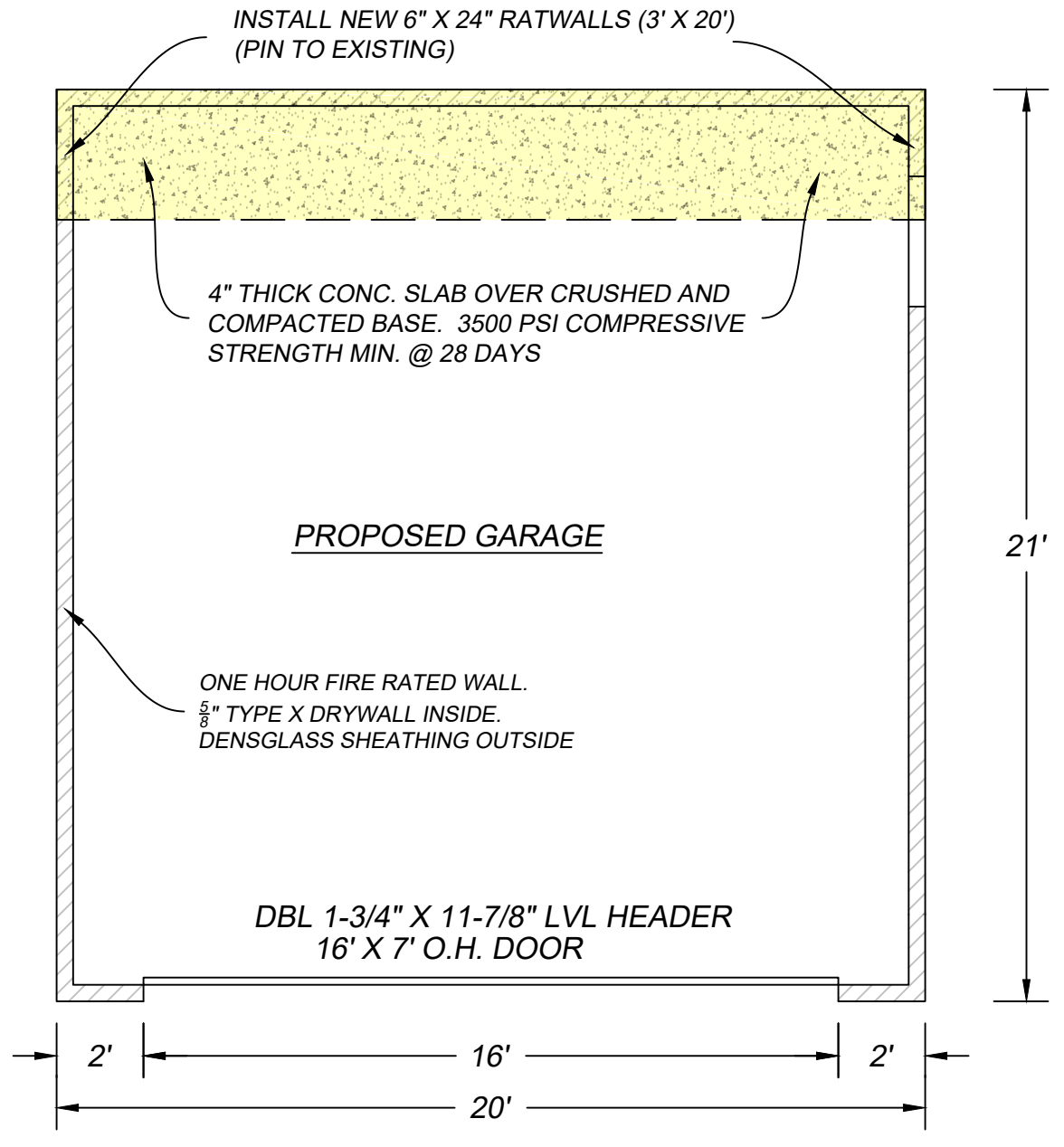
- TEAR DOWN EXISTING 18' x 20' GARAGE. INSTALL 6" X 24" RATWALL - ADD TO EXISTING RATWALLS (3' X 20'). ALSO INSTALL NEW CONCRETE FLOOR - ADD TO EXISTING CONCRETE FLOOR (3' X 20')
- BUILD NEW 20 X 21 DETACHED WOOD FRAME GARAGE - HIP ROOF - 4 / 12 PITCH - 1'-0" O.H. - 8' WALLS
- INSTALL 16' X 7' OVERHEAD GARAGE DOOR - SHORT PANEL - NON-INSULATED. COLOR: SANDTONE
- INSTALL 36" X 80" 6 PANEL SERVICE DOOR W/ LOCKSET & DEADBOLT
- SHINGLES - LANDMARK DIMENSIONAL - MATCH HOUSE ALUM. DRIP EDGE - COLOR: NATURAL CLAY
- (1) #750 ROOF VENT - NATURAL CLAY
- ENCORE DOUBLE 4" VINYL SIDING - NATURAL CLAY
- PERF. VINYL SOFFIT - NATURAL CLAY
- ALUM. TRIM - TERRATONE

**CONSTRUCTION NOTES**

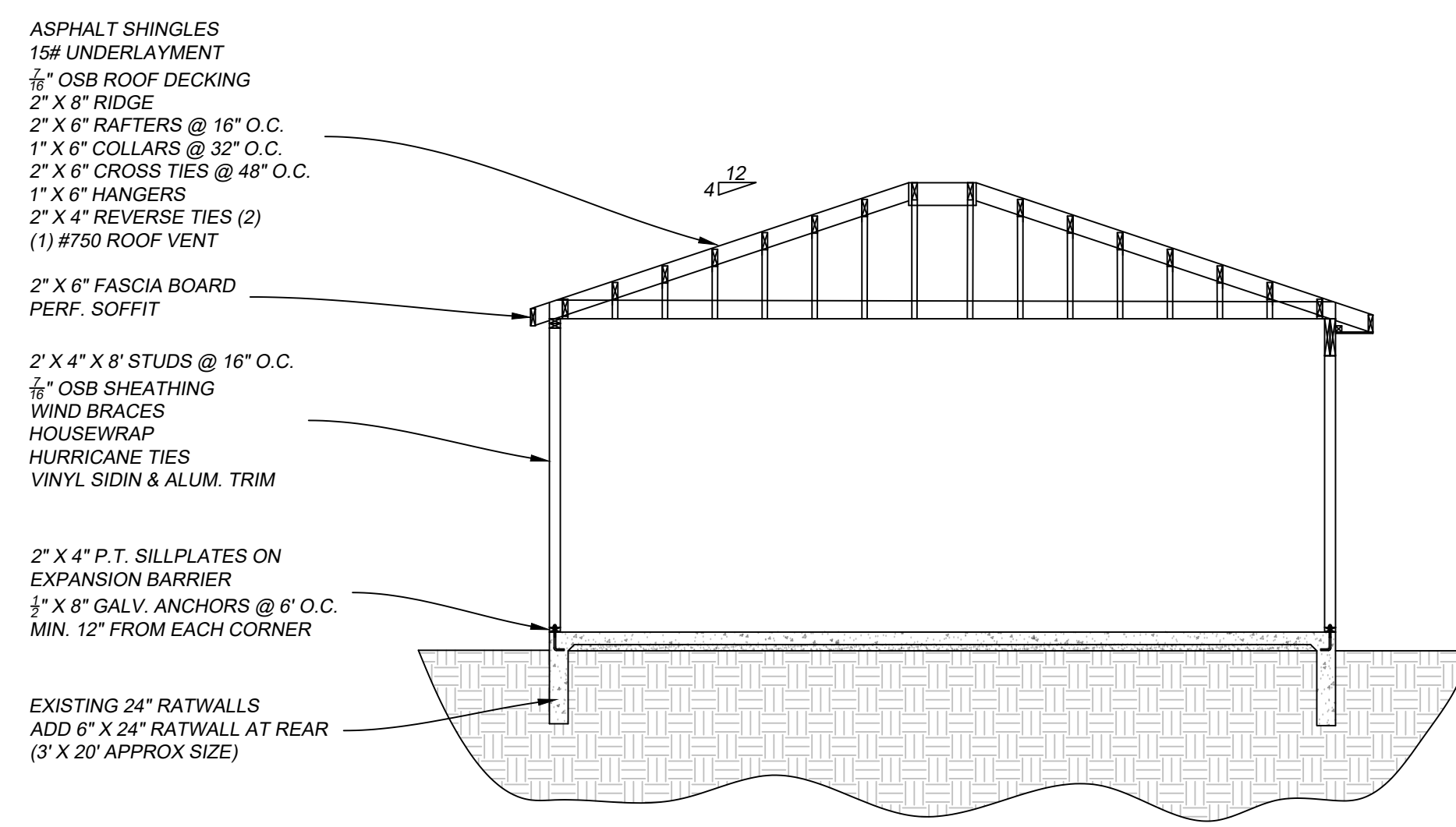
- DRAWING PAGES WILL BE SCALED ON EITHER, (24" X 36") OR (11" X 17") PAPER AND PRESERVE PROPER FORMATTING & MEASUREMENTS.
- DOOR SIZES ARE INDICATED IN DRAWINGS NOMINALLY AND IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ROUGH OPENINGS BASED ON THE DOOR MANUFACTURER'S SPECIFICATIONS
- BRACE ALL EXTERIOR CORNERS OF STUD WALLS WITH METAL STRAP BRACING LET INTO STUDS ON 45 DEGREE DIAGONALS FROM PLATE TO PLATE
- ALL RAFTER TAILS TO RECEIVE GALV. HURRICANE STRAPS AT WALL TOP PLATES TO PREVENT WIND UPLIFT

**FDTN. & CONC. NOTES**

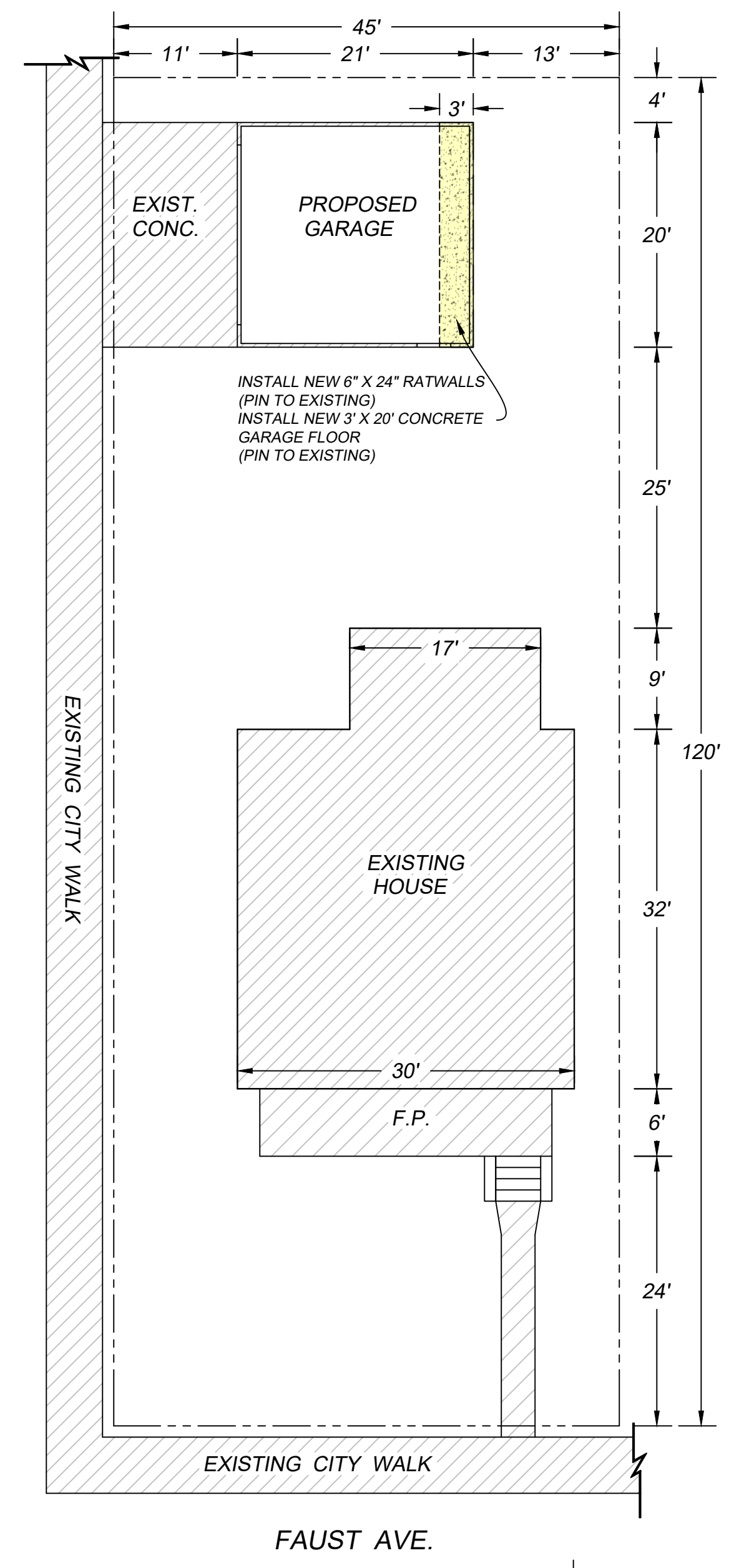
- ALL DIMENSIONS ARE CALCULATED FROM OUTSIDE FACE OF MASONRY TO OUTSIDE FACE OF MASONRY
- FROST DEPTH IS ASSUMED TO BE 42" BELOW GRADE
- COMPRESSIVE STRENGTH OF CONCRETE TO MEET OR EXCEED THE REQ'S OF MRC TABLE R402.2 UNDER THE CATEGORY OF SEVERE POTENTIAL FOR WEATHERING
- FOOTINGS SHALL REST ON UNDISTURBED SOIL AND GENERAL CONTRACTOR SHALL VERIFY SOIL IS FREE OF LOOSE DEBRIS AND WATER PRIOR TO POURING OF CONCRETE
- CONTRACTOR TO BE AWARE OF EXISTING FOUNDATIONS AND PREVENT AGAINST OVER EXCAVATION BELOW EXISTING FDTN. BEARING LINE
- PER MRC R506.22 A MIN. 4" THICK BASE COURSE SHALL BE PLACED ON THE PREPARED SUB-GRADE WHERE THE SLAB IS BELOW GRADE EXCEPT WHEN THE SUB-GRADE FALLS WITHIN THE CLASSIFICATION OF GROUP 1 OF MRC TABLE R405.1
- PER MRC R506.23 A 6 MIL THICK VAPOR RETARDER (OR BETTER) WITH MIN. 6" JOINT LAPPING SHALL BE PLACED BETWEEN THE CONCRETE FLOOR SLAB AND BASE WHERE APPLICABLE



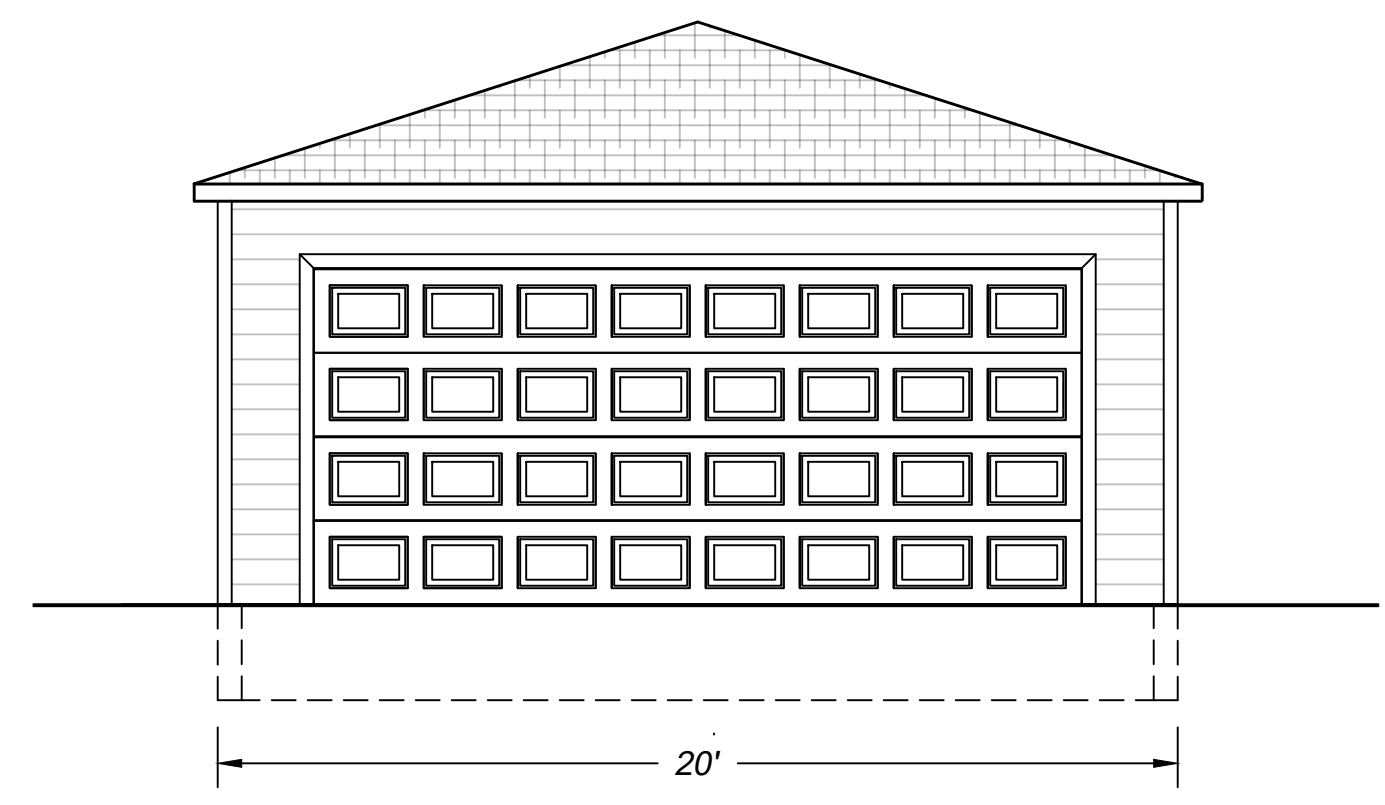
**FLOOR PLAN**  
SCALE: 1/4" = 1'



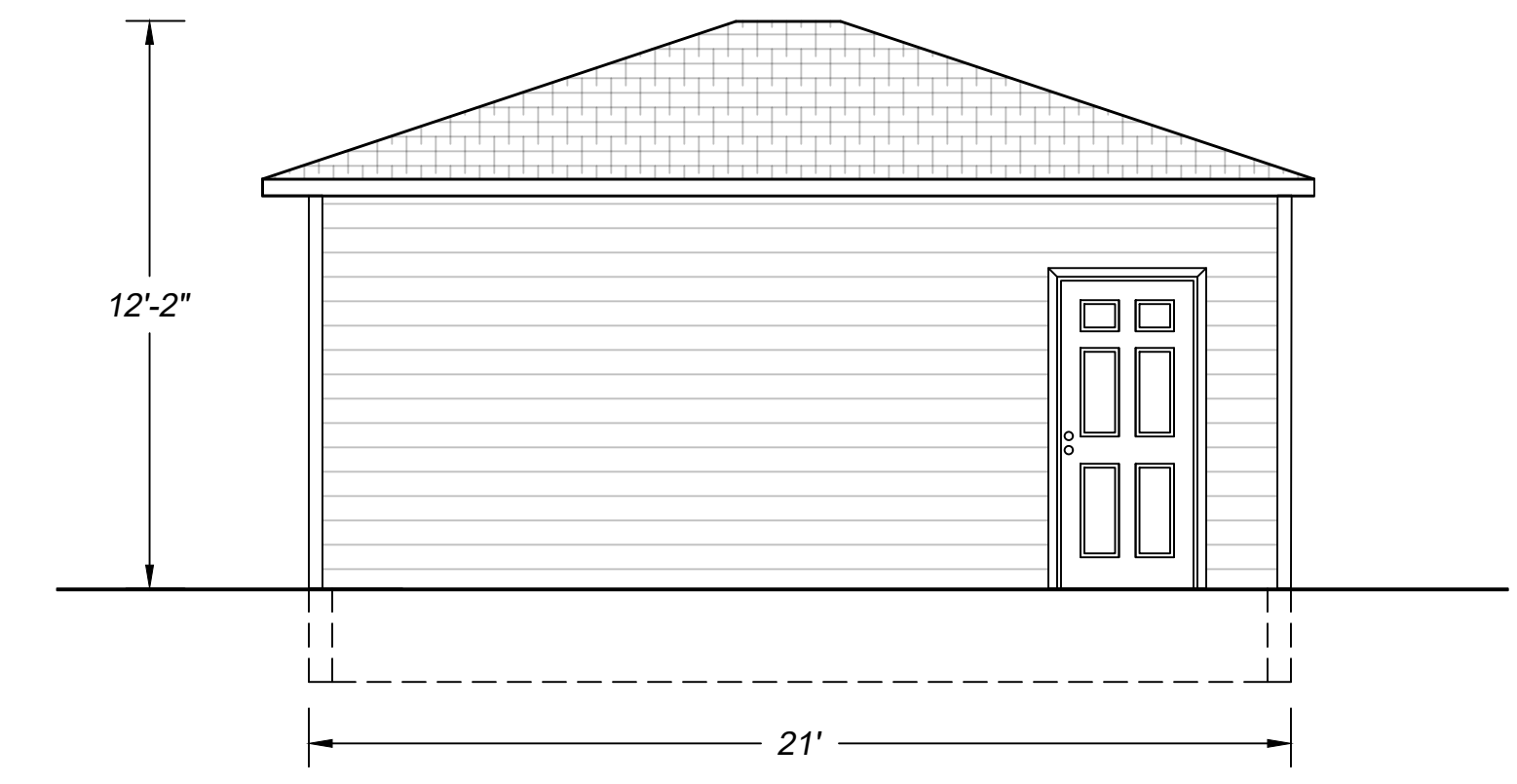
**CROSS SECTION**  
SCALE: 1/4" = 1'



**SITE PLAN**  
SCALE: 3/32" = 1'



**FRONT ELEVATION**  
SCALE: 1/4" = 1'



**SIDE ELEVATION**  
SCALE: 1/4" = 1'

SHEET INDEX	
DESCRIPTION	
A.001	GENERAL NOTES SITE SURVEY GARAGE FLOOR PLAN SECTION ELEVATIONS

SET ISSUE DATES	
DATE:	ISSUE:
10/16/20	APPLY FOR PERMIT

SHEET NOTES	
REF:	NOTES:
	DRAWN BY: S.A. FERRISE CHECKED BY:

SHEET No.  
**A-1**  
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