

October 05, 2020

RE: 7949 Lafayette Residential Duplex Renovations, Historic District Commission Submission

Description of Existing Window Conditions

Both sides (East and West) of the duplex are outfitted throughout with one-over-one double-hung wood-cased windows of varying sizes. There are also two fixed windows on the South elevation, second floor, of the West unit that feature a leaded diamond pattern. All windows currently have storm windows installed, in varying degrees of disrepair and damage. Many of the windows are missing entire sashes, and in some cases, entire windows are missing. Of the windows that remain intact, the following common conditions has been observed:

- Single pane glazing which is loose in the sash and in need of re-glazing and sealing.
- Surfaces of sash that have deteriorated or have been damaged to the point of requiring replacement.
- Window operation components (ropes, pulleys, counterweights, etc) that are missing or damaged.
- Rotting of window opening framing

Since some windows are completely missing, or major components (entire sash) are missing, some new windows will need to be installed, regardless. The client proposes to use wood-framed windows with a painted aluminum exterior cladding. The dimensions and sash configurations will match the existing windows. Where vertical or horizontal mullions exist and separate transoms from window units, or separate paired window units, these elements will be retained at repaired as required. Only the individual window units themselves will be replaced. The proposed windows are Weather Shield Signature Series (see attached product information). Of 34 existing windows, 21 are missing an entire sash or the entire window unit. Since so many of the windows are missing, the client proposes to replace all windows with new. On the second floor of the South (front) facade, there are two fixed windows with a leaded diamond pattern. These windows are in good condition, and are character defining for the building. The project proposes to retain these windows and repair as required. By replacing the inornate double-hung windows, the result will be a uniform aesthetic that matches the existing historic detailing, while incorporating additional energy efficiency and durability.

4545

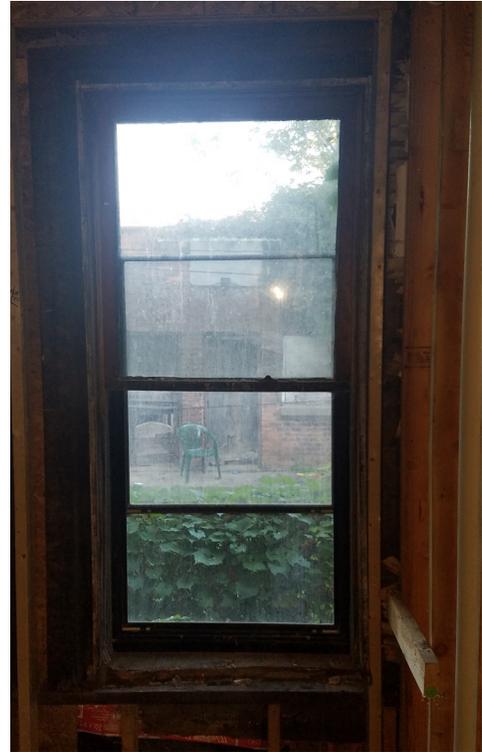
architecture

Window Assessment

E1-01 (East Unit, North Elevation)

Observed Conditions:

- Missing lower sash
- Deteriorated/rotted sill
- Broken/split left jamb framing
- Missing rope/counterweights



4545

architecture

Window Assessment

E1-02.03 (East Unit, North Elevation)

Observed Conditions:

- Rotted/split left-top jamb framing
- Center mullion will be retained and repaired as required. Proposal is to replace each double hung unit individually.



4545

architecture

Window Assessment

E1-04, 05 (East Unit, East Elevation, in entry vestibule)

Observed Conditions:

- Broken glazing
- Single pane glazing, no insulation value



4545

architecture

Window Assessment

E1-06 (East Unit, East Elevation)

Observed Conditions:

- Missing lower sash
- Missing rope/counterweights



4545

architecture

Window Assessment

E1-07 (East Unit, East Elevation)

Observed Conditions:

- Missing lower sash
- Missing counterweights



Window Assessment

E1-08 (East Unit, East Elevation)

Observed Conditions:

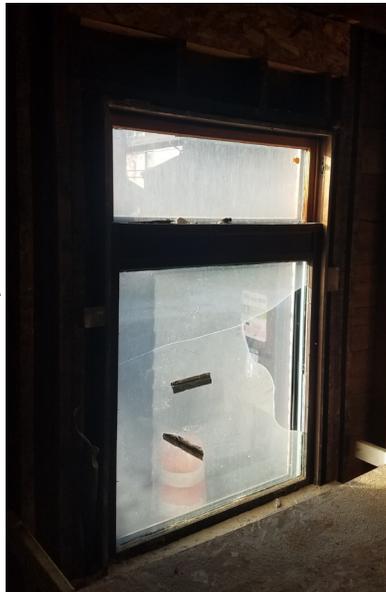
- Entire Window Missing (only half of storm window in place).



E1-09 (East Unit, South Elevation)

Observed Conditions:

- Broken Glazing
- Rot at upper left corner of casement
- Horizontal mullion will be retained and repaired as required. Proposal is to replace each window unit (transom above, double hung below) individually.



4545

architecture

Window Assessment

E2-01 (East Unit, North Elevation)

Observed Conditions:

- Missing rope and counterweight (right side)
- Rot/gouges at joints of lower sash



E2-02 (East Unit, North Elevation)

Observed Conditions:

- Missing upper sash
- Rot observed on frame



4545

architecture

Window Assessment

E2-03 (East Unit, East Elevation)

Observed Conditions:

- Missing entire window



E2-04 (East Unit, East Elevation)

Observed Conditions:

- Missing lower sash



4545

architecture

Window Assessment

E2-05, 06, 07 (East Unit, South Elevation)

Observed Conditions:

- Missing entire windows (left and right)
- Broken Glazing (center window)
- Split/damaged wood (right jamb)
- Missing ropes and counterweights

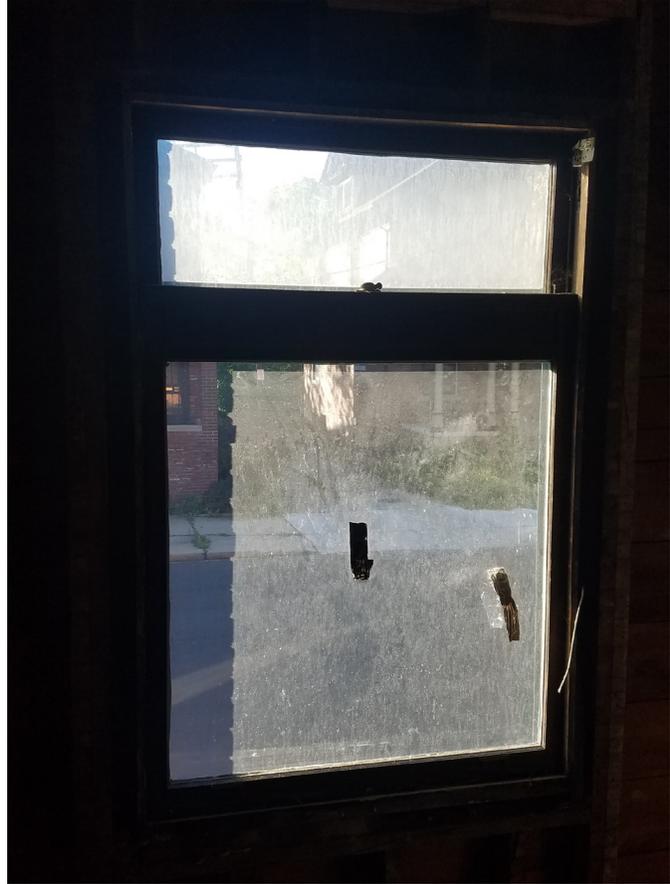


Window Assessment

W1-01 (West Unit, South Elevation)

Observed Conditions:

- Rot/damage at sill
- Horizontal mullion will be retained and repaired as required. Proposal is to replace each window unit (transom above, double hung below) individually.



4545

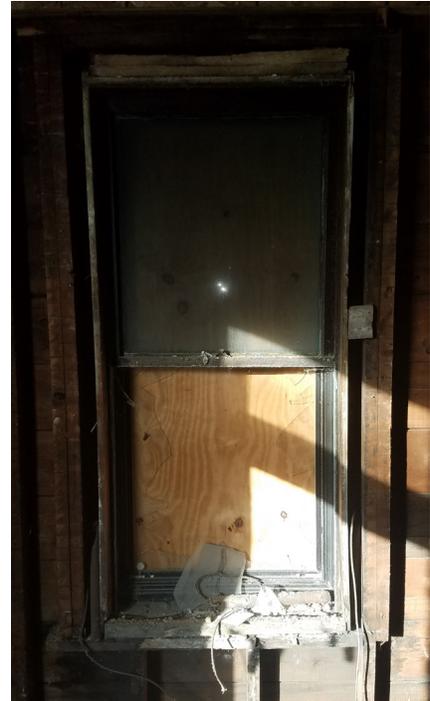
architecture

Window Assessment

W1-02 (West Unit, West Elevation)

Observed Conditions:

- Missing lower sash
- Rot/damage at frame



4545

architecture

Window Assessment

W1-03 (West Unit, West Elevation)

Observed Conditions:

- Missing lower sash
- Missing ropes/counterweights
- Broken glazing in storm window



Window Assessment

W1-04 (West Unit, West Elevation)

Observed Conditions:

- Broken glazing (upper and lower sash)
- Damaged frame
- Missing rope/counterweights



Window Assessment

W1-05, 06 (West Unit, West Elevation)

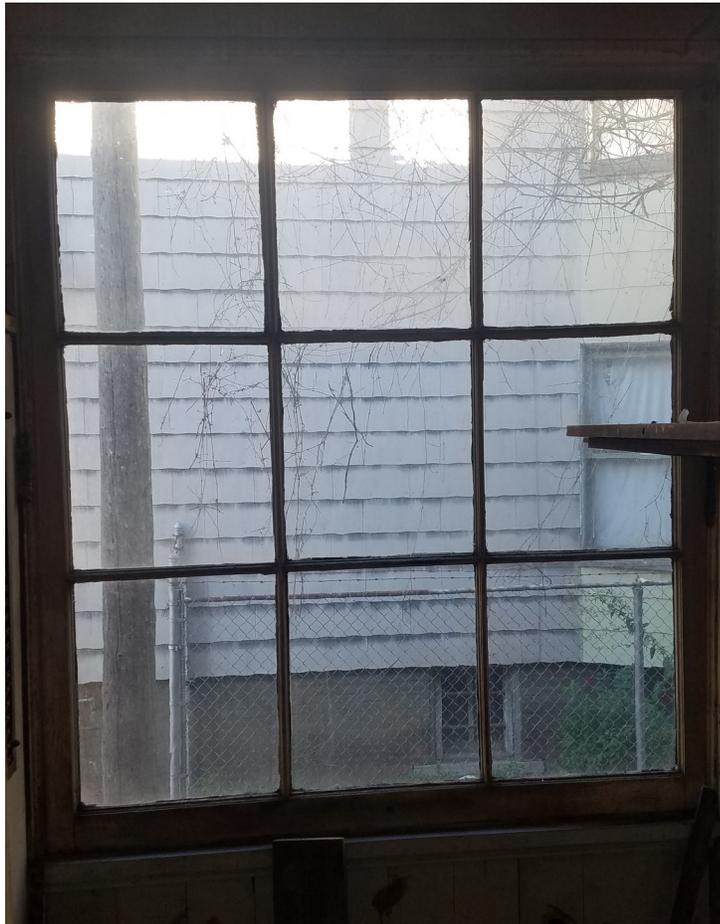
Observed Conditions:

- Single pane glazing, no insulation value

W1-05, 06 (West Unit, West Elevation)

Observed Conditions:

- Single pane glazing, no insulation value



4545

architecture

Window Assessment

W1-07, 08 (West Unit, North Elevation)

Observed Conditions:

- Missing lower sash (left and right windows)
- Missing glazing (right storm window)
- Rot at sill, head framing
- Center mullion will be retained and repaired as required. Proposal is to replace each double hung unit individually.



Window Assessment

W1-09 (West Unit, North Elevation)

Observed Conditions:

- Missing entire window unit
- Existing sill height will be raised to match adjacent windows, W1-07,08.
- Existing stone sill will be salvaged and reinstalled at new height.
- remaining opening will be infilled with brick to match existing.

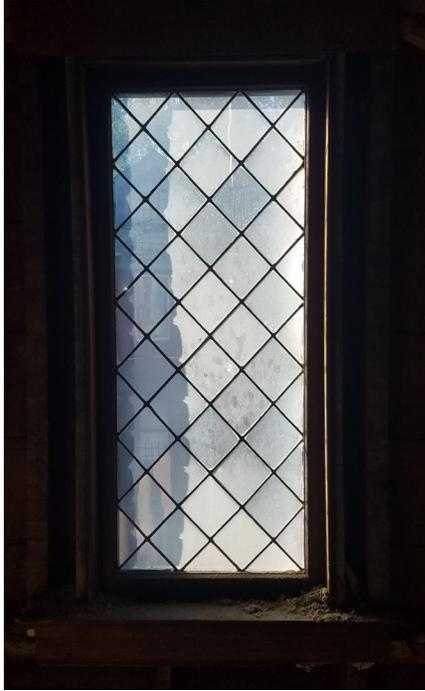


Window Assessment

W2-01 (West Unit, South Elevation)

Observed Conditions:

- Leaded single plane glazing with diamond pattern (fixed window)
- These windows will be retained and repaired as required.



W2-02 (South Unit, South Elevation)

Observed Conditions:

- Leaded single plane glazing with diamond pattern (fixed window)
- These windows will be retained and repaired as required.



4545 architecture

Window Assessment

W2-03, 04, 05 (West Unit, South Elevation)

Observed Conditions:

- Missing lower sash (all windows)
- Storm window is pulling away from rotted frame (right side)
- Missing counterweights



4545

architecture

Window Assessment

W2-06 (West Unit, West Elevation)

Observed Conditions:

- Missing lower sash



4545

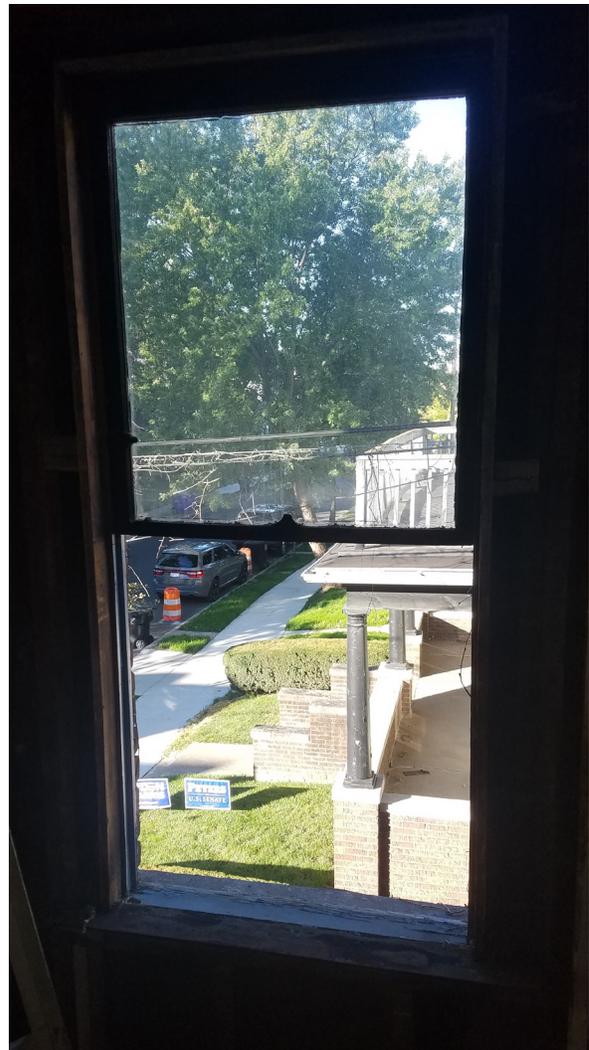
architecture

Window Assessment

W2-07 (West Unit, West Elevation)

Observed Conditions:

- Missing entire window
- Missing lower sash of storm window



4545

architecture

Window Assessment

W2-08 (West Unit, North Elevation)

Observed Conditions:

- Missing upper sash
- Damage at sill



4545

architecture

Window Assessment

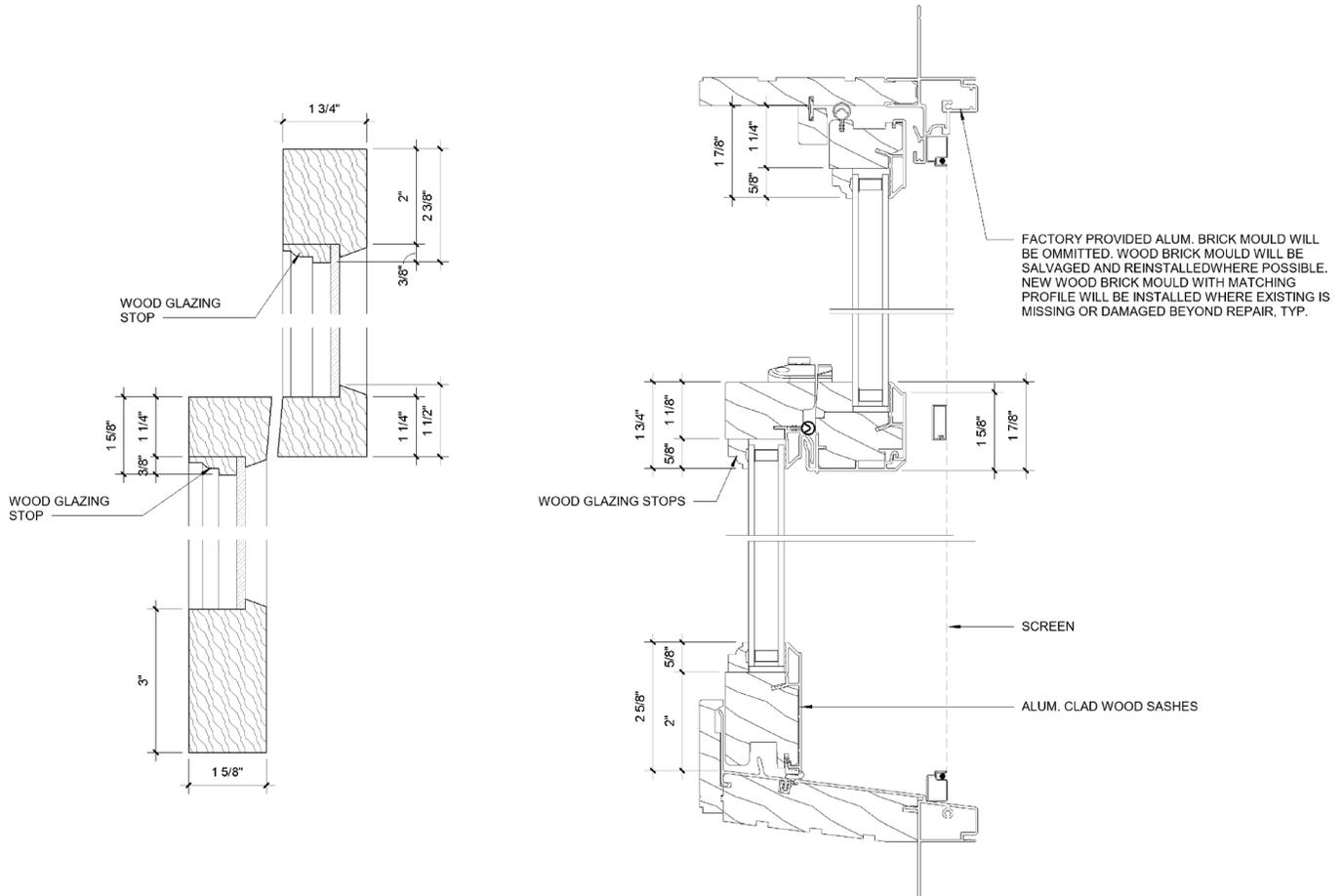
W2-09 (West Unit, North Elevation)

Observed Conditions:

- Missing lower sash
- Missing lower sash of storm window
- Rot observed at bottom of upper sill
- Missing right jamb frame
-

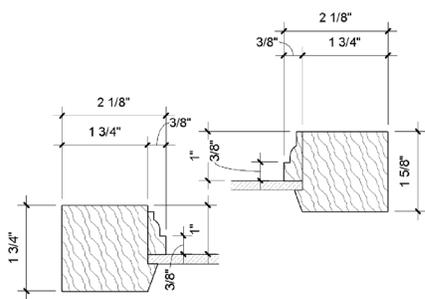


Proposed Window dimensional Comparison - Double Hung Windows

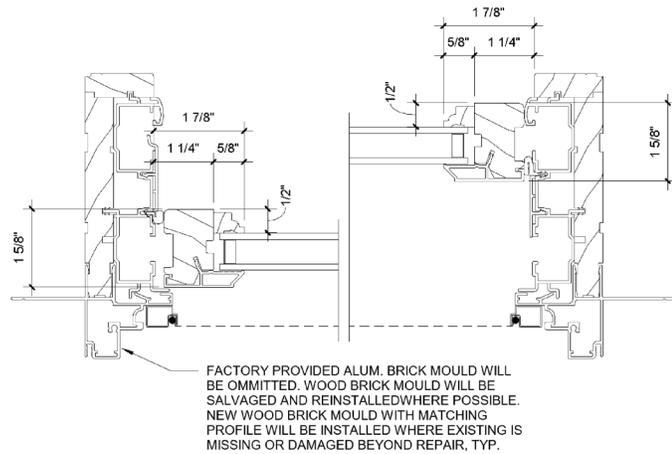


Existing Window - Section

Proposed Window - Section

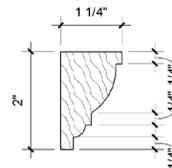
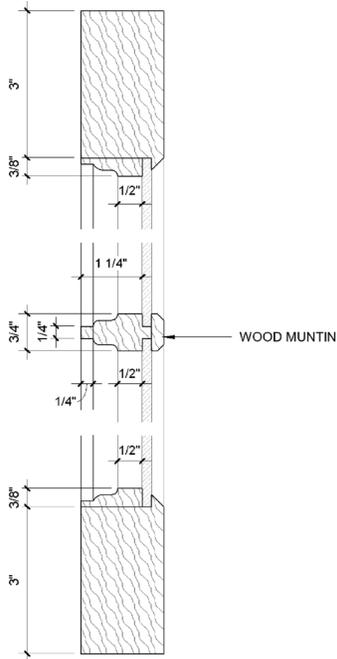


Existing Window - Jamb



Proposed Window - Jamb

Proposed Window dimensional Comparison - Fixed Windows with Wood Muntins (East and West Vestibules)



Existing Window - Section

(These windows will remain intact, only broken glazing will be replaced)

Existing Wood Brick Mould

(Existing profile will be matched and new wood brick mould will be installed with all new alum-clad wood windows)