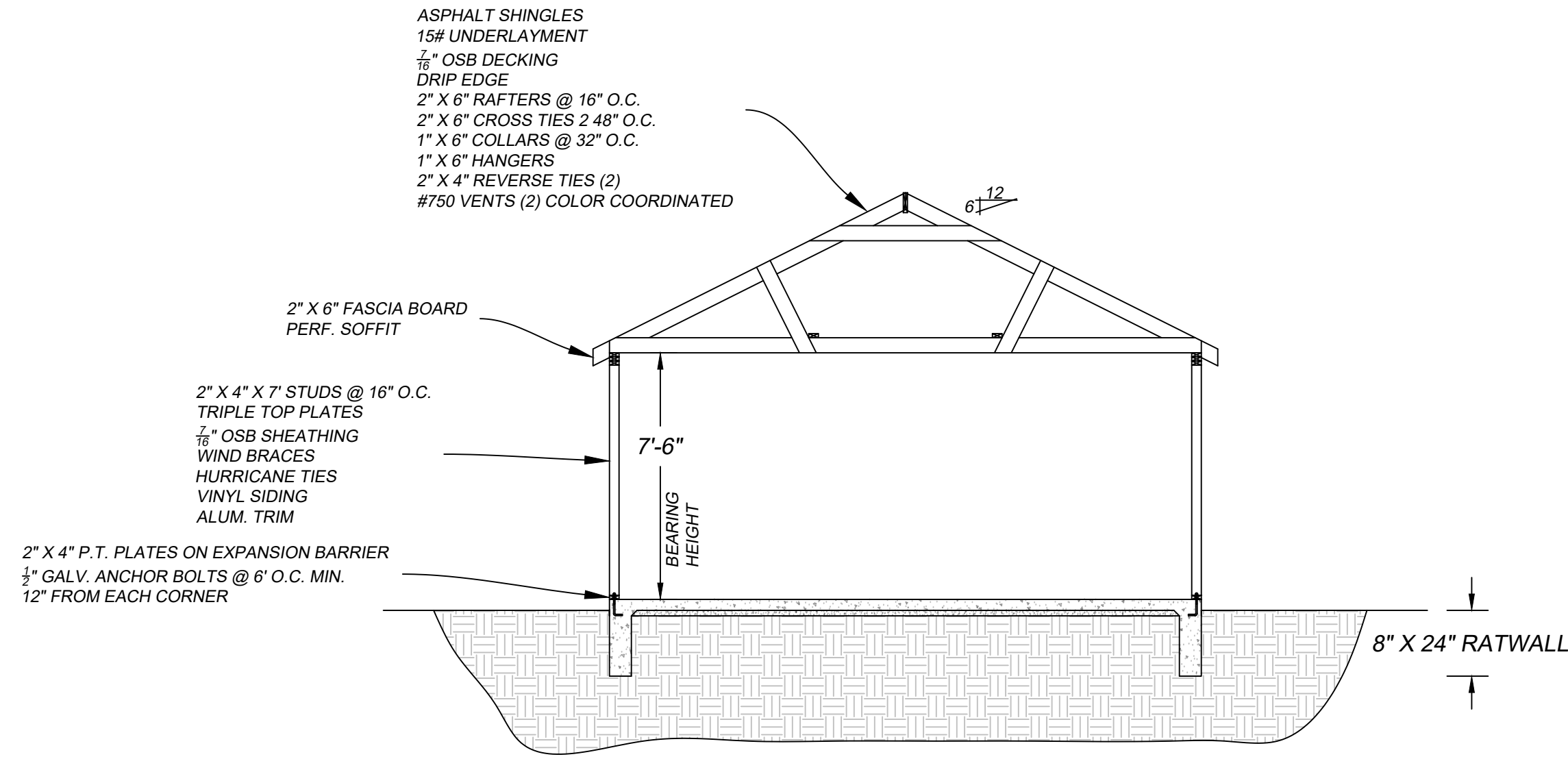
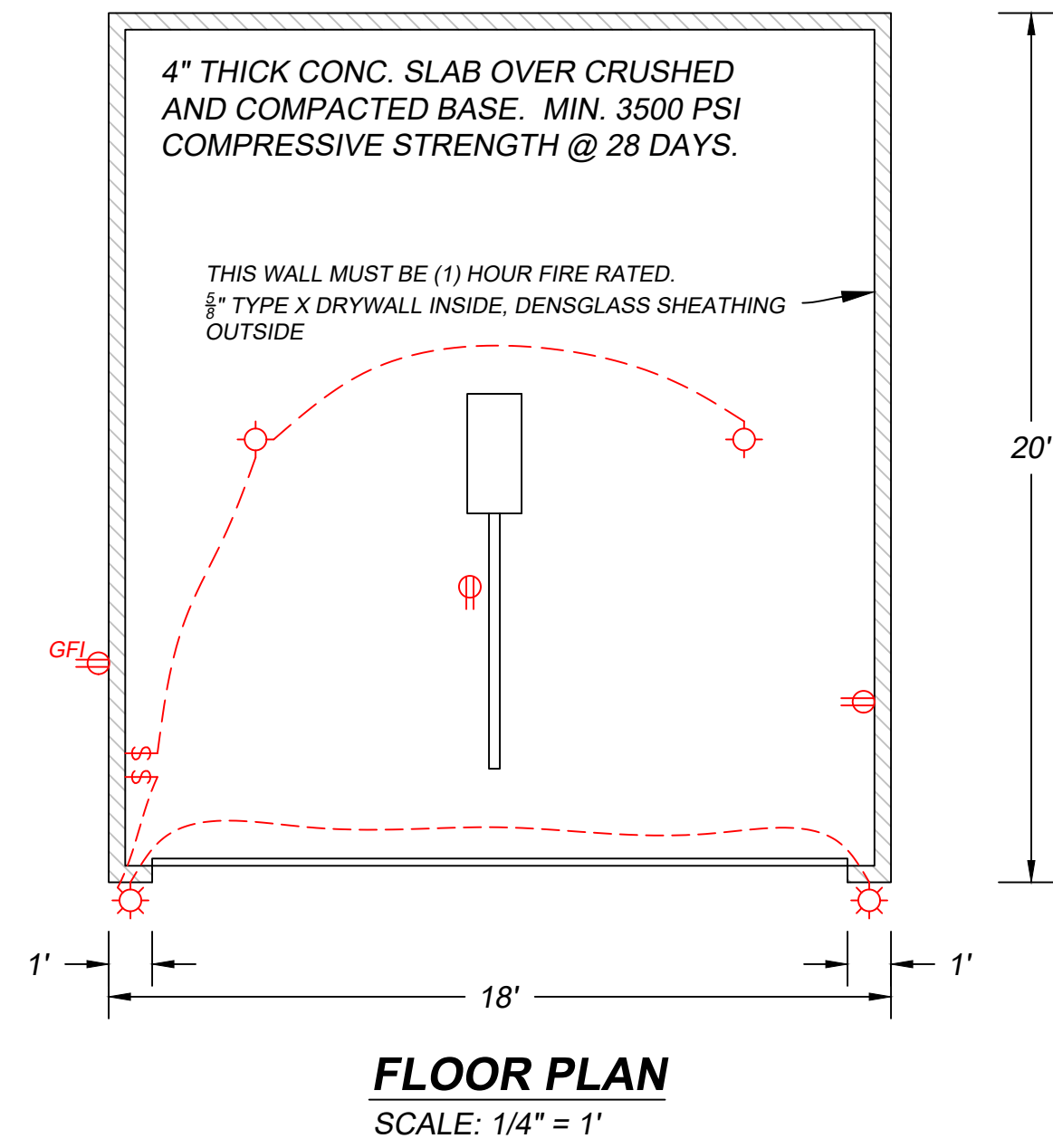


**PROPOSED GARAGE**



**GENERAL NOTES**

- THESE PLANS ARE PROTECTED BY COPYRIGHT AND ARE NOT TO BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE AUTHOR
- APPLICABLE BUILDING CODES ARE AS FOLLOWS  
 - MICHIGAN RESIDENTIAL BUILDING CODE 2015  
 - CITY OF ROYAL OAK BUILDING CODE  
 - CITY OF ROYAL OAK ZONING CODE
- PRIOR TO THE START OF CONSTRUCTION, THE LICENSED CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR WORK TO COMMENCE
- ALL FEDERAL, STATE, AND LOCAL CODES SHALL BE CONSIDERED A PART OF THE SPECIFICATIONS OF THE BUILDING AND SHOULD BE ADHERED TO EVEN IF THEY ARE IN CONFLICT WITH THIS DOCUMENT
- ANY CHANGES REQUESTED TO PLANS PRIOR TO CONSTRUCTION MUST BE REPORTED IN THE FASHION DICTATED BY THE AUTHOR OF THIS DOCUMENT AND AGREED TO BY BOTH CUSTOMER AND AUTHOR
- APPROVAL OF THESE PLANS BY THE REQUIRED MUNICIPAL REVIEWER SIGNIFIES A THOROUGH REVIEW AND ADHERENCE TO THE REQUIRED INSPECTION SCHEDULE BY THE CONTRACTOR LIMITS THE INDEMNITY OF THE MUNICIPALITY

**GENERAL SITE NOTES**

- IT SHALL BE THE RESPONSIBILITY OF THE PERMIT HOLDER TO LOCATE ALL SITE UTILITIES PRIOR TO OR DURING CONSTRUCTION AND THE HOMEOWNER SHALL BE RESPONSIBLE FOR EXISTING AND FUTURE SPRINKLER HEADS
- GENERAL CONTRACTOR OR PERMIT HOLDER WILL VERIFY ALL SITE MEASUREMENTS PRIOR TO SITE (1) SOIL EROSION AND (2) STORM WATER RUN OFF DURING CONSTRUCTION
- WHEN POSSIBLE, IT SHALL BE COMMON PRACTICE TO LOCATE BUILDING SERVICE MODULES (SUCH AS METERS, CLEAN OUTS, VENT STACK, ETC.) OUT OF DIRECT LINE OF SITE FROM THE STREET

**CONSTRUCTION NOTES**

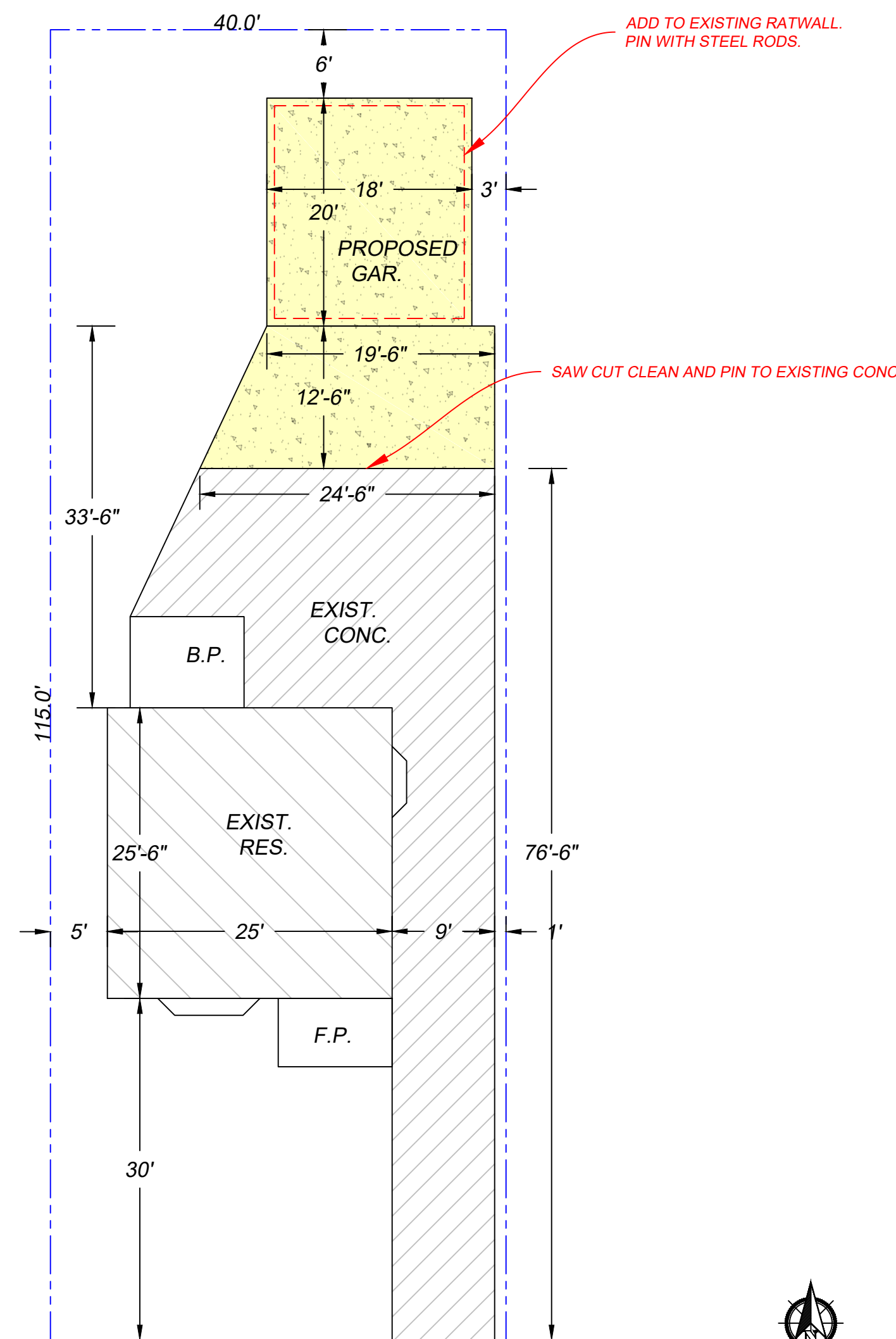
- DRAWING PAGES WILL BE SCALED ON EITHER, (24" X 36") OR (11" X 17") PAPER AND PRESERVE PROPER FORMATTING & MEASUREMENTS.
- DOOR SIZES ARE INDICATED IN DRAWINGS NOMINALLY AND IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ROUGH OPENINGS BASED ON THE DOOR MANUFACTURER'S SPECIFICATIONS
- BRACE ALL EXTERIOR CORNERS OF STUD WALLS WITH METAL STRAP BRACING LET INTO STUDS ON 45 DEGREE DIAGONALS FROM PLATE TO PLATE
- ALL RAFTER TAILS TO RECEIVE GALV. HURRICANE STRAPS AT WALL TOP PLATES TO PREVENT WIND UPLIFT

**FDTN. & CONC. NOTES**

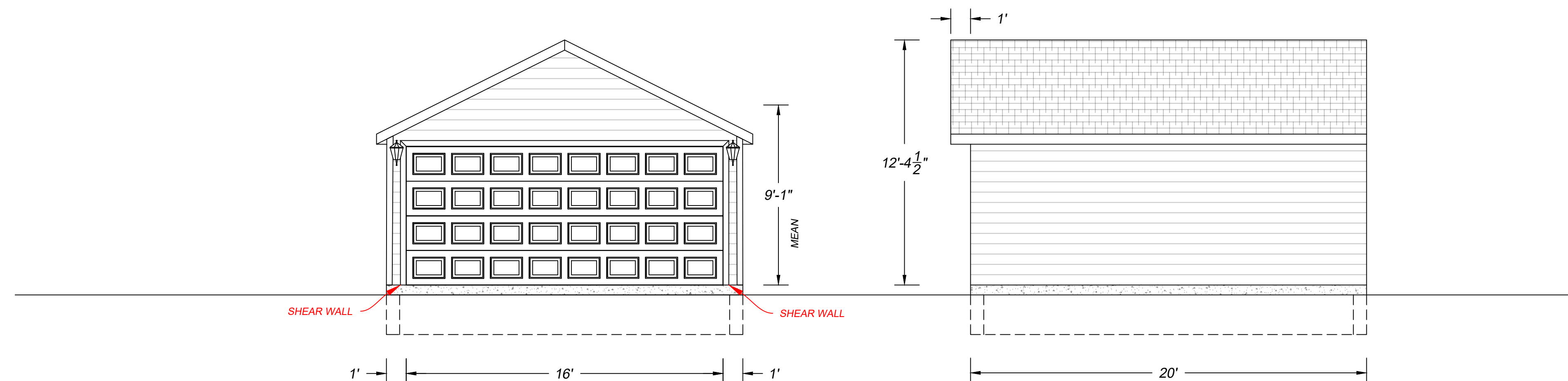
- ALL DIMENSIONS ARE CALCULATED FROM OUTSIDE FACE OF MASONRY TO OUTSIDE FACE OF MASONRY
- FROST DEPTH IS ASSUMED TO BE 42" BELOW GRADE
- COMPRESSIVE STRENGTH OF CONCRETE TO MEET OR EXCEED THE REQ'S OF MRC TABLE R402.2 UNDER THE CATEGORY OF SEVERE POTENTIAL FOR WEATHERING
- FOOTINGS SHALL REST ON UNDISTURBED SOIL AND GENERAL CONTRACTOR SHALL VERIFY SOIL IS FREE OF LOOSE DEBRIS AND WATER PRIOR TO POURING OF CONCRETE
- CONTRACTOR TO BE AWARE OF EXISTING FOUNDATIONS AND PREVENT AGAINST OVER EXCAVATION BELOW EXISTING FDTN. BEARING LINE
- PER MRC R506.22 A MIN. 4" THICK BASE COURSE SHALL BE PLACED ON THE PREPARED SUB-GRADE WHERE THE SLAB IS BELOW GRADE EXCEPT WHEN THE SUB-GRADE FALLS WITHIN THE CLASSIFICATION OF GROUP 1 OF MRC TABLE R405.1
- PER MRC R506.23 A 6 MIL THICK VAPOR RETARDER (OR BETTER) WITH MIN. 6" JOINT LAPPING SHALL BE PLACED BETWEEN THE CONCRETE FLOOR SLAB AND BASE WHERE APPLICABLE

**CONTRACT NOTES**

- TEAR DOWN EXISTING TWO CAR FRAME GARAGE.
- BREAKOUT EXISTING CONC. FLOOR AND TWO SECTION OF APRON AS SHOWN.
- ADD TO EXISTING RATWALL AS NEEDED AND PIN WITH STEEL RODS.
- BUILD NEW 18' X 20' SAVOY GABLE GARAGE WITH 6-12 PITCH AND TRIPLE TOP PLATES.
- INSTALL NEW 16' X 7' O.H. DOOR WITH 2 HAND CONTROLLERS AND KEY RELEASE.
- VINYL DUTCH LAP SIDING, PERF. VINYL SOFFIT AND ALUM TRIM.



**SITE PLAN**  
 SCALE:  $\frac{3}{32}$ " = 1'



**COLES RESIDENCE**  
 14838 PENROD  
 DETROIT, MI 48223  
 313-719-8412

**PROPOSED 18' X 20' GARAGE**  
**CONCRETE FLAT WORK**

SHEET INDEX  
 DESCRIPTION

GENERAL NOTES  
 SITE SURVEY  
 GARAGE FLOOR PLAN  
 SECTION  
 ELEVATIONS

SET ISSUE DATES

DATE: ISSUE:

SHEET NOTES

REF: NOTES:  
 DRAWN BY: S.A. FERRISE  
 CHECKED BY:

SHEET No.

**A-1**  
 Page 1 OF 1

PROJECT No. TG2005

DATE CREATED: 13-JULY-2020